

## HISTORIC AND DESIGN REVIEW COMMISSION

June 02, 2021

**HDRC CASE NO:**  
**ADDRESS:**  
**LEGAL DESCRIPTION:**  
**ZONING:**  
**CITY COUNCIL DIST.:**  
**DISTRICT:**  
**APPLICANT:**  
**OWNER:**  
**TYPE OF WORK:**  
**APPLICATION RECEIVED:**  
**60-DAY REVIEW:**  
**CASE MANAGER:**

**2021-239**  
106 PARKVIEW DR  
NCB 6919 BLK LOT 5 & 6  
R-5, H  
3  
Mission Historic District  
Matthew Longoria/LONGORIA MATTHEW JACOB  
Matthew Longoria/LONGORIA MATTHEW JACOB  
New construction  
May 10, 2021  
Not applicable due to City Council Emergency Orders  
Edward Hall

### REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to construct a 1-story, single-family residential structure on the vacant lot at 106 Parkview Drive, located within the Mission Historic District.

### APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 4, Guidelines for New Construction*

#### 1. Building and Entrance Orientation

##### A. FAÇADE ORIENTATION

i. *Setbacks*—Align front facades of new buildings with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Use the median setback of buildings along the street frontage where a variety of setbacks exist. Refer to UDC Article 3, Division 2. Base Zoning Districts for applicable setback requirements.  
ii. *Orientation*—Orient the front façade of new buildings to be consistent with the predominant orientation of historic buildings along the street frontage.

##### B. ENTRANCES

i. *Orientation*—Orient primary building entrances, porches, and landings to be consistent with those historically found along the street frontage. Typically, historic building entrances are oriented towards the primary street.

#### 2. Building Massing and Form

##### A. SCALE AND MASS

i. *Similar height and scale*—Design new construction so that its height and overall scale are consistent with nearby historic buildings. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. In commercial districts, building height shall conform to the established pattern. If there is no more than a 50% variation in the scale of buildings on the adjacent block faces, then the height of the new building shall not exceed the tallest building on the adjacent block face by more than 10%.  
ii. *Transitions*—Utilize step-downs in building height, wall-plane offsets, and other variations in building massing to provide a visual transition when the height of new construction exceeds that of adjacent historic buildings by more than one-half story.  
iii. *Foundation and floor heights*—Align foundation and floor-to-floor heights (including porches and balconies) within one foot of floor-to-floor heights on adjacent historic structures.

##### B. ROOF FORM

i. *Similar roof forms*—Incorporate roof forms—pitch, overhangs, and orientation—that are consistent with those predominantly found on the block. Roof forms on residential building types are typically sloped, while roof forms on non-residential building types are more typically flat and screened by an ornamental parapet wall.

##### C. RELATIONSHIP OF SOLIDS TO VOIDS

i. *Window and door openings*—Incorporate window and door openings with a similar proportion of wall to window space as typical with nearby historic facades. Windows, doors, porches, entryways, dormers, bays, and pediments shall be considered similar if they are no larger than 25% in size and vary no more than 10% in height to width ratio from adjacent historic facades.

ii. *Façade configuration*—The primary façade of new commercial buildings should be in keeping with established patterns. Maintaining horizontal elements within adjacent cap, middle, and base precedents will establish a consistent street wall through the alignment of horizontal parts. Avoid blank walls, particularly on elevations visible from the street. No new façade should exceed 40 linear feet without being penetrated by windows, entryways, or other defined bays.

#### D. LOT COVERAGE

i. *Building to lot ratio*—New construction should be consistent with adjacent historic buildings in terms of the building to lot ratio. Limit the building footprint for new construction to no more than 50 percent of the total lot area, unless adjacent historic buildings establish a precedent with a greater building to lot ratio.

### 3. Materials and Textures

#### A. NEW MATERIALS

i. *Complementary materials*—Use materials that complement the type, color, and texture of materials traditionally found in the district. Materials should not be so dissimilar as to distract from the historic interpretation of the district. For example, corrugated metal siding would not be appropriate for a new structure in a district comprised of homes with wood siding.

ii. *Alternative use of traditional materials*—Consider using traditional materials, such as wood siding, in a new way to provide visual interest in new construction while still ensuring compatibility.

iii. *Roof materials*—Select roof materials that are similar in terms of form, color, and texture to traditionally used in the district.

iv. *Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alterations and Maintenance section for additional specifications regarding metal roofs.

v. *Imitation or synthetic materials*—Do not use vinyl siding, plastic, or corrugated metal sheeting. Contemporary materials not traditionally used in the district, such as brick or simulated stone veneer and Hardie Board or other fiberboard siding, may be appropriate for new construction in some locations as long as new materials are visually similar to the traditional material in dimension, finish, and texture. EIFS is not recommended as a substitute for actual stucco.

#### B. REUSE OF HISTORIC MATERIALS

*Salvaged materials*—Incorporate salvaged historic materials where possible within the context of the overall design of the new structure.

### 4. Architectural Details

#### A. GENERAL

i. *Historic context*—Design new buildings to reflect their time while respecting the historic context. While new construction should not attempt to mirror or replicate historic features, new structures should not be so dissimilar as to distract from or diminish the historic interpretation of the district.

ii. *Architectural details*—Incorporate architectural details that are in keeping with the predominant architectural style along the block face or within the district when one exists. Details should be simple in design and should complement, but not visually compete with, the character of the adjacent historic structures or other historic structures within the district. Architectural details that are more ornate or elaborate than those found within the district are inappropriate.

iii. *Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for new construction. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the structure is new. Modern materials should be implemented in a way that does not distract from the historic structure.

### 6. Mechanical Equipment and Roof Appurtenances

#### A. LOCATION AND SITING

i. *Visibility*—Do not locate utility boxes, air conditioners, rooftop mechanical equipment, skylights, satellite dishes, and other roof appurtenances on primary facades, front-facing roof slopes, in front yards, or in other locations that are clearly visible from the public right-of-way.

ii. *Service Areas*—Locate service areas towards the rear of the site to minimize visibility from the public right-of-way.

#### B. SCREENING

i. *Building-mounted equipment*—Paint devices mounted on secondary facades and other exposed hardware, frames, and piping to match the color scheme of the primary structure or screen them with landscaping.

ii. *Freestanding equipment*—Screen service areas, air conditioning units, and other mechanical equipment from public view using a fence, hedge, or other enclosure.

iii. *Roof-mounted equipment*—Screen and set back devices mounted on the roof to avoid view from public right-of-way.

*Standard Specifications for Windows in Additions and New Construction*

- GENERAL: New windows on additions should relate to the windows of the primary historic structure in terms of materiality and overall appearance. Windows used in new construction should be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. While no material is expressly prohibited by the Historic Design Guidelines, a high-quality wood or aluminum-clad wood window product often meets the Guidelines with the stipulations listed below. Whole window systems should match the size of historic windows on property unless otherwise approved.
- SIZE: Windows should feature traditional dimensions and proportions as found within the district.
- SASH: Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- DEPTH: There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness.
- TRIM: Window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail. Window track components such as jamb liners must be painted to match the window trim or concealed by a wood window screen set within the opening.
- GLAZING: Windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature real exterior muntins.
- COLOR: Wood windows should feature a painted finished. If a clad product is approved, white or metallic manufacturer's color is not allowed, and color selection must be presented to staff.
- INSTALLATION: Wood windows should be supplied in a block frame and exclude nailing fins. Window opening sizes should not be altered to accommodate stock sizes prior to approval.
- FINAL APPROVAL: If the proposed window does not meet the aforementioned stipulations, then the applicant must submit updated window specifications to staff for review, prior to purchase and installation. For more assistance, the applicant may request the window supplier to coordinate with staff directly for verification.

**FINDINGS:**

- a. The applicant is requesting a Certificate of Appropriateness for approval to construct a 1-story, single-family residential structure on the vacant lot at 106 Parkview Drive, located within the Mission Historic District.
- b. CONTEXT & DEVELOPMENT PATTERN – This block of Parkview Drive consists of all 1-story structures located on the south side of the block. Houses primarily feature a front facing gabled roof with both Craftsman and traditional architectural elements.
- c. SETBACKS & ORIENTATION – According to the Guidelines for New Construction, the front facades of new buildings are to align with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Additionally, the orientation of new construction should be consistent with the historic examples found on the block. The applicant has submitted a setback diagram noting that the proposed new construction will feature a setback from Parkview Drive that matches that of the majority of structures on the block. Staff finds the proposed setback to be appropriate. The setback will be confirmed via an on-site setback inspection prior to the installation of foundation materials.
- d. ENTRANCES – According to the Guidelines for New Construction 1.B.i., primary building entrances should be oriented towards the primary street. The applicant has proposed to orient the proposed new construction and its entrance toward Parkview Drive. This is consistent with the Guidelines.
- e. SCALE & MASS – Per the Guidelines for New Construction 2.A.i., a height and massing similar to historic structures in the vicinity of the proposed new construction should be used. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. The applicant has proposed for the new construction to feature one story in height. Staff finds this to be appropriate and consistent with the Guidelines.
- f. FOUNDATION & FLOOR HEIGHTS – According to the Guidelines for New Construction 2.A.iii., foundation and floor heights should be aligned within one (1) foot of neighboring structure's foundation and floor heights. Primarily, the majority of the structures on this block feature foundation heights of approximately one (1) foot. Per the applicant's construction documents, the proposed new construction will feature a foundation height of more than one (1) foot. Staff finds this to be appropriate and consistent with the Guidelines.

- g. ROOF FORM – The applicant has proposed roof forms that include both front and side gabled roofs. Generally, staff finds the proposed roof forms to be consistent with the Guidelines for New Construction; however, staff finds that all gable returns should be eliminated from the proposed roof forms.
- h. LOT COVERAGE – The applicant has proposed a footprint of approximately 2, 300 square feet. The proposed building to lot ratio is consistent with the Guidelines.
- i. MATERIALS – The applicant has proposed materials that include wood siding and trim and a standing seam metal roof. Staff finds the use of wood siding and trim to be appropriate. The proposed standing seam metal roof should feature panels that are smooth and 18 to 21 inches wide, seams that are 1 to 2 inches in height, a crimped ridge seam or a low profile ridge cap and a standard galvalume finish. A darker gray color may also be approved by the Commission.
- j. WINDOW MATERIALS – The applicant has proposed Anderson 100 Series windows, which feature composite materials. The proposed windows will feature a nailing fin and dimensions that are not consistent with staff's standards for windows in new construction. Staff finds that windows that are consistent with staff's standards for windows in new construction be installed. The Commission may motion to approve a specific window product.
- k. WINDOW & DOOR OPENINGS – Per the submitted documents, the applicant has proposed window profiles and fenestration patterns that are generally consistent with those found historically within the district and the Guidelines for New Construction.
- l. ARCHITECTURAL DETAILS – The applicant's proposed design generally feature architectural details that are found historically within the Mission Historic District and are consistent with the Guidelines for New Construction. Staff finds that columns should be six (6) inches square and feature capital and base trim as well as chamfered corners.
- m. DRIVEWAY – The applicant has proposed a driveway of approximately fifteen (15) feet in width. The Guidelines for Site Elements note that driveways within historic districts should feature no more than ten (10) feet in width. Driveways on this block are located on the west side of each structure and are generally eight to ten feet in width. Staff finds that the proposed driveway width should be reduced to be consistent with the Guidelines.
- n. FRONT WALKWAY – Walkways found historically within the Mission Historic District feature a straight connection from the front porch to the sidewalk at the public right of way. The applicant has proposed a front walkway; however, the proposed walkway features an atypical configuration. Staff finds that the proposed walkway should feature a straight profile and a width of three to four feet, per the Guidelines for Site Elements.
- o. MECHANICAL EQUIPMENT – The applicant has not noted the location of mechanical equipment at this time. Staff finds that all mechanical equipment should be screened from view from the public right of way.
- p. LANDSCAPING – At this time the applicant has not provided information regarding landscaping. A detailed landscaping plan should be submitted to OHP staff for review and approval. Landscaping should be consistent with the Guidelines for Site Elements.

## RECOMMENDATION:

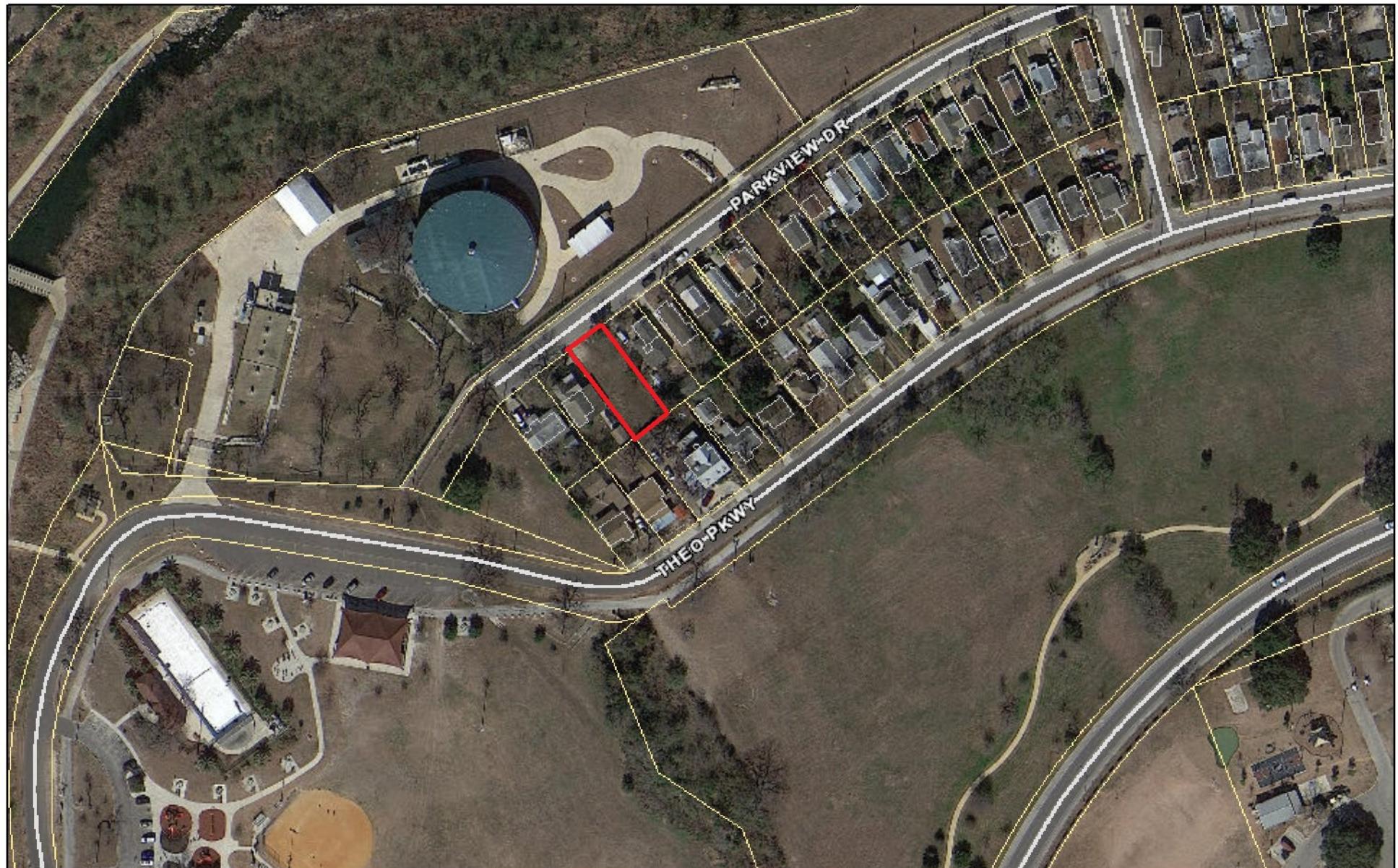
Staff recommends approval based on findings a through p with the following stipulations:

- i. That the applicant eliminate all gable returns from the proposed roof structure in favor of a sloped soffit.
- ii. That the proposed standing seam metal roof feature panels that are smooth and 18 to 21 inches wide, seams that are 1 to 2 inches in height, a crimped ridge seam or a low profile ridge cap and a standard galvalume finish. A darker gray color may also be approved by the Commission. Additionally, staff recommends that columns be six (6) inches square and feature capital and base trim as well as chamfered corners. A column detail is to be submitted to staff for review and approval.
- iii. That the applicant install a wood or aluminum clad wood windows that is consistent with staff's standard specifications for windows in new construction, as noted in finding j.
- iv. That the applicant reduce the driveway width to no more than ten (10) feet in width as noted in finding m, and that a solid front walkway with a straight profile be added as noted in finding n.
- v. That all mechanical equipment be screened from view from the public right of way, and that a detailed landscaping plan be submitted to staff as noted in findings o and p.

A foundation inspection must be scheduled with OHP staff to ensure that appropriate setbacks are being installed. The foundation inspection shall be scheduled prior to the pouring of the foundation.

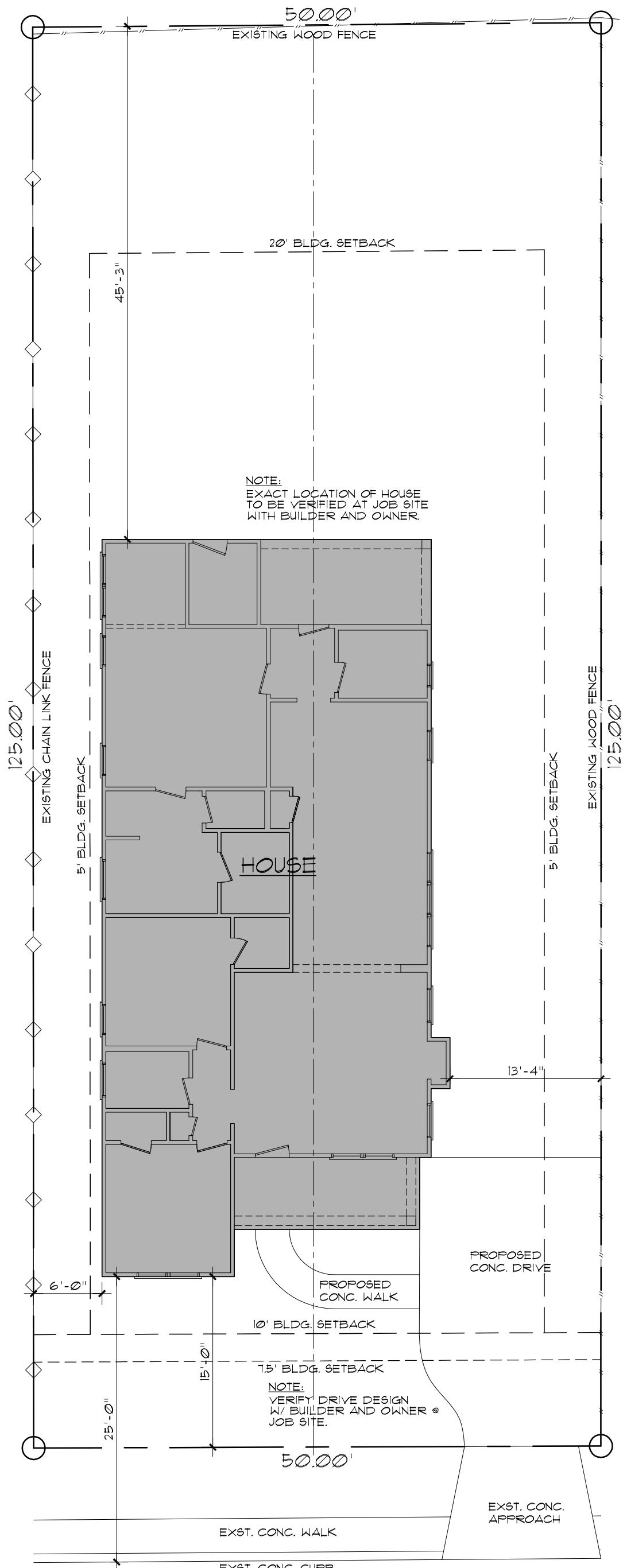
A roofing inspection must be scheduled with OHP staff to ensure that an industrial or large ridge cap is not installed. The roofing inspection shall be scheduling prior to the installation of roofing materials.

# City of San Antonio One Stop



May 28, 2021

1:2,000  
0 0.015 0.03 0.06 mi  
0 0.0275 0.055 0.11 km



106 PARKVIEW DR

PARKVIEW SUB.  
LOT - 5\$6  
N.C.B. - 6919

SITE PLAN  
SCALE: 1/8" = 1'-0"









# MATTHEW LONGORIA

## 106 PARKVIEW DR

A  
B  
D<sup>®</sup>

### STANDARD ABBREVIATIONS

@	AT	JOINT
#	POUND(S)	JOIST
<b>APPROX. APPROXIMATELY</b>		
BASE.	BASEMENT	JOISTS.
B/T	BETWEEN	JOISTS
BLK.	BLOCK	
BLK'G	BLOCKING	
BD.	BOARD	
BRD.	BOARD	
BOT.	BOTTOM	
BLDG.	BUILDING	
CAB.	CABINET	
CLG.	CEILING	
CLR.	CLEAR	
CLOS.	CLOSET	
COL.	COLUMN	
COLS.	COLUMNS	
CONC.	CONCRETE	
CMU	CONCRETE MASONRY UNIT	
C.U.	CONDENSOR UNIT	
CONN.	CONNECTION	
CONT.	CONTINUOUS	
COVERG	COVERING	
CS	CRAWL SPACE	
DECO.	DECORATIVE	
DET.	DETAIL	
DIA.	DIAMETER	
DW	DISHWASHER	
DBL.	DOUBLE	
DF	DOUGLAS FIR	
D	DRYER	
EA.	EACH	
ELEV.	ELEVATION	
ENG.	ENGINEER	
FT.	FEET	
F.F.L.	FINISHED FLOOR LINE	
FIN.	FINISH	
F.C.	FIRE CODE	
FLR.	FLOOR	
FTG.	FOOTING	
FOUND.	FOUNDATION	
FND.	FOUNDATION	
FR.	FREEZER	
GA.	GAUGE	
GALV.	GALVANIZED	
GYP.	GYPSUM	
HDR.	HEADER	
HVAC	HEATING, VENTILATION & AIR CONDITIONING	
HT.	HEIGHT	
HTS.	HEIGHTS	
HORIZ.	HORIZONTAL	
IN.	INCHES	
INCL.	INCLUDE	
INSUL.	INSULATION	
IT.	JOINT	
IST.	JOIST	
JSSTS.	JOISTS	
LT.	LIGHT	
LIN.	LINEN	
MANUF.	MANUFACTURER	
MAS.	MASONRY	
MAX.	MAXIMUM	
MTL.	METAL	
MIN.	MINIMUM	
N.I.C.	NOT IN CONTRACT	
O.C.	ON CENTER	
O/C	ON CENTER	
OFT.	OPTIONAL	
O.S.B.	ORIENTED STRAND BOARD	
OTS	OWNER TO SELECT	
O.T.S.	OWNER TO SELECT	
PG.	PAGE	
PAN.	PANTRY	
PL.	PLATE	
P	PLATE	
PLYWD	PLYWOOD	
PLYWD	PLYWOOD	
POLY.	POLYETHYLENE	
PSI	POUNDS PER SQUARE INCH	
PRE-FAB	PREFABRICATED	
RE:	REFERENCE	
REF:	REFRIGERATOR	
REINF.	REINFORCED	
R	RESISTANCE	
R.A.	RETURN AIR	
R.A.G.	RETURN AIR GRILLE	
REQD	REQUIRED	
SCR.	SCREEN	
SHLVS.	SHELVES	
SHIR.	SHOWER	
SHWR.	SHOWER	
SST.	SIMPSON STRONG TIE	
SP.	SOUTHERN PINE	
SPECs.	SPECIFICATIONS	
SQ.	SQUARE	
S.F.	SQUARE FOOTAGE	
STL.	STEEL	
THK.	THICK	
THK.	THICKNESS	
TBD.	TO BE DETERMINED	
TR.	TRANSOM	
TY.P.	TYPICAL	
U.T.C.	UNDER THE COUNTER	
UTIL.	UTILITY	
VAN.	VANITY	
VERT.	VERTICAL	
WH	WATER HEATER	
W	WASHER	
WT.	WEIGHT	
WIN.	WINDOW	
W.M.	WIRE MESH	
W/	WITH	
WD.	WOOD	
WFCM	WOOD FRAME CONSTRUCTION MANUAL	



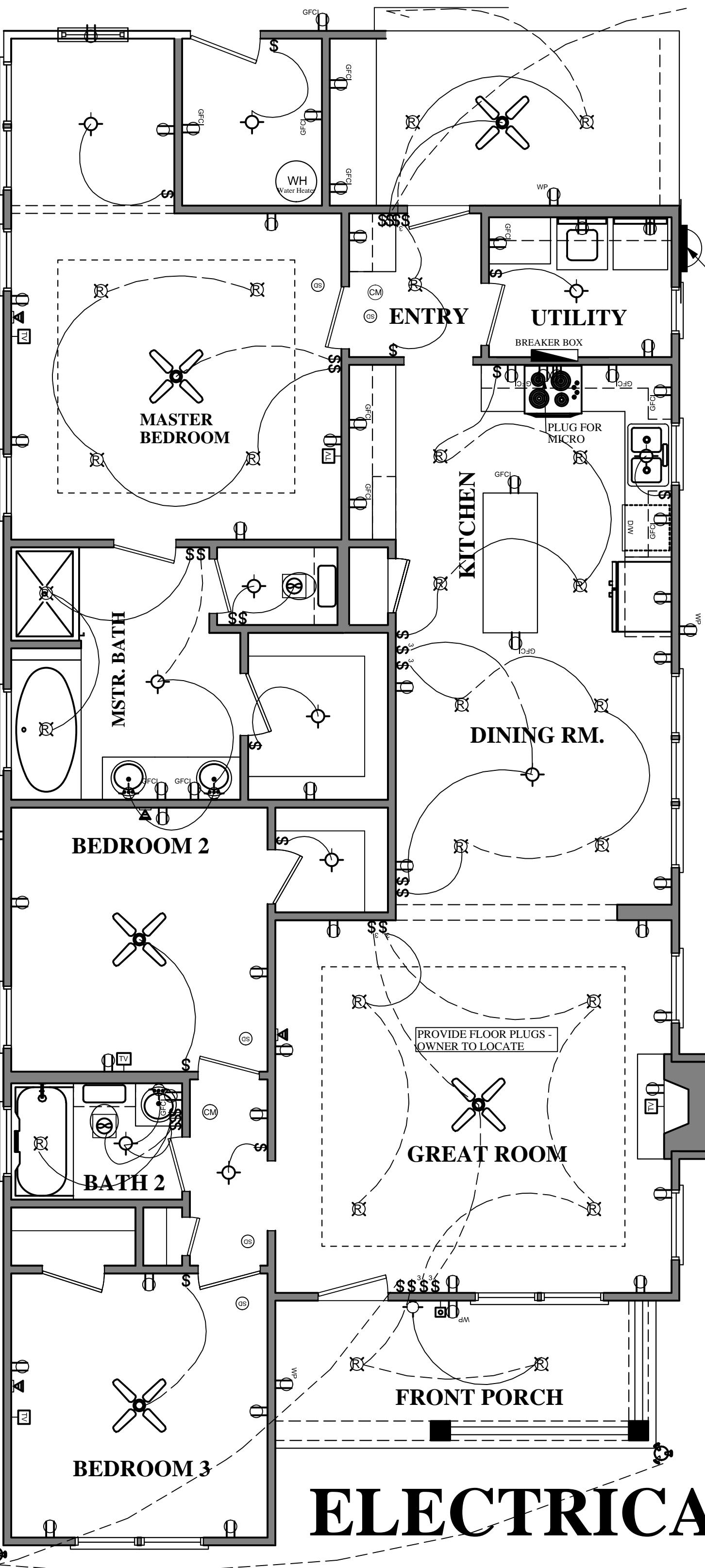
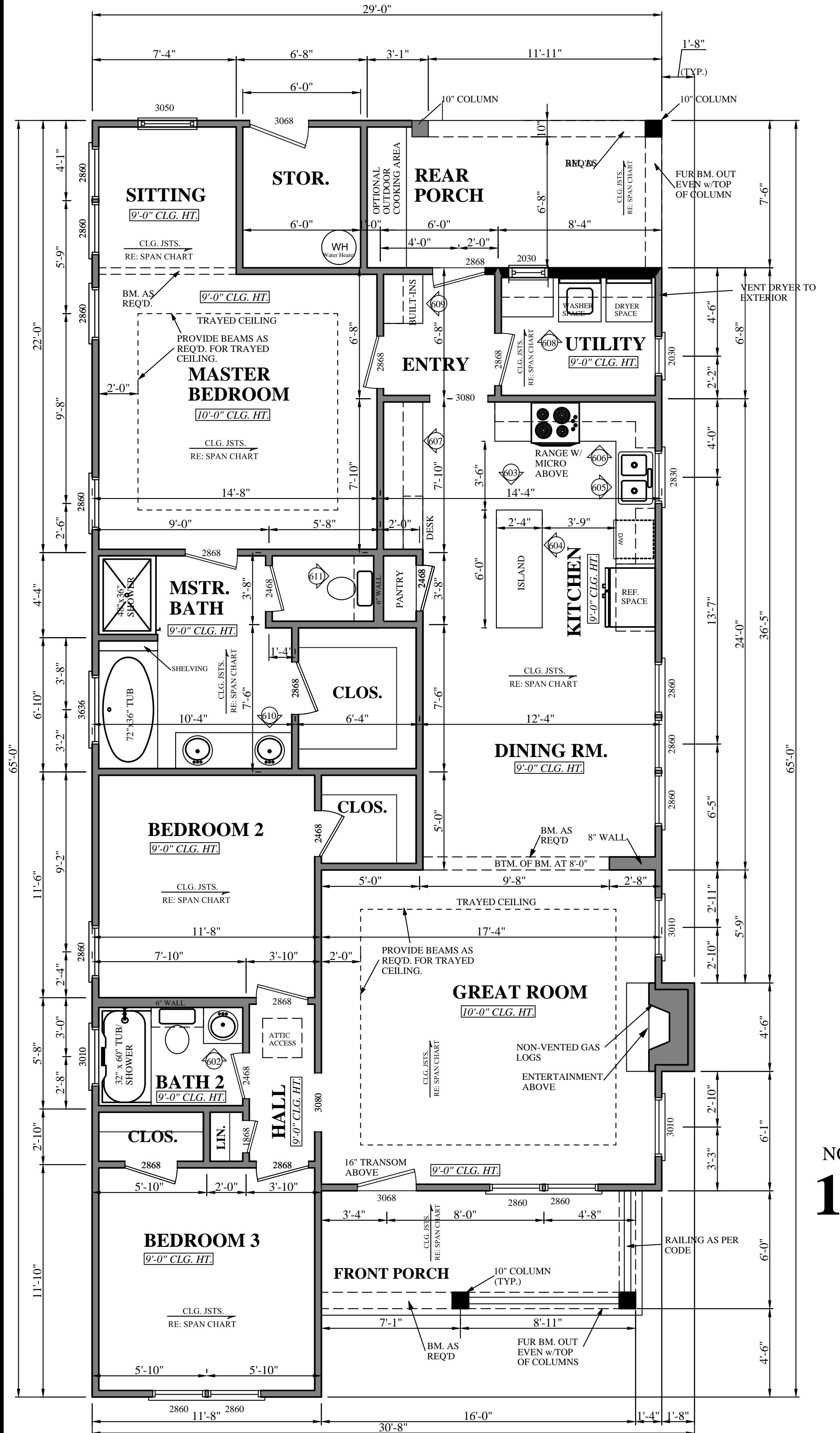
CODE DISCLAIMER:  
1. THESE PLANS WERE DESIGNED TO MEET IRC 2015 AT THE TIME OF THEIR CREATION AND MORE SPECIFICALLY THE MINIMAL LOCAL CODES OF THE SOUTH MISSISSIPPI AREA. IT IS HIGHLY RECOMMENDED THAT THESE PLANS BE REVIEWED BY A LOCAL STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.  
2. BEAMS AND FLOOR JOISTS ARE NOT SIZED DUE TO THE MANY GEOGRAPHIC LOCATIONS THESE PLANS ARE SOLD. THESE ITEMS SHALL BE SIZED BY A LOCAL ENGINEER OR MANUFACTURER.  
3. ALL CEILING FLOOR JOISTS (IF CONVENTIONAL FRAMING) SHOULD BE SIZED USING THE LATEST VERSION OF THE IRC OR APPLICABLE CODES AT SITE TO MEET THE LOCAL REQUIREMENTS SUCH AS SNOW LOADS AND OTHER FACTORS. THE CEILING JOISTS SIZES LABELED (IF PRESENT) WERE SIZED USING THE 2015IRC AT THE TIME OF THEIR CREATION. THEY MUST BE VERIFIED AND MODIFIED AS REQUIRED TO MEET THE LATEST EDITION OF THE (IRC) INTERNATIONAL RESIDENTIAL CODE.  
4. ALL FOUNDATIONS AND FOOTING DETAILS SHALL BE REVIEWED AND APPROVED BY A LOCAL ENGINEER.  
5. CONTRACTOR SHALL PROVIDE ALL HIGH WIND STRAPPING AND ANCHOR BOLTS AS REQUIRED BY THE LOCAL CODE REQUIREMENTS AND THE LATEST VERSION OF THEIRC.

Date: 06.16.11  
Drawn By:

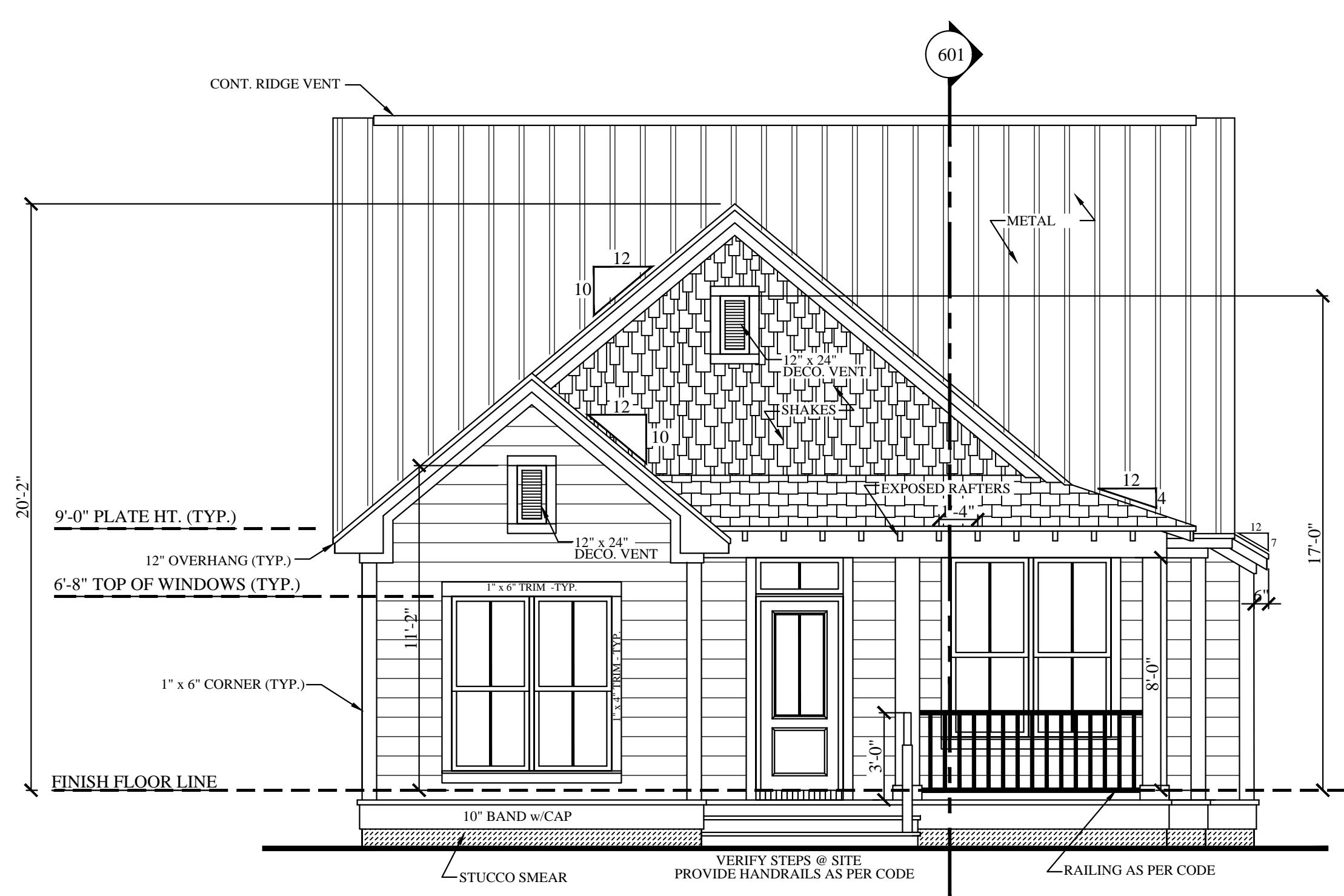
SHEET NUMBER 1

ELECTRICAL SYMBOLS LEGEND	
	110 VOLT OUTLET
	GROUNDED FAULT PROTECTED OUTLET
	WEATHERPROOF OUTLET
	RECEPTACLE (OWNER TO LOCATE)
	CEILING HUNG FIXTURE
	OVERHANG MOUNTED FLOODLIGHTS
	WALL MOUNTED FLOODLIGHTS
	RECESSED CEILING FIXTURE
	FLUORESCENT LIGHT
	CARBON MONOXIDE DETECTOR
	SMOKE DETECTOR
	SWITCH
	THREE WAY SWITCH
	DRAPE SWING (OWNER TO LOCATE)
	DOOR ACTIVATED SWITCH (OWNER TO LOCATE)
	PHONE OUTLET (OWNER TO LOCATE)
	TELEVISION OUTLET (OWNER TO LOCATE)
	DOOR RELEASE BUTTON (CONTRACTOR TO LOCATE)
	DOORSTAT (CONTRACTOR TO LOCATE)
	CEILING EXHAUST FAN, VENT TO EXTERIOR
	CEILING EXHAUST FAN w/LIGHT, VENT TO EXTERIOR
	AUDIO SPEAKERS
	CEILING FAN w/LIGHT
	TRACK LIGHTING (OWNER TO LOCATE)
	WALL SCONCE (OWNER TO LOCATE)
	CHANDELIER
	UNDER COUNTER LIGHTING

ELECTRICAL WORK SHALL COMPLY WITH ALL CODES APPLICABLE AT SITE. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: EACH SLEEPING ROOM, OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS; ADDITIONAL STORY OF THE DWELLING, BASEMENTS AND HABITABLE ATTICS. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED, IT SHALL BE INSTALLED WITHIN A BUFFERED AREA SO THAT THE ACTUATION OF ONE ALARM ACTIVATES ALL OF THE ALARMS IN THE UNIT. SMOKE ALARMS SHALL BE MONITORED AND TESTED SEPARATELY IN EACH BEDROOM IN DWELLING UNITS WITHIN WHICH FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS WITH ATTACHED GARAGES. RECEPTACLES OUTLETS SHALL BE INSTALLED FOR THE SERVICING OF HEATING, AIR CONDITIONING EQUIPMENT. THE RECEPTACLE SHALL BE LOCATED ON THE SAME LEVEL AND WITHIN 25 FEET OF THE EQUIPMENT. THE RECEPTACLE OUTLET SHALL NOT BE CONNECTED TO THE LOAD SIDE OF THE HVAC EQUIPMENT DISCONNECTING MEANS.



Date:	06.16.11
Drawn By:	C.T.B.
SHEET NUMBER	3



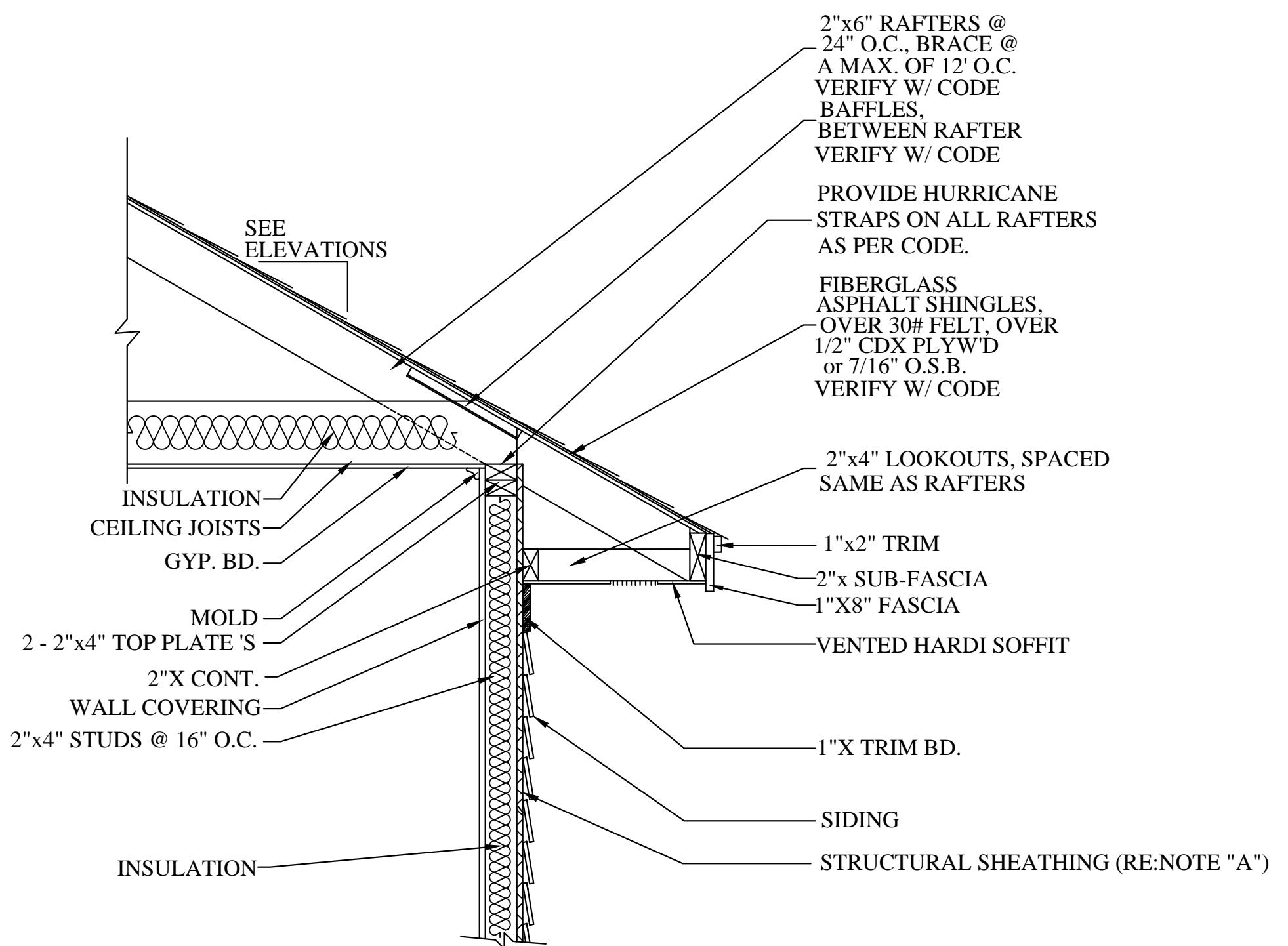
401 BB-1550-2 FRONT VIEW  
SCALE ----- 1/4" = 1'-0"

401

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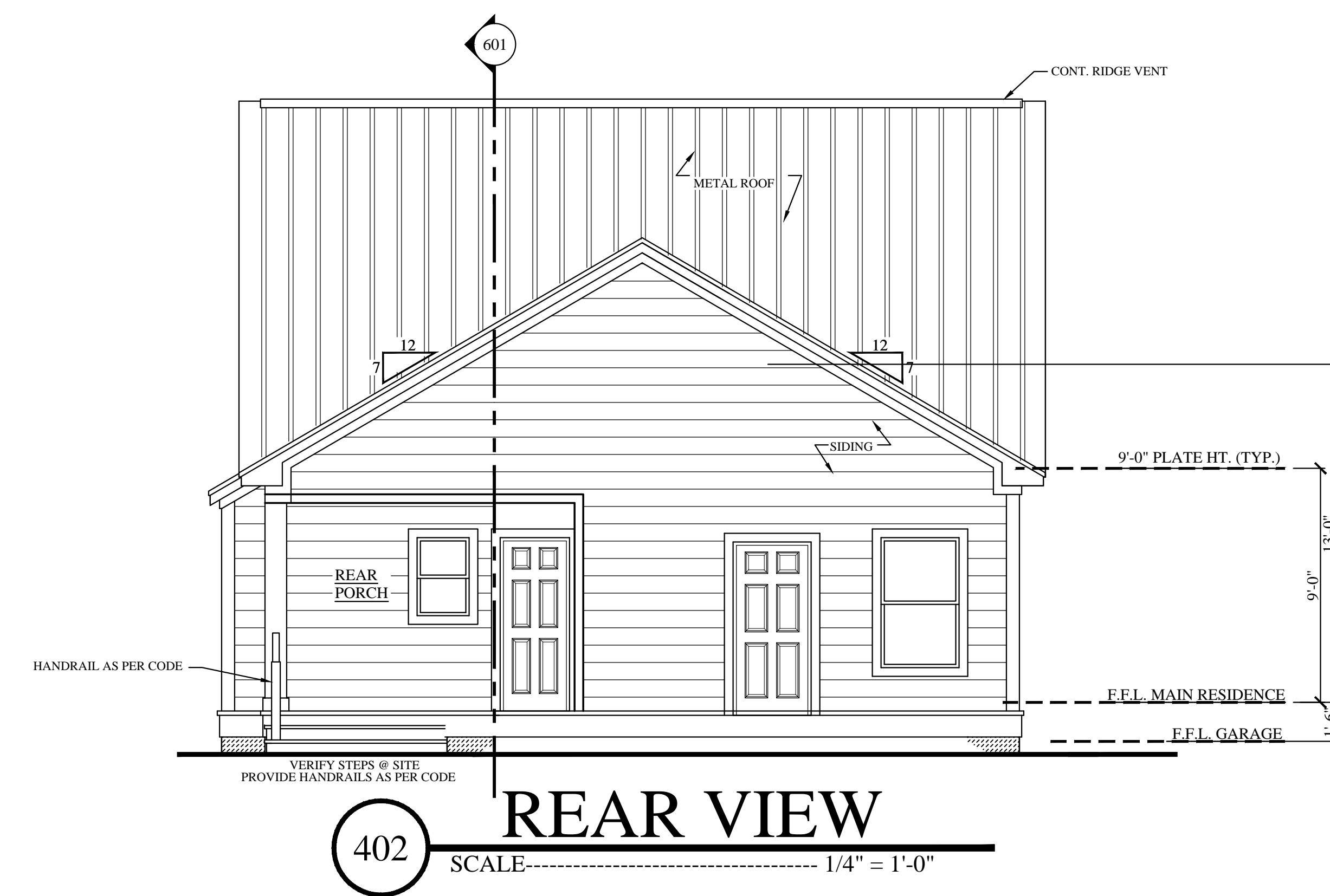
SCA

LE----- 1/4" = 1'-0"



403 TYP. CORNICE DETAIL  
SCALE----- 3/4"=1'-0"

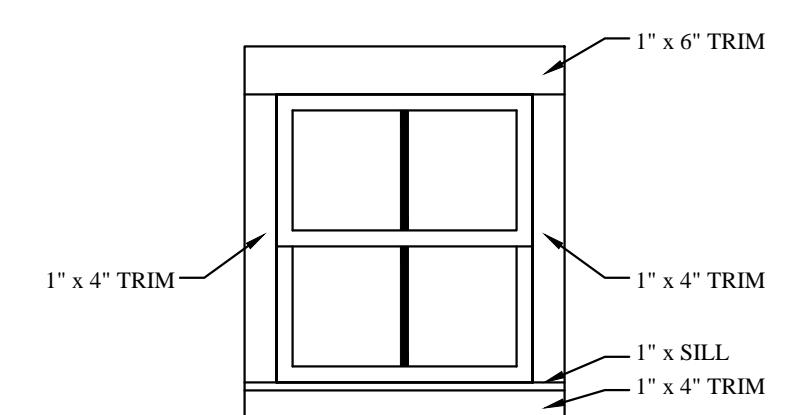
NOTE "B": CORNICE DETAIL FOR REFERENCE ONLY. REFER TO BUILDER SPECS FOR ACTUAL MATERIALS.



# REAR VIEW

40

2 SCALE----- 1/4" = 1'-0"



**404** TYP. WINDOW CASING

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SCALE ----- 1/2" = 1'-0"  
(UNLESS NOTED OTHERWISE)

4 SCALE----- 1/2" = 1'-0"  
(UNLESS NOTED OTHERWISE)

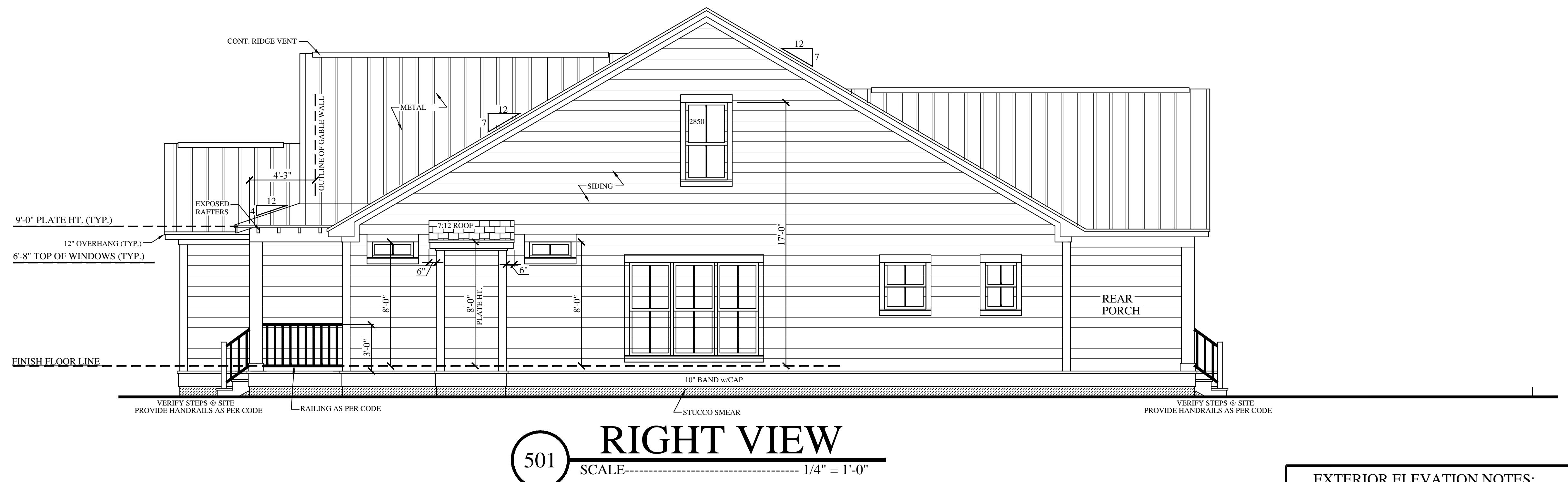
Date:

06.16.11

C.T.B.

**SHEET NUMBER**

4



501

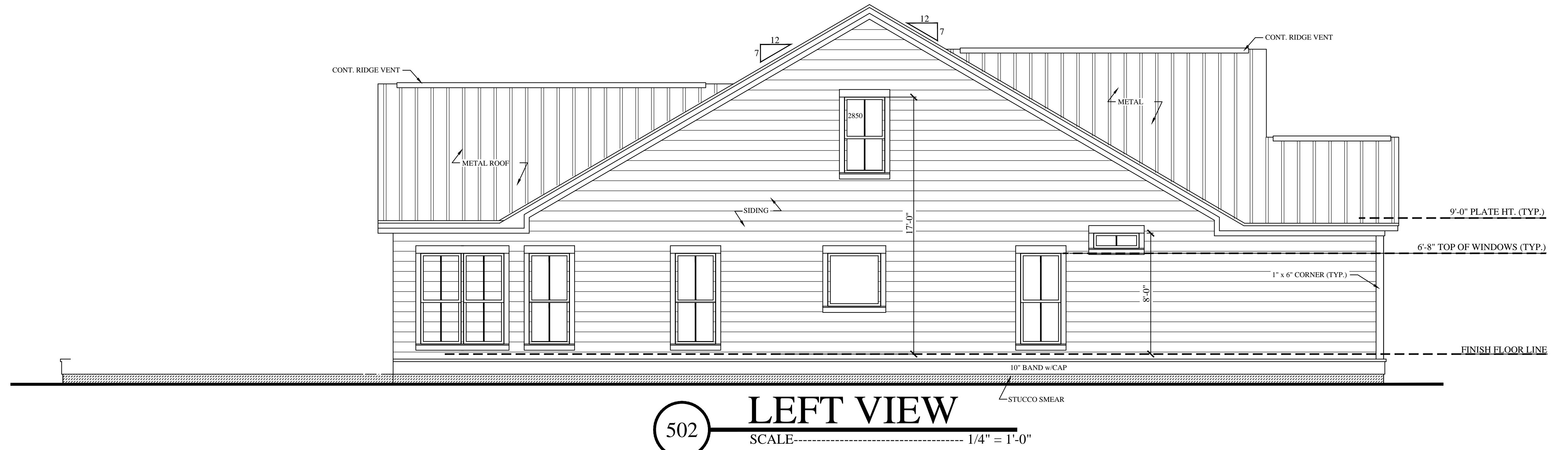
# RIGHT VIEW

SCALE----- 1/4" =

SCALE----- 1/4" = 1'-0"

## EXTERIOR ELEVATION NOTES:

1. CONTRACTOR TO VERIFY ALL WINDOW AND DOOR STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION.
2. PROVIDE STEPS AND GUARD RAILS AS PER CODE BASED ON SITE CONDITIONS.
3. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.
4. ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
5. REFER TO TYPICAL WALL DETAIL FOR FRAMING METHODS AND OTHER MISC. INFORMATION.

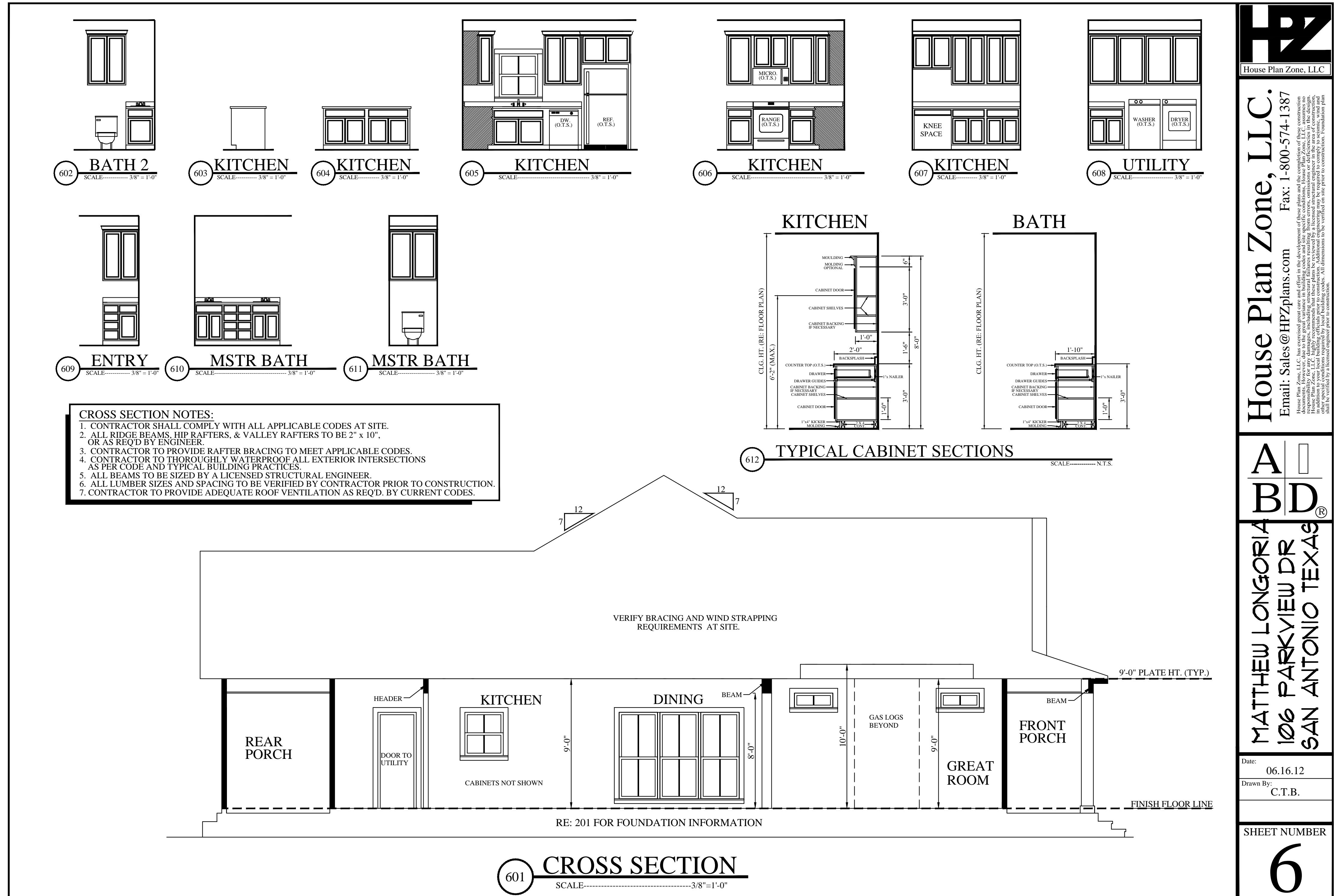


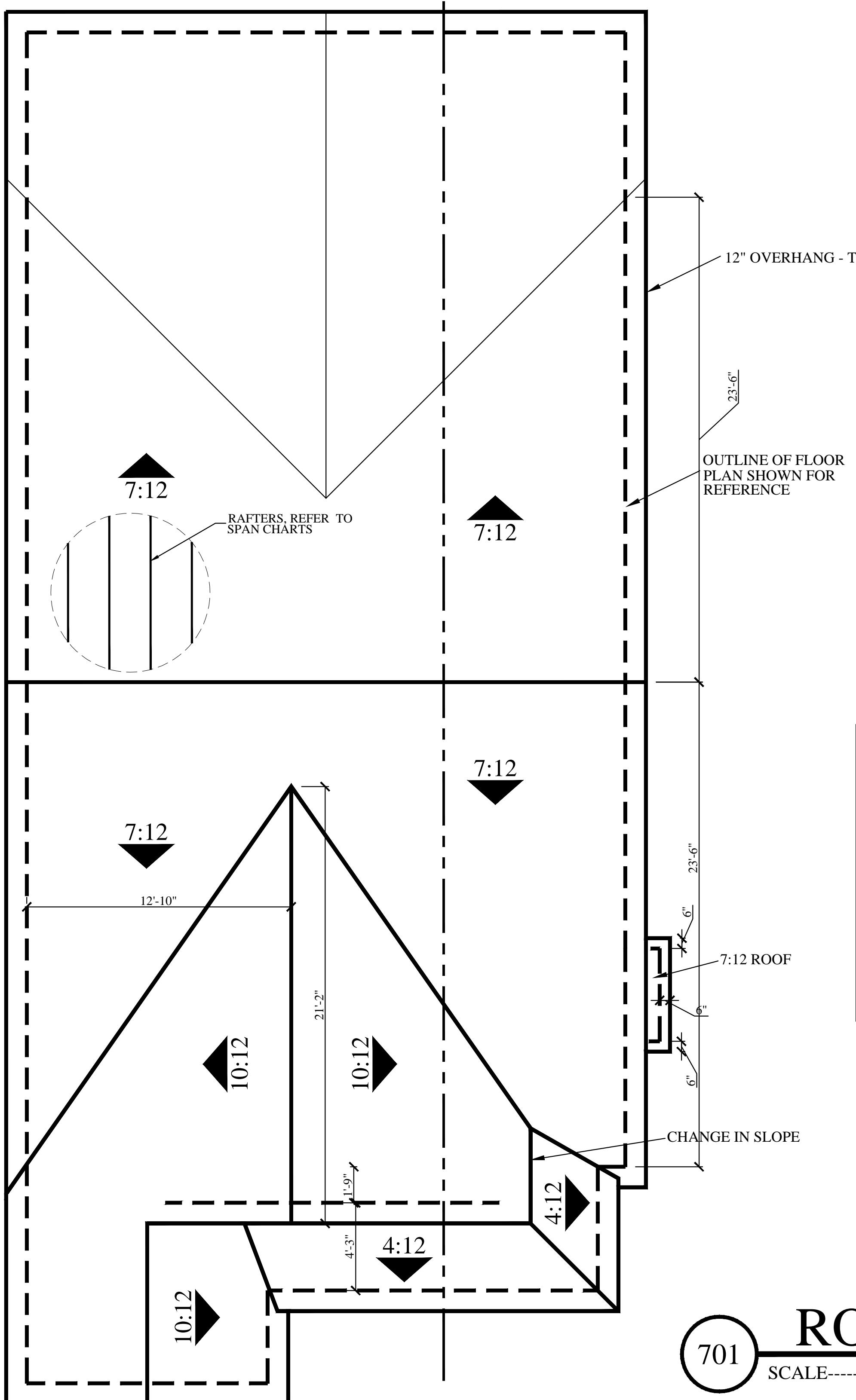
502

# LEFT VIEW

SCALE-----  $1/4" = 1'-0"$

## Plan ID:





701

SCALE----- 1/4" = 1'-0"

# ROOF PLAN

RAFTER LENGTH CHART		
ROOF PITCH		FACTOR
3/12		1.05
4/12		1.07
5/12		1.10
6/12		1.14
7/12		1.17
8/12		1.20
9/12		1.25
10/12		1.30
11/12		1.35
12/12		1.40
14/12		1.54
16/12		1.70

MULTIPLY HORIZONTAL SPAN OF MEMBER BY FACTOR.  
CHOOSE APPROPRIATE FACTOR BY ROOF PITCH.

HIP/ VALLEY CONVERSION				
IF COMMON RAFTER ROOF PITCH IS...			THEN HIP/ VALLEY RAFTER ROOF PITCH BECOMES...	
RISE/ RUN	SLOPE		RISE/ RUN	SLOPE
1/12	5°		1/17	3°
2/12	10°		2/17	7°
3/12	14°		3/17	10°
4/12	18°		4/17	13°
5/12	23°		5/17	16°
6/12	27°		6/17	19°
7/12	30°		7/17	22°
8/12	34°		8/17	25°
9/12	37°		9/17	28°
10/12	40°		10/17	30°
11/12	42°		11/17	33°
12/12	45°		12/17	35°

# ROOF PLAN NOTES:

1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE.
2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS TO BE 2" X 10", No.2 S.Y.P. OR AS REQ'D BY ENGINEER.
3. ALL RAFTERS TO BE SIZED AS PER SPAN CHART.
4. CONTRACTOR TO WATERPROOF ALL ROOF INTERSECTIONS AS PER CODE.
5. CONTRACTOR TO VERIFY ALL ROOF PITCHES WITH EXTERIOR ELEVATIONS PRIOR TO CONSTRUCTION.
6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.

RAFTER SPANS		
RAFTER SPANS FOR SOUTHERN PINE SPECIES		
LIVE LOAD = 30 psf <del>4</del> = 1800 LB LOAD = 10 psf		
SIZE	SPACING (INCHES)	SPANS (MAXIMUM RAFTER SPANS BETWEEN BRACING) (FT. - IN.)
6	12.0	12-11
	16.0	11-2
	19.2	10-2
	24.0	9-2
8	12.0	16-4
	16.0	14-2
	19.2	12-11
	24.0	11-7
10	12.0	19-5
	16.0	16-10
	19.2	15-4
	24.0	13-9
12	12.0	22-10
	16.0	19-10
	19.2	18-1
	24.0	16-2

# CEILING JOIST SPANS

CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES  
 (UNINHABITABLE ATTICS WITHOUT STORAGE, LIVE LOAD = 20psf, DEAD LOAD = 10psf)

\*\*\*IF HABITABLE ATTIC SPACE OR STORAGE IS DESIRED,  
 REFER TO THE INTERNATIONAL RESIDENTIAL CODE, SPAN TABLES

\*\*

SIZE	SPACING (INCHES)	VISUALLY GRADED #2 SOUTHERN PINE (MAXIMUM CEILING JOIST SPANS) (FT. - IN.)
2 x 4	12.0	9-3
	16.0	8-0
	19.2	7-4
	24.0	6-7
2 x 6	12.0	13-11
	16.0	12-0
	19.2	11-0
	24.0	9-10
2 x 8	12.0	17-7
	16.0	15-3
	19.2	13-11
	24.0	12-6
2 x 10	12.0	20-11
	16.0	18-1
	19.2	16-6
	24.0	14-9

## NOTES:

The above tables are based on the IRC 2015 TABLE R02.4

House Plan Zone, LLC. assumes no responsibility for any damages, including structural failures resulting from errors, omissions or deficiencies in the design. House Plan Zone, LLC. highly recommends that these plans be reviewed by a licensed structural engineer in the area of construction, in addition to your local building officials prior to construction. Additional engineering may be required to comply to seismic, wind and other special conditions required by local building codes. All dimensions to be verified on site prior to construction. Foundation plan shall be verified by a licensed engineer prior to construction.



## WOOD SIDING EXAMPLE

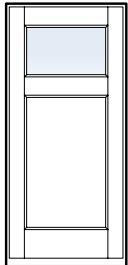




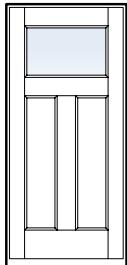
# Rectangular

Most Arts & Crafts doors are available in an extensive variety of sizes, including industry-standard widths of 3'0" & 3'6" and heights of 6'8" & 8'0".

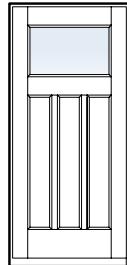
## Arts & Crafts



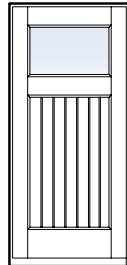
402



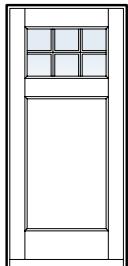
403



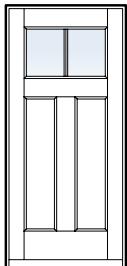
404



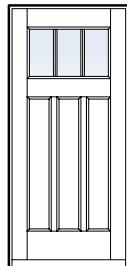
406



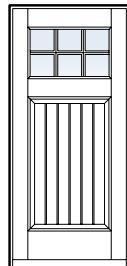
402  
with optional  
divided light



403  
with optional  
divided light



404  
with optional  
divided light



406  
with optional  
divided light

### Arts & Crafts (404)

Shown in oak with Colonnade decorative glass and optional Arts & Crafts shelf. Hardware manufactured by others.

See page 33 for decorative glass patterns.

### Arts & Crafts (403)

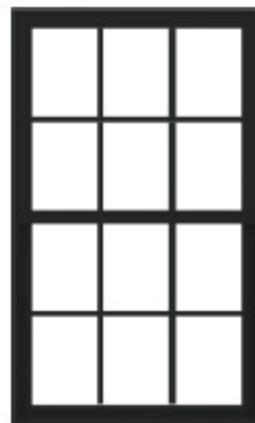
Shown in oak with sidelights (401) and Capri hardware (sold separately).



# 100 SERIES SINGLE-HUNG WINDOW



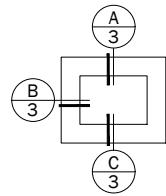
Interior



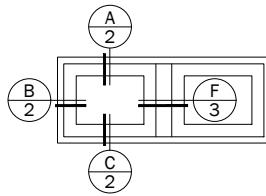
Exterior

## Summary

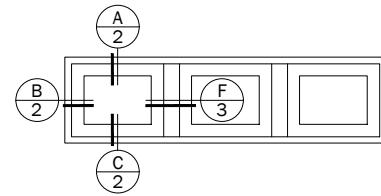
<b>Product ID#</b>	100SHS3050
<b>Unit Width</b>	35 1/2"
<b>Unit Height</b>	59 1/2"
<b>Interior Color</b>	Black
<b>Glass</b>	Low-E Glass
<b>Hardware</b>	Metal Slim Line Lock, Black
<b>Grille Pattern</b>	Colonial
<b>Grille Width</b>	3/4"
<b>Exterior Color</b>	Black



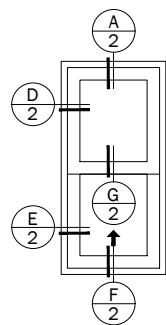
Single Transom



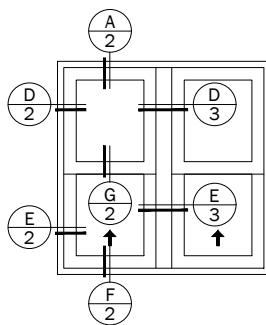
Twin Transom



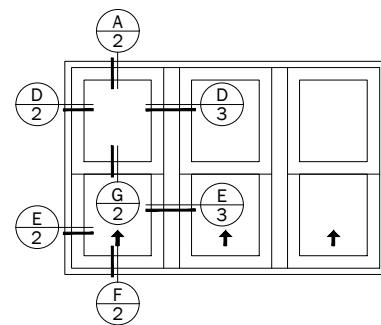
Triple Transom



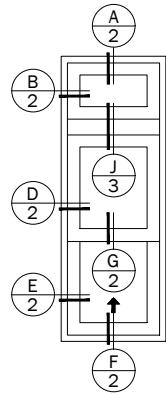
Single-Hung



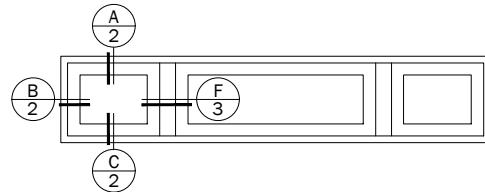
Twin Single-Hung



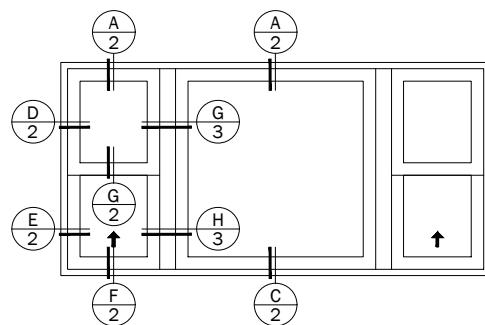
Triple Single-Hung



Transom over Single-Hung



Transom for Picture with Flankers



Picture Window with Flanking Single-Hungs

## Notes:

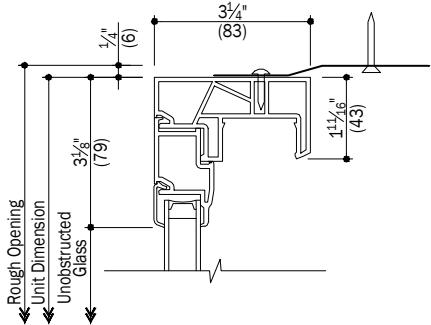
Details have been optimized for use in architectural software and do not match manufacturing specifications.  
Dimensions in parentheses are in millimeters.

See Page 4 for Accessories

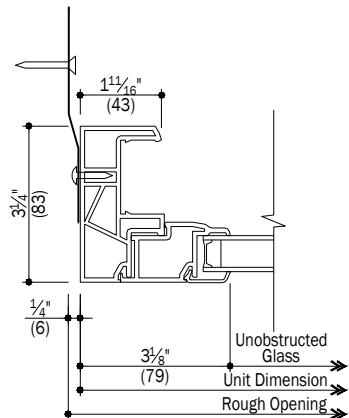
Date: 02/05/18  
Scale: None

## 100 Series

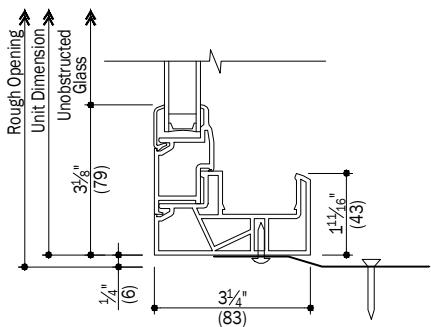
**WINDOWS • DOORS**  
**Andersen®** 



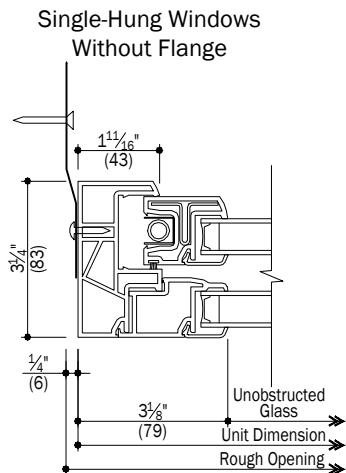
A Head  
2 Operating & Stationary



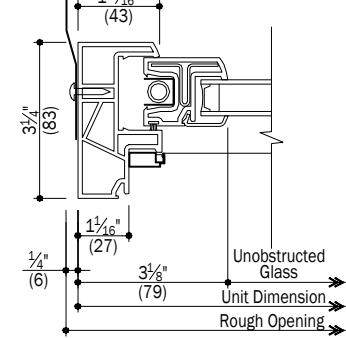
**B**  
2 Jamb  
Stationary



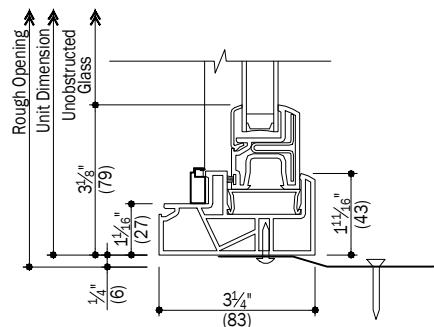
**C**  
2 Sill  
Stationary



D Jamb  
2 Operating  
Above Check Rail



**E** Jamb  
2 Operating  
Below Check Rail



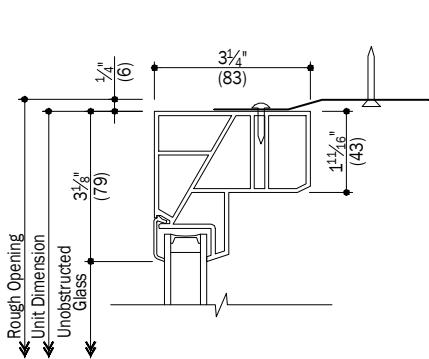
**F** 2 Sill  
Operating

## Notes:

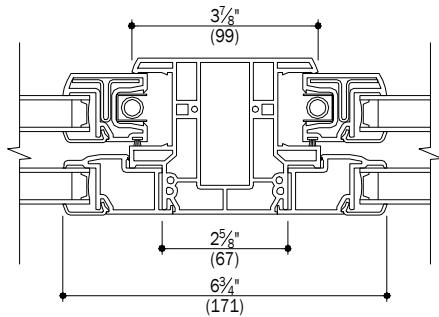
Details have been optimized for use in architectural software and do not match manufacturing specifications. Dimensions in parentheses are in millimeters.

**See Page 4 for Accessories**

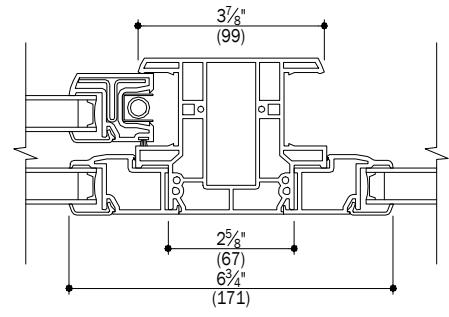
Date: 02/05/18  
Scale: 3" (76) = 1' (305)



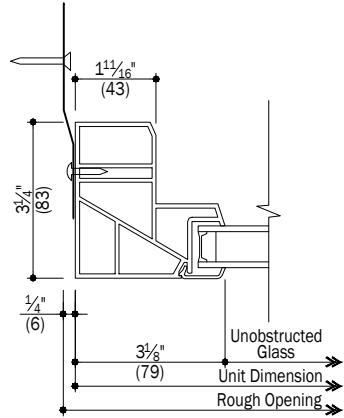
**A** Head  
3 Fixed



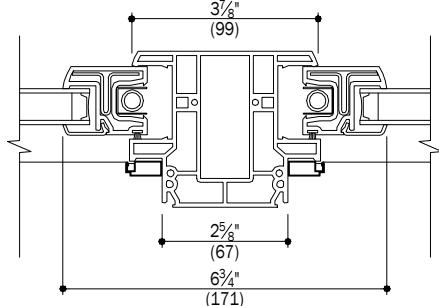
**D** Vertical Integral Join  
3 Operating/Operating  
Above Check Rail



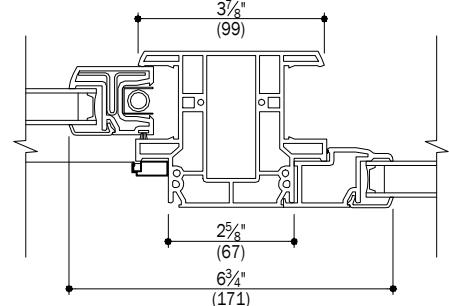
**G** Vertical Integral Join  
3 Operating/Stationary  
Above Check Rail



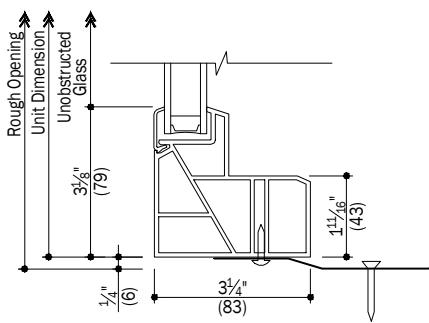
**B** Jamb  
3 Fixed



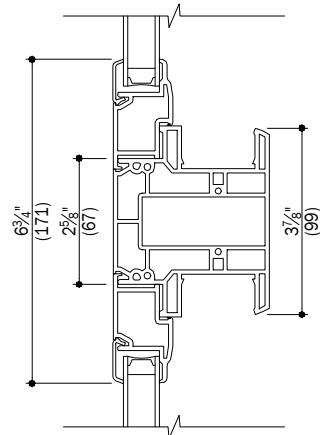
**E** Vertical Integral Join  
3 Operating/Operating  
Below Check Rail



**H** Vertical Integral Join  
3 Operating/Stationary  
Below Check Rail



**C** Sill  
3 Fixed



**J** Horizontal Integral Join  
3 Stationary/Operating

## Notes:

Details have been optimized for use in architectural software and do not match manufacturing specifications.  
Dimensions in parentheses are in millimeters.

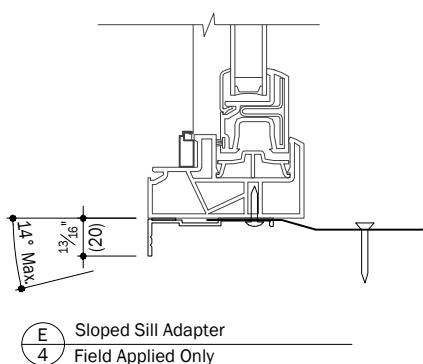
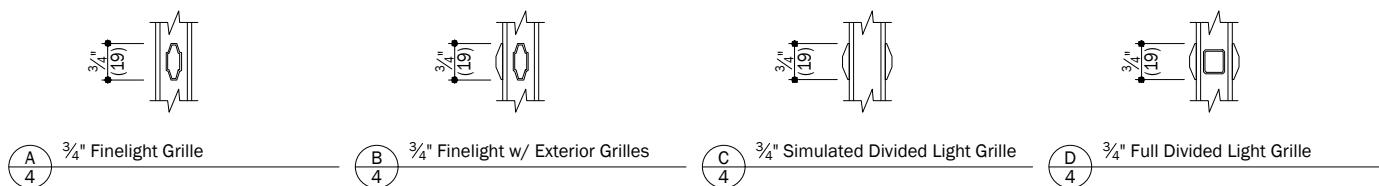
See Page 4 for Accessories

Date: 02/05/18  
Scale: 3" (76) = 1' (305)

# 100 Series

WINDOWS + DOORS **Andersen** 

Single-Hung Windows  
Without Flange  
Accessories



## Notes:

Details have been optimized for use in architectural software and do not match manufacturing specifications.  
Dimensions in parentheses are in millimeters.

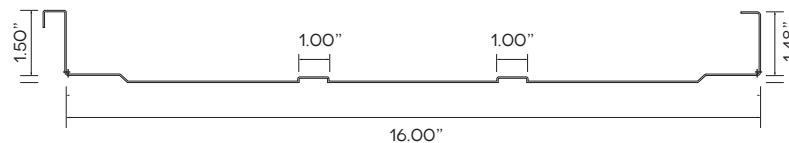
Date: 02/05/18  
Scale: 3" (76) = 1' (305)



## ML-150 1.5" MECHANICAL LOCK

# ML-150 1.5" MECHANICAL LOCK

## STANDING SEAM SYSTEMS



The **ML-150** Mechanical Lock (1.5" High Standing Seam) features structural performance as well as architectural aesthetics. **ML-150** Panels can be factory formed and/or fabricated, for all substrates, at project locations. Utilizes concealed fasteners with a fixed and/or floating clip system. The floating clip system reduces the effects of thermal stresses on the panels helping to maintain a beautifully smooth, and uniform appearance, despite fluctuations in temperature.

**ML-150** Mechanical Lock Panel is a mechanically seamed, vertical leg, standing seam roof system that combines a 1.5 inch tall slim rib with exceptional uplift resistance. **ML-150** Panels are designed to withstand the most rigorous weather conditions. The **ML-150** Panel is available in a 16-inch width and allows for the installation directly over purlins and bar joists.

### Features

- 24 GA steel
- Colors available on standard, premium and metallic.
- Coverage 16".
- On site factory made.
- Available in smooth, striated and stiffener ribs.
- UL Construction Numbers: TGKX5549.
- Uplift resistance of prepared roof-covering materials is UL2218 Class 90.
- Impact resistance of prepared roof-covering materials UL2218 Class 4.
- Fire tests of roof coverings UL790. External fire exposure.
- TDI Texas approved.

### Product Specifications

- Applications: Roof
- Coverage Widths: 16"
- Minimum Slope: 1/2:12
- Panel Attachment: Standing Seam System, Clip (fixed or floating).
- Gauges: 24 (standard); 22 and 26 (optional)
- Finishes: Smooth, Striated and Stiffener Ribs.
- Coatings: Galvalume®, Durapon 70®, Ceranamel®.





PANEL JOINTS  
90° SEAMED

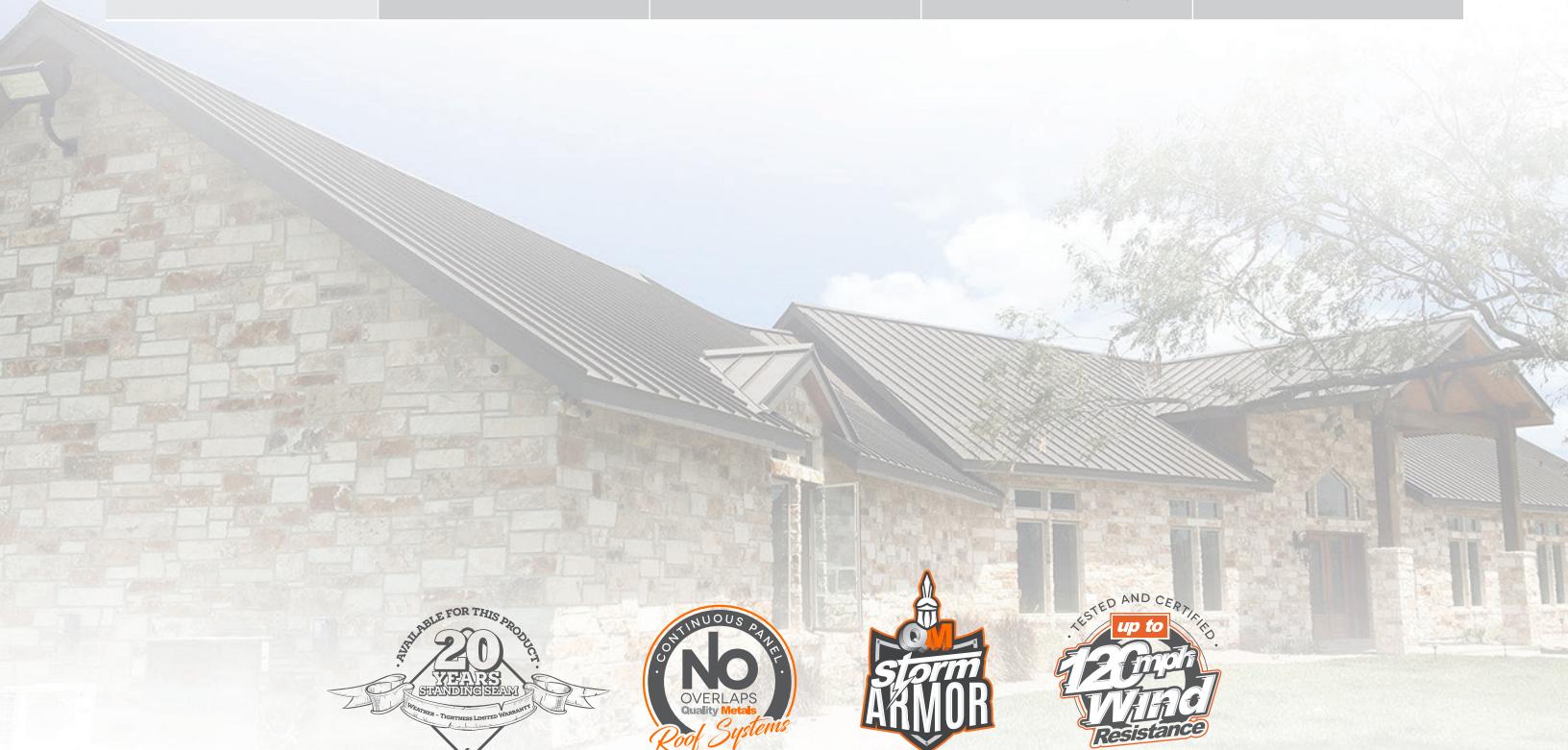
PANEL JOINTS  
180° SEAMED

# ML-150

1.5" MECHANICAL LOCK



CATEGORY	CHARACTERISTIC	TEST METHOD	PURPOSE	RESULT
ENVIRONMENTAL	Impact Resistance	UL 2218	Determines Impact Resistance of prepared Roof Covering Materials	CLASS 4 RATING
FIRE RESISTANCE	Room Fire Performance	UL 790	Standard for Standard Test Methods for Fire Tests of Roof Coverings	CLASS A FIRE RATING
	Room Fire Performance	UL 263	Standard for Standard Test Methods for Fire Tests of Roof Coverings	For use in Design Nos. TGKX554



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✓ FEATURED IN SCENE

SW 7048  
**Urbane Bronze**  
Locator Number: 245-C7

✓ FEATURED IN SCENE

SW 7047  
**Porpoise**  
Locator Number: 245-C6



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