



1 inch equals 167 feet

"NOT TO SCALE, FOR ILLUSTRATIVE PURPOSES ONLY"

Board of Adjustment
Notification Plan for
Case No A-20-10300134



- San Antonio City Limits 
- Subject Property 
- 200' Notification Boundary 
- Council District: 2

Development Services Department
 City of San Antonio

BOA-20-10300134

Subject Property: 311 Spriggsdale



Subject Property

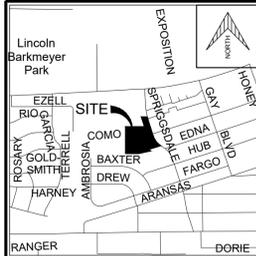


Adjacent Property



Neighboring Property



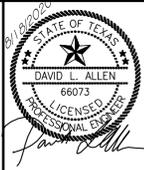
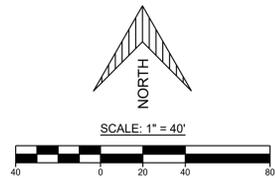


NOTE: REFERENCE GENERAL NOTES ON SHEET C02.00 PRIOR TO BID AND CONSTRUCTION

Curve #	Length	Radius	Delta	Tangent	Chord Bearing	Chord Length
C1	52.47'	537.92'	5°35'21"	26.26'	S 14°38'10" E	52.45'
C2	250.19'	347.00'	41°18'37"	130.81'	S 37°59'08" E	244.80'
C3	50.48'	547.00'	5°17'16"	25.26'	S 44°12'50" E	50.47'

ADA NOTE: ALL SIDEWALKS, CURBS, RAMPS, AND DRIVE APPROACHES IN THE RIGHT OF WAY SHALL BE IN COMPLIANCE WITH CURRENT TEXAS ACCESSIBILITY STANDARDS (TAS), BEXAR COUNTY AND CITY OF SAN ANTONIO DESIGN STANDARDS PRIOR TO FINAL INSPECTION.

NOTE: ALL ACCESSIBLE ROUTES SHALL HAVE A MAX CROSS SLOPE OF 2%. THE ACCESSIBLE ROUTE SHALL NOT EXCEED 8.33% RUNNING SLOPE. HANDRAILS SHALL BE INSTALLED ON RUNNING SLOPES GREATER THAN 5%.



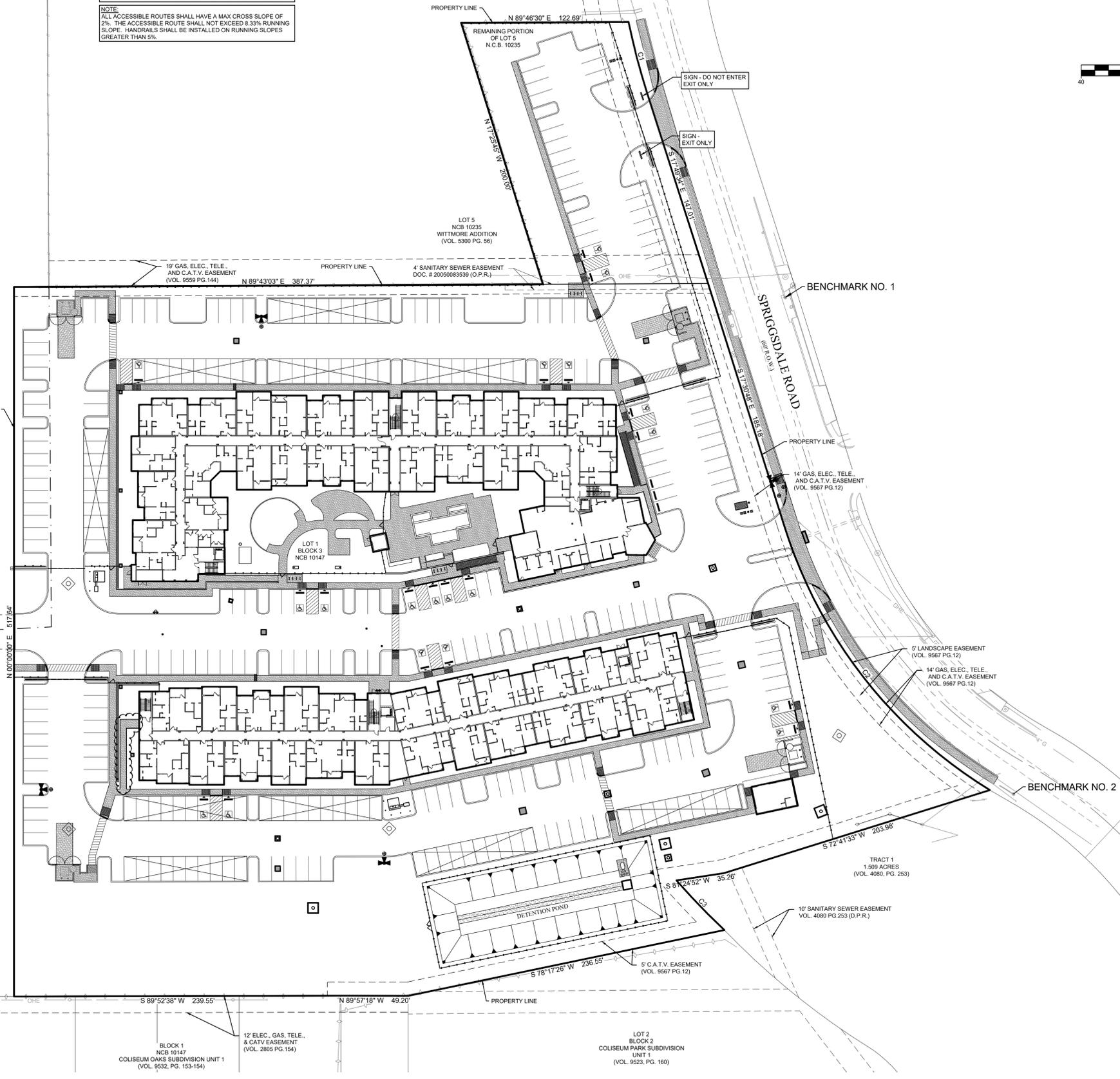
PRIMARY CONTACT: RICHARD HENDRIX, P.E.

MACINA • BOSE • COPELAND & ASSOC., INC.
 CONSULTING ENGINEERS AND LAND SURVEYORS
 1035 Central Parkway North, San Antonio, Texas 78232
 (210) 545-1122 Fax (210) 545-9302 www.mbcengineers.com
 FIRM REGISTRATION NUMBER: T.B.P.E. F-784 & T.B.P.L.S. 10011700



VILLAS AT ECHO EAST
 SAN ANTONIO, TEXAS
 OVERALL SITE PLAN

1. TOTAL ACREAGE = 7.22 ACRES
 2. USABLE ACREAGE = 7.22 ACRES
 3. ZONING = AE-3
 4. UNITS = 192
 5. TOTAL ONSITE PARKING
 - 5.1. REQUIRED (1.5 MIN. OR 2 MAX SPACES PER UNIT) = (SEE CHART BELOW)
 - 5.2. PROVIDED = 316
 - 5.2.1. STANDARD ONSITE PARKING
 - 5.2.1.1. PROVIDED = 221
 - 5.2.2. ACCESSIBLE ONSITE PARKING
 - 5.2.2.1. MINIMUM REQUIRED = 8
 - 5.2.2.2. PROVIDED = 8
 - 5.2.2.2.1. STANDARD ACCESSIBLE ONSITE PARKING
 - 5.2.2.2.1.1. PROVIDED = 4
 - 5.2.2.2.2. VAN ACCESSIBLE ONSITE PARKING
 - 5.2.2.2.2.1. MINIMUM REQUIRED = 4
 - 5.2.2.2.2.2. PROVIDED = 4
 - 5.2.3. COMPACT PARKING
 - 5.2.3.1. MAXIMUM (30%) = 116
 - 5.2.3.2. PROVIDED = 0
 - 5.2.4. TUCK UP GARAGES (BREEZEWAY GARAGES) = 0
 - 5.2.5. TANDEM PARKING = 0
 - 5.2.6. CARPORTS = 87 SPACES
 - 5.2.7. FREE-STANDING GARAGES = 0
 - 5.2.7.1. GARAGE STRUCTURE - TOTAL = 0
 - 5.2.7.2. GARAGE STRUCTURE - GROUND LEVEL = 0
 - 5.2.7.3. GARAGE STRUCTURE - ELEVATED = 0
 - 5.2.8. OFFSITE PARKING
 - 5.2.8.1. STANDARD = 0
 - 5.2.8.2. STANDARD OFFSITE ACCESSIBLE = 0
 - 5.2.8.3. VAN ACCESSIBLE OFFSITE ACCESSIBLE = 0
6. BIKE PARKING:
 - 6.1. REQUIRED (10% OF 1.5 SPACES PER UNIT (MAX 24 SPACES)) = 24
 - 6.2. PROVIDED = 24



Building Number	Type	Number of Units	Required Minimum Parking	Minimum parking	Required Maximum Parking	Maximum parking
1	Type A	8	1.5 per Unit	12	2 per Unit	16
	Type A1	31	1.5 per Unit	47	2 per Unit	62
	Type A1-HC	5	1.5 per Unit	8	2 per Unit	10
	Type B	12	1.5 per Unit	18	2 per Unit	24
	Type B1	27	1.5 per Unit	41	2 per Unit	54
	Type B1-HC	1	1.5 per Unit	2	2 per Unit	2
	Type B2	8	1.5 per Unit	12	2 per Unit	16
2	Type C	6	1.5 per Unit	9	2 per Unit	12
	Type C-HC	2	1.5 per Unit	3	2 per Unit	4
	Club House	4,732 sq. ft.	1 per 300 sq. ft.	16	1 per 200 sq. ft.	24
	Type A	8	1.5 per Unit	12	2 per Unit	16
	Type A1	16	1.5 per Unit	24	2 per Unit	32
	Type A1-HC	4	1.5 per Unit	6	2 per Unit	8
	Type B	16	1.5 per Unit	24	2 per Unit	32
3	Type B1	31	1.5 per Unit	47	2 per Unit	62
	Type B1-HC	1	1.5 per Unit	2	2 per Unit	2
	Type B2	0	1.5 per Unit	0	2 per Unit	0
	Type C	15	1.5 per Unit	23	2 per Unit	30
	Type C-HC	1	1.5 per Unit	2	2 per Unit	2
	Maintenance	634 sq. ft.	1 per 300 sq. ft.	2	1 per 200 sq. ft.	3
	Total Minimum			310	Total Maximum	411
				Provided Parking	316	

Date: Aug 18, 2020, 9:23am User: ID: rhodex Layout: OVERALL SITE PLAN File: C:\Users\rhodex\Documents\Projects\32271-Gardner - San Antonio Project\Design\Drawings\overall site plan.dwg Plot name: OVERALL SITE PLAN

REVISIONS:	DATE	DESCRIPTION	BY
No. 1	07-09-2020	PARKING SUMMARY ADDED PER CITY COMMENTS	RWH

PLAT ID: 20-11800273
 DESIGN: RH
 DRAWN: ADG
 CHECKED: DLA
 DATE: 03/13/2020

ISSUED FOR PERMIT
 08-18-2020
 JOB NO. 32271-1470
C05.00