

HISTORIC AND DESIGN REVIEW COMMISSION

September 05, 2018

HDRC CASE NO: 2018-303
COMMON NAME: Print Building
ADDRESS: 420 BROADWAY
LEGAL DESCRIPTION: NCB 432 (SAN ANTONIO LIGHT), BLOCK 16 LOT 14
ZONING: FBZ T6-1, HS, RIO-2
CITY COUNCIL DIST.: 1
LANDMARK: San Antonio Light Building
APPLICANT: Peter French/Gray Street Partners
OWNER: Graystreet 420 Broadway LLC
TYPE OF WORK: Exterior modifications to the Print Building and the construction of a connector addition to the Light Building
APPLICATION RECEIVED: July 13, 2018
60-DAY REVIEW: September 11, 2018
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Perform exterior modifications to the Print Building, located at the rear (east) of the property at 420 Broadway. These modifications include modifications to the existing façade.
2. Construct a two level, rooftop addition to the Print Building.

The construction of a vertical connector addition between the Light and Print Buildings and the construction of one level of subgrade parking beneath the Print Building received final approval at the August 15, 2018, Historic and Design Review Committee hearing.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations

10. Commercial Facades

A. MAINTENANCE (PRESERVATION)

- i. Character-defining features*—Preserve character-defining features such as cornice molding, upper-story windows, transoms, display windows, kickplates, entryways, tiled paving at entryways, parapet walls, bulkheads, and other features that contribute to the character of the building.
- ii. Windows and doors*—Use clear glass in display windows. See Guidelines for Architectural Features: Doors, Windows, and Screens for additional guidance.
- iii. Missing features*—Replace missing features in-kind based on evidence such as photographs, or match the style of the building and the period in which it was designed.
- iv. Materials*—Use in-kind materials or materials appropriate to the time period of the original commercial facade when making repairs.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. New features*—Do not introduce new facade elements that alter or destroy the historic building character, such as adding inappropriate materials; altering the size or shape of windows, doors, bulkheads, and transom openings; or altering the façade from commercial to residential. Alterations should not disrupt the rhythm of the commercial block.
- ii. Historical commercial facades*—Return non-historic facades to the original design based on photographic evidence. Keep in mind that some non-original facades may have gained historic importance and should be retained. When evidence is not available, ensure the scale, design, materials, color, and texture is compatible with the historic building. Consider the features of the design holistically so as to not include elements from multiple buildings and styles.

Historic Design Guidelines, Chapter 3, Guidelines for Additions

2. Massing and Form of Non-Residential and Mixed-Use Additions

A. GENERAL

- i. Historic context*—Design new additions to be in keeping with the existing, historic context of the block. For example, additions should not fundamentally alter the scale and character of the block when viewed from the public right-of-way.
- ii. Preferred location*—Place additions at the side or rear of the building whenever possible to minimize the visual impact on the original structure from the public right of way. An addition to the front of a building is inappropriate.
- iii. Similar roof form*—Utilize a similar roof pitch, form, and orientation as the principal structure for additions, particularly for those that are visible from the public right-of-way.
- iv. Subordinate to principal facade*—Design additions to historic buildings to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- v. Transitions between old and new*—Distinguish additions as new without distracting from the original structure. For example, rooftop additions should be appropriately set back to minimize visibility from the public right-of-way. For side or rear additions utilize setbacks, a small change in detailing, or a recessed area at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

B. SCALE, MASSING, AND FORM

- i. Height*—Limit the height of side or rear additions to the height of the original structure. Limit the height of rooftop additions to no more than 40 percent of the height of original structure.
- ii. Total addition footprint*—New additions should never result in the doubling of the historic building footprint. Full-floor rooftop additions that obscure the form of the original structure are not appropriate.

UDC Section 35-676 – Alteration, Restoration and Rehabilitation

In considering whether to recommend approval or disapproval of an application for a certificate to alter, restore, rehabilitate, or add to a building, object, site or structure, the historic and design review commission shall be guided by the National Park Service Guidelines in addition to any specific design guidelines included in this subdivision.

- (a) Every reasonable effort shall be made to adapt the property in a manner which requires minimal alteration of the building, structure, object, or site and its environment.
- (b) The distinguishing original qualities or character of a building, structure, object, or site and its environment, shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided when possible.
- (c) All buildings, structures, objects, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance are prohibited.
- (d) Changes that may have taken place in the course of time are evidence of the history and development of a building, structure, object, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
- (e) Distinctive stylistic features or examples of skilled craftsmanship, which characterize a building, structure, object, or site, shall be kept where possible.
- (f) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should reflect the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
- (g) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building's materials shall not be permitted.
- (h) Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.
- (i) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.
- (j) Wherever possible, new additions or alterations to buildings, structures, objects, or sites shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building, structure, object, or site would be unimpaired.

FINDINGS:

- a. The structure commonly known as the Print Building at 420 Broadway was constructed circa 1969. The structure has been connected to the historic Light Building by a sky bridge since its construction. The applicant has proposed to remove the sky bridge and construct a connector addition to connect the Print Building to the Light Building as well as perform exterior modifications to the Print Building. The east elevation is relatively void of fenestration; however, the north and south elevations feature fenestration that covers most of the façade. The entire parcel at 420 Broadway is a locally designated historic landmark and is located within the River Improvement Overlay, District 2. Prior to the issuance of a Certificate of Appropriateness, the original façade on both the west and south facades was removed.
- b. PREVIOUS APPROVAL – This request was reviewed by the Historic and Design Review Commission at the August 15, 2018, Historic and Design Review Commission hearing. At that hearing, the Commission issued final approval of the construction of a connector addition between the Light and Print Buildings and construction of one level of subgrade parking beneath the Print Building. Conceptual approval was issued for the proposed façade modifications and construction of a two level, rooftop addition.
- c. PRINT BUILDING MODIFICATIONS – The Print Building currently features a tan brick façade with fenestration patterns framed by cast stone. The UDC Section 35-676 notes that every reasonable effort shall be made to adapt the property in a manner which requires minimal alteration of the building, structure, object, or site and its environment. The UDC also notes that the distinguishing original qualities or character of a building, structure, object, or site and its environment, shall not be destroyed. Per the Historic Design Guidelines, Guidelines for Exterior Maintenance and Alterations 10.A., character defining features of structures zoned historic should be preserved. The removal or alteration of any historic material or distinctive architectural features shall be avoided.
- d. PRINT BUILDING MODIFICATIONS – Removal of the existing brick and fenestration patterns of the Print Building began prior to the issuance of a Certificate of Appropriateness. Since that time, the applicant has modified the proposed modifications to be in keeping with the architecture of the original design. The applicant has provided design documents noting consistencies with the original and proposed design. Staff finds the proposed façade arrangement and fenestration patterns to be appropriate.
- e. PRINT BUILDING FAÇADE DETAILS – The existing façade features fenestration patterns that are framed by case stone. The applicant has noted that these elements will be incorporated into the proposed modifications. Staff finds this appropriate. Additionally, staff recommends that the applicant work to incorporate the concrete shelf on the existing east façade into the proposed east façade as well as green, spandrel panels, comparable to those that currently exist.
- f. PRINT BUILDING MATERIALS – The applicant has noted materials that include tan brick comparable in color to the brick that currently exists, channel glass, metal façade panels and glazing. Staff finds that these materials are in keeping with the structure's original materials.
- g. PRINT BUILDING ADDITION – The applicant has proposed an addition of two levels to the rooftop of the Print Building. The UDC Section 35-676 notes that new additions shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building or structure would be unimpaired. The applicant has designed the proposed addition in a manner that is in keeping with the architecture of the original structure. The applicant has proposed materials, a roof form and fenestration patterns that are appropriate.
- h. ARCHAEOLOGY- The property is within the River Improvement Overlay District and is a designated Local Historic Landmark. A review of historic archival maps shows structures within the project area as early as 1873. Furthermore, an 1848 property survey map identifies ditches, possibly associated with the nearby Acequa del Alamo or Navarro Acequia, within the project boundaries. Thus, the project area may contain sites, some of which may be significant. Therefore, archaeological investigations are required. The archaeology consultant should submit the scope of work to the Office of Historic Preservation for review and approval prior to beginning field efforts.

RECOMMENDATION:

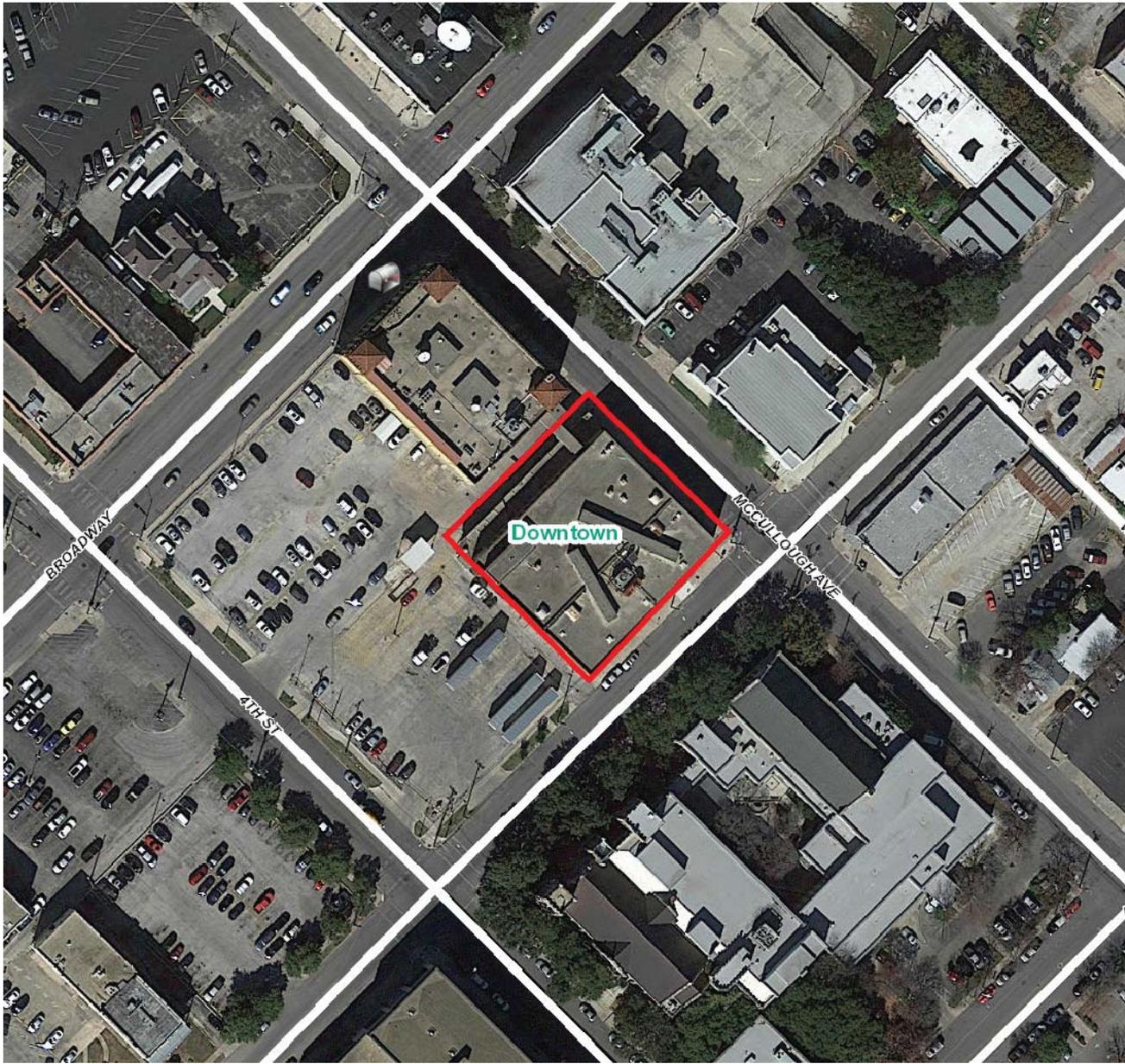
Staff recommends approval of items #1 and #2 based on findings a through h with the following stipulations:

- i. That every attempt be made to incorporate the existing concrete shelf into the proposed east façade and that green spandrel panels be incorporated into each glazing location, to match those which currently exist.

- ii. ARCHAEOLOGY- Archaeological investigations are required. The archaeological scope of work should be submitted to the Office of Historic Preservation archaeologists for review and approval prior to beginning field efforts. The development project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology.

CASE MANAGER:

Edward Hall



Flex Viewer

Powered by ArcGIS Server

Printed: Jun 26, 2018

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NO
PARKING
ANYTIME
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PARK
15







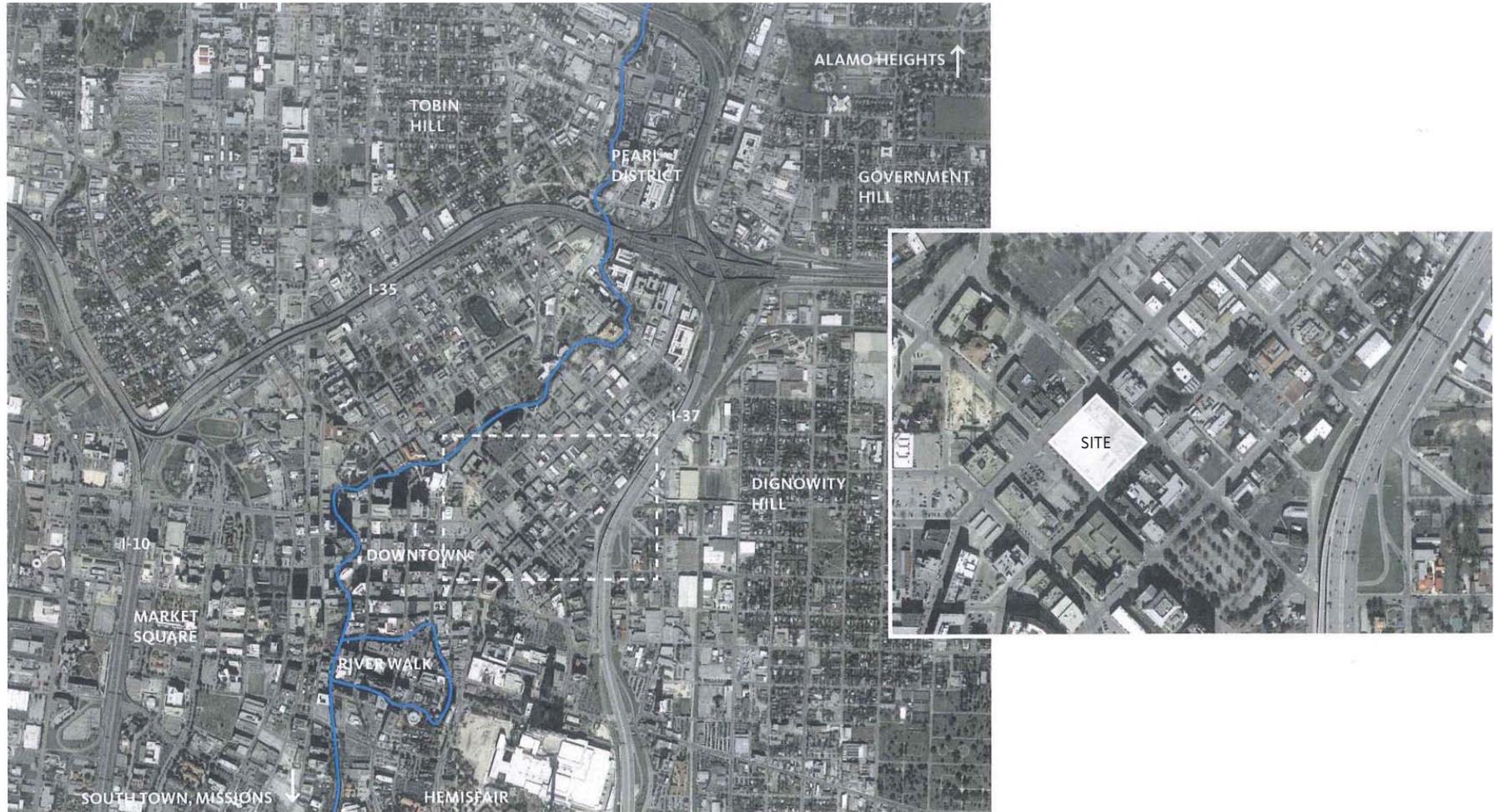
SPEED
LIMIT
5

The image shows a modern architectural courtyard. A wide, light-colored paved walkway leads from the foreground towards a building in the background. On the left, there are several large, mature green trees and a low concrete wall with a bench. On the right, there are tall, thin, light-colored trees and rows of ornamental grasses. The building in the background has a mix of white and brick facades with large windows. The overall scene is bright and well-lit, suggesting a sunny day.

SAN ANTONIO PRINT AND CONNECTOR BUILDING

SA Light & Print Buildings

LOCATION MAP



Site Plan

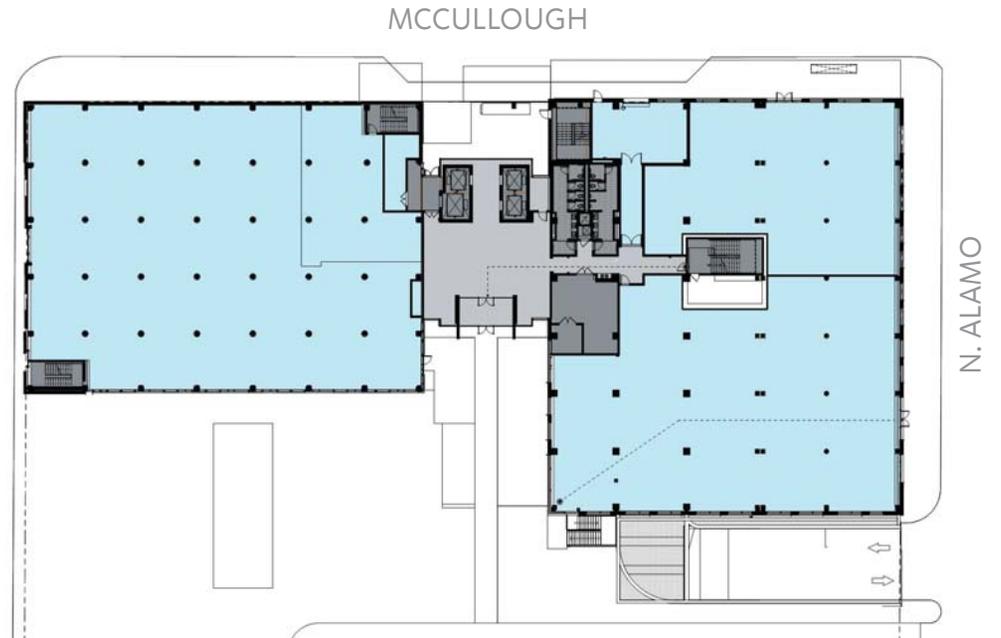
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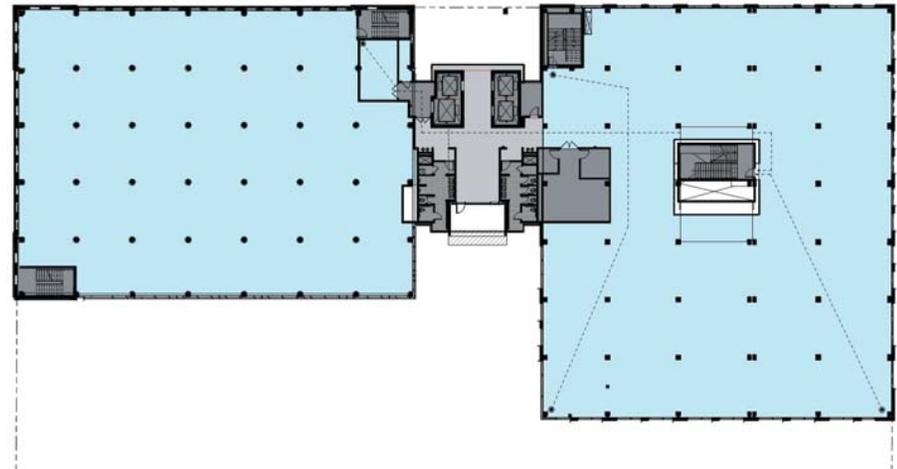
Floor Plans

LEVELS 1-2

LEVEL ONE

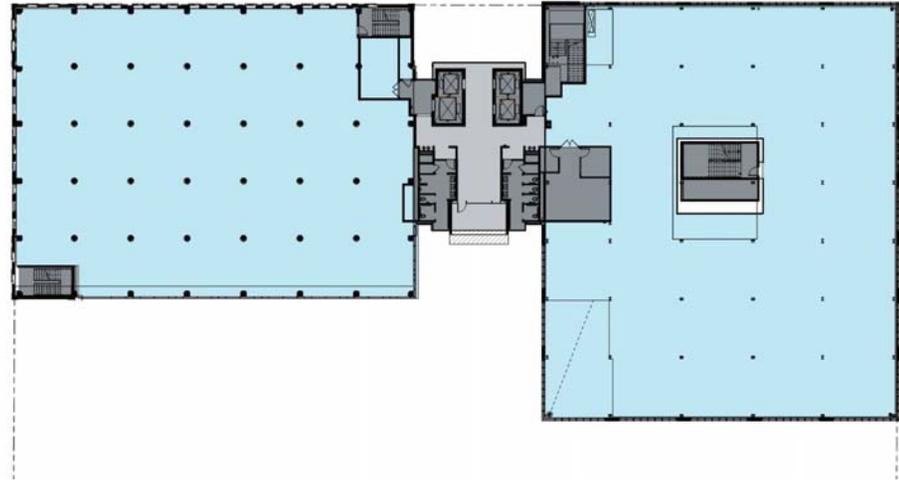


LEVEL TWO

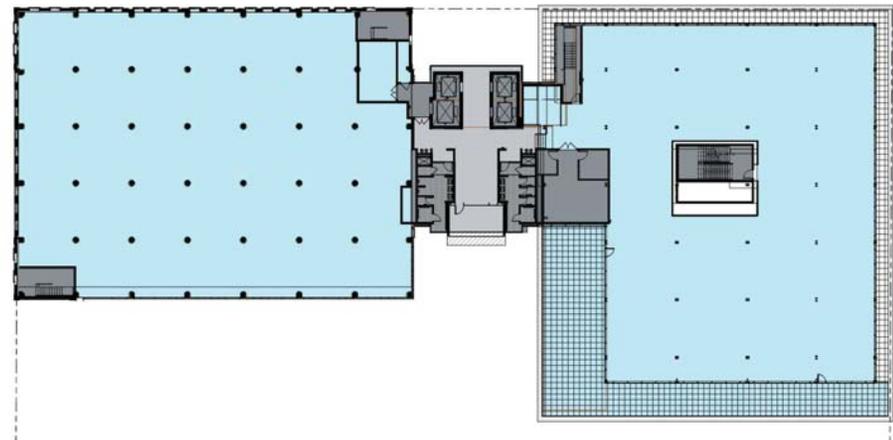


Floor Plans

LEVELS 3 -4



LEVEL THREE



LEVEL FOUR

Perspectives

SOUTHWEST AERIAL VIEW OF OVERALL SITE



Perspectives

VIEW OF CONNECTOR BUILDING FROM SOUTH



Perspectives

VIEW FROM SOUTHWEST



SA LIGHT PRINT BUILDING SAN ANTONIO, TEXAS

Gensler

AUGUST 2018

Perspectives

VIEW FROM NORTHEAST



SA LIGHT PRINT BUILDING SAN ANTONIO, TEXAS

Gensler

AUGUST 2018

Zoning

RIO DISTRICT DESIGN OBJECTIVES

(B) Design Objectives for “RIO-2” River Improvement Overlay District - 2.

- i. Encourage **high-density**, mixed-use developments as extensions of the downtown core.
- ii. **Extend the urban character of downtown**, as perceived from the river, throughout “RIO-2” so that it becomes a high density, mixed-use area.
- iii. **Create a positive pedestrian experience as perceived at the street edge.**
- iv. Encourage neighborhood and cultural tourism oriented uses as well as those that provide additional housing for downtown workers.
- v. **Enhance the pedestrian experience with high quality streetscape designs** and links to the public Riverwalk.
- vi. Emphasize the street edge to enhance the pedestrian experience through continuous building walls and well-designed streetscape.
- vii. Link the public Riverwalk with street edges to maintain adequate pedestrian circulation and views of both the street and the river.
- viii. **Maximize usable open space** to provide opportunities for passive recreation and community gathering.
- ix. **Enhance the pedestrian experience with high-quality building designs that include balconies** facing the river and primary entrances facing the street.
- x. Design buildings to **maintain the human scale** of the environment.
- xi. **Ensure adequate solar access.**
- xii. Use **varied materials and forms, including balconies, to provide visual interest.**
- xiii. Orient primary building entrances toward the street, but buildings should also have entrances facing the river, which are subordinate in character and scale to street entrances.

Enhance the pedestrian experience with high quality streetscape designs

Varied materials and forms, including balconies, to provide visual interest.

Maximize usable open space to provide opportunities for passive recreation & community gathering.



Zoning

BUILDING DESIGN PRINCIPLES IN RIOs 1 THROUGH 6

This section provides policies and standards for the design of commercial, multi-family developments in excess of eight (8) units, and single-family developments, and industrial buildings within the river improvement overlay districts. In general, principles focus on promoting buildings that will be compatible in scale and appear to ***“fit in the community by using materials and forms that part of the San Antonio design traditions.”***

b. **Mass and Scale.** A building shall appear to have a ***“human scale.”*** In general, this scale can be accomplished by using familiar forms and elements interpreted in human dimensions. Exterior wall designs shall help pedestrians establish a sense of scale with relation to each building. ***Articulating the number of floors in a building can help to establish a building’s scale,*** for example, and prevent larger buildings from dwarfing the pedestrian.

(3) Express the distinction between upper and lower floors.

A. ***Develop the first floor as primarily transparent.*** The building facade facing a major street shall have at least (50) percent of the street level facade are devoted to display windows and/ or windows affording some view into the interior areas. Multi-family residential buildings with no retail or office space are exempt from this requirement.

Articulating the number of floors in a building can help to establish a building’s scale.

Develop first floor as primarily transparent.



Zoning

BUILDING DESIGN PRINCIPLES IN RIOs 1 THROUGH 6

c. **Height.** Building heights vary along the river corridor, from one-story houses to high-rise hotels and apartments. The diversity of building heights is expected to continue. However, within each zone, a general similarity in building heights should be encouraged in order to help establish a sense of visual continuity. In addition, buildings heights shall be configured such that a comfortable human scale is established along the edges of properties and views to the river and other significant landmarks are provided while allowing the appropriate density for an area.

(3) *On the street-side, the building facade shall appear similar in heights to those of other buildings found traditionally in the area.*

If fifty (50) percent of the building facades within a block face are predominantly lower than the maximum height allowed, the new building facade on the street-side shall align with the average height of those lower buildings within the block face, or with a particular building that falls within the fifty (50) percent range. However, the remainder of the building may obtain its maximum height by stepping back fifteen (15) feet from the building face.

d. **Materials and Finishes.** *Masonry materials are well established as primary features along the river corridor and their use should be continued.* Stucco that is detailed to provide a texture and pattern, which conveys a human scale, is also part of the tradition. In general, materials and finishes that provide a sense of human scale, reduce the perceived mass of a building and appear to blend with the natural setting of the river shall be used, especially on major structures.

Building facade shall appear similar in heights to those of other buildings found traditionally in the area.



Masonry materials are well established as primary features along the river corridor and their use should be continued.

Zoning

BUILDING DESIGN PRINCIPLES IN RIOs 1 THROUGH 6

b. **Facade Composition.** Traditionally, many commercial and multi-family buildings in the core of San Antonio have had facade designs that are organized into three (3) distinct segments: *First, a “base” exists*, which establishes a scale at the street level; second a “mid-section,” or shaft is used, which may include several floors. Finally *a “cap” finishes the composition*. The cap may take the form of an ornamental roof form or decorative molding and *may also include the top floors of the building*. This organization helps to give sense of scale to a building and its use should be encouraged.

In order to maintain the sense of scale, buildings should have the same setback as surrounding buildings so as to maintain the street-wall pattern, if clearly established.

(1) **Street Facade.** Buildings that are taller than the street-wall sixty (60) feet shall be articulated at the stop of the street wall or stepped back in order to maintain the rhythm of the street wall. Buildings should be composed to include *a base, a middle and a cap.*

(2) **Fenestration.** Windows help provide a human scale and so shall be proportioned accordingly.

A. Windows shall be recessed at least two (2) inches within solid walls (not part of a curtain wall system).

B. Windows should relate in design and scale to the spaces behind them.

C. Windows shall be used in heirarchy to articulate important places on the facade and grouped to establish rhythms.

D. Curtain wall systems shall be designed with modulating features shuch as projecting horizontal and/or vertical mullions.



A “cap” finishes the composition.

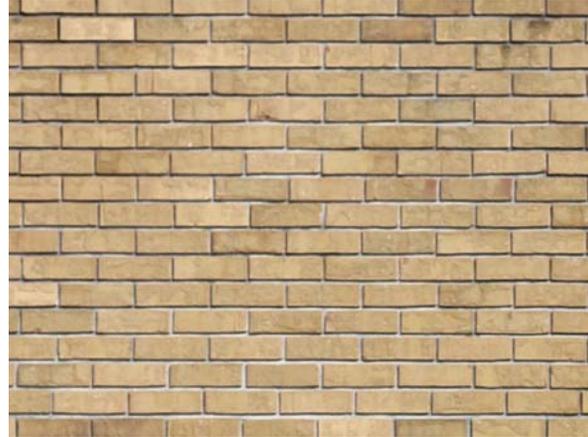
Windows shall be used in heirarchy to articulate important places on the facade and grouped to establish rhythms.

Facade

MATERIALS



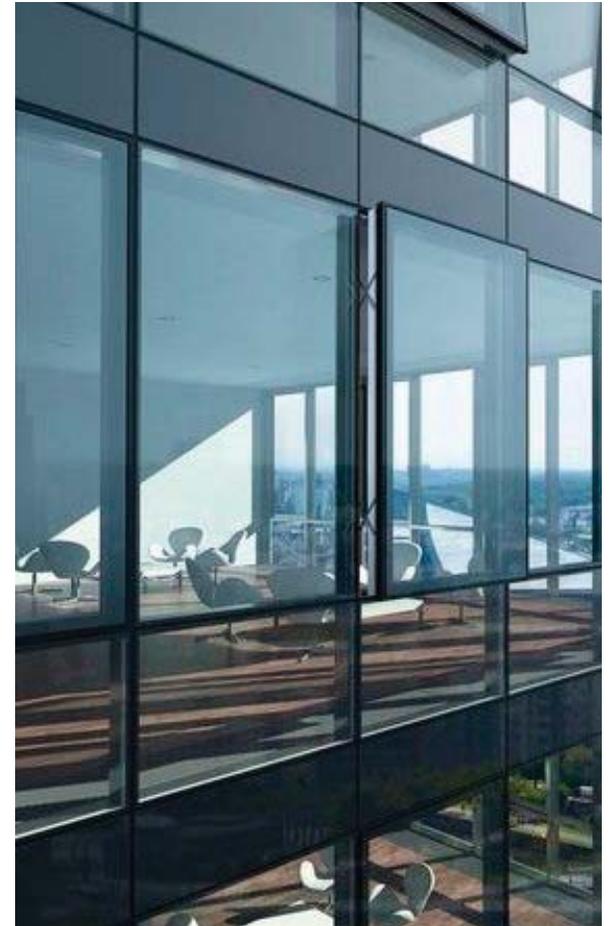
Metal panel and brick



Brick



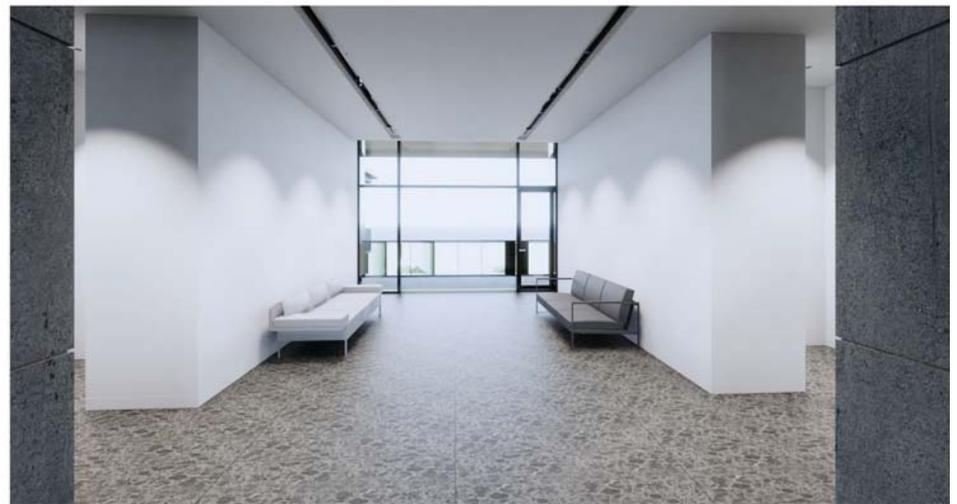
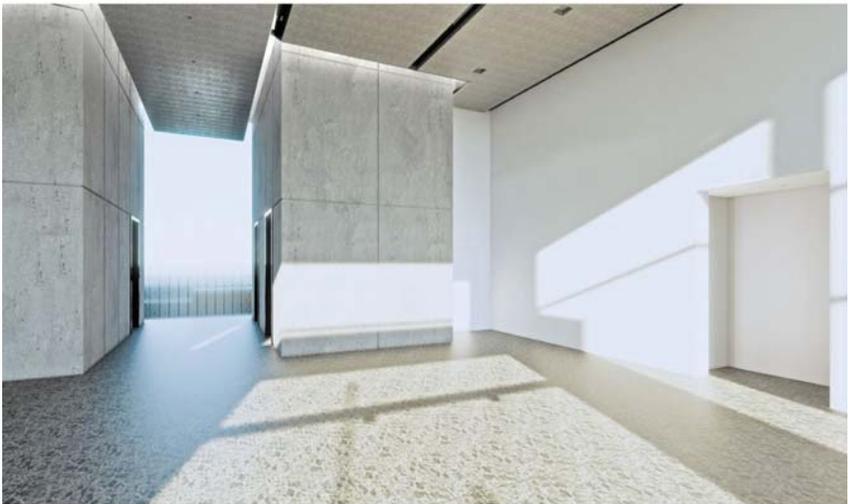
Channel glass



Window wall

Interiors

CREATIVE, MODERN OFFICE



SA LIGHT PRINT BUILDING SAN ANTONIO, TEXAS

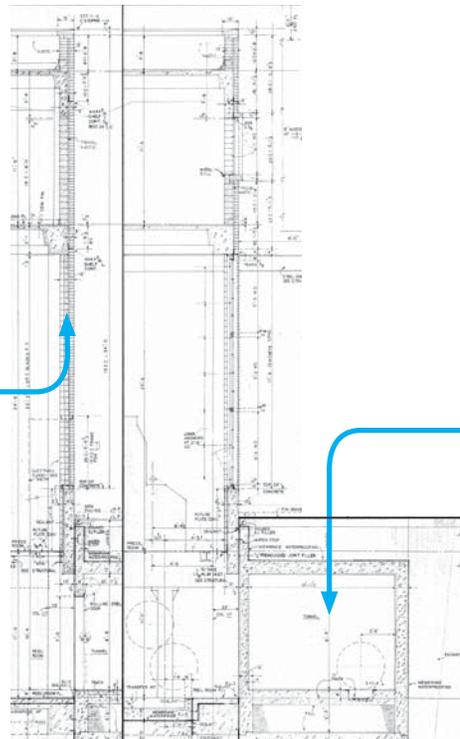
Gensler

AUGUST 2018

Wall Sections

EXISTING AND PROPOSED

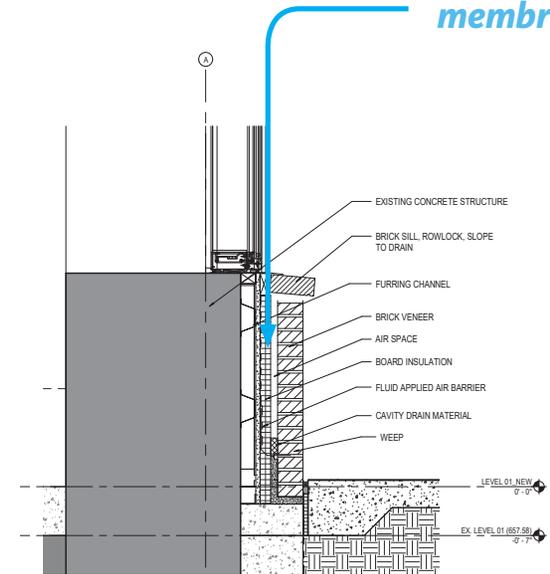
Existing masonry backup with asbestos mastic (no cavity)



1968 WALL SECTION

Ramp down aligns with existing tunnel

New cavity for insulation and waterproofing membrane



PROPOSED WALL SECTION AND DETAIL

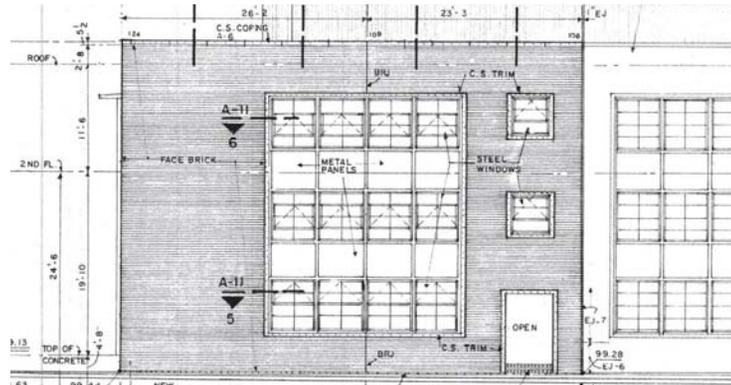
Facade

EXISTING CONDITIONS

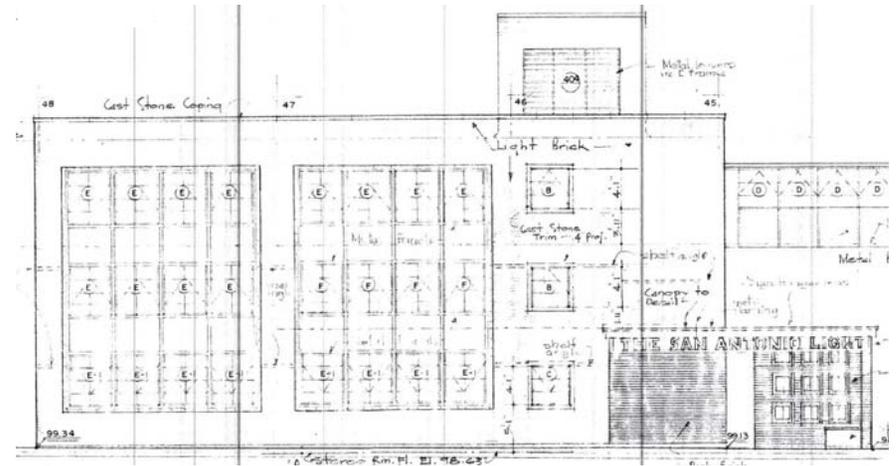


North Elevation

PAST AND PRESENT



1968 NORTH ELEVATION



1962 NORTH ELEVATION



CURRENT NORTH ELEVATION

North Elevation

PROPOSED



North Elevation

PROESS DIAGRAMS



EXISTING NORTH ELEVATION 1962 + 1968 ADDITION

North Elevation

PROESS DIAGRAMS



MAINTAINS EXISTING CAST STONE PARAPET LINE

North Elevation

PROESS DIAGRAMS



FLOOR LEVELS ALIGN TO ADJACENT LIGHT BUILDING

East Elevation

PRESENT



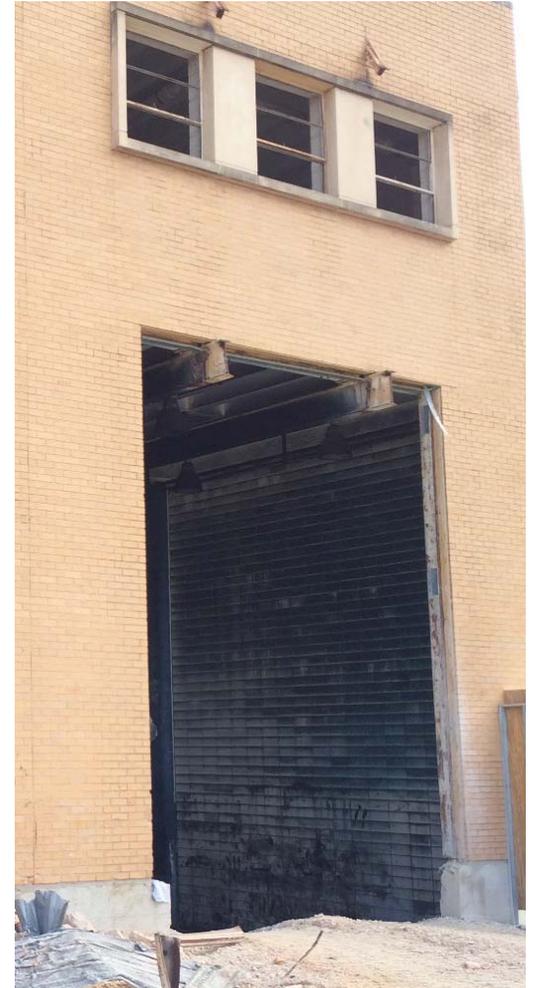
Northeast View

PROPOSED



South Elevation

PRESENT



South Elevation

PROPOSED

