

HISTORIC AND DESIGN REVIEW COMMISSION

March 20, 2019

HDRC CASE NO: 2019-111
ADDRESS: 420 N CHERRY
LEGAL DESCRIPTION: NCB 568 BLK 47 LOT SE 47.7 X 50 FT OF 1 & S 50 FT OF 2
ZONING: RM-4, H
CITY COUNCIL DIST.: 2
DISTRICT: Dignowity Hill Historic District
APPLICANT: Adolfo Guzman
OWNER: Lisa Guzman
TYPE OF WORK: Construction of a rear addition, roof modifications, window replacement, rehabilitation, Historic Tax Certification
APPLICATION RECEIVED: March 01, 2019
60-DAY REVIEW: April 30, 2019
CASE MANAGER: Edward Hall

REQUEST:

The applicant is requesting conceptual approval to:

1. Perform rehabilitative scopes of work including foundation leveling and repair and repair the existing stucco façade.
2. Replace the existing, standing seam metal roof with a new standing seam metal roof.
3. Replace fifteen (15) wood windows with aluminum windows.
4. Construct a rear addition of 216 square feet.
5. Modify the existing roof by raising the top plate height by two (2) feet.
6. Receive Historic Tax Certification.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations

2. Materials: Masonry and Stucco

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. Patching—Repair masonry or stucco by patching or replacing it with in-kind materials whenever possible. Utilize similar materials that are compatible with the original in terms of composition, texture, application technique, color, and detail, when in-kind replacement is not possible. EIFS is not an appropriate patching or replacement material for stucco.

3. Materials: Roofs

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

vi. *Materials: metal roofs*—Use metal roofs on structures that historically had a metal roof or where a metal roof is appropriate for the style or construction period. Refer to Checklist for Metal Roofs on page 10 for desired metal roof specifications when considering a new metal roof. New metal roofs that adhere to these guidelines can be approved administratively as long as documentation can be provided that shows that the home has historically had a metal roof.

6. Architectural Features: Doors, Windows, and Screens

A. MAINTENANCE (PRESERVATION)

- i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.

- iv. Screens and shutters*—Preserve historic window screens and shutters.
- v. Storm windows*—Install full-view storm windows on the interior of windows for improved energy efficiency. Storm window may be installed on the exterior so long as the visual impact is minimal and original architectural details are not obscured.

Historic Design Guidelines, Chapter 3, Guidelines for Additions

1. Massing and Form of Residential Additions

A. GENERAL

- i. Minimize visual impact*—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.
- ii. Historic context*—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.
- iii. Similar roof form*—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. Transitions between old and new*—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

B. SCALE, MASSING, AND FORM

- i. Subordinate to principal facade*—Design residential additions, including porches and balconies, to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- ii. Rooftop additions*—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.
- iii. Dormers*—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.
- iv. Footprint*—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.
- v. Height*—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

3. Materials and Textures

A. COMPLEMENTARY MATERIALS

- i. Complementary materials*—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.
- ii. Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alternations and Maintenance section for additional specifications regarding metal roofs.
- iii. Other roofing materials*—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

B. INAPPROPRIATE MATERIALS

- i. Imitation or synthetic materials*—Do not use imitation or synthetic materials, such as vinyl siding, brick or simulated stone veneer, plastic, or other materials not compatible with the architectural style and materials of the original structure.

C. REUSE OF HISTORIC MATERIALS

- i. Salvage*—Salvage and reuse historic materials, where possible, that will be covered or removed as a result of an addition.

4. Architectural Details

A. GENERAL

- i. Historic context*—Design additions to reflect their time while respecting the historic context. Consider character-defining

features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.

ii. Architectural details—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.

iii. Contemporary interpretations—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

FINDINGS:

- a. The historic structure at 420 N Cherry was constructed circa 1955. The structure does not appear on the 1951 Sanborn Map, but appears on a 1955 aerial photo. The structure features a front facing gabled roof, both front and side gabled porch roofs and a series of rear hipped and gabled roofs. The structure features a stucco façade, concrete porch, wrought iron porch columns and a standing seam metal roof.
- b. REHABILITATION – The applicant has noted repairs to the stucco façade as well as the leveling and replacement of damaged foundation piers and beams. Staff finds this scope of work to be appropriate; however, there should be no modifications to the profile and material of the foundation skirting.
- c. ROOFING – The applicant has proposed to replace the existing, standing seam metal roof with a new, standing seam metal roof. Staff finds this to be appropriate and consistent with the Guidelines. The proposed standing seam metal roof should feature panels that are 18 to 21 inches wide, seams that are 1 to 2 inches in height, a crimped ridge seam and a standard galvalume finish. A roof inspection must be scheduled with OHP staff prior to the installation of roofing materials.
- d. WINDOW REPLACEMENT – The applicant has proposed to replace the existing, wood windows with new, aluminum block frame windows. The Guidelines for Exterior Maintenance and Alterations 6.A.iii. notes that historic windows are to be preserved. Many window openings are currently covered by plywood. The applicant has provided photos from the interior of the structure which note that many sashes are intact. Staff finds that wood windows should be repaired and if replacement is necessary, the replacement windows should be wood, matching the original windows in profile. Additionally, staff finds that the size of original windows openings should be maintained. The large casement window openings originally would have featured ganged windows.
- e. REAR ADDITION – At the rear of the historic structure, the applicant has proposed to construct an addition of 216 square feet. The Guidelines for Additions 1.A. states that additions should be sited to minimize visual impact from the public right of way, should be designed to be in keeping with the historic context of the block, should utilize a similar roof form and should feature a transition between the old and the new. Generally, the proposed addition is consistent with the Guidelines. Per the submitted elevations, a visual break will be included on each façade. Staff finds that either a vertical detail or an inset in wall planes should be included.
- f. ROOF FORM – The Guidelines for Additions 1.B.iii. notes that dormers should be compatible in size, scale, proportion, placement and detail with the style of the house and should be located on non-primary facades. The applicant has proposed a rear addition to feature a rear facing hipped roof. Staff finds the proposed roof form to be appropriate and consistent with the Guidelines.
- g. MATERIALS – The applicant has proposed materials that include a stucco façade, a standing seam metal roof and aluminum windows. The proposed standing seam metal roof should feature panels that are 18 to 21 inches wide, seams that are 1 to 2 inches in height, a crimped ridge seam and a standard galvalume finish. A roof inspection must be scheduled with OHP staff prior to the installation of roofing materials.
- h. WINDOW MATERIALS – As noted in finding g, the applicant has proposed aluminum windows. Wood or aluminum clad wood windows are recommended and should feature an inset of two (2) inches within facades and should feature profiles that are found historically within the immediate vicinity. Meeting rails should be no taller than 1.25” and stiles no wider than 2.25”. White manufacturer’s color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and an architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening.
- i. ARCHITECTURAL DETAILS – Generally, staff finds the proposed form and massing as well as the architectural details of the proposed addition to be appropriate and consistent with the Guidelines.

- j. ROOF HEIGHT MODIFICATION – The applicant has proposed to raise the top plate height of each wall by two (2) feet, resulting in an overall ridge height that is two (2) feet taller than its original height. The Guidelines for Exterior Maintenance and Alterations 3.B.ii. notes that original roof form, including shape, line, pitch and overhang should be preserved. Staff finds the proposed roof height modifications to be inappropriate and inconsistent with the Guidelines.
- k. HISTORIC TAX CERTIFICATION – The applicant has requested Historic Tax Certification. The applicant has submitted an itemized list of costs that meets the threshold to be eligible for Historic Tax Certification. The requirements for Historic Tax Certification outlined in UDC Section 25-618 have been met and the applicant has provided evidence to that effect to the Historic Preservation Officer including photographs, an itemized list of cost, and a timeline of completion. All scopes of work must be completed as approved through issued Certificates of Appropriateness to be eligible for Historic Tax Verification.

RECOMMENDATION:

- 1. Staff recommends approval of request item #1, foundation and stucco repair, based on finding b with the stipulation that there be no modifications to the profile and material of the foundation skirting.
- 2. Staff recommends approval of request item #2, the replacement of the existing standing seam metal roof, based on finding c with the stipulation that panels feature a width of 18 to 21 inches in width, seams that are 1 to 2 inches in height, a crimped ridge seam and a standard galvalume finish.
- 3. Staff does not recommend approval of request item #3, the replacement of the original wood windows, based on finding d. Staff recommends that all wood windows be repaired.
- 4. Staff recommends approval of request item #4, the construction of a rear addition based on findings e through i with the following stipulations:
 - i. That a vertical detail or a wall inset be incorporated to differentiate the proposed addition from the historic structure.
 - ii. That wood or aluminum clad windows be installed that feature an inset of two (2) inches within facades and should feature profiles that are found historically within the immediate vicinity. Meeting rails should be no taller than 1.25” and stiles no wider than 2.25”. White manufacturer’s color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and an architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening.
- 5. Staff does not recommend approval of item #5, roof height modifications, based on finding j.
- 6. Staff recommends approval of request item #6, Historic Tax Certification, based on finding k.

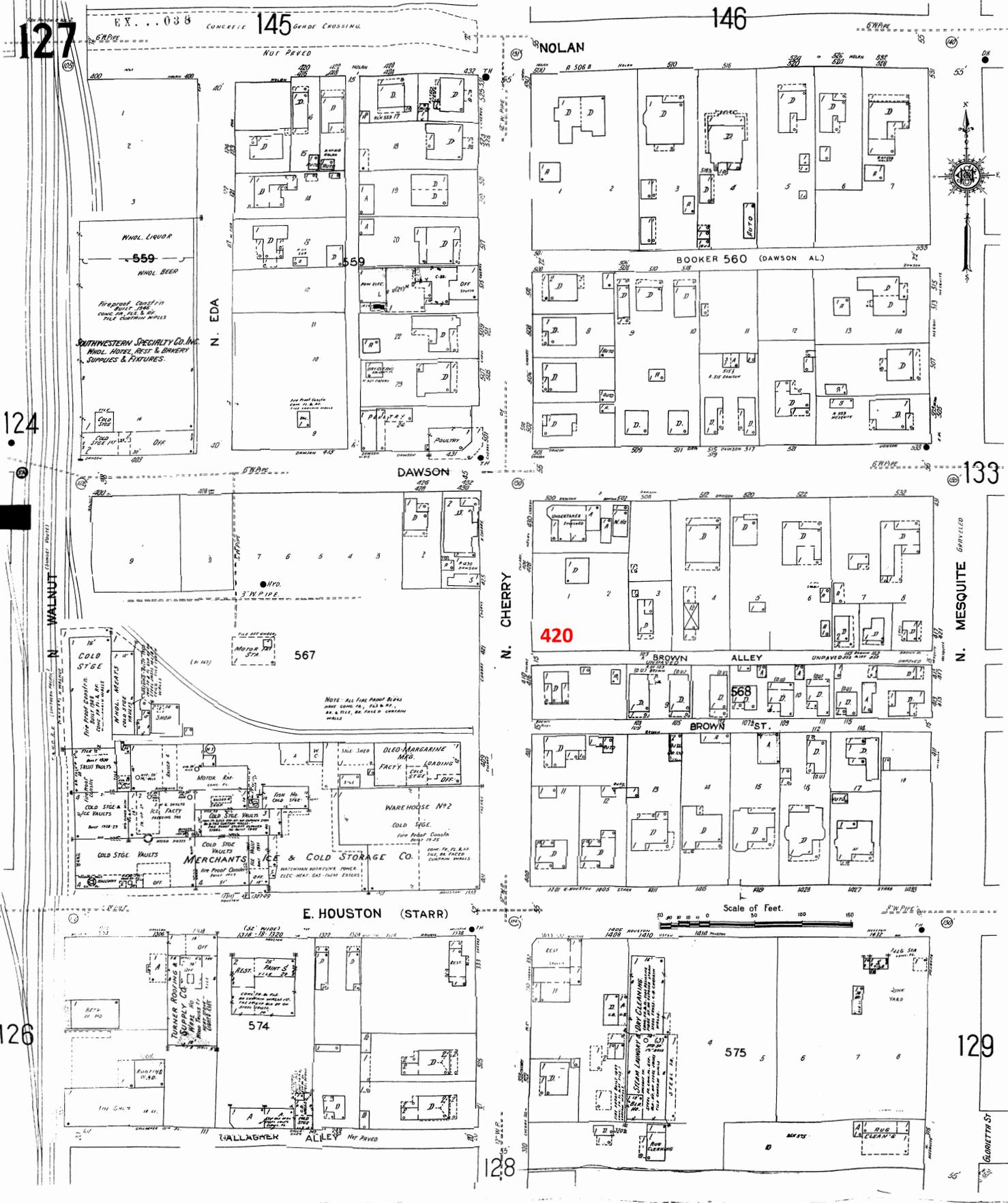


Flex Viewer

Powered by ArcGIS Server

Printed: Mar 08, 2019

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127

145

146

124

DAWSON

NOLAN

BOOKER 560 (DAWSON AL.)

133

N WALNUT

N. CHERRY

N. MESQUITE

E. HOUSTON (STARR)

Scale of Feet.

126

574

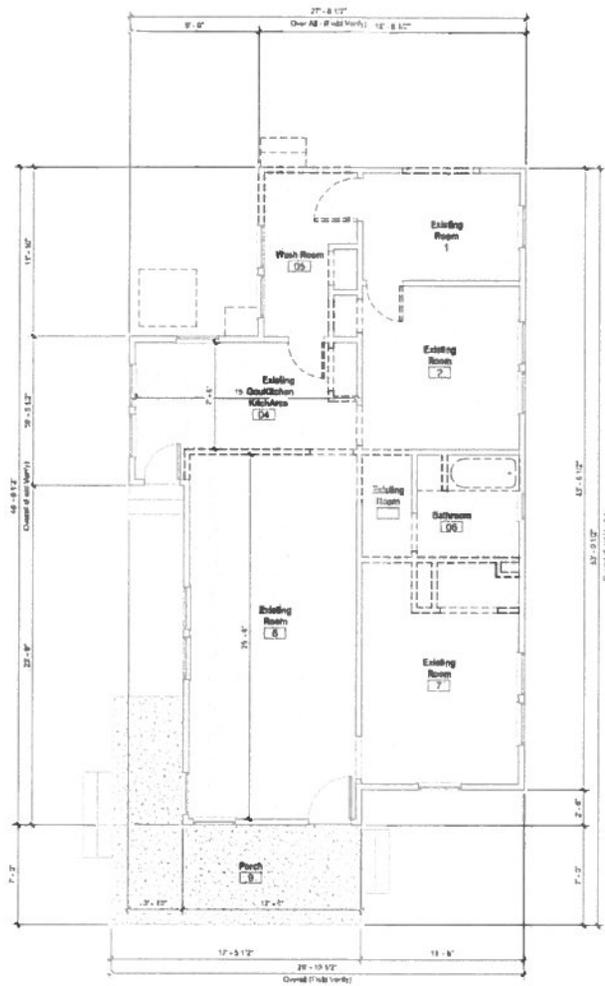
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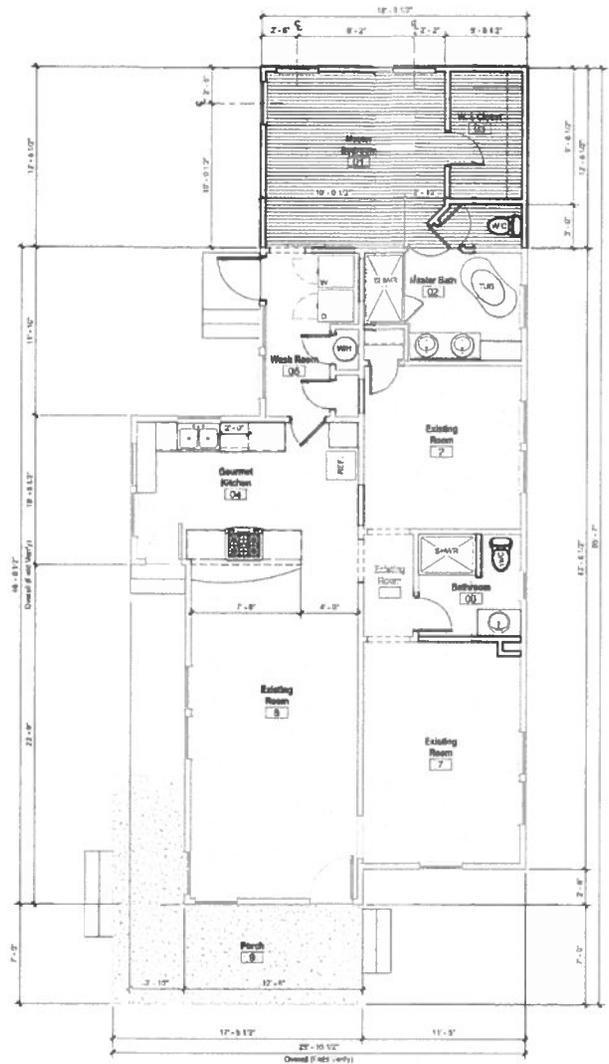
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GARNETT ST

1. Level Foundation with Engineering Report. Replace 4X6 beams to add support.
2. Raise Elevation of roof by 2 feet (roof pitch design will remain)
3. Exterior will match existing stucco with repairs to holes in existing exterior stucco
4. Replacing 15 existing windows matching original format using single hung double pane aluminium block framed windows with an inset of 2-3 inches
5. Roof- Metal roof 21 inch panels with crimped ridge seams.
6. Also elevate interior ceiling 1 1/2 feet inches by adding roof rafters, trusses, and ceiling joist
7. Add 12X18 stucco addition in rear of home. (plan attached)



EXISTG. & DEMO FLOOR PLAN
SCALE: 1/4" = 1'-0"



NEW FLOOR PLAN
SCALE: 1/4" = 1'-0"

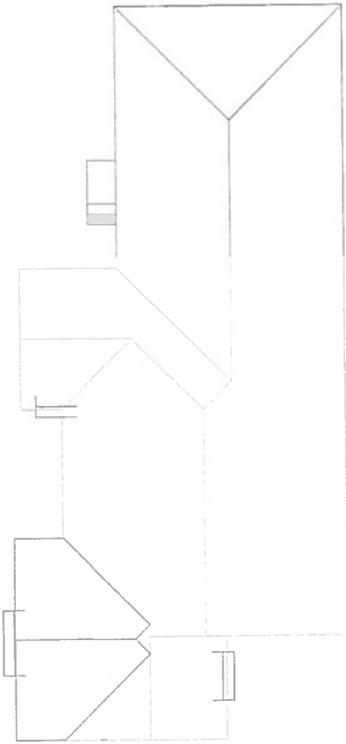
FOR REVIEW ONLY

These drawings are incomplete and shall not be used for regulatory approval, permit or construction.

A Restoration Design Project For:
Lois Gorman
Dignitary Historical Residence



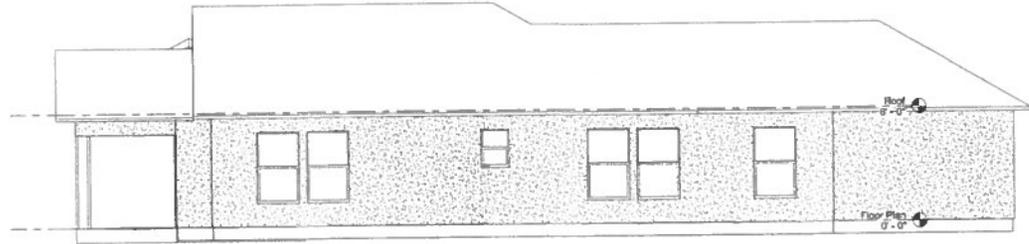
191224
1st FLOOR
PLAN
ALI
03



5 NEW ROOF PLAN
SCALE: 3/16" = 1'-0"



01 SOUTH
SCALE: 1/8" = 1'-0"



2 EAST
SCALE: 1/8" = 1'-0"



3 NORTH
SCALE: 3/8" = 1'-0"



4 WEST
SCALE: 1/8" = 1'-0"

FOR REVIEW ONLY

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Lisa Coeman
Dignity Historian Restorer
1414 S. 11th St.
Tulsa, OK 74106

DESIGN ON ME
STUDIO
ARCHITECTURE
210 W. 57th St.
Tulsa, OK 74106
918.438.1111

DATE: 08/01/18
DRAWN BY: [Signature]
CHECKED BY: [Signature]

NO.	DESCRIPTION	DATE

191224
2nd Flr

EXTERIOR ELEVATIONS

ASI
P. 03



North
↙ west

Eastside

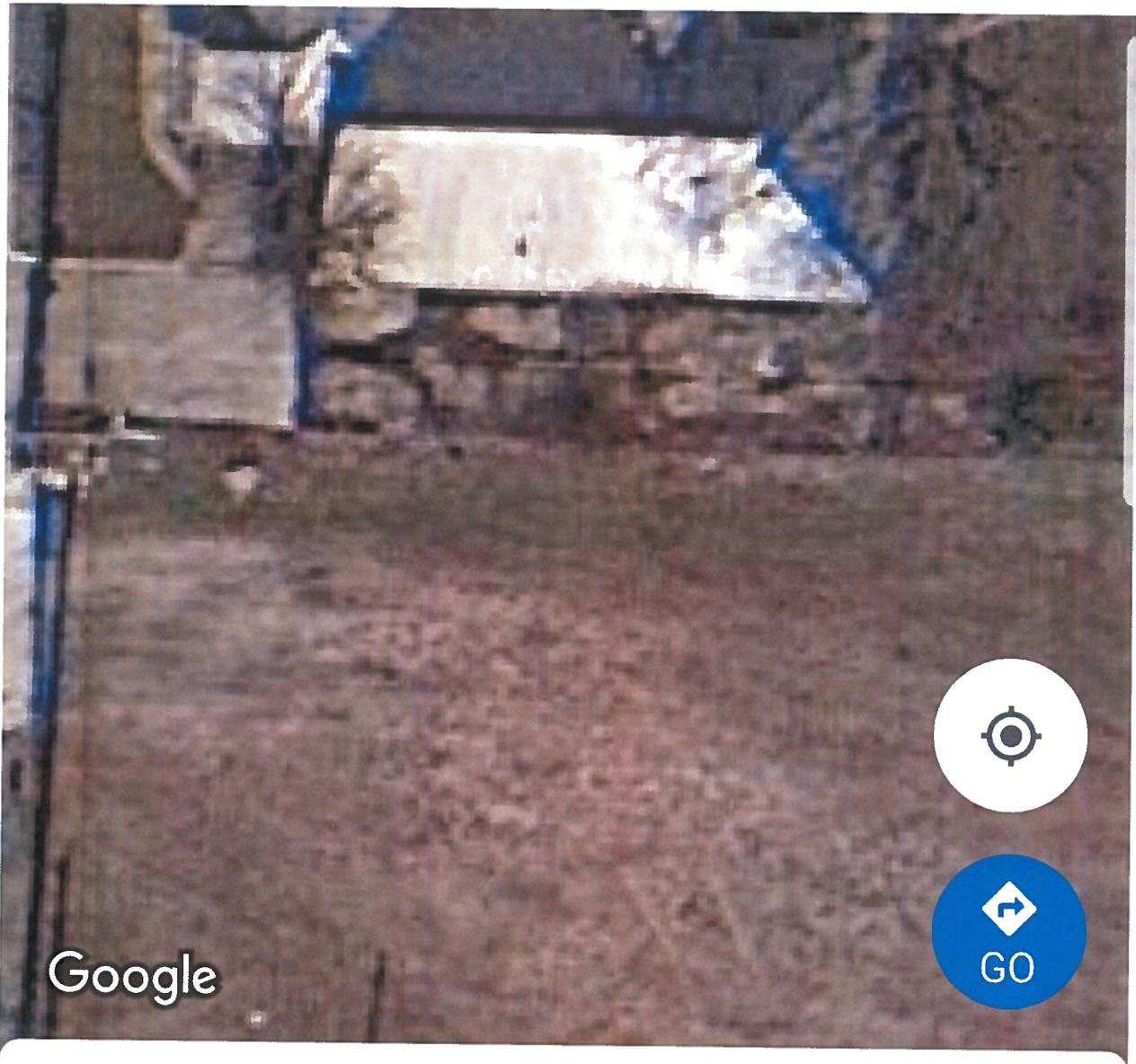


60% 6:50 PM



Try gas stations, ATMs





Google

Explore nearby


Explore


Commute


For you

Aerial
ROOF



Living Room



1st Room Existing



2nd Room middle



Laundry room



kitchen





3 small bedroom

420 N. Cherry Projected Timeline 6 months

Pre-Construction: secure permits and approvals through historic district

Weeks 1-4: Foundation repair- leveling home
Start demo of inside of home taking off sheetrock

Weeks 5-12: Frame walls and roof to include new addition sheath and place new metal roof. Install and frame new windows.

Weeks 13-16: Install electrical, plumbing, insulation, drywall, texture and new HVAC Systems

Weeks 17-19: Complete the flooring, doors, cabinets, paint, trim, and molding

Weeks 20-24: Install fixtures, appliances, countertops, outlets and switch covers.
Complete final plumbing and electrical. Landscape and fencing. Turn on electrical and HVAC Systems. Final Inspections.

Once approved formal closeout performed.

Statement of Expected Cost

Foundation- \$7,000
New Addition- \$15,000
Roof- \$12,000
Framing- \$8,000
Remodeled secondary bathroom- \$7,000
Addition of Master Bathroom- \$7,500
Plumbing- \$7,000
Electrical- \$7,000
HVAC- \$7,000
Flooring- \$5,000
Fixtures- \$3,500
Cabinets- \$4,500
Interior Paint-\$6,000
Exterior Stucco- \$2,500
Landscaping- \$1,000

Total Renovation Cost- \$100,000