

# HISTORIC AND DESIGN REVIEW COMMISSION

October 16, 2013  
Agenda Item No: 17

**HDRC CASE NO:** 2013-283  
**ADDRESS:** 408 E. Houston  
**LEGAL DESCRIPTION:** NCB 416 BLK 23 LOT 22 (SAT HOUSTON SUBD)  
**ZONING:** D H HS RIO-3  
**CITY COUNCIL DIST.:** 1  
**DISTRICT:** Alamo Plaza Historic District  
**LANDMARK:** Yes - Alterman's and United Cigar Building  
**APPLICANT:** Nick Naik  
**OWNER:** SA Hou Alamo LLC  
**TYPE OF WORK:** Revisions to previously-approved scope  
**REQUEST:**

The applicant is requesting a Certificate of Appropriateness for approval of the following revisions to the hotel design at 408 E Houston:

1. Construct front (north) façade to include a 1'-9" setback beyond the adjacent Maverick Building;
2. Reduce the building height;
3. Change pillars and canopy at rooftop terrace area; and
4. Implement minor changes to the fenestrations.

## APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 4, Guidelines for New Construction*

### 1. Building and Entrance Orientation

#### A. FAÇADE ORIENTATION

- i. *Setbacks*—Align front facades of new buildings with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Use the median setback of buildings along the street frontage where a variety of setbacks exist. Refer to UDC Article 3, Division 2. Base Zoning Districts for applicable setback requirements.
- ii. *Orientation*—Orient the front façade of new buildings to be consistent with the predominant orientation of historic buildings along the street frontage.

#### B. ENTRANCES

- i. *Orientation*—Orient primary building entrances, porches, and landings to be consistent with those historically found along the street

#### A. SCALE AND MASS

- i. *Similar height and scale*—Design new construction so that its height and overall scale are consistent with nearby historic buildings. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. In commercial districts, building height shall conform to the established pattern. If there is no more than a 50% variation in the scale of buildings on the adjacent block faces, then the height of the new building shall not exceed the tallest building on the adjacent block face by more than 10%.
- ii. *Transitions*—Utilize step-downs in building height, wall-plane offsets, and other variations in building massing to provide a visual transition when the height of new construction exceeds that of adjacent historic buildings by more than one-half story.

- iii. *Foundation and floor heights*—Align foundation and floor-to-floor heights (including porches and balconies) within one foot of floor-to-floor heights on adjacent historic structures.

#### B. ROOF FORM

i. *Similar roof forms*—Incorporate roof forms—pitch, overhangs, and orientation—that are consistent with those predominantly found on the block. Roof forms on residential building types are typically sloped, while roof forms on non-residential building types are more typically flat and screened by an ornamental parapet wall.

### C. RELATIONSHIP OF SOLIDS TO VOIDS

i. *Window and door openings*—Incorporate window and door openings with a similar proportion of wall to window space as typical with nearby historic facades. Windows, doors, porches, entryways, dormers, bays, and pediments shall be considered similar if they are no larger than 25% in size and vary no more than 10% in height to width ratio from adjacent historic facades.

ii. *Façade configuration*— The primary façade of new commercial buildings should be in keeping with established patterns. Maintaining horizontal elements within adjacent cap, middle, and base precedents will establish a consistent street wall through the alignment of horizontal parts. Avoid blank walls, particularly on elevations visible from the street. No new façade should exceed 40 linear feet without being penetrated by windows, entryways, or other defined bays.

### 3. Materials and Textures

#### A. NEW MATERIALS

i. *Complementary materials*—Use materials that complement the type, color, and texture of materials traditionally found in the district. Materials should not be so dissimilar as to distract from the historic interpretation of the district. For example, corrugated metal siding would not be appropriate for a new structure in a district comprised of homes with wood siding.

#### B. REUSE OF HISTORIC MATERIALS

*Salvaged materials*—Incorporate salvaged historic materials where possible within the context of the overall design of the new structure.

### 6. Mechanical Equipment and Roof Appurtenances

#### B. SCREENING

iii. *Roof-mounted equipment*—Screen and set back devices mounted on the roof to avoid view from public right-of-way.

### FINDINGS:

- a. A Certificate of Appropriateness for the construction of the hotel was approved on October 15, 2013, with the stipulation that the vehicular entry off of Houston Street be reduced to a single lane. The current proposal meets this requirement. Other revisions have been made to the design and have been submitted to HDRC review.
- b. These requests were reviewed by the Design Review Committee on November 13, 2014. The applicant noted that while the design of the building footprint has not been altered, it was previously unknown that the proposed hotel would extend slightly beyond the Maverick Building. The Maverick building is not aligned with the property line, resulting in the offset condition. The hotel will follow the property line and align with the building immediately to the east which is also located at the property line. The applicant clarified that the cornice of the Maverick Building, which extends over the property line, will terminate into the new building. The committee noted that the cornice of the Maverick was damaged at this corner and that the proposed offset was acceptable. The other changes were noted to not have any significant impacts.
- c. According to the Guidelines for New Construction 1.A.i., the front facades of new buildings should be aligned with the front facades of the adjacent buildings where there is a consistent setback. Staff finds that there is a consistent setback at this location, and generally along Houston Street. A survey by staff indicates that only the Vouge Building at Houston and Navarro extends beyond an adjacent building. The currently requested design indicates that the front façade will project approximately 1'-9" beyond the adjacent Maverick Building. This is not consistent with the Guidelines. However, given the irregularity of the buildings at this location, staff finds the offset to be acceptable.
- d. The reduction in building height has minimal impact to the approved design and the overall height remains consistent with the Guidelines for New Construction 1.A.i.

- e. The proposed changes to the rooftop terrace design also has minimal impact to the approved design and continues to provide an articulated “cap” consistent with the Guidelines for New Construction 1.C.ii.
- f. The changes to the fenestrations maintain traditional window alignment patterns consistent with the Guidelines for New Construction 1.C.i.

**RECOMMENDATION:**

1-4. Staff recommends approval as submitted based on findings b through f.

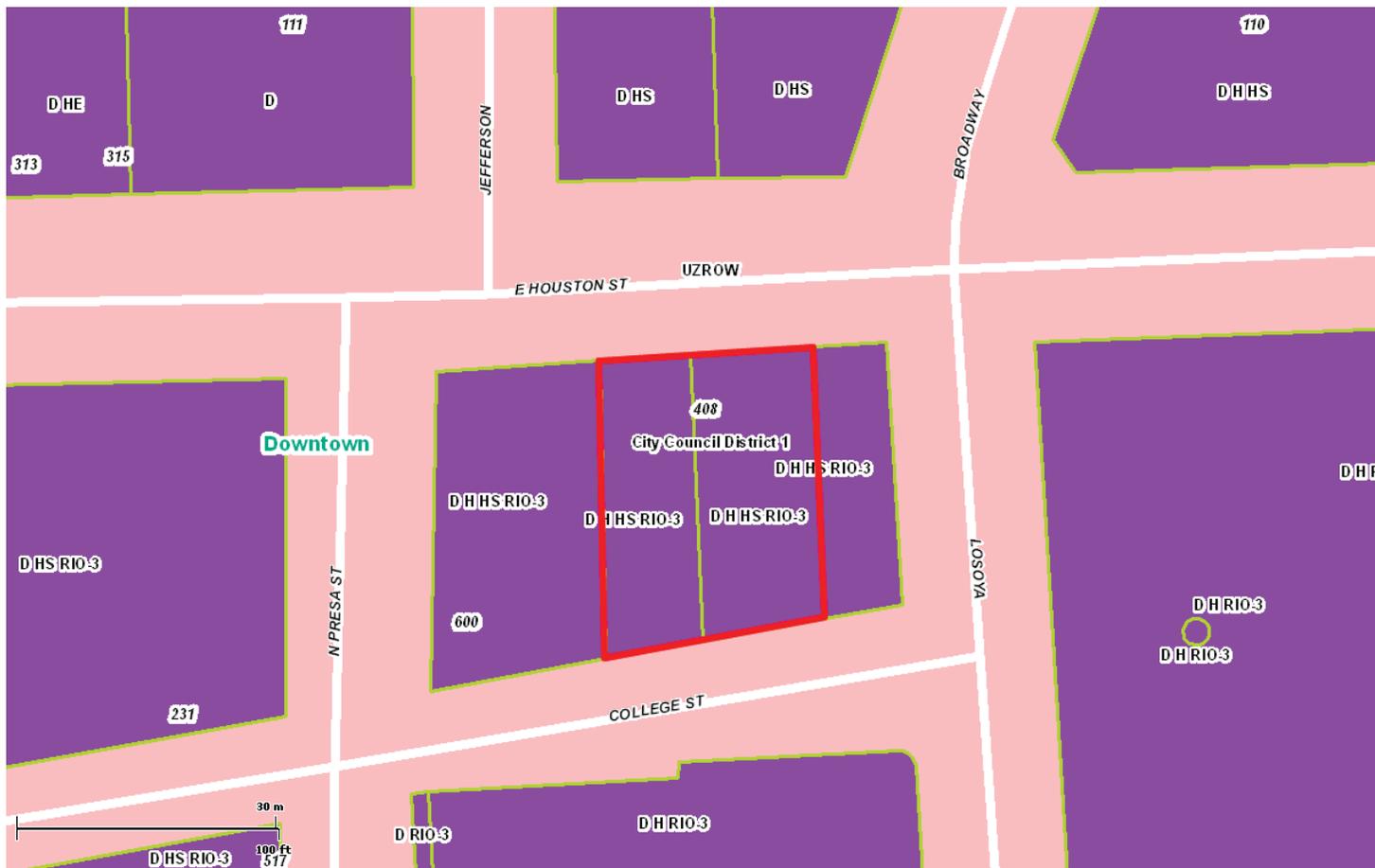
**CASE COMMENTS:**

The applicant shall complete all requirements for archaeology in accordance with a 2008 plat approval.

**CASE MANAGER:**

Adriana Ziga

408 E. Houston



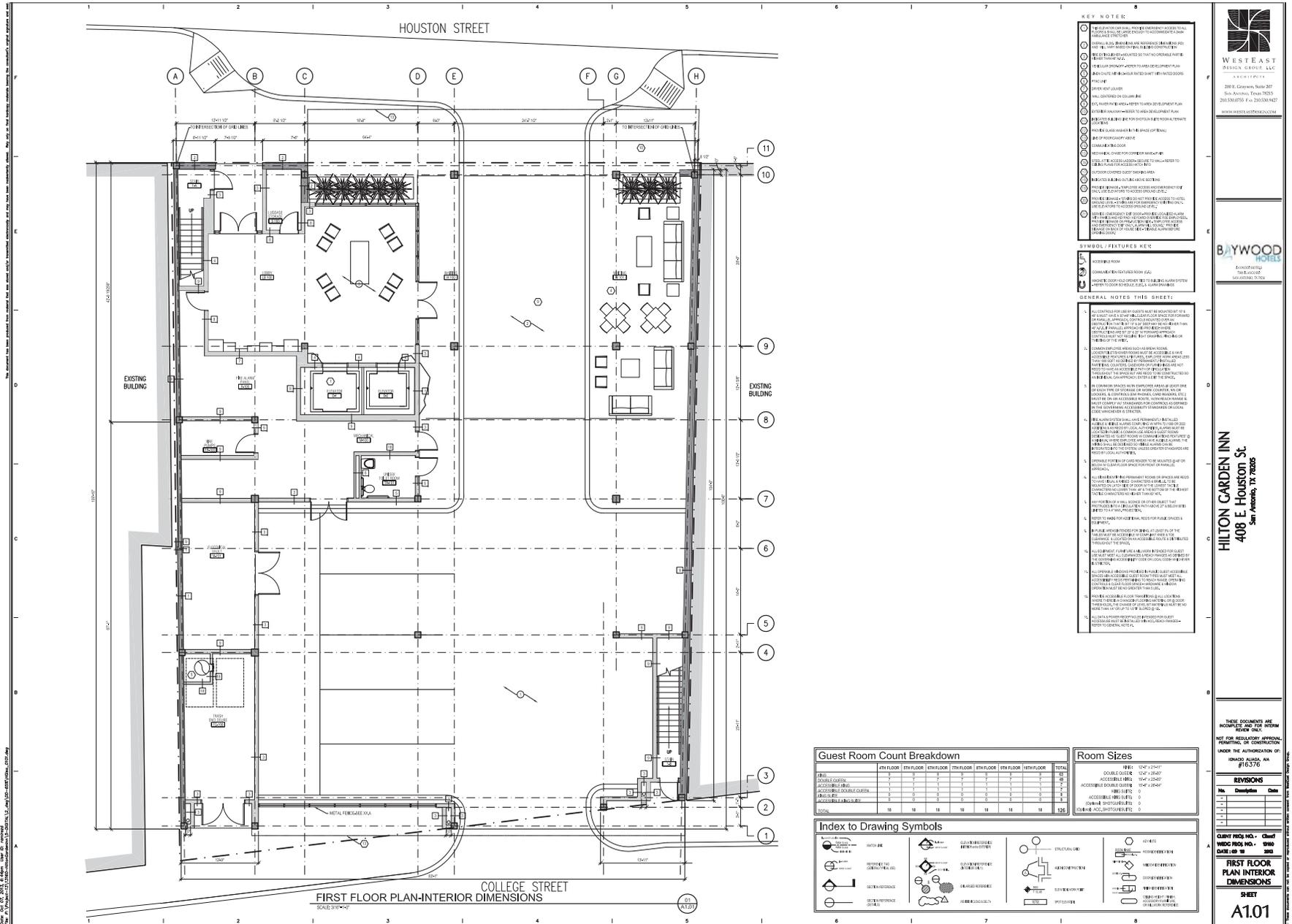








# Original ground floor approved with stipulations



**WEST EAST**  
 DESIGN GROUP, LLC  
 ARCHITECTS  
 200 E. Grayson, Suite 207  
 San Antonio, Texas 78215  
 (214) 520-1122  
 WWW.WESTEASTDESIGN.COM

**BAYWOOD**  
 HOTELS  
 A HILTON BRAND  
 408 E. HOUSTON ST.

**HILTON GARDEN INN**  
 408 E. HOUSTON ST.  
 San Antonio, TX 78205

THESE DIMENSIONS ARE INCORPORATED INTO THE INTERIOR DIMENSIONS FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION UNDER THE AUTHORIZATION OF:  
 IDWAD AUSTIN, AA #15376

REVISIONS		
No.	Description	Date

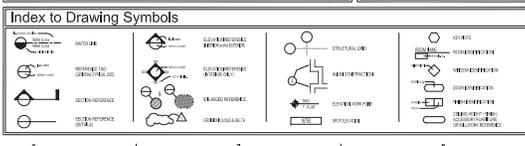
COUNT REQ. NO. - Check  
 WDC PROJ. NO. - 9960  
 DATE - 08.19.2023

**FIRST FLOOR PLAN INTERIOR DIMENSIONS**

**SHEET**  
**A1.01**

	1st FLOOR	2nd FLOOR	3rd FLOOR	4th FLOOR	5th FLOOR	6th FLOOR	7th FLOOR	TOTAL
TRIPLE	0	0	0	0	0	0	0	0
DOUBLE ADJACENT	0	0	0	0	0	0	0	0
ACCESSIBLE TRIPLE	0	0	0	0	0	0	0	0
TRIPLE WITH BATH	0	0	0	0	0	0	0	0
ACCESSIBLE TRIPLE WITH BATH	0	0	0	0	0	0	0	0
DOUBLE	18	18	18	18	18	18	18	126

	10'0" x 12'0"	10'0" x 12'6"	10'0" x 13'0"	10'0" x 13'6"	10'0" x 14'0"
DOUBLE QUINTESS	0	0	0	0	0
ACCESSIBLE DOUBLE QUINTESS	0	0	0	0	0
DOUBLE QUINTESS WITH BATH	0	0	0	0	0
ACCESSIBLE DOUBLE QUINTESS WITH BATH	0	0	0	0	0
DOUBLE QUINTESS WITH BATH	0	0	0	0	0
ACCESSIBLE DOUBLE QUINTESS WITH BATH	0	0	0	0	0





REVISIONS		
No.	Description	Date
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CLIENT PROJ. NO. **13160**  
WEDD PROJ. NO. **13160**  
DATE: 09 MAY 2014  
DRAWN BY: **gsp**  
CHECKED BY: **tb**  
BLDG. NO.:

FIRST FLOOR PLAN  
SHEET  
**A1.01**

- KEY NOTES:**
- ① THIS ELEVATOR CAR SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS & SHALL BE LARGE ENOUGH TO ACCOMMODATE A 3'4" x 4'4" AMBULANCE FIRE TROOP
  - ② FIRE EXTINGUISHER - MOUNTED SO THAT NO OPERABLE PART IS HIGHER THAN 4'4"
  - ③ VEHICULAR DROP-OFF
  - ④ PTAC UNIT
- SYMBOL / FIXTURES KEY:**
- ⑤ FIRE EXTINGUISHER - (SEE KEY NOTE 2)
  - ⑥ ACCESSIBLE ROOM
  - ⑦ COMMUNICATION FEATURES ROOM (C.F.)
  - ⑧ MAGNETIC DOOR HOLD OPENER TIED TO BUILDING ALARM SYSTEM REFER TO DOOR SCHEDULE, ELECTRICAL AND ALARM DRAWINGS

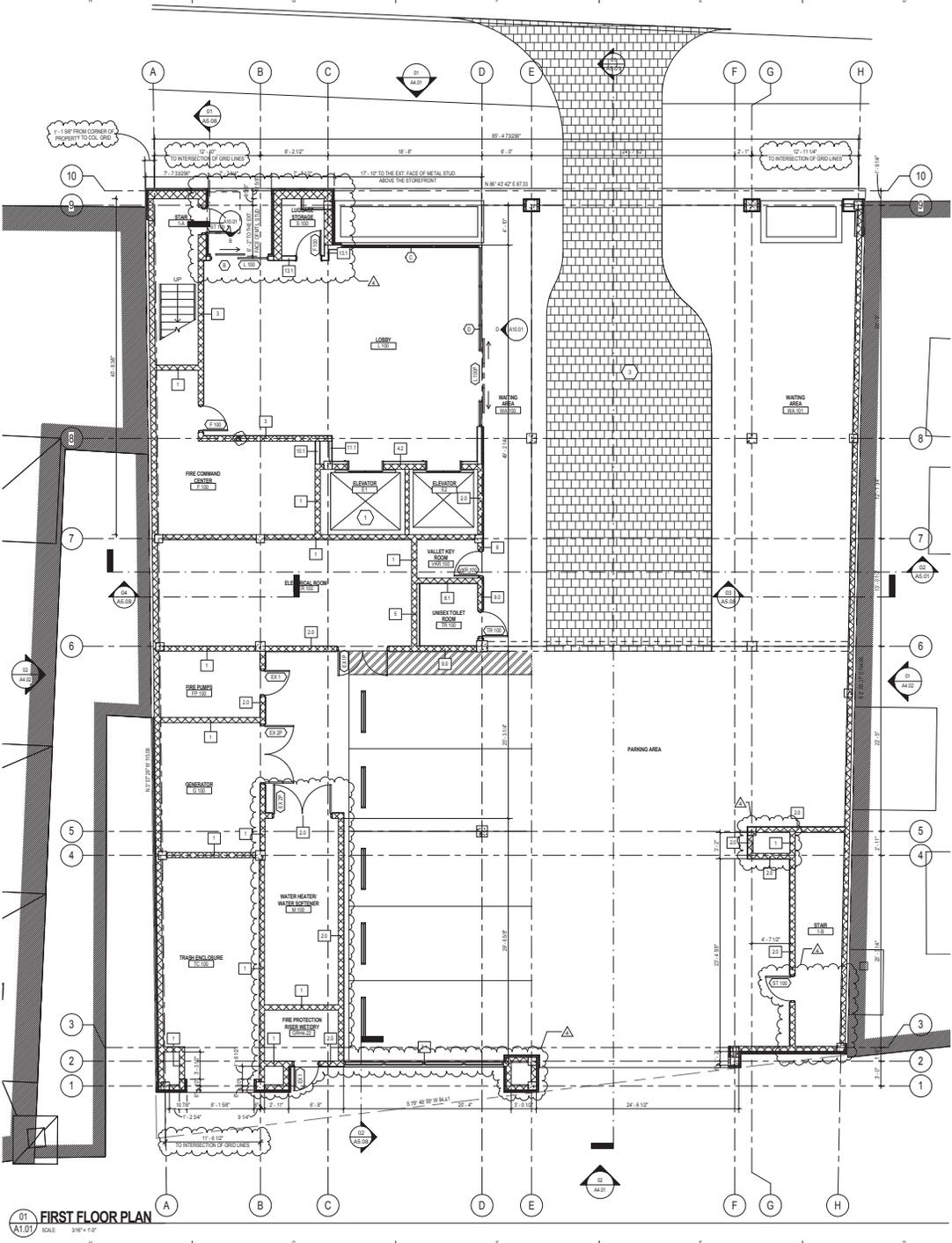
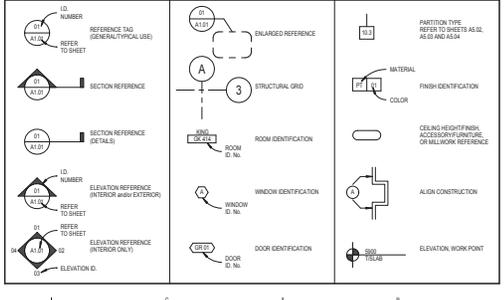
- GENERAL NOTES:**
1. OVERALL BUILDING DIMENSIONS ARE REFERENCE DIMENSIONS (RD) AND WILL VARY BASED ON FINAL BUILDING CONSTRUCTION
  2. ALL CONTROLS FOR USE BY GUESTS MUST BE MOUNTED 8" TO 48" ABOVE THE FINISH FLOOR SURFACE FOR FORWARD OR PARALLEL APPROACH. CONTROLS MOUNTED OVER AN OBSTRUCTION THAT IS 8" TO 48" HIGH MUST BE NO MORE THAN 48" A.F.F. IF PARALLEL APPROACH IS PROVIDED, WHERE OBSTRUCTIONS ARE 8" TO 48" HIGH FORWARD APPROACH CONTROLS MUST NOT REQUIRE TOIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST
  3. COMMON EMPLOYEE AREAS SUCH AS BREAK ROOMS, LOBBY/CONFERENCE ROOMS MUST BE ACCESSIBLE & HAVE ACCESSIBLE FEATURES & FIXTURES. EMPLOYEE WORK AREAS LESS THAN 100 SQ FT ARE ACCESSIBLE BY PERMANENTLY NOTICED PARTITIONS, COUNTERS, CABINETS OR FURNISHINGS ARE NOT REQUIRED. THERE AN ACCESSIBLE PATH OF CIRCULATION THROUGHOUT THE SPACE BUT ARE NOT REQUIRED TO BE CONSTRUCTED AS AN INDIVIDUAL, ADA APPROACH ENTERS & EXIT THE SPACE
  4. IN COMMON SPACES WITH EMPLOYEE AREAS, AT LEAST ONE OF EACH TYPE OF TELEPHONE OR WORK COUNTER WITH VOICEMAIL & CONTROLS (EM PHONE, CARD READER, ETC.) MUST BE ON AN ACCESSIBLE ROUTE. WORK COUNTERS MUST COMPLY WITH STANDARDS FOR CONTROLS AS DEFINED IN THE GOVERNING ACCESSIBILITY STANDARDS OR LOCAL CODE, WHICHEVER IS STRICTER
  5. FIRE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED ACCESSIBLE & VISIBLE ALARMS COMPLYING WITH 2010 IFB OR 2012 ADDITION & AS REQUIRED BY LOCAL AUTHORITIES. ALARMS MUST BE LOCATED IN PUBLIC & COMMON AREAS. GUEST ROOMS BELONGING TO THE SAME BUILDING AS GUEST ROOMS WITH FEATURES & A MINIMUM, WHERE EMPLOYEE AREAS HAVE ACCESSIBLE ALARMS, THE WORKING AREA OF EACH VISIBLE ALARM CAN BE INTEGRATED INTO THE SYSTEM, UNLESS GREATER STANDARDS ARE PROVIDED BY LOCAL AUTHORITIES
  6. OPERABLE PORTION OF CARD READER TO BE MOUNTED 34" OR BELOW FINISH FLOOR SURFACE FOR FRONT OR PARALLEL APPROACH
  7. ALL SIGNS IDENTIFYING PERMANENT ROOMS OR SPACES ARE REQUIRED TO HAVE BRaille & TACTILE CHARACTERS & SHALL BE MOUNTED ON LATCH SIDE OF DOOR BY THE LOWEST TACTILE CHARACTER NO LOWER THAN 48" & 5'0" FROM THE HIGHEST TACTILE CHARACTER NO HIGHER THAN 67" AFF
  8. ANY PORTION OF A WALL, COULONN OR OTHER OBJECT THAT PROJECTS INTO A CIRCULATION PATH MUST BE 48" OR BELOW LIMITED TO A 4" MAX. PROJECTION
  9. REFER TO HANG FOR ADDITIONAL REQS FOR PUBLIC SPACES & EQUIPMENT
  10. IN PUBLIC AREAS INTENDED FOR DINING, AT LEAST 5% OF THE TABLS MUST BE ACCESSIBLE. WORKING AREA MUST HAVE A 30" CLEARANCE, LOCATED ON AN ACCESSIBLE ROUTE & DISTRICTED THROUGHOUT THE SPACE
  11. ALL EQUIPMENT, FURNITURE & MILLWORK INTENDED FOR GUEST USE MUST MEET ALL CLEARANCES & REACH RANGES AS DEFINED BY THE GOVERNING ACCESSIBILITY CODE OR LOCAL CODE, WHICHEVER IS STRICTER
  12. ALL OPERABLE WINDOW PROVIDED IN PUBLIC GUEST ACCESSIBLE SPACES & IN ACCESSIBLE ROOM TYPES MUST MEET ALL ACCESSIBILITY REQS REGARDING REACH RANGE, OPERATING CONTROLS & CLEAR FLOOR SPACE. HARDWARE & WINDOW OPERATION MUST BE NO GREATER THAN 5'0"
  13. PROVIDE ACCESSIBLE FLOOR TRANSITIONS @ ALL LOCATIONS WHERE THERE IS A CHANGE IN FLOOR MATERIAL OR @ DOOR THRESHOLDS. THE CHANGE OF LEVEL OR MATERIAL MUST BE NO MORE THAN 1/2" UNLESS 1/2" x 1/2" x 1/2" RAMP
  14. ALL SWITCH & POWER REQS INTENDED FOR GUEST ACCESSIBILITY MUST BE INSTALLED WITH ACCESSIBLE REACH RANGES. REFER TO GENERAL NOTE #1

**ACCESSIBILITY NOTE:**  
FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT AND SHALL COMPLY WITH YEARS ACCESSIBILITY STANDARDS 302

**HGI - ALL ROOMS/AREAS**

FLOOR PLAN	AREA	SQ. FT.
FIRST FLOOR PLAN	LOBBY	8,115 SF
	PARKING AREA	3,389 SF
	STAIRS AND CORRIDORS	298 SF
SECOND FLOOR PLAN	SUPPORT AREAS	11,813 SF
THIRD FLOOR PLAN	LOBBY	899 SF
THIRD FLOOR PLAN	LOBBY/Lounge	4,034 SF
THIRD FLOOR PLAN	STAIRS AND CORRIDORS	800 SF
THIRD FLOOR PLAN	CLIPPING AREAS	491 SF
THIRD FLOOR PLAN	MEET ROOM	8,610 SF
THIRD FLOOR PLAN	LAUNDRY	1,292 SF
THIRD FLOOR PLAN	MEET ROOM ROOMS	842 SF
THIRD FLOOR PLAN	STAIRS AND CORRIDORS	884 SF
THIRD FLOOR PLAN	SUPPORT AREAS	6,894 SF
FOURTH FLOOR PLAN	GUEST ROOMS	6,195 SF
	STAIRS AND CORRIDORS	1,076 SF
	SUPPORT AREAS	7,128 SF
FIFTH FLOOR PLAN	GUEST ROOMS	6,195 SF
	STAIRS AND CORRIDORS	1,076 SF
	SUPPORT AREAS	7,128 SF
SIXTH FLOOR PLAN	GUEST ROOMS	6,195 SF
	STAIRS AND CORRIDORS	1,076 SF
	SUPPORT AREAS	7,128 SF
SEVENTH FLOOR PLAN	GUEST ROOMS	6,195 SF
	STAIRS AND CORRIDORS	1,076 SF
	SUPPORT AREAS	7,128 SF
EIGHTH FLOOR PLAN	GUEST ROOMS	6,195 SF
	STAIRS AND CORRIDORS	1,076 SF
	SUPPORT AREAS	7,128 SF
NINTH FLOOR PLAN	GUEST ROOMS	6,195 SF
	STAIRS AND CORRIDORS	1,076 SF
	SUPPORT AREAS	7,128 SF
TENTH FLOOR PLAN	GUEST ROOMS	6,195 SF
	STAIRS AND CORRIDORS	1,076 SF
	SUPPORT AREAS	7,128 SF

**INDEX TO DRAWING SYMBOLS**



DATE: 12/15/13 BY: gsp  
DRAWN BY: gsp  
CHECKED BY: tb  
DATE: 09 MAY 2014  
DRAWN BY: gsp  
CHECKED BY: tb  
DATE: 09 MAY 2014  
DRAWN BY: gsp  
CHECKED BY: tb

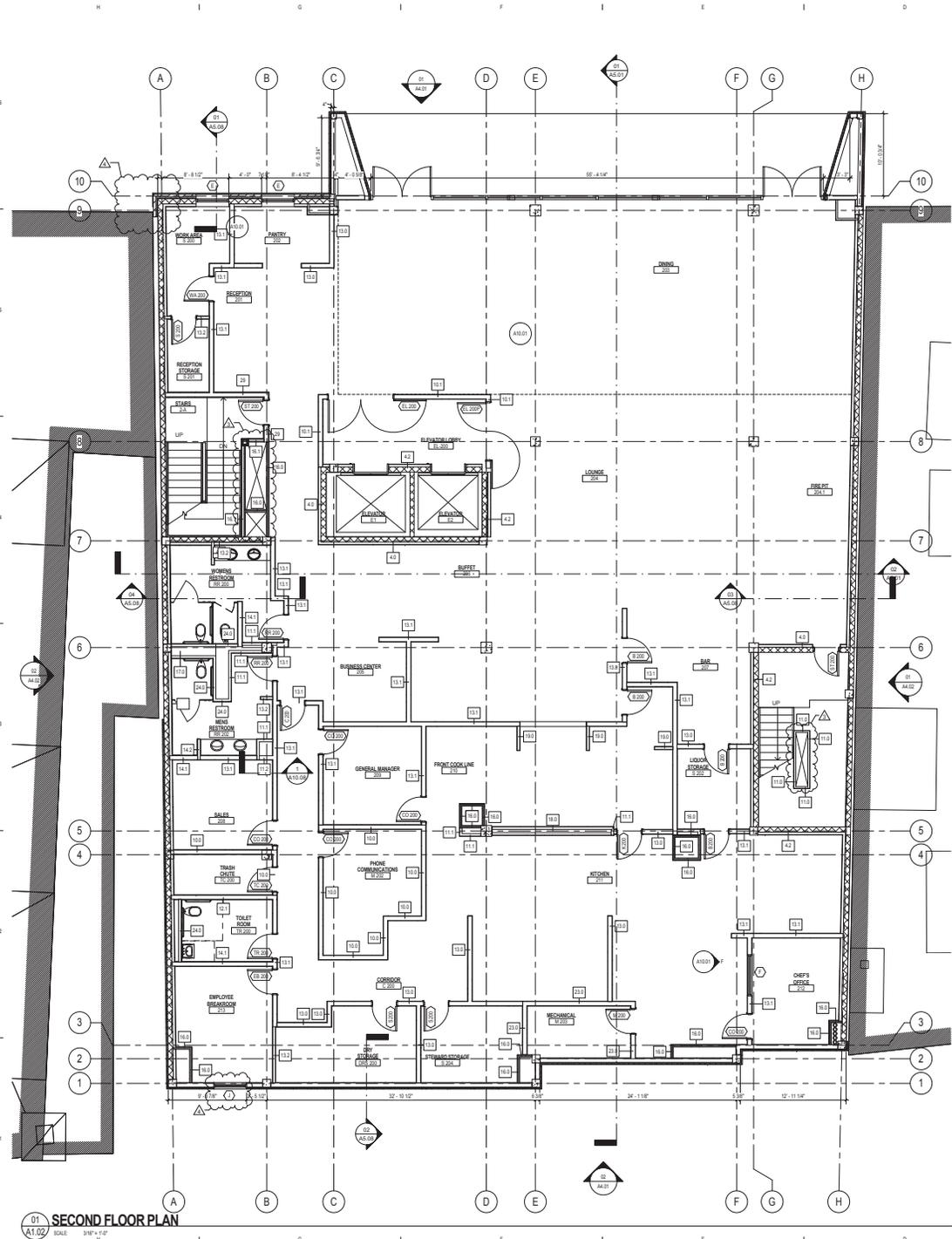


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CLIENT PROJ. NO.:  
WED PROJ. NO.: **13160**  
DATE: 04 MAY 2014  
DRAWN BY: **Adair**  
CHECKED BY: **Checker**  
BLDG. NO.:

SECOND FLOOR PLAN  
SHEET  
**A1.02**

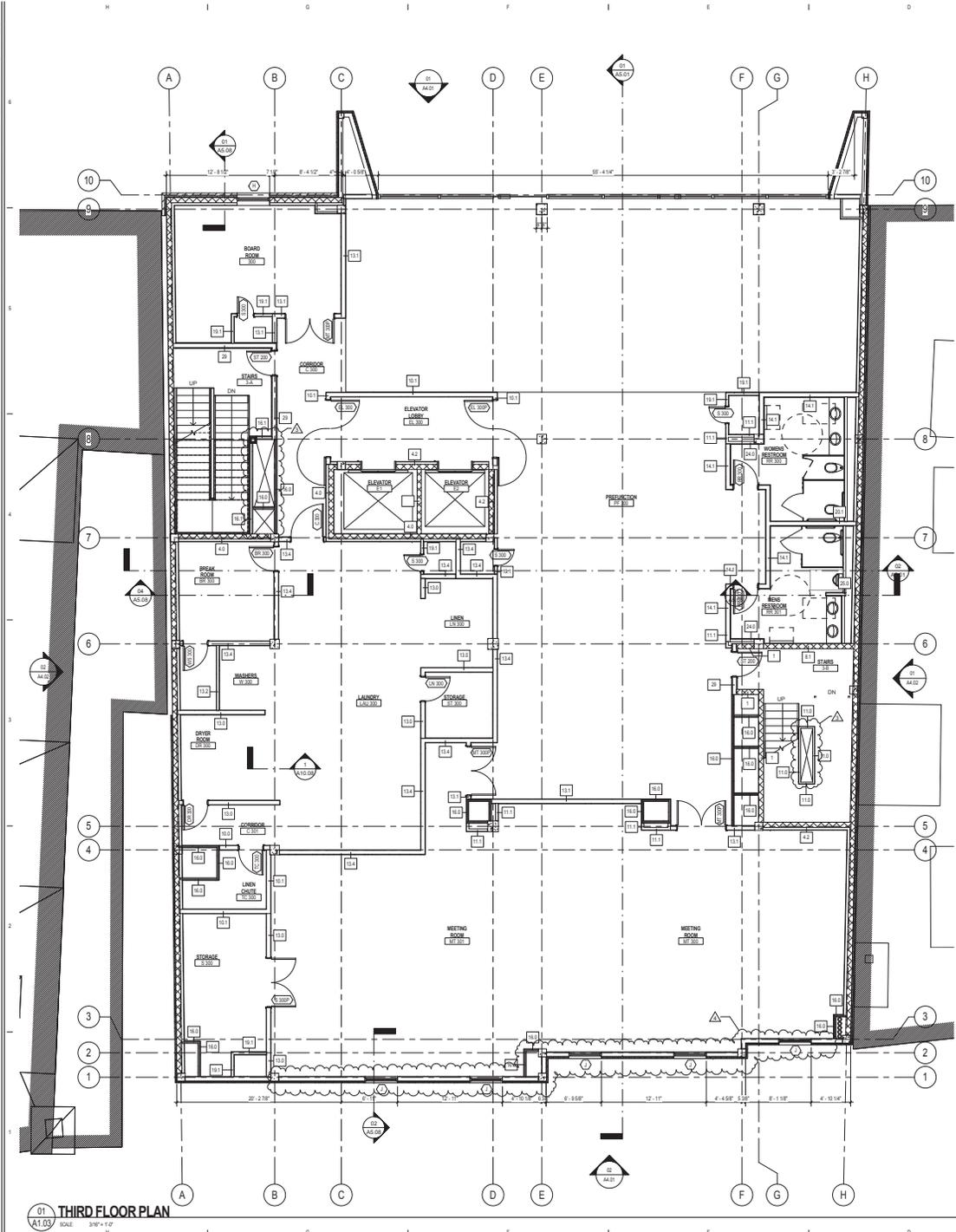
KEY NOTES:	
①	THIS ELEVATOR CAR SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS & SHALL BE LARGE ENOUGH TO ACCOMMODATE A 3'4" X 4'4" AMBULANCE STRETCHER
②	FIRE EXTINGUISHER - MOUNTED SO THAT NO OPERABLE PART IS HIGHER THAN 4'4"
③	VEHICULAR DROP-OFF
④	PTAC UNIT
SYMBOL / FIXTURES KEY:	
⑤	FIRE EXTINGUISHER - (SEE KEY NOTE 2)
⑥	ACCESSIBLE ROOM
⑦	COMMUNICATION FEATURES ROOM (C.F.)
⑧	MAGNETIC DOOR HOLD OPENER TIED TO BUILDING ALARM SYSTEM REFER TO DOOR SCHEDULE, ELECTRICAL AND ALARM DRAWINGS
GENERAL NOTES:	
1.	OVERALL BUILDING DIMENSIONS ARE REFERENCE DIMENSIONS (RD) AND WILL VARY BASED ON FINAL BUILDING CONSTRUCTION
2.	ALL CONTROLS FOR USE BY GUESTS MUST BE MOUNTED 8" TO 12" & 48" MUST HAVE A 3" MIN. CLEARANCE FROM SPACE FOR FORWARD OR PARALLEL APPROACH. CONTROLS MOUNTED OVER AN OBSTRUCTION THAT IS 8" TO 12" W/ CLEARANCE MORE THAN 4" A.F.F. IF PARALLEL APPROACH IS PROVIDED, WHERE OBSTRUCTIONS ARE 8" TO 12" W/ FORWARD APPROACH CONTROLS MUST NOT REQUIRE TOCH GRASPING, PINCHING OR TWISTING OF THE WRIST
3.	COMMON EMPLOYEE AREAS SUCH AS BREAK ROOMS, LOCKER/TOILET/CHANGING ROOMS MUST BE ACCESSIBLE & HAVE ACCESSIBLE FEATURES & FIXTURES. EMPLOYEE WORK AREAS LESS THAN 100 SQ FT ARE EXCEPTED FROM NOTED PARTITIONS, COUNTERS, CABINETS OR FURNISHINGS ARE NOT REQUIRED TO HAVE AN ACCESSIBLE PATH OF CIRCULATION THROUGHOUT THE SPACE BUT ARE REQUIRED TO BE CONSTRUCTED AS AN INDIVIDUAL, ADA APPROACH ENTRIES & EXIT SPACES
4.	IN COMMON SPACES WITH EMPLOYEE AREAS, AT LEAST ONE OF EACH TYPE OF TELEPHONE OR WORK COUNTER AND LOCKER & CONTROLS (EM PHONE, CARD READER, ETC.) MUST BE ON AN ACCESSIBLE ROUTE WITH NO OBSTRUCTION & MUST COMPLY WITH STANDARDS FOR CONTROLS AS DEFINED IN THE GOVERNING ACCESSIBILITY STANDARDS OR LOCAL CODE WHEREVER THE STRUCTURE
5.	FIRE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED AUDIBLE & VISIBLE ALARMS COMPLYING WITH 709.5.1 FROM 2010 ADDITION. A 5" RED LED BY LOCAL ACTIVITIES. ALARMS MUST BE LOCATED IN PUBLIC COMMON AREAS & GUEST ROOMS BEHIND THE GUEST ROOM DOOR. VISUAL ALARMS MUST HAVE FEATURES & A MINIMUM, WHERE EMPLOYEE AREAS HAVE AUDIBLE ALARMS, THE VISUAL ALARMS MUST BE VISIBLE. ALARMS CAN BE INTEGRATED INTO THE SYSTEM, UNLESS GREATER STANDARDS ARE PROVIDED BY LOCAL AUTHORITIES
6.	OPERABLE PORTION OF CARD READER TO BE MOUNTED @ 48" OR BELOW W/ CLEAR FLOOR SPACE FOR FRONT OR PARALLEL APPROACH
7.	ALL SIGNS IDENTIFYING PERMANENT ROOMS OR SPACES ARE REQUIRED TO HAVE BRaille & TACTILE CHARACTERS & BRALLE TO BE MOUNTED ON LATCH SIDE OF DOOR BY THE LOWEST TACTILE CHARACTER TO ONE WAY OR BY A SECTION OF THE HIGHEST TACTILE CHARACTER NO HIGHER THAN 67" AFF
8.	ANY PORTION OF A WALL KNOCK OR OTHER OBJECT THAT PROTRUDES INTO A CIRCULATION PATH MORE THAN 1/4" BELOW 8" IS LIMITED TO 4" MAX PROJECTION
9.	REFER TO HANG FOR ADDITIONAL REQS FOR PUBLIC SPACES & EQUIPMENT
10.	IN PUBLIC AREAS INTENDED FOR DINING, AT LEAST 5% OF THE TABLES MUST BE ACCESSIBLE. WHERE ANY AREA A 30" CLEARANCE LOCATED ON AN ACCESSIBLE ROUTE & DISTRICTED THROUGHOUT THE SPACE
11.	ALL EQUIPMENT, FURNITURE & MILLWORK INTENDED FOR GUEST USE MUST MEET ALL CLEARANCES & REACH RANGES AS DEFINED BY THE GOVERNING ACCESSIBILITY CODE OR LOCAL CODE, WHEREVER IS STRUCTURE
12.	ALL OPERABLE WINDOW PROVIDED IN PUBLIC GUEST ACCESSIBLE SPACES & IN ACCESSIBLE GUEST ROOM TYPES MUST MEET ALL ACCESSIBILITY REQS REGARDING TO REAR RANGE, OPERATING CONTROLS & CLEAR FLOOR SPACE - HARDWARE & WINDOW OPERATION MUST BE NO GREATER THAN 5.0"
13.	PROVIDE ACCESSIBLE FLOOR TRANSITIONS @ ALL LOCATIONS WHERE THERE IS A CHANGE IN FLOORING MATERIAL OR GUEST TRAVELING. THE CHANGE OF LEVEL MATERIAL MUST BE NO MORE THAN 1/4" TO 1/2" W/ SLOPED @ 1:1
14.	ALL SWITCH & POWER RECEPTACLES INTENDED FOR GUEST ACCESSIBILITY MUST BE INSTALLED WITH ACCESSIBLE REACH RANGES REFER TO GENERAL NOTE #1
ACCESSIBILITY NOTE:	
FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT AND SHALL COMPLY WITH TEARS ACCESSIBILITY STANDARDS 302	
HGI - ALL ROOMS/AREAS	
FIRST FLOOR PLAN	
LOBBY	1,115 SF
PARKING AREA	1,088 SF
STAIRS AND CORRIDORS	298 SF
SUPPORT AREAS	1,871 SF
SECOND FLOOR PLAN	
LOBBY	599 SF
LOBBY/LOUNGE	4,024 SF
STAIRS AND CORRIDORS	902 SF
SUPPORT AREAS	441 SF
THIRD FLOOR	
LAUNDRY	1,292 SF
MEET TWO ROOMS	4,672 SF
STAIRS AND CORRIDORS	884 SF
SUPPORT AREAS	6,884 SF
FOURTH FLOOR	
GUESTROOMS	4,719 SF
STAIRS AND CORRIDORS	1,876 SF
SUPPORT AREAS	6,656 SF
FIFTH FLOOR	
GUESTROOMS	4,723 SF
STAIRS AND CORRIDORS	1,876 SF
SUPPORT AREAS	6,656 SF
SIXTH FLOOR	
GUESTROOMS	4,723 SF
STAIRS AND CORRIDORS	1,876 SF
SUPPORT AREAS	6,656 SF
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STAIRS AND CORRIDORS	1,876 SF
SUPPORT AREAS	6,656 SF
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GUESTROOMS	4,723 SF
STAIRS AND CORRIDORS	1,876 SF
SUPPORT AREAS	6,656 SF
TENTH FLOOR	
GUESTROOMS	4,723 SF
STAIRS AND CORRIDORS	1,876 SF
SUPPORT AREAS	6,656 SF



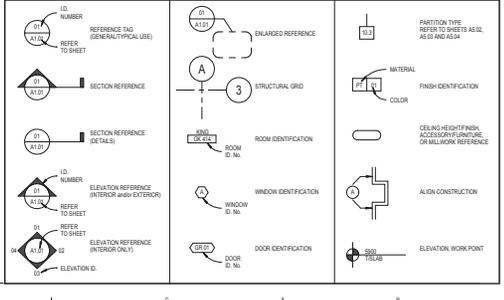
INDEX TO DRAWING SYMBOLS

①	REFERENCE TAG (GENERAL/TYPICAL USE)	①	ENLARGED REFERENCE	①	PARTITION TYPE REFER TO SHEETS AS IS, AS IS AND AS IS
②	SECTION REFERENCE	②	STRUCTURAL GRID	②	MATERIAL FINISH IDENTIFICATION
③	SECTION REFERENCE (DETAILS)	③	ROOM IDENTIFICATION	③	COLOR
④	ELEVATION REFERENCE (INTERIOR/EXTERIOR)	④	WINDOW IDENTIFICATION	④	CELLING HEIGHT/FINISH, ACCESS/FURNITURE OR MILLWORK REFERENCE
⑤	REFER TO SHEET	⑤	WINDOW IDENTIFICATION	⑤	ALIGN CONSTRUCTION
⑥	ELEVATION REFERENCE (INTERIOR ONLY)	⑥	DOOR IDENTIFICATION	⑥	ELEVATION WORKPOINT
⑦	ELEVATION ID	⑦			

01 SECOND FLOOR PLAN  
A1.02  
SCALE: 3/8" = 1'-0"



INDEX TO DRAWING SYMBOLS



- KEY NOTES:**
- THIS ELEVATOR CAR SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS & SHALL BE LARGE ENOUGH TO ACCOMMODATE A 3'4" X 4'4" AMBULANCE FIRE TOWER
  - FIRE EXTINGUISHER - MOUNTED SO THAT NO OPERABLE PART IS HIGHER THAN 4'4"
  - VEHICULAR DROP-OFF
  - PTAC UNIT
- SYMBOL / FIXTURES KEY:**
- FIRE EXTINGUISHER - (SEE KEY NOTE 2)
  - ACCESSIBLE ROOM
  - COMMUNICATION FEATURES ROOM (C.F.)
  - MAGNETIC DOOR OPENER TIED TO BUILDING ALARM SYSTEM REFER TO DOOR SCHEDULE, ELECTRICAL AND ALARM DRAWINGS

- GENERAL NOTES:**
- OVERALL BUILDING DIMENSIONS ARE REFERENCE DIMENSIONS (RD) AND WILL VARY BASED ON FINAL BUILDING CONSTRUCTION
  - ALL CONTROLS FOR USE BY GUESTS MUST BE MOUNTED 8" TO 12" & 42" MAX HEIGHT & 3" MAX IN. CLEARANCE FROM SPACE FOR FORWARD OR PARALLEL APPROACH. CONTROLS MOUNTED OVER AN OBSTRUCTION THAT IS 12" TO 14" HIGH MUST BE NO MORE THAN 4" A.F.F. IF PARALLEL APPROACH PROVIDED. WHERE OBSTRUCTIONS ARE 8" TO 12" IN FORWARD APPROACH CONTROLS MUST NOT REQUIRE TOUGH GRASPING, PINCHING OR TWISTING OF THE WRIST
  - COMMON EMPLOYEE AREAS SUCH AS BREAK ROOMS, LOCKER/TOILET/CHANGING ROOMS MUST BE ACCESSIBLE & HAVE ACCESSIBLE FEATURES & FIXTURES. EMPLOYEE WORK AREAS LESS THAN 120 SQ FT ARE PERMITTED UNLESS NOTED. PARTITIONS, COUNTERS, CABINETS OR FURNISHINGS ARE NOT REQUIRED UNLESS AN ACCESSIBLE PATH OF CIRCULATION THROUGHOUT THE SPACE BUT ARE REQUIRED TO BE CONSTRUCTED AS AN INDOOR, CAR APPROACH ENTERS & EXIT THE SPACE
  - IN COMMON SPACES WITH EMPLOYEE AREAS AT LEAST ONE OF EACH TYPE OF FEATURE OR WORK ELEMENT IS ACCESSIBLE & CONTROLS (EM PHONE, CARD READER, ETC.) MUST BE ON AN ACCESSIBLE HEIGHT WITH A MAXIMUM 18" CLEARANCE WITH STANDARDS FOR CONTROLS AS DEFINED IN THE GOVERNING ACCESSIBILITY STANDARDS OR LOCAL CODE WHICHEVER IS STRICTER
  - FIRE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED ACCESSIBLE VISUAL ALARMS COMPLYING WITH 2010 IFB OR 2010 ADDITION 1.4.8. VISUAL ALARMS MUST BE MOUNTED 5'0" TO 5'6" & LOCATED IN PUBLIC & COMMON AREAS. GUEST ROOMS BELONGING TO THE HOTEL SHALL NOT BE REQUIRED TO HAVE VISUAL ALARMS. WHERE EMPLOYEE AREAS HAVE ACCESSIBLE ALARMS, THE WORKING HEIGHT OF VISUAL ALARMS CAN BE INTEGRATED INTO THE SYSTEM UNLESS GREATER STANDARDS ARE PROVIDED BY LOCAL AUTHORITIES
  - OPERABLE PORTION OF CARD READER TO BE MOUNTED @ 48" OR BELOW W/ CLEAR FLOOR SPACE FOR FRONT OR PARALLEL APPROACH
  - ALL SIGN IDENTIFYING PERMANENT ROOMS OR SPACES ARE REQUIRED TO HAVE VISUAL & TACTILE CHARACTERISTICS & BE MOUNTED ON LATCH SIDE OF DOOR BY THE LOWEST TACTILE CHARACTERISTICS UNLESS AN ALTERNATIVE SECTION OF THE HIGHEST TACTILE CHARACTERISTICS NO HIGHER THAN 67" AFF
  - ANY PORTION OF A WALL KNOCK OR OTHER OBJECT THAT PROJECTS INTO A CIRCULATION PATH WORKS UP & BELOW BY IS LIMITED TO 4" MAX PROJECTION
  - REFER TO HANGS FOR ADDITIONAL REQS FOR PUBLIC SPACES & EQUIPMENT
  - IN PUBLIC AREAS INTENDED FOR DINING, AT LEAST 5% OF THE TABLS MUST BE ACCESSIBLE IN WORKING POSITION & CLEARANCE LOCATED ON AN ACCESSIBLE ROUTE & DISTRICTED THROUGHOUT
  - ALL EQUIPMENT, FURNITURE & MILLWORK INTENDED FOR GUEST USE MUST MEET ALL CLEARANCES & REACH RANGES AS DEFINED BY THE GOVERNING ACCESSIBILITY CODE OR LOCAL CODE, WHICHEVER IS STRICTER
  - ALL OPERABLE WINDOW PROVIDED IN PUBLIC GUEST ACCESSIBLE SPACES & IN ACCESSIBLE GUEST ROOM TYPES MUST MEET ALL ACCESSIBILITY REQS REGARDING TO REACH RANGE, OPERATING CONTROLS & CLEAR FLOOR SPACE. HARDWARE & WINDOW OPERATION MUST BE NO GREATER THAN 18"
  - PROVIDE ACCESSIBLE FLOOR TRANSITION @ ALL LOCATIONS WHERE THERE IS A CHANGE IN FLOORING MATERIAL OR GROUND SURFACING. THE CHANGE OF LEVEL MATERIAL MUST BE NO MORE THAN 1/4" TO 1/2" IF SLOPED @ 1:12
  - ALL SWITCH & POWER RECEPTACLES INTENDED FOR GUEST ACCESSIBLE MUST BE INSTALLED WITH ACCESSIBLE REACH RANGES. REFER TO GENERAL NOTE 4L

**ACCESSIBILITY NOTE:**  
FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT AND SHALL COMPLY WITH YEARS ACCESSIBILITY STANDARDS 302

**HCI - ALL ROOMS/AREAS**

FLOOR PLAN	AREA	SQ FT
FIRST FLOOR PLAN	LOBBY	2,115 SF
	PARKING AREA	1,388 SF
	STAIRS AND CORRIDORS	298 SF
SECOND FLOOR PLAN	SUPPORT AREAS	1,811 SF
	SECOND FLOOR PLAN	7,358 SF
	HOUSE OF THE HOUSE	599 SF
THIRD FLOOR	LOBBY/Lounge	4,074 SF
	STAIRS AND CORRIDORS	902 SF
	SUPPORT AREAS	441 SF
FOURTH FLOOR	LAUNDRY	8,610 SF
	MEET TWO ROOMS	1,292 SF
	STAIRS AND CORRIDORS	884 SF
FIFTH FLOOR	SUPPORT AREAS	6,884 SF
	FOURTH FLOOR	8,193 SF
	STAIRS AND CORRIDORS	1,876 SF
SIXTH FLOOR	SUPPORT AREAS	7,128 SF
	FIFTH FLOOR	8,193 SF
	STAIRS AND CORRIDORS	1,076 SF
SEVENTH FLOOR	SUPPORT AREAS	6,528 SF
	SIXTH FLOOR	8,193 SF
	STAIRS AND CORRIDORS	1,076 SF
EIGHTH FLOOR	SUPPORT AREAS	6,528 SF
	SEVENTH FLOOR	8,193 SF
	STAIRS AND CORRIDORS	1,076 SF
NINTH FLOOR	SUPPORT AREAS	6,527 SF
	EIGHTH FLOOR	8,193 SF
	STAIRS AND CORRIDORS	1,076 SF
TENTH FLOOR	SUPPORT AREAS	6,527 SF
	NINTH FLOOR	8,193 SF
	STAIRS AND CORRIDORS	1,076 SF



**West:**  
SA HOU Alamo LLC  
7300 Blanco Road  
Suite # 201  
(210) 340-9991  
www.westeastdesign.com

**HILTON GARDEN INN**  
408 E. Houston St.  
San Antonio, TX 78205



**REVISIONS**

No.	Description	Date
1		
2		
3		

CLIENT PROJ NO.:  
WED PROJ NO.: **13160**  
DATE: 09 MAY 2014  
DRAWN BY: **Adrian**  
CHECKED BY: **Checker**  
BLDG NO.:  
THIRD FLOOR PLAN  
SHEET  
**A1.03**





REVISIONS		
No.	Description	Date

CLIENT PROJ. NO. \_\_\_\_\_  
WEDD PROJ. NO. - **13160**  
DATE: 09 MAY 2014  
DRAWN BY: Adam  
CHECKED BY: Checker  
BLDG. NO.:

TERRACE PLAN  
SHEET  
**A1.05**

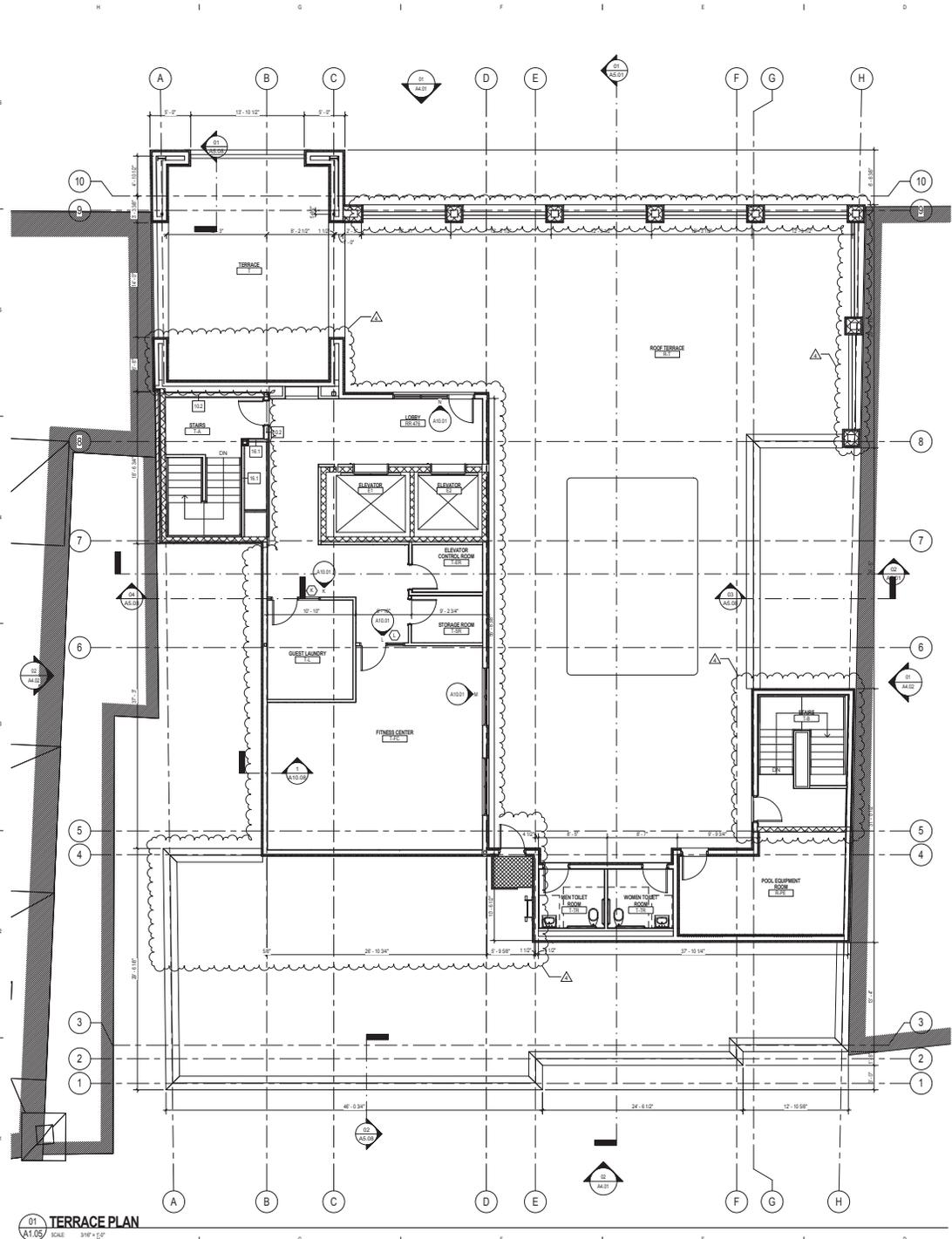
- KEY NOTES:**
- ① THIS ELEVATOR CAR SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS & SHALL BE LARGE ENOUGH TO ACCOMMODATE A 3'4" X 4'4" AMBULANCE FIRE TOWER
  - ② FIRE EXTINGUISHER - MOUNTED SO THAT NO OPERABLE PART IS HIGHER THAN 4'4"
  - ③ VEHICULAR DROP-OFF
  - ④ PTAC UNIT
- SYMBOL / FIXTURES KEY:**
- ⑤ FIRE EXTINGUISHER - (SEE KEY NOTE 2)
  - ⑥ ACCESSIBLE ROOM
  - ⑦ COMMUNICATION FEATURES ROOM (C.F.)
  - ⑧ MAGNETIC DOOR HOLD OPENER TIED TO BUILDING ALARM SYSTEM REFER TO DOOR SCHEDULE, ELECTRICAL AND ALARM DRAWINGS

- GENERAL NOTES:**
1. OVERALL BUILDING DIMENSIONS ARE REFERENCE DIMENSIONS (RD) AND WILL VARY BASED ON FINAL BUILDING CONSTRUCTION
  2. ALL CONTROLS FOR USE BY GUESTS MUST BE MOUNTED 8" TO 48" ABOVE FINISH FLOOR SURFACE. CONTROLS MOUNTED OVER AN OBSTRUCTION THAT IS NOT 18" HIGH MUST BE NO HIGHER THAN 48" A.F.F. IF PARALLEL APPROACH IS PROVIDED, WHERE OBSTRUCTIONS ARE 8" TO 18" FORWARD APPROACH CONTROLS MUST NOT REQUIRE TOOTH GRASPING, PINCHING OR TWISTING OF THE WRIST
  3. COMMON EMPLOYEE AREAS SUCH AS BREAK ROOMS, LOCKER ROOMS, STORAGE ROOMS MUST BE ACCESSIBLE & HAVE ACCESSIBLE FEATURES & FIXTURES. EMPLOYEE WORK AREAS LESS THAN 100 SQ FT ARE ACCESSIBLE BY UNLOCKED PARTITIONS, COATERS, CASHWORK OR FURNISHINGS ARE NOT REQUIRED. THERE IS AN ACCESSIBLE PATH OF CIRCULATION THROUGHOUT THE SPACE BUT ARE NOT TO BE CONSTRUCTED AS AN INDIVIDUAL ADA APPROACH ENTERS & LEAVES THE SPACE
  4. IN COMMON SPACES WITH EMPLOYEE AREAS AT LEAST ONE OF EACH TYPE OF TELEPHONE OR WORK CARRIER SHALL BE LOCATED & CONTROLS (EM PHONE, CARD READER, ETC.) MUST BE ON AN ACCESSIBLE ROUTE. WORK CARRIERS MUST COMPLY WITH STANDARDS FOR CONTROLS AS DEFINED IN THE GOVERNING ACCESSIBILITY STANDARDS OR LOCAL CODE WHEREVER THE STRUCTURE
  5. FIRE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED AUDIBLE & VISIBLE ALARMS COMPLYING WITH 7100.05 AND 7100.05.2 ADDITION A FIRE RECALL BY LOCAL ACTIVITIES. ALARMS MUST BE LOCATED IN PUBLIC COMMON AREAS & GUEST ROOMS BEHIND GLASS. GLASS MUST BE 1/2" THICK. GLASS FEATURES & A MINIMUM, WHERE EMPLOYEE AREAS HAVE AUDIBLE ALARMS, THE WORKING DRUM OR SOUNDING VISIBLE ALARMS CAN BE INTEGRATED INTO THE SYSTEM, UNLESS GREATER STANDARDS ARE PROVIDED BY LOCAL AUTHORITIES
  6. OPERABLE PORTION OF CARD READER TO BE MOUNTED @ 48" OR BELOW W/ CLEAR FLOOR SPACE FOR FRONT OR PARALLEL APPROACH
  7. ALL SIGNS IDENTIFYING PERMANENT ROOMS OR SPACES ARE REQUIRED TO HAVE VISUAL & TACTILE CHARACTERS & SHALL BE MOUNTED ON LATCH SIDE OF DOOR BY THE LOWEST TACTILE CHARACTER TO LOWEST VIEWABLE AREA & 5'6" FROM TOP OF THE HIGHEST TACTILE CHARACTER NO HIGHER THAN 67" AFF
  8. ANY PORTION OF A WALL KNOCK OR OTHER OBJECT THAT PROTRUSES INTO A CIRCULATION PATH WORKS UP & BELOW BY 18" LIMITED TO A 4" MAX PROJECTION
  9. REFER TO HANG FOR ADDITIONAL REQS FOR PUBLIC SPACES & EQUIPMENT
  10. IN PUBLIC AREAS INTENDED FOR DINING AT LEAST 5% OF THE TABLES MUST BE ACCESSIBLE. WORK AREA MUST HAVE A CLEARANCE LOCATED ON AN ACCESSIBLE ROUTE & DETECTED THROUGHOUT THE SPACE
  11. ALL EQUIPMENT, FURNITURE & MILLWORK INTENDED FOR GUEST USE MUST MEET ALL CLEARANCES & REACH RANGES AS DEFINED BY THE GOVERNING ACCESSIBILITY CODE OR LOCAL CODE, WHICHEVER IS STRICTER
  12. ALL OPERABLE WINDOW PROVIDED IN PUBLIC GUEST ACCESSIBLE SPACES & IN ACCESSIBLE GUEST ROOM TYPES MUST MEET ALL ACCESSIBILITY REQS REGARDING TO REAR RANGE, OPERATING CONTROLS & CLEAR FLOOR SPACE. HARDWARE & WINDOW OPERATION MUST BE NO GREATER THAN 5'0"
  13. PROVIDE ACCESSIBLE FLOOR TRANSITIONS @ ALL LOCATIONS WHERE THERE IS A CHANGE IN FLOORING MATERIAL OR GROUND TERMINAL. THE CHANGE OF LEVEL IS MATERIAL MUST BE NO MORE THAN 1/4" HIGH @ 1/2" TO 1/2" X 1/2" X 1/2" X 1/2"
  14. ALL SWITCH & POWER RECEPTACLES INTENDED FOR GUEST ACCESSIBLE MUST BE INSTALLED WITH ACCESSIBLE REACH RANGES REFER TO GENERAL NOTE #1

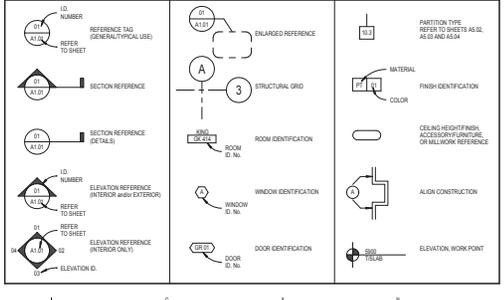
**ACCESSIBILITY NOTE:**  
FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT AND SHALL COMPLY WITH YEARS ACCESSIBILITY STANDARDS 302

**HGI - ALL ROOMS/AREAS**

FLOOR PLAN	ROOMS	SQ. FT.
FIRST FLOOR PLAN	LOBBY	8,115 SF
	PARKING AREA	3,388 SF
	STAIRS AND CORRIDORS	298 SF
SUPPORT AREAS	11,811 SF	
SECOND FLOOR PLAN		7,358 SF
BACK OF THE HOUSE		899 SF
LOBBY/LOUNGE		4,024 SF
STAIRS AND CORRIDORS		800 SF
SUPPORT AREAS		441 SF
THIRD FLOOR		8,610 SF
LAUNDRY		1,292 SF
MEET AND GROOM		612 SF
STAIRS AND CORRIDORS		884 SF
SUPPORT AREAS		6,024 SF
FOURTH FLOOR		6,195 SF
GUESTROOMS		4,276 SF
STAIRS AND CORRIDORS		1,919 SF
SUPPORT AREAS		7,128 SF
FIFTH FLOOR		6,195 SF
GUESTROOMS		4,276 SF
STAIRS AND CORRIDORS		1,919 SF
SUPPORT AREAS		6,528 SF
SIXTH FLOOR		6,195 SF
GUESTROOMS		4,276 SF
STAIRS AND CORRIDORS		1,919 SF
SUPPORT AREAS		6,528 SF
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GUESTROOMS		4,276 SF
STAIRS AND CORRIDORS		1,919 SF
SUPPORT AREAS		6,528 SF



**INDEX TO DRAWING SYMBOLS**



01 **TERRACE PLAN**  
SCALE: 3/16" = 1'-0"



# CITY OF SAN ANTONIO OFFICE OF HISTORIC PRESERVATION

## HISTORIC AND DESIGN REVIEW COMMISSION COMMISSION ACTION

This is not a Certificate of Appropriateness and cannot be used to acquire permits.

October 16, 2013

**HDRC CASE NO:** 2013-283  
**ADDRESS:** 408 E. Houston  
**LEGAL DESCRIPTION:** NCB 416 BLK 23 LOT 22 (SAT HOUSTON SUBD)  
**HISTORIC DISTRICT:** Alamo Plaza Historic District  
**LANDMARK DISTRICT:** Yes - Alterman's and United Cigar Building  
**APPLICANT:** Nick Naik 7300 Blanco Rd. Ste. 701  
**OWNER:** SA Hou Alamo LLC  
**TYPE OF WORK:** Demolition of three individual landmarks and construction of new hotel

### REQUEST:

The applicant is requesting a Certificate of Appropriateness for final approval to:

1. Demolish three individual landmarks.
2. Construct a new 10 story hotel. The proposed hotel will be clad in brick and stucco and will have a rooftop pool.

### FINDINGS:

- a. A demolition application for the three buildings at 408-416 East Houston was approved by HDRC on October 17, 2007. At that time it was determined that the buildings had lost their significance and that the original storefronts, believed to have been in place behind the false fronts at the time of designation, are no longer extant and most of the original material has been replaced. The proposed replacement building received approval from HDRC on November 5, 2008. The approved 14 story hotel design was never built and the applicant is returning to receive HDRC approval on a different design.
- b. The project was reviewed by the Design Review Committee on August 13, 2013. At that time, there was concern regarding windows facing the Maverick building to the west and the interruption of the pedestrian sidewalk by the driveway. The applicant was encouraged to study the possibility of vehicular access through College Street, articulation on the lower floors facing College Street and provide more indication of mechanical systems.
- c. The project received conceptual approval on September 4, 2013, which included the following stipulations: exploring the possibility of vehicular access through College Street, align the fenestration pattern on the west side of the front façade as close as possible to the adjacent Maverick building, use window proportions that follow nearby historic facades, more articulation is incorporated on the east and south elevations to avoid large expanses of blank walls, and information on location of mechanical systems is submitted during final approval.

d. The project was reviewed by the Design Review Committee on October 8, 2013. At that time, concern was expressed regarding narrowing the sidewalk and that incorporating a curbless drive might be more appropriate. It was also recommended to center the driveway in order to increase the distance between the curb and an existing tree.

e. The design was revised to include changes to the fenestration pattern, window proportions that follow nearby historic facades and more articulation on the south façade. In addition, a vehicular circulation diagram studying the feasibility of accessing the site through College Street was presented.

f. Although as proposed, the driveway transparency and finishes will enhance the pedestrian experience, careful consideration should be taken to not detract or cause adverse effect with the interruption of the sidewalk and the introduction of a driveway. Although this condition is found on other hotels downtown, the effect of the vehicular access on the pedestrian circulation should be minimized. If access through Houston Street is necessary, a one car entrance that then flares out into two lanes should be used instead of a double drive entrance. In addition, the introduction of a driveway and a queuing area at this location will severely impact the pedestrian circulation along Houston Street and significantly reduce the sidewalk width. If queuing vehicles obstructing the street is a concern, vehicles should either be pulled in all the way into the driveway and parking area or be directed to go around the block until the driveway is accessible. No reduction of the sidewalk should exist at any point.

**RECOMMENDATION:**

Staff recommends approval based on the findings above with the following stipulations:

1. Center the driveway between the two columns to provide better pedestrian circulation.
2. Remove the queuing area on the street in order to avoid reducing the sidewalk width and maintain the pedestrian space.

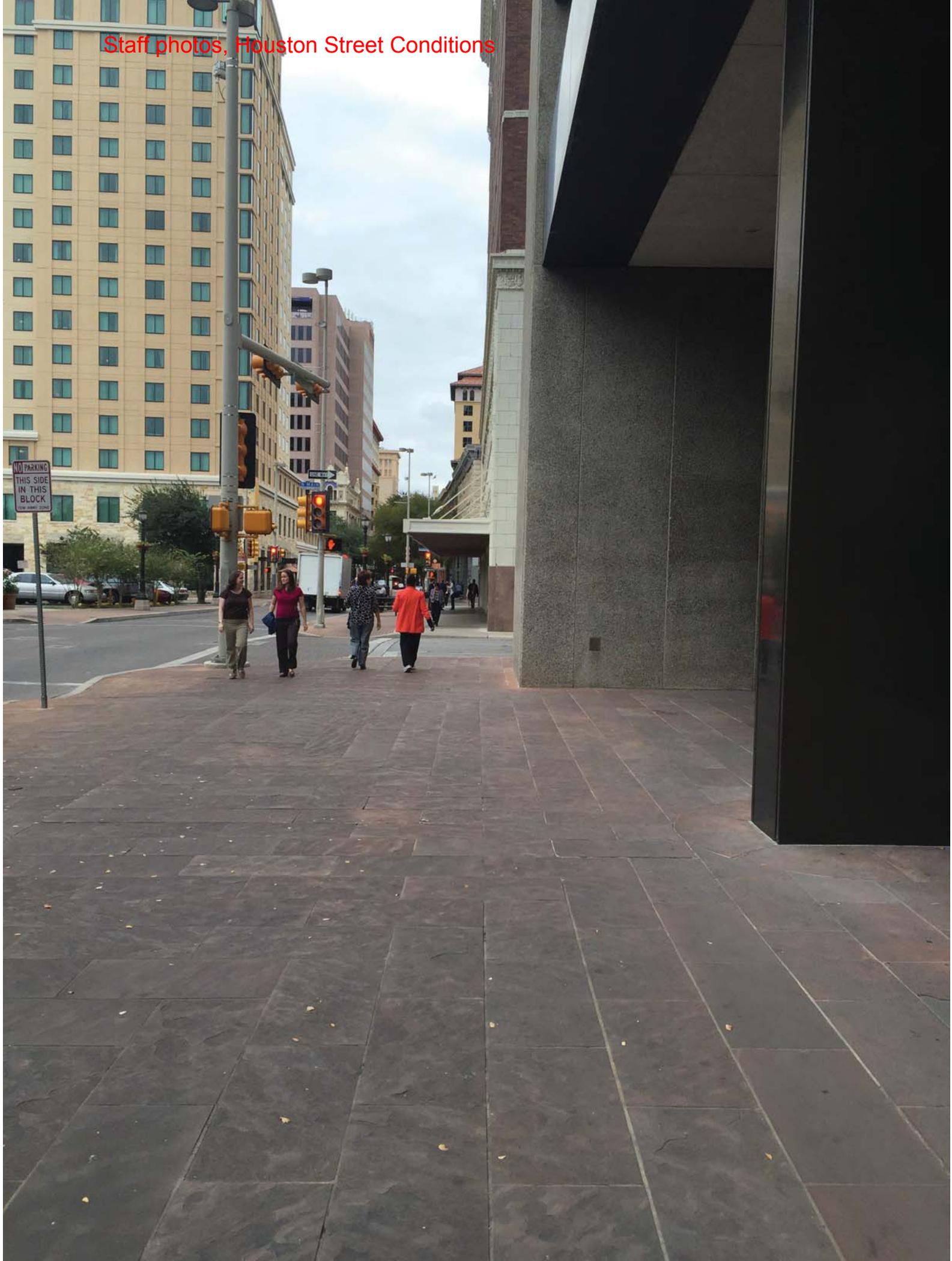
**COMMISSION ACTION:**

Approval of a single entrance with staff's recommendations.



For Shanon Shea Miller  
Historic Preservation Officer

Staff photos, Houston Street Conditions



Staff photos, Houston Street Conditions





Staff photos, Houston Street Conditions





Staff photos, Houston Street Conditions





**ARTS CENTER ENTERPRISES, INC.**  
*Professionally Managing the Historic Majestic and Empire Theatres*





Property Line



Property Line

Staff photos, Houston Street Conditions



Staff photos, Houston Street Conditions



Staff photos, Houston Street Conditions





**Buckhorn Curio Store**  
*"THE WORLD'S ODDEST STORE"*



Staff photos, Houston Street Conditions





Property line marker

Staff photos, Houston Street Conditions



Staff photos, Houston Street Conditions





Staff photos, Houston Street Conditions



Staff photos, Houston Street Conditions



Staff photos, Houston Street Conditions

- Kersey Ceramics Studio & Shop
- C.A. James Bicycle Shop
- Thai Lao Orchid Restaurant
- A-Awesome Event Tickets
- KAWASHI Sushi & Japanese Cuisine





Staff photos, Houston Street Conditions





SAN ANTONIO  
children's museum

Toscana  
ristorante & bar

ABOUT THE DO SEUM  
EXHIBITS TOYS TRAVELING EXHIBIT GALLERY  
October 7, 2014 through March 31, 2015  
For information on this building, call:  
JEFF MILLER  
210.308.9888

PRESENTS  
TOYS  
The Inside Story





Staff photos, Houston Street Conditions





Staff photos, Houston Street Conditions

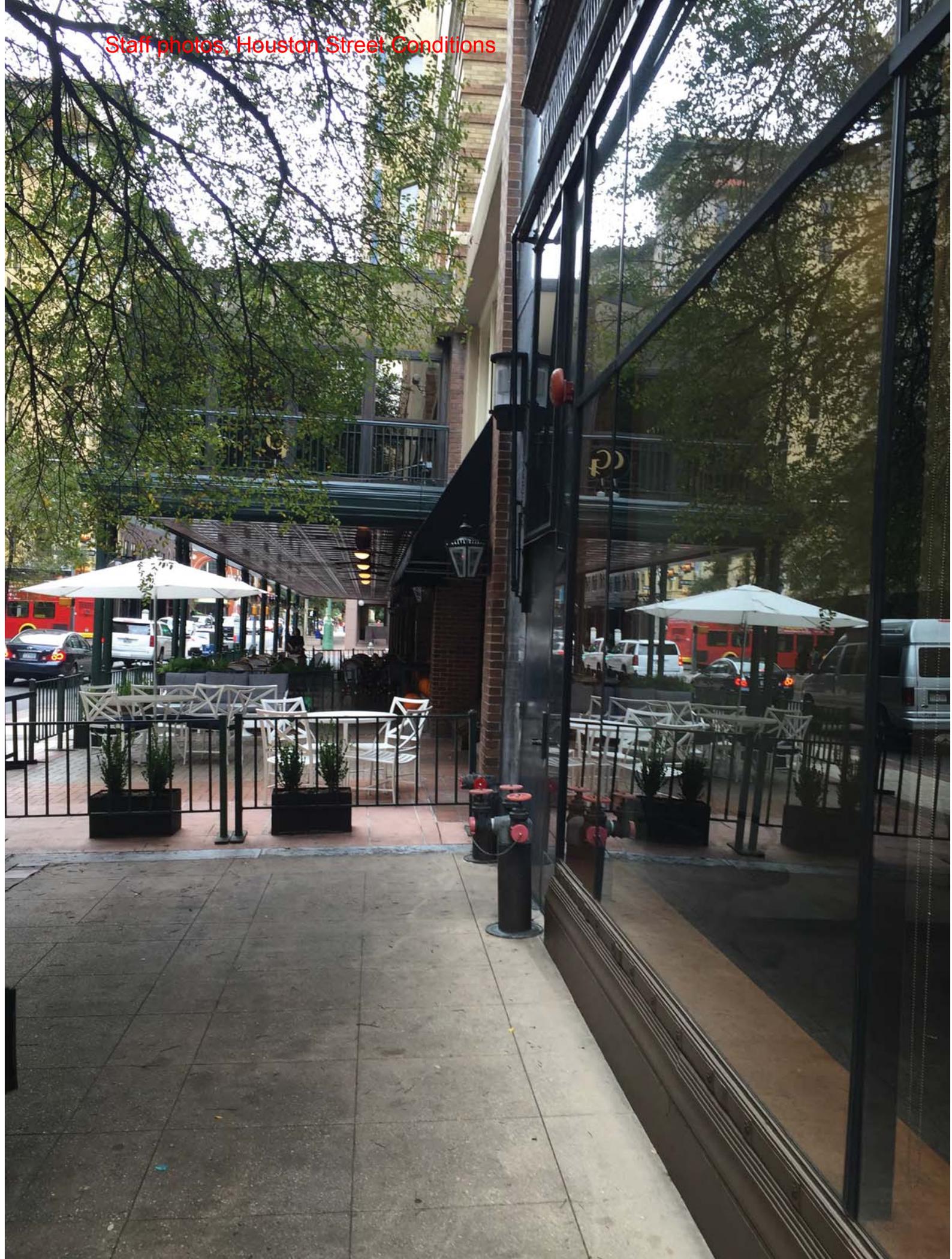


Staff photos, Houston Street Conditions





Staff photos, Houston Street Conditions



Staff photos, Houston Street Conditions



Staff photos, Houston Street Conditions



Staff photos, Houston Street Conditions





CITY OF SAN ANTONIO  
OFFICE OF HISTORIC  
PRESERVATION

Historic and Design Review Commission  
Design Review Committee  
Report & Recommendation

DATE: 11-13-14 HDRC Case# \_\_\_\_\_

ADDRESS: 408 E Houston Meeting Location: Lonestar

APPLICANT: Nick Naik

DRC Members present: Michael Guzman, Betty Feldman

Staff present: Comy Edwards

Others present: \_\_\_\_\_

REQUEST: Revisions to scope of hotel design / construction

COMMENTS/CONCERNS: Building will extend past marcorick. Will be flush with building on other side. Previous buildings did not align. Cornice has been damaged. Cornice is proposed to terminate into new building. Mh- Relationship at corner is biggest issue. Doesn't see a conflict ~~to~~ with solution. Has no issue with changes.

COMMITTEE RECOMMENDATION: APPROVE [ ] DISAPPROVE [ ]  
APPROVE WITH COMMENTS/STIPULATIONS:

\_\_\_\_\_  
Committee Chair Signature (or representative)

\_\_\_\_\_  
Date