

## HISTORIC AND DESIGN REVIEW COMMISSION

July 06, 2016

Agenda Item No: 13

**HDRC CASE NO:** 2016-225  
**ADDRESS:** 714 N PINE ST  
**LEGAL DESCRIPTION:** NCB 1659 BLK G LOT 5  
**ZONING:** R6 H  
**CITY COUNCIL DIST.:** 2  
**DISTRICT:** Dignowity Hill Historic District  
**APPLICANT:** Jennifer & Leo Naeger  
**OWNER:** Jennifer & Leo Naeger  
**TYPE OF WORK:** Tax Certification  
**REQUEST:**

The applicant is requesting Historic Tax Certification for the property at 714 N Pine.

### APPLICABLE CITATIONS:

*UDC Section 35-618. Tax Exemption Qualifications:*

(d) Certification.

(1) Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.

### FINDINGS:

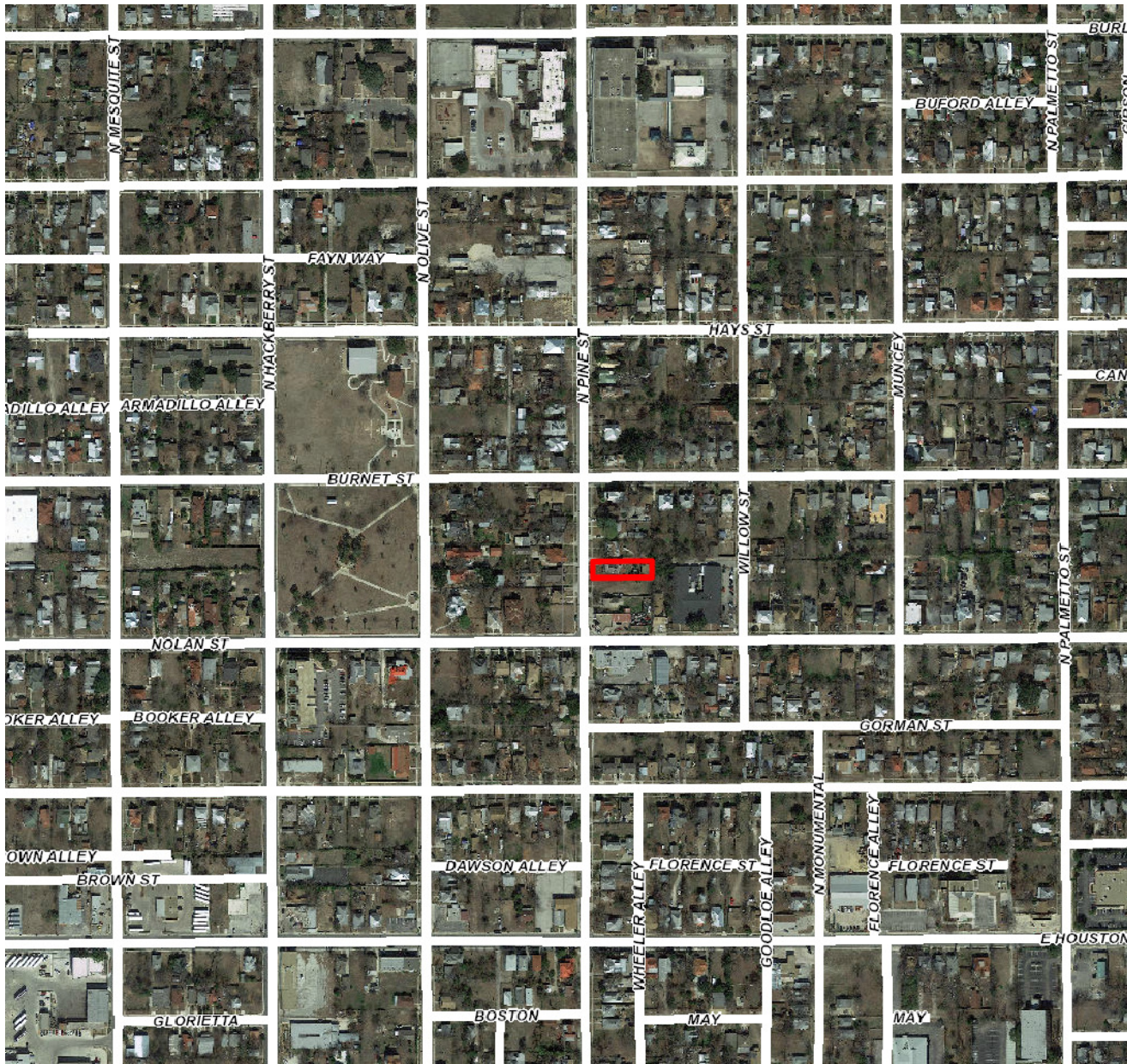
- a. The applicant is requesting Historic Tax Certification for the property located at 714 N Pine. The scope of work consists of foundation repair, roof repair, air-conditioning, new doors and windows, electrical, plumbing, and flooring.
- b. The requirements for Historic Tax Certification outlined in UDC Section 35-618 have been met and the applicant has provided evidence to that effect to the Historic Preservation Officer including photographs and an itemized list of costs.
- c. Staff visited the site June 21, 2016.

### RECOMMENDATION:

Staff recommends approval as submitted based on findings a through c.

### CASE MANAGER:

Lauren Sage



## Flex Viewer

Powered by ArcGIS Server

Printed: Jun 21, 2016

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SA. ZONING  
110-238 8924  
110-238 8924

TEXAS  
FGP-3670

Jennifer Naeger

HIDRC case No 16-3230

2219 West Salinas St.  
San Antonio, TX 78207  
Phone: 210-771-1193  
E-Mail: [aggieace@gmail.com](mailto:aggieace@gmail.com)

May 17, 2016

City of San Antonio  
Office of Historic Preservation  
1901 S. Alamo St.  
San Antonio, TX 78204

Dear Sir/Madam:

We are applying for tax relief as set forth in City of San Antonio Ordinance No. 52281.

Re request for Statement of expected costs of improvements: Costs are expected at ~~\$140,000.00~~ 85,109.09

Re request for projected time schedule for restoration: August 1, 2016 completion

Sincerely,



Jennifer Naeger

713 N. Pine St Renovation Spreadsheet

Area	Labor	Material	Notes
Foundation	\$2,000.00	\$500.00	Additional Support and Leveling
Roof	\$2,500.00	\$2,000.00	Repairs, Addition of beams for support
Air Conditioning	\$5,500.00	\$9,500.00	1 - 5 ton and 1-3 ton
Doors	\$1,500.00	\$4,000.00	Front Entrance, Back and Side
Windows	\$3,000.00	\$11,500.00	New Frames, Double pane glass
Trim	\$2,300.00	\$4,500.00	Ceellngs, stairwell, etc
Electrical	\$3,500.00	\$1,500.00	
Bathrooms	\$1,000.00	\$4,500.00	New Tubs, showers, & vanities
Floors	\$2,500.00	\$4,500.00	
Walls	\$3,000.00	\$4,500.00	
Tile	\$1,500.00	\$4,300.00	Bathrooms, Utility
Porch/Decking	\$2,000.00	\$3,500.00	Addition of cement(wrap around), decking
Sub-Total	\$30,300.00	\$54,800.00	
Total		\$85,100.00	

# Bexar CAD

## Property Search Results > 118950 NAEGER JENNIFER & LEO for Year 2016

### Property

#### Account

Property ID:	118950	Legal Description:	NCB 1659 BLK G LOT 5
Geographic ID:	01659-001-0050	Agent Code:	
Type:	Real		
Property Use Code:	001		
Property Use Description:	Single Family		

#### Location

Address:	714 N PINE ST SAN ANTONIO, TX 78202	Mapsc0:	617B4
Neighborhood:	DIGNOWITY HILL HIST DIST	Map ID:	
Neighborhood CD:	57069		

#### Owner

Name:	NAEGER JENNIFER & LEO	Owner ID:	2992803
Mailing Address:	2219 W SALINAS ST SAN ANTONIO, TX 78207-2952	% Ownership:	100.0000000000%
		Exemptions:	

### Values

(+) Improvement Homesite Value:	+	\$109,440	
(+) Improvement Non-Homesite Value:	+	\$0	
(+) Land Homesite Value:	+	\$55,560	
(+) Land Non-Homesite Value:	+	\$0	Ag / Timber Use Value
(+) Agricultural Market Valuation:	+	\$0	\$0
(+) Timber Market Valuation:	+	\$0	\$0
-----			
(=) Market Value:	=	\$165,000	
(-) Ag or Timber Use Value Reduction:	-	\$0	
-----			
(=) Appraised Value:	=	\$165,000	
(-) HS Cap:	-	\$0	
-----			
(=) Assessed Value:	=	\$165,000	

### Taxing Jurisdiction

### Improvement / Building

### Land

## Roll Value History

## Deed History - (Last 3 Deed Transactions)

**2016 data current as of Jun 20 2016 12:47AM.**

**2015 and prior year data current as of Jun 10 2016 9:35AM**

**For property information, contact (210) 242-2432 or (210) 224-8511 or email.**

**For website information, contact (210) 242-2500.**

714 N. Pine St.  
Case No.  
16-3230



1 WEST ELEVATION

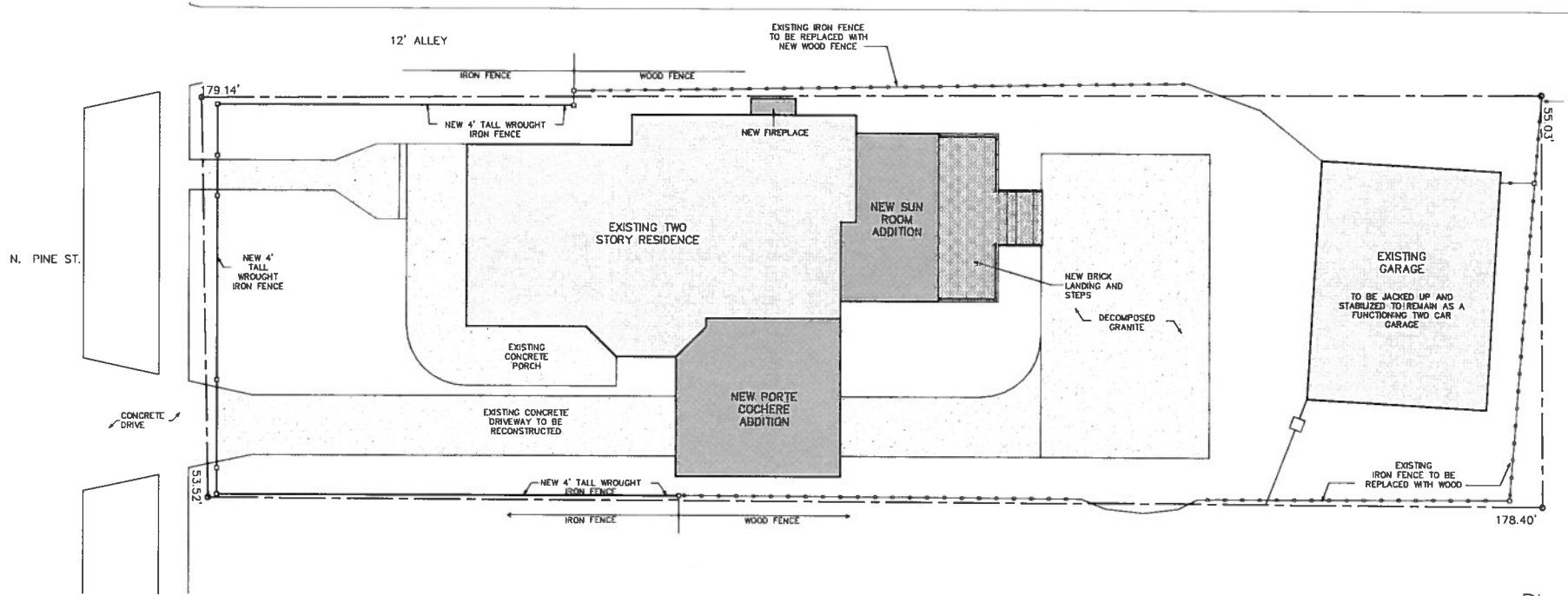
Scale: 1/4" = 1'-0"





1 SOUTH ELEVATION

Scale: 1/4" = 1'-0"



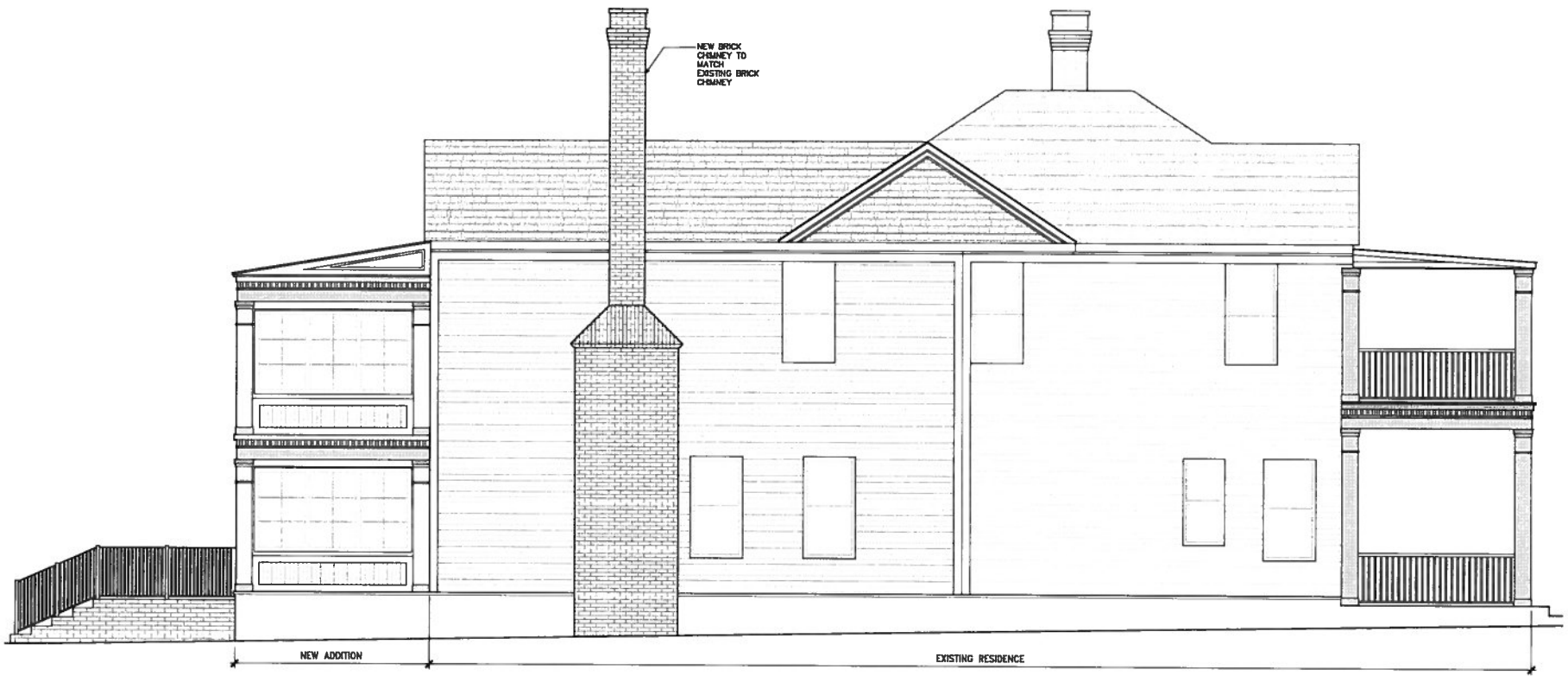
1 Site Plan

Plan  
North North

Scale: 1/8"=1'-0"







NEW BRICK  
CHIMNEY TO  
MATCH  
EXISTING BRICK  
CHIMNEY

NEW ADDITION

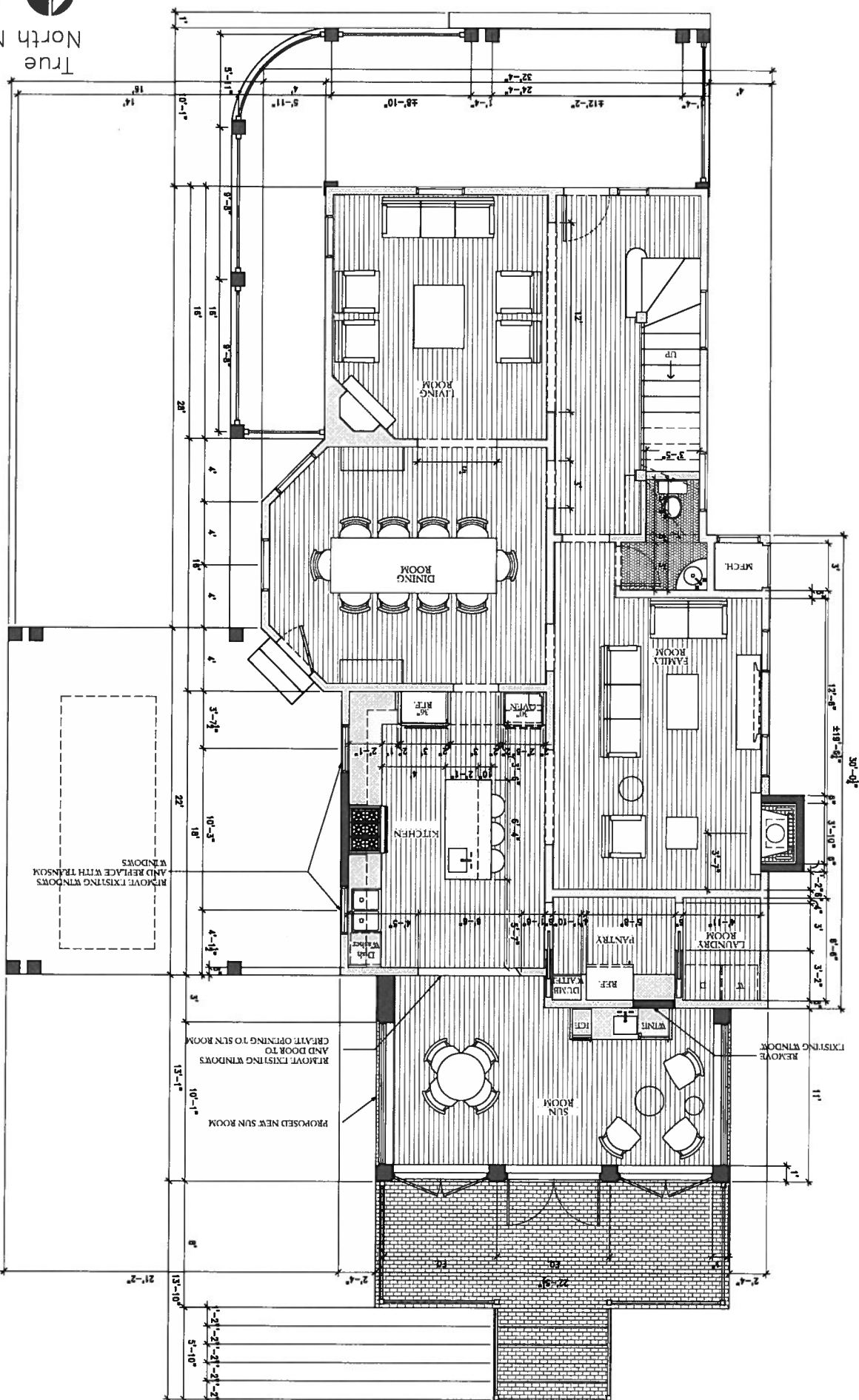
EXISTING RESIDENCE

1 NORTH ELEVATION

Scale: 1/4" = 1'-0"

1 FIRST - FLOOR PLAN

Scale: 1/4" = 1'-0"

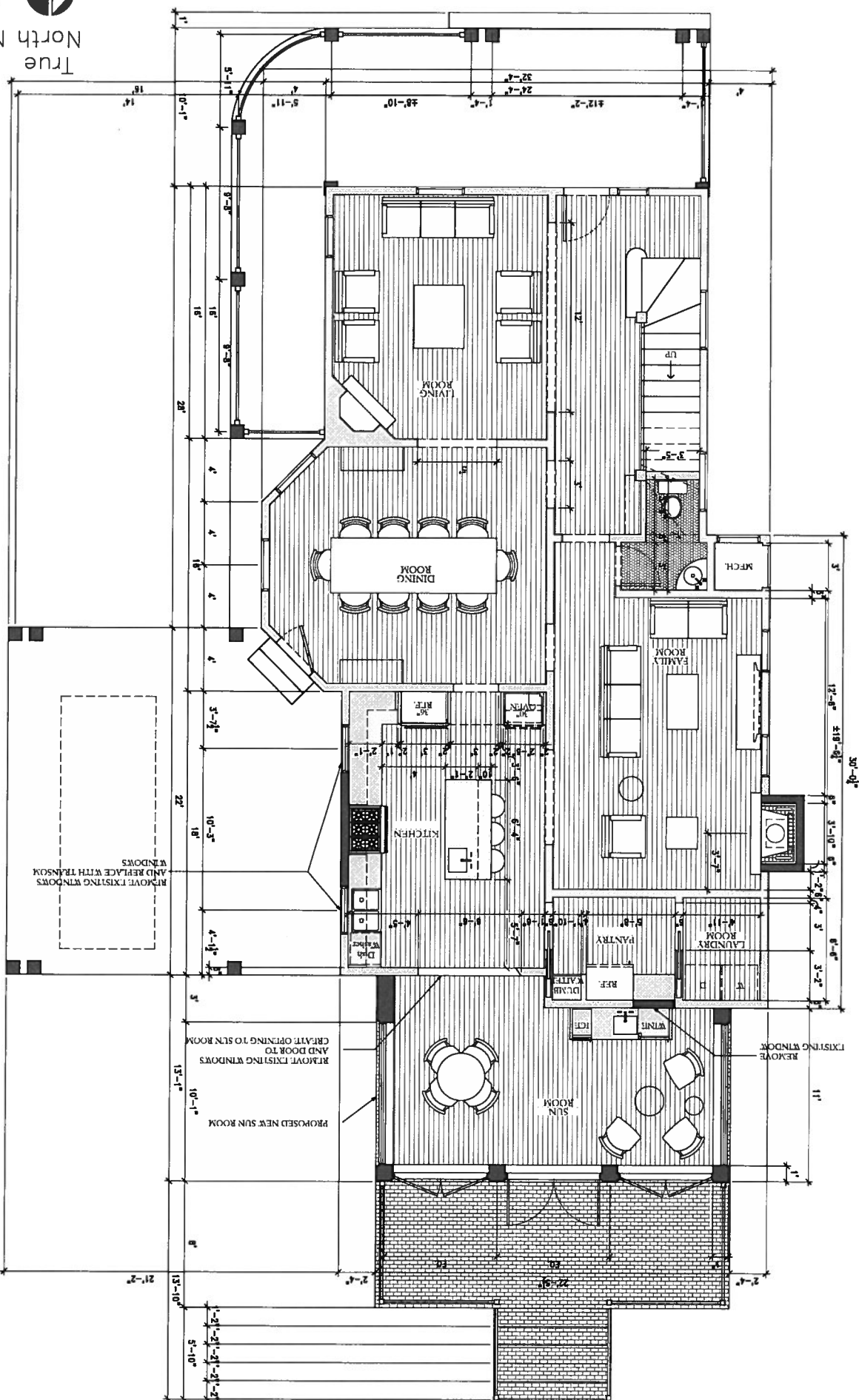


REMOVE EXISTING WINDOWS AND REPLACE WITH TRUSS WINDOWS

REMOVE EXISTING WINDOWS AND DOOR TO CREATE OPENING TO SUN ROOM

PROPOSED NEW SUN ROOM

REMOVE EXISTING WINDOW





1 EAST ELEVATION

Scale: 1/4" = 1'-0"

**Naeger Residence  
714 N. Pine Street  
San Antonio, Texas**

**PROPOSED WORK NARRATIVE:**

In an effort to bring back elements of original structure, front porch columns will be reconstructed. An entablature will be added around the porch to highlight the craftsmanship of the era and reflect architecture around some of the surrounding residences. In order to facilitate access and bring the residence to today's needs, while keeping within the traditional texture, a porte-cochere will be added on the South side of the residence, which will take advantage of the existing driveway access from the front street. The porte-cochere will be attached to the main structure, but will be recessed back in an effort to respect the importance and authenticity of the front façade. In an effort to keep the porte-cochere proportionate to the front façade, columns an intermediate column will be added to reduce the opening of driveway.

A back addition is being proposed in the form of a sunroom. The Sunroom will read as a porch addition with infill walls, which will be fully glazed. The columns will match the front porch as well as the entablature, in an effort to keep the same architectural dialogue throughout the proposed additions: front porch, porte-cochere, and sun room.

Lastly, in order to resurrect an important element of the house, which is now gone, we are proposing to reconstruct a round window at the front gable, and replace the current siding with wood shingles, which goes back to the original structure represented in an older photograph and attached in this package.

A fireplace will be added to the family room, with chimney on North façade. The chimney will be constructed of brick to match the existing chimney at living room, not only in material, but in dimensions and detail as well.

**SCOPE OF WORK:**

Conceptual approval has been granted for majority of items above. In keeping with HDRC recommendations, two pending items for final approval have been modified per commissioners' suggestions:

1. Add porte-cochere
  - a. New porte-cochere to south side of residence
  - b. To be recessed from front façade
  - c. Similar porte-cochere on same street, see attached image as precedent
  - d. Columns and entablature to match front porch
  - e. In order to keep opening proportionate to front porch bays, an intermediate column will be added between South wall and porte-cochere South Columns. See elevations.

**Naeger Residence  
714 N. Pine Street  
San Antonio, Texas**

2. **Fireplace at Family Room**
  - a. **New fireplace at Family Room**
  - b. **Chimney to be on North wall**
  - c. **Chimney to be brick to match existing chimney at living room fireplace**
  - d. **Chimney detail and cap detail to match existing**