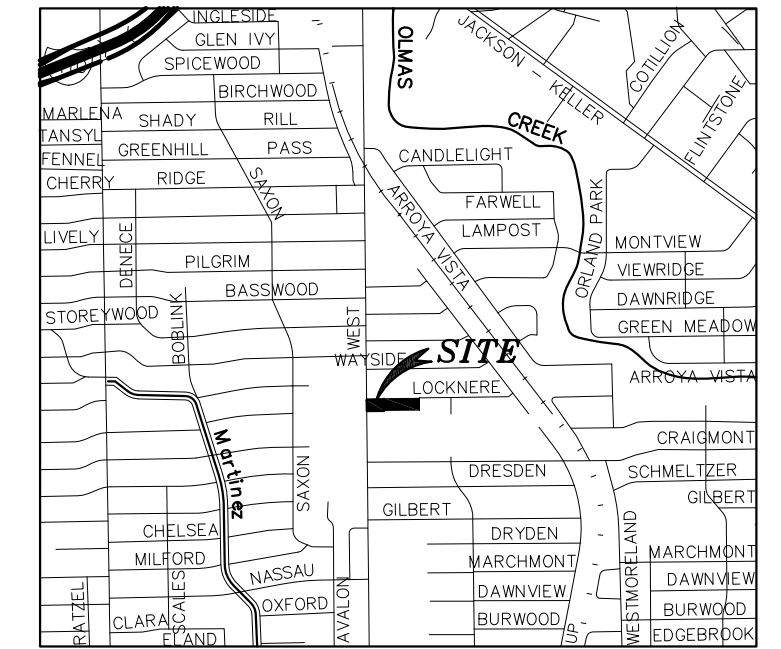
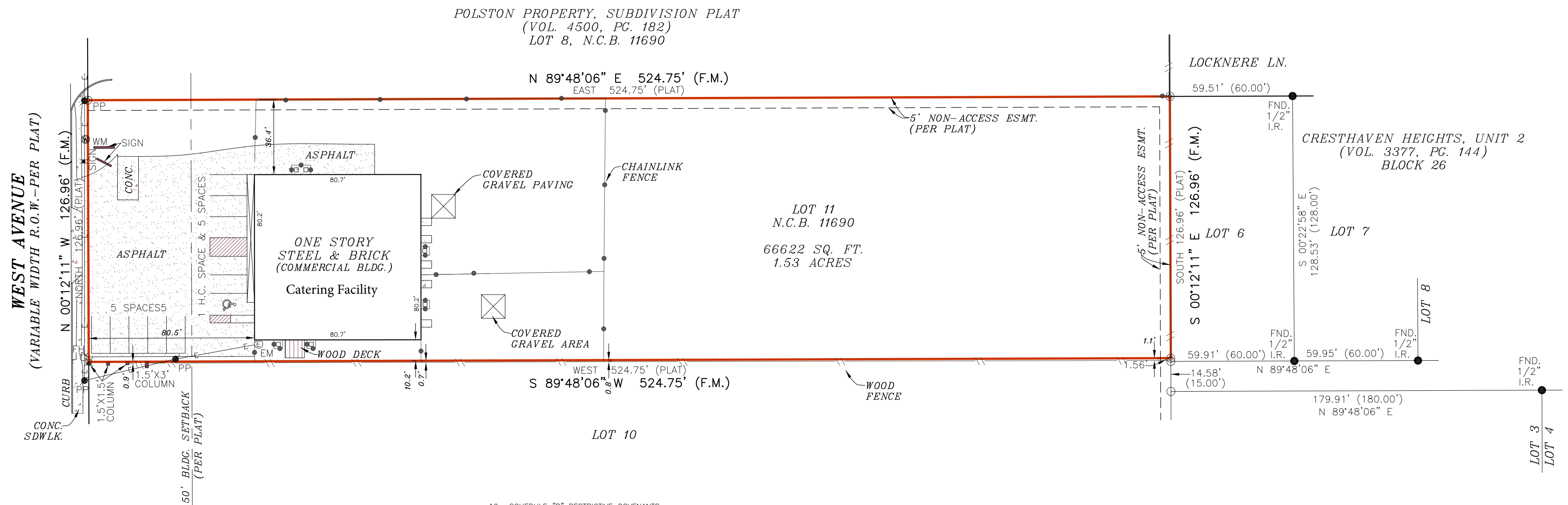


Requesting a change from RM-4 CD (conditional use for a daycare) to RM-4 CD (conditional use for a caterers and catering shop)

Z-2021-10700008 CD



LOCATION MAP
N.T.S.



10. SCHEDULE "B" RESTRICTIVE COVENANTS.
 C. TERMS, CONDITIONS, AND STIPULATIONS CONTAINED IN THAT CERTAIN HISTORIC DESIGNATION: VERIFIED CERTIFICATE, RECORDED IN VOLUME 16817, PAGE 1967, OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS
 E. EASEMENTS, DEDICATIONS, BUILDING LINES AND ALL OTHER MATTERS SHOWN OR STATED ON THE PLAT OF GRAHAM L. BURRIS PROPERTY SUBDIVISION, RECORDED IN/UNDER VOLUME 6900, PAGE(S) 127, DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS. (AS SHOWN HEREON)
 F. A BUILDING SETBACK LINE, 50 FEET IN WIDTH, ALONG, ADJACENT AND PARALLEL TO THE FRONT BOUNDARY LINE OF THE LAND AS STATED AND SHOWN ON THE SUBDIVISION PLAT RECORDED IN/UNDER VOLUME 6900, PAGE(S) 127, DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS. (AS SHOWN HEREON)
 G. A NON-ACCESS EASEMENT, 5 FEET IN WIDTH, ALONG, ADJACENT AND PARALLEL TO THE SIDE AND REAR BOUNDARY LINE OF THE LAND AS STATED AND SHOWN ON THE SUBDIVISION PLAT RECORDED IN/UNDER VOLUME 6900, PAGE(S) 127, DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS. (AS SHOWN HEREON)

FENCE ENCLOSES LOT 10.

LEGEND

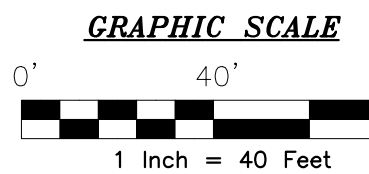
- These standard symbols will be found in the drawing.
- BOUNDARY LINE
 - - - - EASEMENT LINE
 - - - - BUILDING SETBACK LINE
 - CHAINLINK FENCE
 - WOOD FENCE
 - OVERHEAD ELECTRIC
 - ⊙ SET IRON ROD
 - CALCULATED POINT
 - FOUND IRON ROD
 - ⊗ SET "X" ON COLUMN
 - ⊕ WATER METER
 - ⊖ ELECTRIC METER
 - ⊙ POWER POLE
 - ⊕ FIRE HYDRANT
 - ⊙ SIGN
 - (PLAT) RECORDED ON PLAT
 - (F.M.) FIELD MEASURED

I, Cody Lockwood, the property owner, acknowledge that this site plan submitted for the purpose of rezoning this property is in accordance with all applicable provisions of the Unified Development Code. Additionally, I understand that City Council approval of a site plan in conjunction with a rezoning case does not relieve me from adherence to any/all City adopted Codes at the time of plan submittal for building permits.

PARKING SPACE SUMMARY:

TOTAL NUMBER OF HANDICAP SPACES:	01 SPACE
TOTAL NUMBER OF PARKING SPACES:	10 SPACES
TOTAL NUMBER OF SPACES:	11 SPACES

At date of this survey, the property is in FEMA designated 100 Year ZONE X, as verified by FEMA map Panel No: 48029C_0245_G effective date of SEPTEMBER 29, 2010. Exact designations can only be determined by a Elevation Certificate. This information is subject to change as a result of future FEMA map revisions and/or amendments.



I, **JOSE ANTONIO TREVINO**, a Registered Professional Land Surveyor in the State of Texas, do hereby certify to **KEY TITLE GROUP** and **TOBIN CITY PARTNERS, LLC** that the above map is true and correct according to an actual field survey, made by me on the ground or under my supervision, of the property shown hereon or described by field notes accompanying this drawing. I further certify that all easements and rights-of-way of which I have been advised are shown hereon and that, except as shown, there are no visible encroachments, no visible overlapping of improvements and no apparent discrepancies or conflicts in the boundary lines, and no visible physical evidence of easements or rights-of-way as of the date of the field survey. I further certify that this survey meets or exceeds the minimum standards established by the Texas Board of Professional Land Surveying (Section 663.18).
 Borrower/Owner: **TOBIN CITY PARTNERS, LLC**
 Address: **3838 WEST AVENUE** GF No. **KTCGSA-20-1708**

Legal Description of the Land: Lot 11, New City Block 11690, GRAHAM L. BURRIS PROPERTY SUBDIVISION, in the City of San Antonio, Bexar County, Texas, according to plat thereof recorded in Volume 6900, Page 127 of the Deed and Plat Records of Bexar County, Texas.

SUBJECT TO RESTRICTIVE COVENANTS AND/OR EASEMENTS RECORDED IN: VOLUME 6900, PAGE 127, DEED AND PLAT RECORDS, BEXAR COUNTY, TEXAS

PROPERTY PHOTOGRAPH:

FINAL "AS-BUILT" SURVEY

JOB NO.:	2008071674	NO.	REVISION	DATE
DATE:	08/27/20			
DRAWN BY:	JD/RD			
APPROVED BY:	JAT			



JOSE ANTONIO TREVINO, R.P.L.S.
 Registered Professional Land Surveyor
 Registration No. 5552

AMERISURVEYORS, LLC
 1100 NW Loop 410, Suite 546
 San Antonio, Texas 78213
 Phone: (210) 572-1995 Fax: (210) 572-1993