

# HISTORIC AND DESIGN REVIEW COMMISSION

July 17, 2019

**HDRC CASE NO:** 2019-037  
**ADDRESS:** 1000 BROADWAY  
**LEGAL DESCRIPTION:** NCB 459 BLK ALL OF BLK  
**ZONING:** FBZ T6-1  
**CITY COUNCIL DIST.:** 1  
**APPLICANT:** Beth Wells/Bender Wells Clark Design  
**OWNER:** City of San Antonio  
**TYPE OF WORK:** Park improvements  
**APPLICATION RECEIVED:** June 04, 2019  
**60-DAY REVIEW:** August 3, 2019  
**CASE MANAGER:** Stephanie Phillips  
**REQUEST:**

The applicant is requesting final approval to:

1. Construct a fenced, off-leash dog park.
2. Install a Portland-Loo single restroom facility.
3. Install new pedestrian sidewalks and decorative paving.
4. Install various park amenities, including picnic tables, a drinking fountain, and trash receptacles.
5. Install site plantings and low-impact development features.
6. Install site lighting.

## APPLICABLE CITATIONS:

*UDC Sec. 35-641. - Design Considerations for Historic and Design Review Commission Recommendations.*

In reviewing an application, the historic and design review commission shall be aware of the importance of attempting to find a way to meet the current needs of the City of San Antonio, lessee or licensee of public property. The historic and design review commission shall also recognize the importance of recommending approval of plans that will be reasonable to implement. The best urban design standards possible can and should be employed with public property including buildings and facilities, parks and open spaces, and the public right-of-way. Design and construction on public property should employ such standards because the use of public monies for design and construction is a public trust. Public commitment to quality design should encourage better design by the private sector. Finally, using such design standards for public property improves the identity and the quality of life of the surrounding neighborhoods.

*UDC Sec 35-642. – New Construction of Buildings and Facilities:*

In considering whether to recommend approval or disapproval of a certificate, the historic and design review commission shall be guided by the following design considerations. These are not intended to restrict imagination, innovation or variety, but rather to assist in focusing on design principles, which can result in creative solutions that will enhance the city and its neighborhoods. Good and original design solutions that meet the individual requirements of a specific site or neighborhood are encouraged and welcomed.

(a) Site and Setting.

(1) Building sites should be planned to take into consideration existing natural climatic and topographical features. The intrusive leveling of the site should be avoided. Climatic factors such as sun, wind, and temperature should become an integral part of the design to encourage design of site-specific facilities which reinforces the individual identity of a neighborhood and promotes energy efficient facilities.

(2) Special consideration should be given to maintain existing urban design characteristics, such as setbacks, building heights, streetscapes, pedestrian movement, and traffic flow. Building placement should enhance or create focal points and views. Continuity of scale and orientation shall be emphasized.

(3) Accessibility from streets should be designed to accommodate safe pedestrian movement as well as vehicular traffic. Where possible, parking areas should be screened from view from the public right-of-way by attractive fences, berms, plantings or other means.

(4) Historically significant aspects of the site shall be identified and if possible incorporated into the site design. Historic relationships between buildings, such as plazas or open spaces, boulevards or axial

relationships should be maintained.

(b) Building Design.

(1) Buildings for the public should maintain the highest quality standards of design integrity. They should elicit a pride of ownership for all citizens. Public buildings should reflect the unique and diverse character of San Antonio and should be responsive to the time and place in which they were constructed.

(2) Buildings shall be in scale with their adjoining surroundings and shall be in harmonious conformance to the identifying quality and characteristics of the neighborhood. They shall be compatible in design, style and materials. Reproductions of styles and designs from a different time period are not encouraged, consistent with the secretary of the interior's standards. Major horizontal and vertical elements in adjoining sites should be respected.

(3) Materials shall be suitable to the type of building and design in which they are used. They shall be durable and easily maintained. Materials and designs at pedestrian level shall be at human scale, that is they shall be designed to be understood and appreciated by someone on foot. Materials should be selected that respect the historic character of the surrounding area in texture, size and color.

(4) Building components such as doors, windows, overhangs, awnings, roof shapes and decorative elements shall all be designed to contribute to the proportions and scale of their surrounding context. Established mass/void relationships shall be maintained. Patterns and rhythms in the streetscape shall be continued.

(5) Colors shall be harmonious with the surrounding environment, but should not be dull. Choice of color should reflect the local and regional character. Nearby historic colors shall be respected.

(6) Mechanical equipment or other utility hardware should be screened from public view with materials compatible with the building design. Where possible, rooftop mechanical equipment should be screened, even from above. Where feasible, overhead utilities should also be underground or attractively screened. Exterior lighting shall be an integral part of the design. Interior lighting shall be controlled so that the spillover lighting onto public walkways is not annoying to pedestrians.

(7) Signs which are out of keeping with the character of the environment in question should not be used. Excessive size and inappropriate placement on buildings results in visual clutter. Signs should be designed to relate harmoniously to exterior building materials and colors. Signs should express a simple clear message with wording kept to a minimum.

(8) Auxiliary design. The site should take into account the compatibility of landscaping, parking facilities, utility and service areas, walkways and appurtenances. These should be designed with the overall environment in mind and should be in visual keeping with related buildings, structures and places.

## **FINDINGS:**

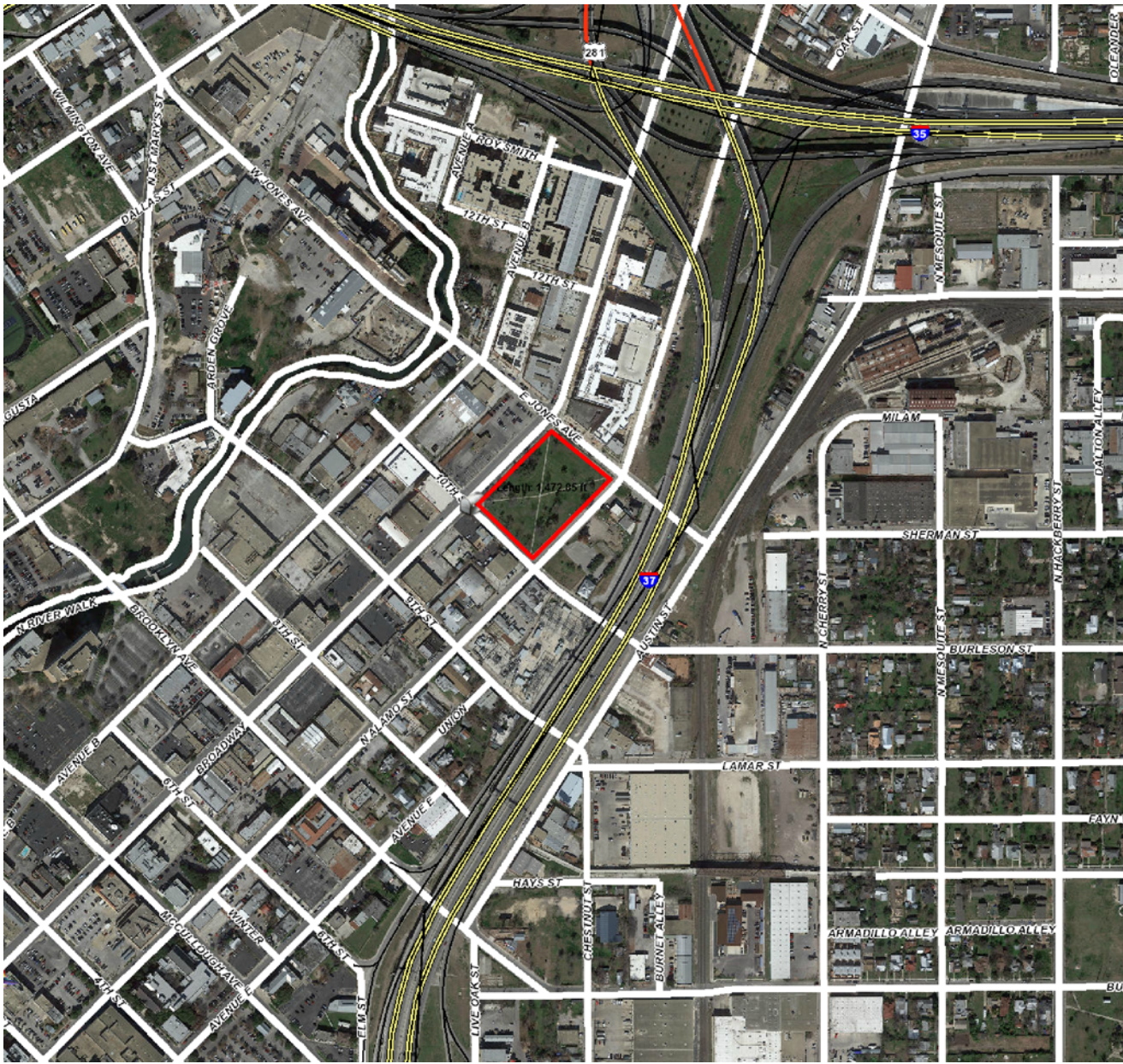
- a. The property located at 1000 Broadway, commonly known as Maverick Park, is a 3-acre, city-owned public park located just north of downtown. The lawn was donated in 1881 by prominent San Antonian Sam Maverick. The applicant is requesting approval for various park improvements and public amenities. The requested scope received conceptual approval from the Historic and Design Review Commission (HDRC) on February 6, 2019.
- b. FENCING AND DOG PARK – The applicant has proposed to construct a new fenced, off-leash dog park with site signage. Staff finds the proposal generally consistent with the UDC.
- c. RESTROOM FACILITY – The applicant has proposed install a new Portland Loo single restroom facility. The facility will be located near the intersection of Broadway and Jones. Staff finds the proposal consistent with the UDC.
- d. SIDEWALKS AND PAVING – The applicant has proposed to install new sidewalks and paving within the park. Materials include native limestone blocks, basalt gravel, and cut stone. An existing pathway will be removed to accommodate proposed park amenities. Staff finds the proposal generally consistent with the UDC.
- e. PARK AMENITIES – The applicant has proposed to install several park amenities, including picnic tables, a drinking fountain, and trash receptacles. Staff finds the proposal generally consistent with the UDC Sec. 35-642 (b).
- f. LANDSCAPING – The applicant has proposed to perform various landscaping modifications, including a low-impact development garden, bioswales, stormwater improvements, and landscaping. The landscaping and stormwater modifications will help with drainage control and will not affect character defining elements of the park. Staff finds the proposal consistent with the UDC Sec. 35-642 (a).
- g. LIGHTING – The applicant has proposed to install pedestrian lighting along new and existing pathways within the park and at the proposed pavilion and play area. Staff finds the proposal consistent with the UDC.
- h. ARCHAEOLOGY – The project shall comply with all federal, state, and local laws, rules, and regulations

regarding archaeology.

**RECOMMENDATION:**

Staff recommends final approval based on findings a through h with the following stipulations:

- i. ARCHAEOLOGY – The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology.



## Flex Viewer

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Printed: Feb 01, 2019

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**Maverick Park Improvements -2017 Bond**



Existing Historic Pavilion



View of park looking south



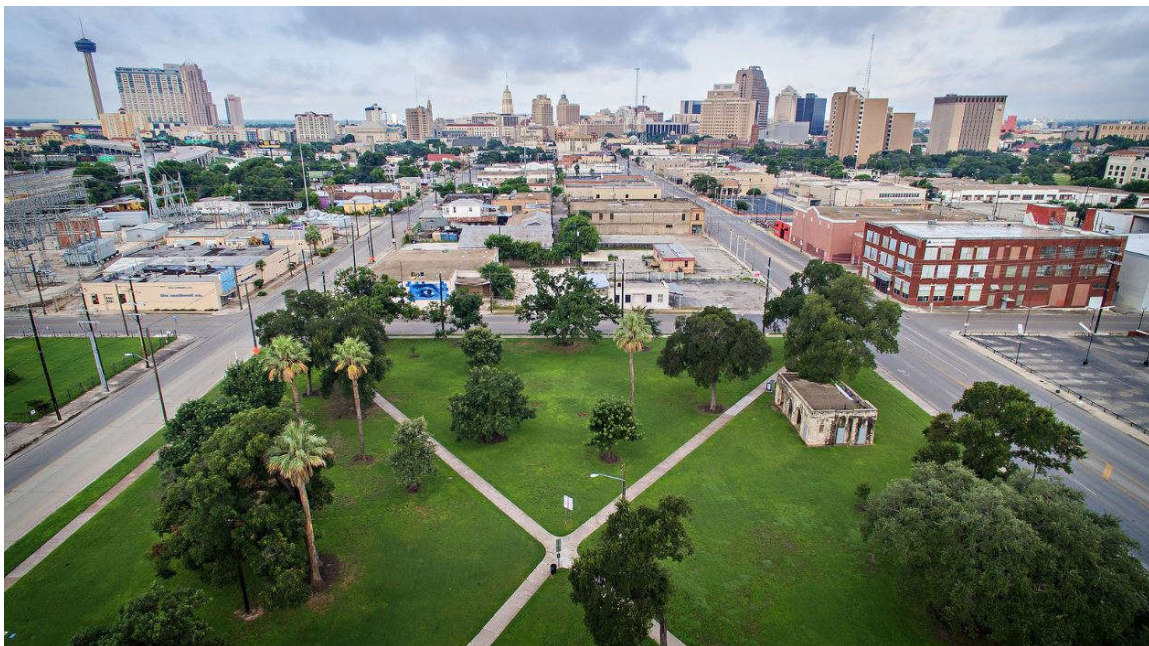
View of park looking north



Parade bleachers in park



View of parade bleachers looking south



Aerial view of park looking south

**Maverick Park Improvements -2017 Bond**



Existing Historic Pavilion



View of park looking south





View of park looking north



Parade bleachers in park



View of parade bleachers looking south



Aerial view of park looking south

## **MAVERICK PARK IMPROVEMENTS**

The applicant is requesting final approval for construction of new park improvements at Maverick Park.

Bender Wells Clark Design has developed Design Documents for these proposed improvements. Components of this project were funded by the 2017 Parks Bonds and include:

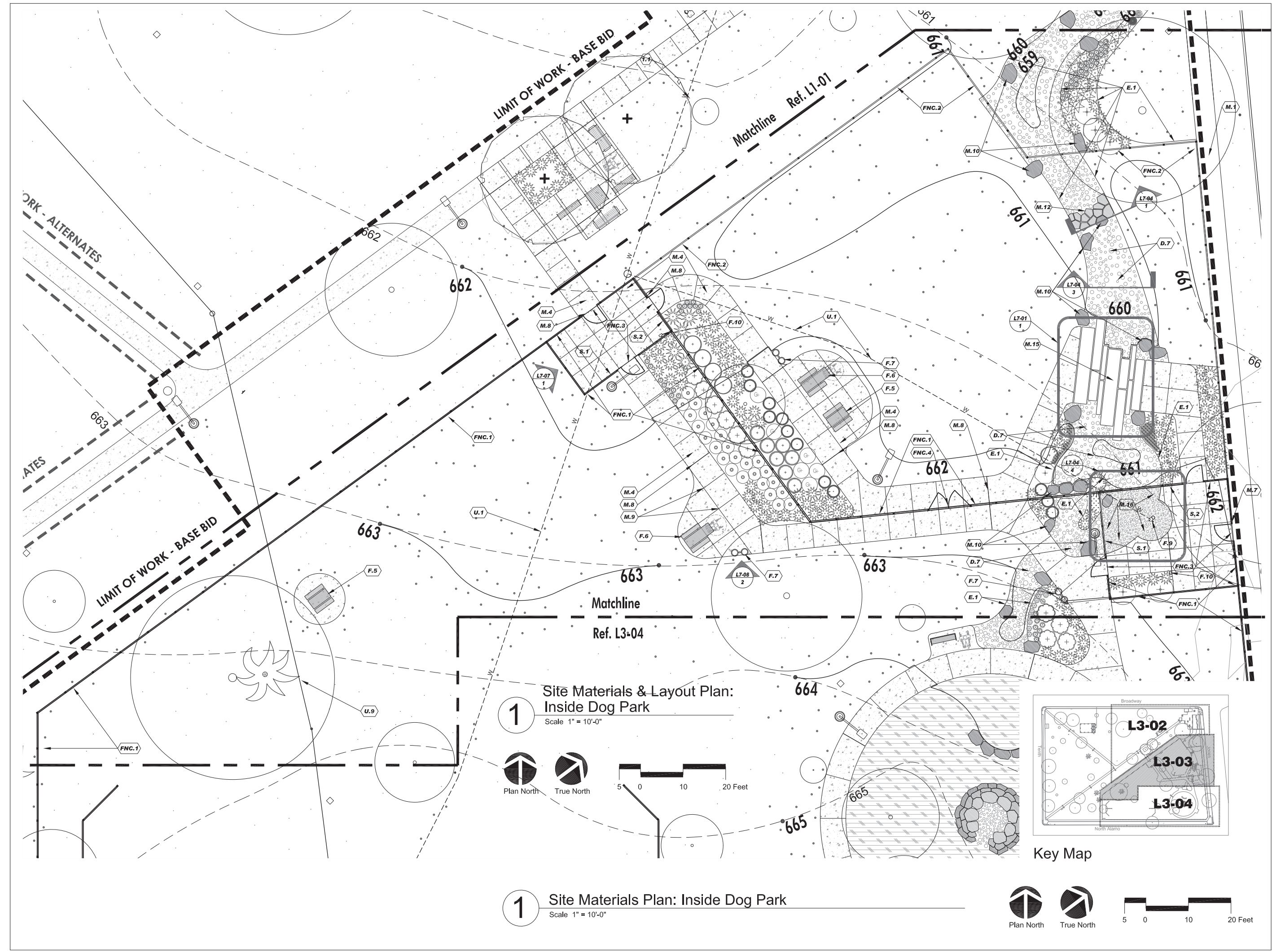
- 1) A new Portland Loo (restroom facility).
- 2) A new fully enclosed fenced Dog Park with areas for small and large dogs
- 3) Sidewalk connections between the new and existing facilities.
- 4) Stormwater management features including a rain garden and bio-swale feature.
- 5) Removal of existing sidewalks and installation of new sidewalks and other walking surfaces.
- 6) New seating and picnic facilities.
- 7) Limited new planting and lighting.
- 8) Existing historic pavilion and large trees will be preserved on the site.

All the proposed improvements will be accessible, constructed of long-lived materials. All the improvements were approved through neighborhood meetings and are consistent with the Conceptual Design Approval given by HDRC on February 6<sup>th</sup>, 2019.





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ISSUE DATE		
No.	Date	Issue Description

**Maverick Park Site Improvements 2017-2022 Bond**

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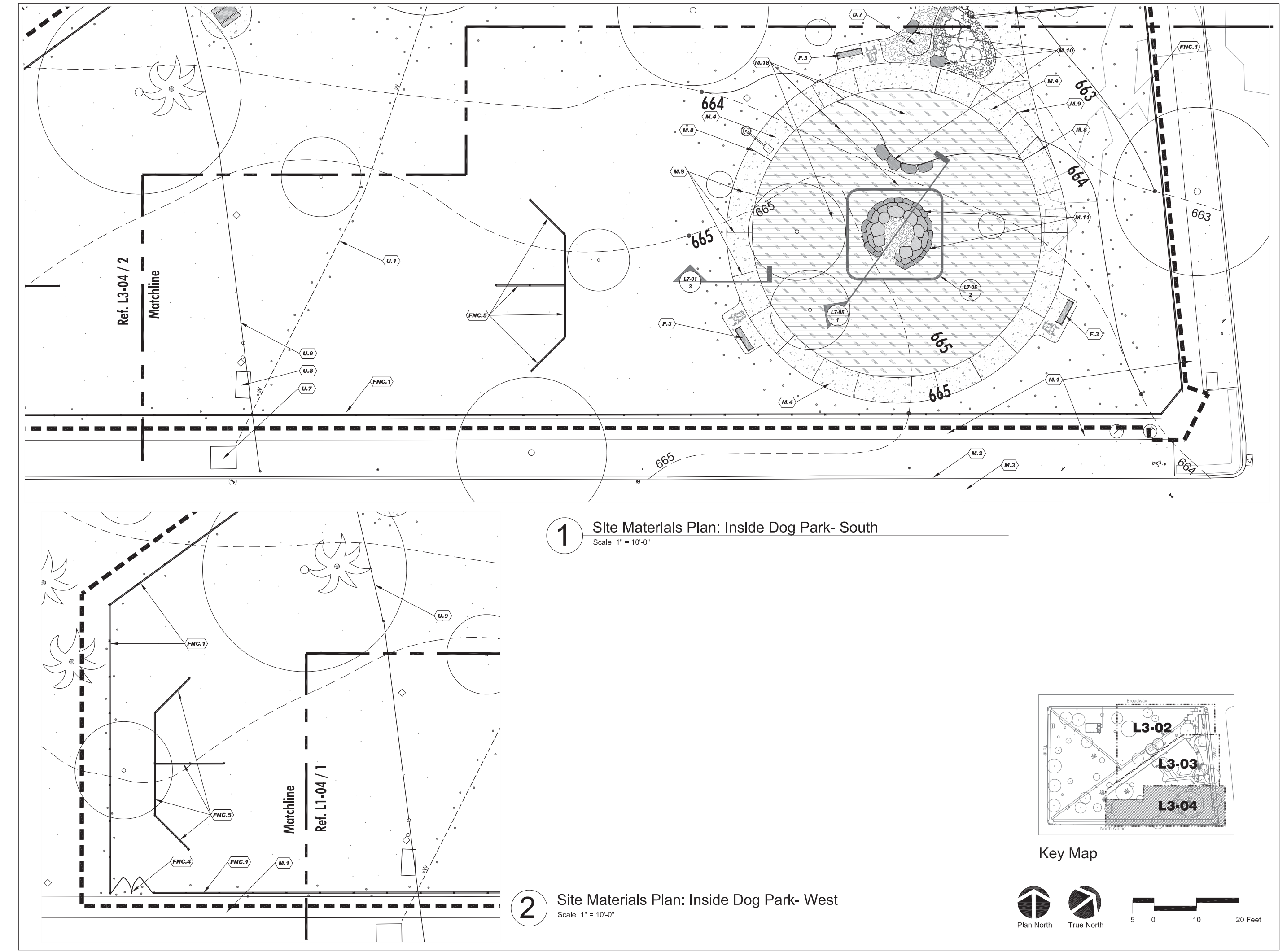
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**Site Materials Plan Inside Dog Park**

**L3-03**



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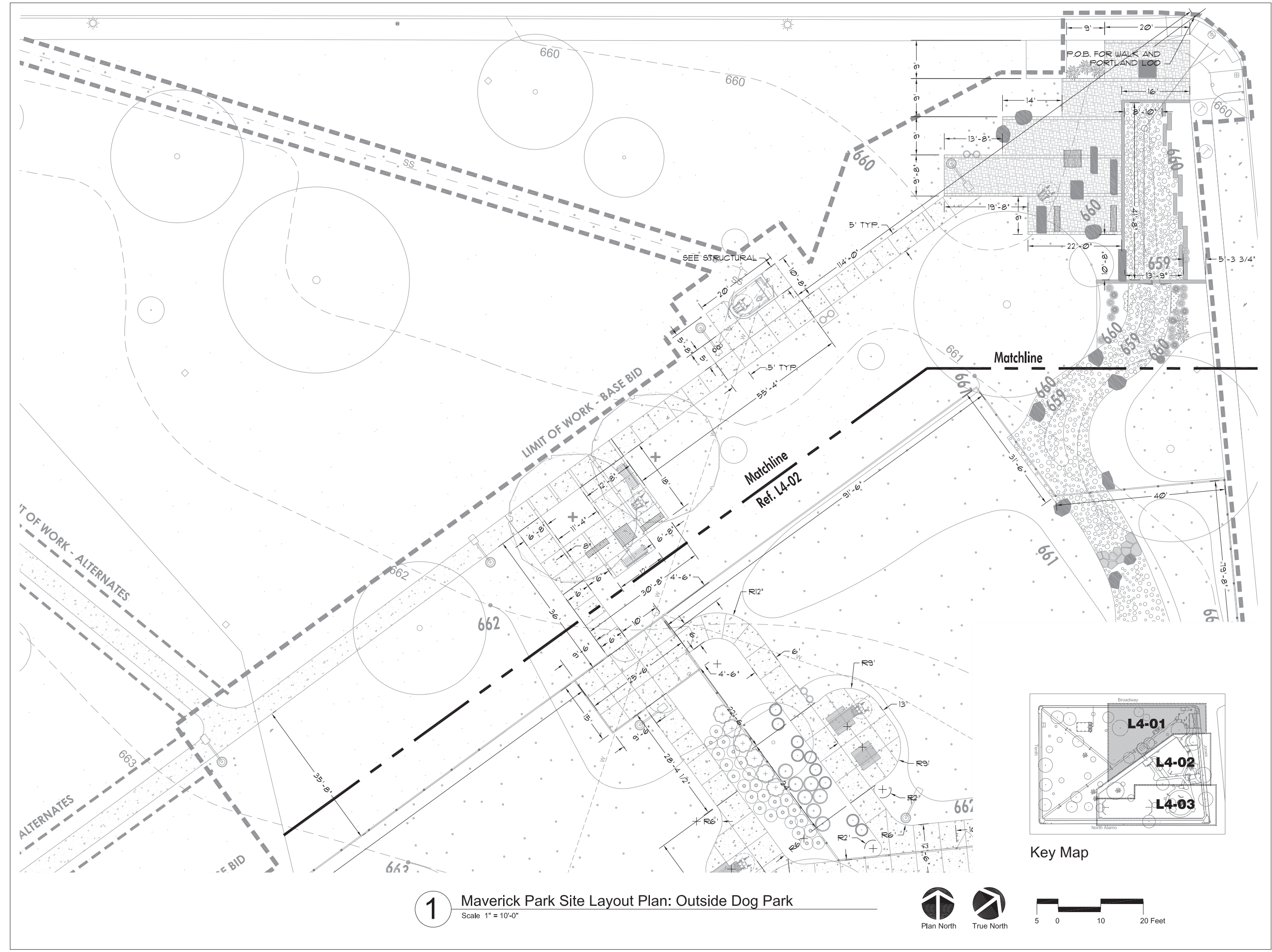
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**Site Materials Plan South Dog Park**

**L3-04**

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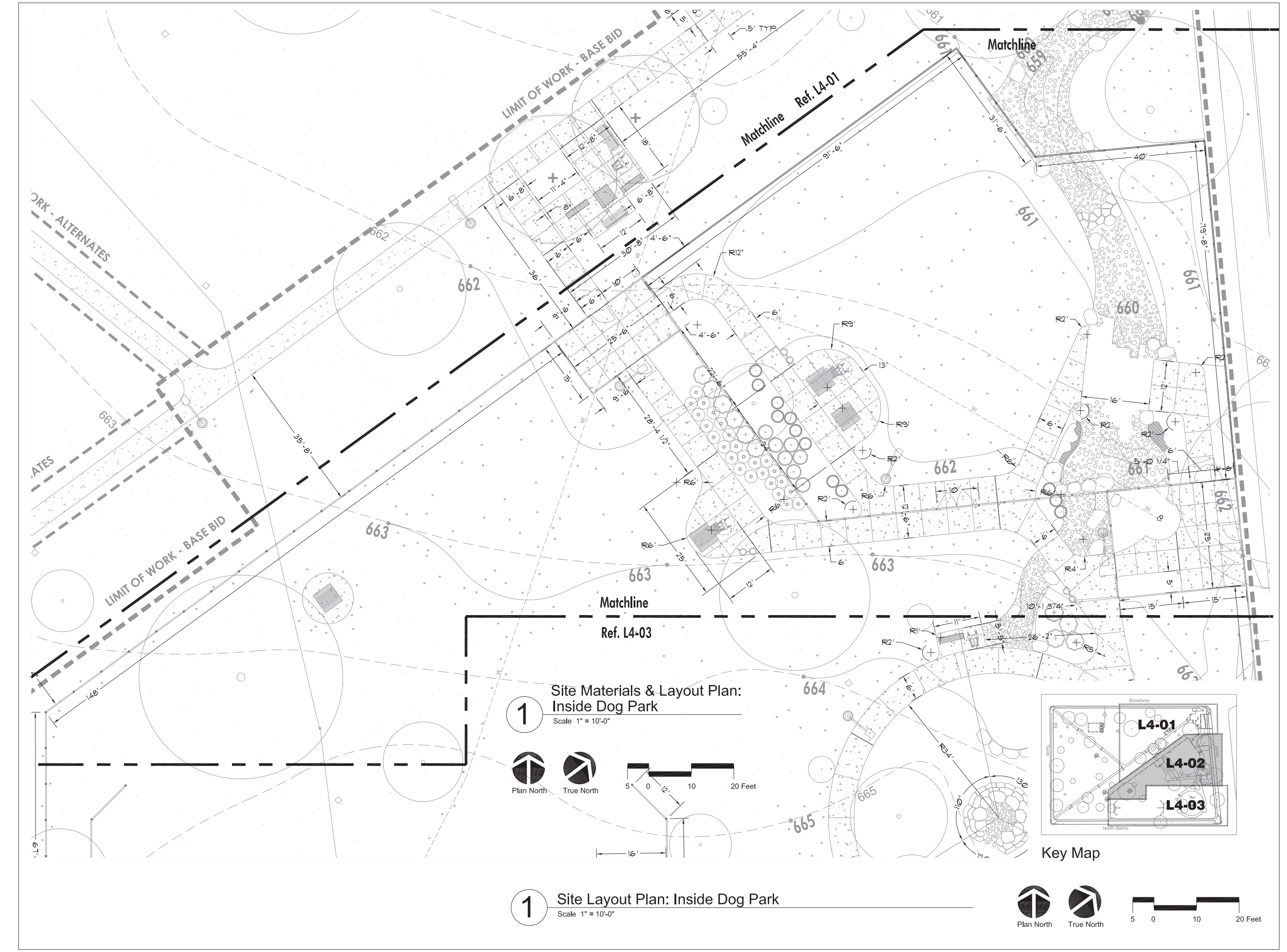
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**Site Layout Plan Outside Dog Park**

**L4-01**



ISSUE DATE		
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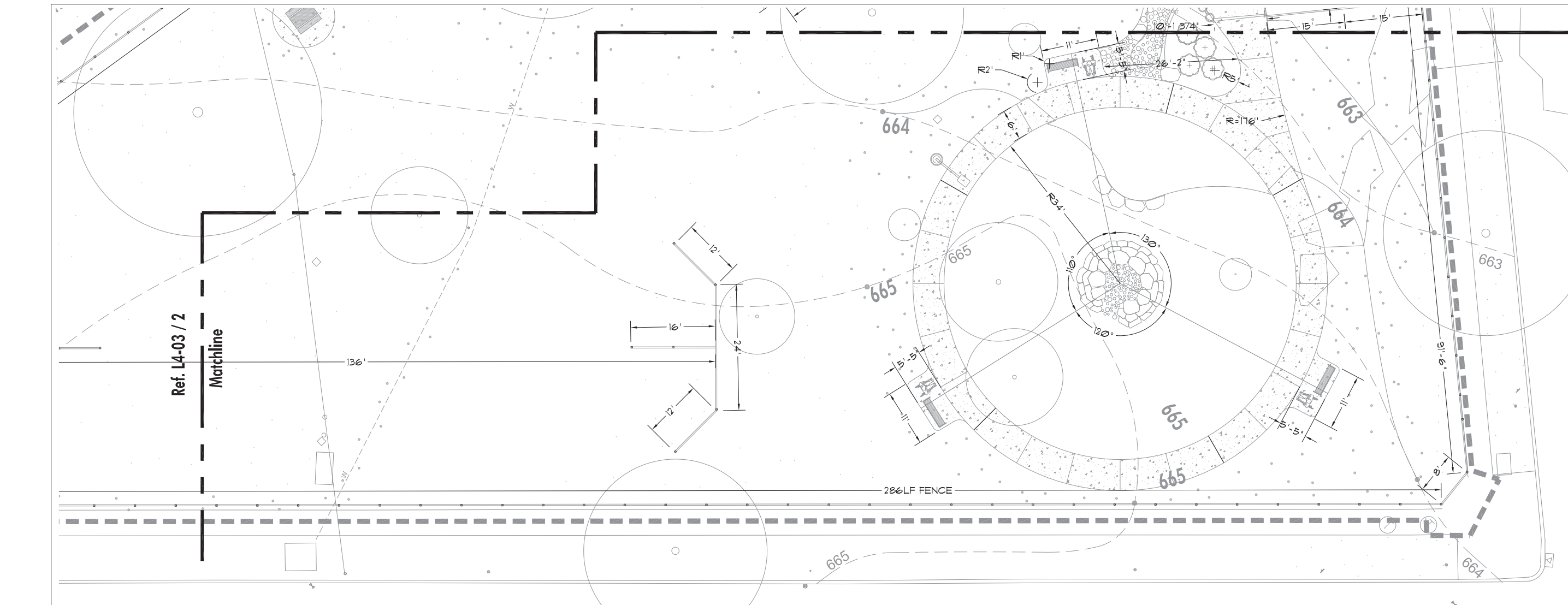
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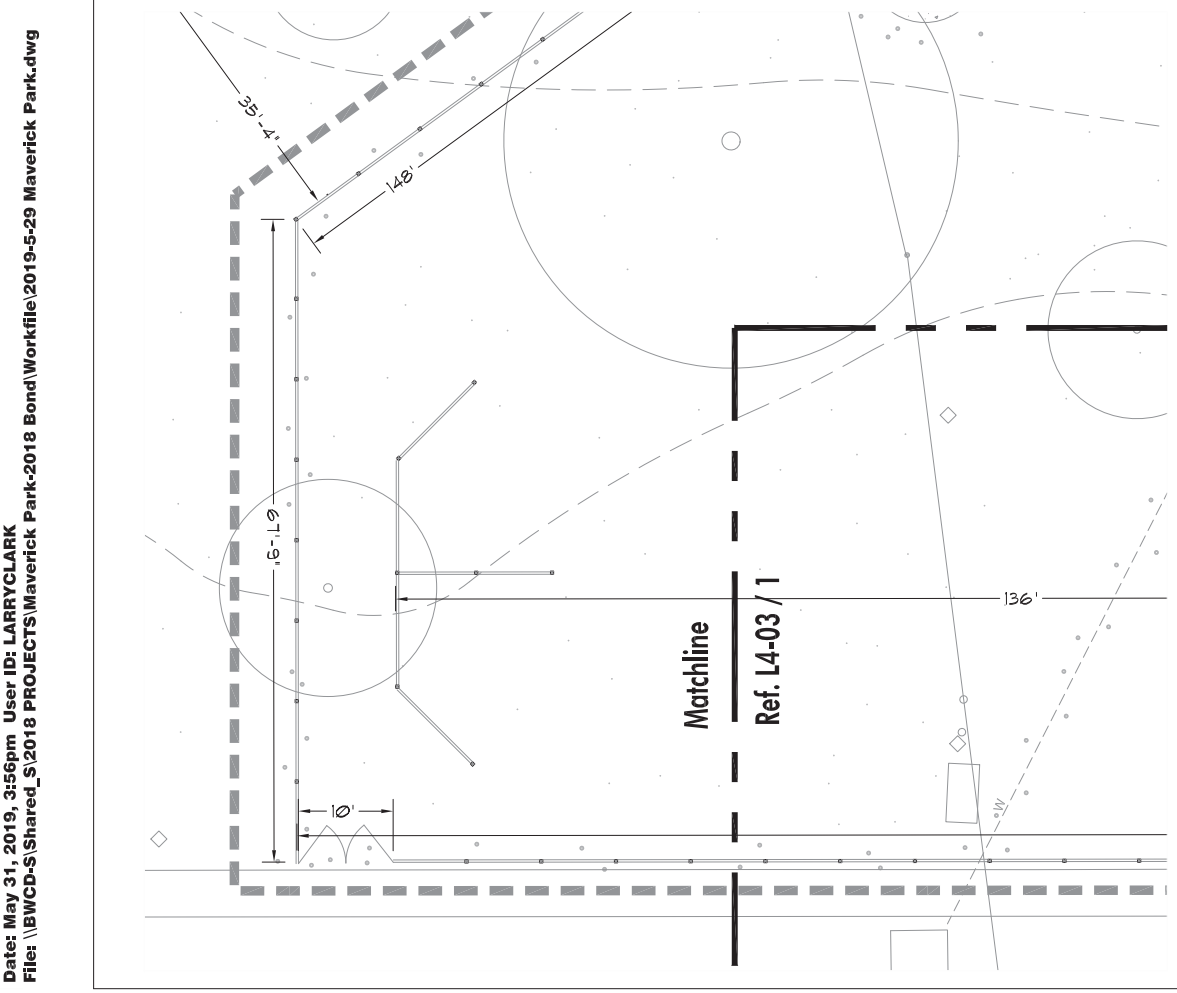
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**Site Layout Plan Inside Dog Park**

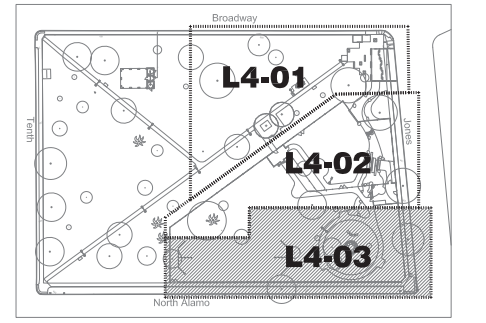
**L4-02**



1 Site Layout Plan: Inside Dog Park - South  
Scale: 1" = 10'-0"



2 Site Layout Plan: Inside Dog Park - West  
Scale: 1" = 10'-0"



Key Map

**ISSUE DATE**

No.	Date	Issue Description

**Maverick Park Site Improvements 2017-2022 Bond**

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**Site Grading Plan South Portion**

**L4-03**

**ISSUE DATE**

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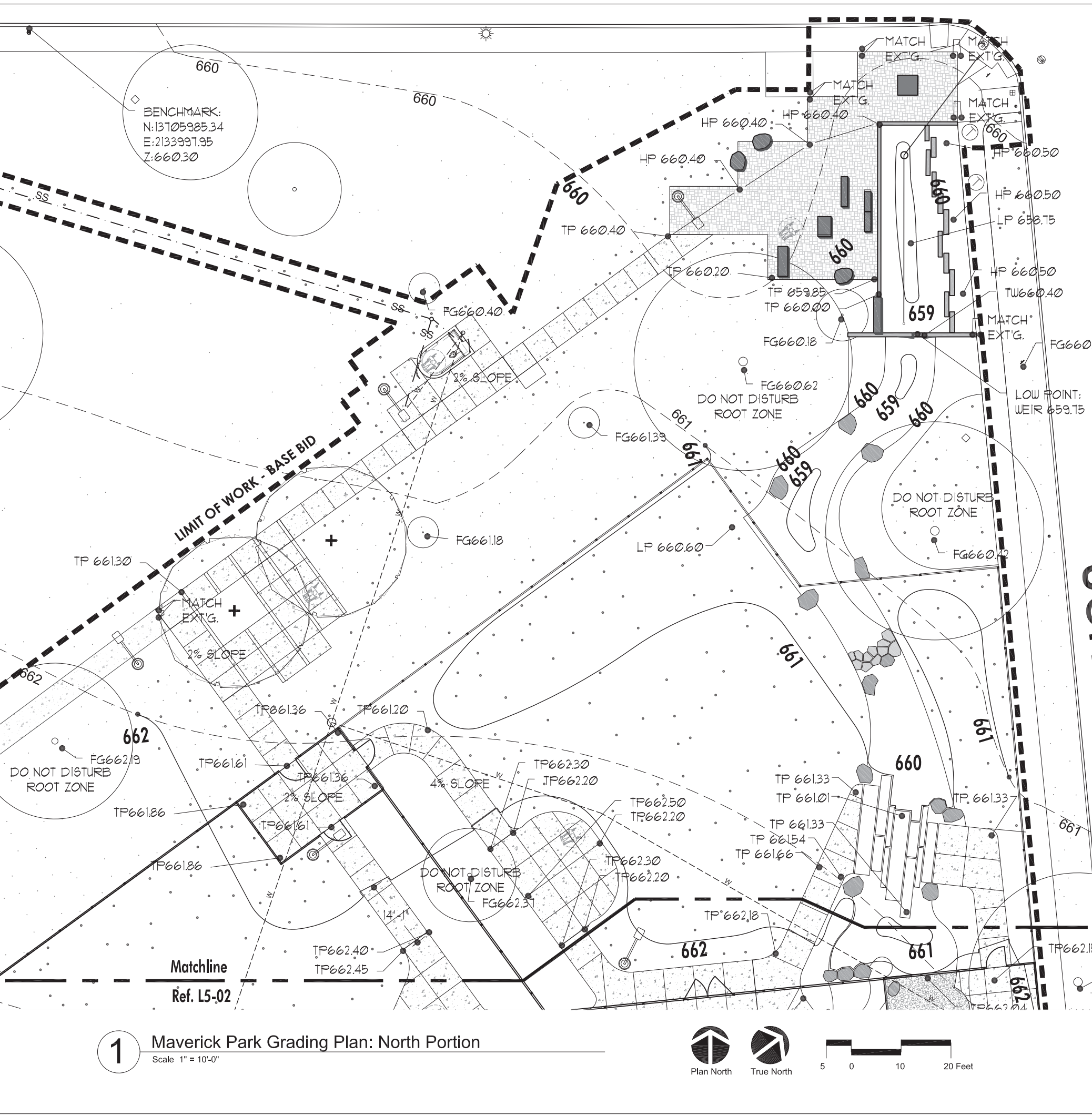
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**Site Grading Plan North Portion**

**L5-01**



**ISSUE DATE**

No.	Date	Issue Description

**Maverick Park Site Improvements 2017-2022 Bond**

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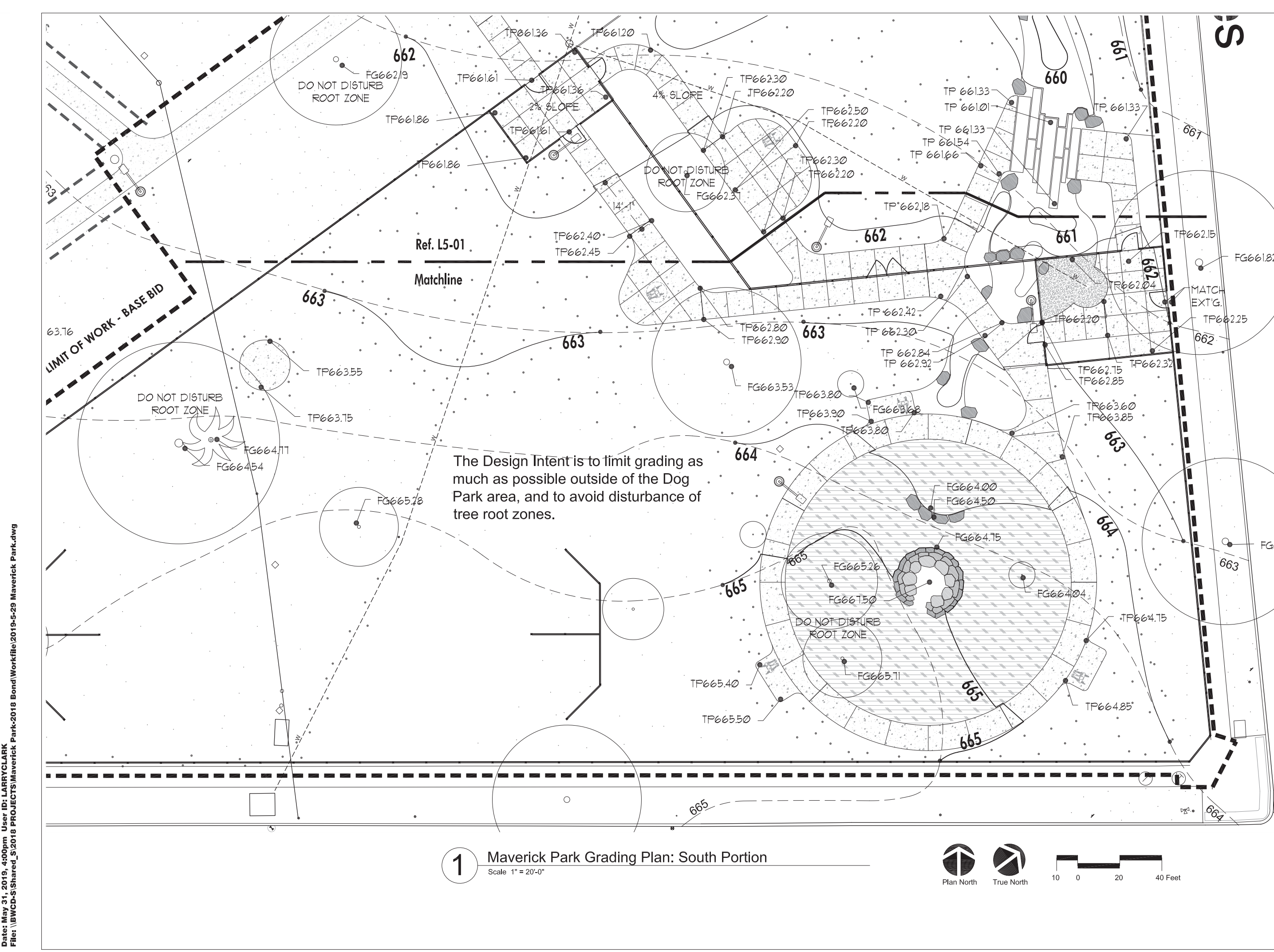
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**Site Grading Plan North Portion**

**L5-01**



**ISSUE DATE**

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**Maverick Park Site Improvements 2017-2022 Bond**

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**Site Grading Plan South Portion**

**L5-02**

**ISSUE DATE**

No.	Date	Issue Description

**Maverick Park Site Improvements 2017-2022 Bond**

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**Site Grading Plan South Portion**

**L5-02**

**III. HAZARDOUS MATERIALS OR CONTAMINATION ISSUES**

General (applies to all projects):  
Comply with the Hazard Communication Act (the Act) for personnel who will be working with hazardous materials by conducting safety meetings prior to beginning construction and making workers aware of potential hazards in the workplace. Ensure that all workers are provided with personal protective equipment appropriate for any hazardous materials used. Obtain and keep on-site Material Safety Data Sheets (MSDS) for all hazardous products used on the project, which may include, but are not limited to the following categories: Paints, acids, solvents, asphalt products, chemical additives, fuels and concrete curing compounds or additives. Provide protected storage, off bare ground and covered, for products which may be hazardous. Maintain product labeling as required by the MSDS. In the event of a spill, take actions to mitigate the spill as indicated in the MSDS. In accordance with safe work practices, contact the COSA Inspector immediately. The Contractor shall be responsible for the proper containment and cleanup of all product spills.

Contact the COSA Inspector if any of the following are detected:  
\* Dead or distressed vegetation (not identified as normal)  
\* Trash bins, drums, crates, barrels, etc.  
\* Undesirable smells or odors  
\* Evidence of leaching or seepage of substances

Hazardous Materials or Contamination Issues Specific to this Project:

No Action Required  Required Action

Action No.:

1. US Army Corps of Engineers (USACE) Permit required for filling, dredging, excavating or other work in any potential USACE jurisdictional water, such as rivers, creeks, streams, or wetlands.
2. The Contractor shall adhere to all of the terms and conditions associated with the following permits:  
 No Permit Required  
 Nationwide Permit (NWP) 14 - Pre-construction Notice (PCN) not Required  
 Nationwide Permit 14 - PCN Required  
 Individual 404 Permit Required  
 Other Nationwide Permit Required: NWP#
3. Required Actions: List waters of the US permit applied to, location in project and check Best Management Practices (BMPs) planned to control erosion, sedimentation and post-project total suspended solids (TSS).

**IV. VEGETATION RESOURCES**

Preserve native vegetation to the extent practical.

No Action Required  Required Action

Action No.:

1. Ensure that a tree permit is in place, if required, for this project.
2. Follow the tree preservation/mitigation plan provided in this design plan set. If there are any questions or concerns, please contact the City Arbolist at (210) 207-0079 before any work begins.

**V. FEDERAL LISTED, PROPOSED THREATENED, ENDANGERED SPECIES, CRITICAL HABITAT, STATE LISTED SPECIES, CANDIDATE SPECIES AND MIGRATORY BIRDS.**

No Action Required  Required Action

Action No.:

1. MIGRATORY BIRD NESTS: Schedule construction activities as needed to meet the following requirements:  
A. Do not remove or destroy any active migratory bird nests (nests containing eggs and/or fledglings) at any time of year. If there are any active nests, they shall not be removed until the nests become inactive.  
B. Only structures, if there are any active nests, they shall not be removed until all nests become inactive. After inactive nests are removed and/or before nest activity begins, deterrent materials may be applied to structures to prevent future nest building.  
2. Deterrent material should be placed (and maintained) after October 1 or before February 15.  
3. The preferred nesting season for migratory birds is February 15 through October 1. When practicable, schedule construction operations outside of the preferred nesting season.  
If any of the listed species are observed, cease work in the immediate area, do not disturb species or habitat and contact the COSA Inspector immediately. The work may not remove active nests from bridges and other structures during nesting season of the birds associated with the nests. If ovals or sinkholes are discovered, cease work in the immediate area, and contact the COSA Inspector immediately.

**VII. OTHER ENVIRONMENTAL ISSUES**

(Includes regional issues such as Edwards Aquifer District, etc.)

No Action Required  Required Action

Action No.:

1. 603 ACTING BIRD NESTS: Schedule construction activities as needed to meet the following requirements:  
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B. Only structures, if there are any active nests, they shall not be removed until all nests become inactive. After inactive nests are removed and/or before nest activity begins, deterrent materials may be applied to structures to prevent future nest building.  
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**STOP! CALL BEFORE YOU DIG**  
CONTACT TEXAS811  
CALL 811  
(at least 72 hours prior to digging)

**ISSUE DATE**

No.	Date	Issue Description

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**Landscape Architecture Urban Design Planning**

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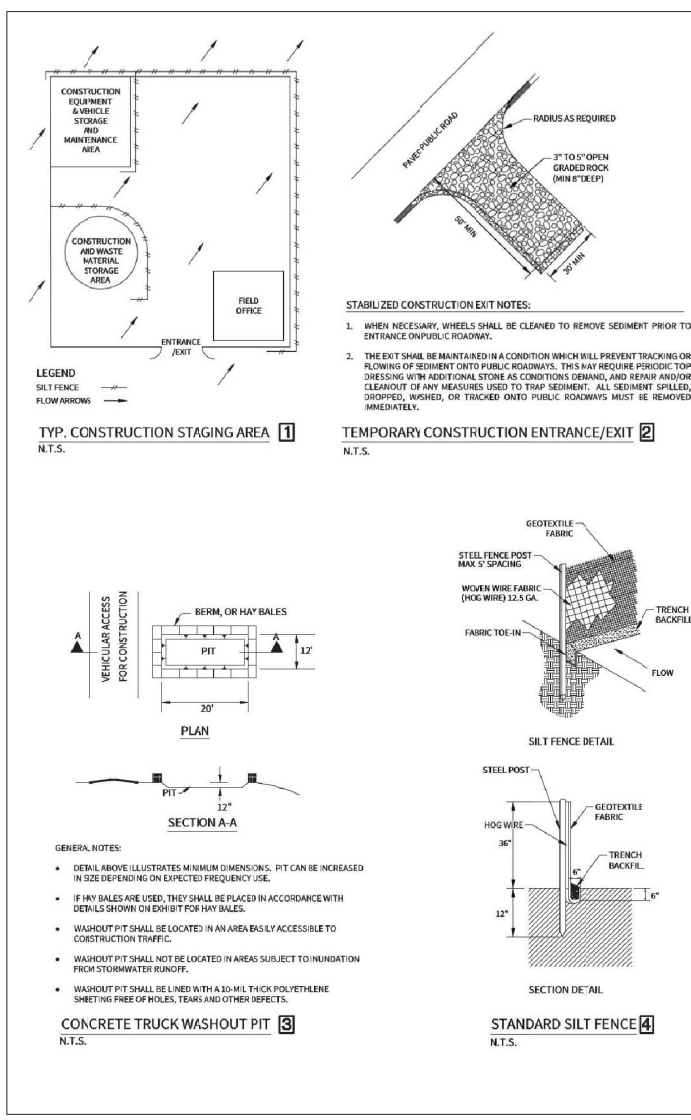
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**Environmental Permits, Issues, and Commitments**

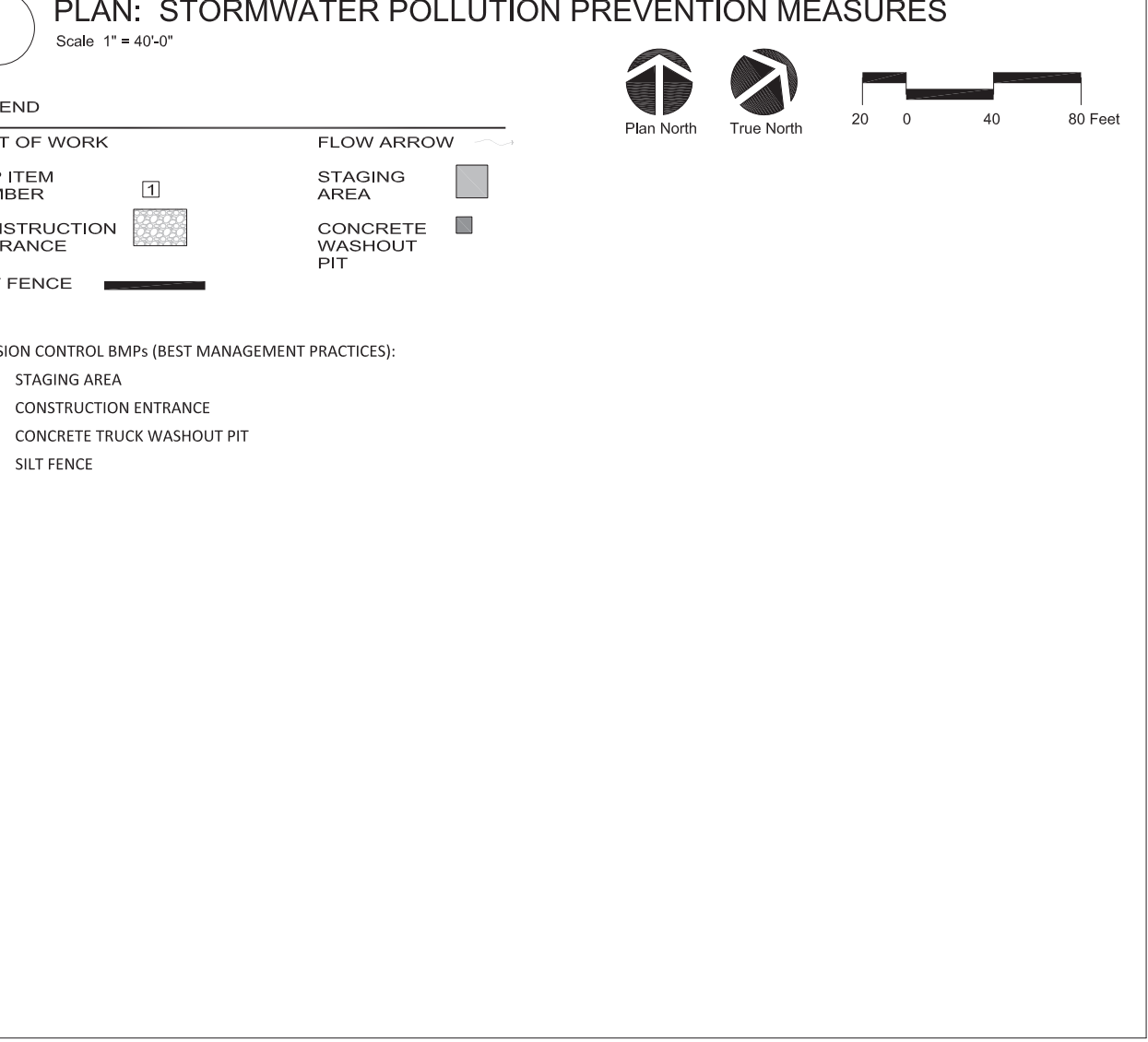
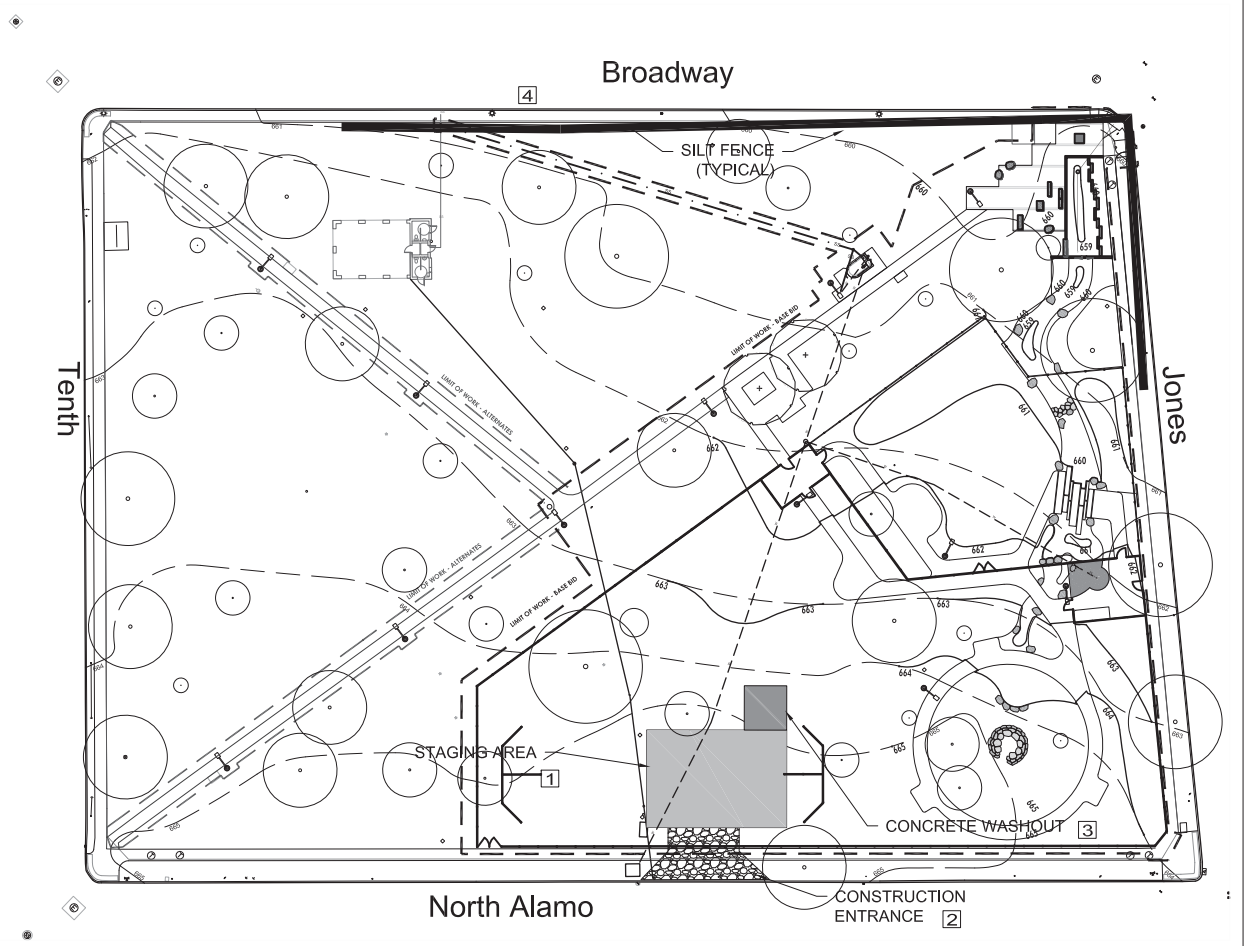
**EPC**

**L5-03**



**EROSION CONTROL BMPs (BEST MANAGEMENT PRACTICES):**

- 1. STAGING AREA
- 2. CONSTRUCTION ENTRANCE
- 3. CONCRETE TRUCK WASHOUT PIT
- 4. SILT FENCE



**ISSUE DATE**  
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**Maverick Park Site Improvements**  
2017-2022 Bond

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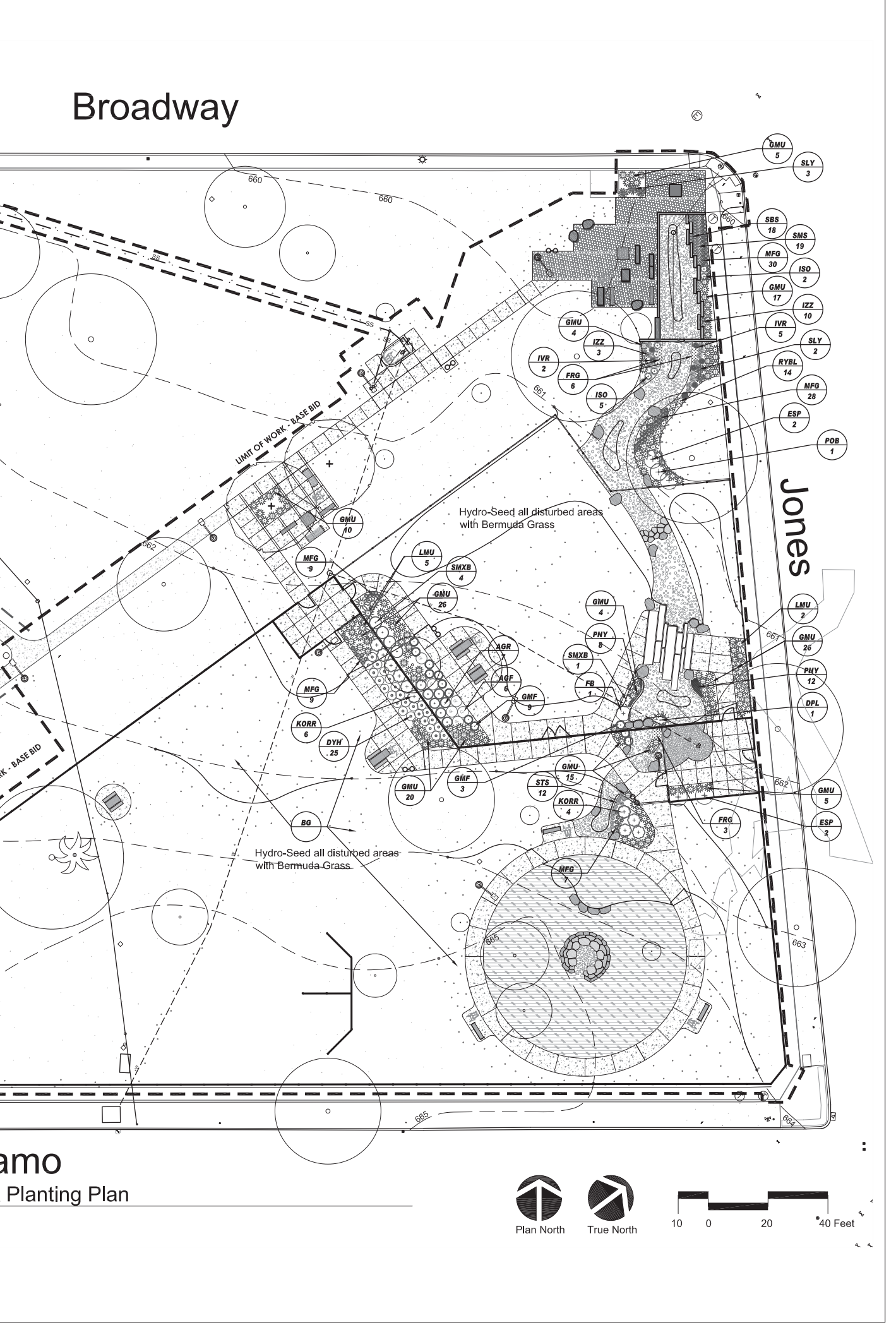
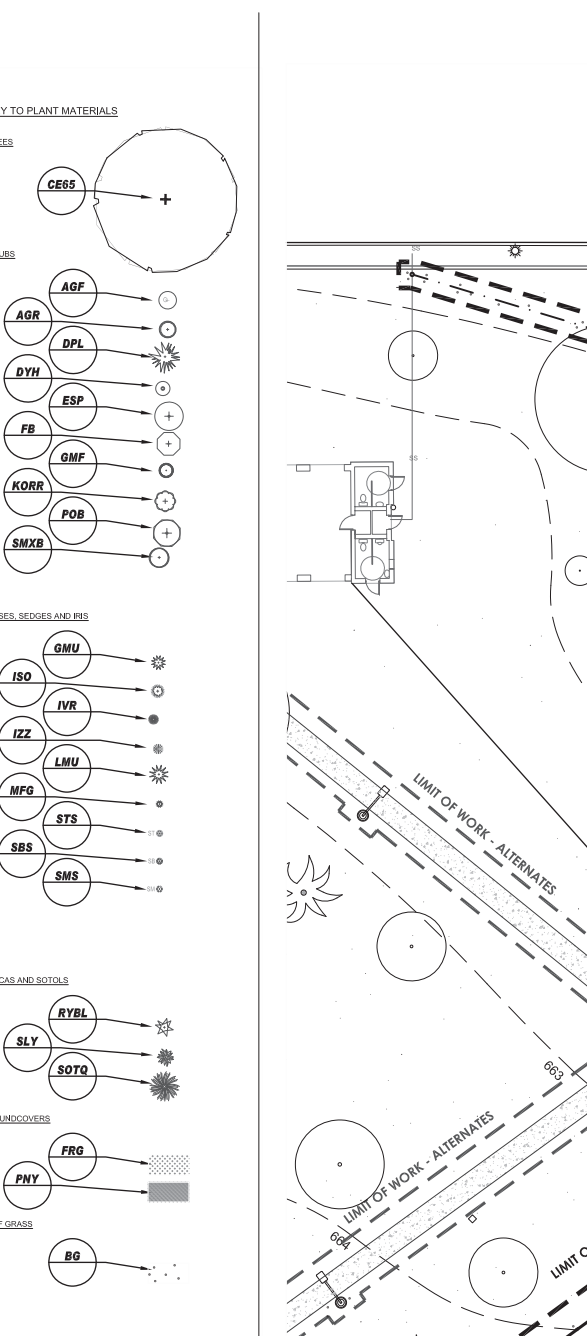
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**Project Title & No.**  
L5-04  
Stormwater Pollution Prevention Plan

**Plant Schedule**

Qty.	KEY	Common Name	Botanical Name	Container
2	CEES	Cedar Elm	Ulmus crassifolia	65 gal. or 42" box
<b>SHRUBS</b>				
6	AGP	Gold Flame Asteracanthus	Anacardium occidentale var. argentea "Flame Orange"	2 gal.
7	AGR	Agave	Banksia latifolia	1 gal.
1	DPL	Dwarf Platycodon	Sabat minor	5 gal.
25	DYH	Dwarf Yucca Holly	Yucca viviparva 'Nana'	2 gal.
4	ESP	Espenanza	Forsyia palata	5 gal.
1	FEB	Fleshless or Medium Finetooth	Hamelia patens	1 gal.
7	GME	Greig's Milkbush	Conoclinium gracile	1 gal.
10	KORR	Koror Redroot Rose	Rosa 'Koror'	5 gal.
1	POB	Pink of Barbados	Cavendishia pulcherrima	15 gal.
5	SMAB	Mexican Bush Sage	Salvia leucantha	1 gal.
<b>GRASSES, SEDGES AND REEDS</b>				
132	GMJ	Gulf Muhly Grass or Pink Muhly	Muhlenbergia capillaris	1 gal.
7	ISD	Island Sea Oats	Chamaemelum latifolium	1 gal.
7	DVS	Virginia Iris	Iris virginica	1 gal.
13	ZZZ	Iris 'Zy Zy Zy'	Iris brevicaulis	1 gal.
83	LMU	Larkspur's Muhly Grass	Muhlenbergia anthemum	1 gal.
83	MPG	Meadow Feather Grass	Neesaea tenuissima	1 gal.
12	STS	Texas Sage	Ceanothus texensis	1 gal.
18	SBS	Barkley Sedge	Carex tuckermanni	1 gal.
19	SMS	Meadow Sedge or Wabbenella Sedge	Carex pendulata	1 gal.
<b>YUCCAS AND SOTOLS</b>				
14	RYEL	Red Yucca 'Brake Lights'	Hesperaloe parviflora 'Brake Light'	3 gal.
5	SVL	Softleaf Yucca	Yucca recurvifolia	2 gal.
1	SOFT	Toothless Sotol	Dasylirion quadrangulum	15 gal.
<b>GROUNDCOVERS</b>				
2	FRC	Texas Frogfruit	Phyla nodiflora	1 gal.
2	SIV	Silver Puffball	Dioscorea argentea	1 gal.
<b>TURF GRASS</b>				
50	SG	Bermuda Grass Seed	'BlackJack' Bermuda Grass	



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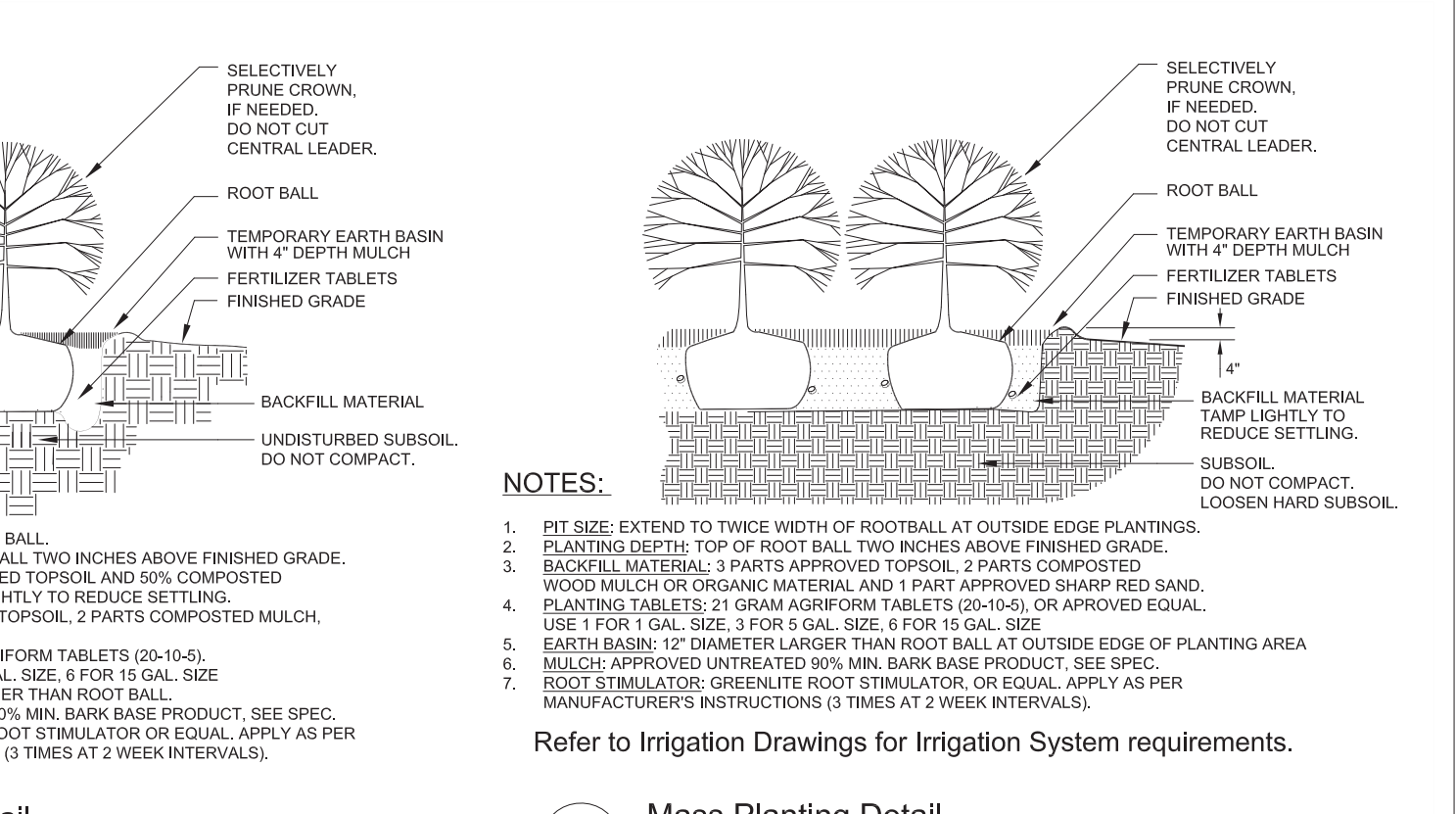
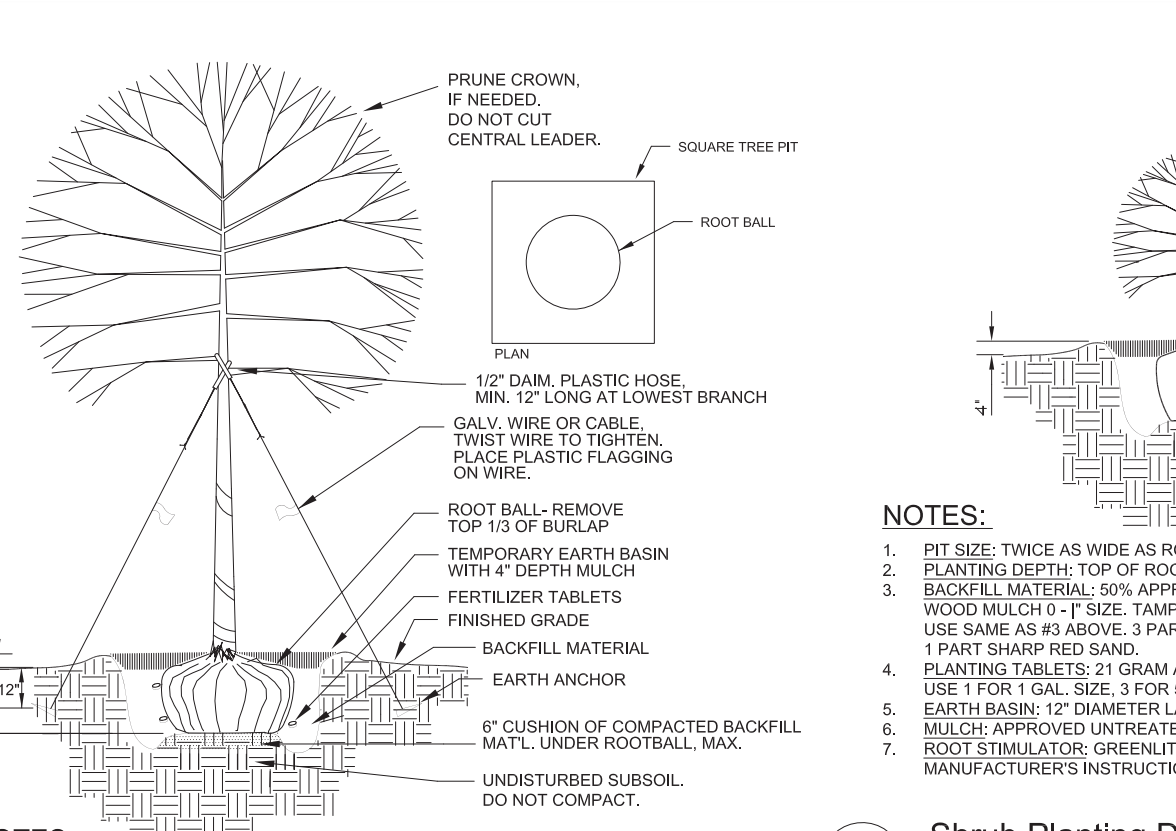
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**Project Title & No.**  
L6-01  
Planting Plan & Schedule



**ISSUE DATE**  
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2017-2022 Bond

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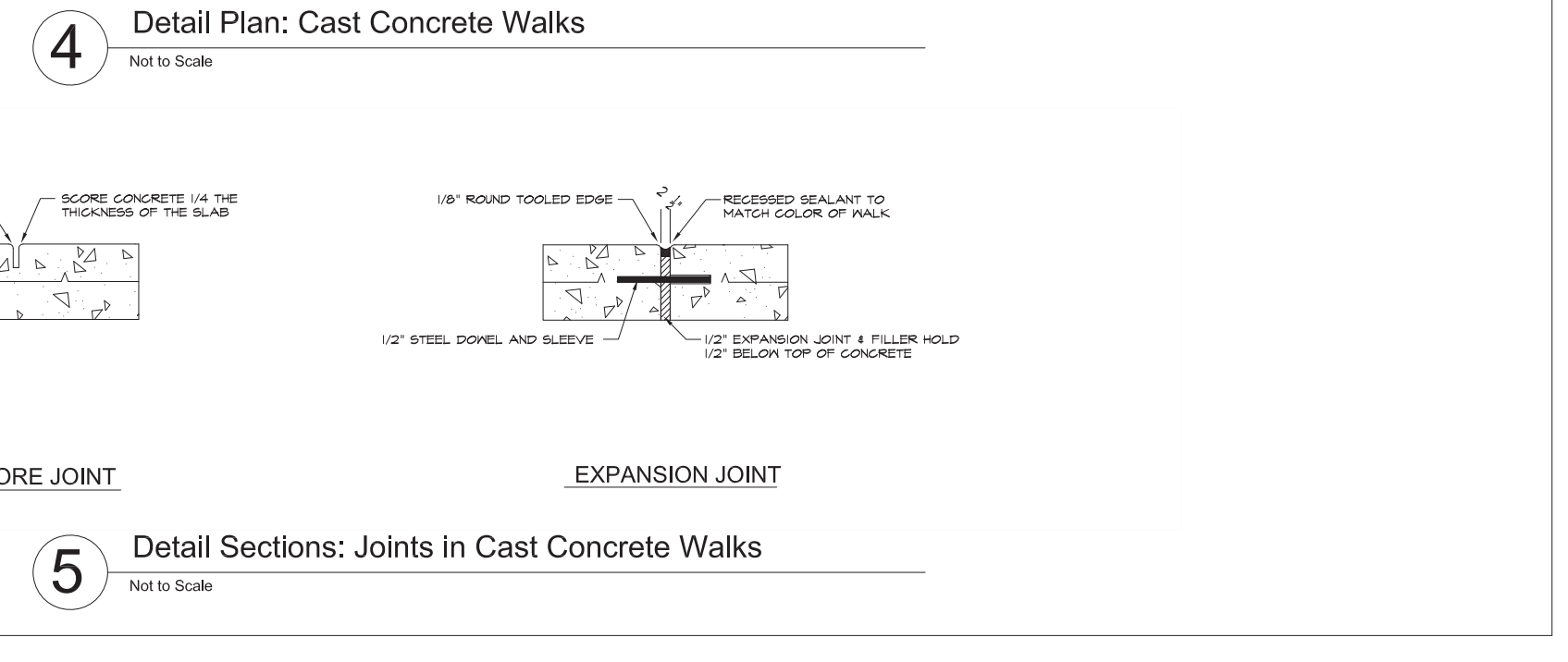
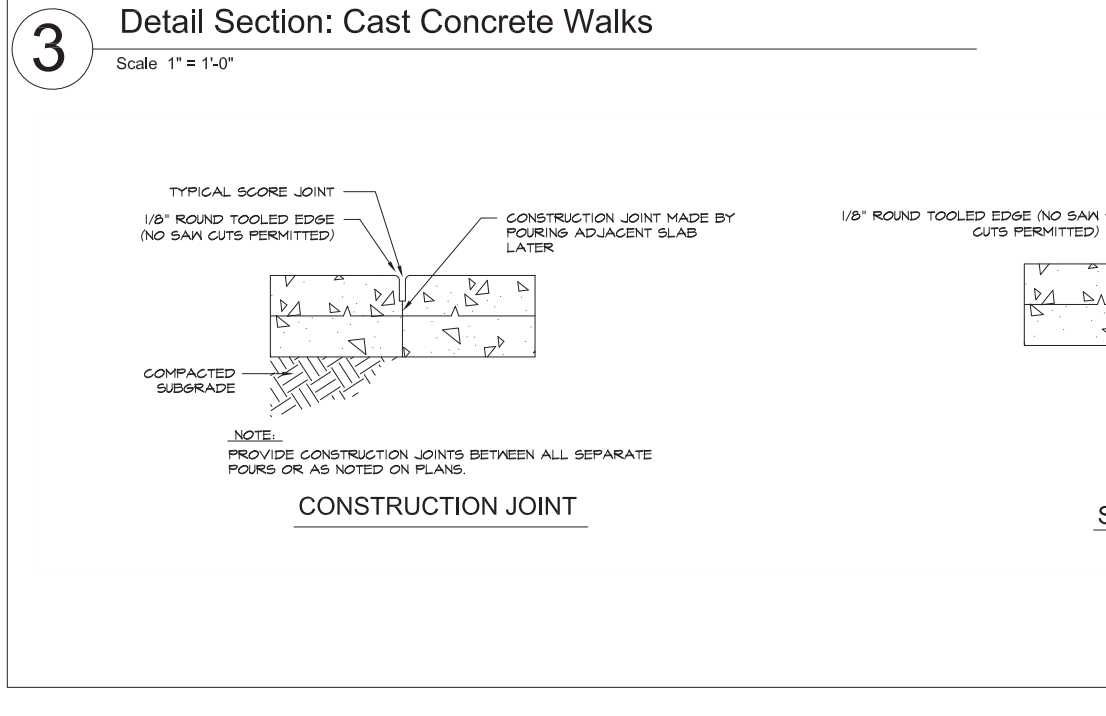
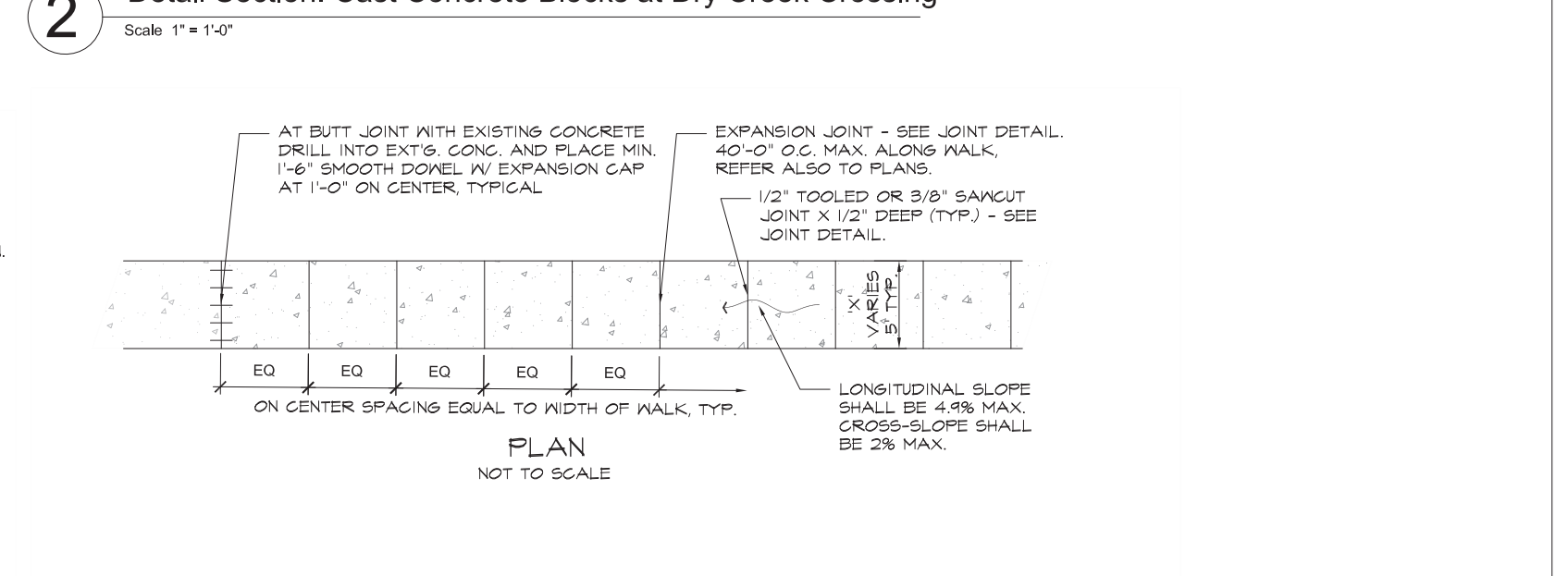
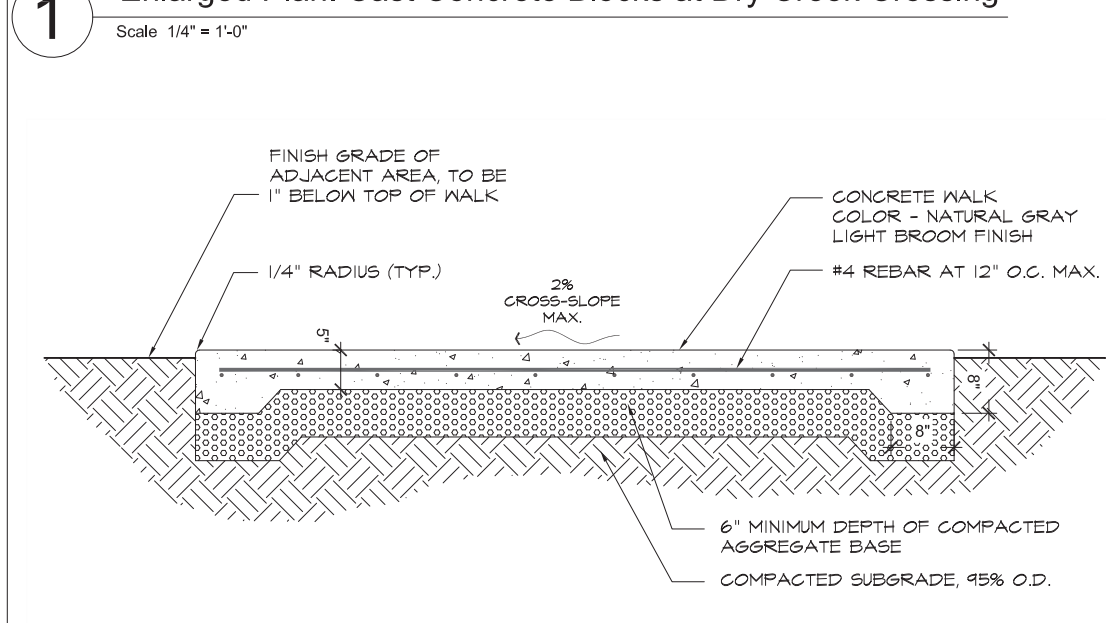
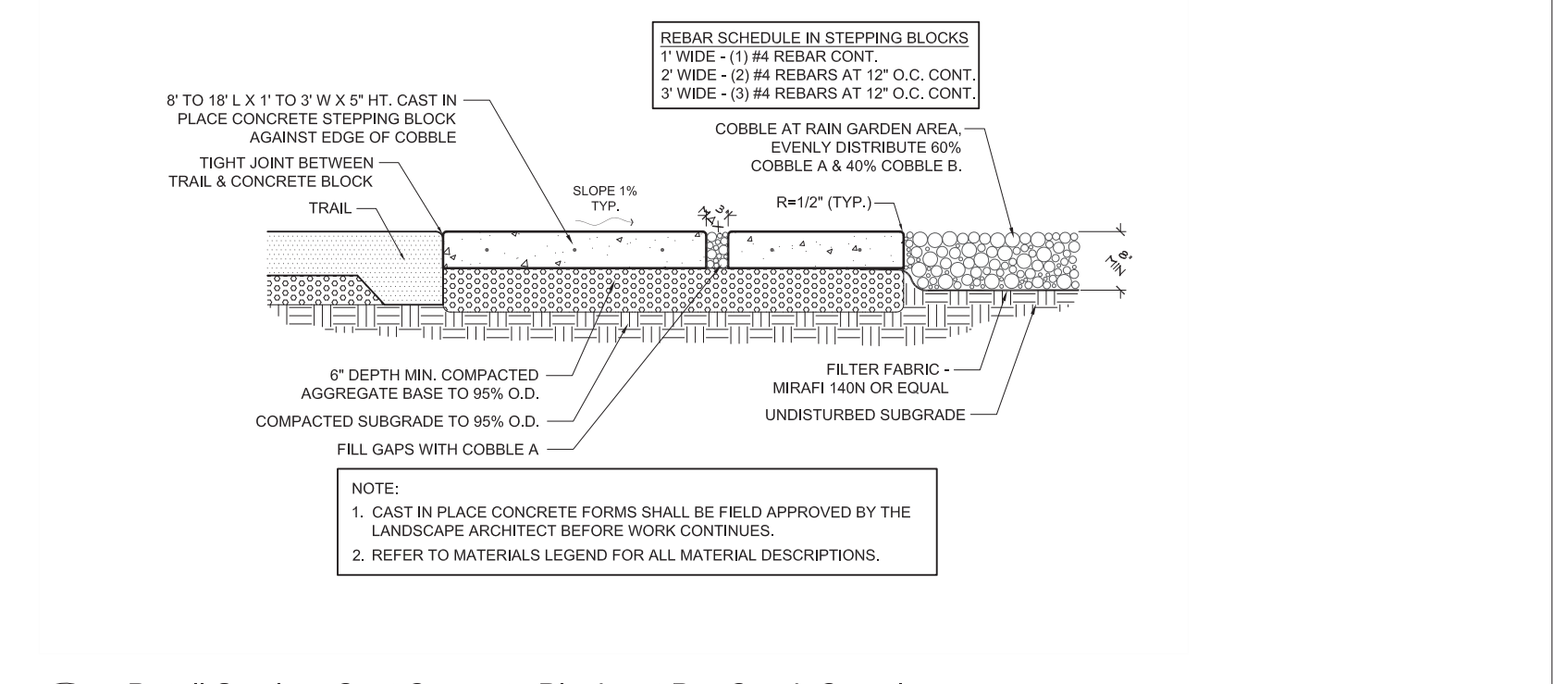
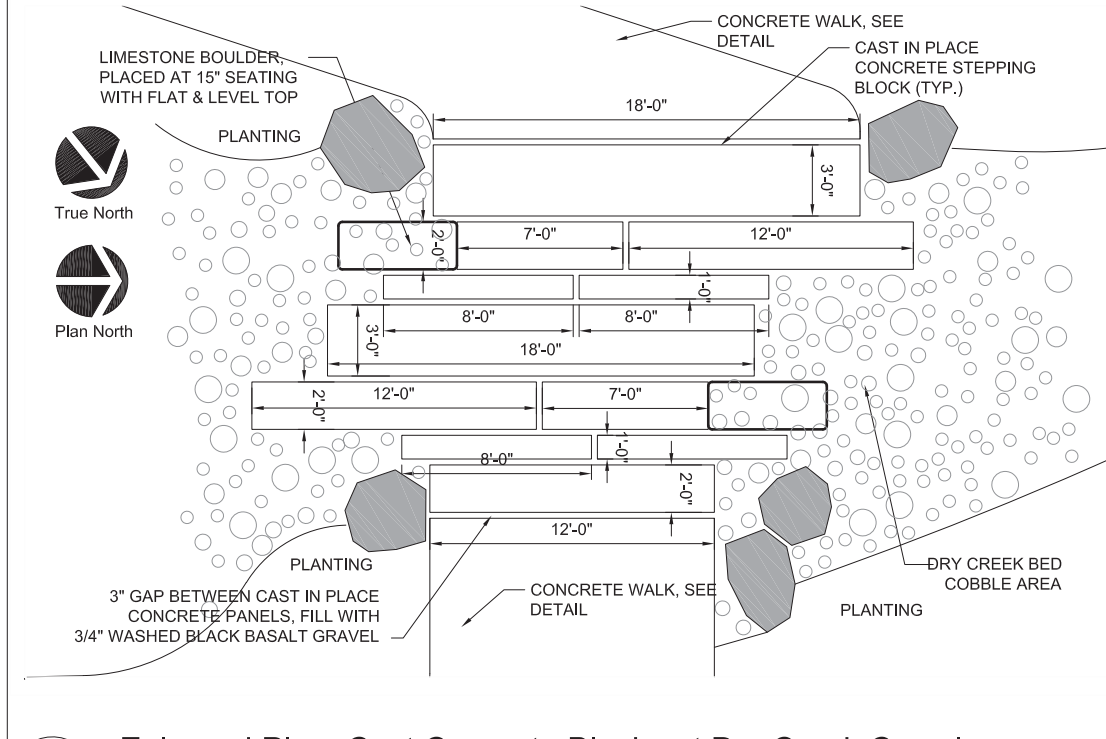
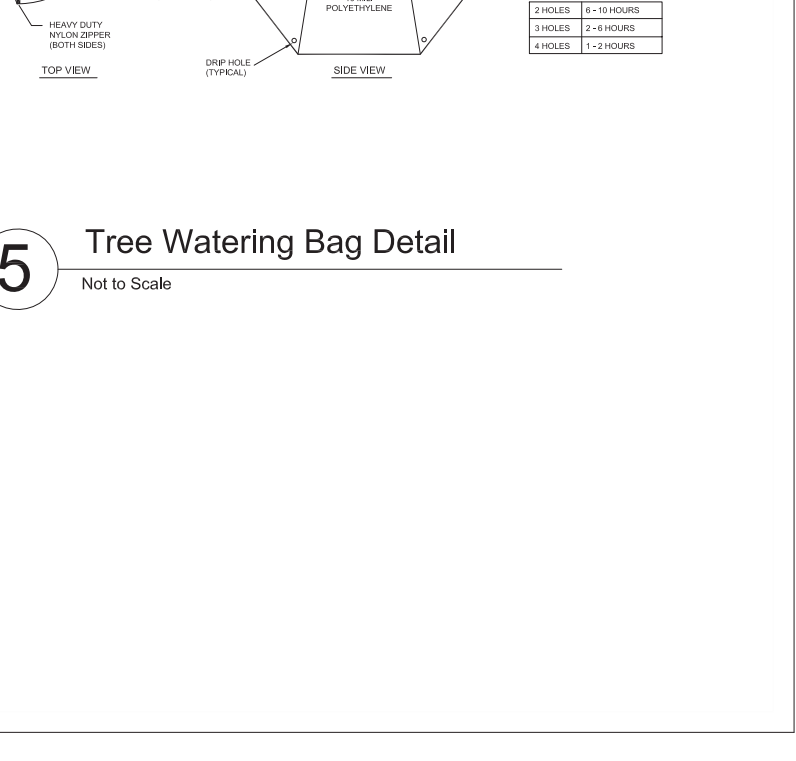
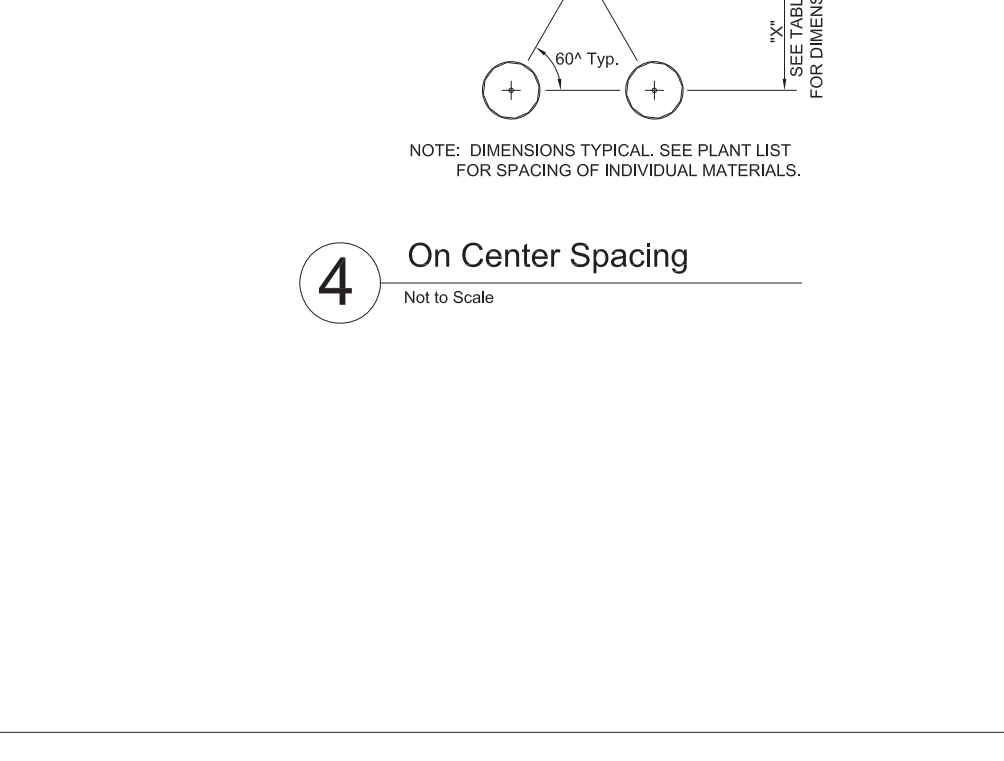
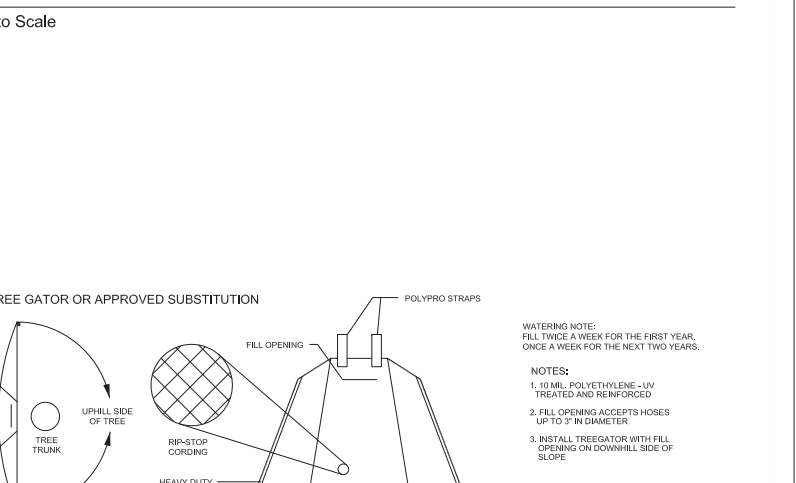
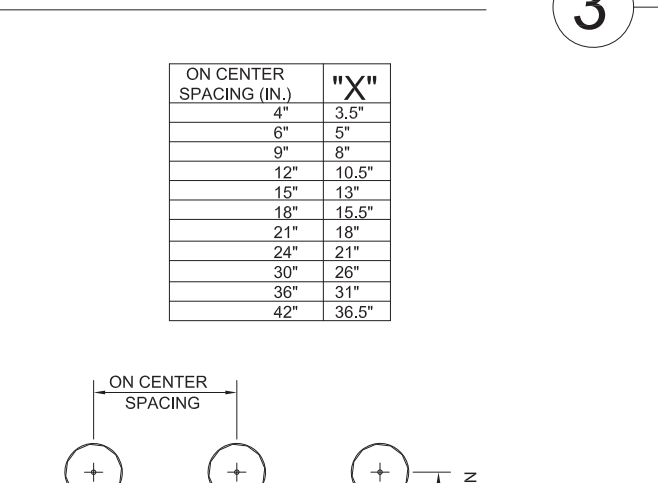
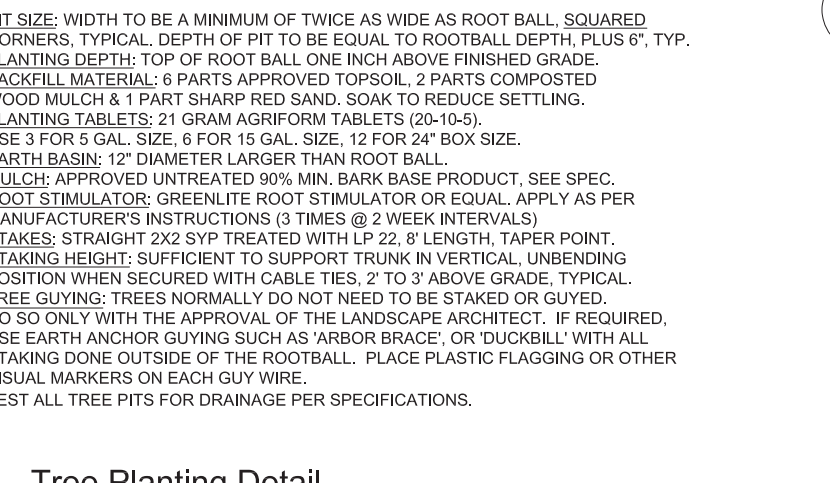
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**Project Title & No.**  
L6-02  
Planting Details



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**Project Title & No.**  
L7-01  
Details, Enlarged Site Plans & Sections

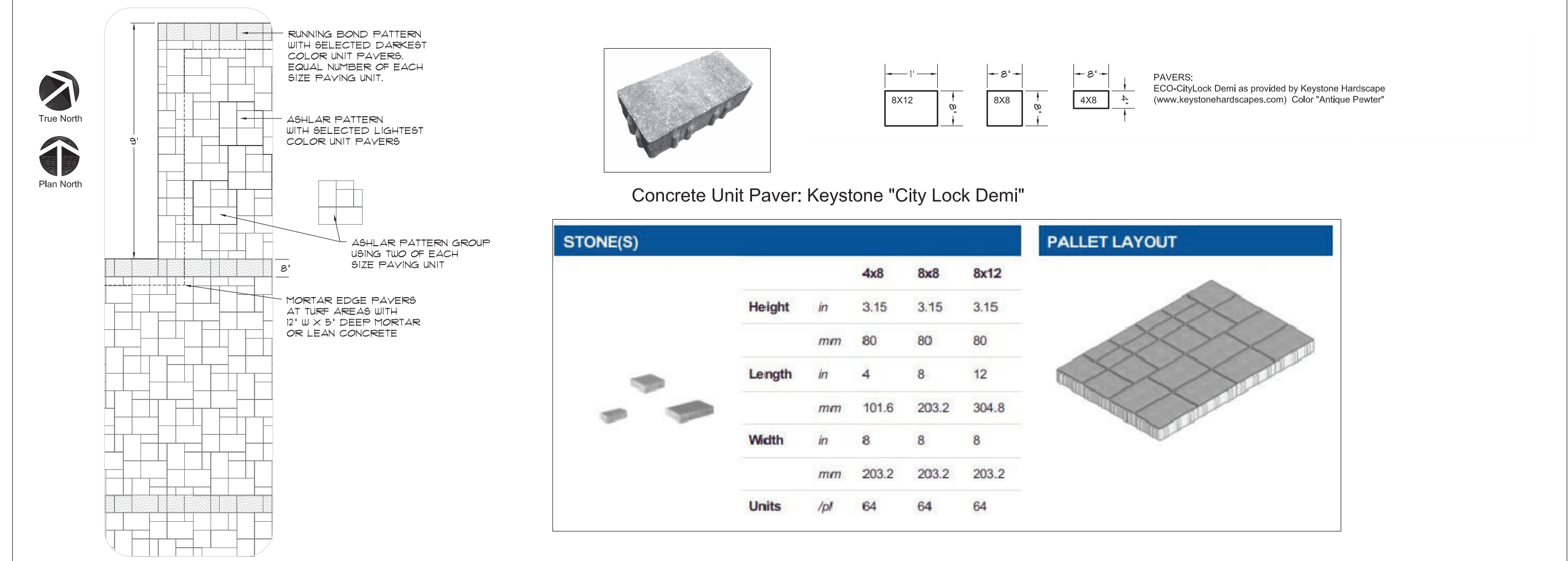
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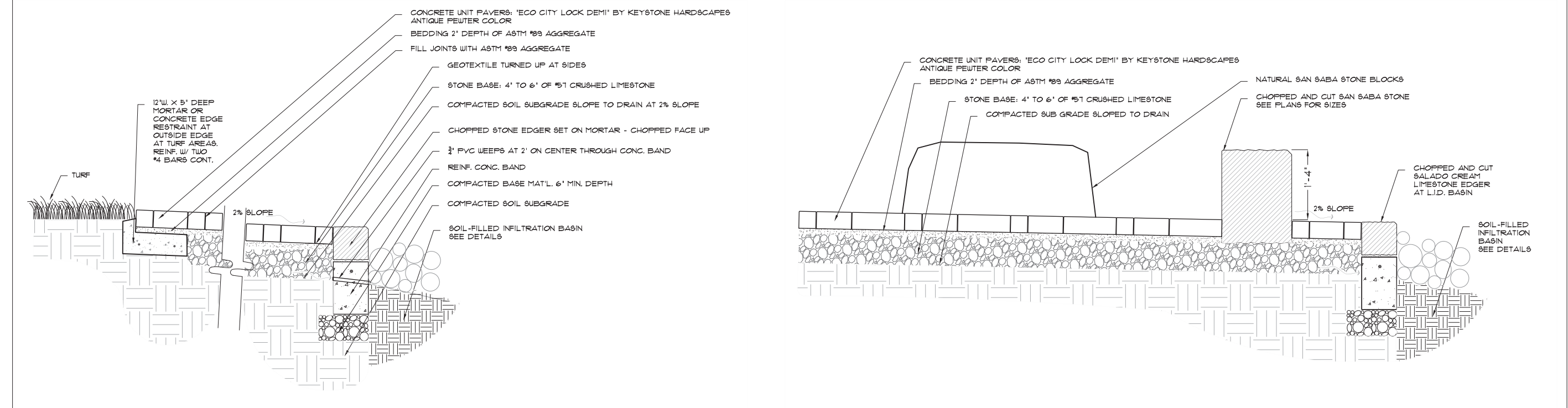
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**1 Enlarged Plan: Concrete Unit Paver Pattern**  
Scale: 1/2" = 1'-0"

**2 Concrete Unit Paver Information**  
Scale: 1/2" = 1'-0"



**3 Detail Section: Concrete Unit Paver at Edgers**  
Scale: 1/2" = 1'-0"

**3 Detail Section: Stone Seating at Concrete Unit Pavers**  
Scale: 1/2" = 1'-0"

**ISSUE DATE**

No.	Date	Issue Description

**Maverick Park Site Improvements 2017-2022 Bond**

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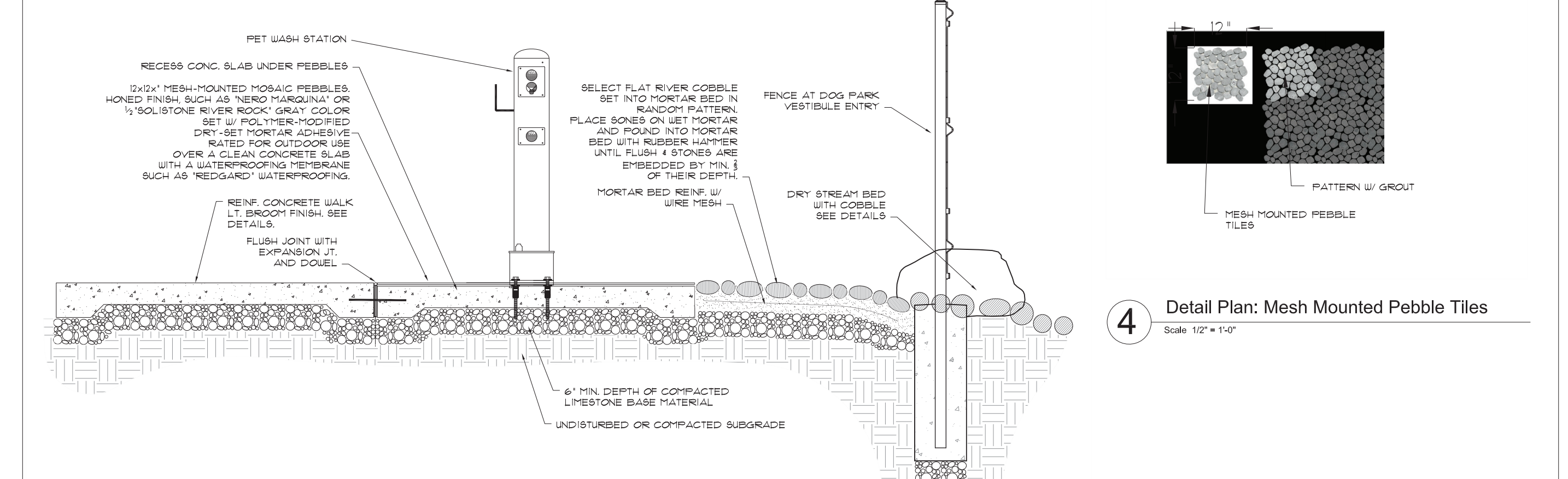
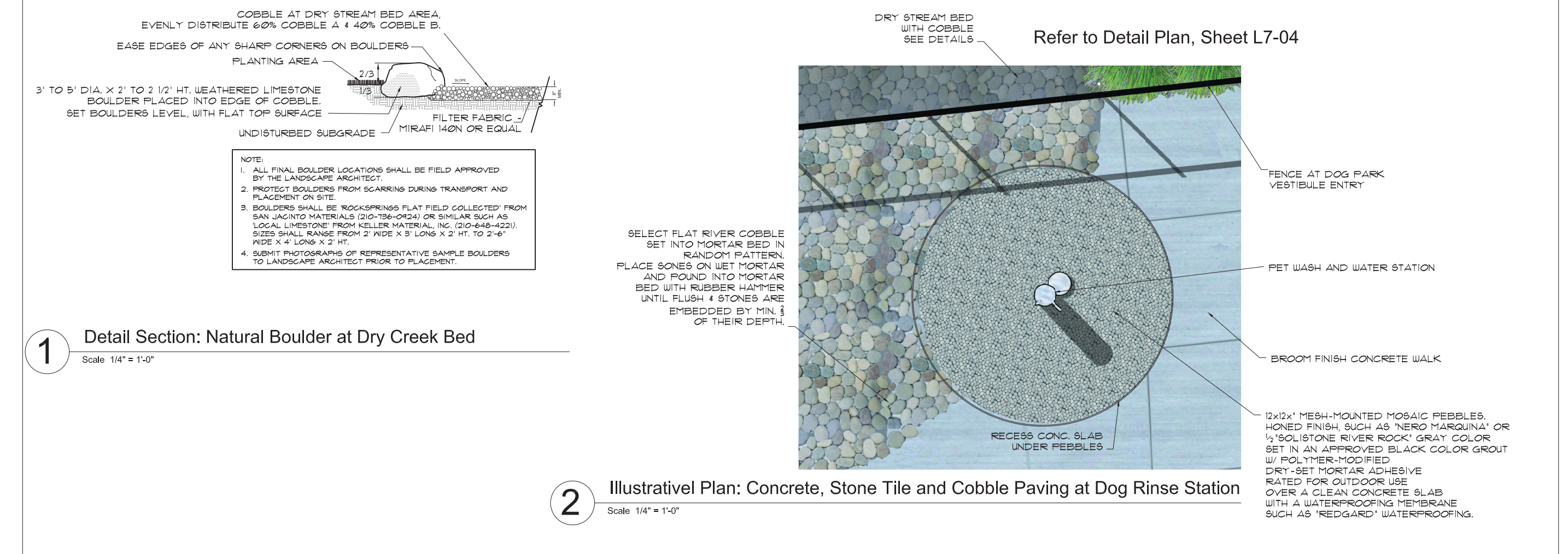
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SHEET TITLE & NO. **Details, Enlarged Site Plans & Sections L7-02**



**3 Detail Section: Concrete, Stone Tile and Cobble Paving at Dog Rinse Station**  
Scale: 1/4" = 1'-0"

**4 Detail Plan: Mesh Mounted Pebble Tiles**  
Scale: 1/2" = 1'-0"

**ISSUE DATE**

No.	Date	Issue Description

**Maverick Park Site Improvements 2017-2022 Bond**

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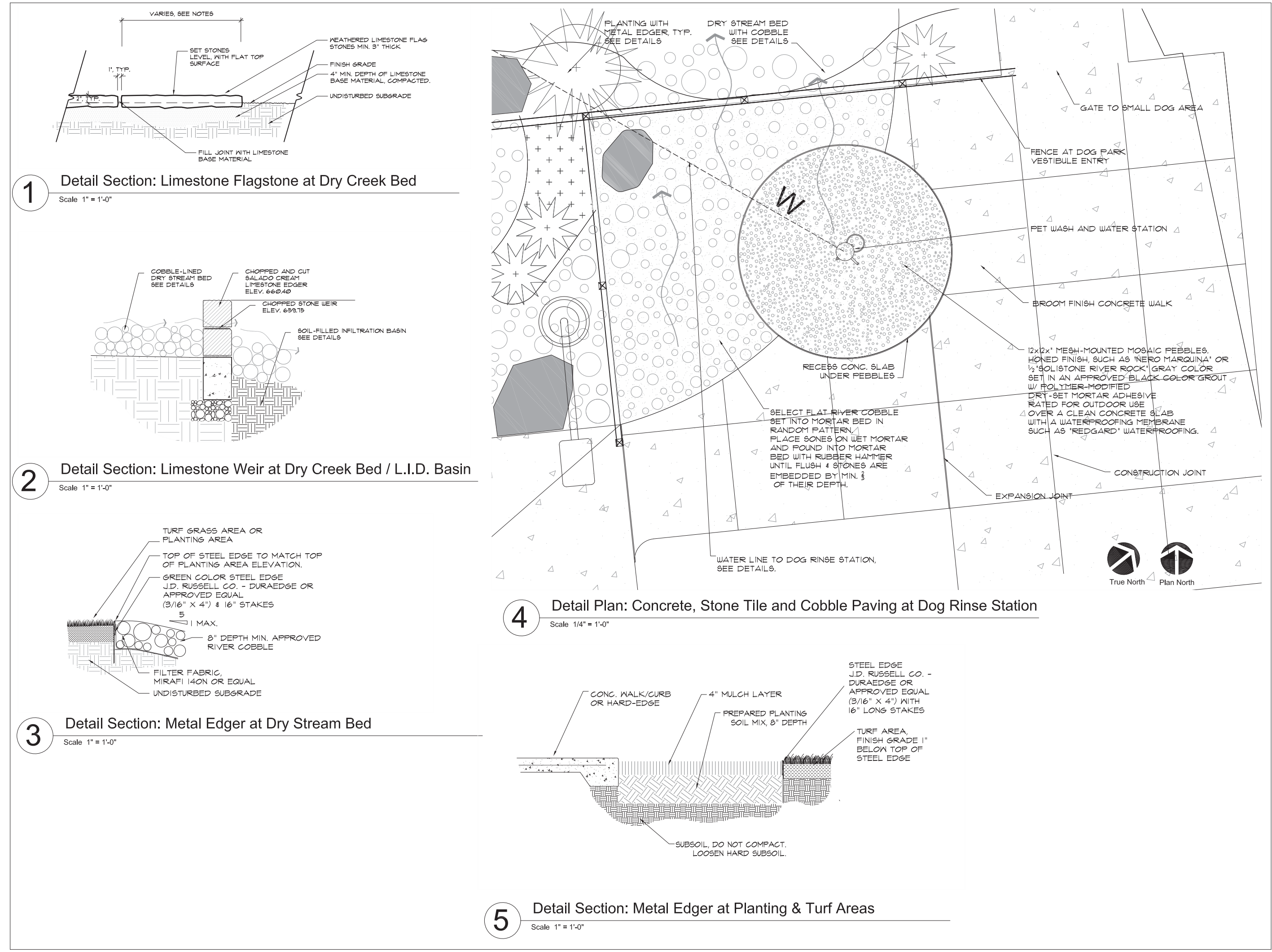
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SHEET TITLE & NO. **Details, Enlarged Site Plans & Sections L7-03**



**3 Detail Section: Metal Edger at Dry Stream Bed**  
Scale: 1" = 1'-0"

**5 Detail Section: Metal Edger at Planting & Turf Areas**  
Scale: 1" = 1'-0"

**ISSUE DATE**

No.	Date	Issue Description

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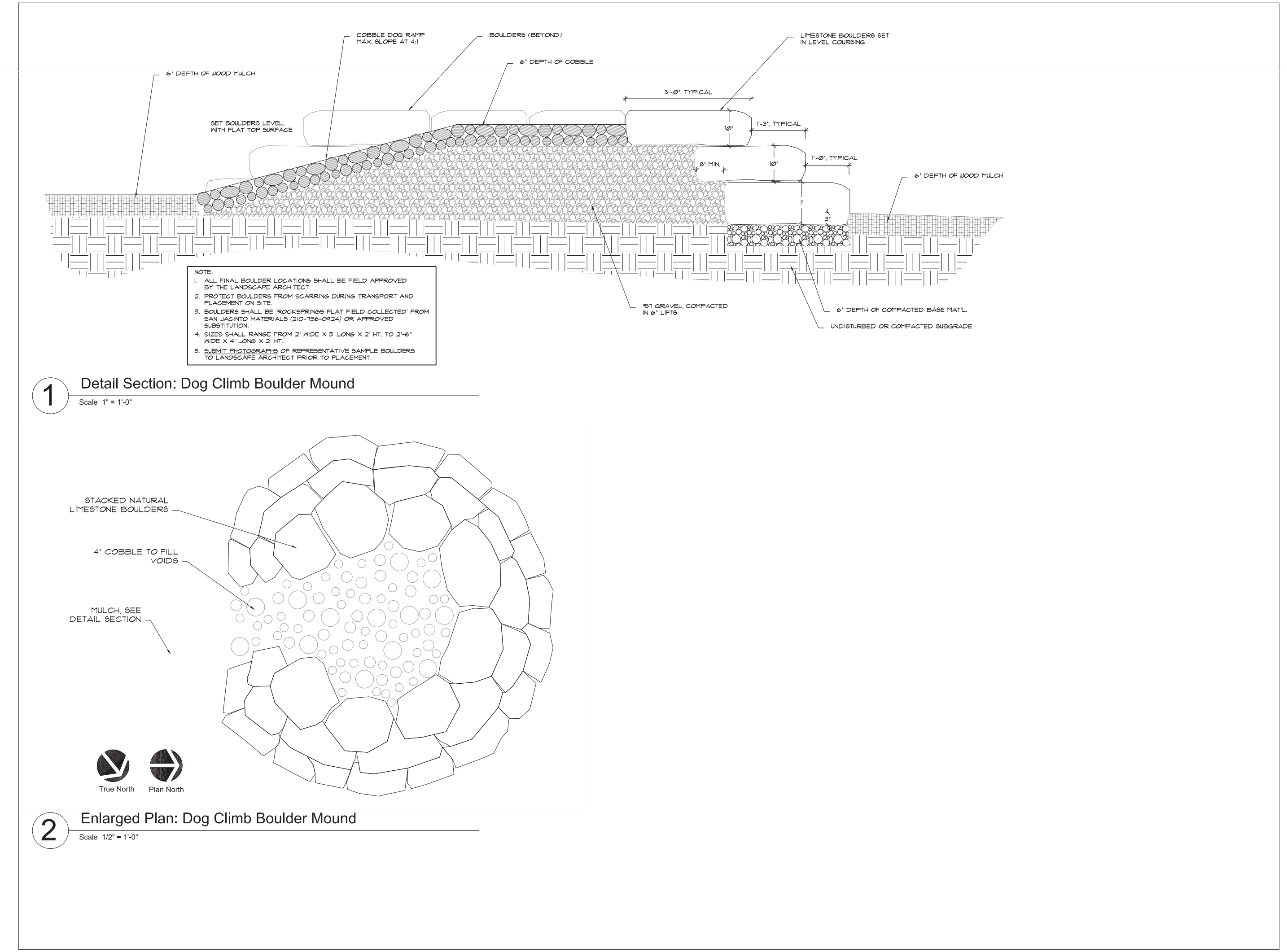
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SHEET TITLE & NO. **Details, Enlarged Site Plans & Sections L7-04**



**2 Enlarged Plan: Dog Climb Boulder Mound**  
Scale: 1/2" = 1'-0"

**ISSUE DATE**

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**Maverick Park Site Improvements 2017-2022 Bond**

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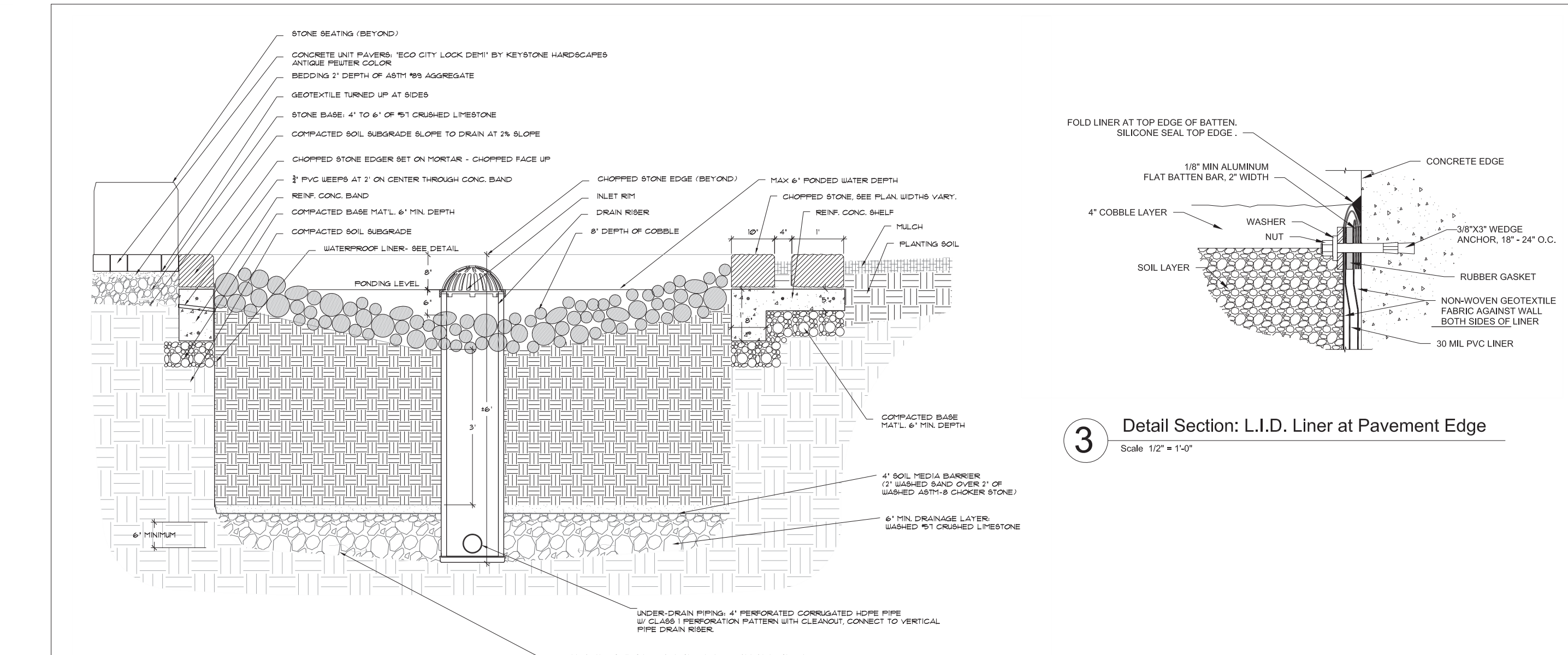
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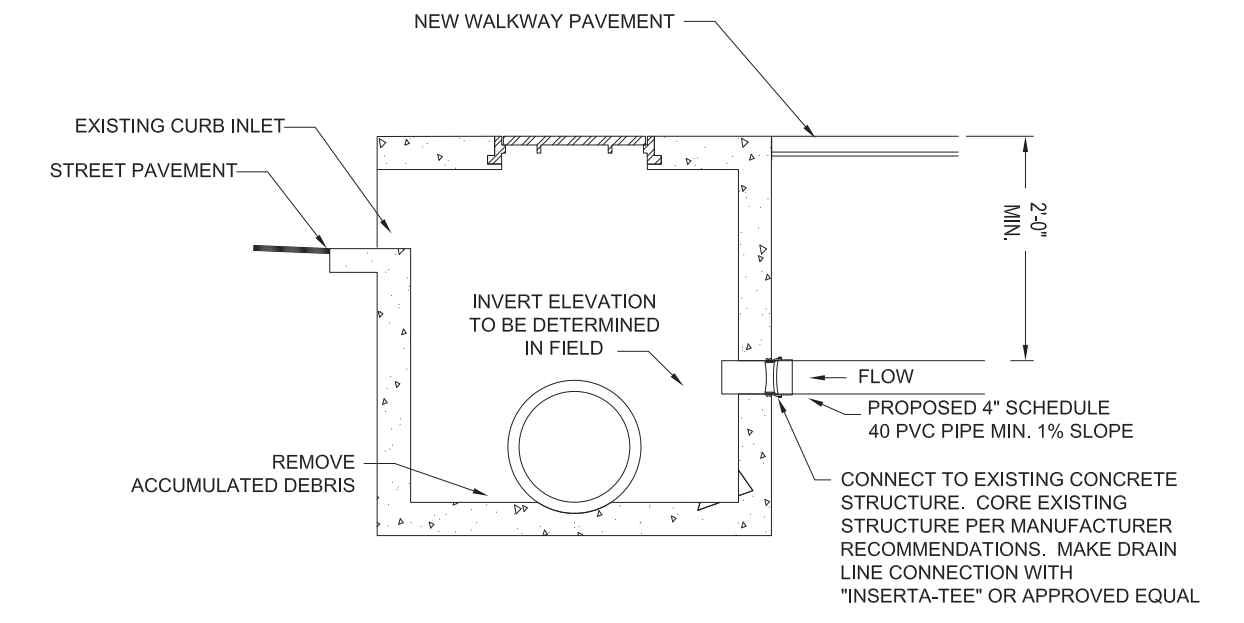
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3 Detail Section: L.I.D. Liner at Pavement Edge  
Scale 1/2" = 1'-0"

1 Detail Section: L.I.D. Infiltration Basin  
Scale 1" = 1'-0"

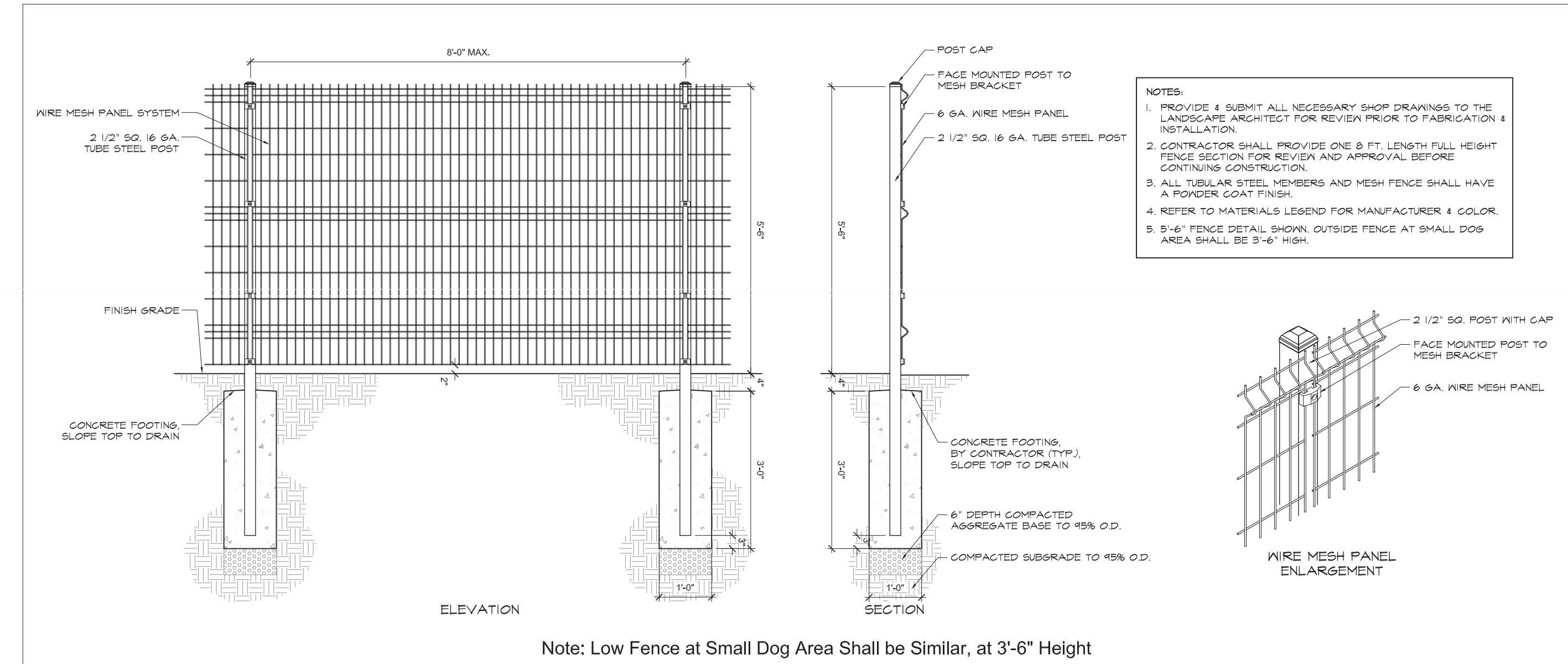


2 Detail Section: L.I.D. Drain Pipe at Existing Curb Inlet  
Scale 1/2" = 1'-0"

3 Detail Section: Tall Fence at Dog Park  
Scale 1" = 1'-0"

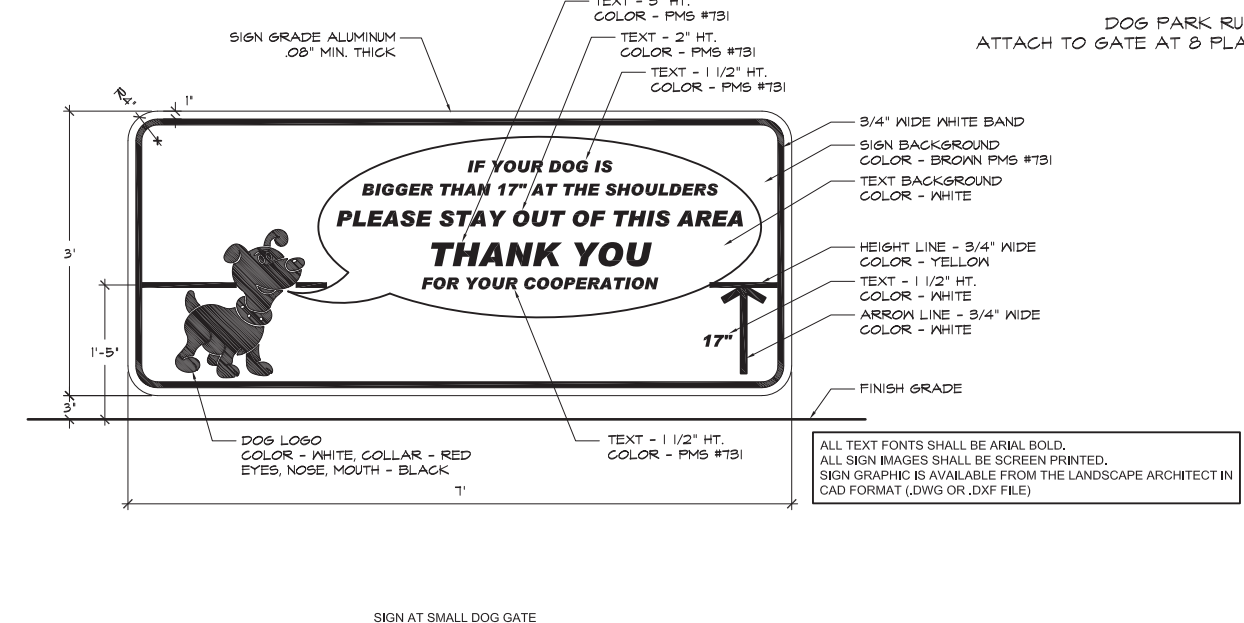


2 Detail Section: Tall Fence at Dog Park  
Scale 1" = 1'-0"



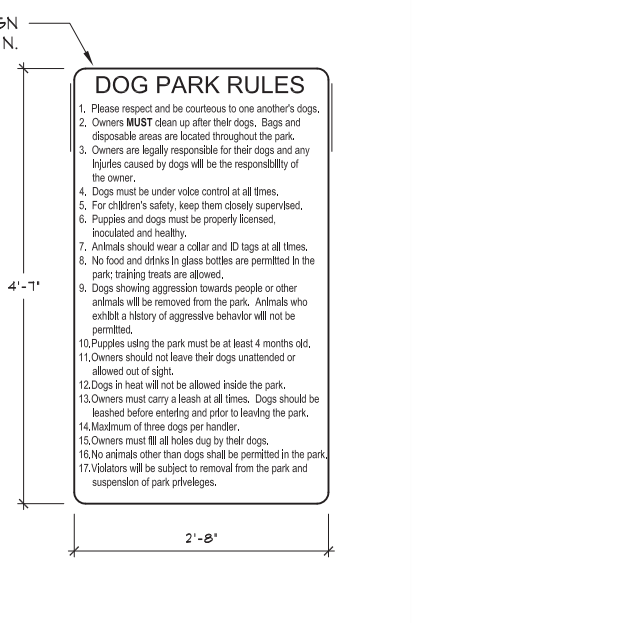
Note: Low Fence at Small Dog Area Shall be Similar, at 3'-6" Height

1 Detail Section: Tall Fence at Dog Park  
Scale 1" = 1'-0"



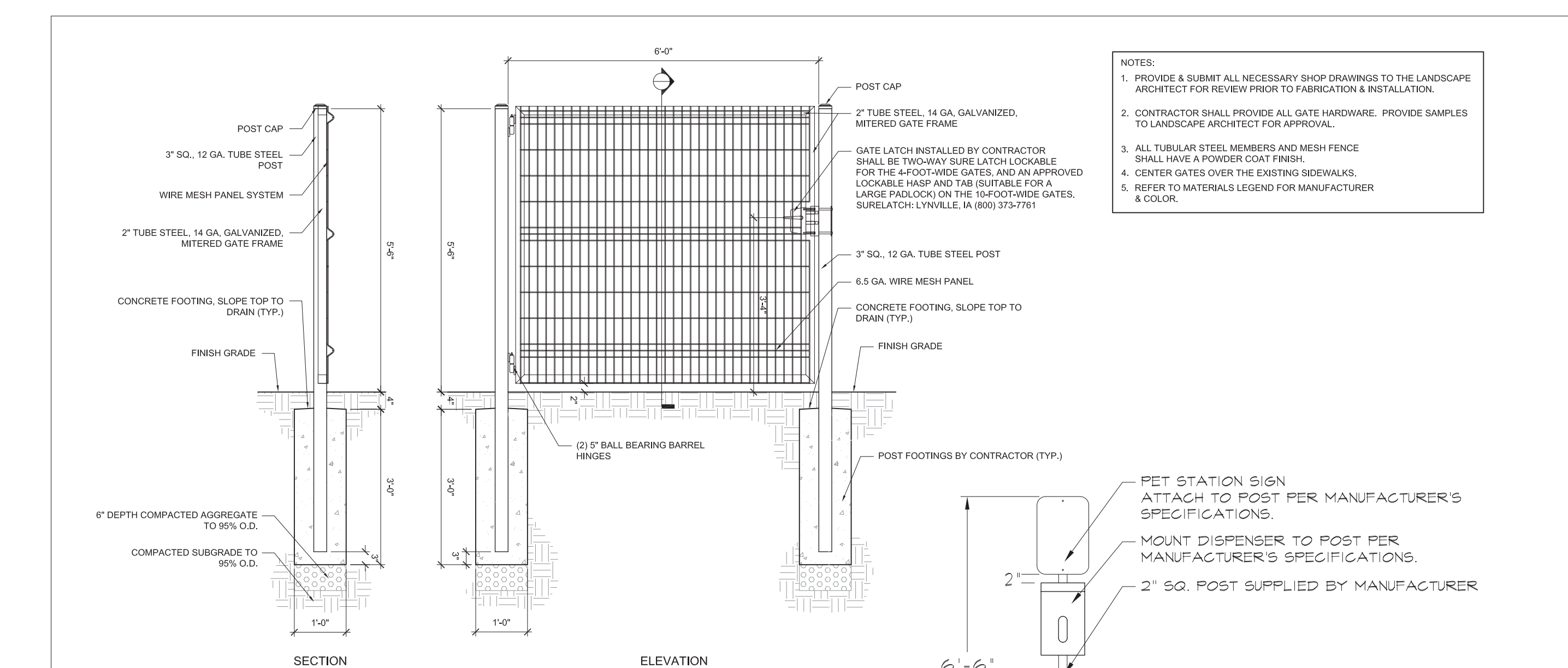
4 Detail Graphic Sign at Small Dog Gates (2 Required)  
Scale 1" = 1'-0"

2 Detail Section: Tall Fence at Dog Park  
Scale 1" = 1'-0"

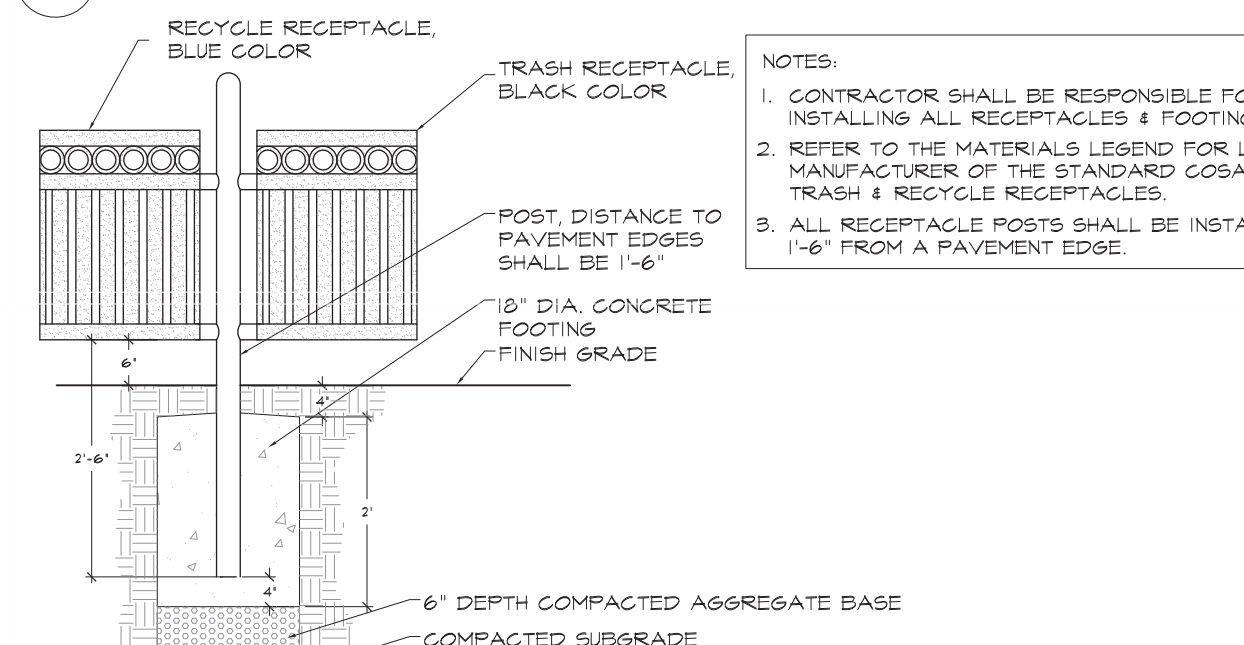


5 Dog Park Rules Signs (2 Required)  
Scale 1" = 1'-0"

3 Fence Wire Mesh Enlargement  
Not to Scale

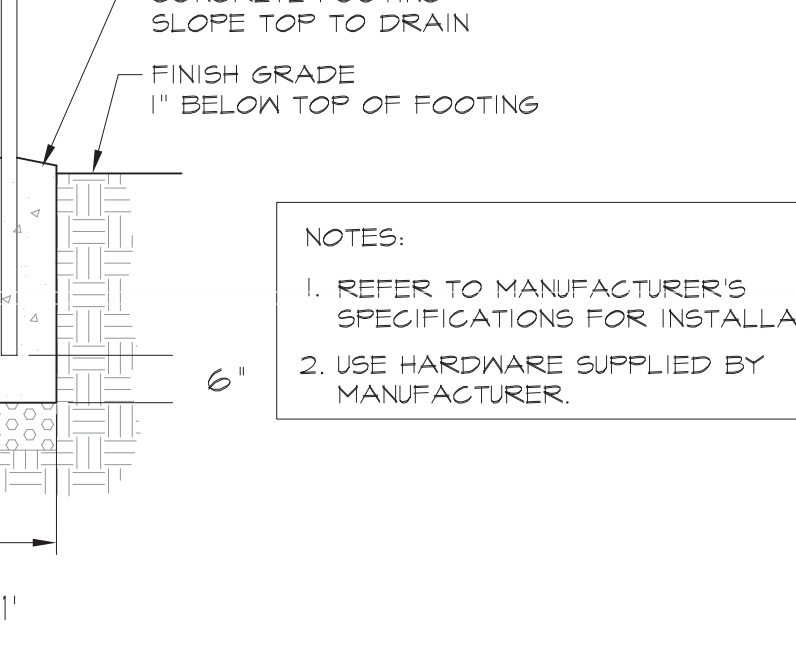


1 Detail Section: Gate at Tall Fence at Dog Park- See Plans for required Widths  
Scale 1" = 1'-0"



2 Detail Section: Trash & Recycling Bins  
Scale 1" = 1'-0"

3 Detail Section: Mutt-Mitt Pet Station on Post  
Scale 1" = 1'-0"



ISSUE DATE

No.	Date	Issue Description

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**Details, Enlarged Site Plans & Sections L7-06**

ISSUE DATE

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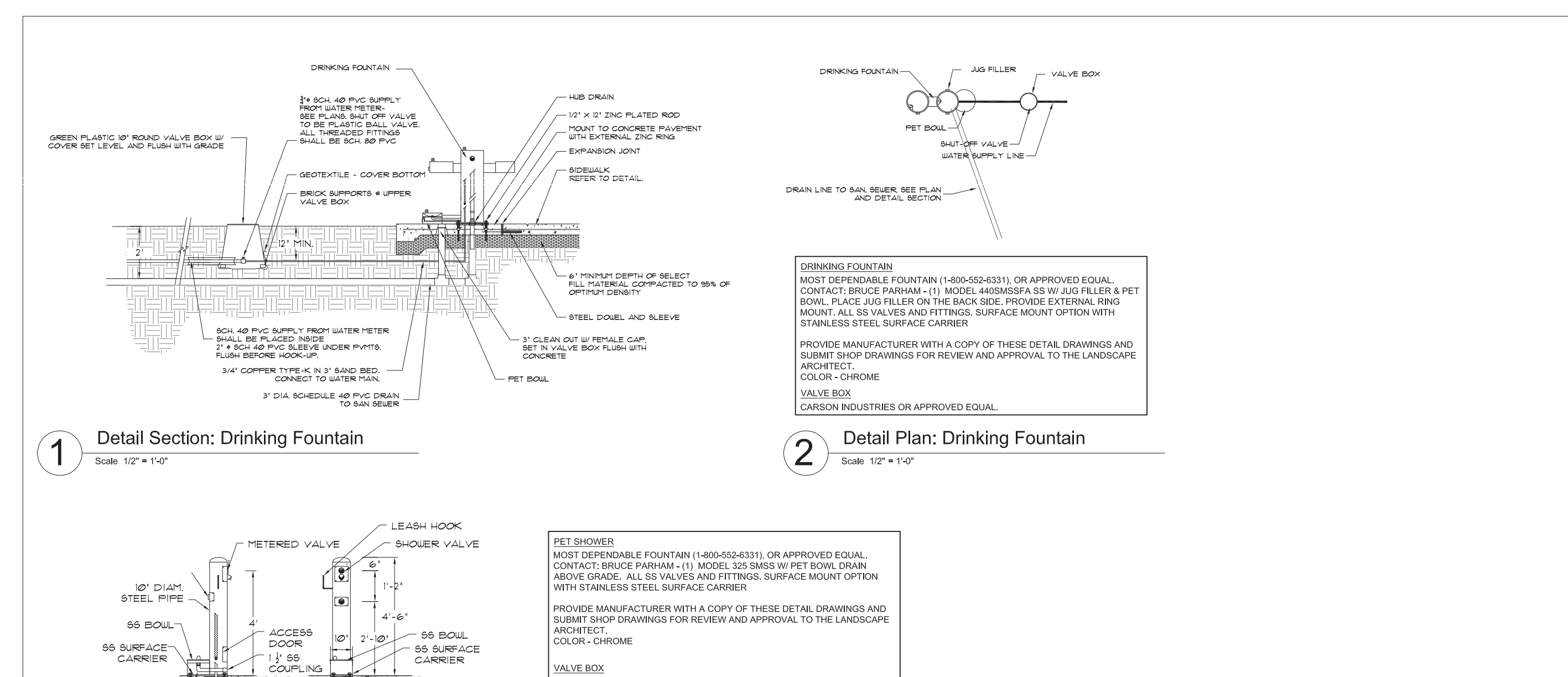
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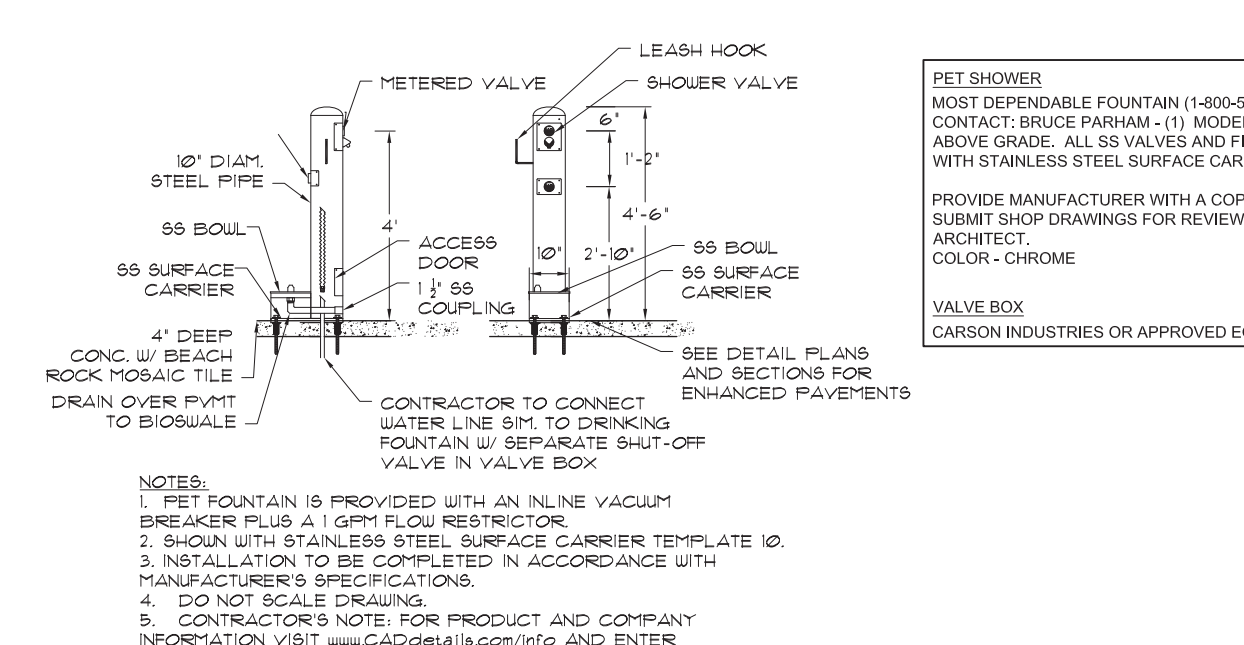
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**Details, Enlarged Site Plans & Sections L7-08**



1 Detail Section: Drinking Fountain  
Scale 1/2" = 1'-0"

2 Detail Plan: Drinking Fountain  
Scale 1/2" = 1'-0"



3 Detail Section: Dog Rinse Station  
Scale 1/2" = 1'-0"

ISSUE DATE

No.	Date	Issue Description

**Maverick Park Site Improvements 2017-2022 Bond**

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**Details, Enlarged Site Plans & Sections L7-07**

ISSUE DATE

No.	Date	Issue Description

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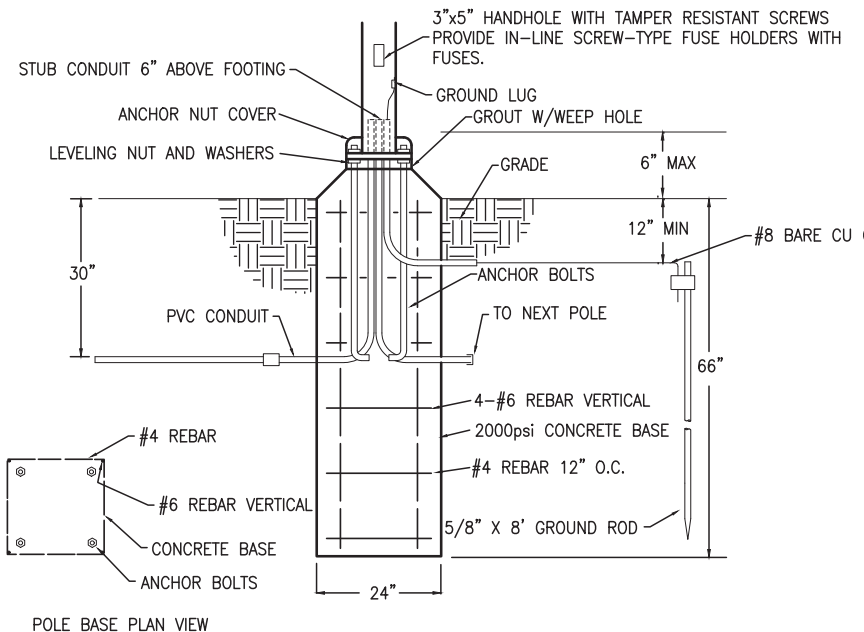
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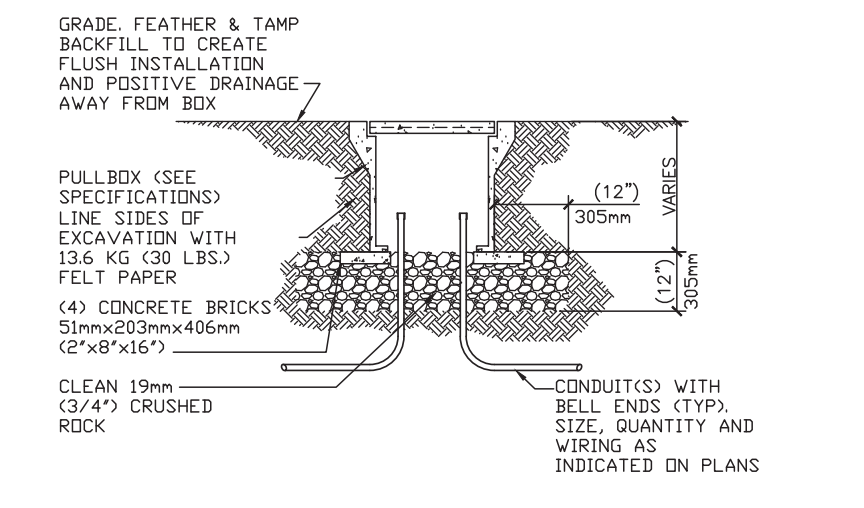
**Details, Enlarged Site Plans & Sections L7-09**



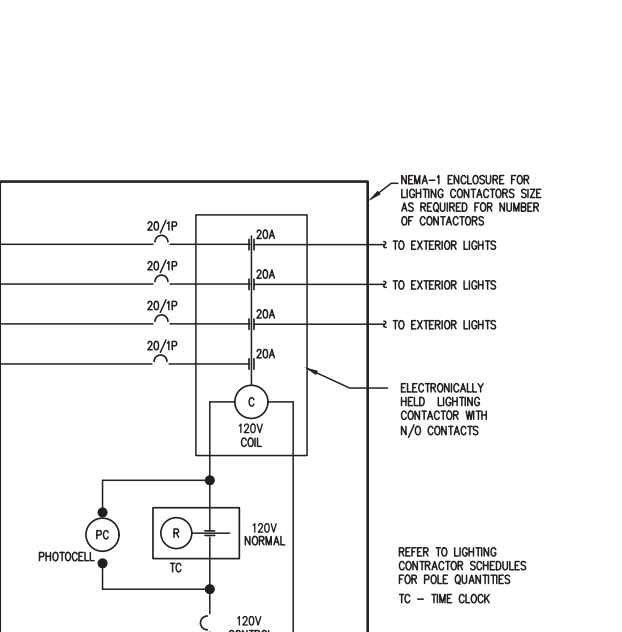
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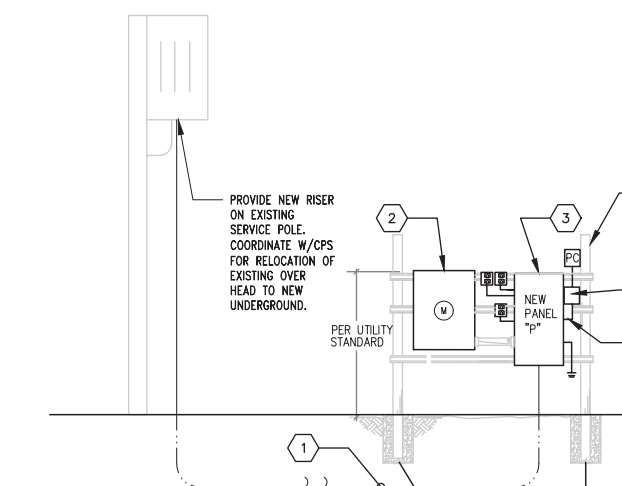
**1 POLE BASE DETAIL - PEDESTRIAN**  
SCALE: 3/4" = 1'-0"



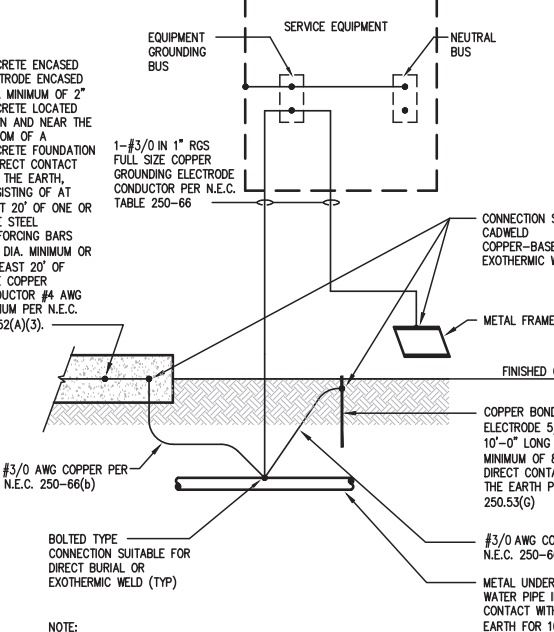
**4 UNDERGROUND CONCRETE PULLBOX**  
SCALE: 3/4" = 1'-0"



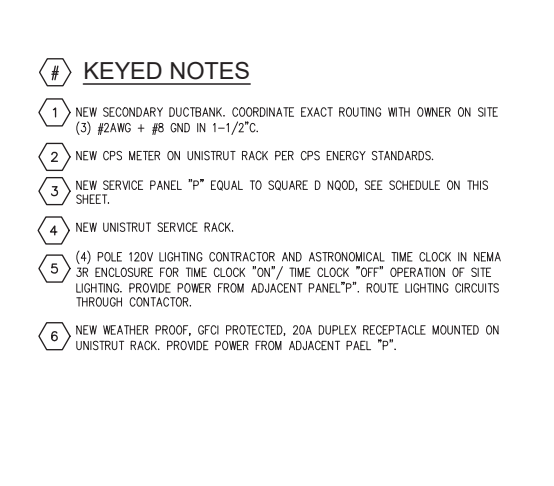
**2 EXTERIOR LIGHTING CONTACTOR DETAIL**  
SCALE: N.T.S.



**5 ELECTRICAL ONE-LINE DIAGRAM**  
SCALE: N.T.S.



**3 GROUNDING ELECTRODE SYSTEM**  
SCALE: N.T.S.



**PANEL P**

CIRCUIT	LOAD (KW)	VOLTS	PHASE	AMPS
1 20' PORTLAND LCP	1.5	120	1	12.5
2 20' SITE LIGHTING	3.0	120	3	25.0
3 20' IRRIGATION CONTROLLER	3.0	120	3	25.0
4 20' BACK RECEPTACLES	1.5	120	1	12.5
5 12' SPACE	-	-	-	-
6 12' SPACE	-	-	-	-
7 12' SPACE	-	-	-	-
8 12' SPACE	-	-	-	-
9 12' SPACE	-	-	-	-
10 12' SPACE	-	-	-	-
11 12' SPACE	-	-	-	-
12 12' SPACE	-	-	-	-
13 12' SPACE	-	-	-	-
14 12' SPACE	-	-	-	-
15 12' SPACE	-	-	-	-
16 12' SPACE	-	-	-	-
17 12' SPACE	-	-	-	-
18 12' SPACE	-	-	-	-
19 12' SPACE	-	-	-	-
20 12' SPACE	-	-	-	-
21 12' SPACE	-	-	-	-
22 12' SPACE	-	-	-	-
23 12' SPACE	-	-	-	-
24 12' SPACE	-	-	-	-

PHASE	INST. VA	INST. VA	INST. VA	INST. VA	INST. VA	INST. VA
PHASE A	300	0	1650	0	0	1950
PHASE B	300	0	550	0	0	1950
PHASE C	300	0	2500	0	0	3550
TOTAL	900	0	2500	0	0	4100

PANEL SUBTOTAL: 17 AMPS  
RESERVE CAPACITY: 3 AMPS  
RESERVE CAPACITY KW: 0.82  
TOTAL KW: 4.33

**LIGHT FIXTURE SCHEDULE**

TYPE	MANUF.	CATALOG No.	MOUNTING	#	LAMPS	VOLTAGE	INPUT W	REMARKS	NOTES
8	SELLIX	SATURIN 700W/80V 3000K	POLE	1	LED	120	65W	DECORATIVE PEDESTRIAN SCALE LED FIXTURE MOUNTED ON 1/2" TAPERED ALUMINUM POLE. FINISH PER ARCHITECT	

**HMB ENGINEERING CONSULTANTS**

2002 NORTH HOUSTON  
DALLAS, TEXAS 75228  
214.373.1660 PHONE  
SAN ANTONIO - 907  
1515 REAR HENDERSON ROAD, 78211

**Maverick Park Site Improvements 2017-2022 Bond**

04-18-19

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011010  
Professional Seal

EWCD Proj. No. 1 Drawn By:   
SHEET TITLE & NO.:  
**ELECTRICAL SCHEDULES AND DETAILS**  
**E2.0**

**GENERAL NOTES:**

- THIS STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE 2018 INTERNATIONAL BUILDING CODES AS ADOPTED AND AMENDED BY THE CITY OF SAN ANTONIO.
- GRAVITY DESIGN LIVE LOADS USED ARE AS FOLLOWS:  
A. FLOOR LIVE LOAD: 100 PSF  
B. ROOF LIVE LOAD: 20 PSF  
C. GRAVITY RAIN LOAD: 5 PSF  
D. WIND LOAD CRITERIA: EXPOSURE B  
E. SEISMIC LOAD CRITERIA: 7 SITE CLASS
- PRIOR TO START OF CONSTRUCTION THE CONTRACTOR AND FABRICATOR SHALL VERIFY ALL DIMENSIONS, DIMENSIONS AND CONDITIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- THE USE OF REPRODUCTIONS OF THESE CONTRACT DRAWINGS BY ANY CONTRACTOR, SUBCONTRACTOR, ENGINEER, FABRICATOR OR MATERIAL SUPPLIER IN LIEU OF PREPARATION OF SHOP DRAWINGS WITHOUT HIS ACCEPTANCE OR ALL INFORMATION SHOWN HEREIN AS CORRECT, AND OBLIGATES HIMSELF TO ANY AND ALL EXPENSES, REPAIRS OR STOPPED WORK FROM SUCH ACCEPTANCE. THE CONTRACTOR SHALL MAINTAIN THESE DRAWINGS AT A CONSTRUCTION STATION, INCLUDING ALL ADDENDAS AND REVISIONS.

**FOUNDATION EARTHQUAKE NOTES:**

- CONTRACTOR SHALL REINFORCE GRADES AND CUT WALLS SO THAT SURFACE WATER WILL DRAIN AWAY FROM BUILDING SITE. MAINTAIN DRAINAGE PROGRAM SO THAT WATER WILL DRAIN AWAY FROM BUILDING SITE DURING ALL PHASES OF CONSTRUCTION. WATER WHICH ACCUMULATES IN TRENCHES AND EXCAVATIONS SHALL BE IMMEDIATELY PUMPED OUT.
- IN THE AREA FOR THE CONCRETE SLAB-ON-GRADE:  
a) REMOVE ALL OBSTACLES (i.e. ROOTS, TREES, GRASS, AND OTHER VEGETATION) AND ANY OTHER DELETERIOUS MATERIALS. REMOVE ALL MATERIAL TO ENSURE THAT THE FRESH PAINT THICKNESS IS A MINIMUM OF ONE FOOT.  
b) THE SUBGRADE SHOULD BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO AT LEAST THE PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. ASBESTOS SHALL BE REMOVED TO A MINIMUM OF 6" BELOW FINISHED GRADE. ALL REMOVED MATERIAL SHALL BE PLACED IN A SEPARATE PILE AND Hauled AWAY FROM THE SITE. ALL REMOVED MATERIAL SHALL BE PLACED IN A SEPARATE PILE AND Hauled AWAY FROM THE SITE.  
c) SELECT FILL SHOULD BE PLACED IN MAXIMUM LIFTS OF SIX (6) INCHES OF COMPACTED MATERIAL. EACH LIFT SHOULD BE COMPACTED WITHIN RANGE OF ONE (1) PERCENTAGE POINT BELOW TO THREE (3) PERCENTAGE POINTS ABOVE THE OPTIMUM MOISTURE CONTENT VALUE.  
3. TRENCHES FOR GRADE BEAMS AND MECHANICAL LINES SHALL BE REINFORCED AFTER ALL EARTHQUAKE DEFENSES HAVE BEEN COMPLETED. TRENCHING SHALL BE CONDUCTED USING A BROOKHOUTER BUCKET OR A FOOTED BUCKET IS USED. EXCAVATION ACCOMPANIED WITH A BROOKHOUTER BUCKET OR BY HAND LABOR TO REMOVE ALL LOOSE SOILS DISTURBED BY THE BUCKET TEST. TRENCHES SHALL BE VERIFIED FOR SIZE TO MAINTAIN CLEARANCES AROUND REINFORCEMENT.  
4. PLACE A ROCK/WETLINE VAPOR BARRIER THINNESS & PLS. IN THICKNESS VAPOR BARRIER SHALL NOT EXTEND BELOW MID-DEPTH OF BEAM TRENCHES.  
5. EMPLOY AN INDEPENDENT TESTING LABORATORY TO TAKE 3 DENSITY TESTS OF RECOMPACTED ON SITE MATERIAL AND 3 DENSITY TESTS OF EACH LIFT OF FILL.

**CONCRETE/REINFORCING NOTES:**

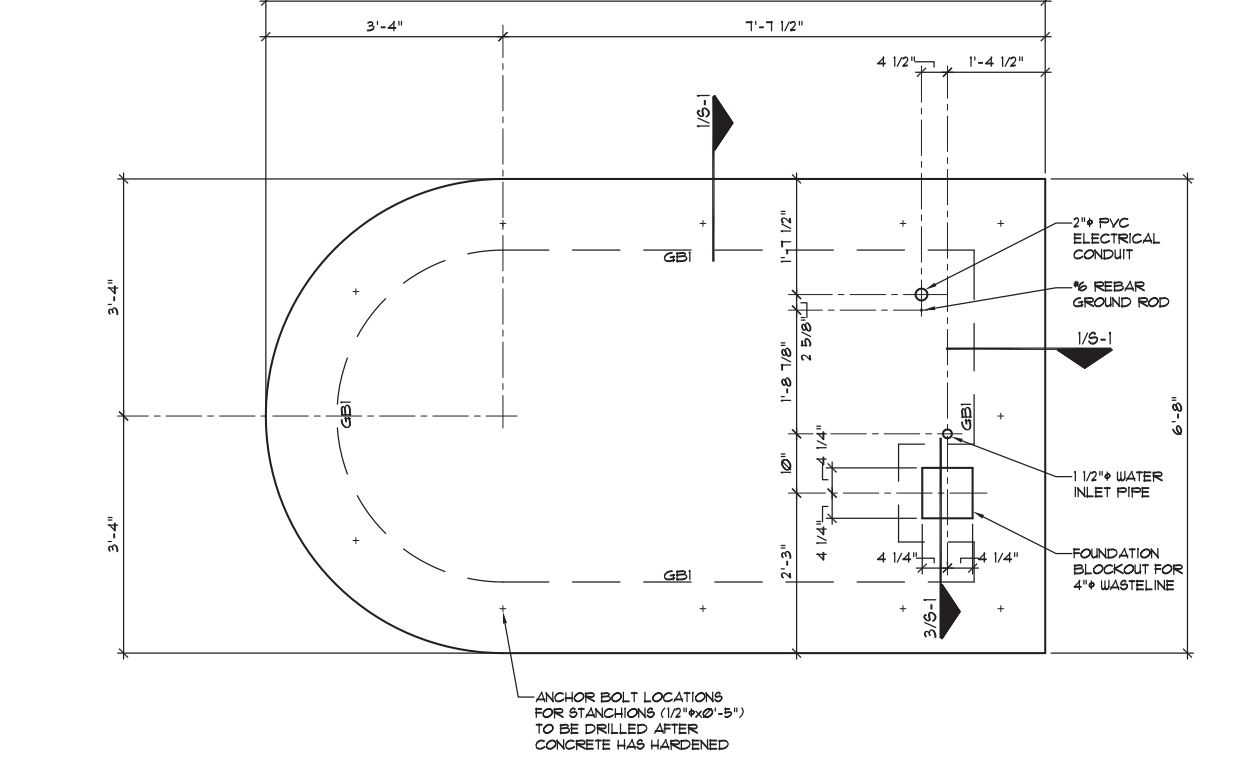
- CONCRETE SHALL BE LABORATORY DESIGNED TO DEVELOP A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI. USE OF FLY ASH WILL BE PERMITTED UP TO 20% CEMENT REPLACEMENT BY WEIGHT.  
2. CONCRETE MIX DESIGN SHALL MEET THE FOLLOWING REQUIREMENTS:  
CEMENT TYPE: ASTM C150 TYPE 1  
-FLY ASH: ASTM C618 TYPE C OR S  
-AGGREGATES: NO LESS THAN 3"; NOT MORE THAN 8"  
GENERAL CONTRACTOR SHALL SUBMIT WRITTEN REPORT FOR THE PROPOSED MIX DESIGN AT LEAST 14 WORK DAYS PRIOR TO START OF CONCRETE WORK.  
3. REINFORCING SHALL BE PLACED AS FOLLOWS:  
-AGGREGATES: ASTM C618 ONE TEST THE FIRST DAY  
-COMPRESSION STRENGTH: ASTM C618 ONE SET OF 3 CYLINDERS FOR EACH OF THE SUBMITTALS. TWO CYLINDERS FOR EACH OF THE SUBMITTALS. TWO CYLINDERS TESTED AT 1 DAY. TWO TESTS AT 28 DAYS IF NECESSARY.  
-SLURRY: ASTM C618 AT LEAST TWO TEST SHALL BE MADE RANDOMLY DURING EACH DAY OF PLACEMENT.  
4. REINFORCING STEEL SHALL BE FROM DOMESTIC SOURCE AND SHALL COMPLY TO THE REQUIREMENTS OF ASTM A631. ALL REINFORCING STEEL SHALL BE GRADE 60.  
5. ALL ITEMS PRESEIGNED IN CONCRETE MUST BE TIED AND SECURED PRIOR TO PLACEMENT OF CONCRETE.  
6. MECHANICAL VIBRATION HAND RECCONS AND TAPPING MUST BE USED TO CONSOLIDATE CONCRETE AND TO REMOVE TRAP AIR. CONCRETE IS WORKED AROUND REINFORCEMENT OTHER PRESEIGNED ITEMS AND NOT FORMS.  
7. ABSOLUTELY NO BENDING OF REINFORCEMENT BARS OR TENDING TO BEND REINFORCEMENT BARS SHALL BE ALLOWED WITHOUT THE SPECIFIC APPROVAL OF THE STRUCTURAL ENGINEER.  
8. DETAILING OF REINFORCEMENT BARS AND ACCESSORIES SHALL BE IN ACCORDANCE WITH LATEST ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 318). BAR SPLICES SHALL BE A LENGTH EQUAL TO A MINIMUM OF 36 BAR DIAMETERS.

**FOUNDATION NOTES:**

- FOUNDATION SLAB SHALL BE 8" THICK AND REINFORCED WITH #4 @ 20" OC. EACH WAY. EACH WAY SHALL BE PLACED 1/2" CLR FROM TOP. REINFORCING SHALL BE SUPPORTED AT 4" @ 20" OC. EACH WAY UNDER CONCRETE BLOCKS OR BRICKS. DO NOT USE METAL OR PLASTIC CHAIRS.  
2. GRADE BEAM DEPTH AS SHOWN IS A MINIMUM. INCREASE BEAM DEPTH AT BUILDING PERIMETER SO THAT THE BEAM SPLIT BEARS A MINIMUM OF 2" @ 20" BELOW FINAL GRADE. GRADE BEAM REINFORCING SHALL BE SUPPORTED AT BOTTOM USING CONCRETE BLOCK OR BRICKS @ 4" @ 20" OC.  
3. EXPOSED BEAMS OF FOUNDATION SHALL BE WOOD FORMED TO A DEPTH OF 8" BELOW FINAL GRADE.  
4. PROVIDE 4" x 12" @ 20" CORNER BARS (2 TOP, 2 BOTTOM) AT ALL BEAM CORNERS AND T-T INTERSECTIONS.  
5. IN LOCATIONS WHERE GRADE BEAM DEPTH EXCEEDS 36", ADD CONTINUOUS #4 @ 20" OC. HORIZONTALLY IN EACH BEAM FACE.

**GRADE BEAM SCHEDULE**

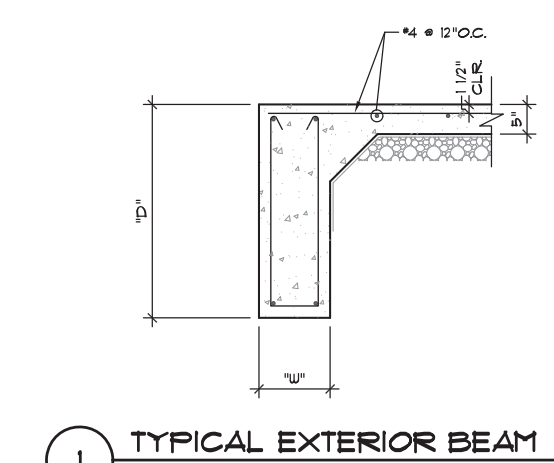
PK	LOAD	MAIN REINFORCING	TIES
081	SLAB	2" # 3 @ 20" TOP + BOTTOM	#4 @ 24" OC



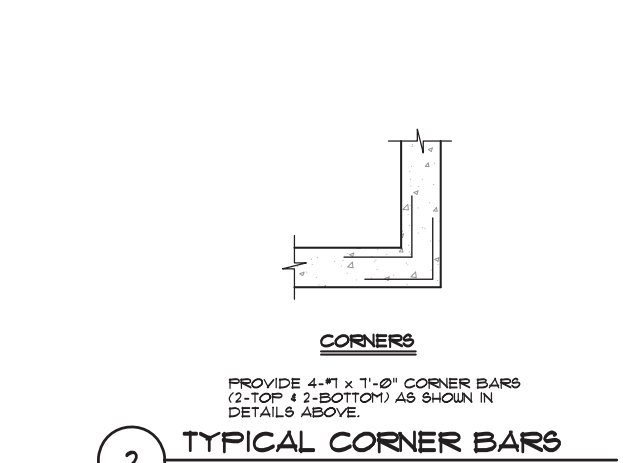
**FOUNDATION FRAMING PLAN**  
SCALE: 3/4" = 1'-0"

**REMARKS:**

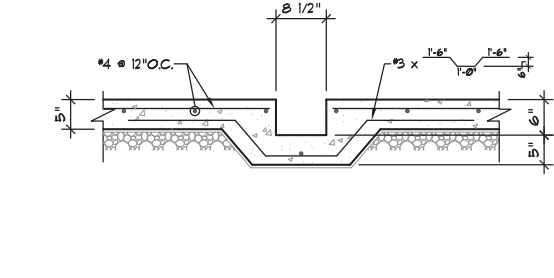
- FOUNDATION SECTION 1A-AT(1) IS TO BE FASTENED TO CONCRETE USING 1/2" DIA. CLR FROM TOP. REINFORCING SHALL BE SUPPORTED AT 4" @ 20" OC. EACH WAY UNDER CONCRETE BLOCKS OR BRICKS. DO NOT USE METAL OR PLASTIC CHAIRS.
- GRADE BEAM DEPTH AS SHOWN IS A MINIMUM. INCREASE BEAM DEPTH AT BUILDING PERIMETER SO THAT THE BEAM SPLIT BEARS A MINIMUM OF 2" @ 20" BELOW FINAL GRADE. GRADE BEAM REINFORCING SHALL BE SUPPORTED AT BOTTOM USING CONCRETE BLOCK OR BRICKS @ 4" @ 20" OC.
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- IN LOCATIONS WHERE GRADE BEAM DEPTH EXCEEDS 36", ADD CONTINUOUS #4 @ 20" OC. HORIZONTALLY IN EACH BEAM FACE.



**1 TYPICAL EXTERIOR BEAM**  
SCALE: 3/4" = 1'-0"



**2 TYPICAL CORNER BARS**  
SCALE: N.T.S.



**3 SECTION @ BLOCKOUT**  
SCALE: 3/4" = 1'-0"

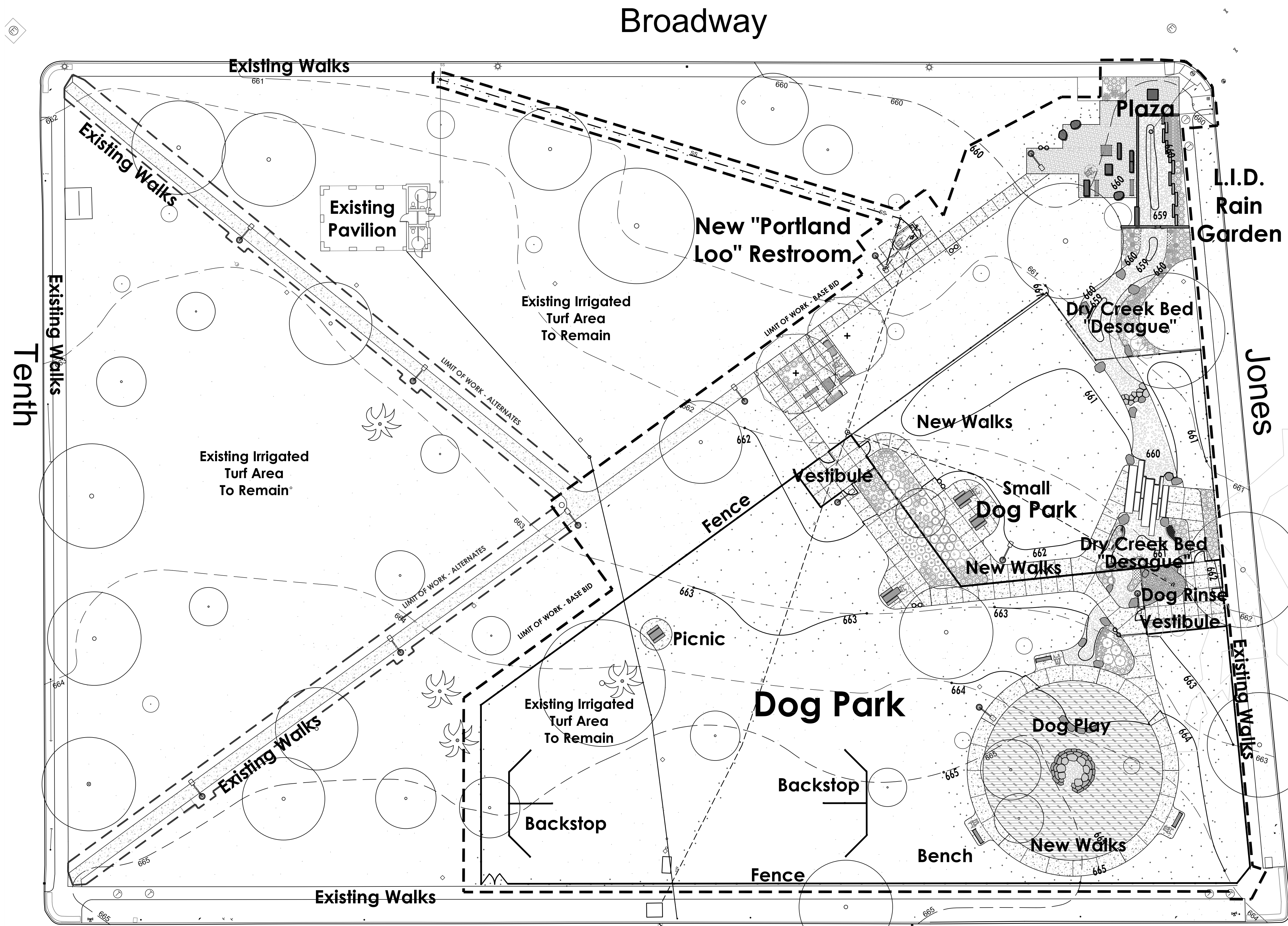
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SAN ANTONIO, TEXAS 78240  
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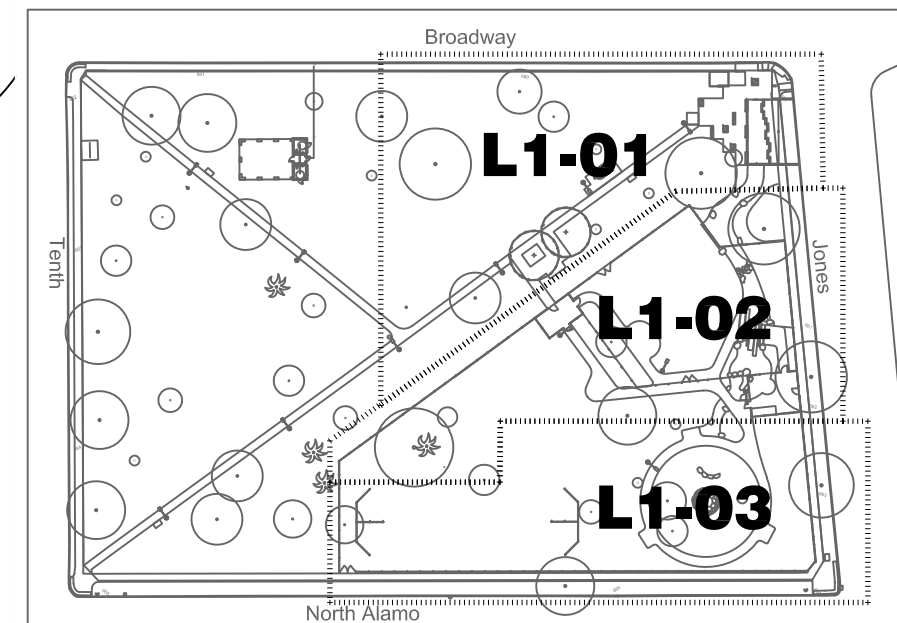
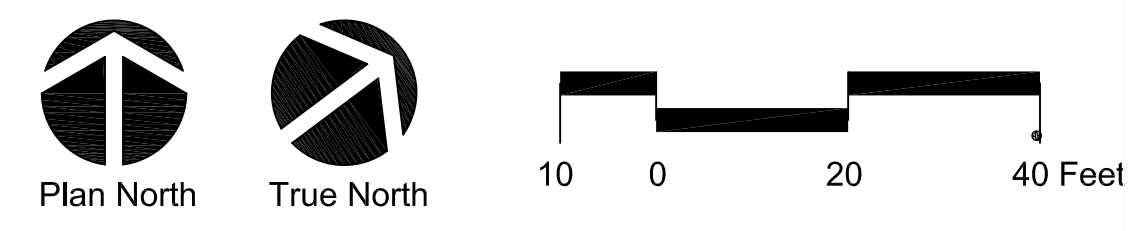
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DATE: MAY 01, 2019  
DRAWN BY: HMG  
CHECKED BY: HW  
SCALE:

**S-1**

Date: May 31, 2019, 3:44pm User ID: LARRYCLARK  
 File: \\BWCD-S\Shared\_S\2018 PROJECTS\Maverick Park-2018 Bond\Workfile\2019-5-29 Maverick Park.dwg



**1** **Maverick Park Site Development Reference Plan**  
 Scale 1" = 20'-0"  
 For Alternates, refer to Specifications



**Key Map** Please refer to Enlarged Plans for Hardscape Materials and Layout at Scale 1" = 10'-0" as noted above

ISSUE DATE		
No.	Date	Issue Description

**Maverick Park  
 Site Improvements  
 2017-2022 Bond**

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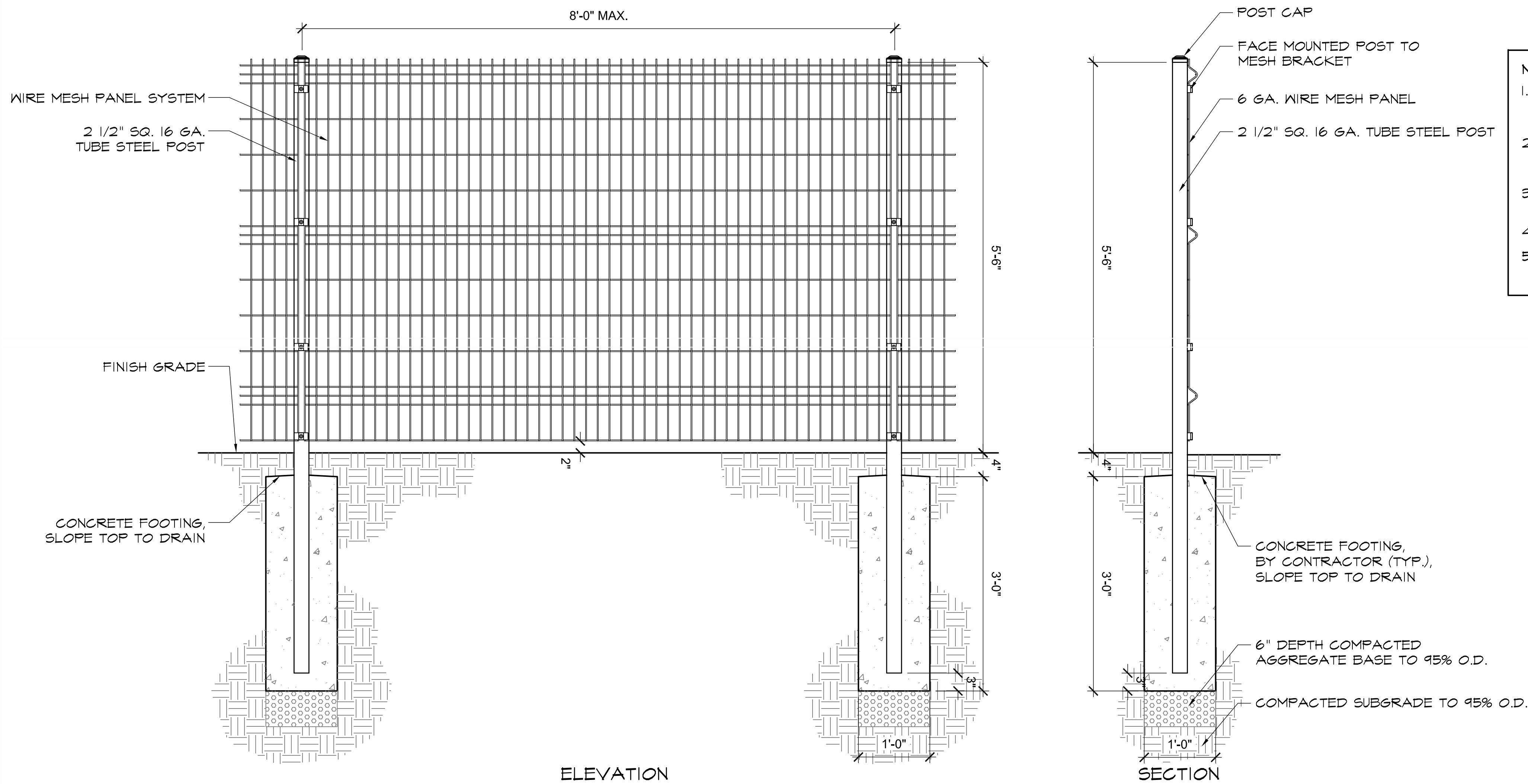
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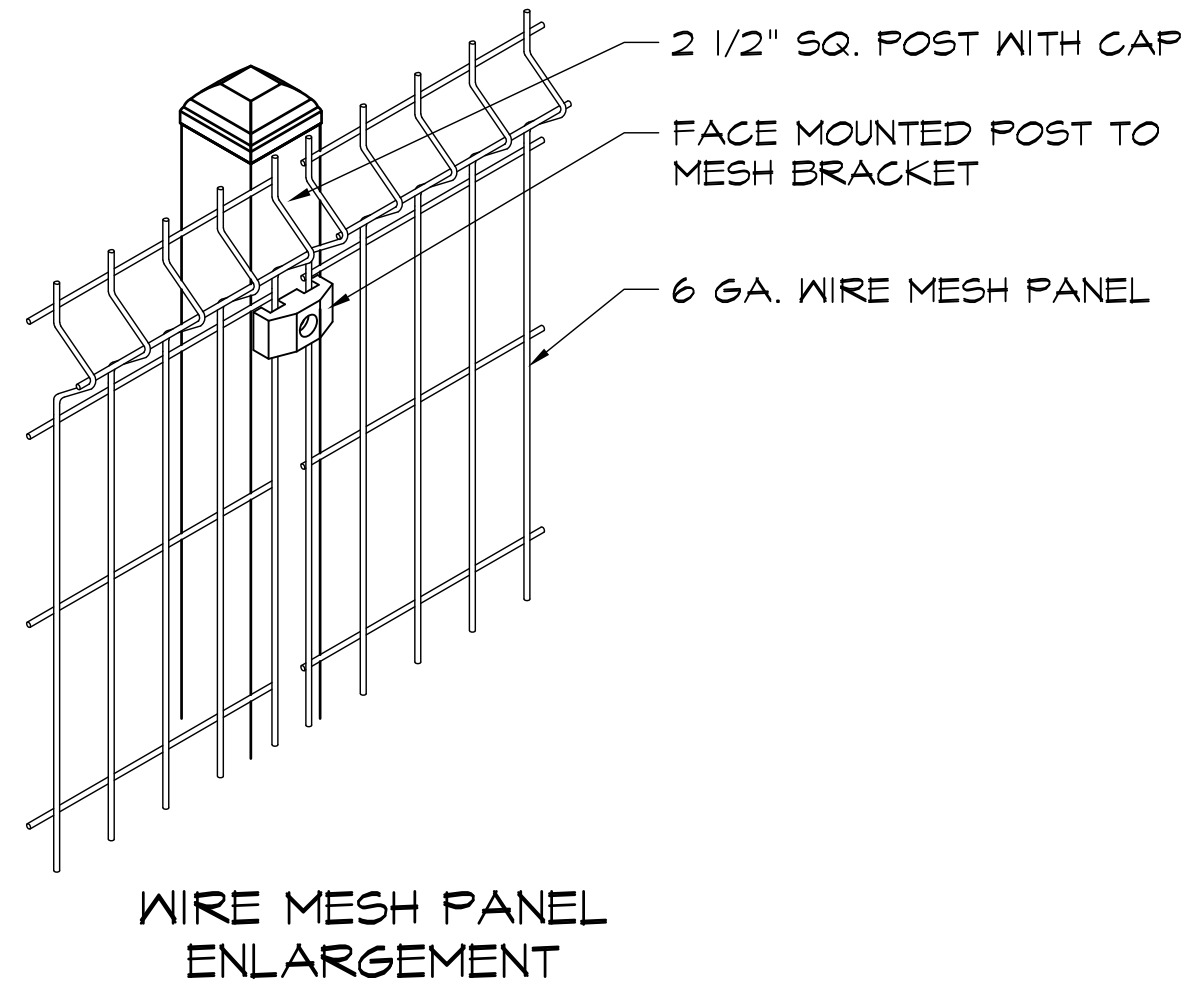
BWCD Proj. No. :  Drawn By :

SHEET TITLE & NO. : **Site Reference Plan**

**L0-02**



- NOTES:**
1. PROVIDE & SUBMIT ALL NECESSARY SHOP DRAWINGS TO THE LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO FABRICATION & INSTALLATION.
  2. CONTRACTOR SHALL PROVIDE ONE 8 FT. LENGTH FULL HEIGHT FENCE SECTION FOR REVIEW AND APPROVAL BEFORE CONTINUING CONSTRUCTION.
  3. ALL TUBULAR STEEL MEMBERS AND MESH FENCE SHALL HAVE A POWDER COAT FINISH.
  4. REFER TO MATERIALS LEGEND FOR MANUFACTURER & COLOR.
  5. 5'-6" FENCE DETAIL SHOWN. OUTSIDE FENCE AT SMALL DOG AREA SHALL BE 3'-6" HIGH.

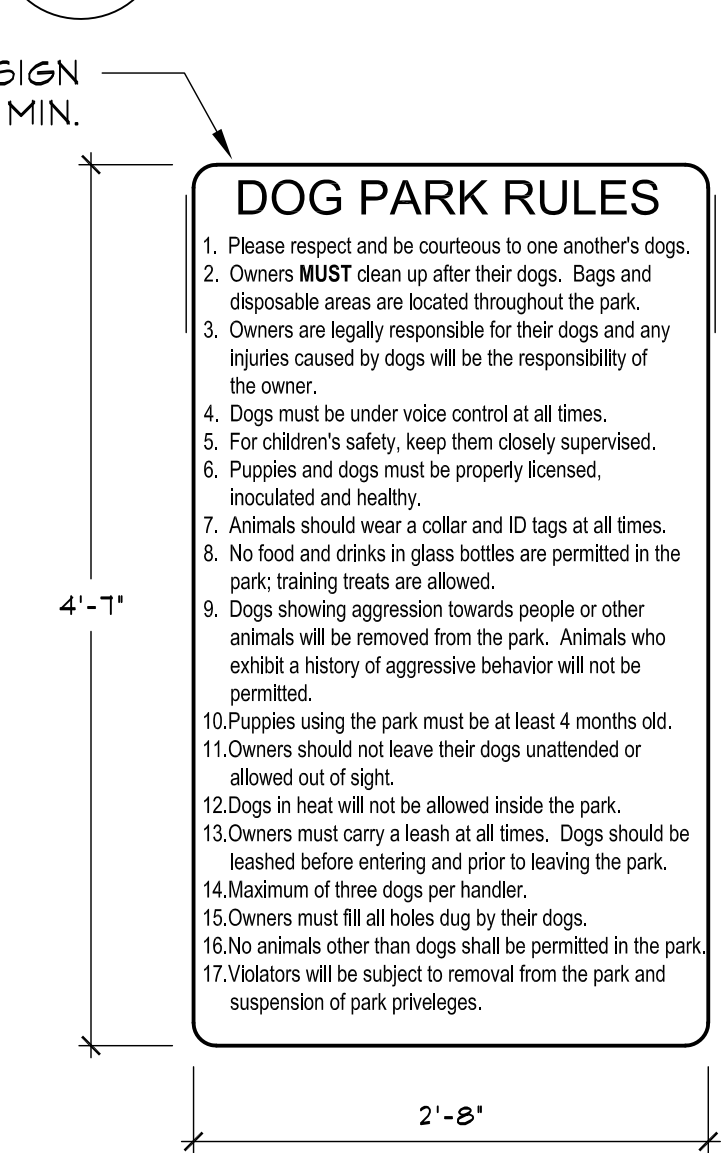
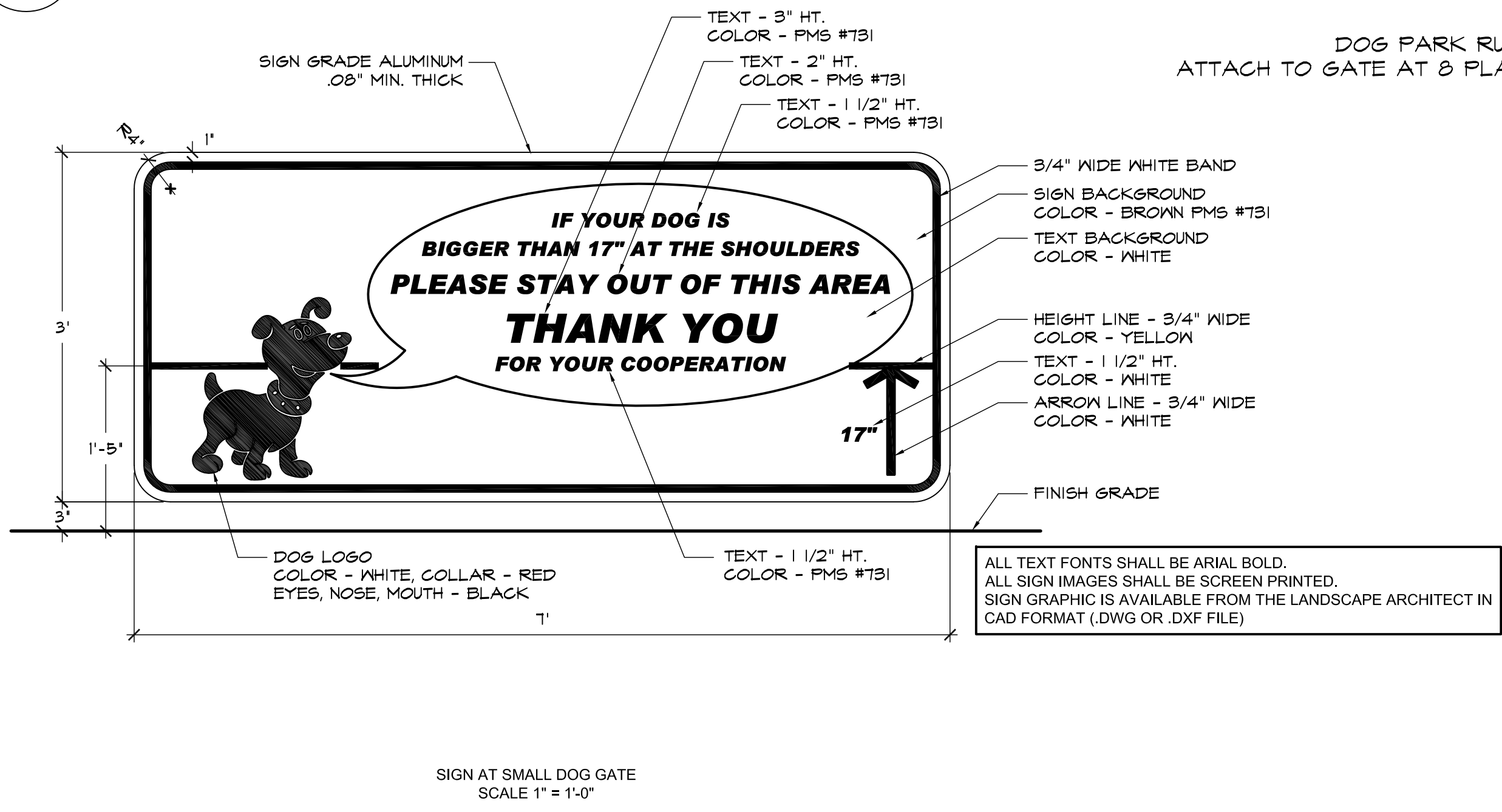


Note: Low Fence at Small Dog Area Shall be Similar, at 3'-6" Height

**1** Detail Section: Tall Fence at Dog Park  
Scale 1" = 1'-0"

**2** Detail Section: Tall Fence at Dog Park  
Scale 1" = 1'-0"

**3** Fence Wire Mesh Enlargement  
Not to Scale



**4** Detail Graphic Sign at Small Dog Gates (2 Required)  
Scale 1" = 1'-0"

**5** Dog Park Rules Signs (2 Required)  
Scale 1" = 1'-0"

ISSUE DATE		
No.	Date	Issue Description

# Maverick Park Site Improvements

## 2017-2022 Bond

LANDSCAPE ARCHITECT / PRIME CONSULTANT  
**BENDER WELLS CLARK DESIGN**  
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**Urban Design**

**Planning**

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SHEET TITLE & NO. :

# Details, Enlarged Site Plans & Sections

# L7-07

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