

HISTORIC AND DESIGN REVIEW COMMISSION

May 19, 2021

HDRC CASE NO: 2021-229
ADDRESS: 311 3RD ST
LEGAL DESCRIPTION: NCB 425 (THREE ELEVEN THIRD), BLOCK 23 LOT 17
ZONING: D
CITY COUNCIL DIST.: 1
APPLICANT: Gregory Papay/Lake | Flato Architects
OWNER: David Lake/DCL LLC &
TYPE OF WORK: Repair and maintenance, site work, exterior modifications and Historic Tax Certification
APPLICATION RECEIVED: April 29, 2021
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Edward Hall

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Perform rehabilitative scopes of work including window repair and masonry cleaning.
2. Remove the existing, clay block infill on the west façade and install a new curtain wall storefront system.
3. Receive Historic Tax Certification.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations

10. Commercial Facades

A. MAINTENANCE (PRESERVATION)

- i. Character-defining features*—Preserve character defining features such as cornice molding, upper-story windows, transoms, display windows, kickplates, entryways, tiled paving at entryways, parapet walls, bulkheads, and other features that contribute to the character of the building.
- ii. Windows and doors*—Use clear glass in display windows. See Guidelines for Architectural Features: Doors, Windows, and Screens for additional guidance.
- iii. Missing features*—Replace missing features in-kind based on evidence such as photographs, or match the style of the building and the period in which it was designed.
- iv. Materials*—Use in-kind materials or materials appropriate to the time period of the original commercial facade when making repairs.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. New features*—Do not introduce new facade elements that alter or destroy the historic building character, such as adding inappropriate materials; altering the size or shape of windows, doors, bulkheads, and transom openings; or altering the façade from commercial to residential. Alterations should not disrupt the rhythm of the commercial block.
- ii. Historical commercial facades*—Return non-historic facades to the original design based on photographic evidence. Keep in mind that some non-original facades may have gained historic importance and should be retained. When evidence is not available, ensure the scale, design, materials, color, and texture is compatible with the historic building. Consider the features of the design holistically so as to not include elements from multiple buildings and styles.

UDC Section 35-618. Tax Exemption Qualification.

(d)Certification.

(1)Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.

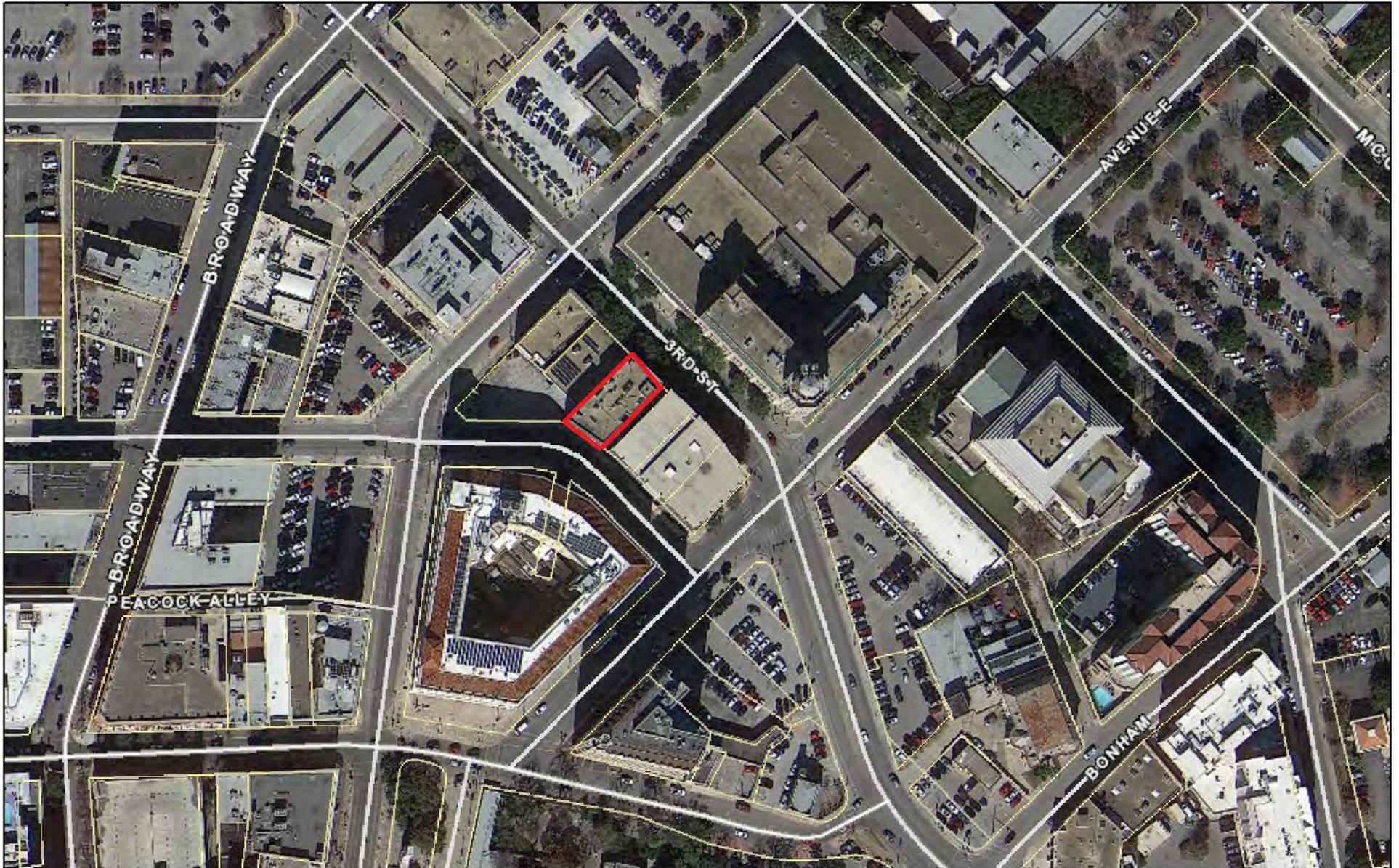
FINDINGS:

- a. The three story structure located at 311 3rd Street was constructed circa 1917 and features reinforced concrete construction with infill clay block tiles. At this time the structure is not a locally designated landmark; however, the applicant has submitted an application for historic designation.
- b. **REHABILITATIVE WORK** – The applicant has proposed to perform rehabilitative scopes of work to include window repair and masonry cleaning. The applicant has noted that the proposed scope of work will be done in-kind with like materials. Staff finds the proposed scope of work to be appropriate and consistent with the Guidelines for Exterior Maintenance and Alterations.
- c. **CURTAIN WALL STOREFRONT SYSTEM** – On the west façade, the applicant has proposed to remove the existing, clay block infill on the west façade and install a new curtain wall storefront system. This west wall is currently void of any ornamentation or fenestration. Currently, the façade features exposed concrete structure with infill clay block tiles. The proposed curtain wall storefront system will span from the ground level to the third level. The existing parapet wall will not be modified. Generally, staff finds the proposed modification to be appropriate as it does not modify or negatively impact historic fenestration patterns or ornamentation and is located on a non-primary façade.
- d. **HISTORIC TAX CERTIFICATION** – The applicant has met all the requirements for Historic Tax Certification outlined in UDC Section 35-618 and has provided evidence to that effect to the Historic Preservation Officer.

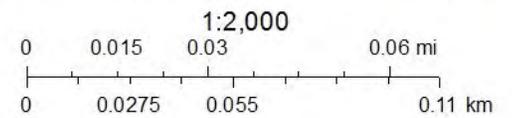
RECOMMENDATION:

Staff recommends approval of items #1 through #3 based on findings a through d.

City of San Antonio One Stop



May 14, 2021





**LAKE|FLATO OFFICE RENOVATION
311 3RD STREET**

NARRATIVE

The Applicant, Lake | Flato Architects, has occupied the the 3-story 311 3rd street building and adjacent 1-story 305 3rd street parking garage since 1984, and intends to continue occupying the buildings.

The project is primarily light interior renovation at the 3-story 311 3rd street office building along with necessary repairs and maintenance of the existing facades and adjacent sidewalks.

The Applicant is working with Ann McGlone regarding the proposed improvements which will be submitted to the Texas Historical Commission for approval for Historic Tax Credits.

3-Story 311 3rd street office building:

The building is located mid-block on the south side of 3rd Street between N Alamo Street and Avenue E. The Primary elevation faces northeast (plan north) toward 3rd Street and shares a party wall on the northwest side with the 1-story building mentioned below. To the southeast stands a multi-story parking garage with a narrow alley between it and the 311 3rd building. The Secondary elevation faces southwest to E Travis Street. Built in 1917, the building is of reinforced concrete construction with a combination of clay tile block and brick exterior walls. Painted steel fixed and casement windows dominate the north and south facades, and some limited areas of painted steel windows also occur on the tertiary east and west elevations.

The proposed improvements are primarily interior rehabilitation that will preserve the character-defining volume and open configuration of the space while providing updates to systems and a functional layout. Notably, the historic floor tile at the first floor will remain and be highlighted as part of the entry/lobby experience. The existing concrete structure that is a signature element of the historic building will remain intact and will be prominently featured throughout all three levels.

Exterior improvements for the Primary and Secondary facades are limited to cleaning and routine repairs of the masonry and windows, along with replacement in-kind of any broken glass panes. The tertiary facades at the east and west will be cleaned and repainted so that concrete structure will remain visible. New painted storefront windows and doors will be introduced to 19% of the west facade connecting the interior spaces to the adjacent 305 3rd property. These windows will match the existing windows at the lower level of the Primary facade on 3rd street. Existing street trees (live oaks) will remain along 3rd Street. The sidewalk along 3rd Street will be replaced in-kind to meet ADA requirements as required by the UDC. The basement skylight will remain.

SCHEDULE

SUBMIT FOR LANDMARK STATUS - APRIL 30TH 2020
SUBMIT FOR HDRC REVIEW - APRIL 30TH 2020
SUBMIT HISTORIC CERTIFICATION PART 1 - APRIL 30TH 2020

DESIGN AUGUST 2020 - JUNE 2021

SUBMIT FOR PERMIT - JUNE 2021
CONSTRUCTION START - AUGUST 2021
CONSTRUCTION COMPLETION - FEBRUARY 2022

ESTIMATED COSTS \$ 3,600,000.00

EXISTING EXTERIOR PHOTOS -311 3RD STREET OFFICE BUILDING



311 BUILDING - PRIMARY FACADE (NORTH)



311 BUILDING - TERTIARY (WEST) AND SECONDARY (SOUTH) FACADES



311 BUILDING - SECONDARY (SOUTH) AND TERTIARY (EAST) FACADES

EXISTING INTERIOR PHOTOS -311 3RD STREET OFFICE BUILDING



311 BUILDING - 1ST FLOOR NORTH STUDIO (LOOKING SW)



311 BUILDING - 1ST FLOOR NORTH STUDIO (LOOKING SE)



311 BUILDING - 1ST FLOOR SOUTH STUDIO (LOOKING SW)

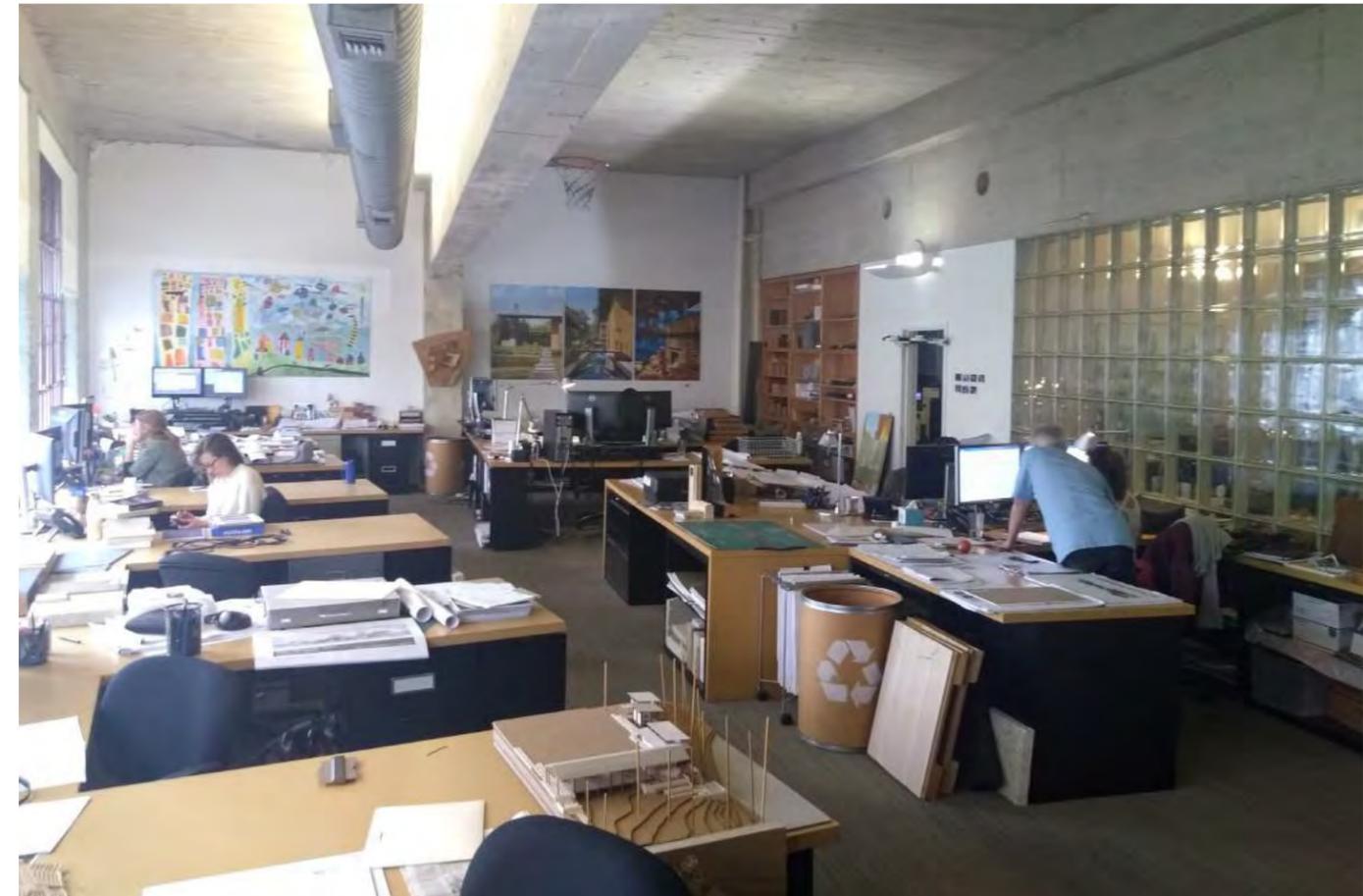
EXISTING INTERIOR PHOTOS -311 3RD STREET OFFICE BUILDING



311 BUILDING - 2ND FLOOR NORTH STUDIO (LOOKING SW)



311 BUILDING - 2ND FLOOR SOUTH STUDIO (LOOKING SW)

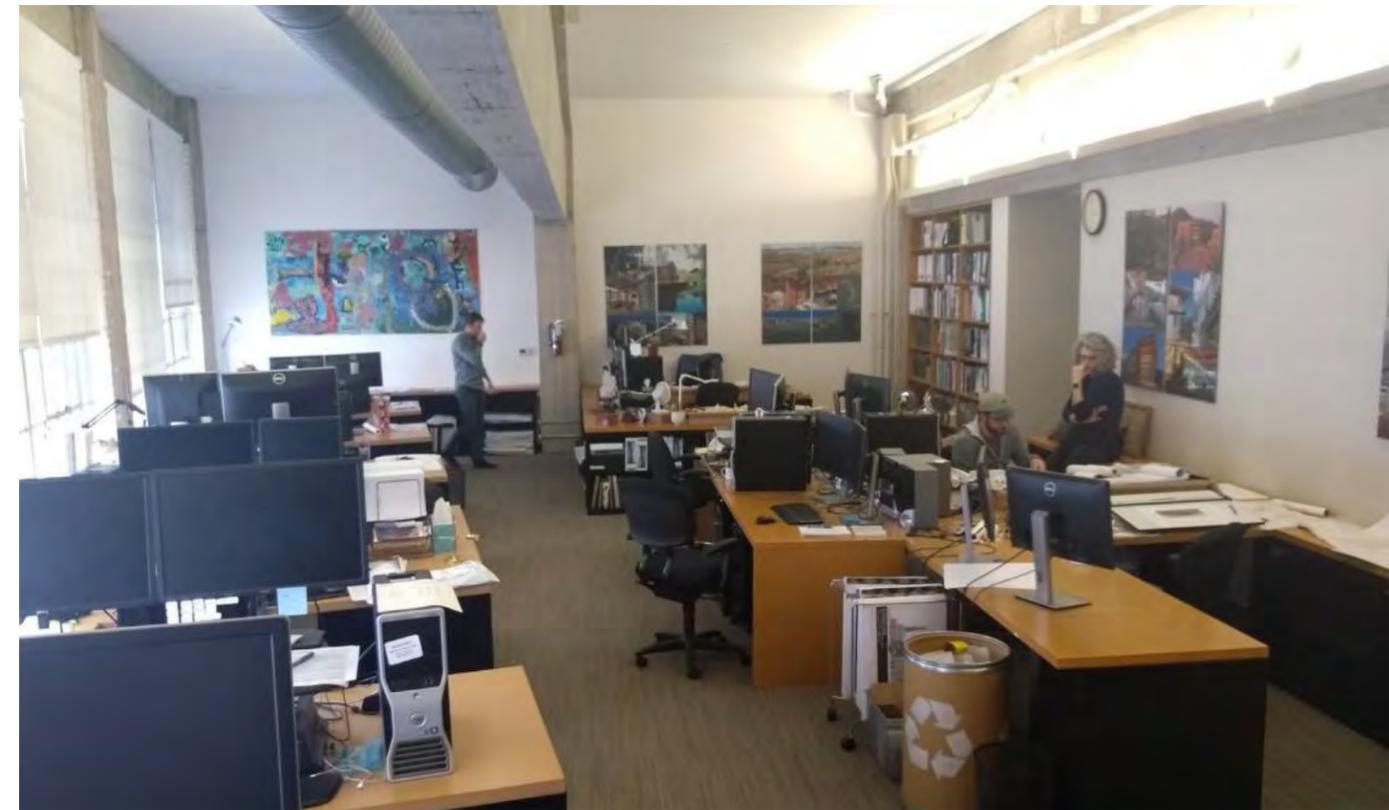


311 BUILDING - 2ND FLOOR SOUTH STUDIO (LOOKING W)

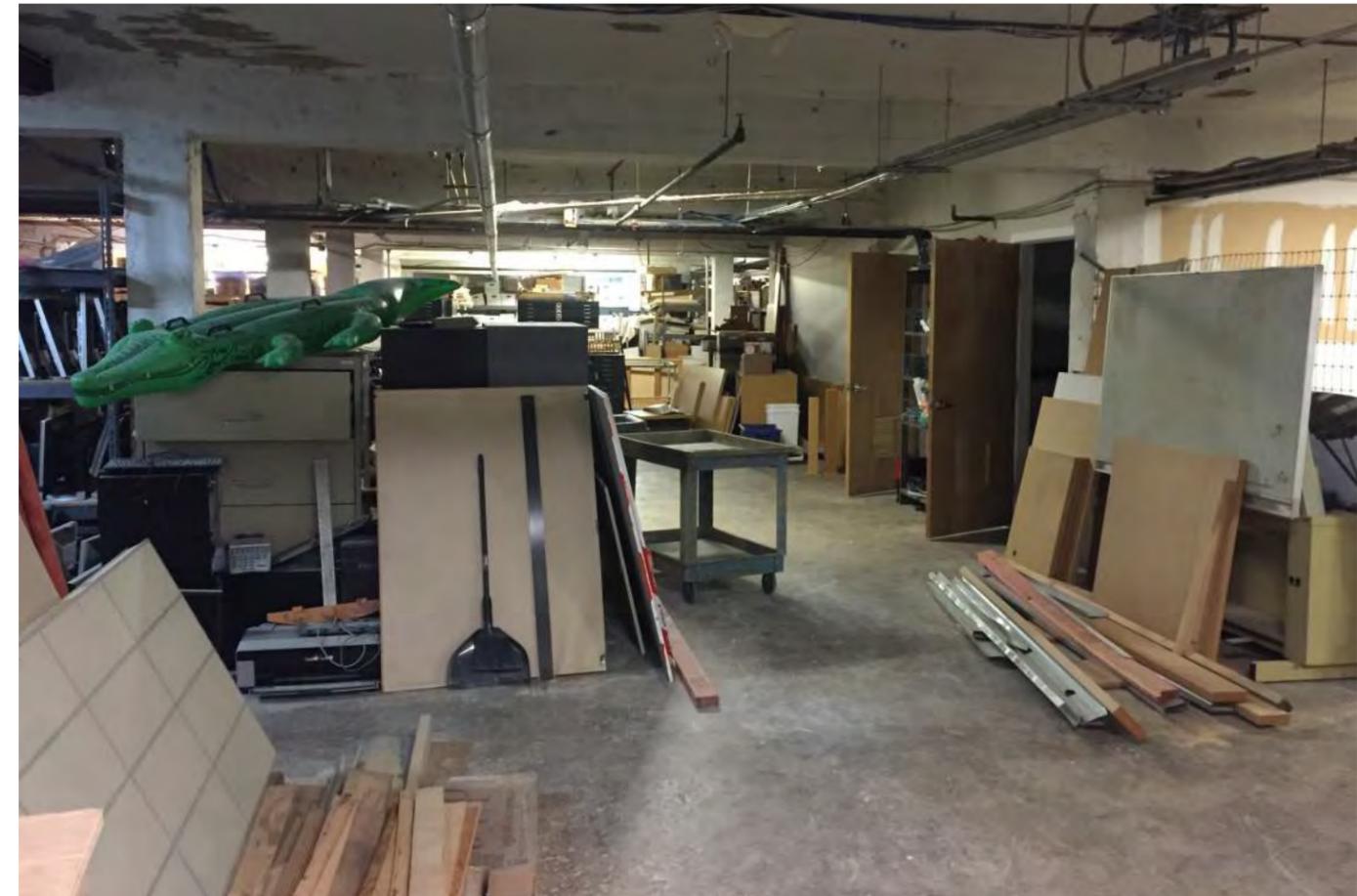
EXISTING INTERIOR PHOTOS -311 3RD STREET OFFICE BUILDING



311 BUILDING - 3RD FLOOR NORTH STUDIO (LOOKING NW)



311 BUILDING - 3RD FLOOR SOUTH STUDIO (LOOKING W)



311 BUILDING - BASEMENT

EXISTING VIEW ALONG 3RD STREET



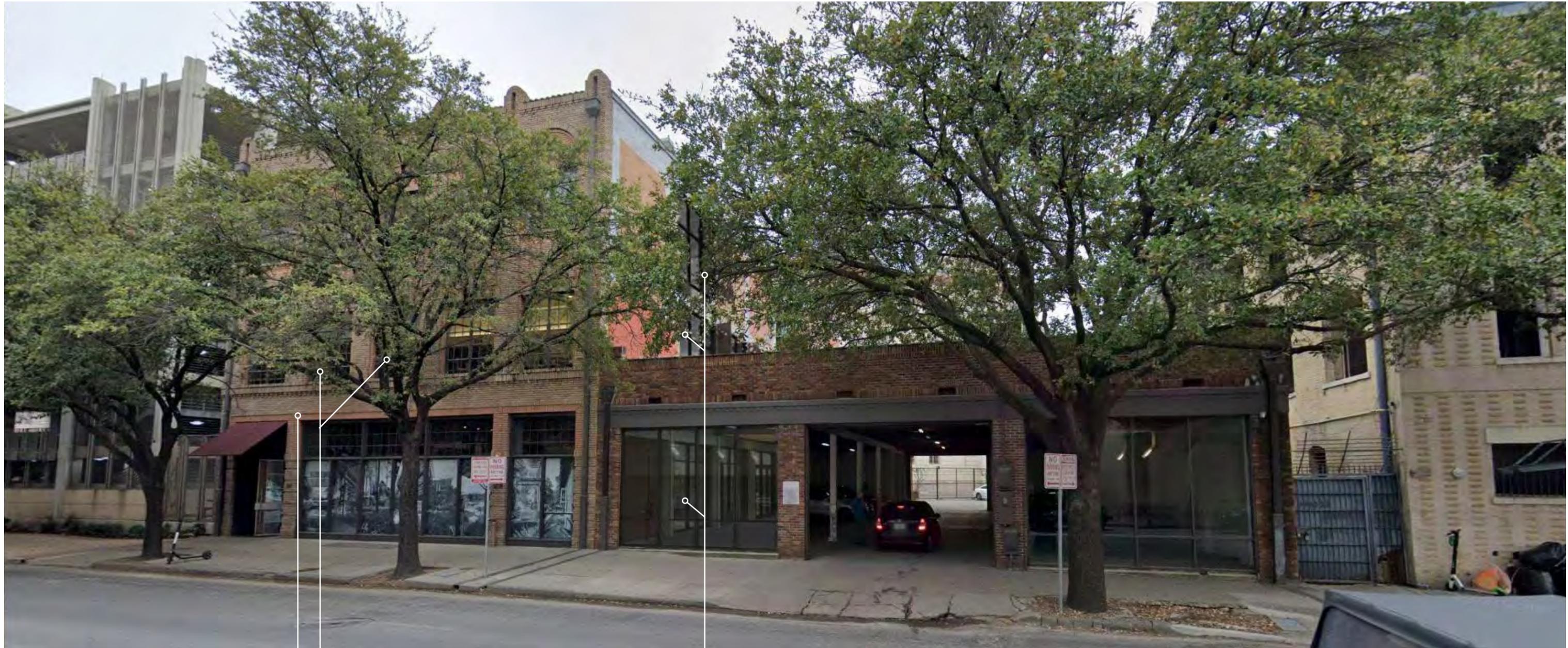
EXISTING BRICK, FENESTRATION, AWINGS TO
REMAIN AT 3-STORY BUILDING

REPLACE BROKEN GLASS PANES WITH CLEAR,
COLORLESS, AND NON-REFLECTIVE GLASS TO
MATCH EXISTING. RESEAL ALL EXISTING WINDOW
JAMBS, HEADS & SILLS, AND REPAINT EXTERIOR OF
WINDOWS TO MATCH EXISTING AT 3-STORY BUILDING

REMOVE EXISTING CLAY
BLOCK INFILL WALL

EXISTING

PROPOSED VIEW ALONG 3RD STREET



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WINDOWS TO MATCH EXISTING AT 3-STORY BUILDING

REMOVE EXISTING CLAY
BLOCK INFILL WALL AND
INSTALL NEW STOREFRONT

PROPOSED

EXISTING VIEW AT THE CORNER OF 3RD + ALAMO



EXISTING BRICK, FENESTRATION, AWINGS TO
REMAIN AT 3-STORY BUILDING

REPLACE BROKEN GLASS PANES WITH CLEAR,
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EXISTING

PROPOSED VIEW AT THE CORNER OF 3RD + ALAMO



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WINDOWS TO MATCH EXISTING AT 3-STORY BUILDING

REMOVE EXISTING CLAY BLOCK INFILL WALL AND INSTALL NEW STOREFRONT
(NEW STOREFRONT ON LEVELS 2+3 WILL NOT BE VISIBLE FROM THIS VIEW, NEW
STOREFRONT ON LEVEL 1 WILL BE MINIMALLY VISIBLE)

PROPOSED

VIEW ALONG N ALAMO STREET



EXISTING VIEW ALONG TRAVIS STREET



REMOVE EXISTING CLAY BLOCK INFILL WALL AND INSTALL NEW STOREFRONT

EXISTING BRICK, FENESTRATION, AWINGS TO REMAIN AT 3-STORY BUILDING. CLEAN AND REPAIR AS NEEDED

REPLACE BROKEN GLASS PANES WITH CLEAR, COLORLESS, AND NON-REFLECTIVE GLASS TO MATCH EXISTING. RESEAL ALL EXISTING WINDOW JAMBS, HEADS & SILLS, AND REPAINT EXTERIOR OF WINDOWS TO MATCH EXISTING AT 3-STORY BUILDING

EXISTING

PROPOSED VIEW ALONG TRAVIS STREET



REMOVE EXISTING CLAY BLOCK INFILL
WALL AND INSTALL NEW STOREFRONT
SIDE ELEVATION TO BE REPAINTED

EXISTING BRICK, FENESTRATION, AWINGS TO
REMAIN AT 3-STORY BUILDING. CLEAN AND REPAIR
AS NEEDED

REPLACE BROKEN GLASS PANES WITH CLEAR,
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JAMBS, HEADS & SILLS, AND REPAINT EXTERIOR OF
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PROPOSED

VIEW ALONG TRAVIS STREET 2



SIDE ELEVATION TO BE REPAINTED

REPLACE BROKEN GLASS PANES WITH CLEAR, COLORLESS, AND NON-REFLECTIVE GLASS TO MATCH EXISTING. RESEAL ALL EXISTING WINDOW JAMBS, HEADS & SILLS, AND REPAINT EXTERIOR OF WINDOWS TO MATCH EXISTING AT 3-STORY BUILDING

EXISTING BRICK, FENESTRATION, AWINGS TO REMAIN AT 3-STORY BUILDING. CLEAN AND REPAIR AS NEEDED

**NOT FOR
 REGULATORY
 APPROVAL,
 PERMITTING
 OR
 CONSTRUCTION**

311 3RD RENO

311 3RD STREET
 SAN ANTONIO, TX 78205

DEMO PLAN LEGEND

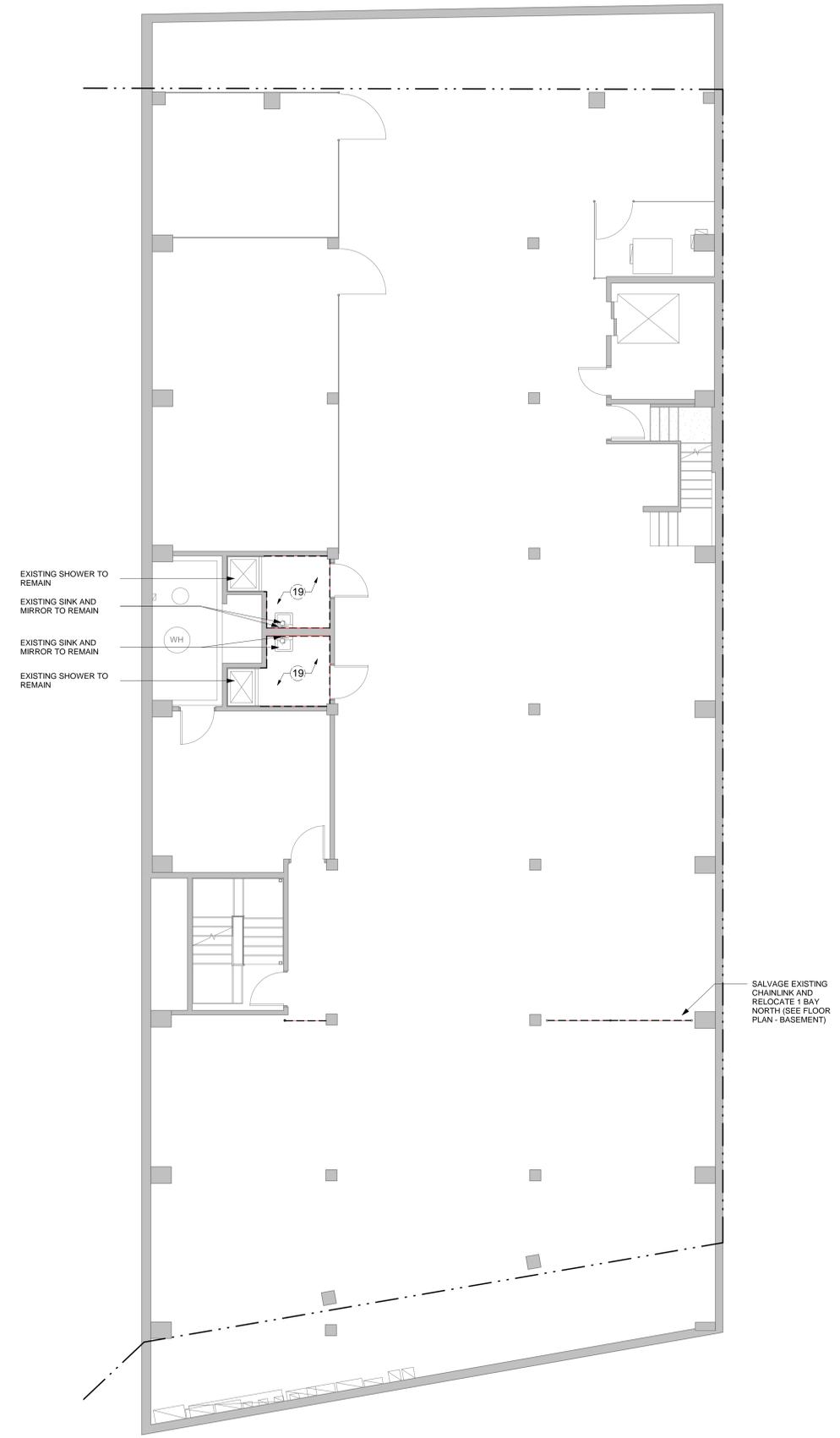
- TO REMAIN
- TO DEMOLISH

DEMOLITION PLAN NOTES

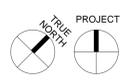
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- 2 PROTECT EXISTING ITEMS, MATERIALS, AND/OR FINISHES THAT ARE TO REMAIN FROM DAMAGE.
- 3 NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE FROM THAT SHOWN PRIOR TO EXECUTING WORK. DIMENSIONS IN RENOVATED AREA ARE FROM FINISH FACE OF EXISTING WALL AND TO FACE OF STUD OF PARTITION WALLS, UNLESS OTHERWISE INDICATED.
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- (A) DEMO & REMOVE EXIST. ROOFTOP MECH UNIT. PATCH EXISTING ROOF PENETRATIONS
- (B) DEMO. & REMOVE EXIST. BRICK OR CLAY BLOCK INFILL WALL IN ITS ENTIRETY.

- ADD ALTERNATE:
- (1) EXISTING CONCRETE COLUMNS AND BEAMS SHALL BE SANDBLASTED, PAINT REMOVED
 - (2) EXISTING TILE FLOOR TO REMAIN; PROTECT DURING CONSTRUCTION
 - (3) DEMO EXISTING CARPET FLOORING
 - (4) CONCRETE SLAB TO REMAIN EXPOSED; PROTECT DURING CONSTRUCTION
 - (5) CORE DRILL FOR NEW FLOOR BOX
 - (6) DEMO PORTION OF EXISTING CONCRETE SLAB
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 - (8) EXISTING SKYLIGHT TO REMAIN; PROTECT DURING CONSTRUCTION
 - (9)
 - (10)
 - (11) DEMOLISH EXISTING CASEWORK
 - (12) DEMOLISH EXISTING PLUMBING FIXTURES
 - (13) EXISTING STAIR TO REMAIN; PATCH AND REPAIR CONCRETE, PREP FOR NEW EPOXY COATING
 - (14) DEMO EXISTING CEILING / SOFFIT
 - (15) DEMO EXISTING LIGHTING FIXTURE
 - (16) DEMO EXISTING COVE LIGHTING
 - (17) DEMO EXISTING DUCTWORK, DIFFUSERS, GRILLES
 - (18) SALVAGE EXISTING LIGHT FIXTURES
 - (19) DEMO EXISTING FRP PANELS



1 DEMO PLAN - BASEMENT LEVEL
 SCALE: 3/16" = 1'-0"



02.24.2021 LIF PROJ. NO. 20158TX
 PROJ. ARCHITECT GP DRAWN BY: Author

SET ISSUE DATES	
DATE	ISSUE

REVISIONS		
NO.	DATE	DESCRIPTION

SCHEMATIC DESIGN V2

**DEMO PLAN -
 BASEMENT**

AD200

NOT FOR
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311 3RD RENO

311 3RD STREET
SAN ANTONIO, TX 78205

DEMOLITION PLAN NOTES

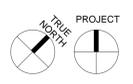
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DEMO PLAN LEGEND

- TO REMAIN 
- TO DEMOLISH 

- (A) DEMO & REMOVE EXIST. ROOFTOP MECH UNIT. PATCH EXISTING ROOF PENETRATIONS
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1 DEMO PLAN - LEVEL 1
SCALE: 3/16" = 1'-0"

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SET / ISSUE DATES	
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SCHEMATIC DESIGN V2

DEMO PLAN - 1ST FLOOR

AD201

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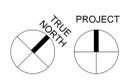
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1 DEMO PLAN - LEVEL 2
 SCALE: 3/16" = 1'-0"



General Note: All dimensions are in feet and inches. All dimensions are to the center of the wall unless otherwise noted. All dimensions are to the center of the wall unless otherwise noted. All dimensions are to the center of the wall unless otherwise noted.

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SCHEMATIC DESIGN V2

DEMO PLAN - 2ND FLOOR

AD202

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311 3RD RENO

311 3RD STREET
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DEMOLITION PLAN NOTES

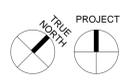
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 - (7) EXISTING GLAZING SYSTEM TO REMAIN; PROTECT DURING CONSTRUCTION
 - (8) EXISTING SKYLIGHT TO REMAIN; PROTECT DURING CONSTRUCTION
 - (9)
 - (10)
 - (11) DEMOLISH EXISTING CASEWORK
 - (12) DEMOLISH EXISTING PLUMBING FIXTURES
 - (13) EXISTING STAIR TO REMAIN; PATCH AND REPAIR CONCRETE, PREP FOR NEW EPOXY COATING
 - (14) DEMO EXISTING CEILING / SOFFIT
 - (15) DEMO EXISTING LIGHTING FIXTURE
 - (16) DEMO EXISTING COVE LIGHTING
 - (17) DEMO EXISTING DUCTWORK, DIFFUSERS, GRILLES
 - (18) SALVAGE EXISTING LIGHT FIXTURES
 - (19) DEMO EXISTING FRP PANELS



1 DEMO PLAN - LEVEL 3
 SCALE: 3/16" = 1'-0"



General Note: All dimensions are taken from the centerline of the wall unless otherwise noted. All dimensions are taken from the centerline of the wall unless otherwise noted.

02.24.2021 LIF PROJ. NO. 20158TX
 PROJ. ARCHITECT GP DRAWN BY: Author

SET / ISSUE DATES	
DATE	ISSUE

REVISIONS		
NO.	DATE	DESCRIPTION

SCHEMATIC DESIGN V2

DEMO PLAN - 3RD FLOOR

AD203

NOT FOR
REGULATORY
APPROVAL,
PERMITTING
OR
CONSTRUCTION

311 3RD RENO

311 3RD STREET
SAN ANTONIO, TX 78205

DEMO PLAN LEGEND

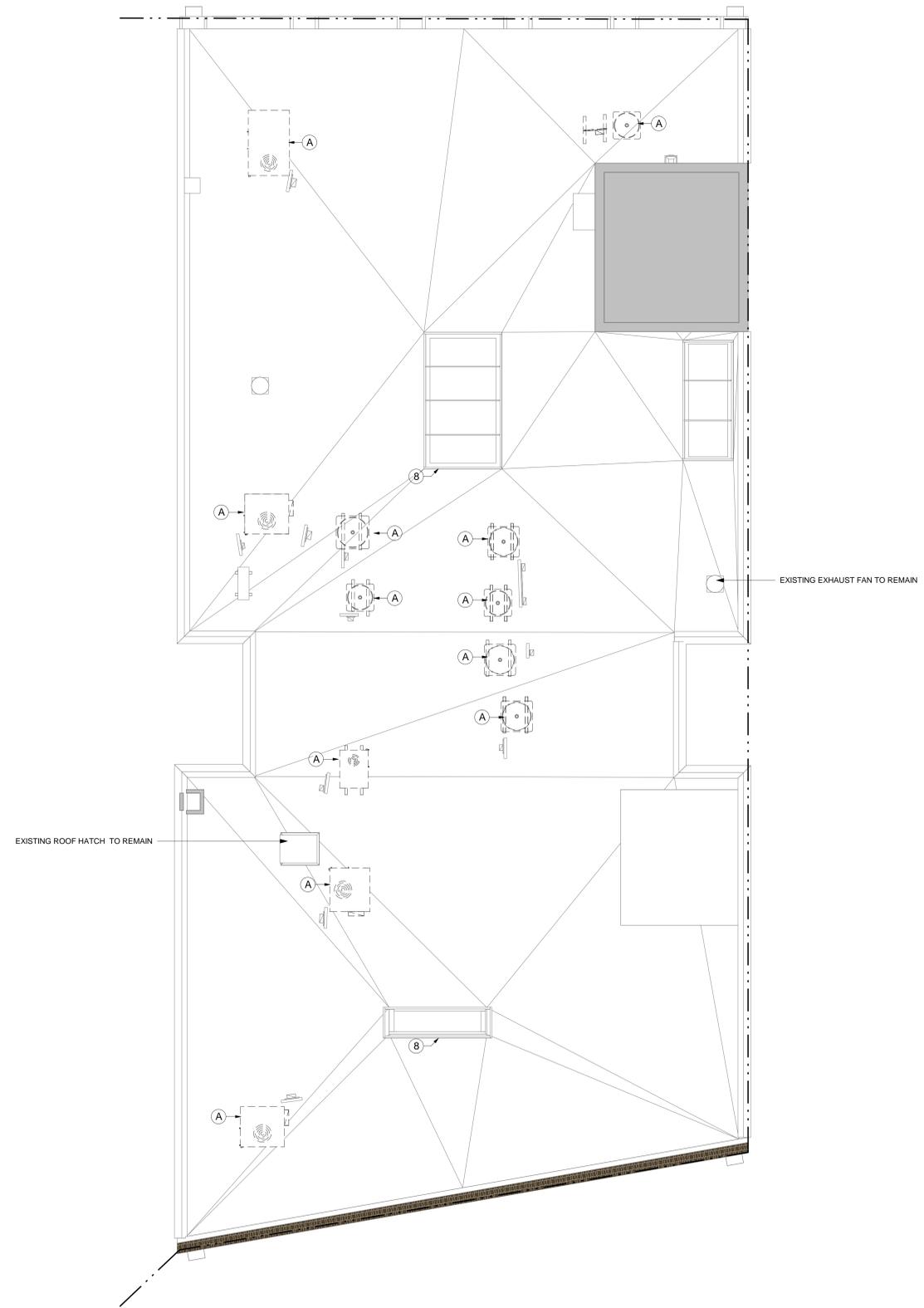
TO REMAIN 
TO DEMOLISH 

DEMOLITION PLAN NOTES

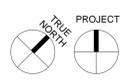
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1 DEMO PLAN - ROOF
SCALE: 3/16" = 1'-0"



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02.24.2021 LIF PROJ. NO. 20158TX
PROJ. ARCHITECT GP DRAWN BY: Author

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DATE	ISSUE

REVISIONS		
NO.	DATE	DESCRIPTION

SCHEMATIC DESIGN V2

DEMO PLAN - ROOF

AD240

**NOT FOR
 REGULATORY
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 PERMITTING
 OR
 CONSTRUCTION**

311 3RD RENO

311 3RD STREET
 SAN ANTONIO, TX 78205

DEMOLITION PLAN NOTES

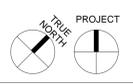
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1 DEMO RCP - BASEMENT
 SCALE: 3/16" = 1'-0"



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DATE	ISSUE

REVISIONS		
NO.	DATE	DESCRIPTION

SCHEMATIC DESIGN V2

DEMO RCP -
 BASEMENT

AD300

**NOT FOR
 REGULATORY
 APPROVAL,
 PERMITTING
 OR
 CONSTRUCTION**

311 3RD RENO

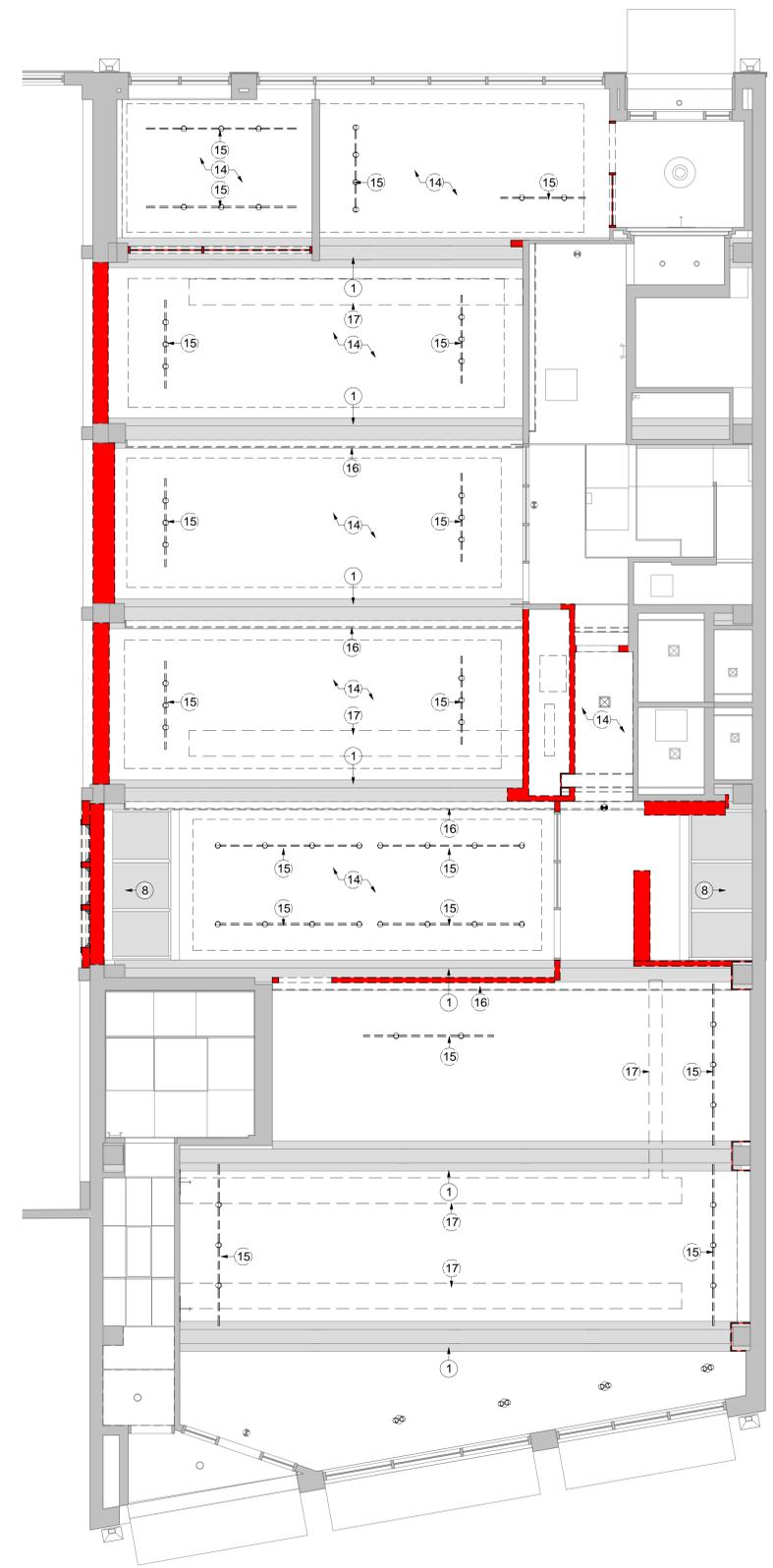
311 3RD STREET
 SAN ANTONIO, TX 78205

DEMOLITION PLAN NOTES

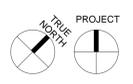
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 - 19 DEMO EXISTING FRP PANELS



1 DEMO RCP - LEVEL 1
 SCALE: 3/16" = 1'-0"



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02.24.2021 LIF PROJ. NO.: 20158TX
 PROJ. ARCHITECT GP DRAWN BY: Author

SET / ISSUE DATES	
DATE	ISSUE

REVISIONS		
NO.	DATE	DESCRIPTION

SCHEMATIC DESIGN V2

DEMOLITION RCP - LEVEL 1

AD301

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 REGULATORY
 APPROVAL,
 PERMITTING
 OR
 CONSTRUCTION**

311 3RD RENO

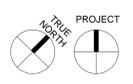
311 3RD STREET
 SAN ANTONIO, TX 78205

DEMOLITION PLAN NOTES

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1 DEMO RCP - LEVEL 2
 SCALE: 3/16" = 1'-0"

General Note: 01: Mechanical/Electrical/Plumbing...
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02.24.2021 LIF PROJ. NO. 20158TX
 PROJ. ARCHITECT GP DRAWN BY: Author

SET / ISSUE DATES	
DATE	ISSUE

REVISIONS		
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SCHEMATIC DESIGN V2

DEMOLITION RCP - LEVEL 2

AD302

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 REGULATORY
 APPROVAL,
 PERMITTING
 OR
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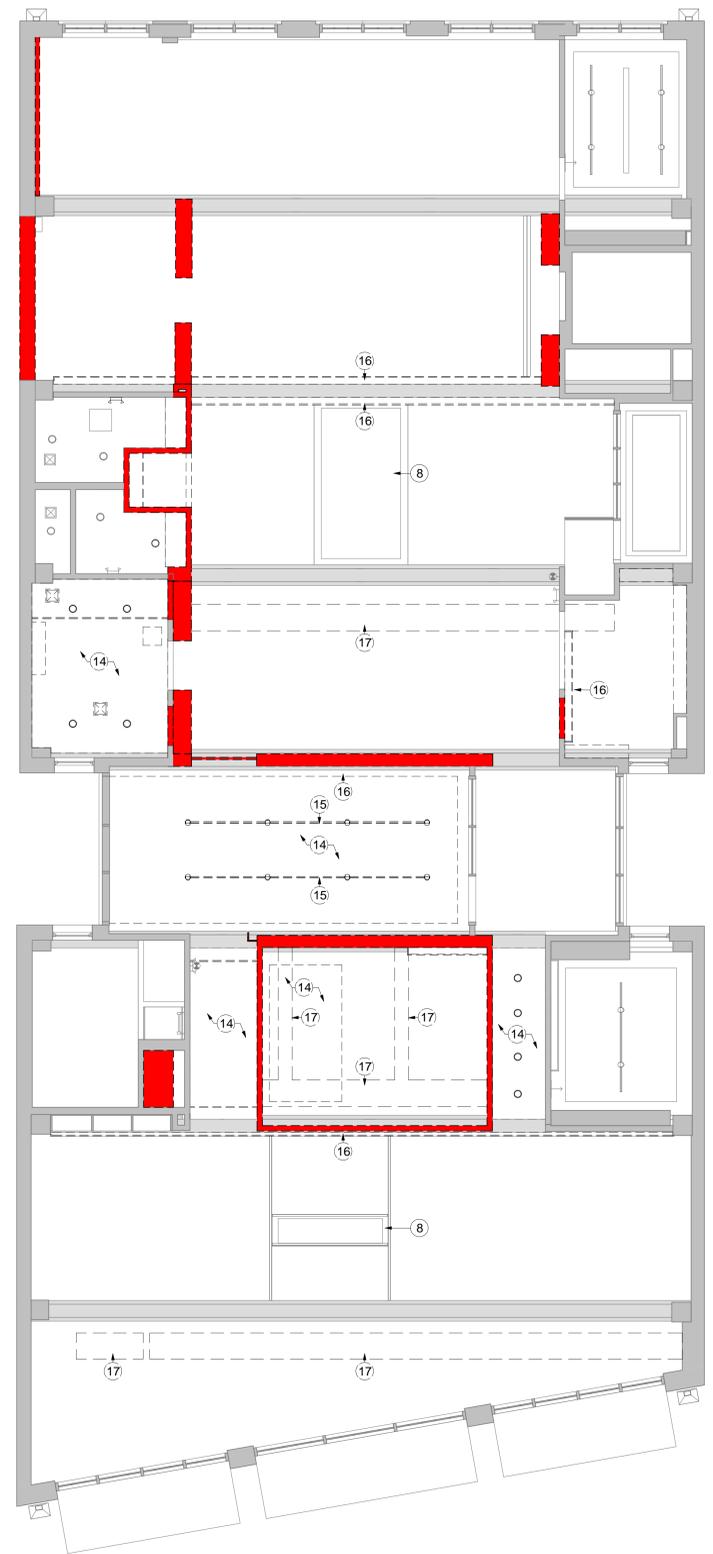
311 3RD RENO

311 3RD STREET
 SAN ANTONIO, TX 78205

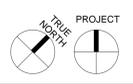
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1 DEMO RCP - LEVEL 3
 SCALE: 3/16" = 1'-0"



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SET ISSUE DATES	
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SCHEMATIC DESIGN V2

DEMOLITION RCP - LEVEL 3

AD303

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CONSTRUCTION

311 3RD RENO

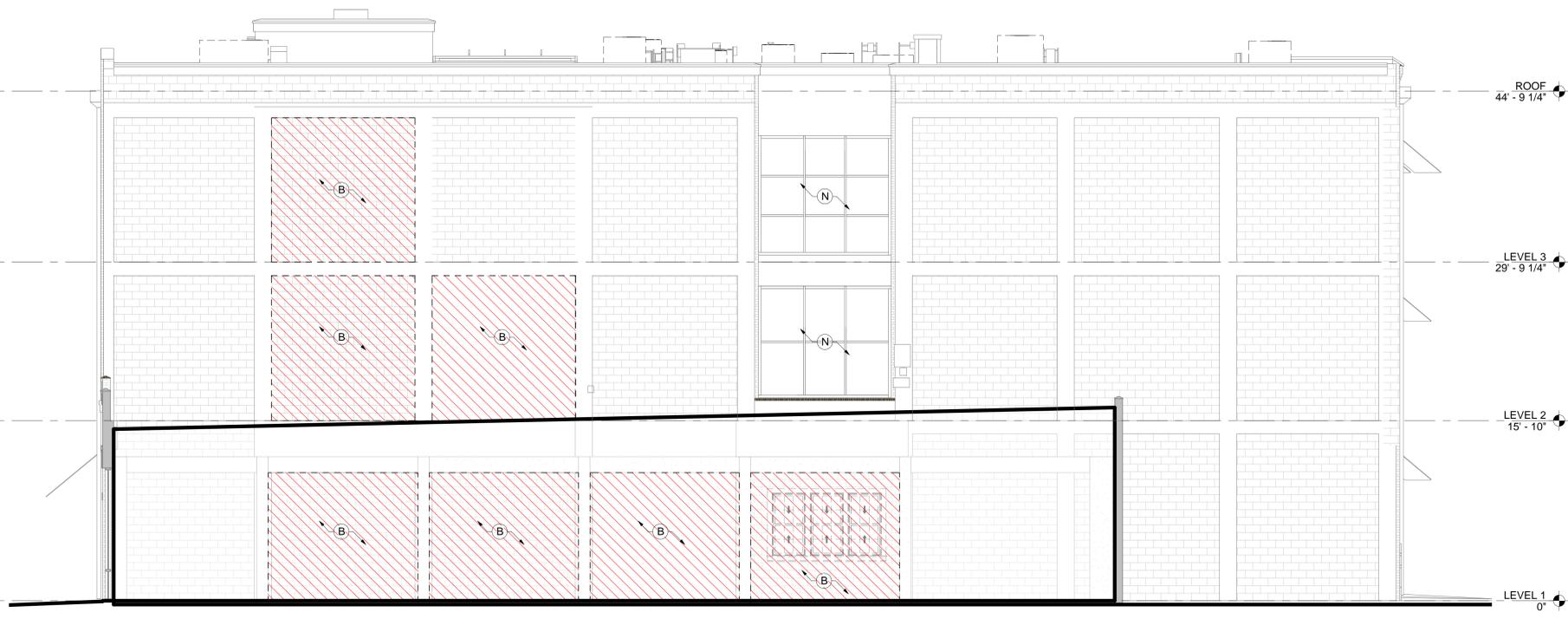
311 3RD STREET
SAN ANTONIO, TX 78205

DEMOLITION PLAN NOTES

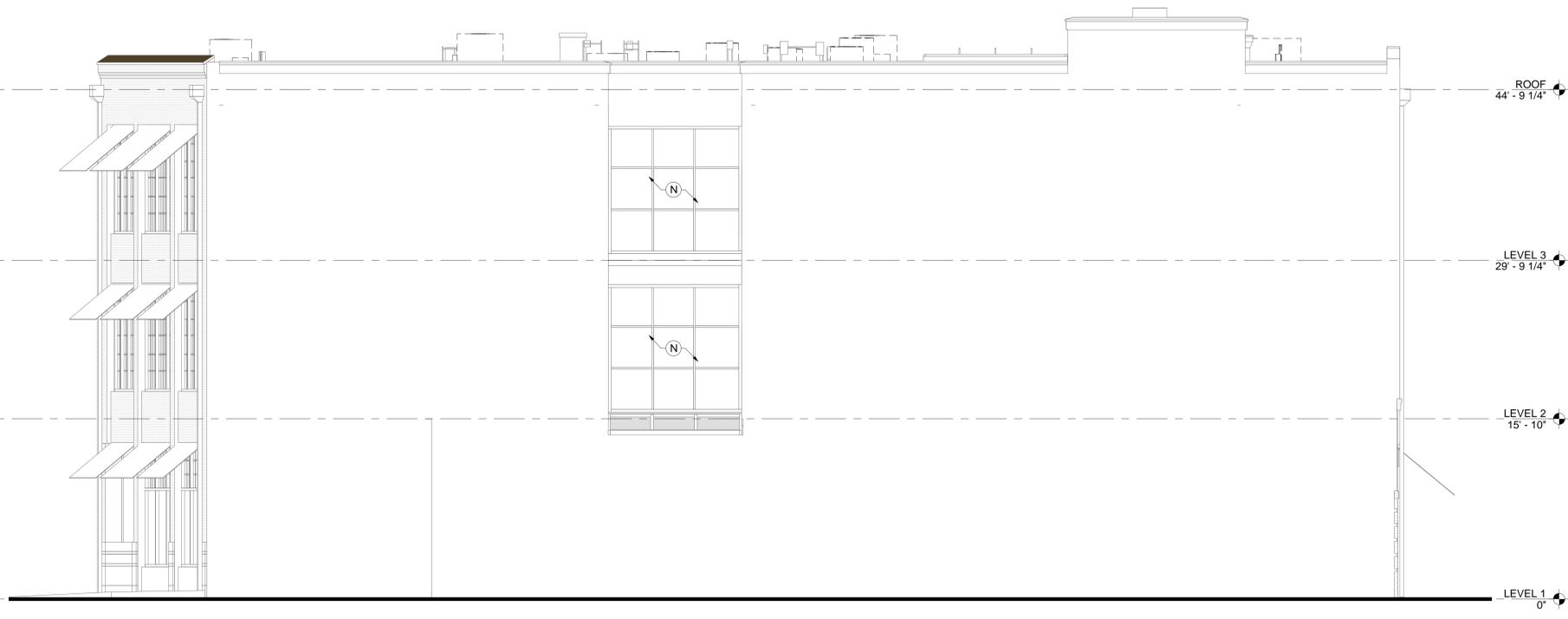
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3 WEST ELEVATION DEMO 2
SCALE: 3/16" = 1'-0"



1 EAST ELEVATION DEMO
SCALE: 3/16" = 1'-0"

02.24.2021 LIF PROJ. NO. 20158TX
PROJ. ARCHITECT GP DRAWN BY: Author

SET / ISSUE DATES	
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SCHEMATIC DESIGN V2

DEMO ELEVATIONS

AD401

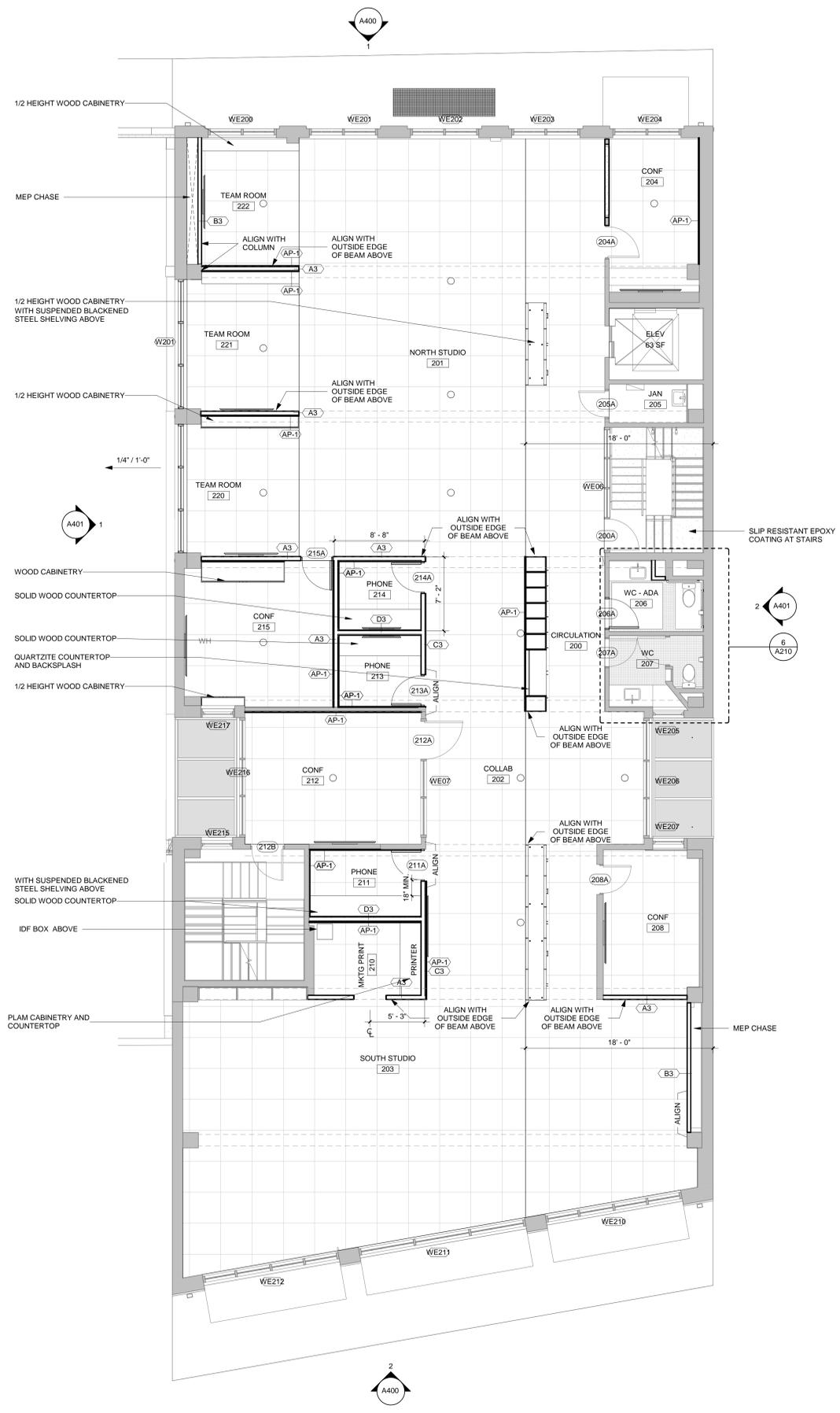
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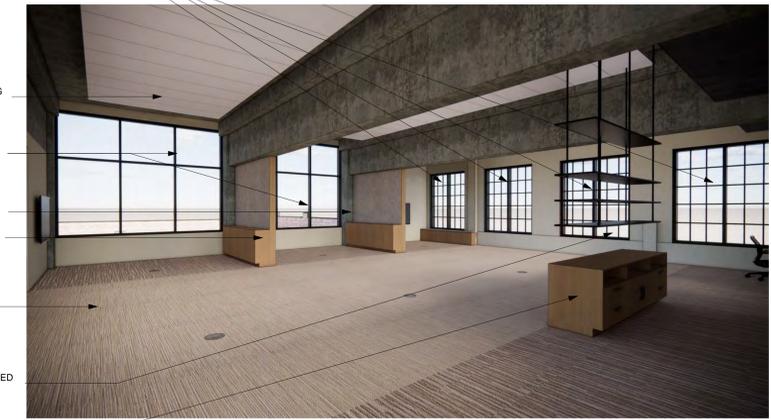
311 3RD STREET
 SAN ANTONIO, TX 78205

FLOOR PLAN NOTES

- 1 DIMENSIONS ARE TO GRID LINE, FACE OF STUD, FACE OF CONCRETE, AND CENTERLINE OF DOOR OPENINGS, UNLESS NOTED OTHERWISE. DIMENSIONS NOTED AS "CLR" MUST BE PRECISELY MAINTAINED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECT'S APPROVAL UNLESS NOTED AS "A.I." VERIFY DIMENSIONS MARKED "V.I.F." PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND NOTIFY ARCHITECT OF ANY INCONSISTENCIES. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- 2 REFERENCE AXXX FOR PARTITION TYPES. ALL PARTITIONS ARE TYPE xx UNLESS OTHERWISE NOTED. ADD FULL ACOUSTICAL INSULATION TO ALL PARTITION TYPES ENCLOSING THESE SPACES: OFFICE, CONFERENCE ROOM, TOILET ROOMS, AND MECHANICAL ROOMS.
- 3 REFERENCE GXXX SERIES FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS.
- 4 REFERENCE A001 FOR ADDITIONAL GENERAL NOTES.
- 5 REFERENCE AXXX FOR FINISH SCHEDULES.
- 6 FURNITURE LAYOUT IS FOR "REFERENCE" ONLY.

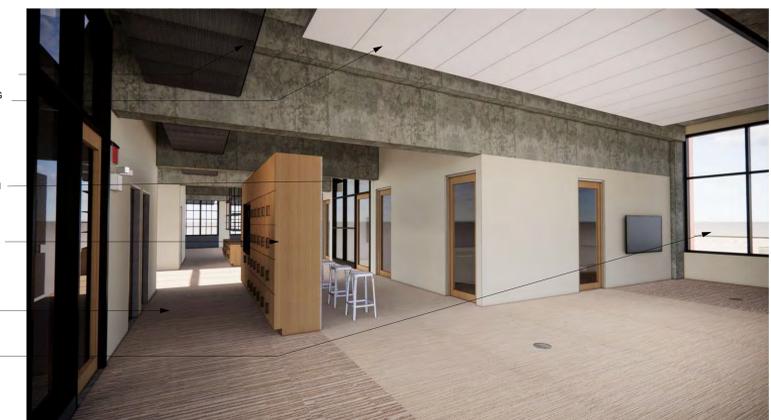


EXISTING WINDOWS



2ND FLOOR NORTH STUDIO

MECHANICAL / ELEC / DATA CHASE
 2X8 ACOUSTIC CEILING PANEL



2ND FLOOR LOOKING SOUTH

02.24.2021 LIF PROJ. NO. 20158TX
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SCHEMATIC DESIGN V2

FLOOR PLAN - 2ND FLOOR

A202

1 FLOOR PLAN - LEVEL 2
 SCALE: 3/16" = 1'-0"

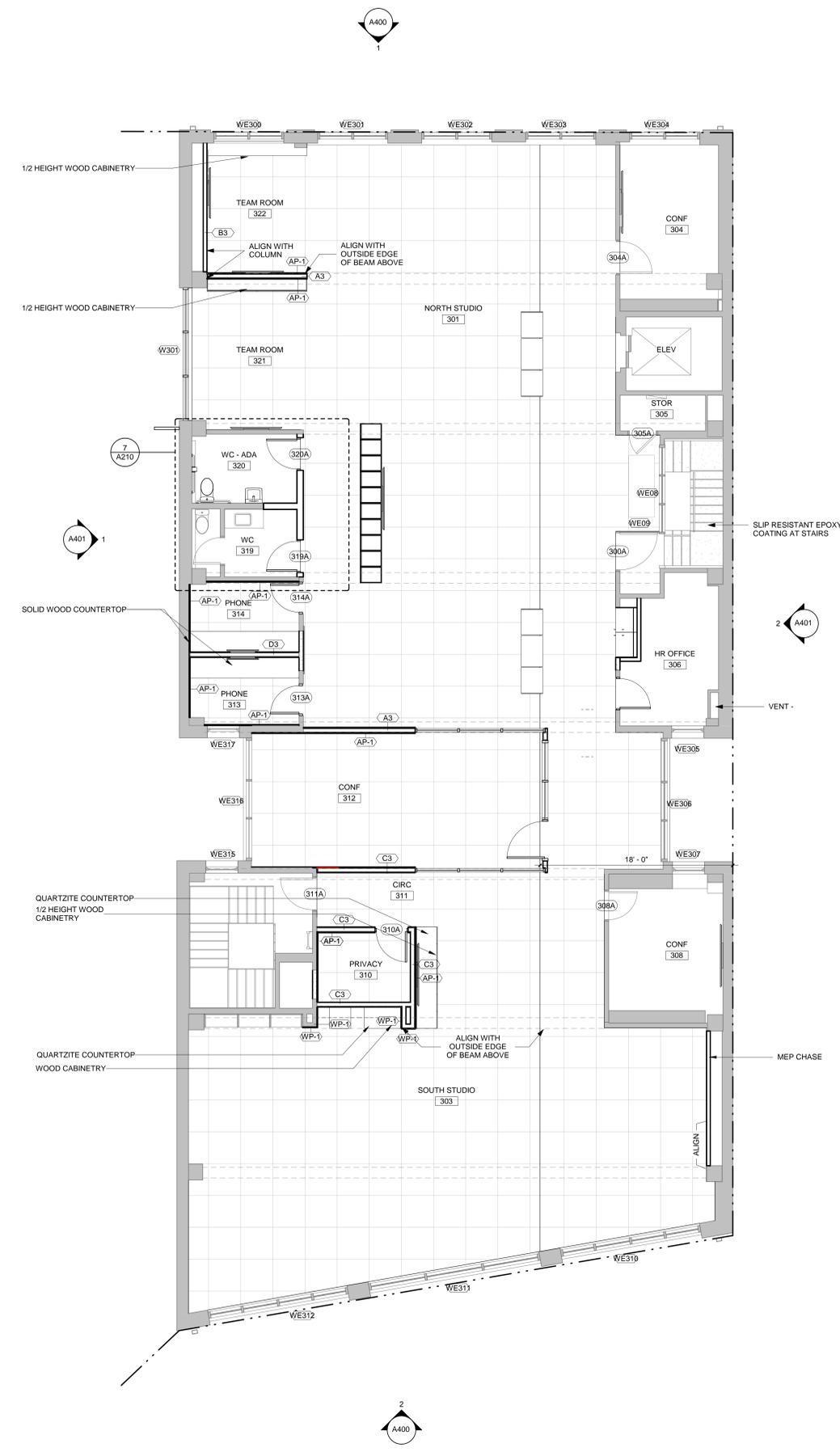
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 OR
 CONSTRUCTION**

311 3RD RENO

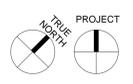
311 3RD STREET
 SAN ANTONIO, TX 78205

FLOOR PLAN NOTES

- 1 DIMENSIONS ARE TO GRID LINE, FACE OF STUD, FACE OF CONCRETE, AND CENTERLINE OF DOOR OPENINGS, UNLESS NOTED OTHERWISE. DIMENSIONS NOTED AS "CLR" MUST BE PRECISELY MAINTAINED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECT'S APPROVAL UNLESS NOTED AS "A.I." VERIFY DIMENSIONS MARKED "V.I.F." PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND NOTIFY ARCHITECT OF ANY INCONSISTENCIES. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- 2 REFERENCE AXXX FOR PARTITION TYPES. ALL PARTITIONS ARE TYPE xx UNLESS OTHERWISE NOTED. ADD FULL ACOUSTICAL INSULATION TO ALL PARTITION TYPES ENCLOSING THESE SPACES: OFFICE, CONFERENCE ROOM, TOILET ROOMS, AND MECHANICAL ROOMS.
- 3 REFERENCE GXXX SERIES FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS.
- 4 REFERENCE A001 FOR ADDITIONAL GENERAL NOTES.
- 5 REFERENCE AXXX FOR FINISH SCHEDULES.
- 6 FURNITURE LAYOUT IS FOR 'REFERENCE' ONLY.



1 FLOOR PLAN - LEVEL 3
 SCALE: 3/16" = 1'-0"



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FLOOR PLAN - 3RD FLOOR

A203

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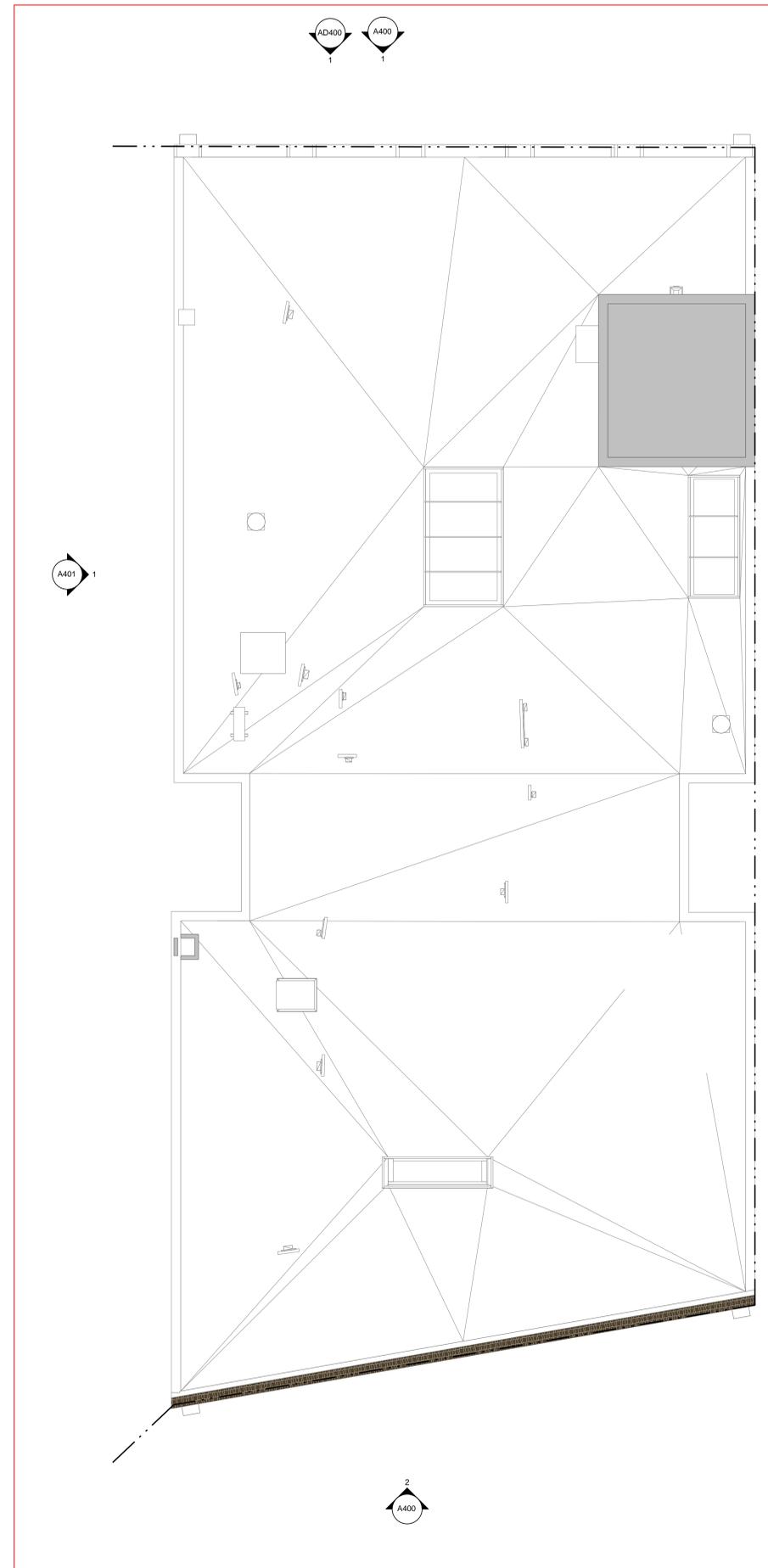
REVISIONS		
NO.	DATE	DESCRIPTION

SCHEMATIC DESIGN V2

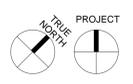
ROOF PLAN

A240

- ROOF PLAN NOTES**
- REFER TO MECHANICAL, PLUMBING AND ELECTRICAL FOR LOCATIONS OF PIPING, CURBS, VENTS, DUCTS, FANS, AND OTHER ITEMS ON THE ROOF SURFACE.
 - PAINT EXPOSED ROOF MOUNTED EQUIPMENT, PIPING, ETC., EXCEPT THOSE ITEMS WHICH ARE ALUMINUM OR STAINLESS STEEL COLORED AS SELECTED BY ARCHITECT.
 - ALL ROOF FLASHING TO BE ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 - REFER TO PLUMBING DRAWINGS FOR ROOF DRAIN SIZES.
 - OVERFLOW ROOF DRAIN INLETS SHALL BE 2' ABOVE THE PRIMARY DRAIN INLETS.



1 ROOF PLAN
 SCALE: 3/16" = 1'-0"



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REFLECTED CEILING PLAN NOTES

- 1 DIMENSIONS ON REFLECTED CEILING PLANS ARE TO FACE OF FINISH, UNLESS NOTED OTHERWISE.
- 2 LIGHT FIXTURES ARE INDICATED FOR LOCATION ONLY, SEE ELECTRICAL FOR TYPES.
- 3 NOT ALL ACCESS DOORS ARE SHOWN, REFER TO MECHANICAL AND ELEC DRAWINGS FOR ADDITIONAL ACCESS DOOR REQUIREMENTS.
- 4 THE CONTRACTOR SHALL COMPARE THIS REFLECTED CEILING PLAN WITH ELECTRICAL LIGHTING PLANS, MECHANICAL SUPPLY, RETURN, AND EXHAUST PLANS. THE CONTRACTOR SHALL REPORT ANY OMISSIONS OR INCONSISTENCIES TO THE ARCHITECT.
- 5 RELOCATE SUPPLY DRAIN AND VENT PIPES TO MAINTAIN SCHEDULED CEILING HEIGHTS. COORDINATE RELOCATIONS WITH MEP ENGINEERS.
- 6 ***ACCESS PANELS IN GYP CEILINGS TO BE CONCEALED HARDWARE WITH GYPSUM BOARD INLAY (REF: BAUCO PLUS II FROM BAUCO...)
- 7 **ACCESS PANELS IN WOOD SLAT CEILINGS TO BE CONCEALED SUSPENSION GRID (REF: LIFT AND LOCK GRID SYSTEM BY ØWOOD OR SIMILAR)

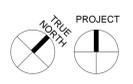
CEILING FINISH LEGEND

-  GYPSUM BOARD
RE: ROOM SCHEDULE FOR PAINT FINISH
-  APC-1 2'X8' ACOUSTIC CEILING TILE
-  APC-2 2'X8' ACOUSTIC CEILING TILE
-  WC-1A/B WOOD SLAT CEILING WITH BLACK ACOUSTIC SOUNDBOARD ABOVE
-  WC-2 SALVAGED T+G WOOD CEILING

-  EIFS SOFFIT
-  METAL DECK
-  4' DUCT LINER
-  SUPPLY GRILL, REF MECH
-  RETURN GRILL, REF MECH
-  ACCESS PANEL, PAINT TO MATCH CEILING U.N.O.
-  RECESSED LIGHTING, REF ELEC
-  PENDENT LIGHTING, REF ELEC
-  UNDERCOUNTER LIGHTING, REF ELEC



REFERENCE ELECTRICAL FOR NEW LIGHTING



1 REFLECTED CEILING PLAN - BASEMENT
 SCALE: 3/16" = 1'-0"

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REFLECTED CEILING
 PLAN - BASEMENT

A300

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311 3RD RENO

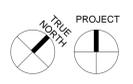
311 3RD STREET
 SAN ANTONIO, TX 78205

REFLECTED CEILING PLAN NOTES

- 1 DIMENSIONS ON REFLECTED CEILING PLANS ARE TO FACE OF FINISH, UNLESS NOTED OTHERWISE.
- 2 LIGHT FIXTURES ARE INDICATED FOR LOCATION ONLY, SEE ELECTRICAL FOR TYPES.
- 3 NOT ALL ACCESS DOORS ARE SHOWN, REFER TO MECHANICAL AND ELEC DRAWINGS FOR ADDITIONAL ACCESS DOOR REQUIREMENTS.
- 4 THE CONTRACTOR SHALL COMPARE THIS REFLECTED CEILING PLAN WITH ELECTRICAL LIGHTING PLANS, MECHANICAL SUPPLY, RETURN, AND EXHAUST PLANS. THE CONTRACTOR SHALL REPORT ANY OMISSIONS OR INCONSISTENCIES TO THE ARCHITECT.
- 5 RELOCATE SUPPLY DRAIN AND VENT PIPES TO MAINTAIN SCHEDULED CEILING HEIGHTS. COORDINATE RELOCATIONS WITH MEP ENGINEERS.
- 6 ***ACCESS PANELS IN GYP CEILINGS TO BE CONCEALED HARDWARE WITH GYPSUM BOARD INLAY (REF: BAUCO PLUS II FROM BAUCO...)
- 7 **ACCESS PANELS IN WOOD SLAT CEILINGS TO BE CONCEALED SUSPENSION GRID (REF: LIFT AND LOCK GRID SYSTEM BY @WOOD OR SIMILAR)

CEILING FINISH LEGEND

-  GYPSUM BOARD
RE: ROOM SCHEDULE FOR PAINT FINISH
-  APC-1 2'X8' ACOUSTIC CEILING TILE
-  APC-2 2'X8' ACOUSTIC CEILING TILE
-  WC-1A/B WOOD SLAT CEILING WITH BLACK ACOUSTIC SOUNDBOARD ABOVE
-  WC-2 SALVAGED T+G WOOD CEILING
-  EIFS SOFFIT
-  METAL DECK
-  4' DUCT LINER
-  SUPPLY GRILL, REF MECH
-  RETURN GRILL, REF MECH
-  ACCESS PANEL, PAINT TO MATCH CEILING U.N.O.
-  RECESSED LIGHTING, REF ELEC
-  PENDENT LIGHTING, REF ELEC
-  UNDERCOUNTER LIGHTING, REF ELEC



1 REFLECTED CEILING PLAN - LEVEL 3
 SCALE: 3/16" = 1'-0"

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SCHEMATIC DESIGN V2

**REFLECTED CEILING
 PLAN - 3RD FLOOR**

A303

ELEVATION NOTES

- 1 CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
- 2 PROTECT EXISTING ITEMS, MATERIALS, AND /OR FINISHES THAT ARE TO REMAIN FROM DAMAGE.
- 3 NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE FROM THAT SHOWN PRIOR TO EXECUTING WORK.
- 4 DIMENSIONS IN RENOVATED AREA ARE FROM FINISH FACE OF EXISTING WALL AND TO FACE OF STUD OF PARTITION WALLS, UNLESS OTHERWISE INDICATED.
- 5 CONTRACTOR TO TUCKPOINT AND REPAIR ALL DAMAGED OR DETERIORATING MORTAR AT EXIST. BRICK, CLAY BLOCK, & ALL OTHER MASONRY CONDITIONS.
- 6 CONTRACTOR TO FILL MISSING BRICKS IN EXIST. MASONRY WITH SALVAGED BRICKS FROM DEMOLITION.
- 7 CONTRACTOR TO REGLAZE NEW GLASS PANE AT DAMAGED PANES. INSTALL NEW GLAZING PUTTY AT ALL EXIST. GLASS PANE. RESEAL ALL EXIST. WINDOW JAMBS, HEADS & SILLS, AND REPAIR EXTERIOR OF WINDOW AT ALL EXTERIOR WINDOWS NOT SHOWN IN EXTERIOR ELEVATIONS. (EXCLUDING SKYLIGHTS)
- 8 CONTRACTOR TO PROVIDE APPROPRIATE MASONRY ANCHORS FOR ALL CONSTRUCTION FASTENED TO EXIST. MASONRY.
- 9 ALL EXTERIOR PAINTING TO INCLUDE ARCHITECT'S SELECTION OF FULL RANGE OF COLORS AND PATTERNS.
- 10 REPAIR ALL EXIST. EXTERIOR HM DOORS.
- 11 CONTRACTOR TO CARRY AN ALLOWANCE FOR SUBGRADE WATERPROOFING AT EXIST. BUILDING AT AREA OF NEW WORK IN THE COURTYARD.



1 NORTH ELEVATION
 SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"

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SCHEMATIC DESIGN V2

**EXTERIOR
 ELEVATIONS**

A400

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311 3rd Street

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Project Status

**ZONING PLAN -
 BASEMENT -
 MECHANICAL**

M100



1 ZONING PLAN - BASEMENT - MECHANICAL
 0' 4' 8' 12'
 3/16" = 1'-0"

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REVISIONS		
NO.	DATE	DESCRIPTION

Project Status

ZONING PLAN - 2ND
 FLOOR - MECHANICAL

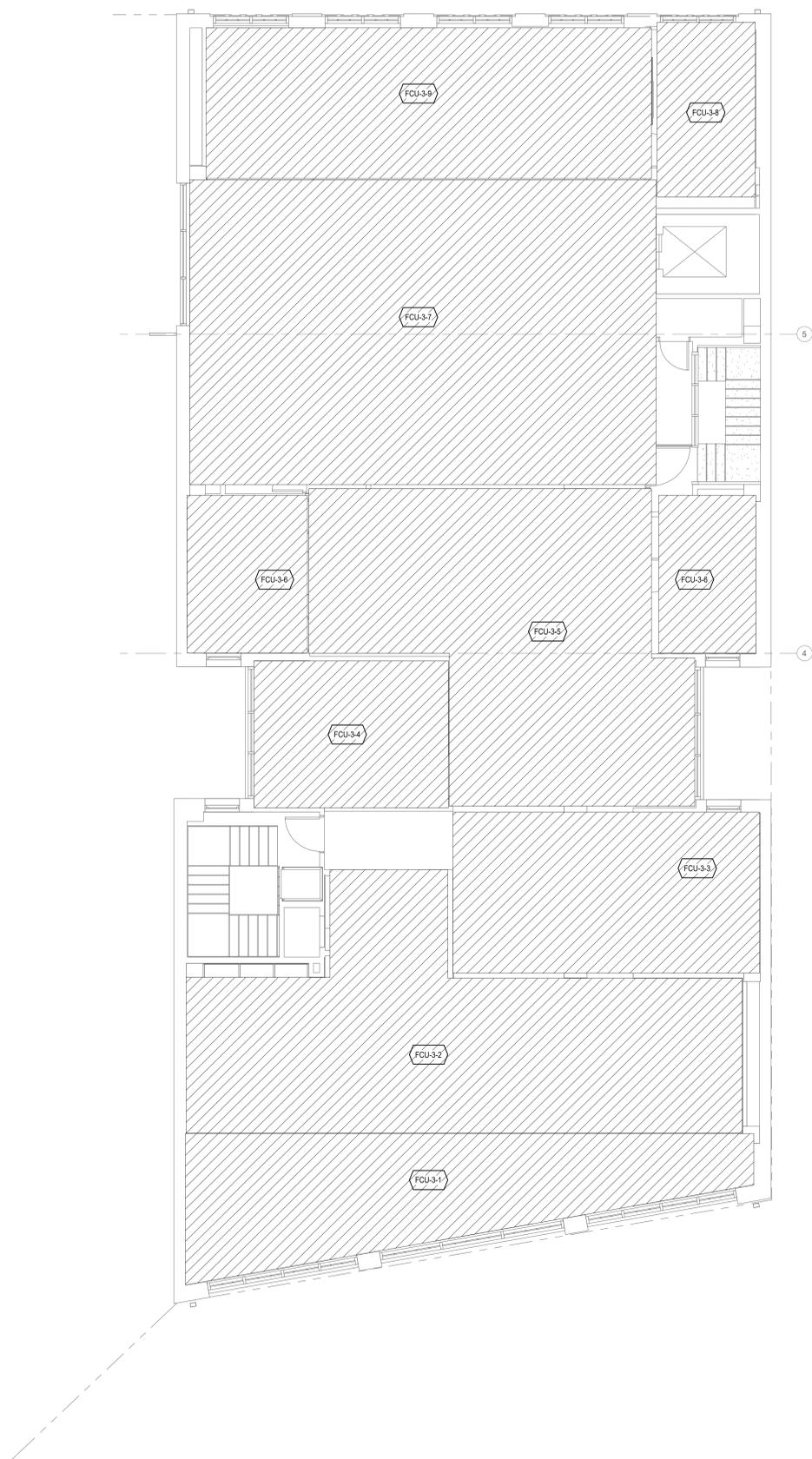
M102

1 ZONING PLAN - 2ND FLOOR - MECHANICAL
 0' 4' 8' 12'
 3/16" = 1'-0"

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1 ZONING PLAN - 3RD FLOOR - MECHANICAL
 0' 4' 8' 12'
 3/16" = 1'-0"

Issue Date: LIF PROJ. NO. 2018TX
 PROJ. ARCHITECT: DRAWN BY: Author

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DATE	ISSUE

REVISIONS		
NO.	DATE	DESCRIPTION

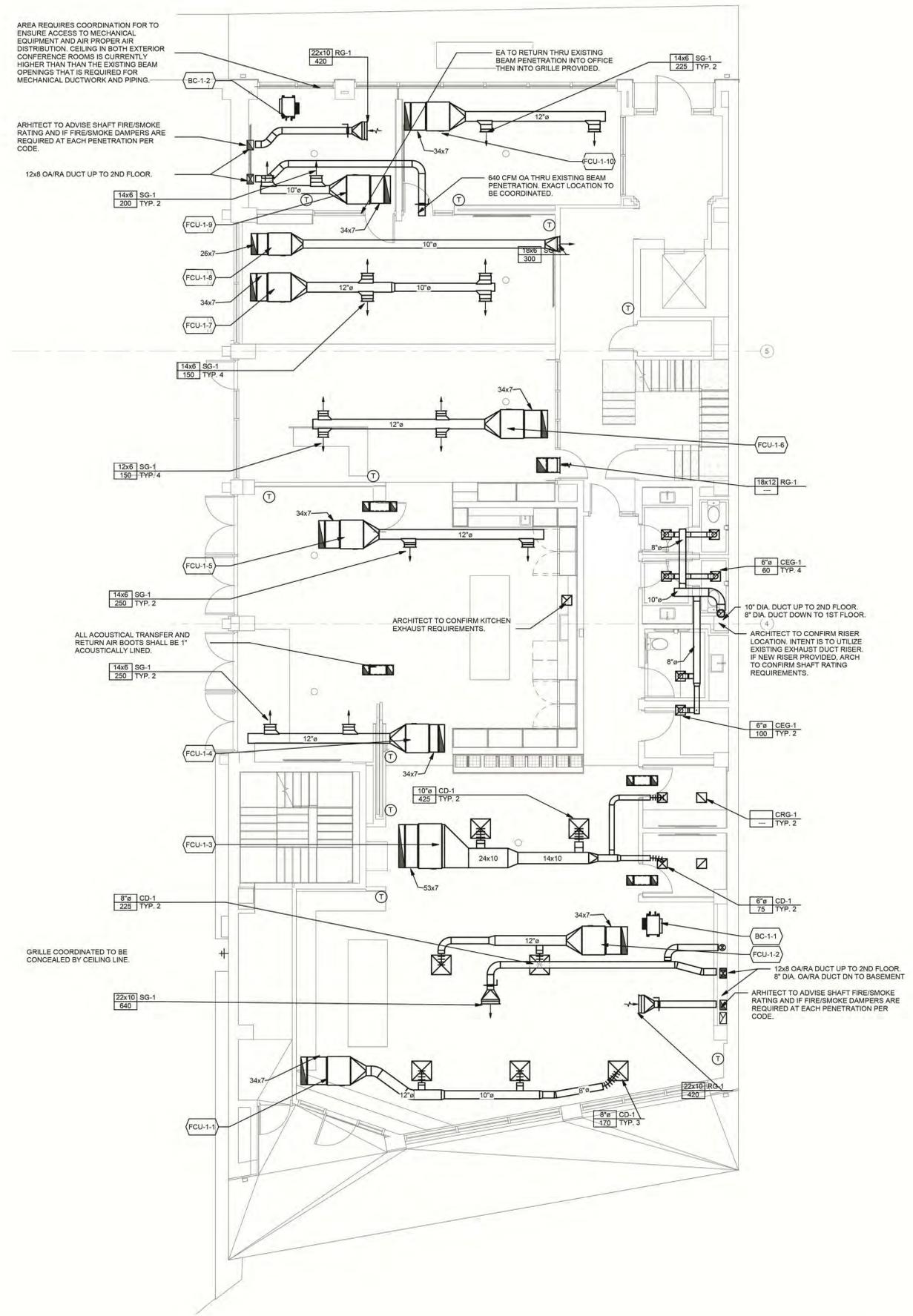
Project Status
 ZONING PLAN - 3RD
 FLOOR - MECHANICAL

M103

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 CONSTRUCTION**

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1 FLOOR PLAN - 1ST FLOOR - MECHANICAL
 0' 4' 8' 12'
 3/16" = 1'-0"

Issue Date: LIF PROJ. NO. 20158TX
 PROJ. ARCHITECT: DRAWN BY: Author

DATE	ISSUE	DATE

NO.	DATE	DESCRIPTION

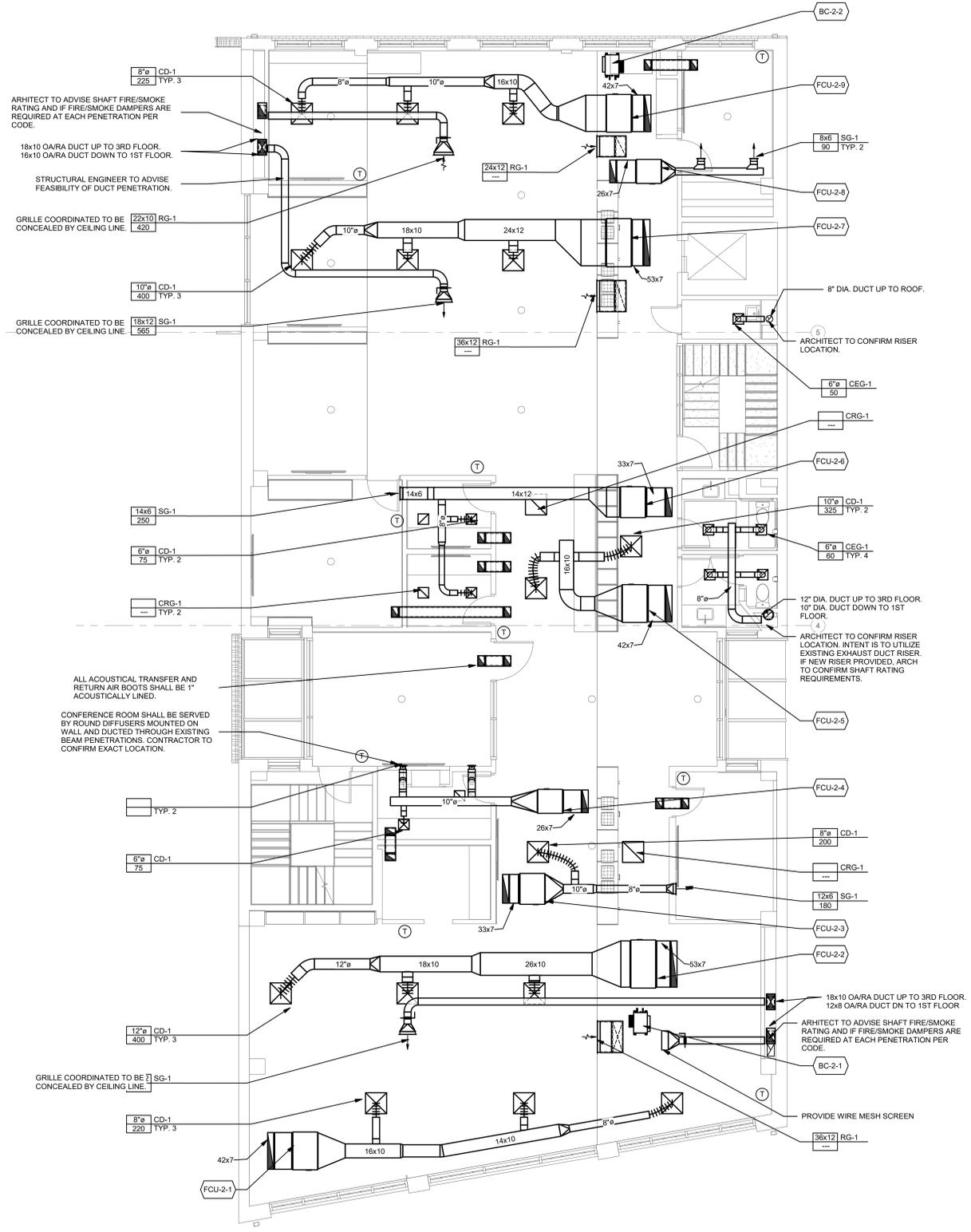
Project Status
 FLOOR PLAN - 1ST
 FLOOR - MECHANICAL

M201

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1 FLOOR PLAN - 2ND FLOOR - MECHANICAL
 0' 4' 8' 12'
 3/16" = 1'-0"

Issue Date: LIF PROJ. NO. 2018TX
 PROJ. ARCHITECT: DRAWN BY: Author

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DATE	ISSUE

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NO.	DATE	DESCRIPTION

Project Status

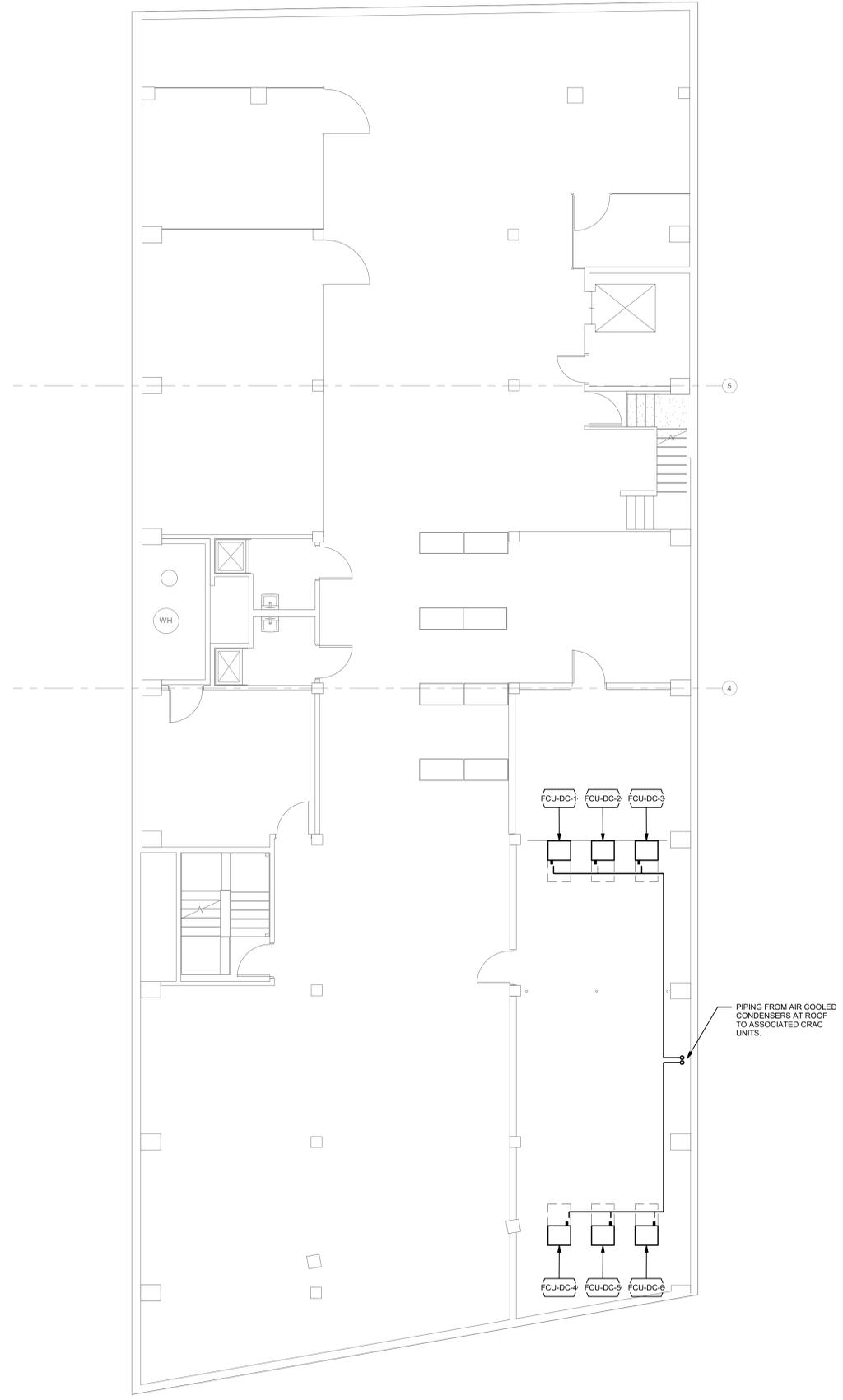
FLOOR PLAN - 2ND FLOOR - MECHANICAL

M202

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1 PIPING PLAN - BASEMENT - MECHANICAL
 0' 4' 8' 12'
 3/16" = 1'-0"

Issue Date: LIF PROJ. NO. 2018TX
 PROJ. ARCHITECT: DRAWN BY: Author

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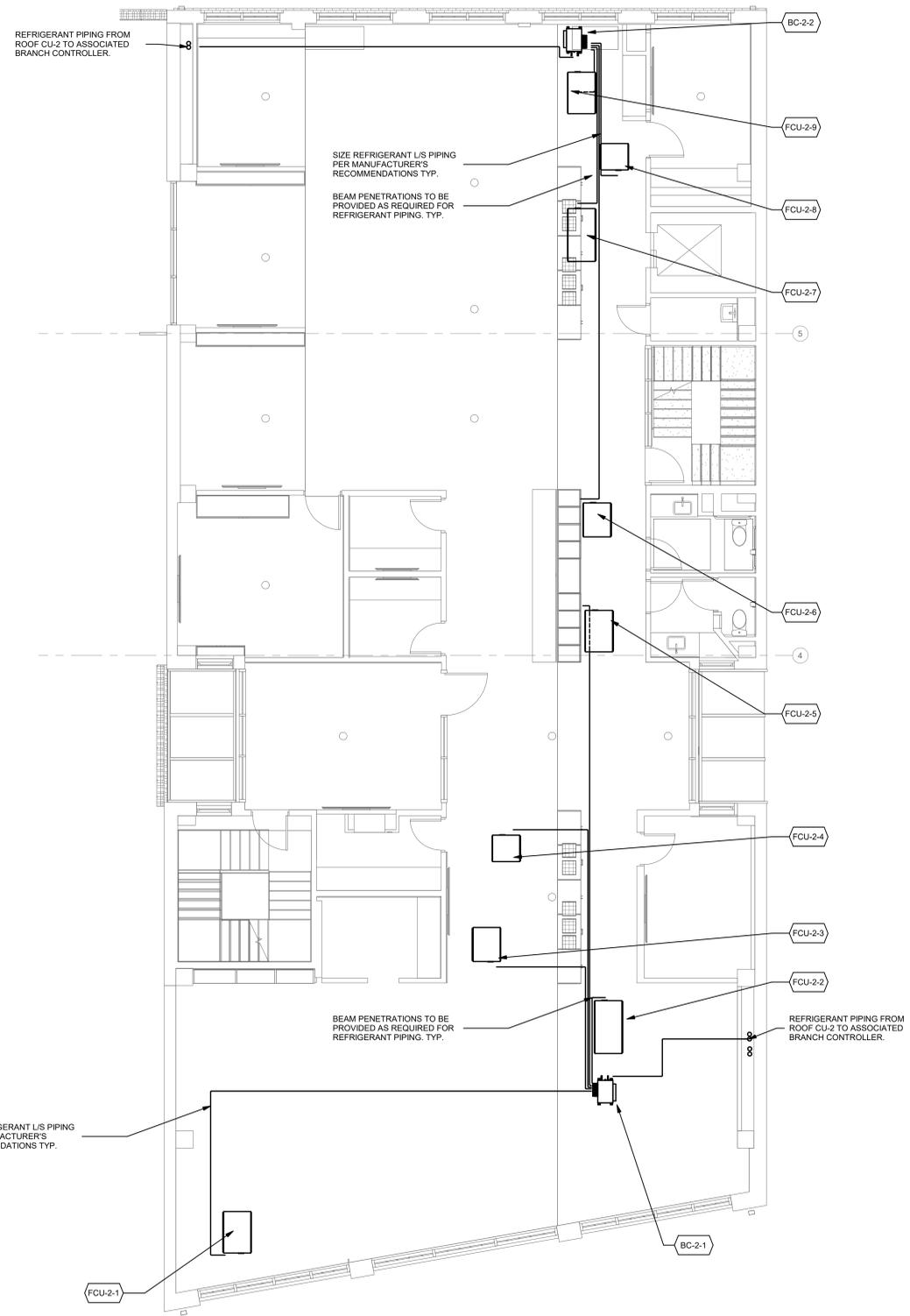
PIPING PLAN -
 BASEMENT -
 MECHANICAL

M300

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1 PIPING PLAN - 2ND FLOOR - MECHANICAL
 0' 4' 8' 12'
 3/16" = 1'-0"

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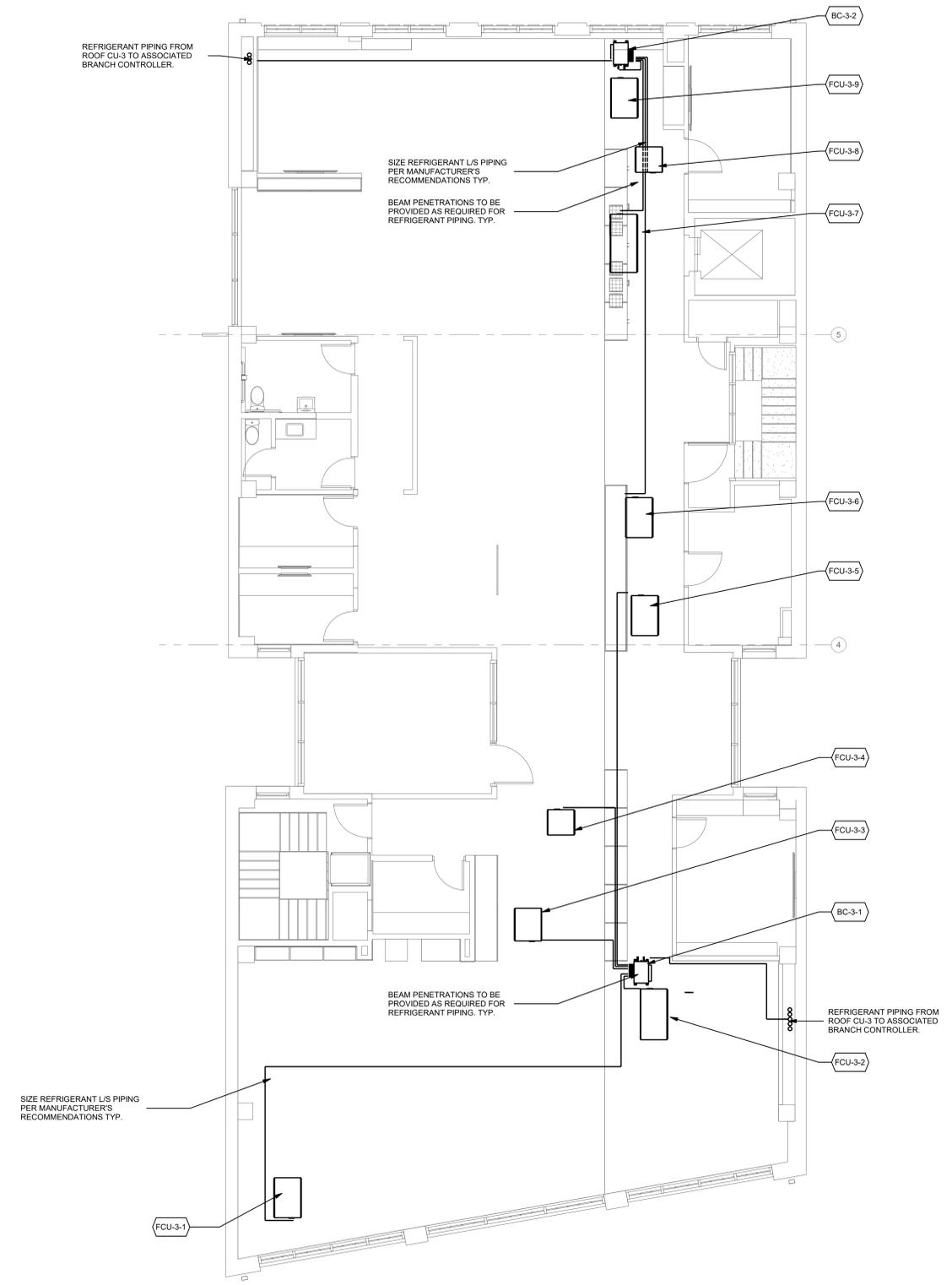
Project Status
 PIPING PLAN - 2ND
 FLOOR - MECHANICAL

M302

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REVISIONS		
NO.	DATE	DESCRIPTION

Project Status

PIPING PLAN - 3RD FLOOR - MECHANICAL

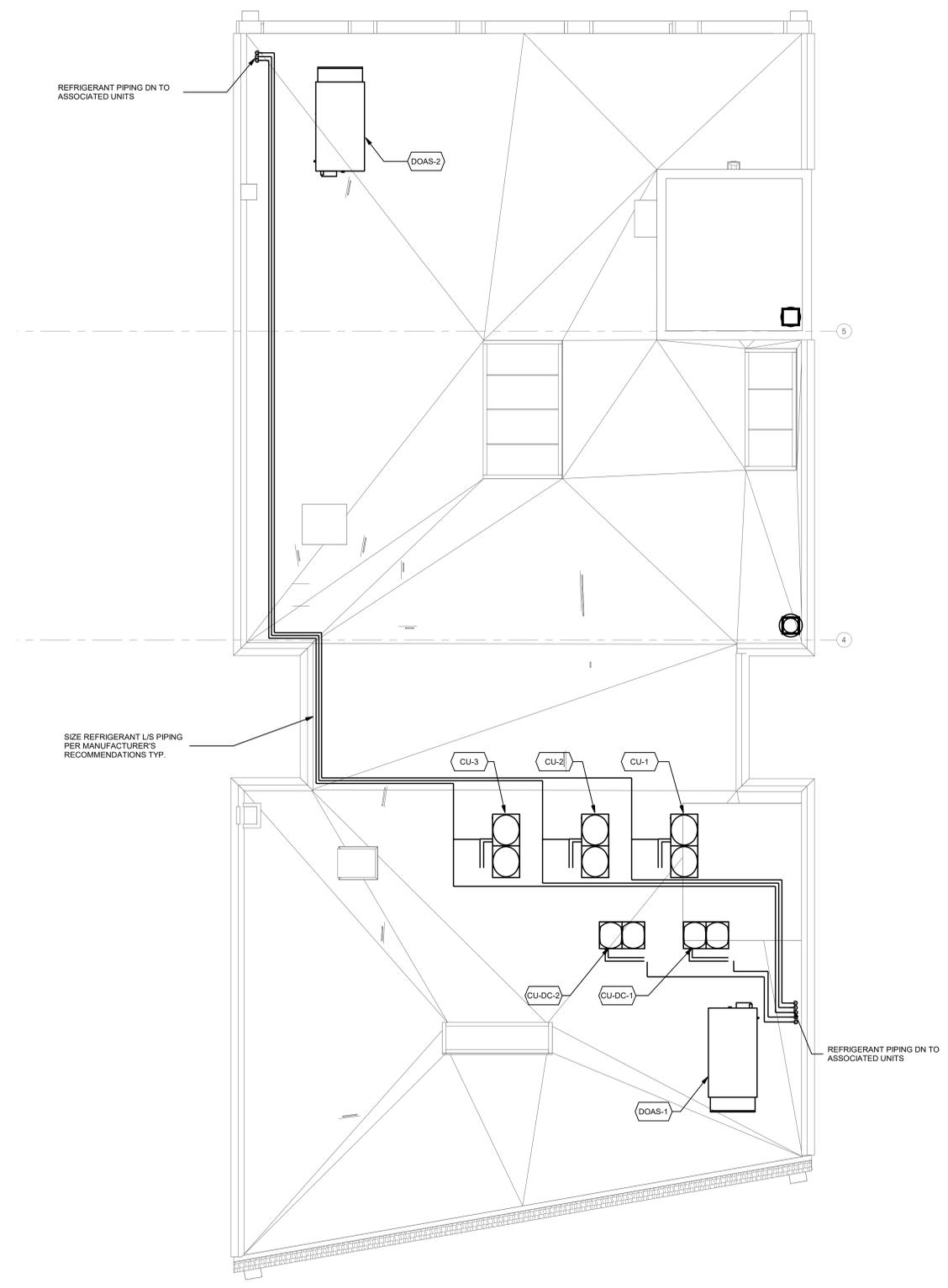
M303

1 PIPING PLAN - 3RD FLOOR - MECHANICAL
 0' 4' 8' 12'
 3/16" = 1'-0"

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Lake Flato -
 Live the Dream

311 3rd Street



1 PIPING PLAN - ROOF - MECHANICAL
 0' 4' 8' 12'
 3/16" = 1'-0"

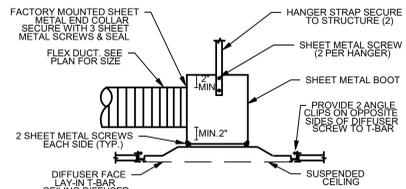
Issue Date LIF PROJ. NO. 2018TX
 PROJ. ARCHITECT DRAWN BY: Author

SET ISSUE DATES	
DATE	ISSUE

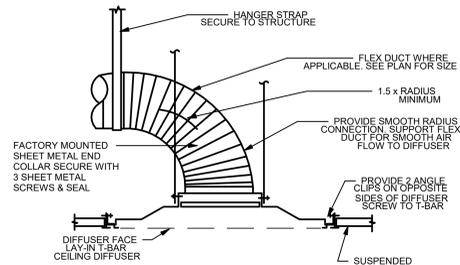
REVISIONS		
NO.	DATE	DESCRIPTION

Project Status
 PIPING PLAN - ROOF -
 MECHANICAL

M304

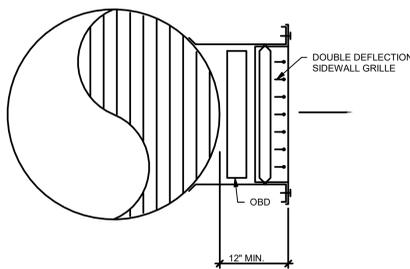


- NOTES:
1. USE THIS DETAIL WHERE 1.5 x RADIUS ON FLEXIBLE DUCT IS NOT POSSIBLE.
 2. SIMILAR FOR GYP BOARD CEILING.

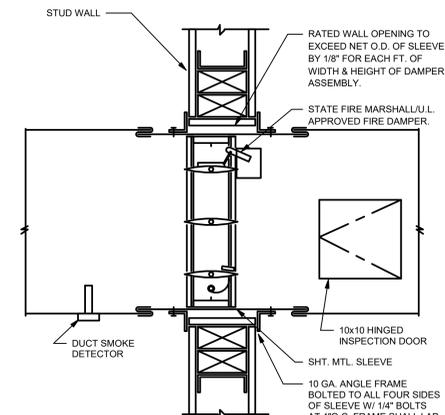
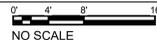


- NOTES:
1. USE MOUNTING DETAIL WHERE SPACE PERMITS. WHERE SPACE DOES NOT PERMIT FOLLOW DETAIL ABOVE.
 2. SIMILAR FOR GYP BOARD, SPLINE CEILING.

1 CEILING DEFFUSER CONNECTION DETAIL



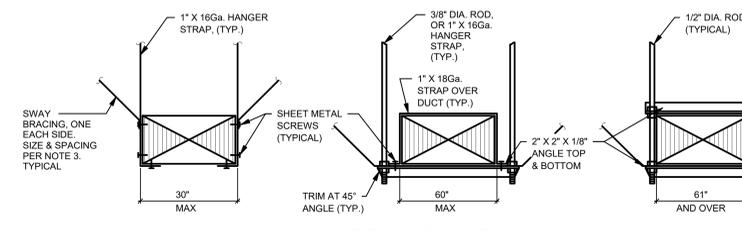
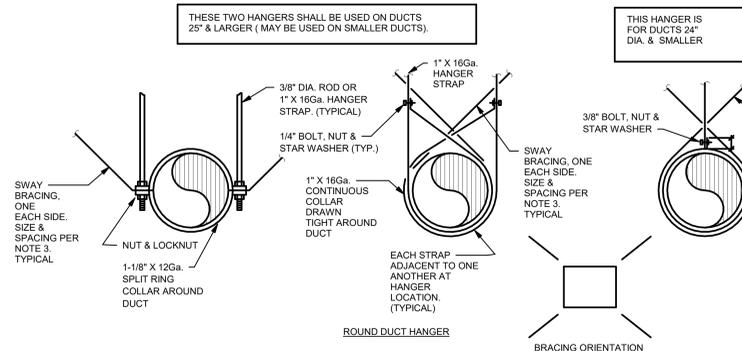
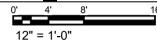
2 CEILING DEFFUSER CONNECTION DETAIL



- NOTES:
1. USE "UNITED DUCT SEALER" OR EQUAL WHERE DUCTS CONNECT TO SLEEVE.
 2. IF ROUND DUCT, PROVIDE WELDED ROUND DUCT COLLAR ON BOTH SIDES. SIMILAR TO HIGH VELOCITY FIRE DAMPER. OPENING SIZE = DUCT SIZE + 1".

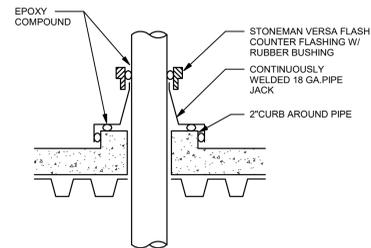
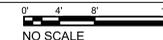
- SEQUENCE
- a. FSD SHALL CLOSE AT ANY OF THE FOLLOWING CONDITIONS:
 - b. DETECTION OF SMOKE BY LOCAL DUCT SMOKE DETECTOR.
 - c. LOSS OF POWER.
 - d. SIGNED FROM FACP.

3 FD FIRE & SMOKE DAMPER

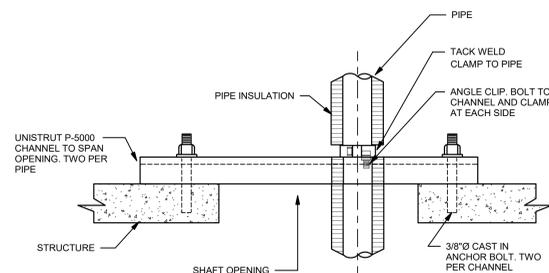
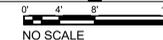


- NOTES:
1. REFER TO SPECIFICATIONS FOR HANGER SPACINGS.
 2. ATTACHMENTS TO OVERHEAD STRUCTURE SHALL BE MADE IN ACCORDANCE WITH STRUCTURAL ENGINEERS REQUIREMENTS AND WEIGHT LIMITATIONS. ALL ATTACHMENT METHODS TO STRUCTURE SHALL BE SUBMITTED TO ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW.
 3. PROVIDE SWAY & SEISMIC BRACING PER THE LATEST EDITION OF CALIFORNIA BUILDING CODE. INDICATE LOCATIONS OF SEISMIC BRACING ON THE SHOP DRAWING SUBMITTALS.
 4. HANGER MATERIAL SUPPORTING FLEXIBLE DUCT SHALL IN NO CASE BE LESS THAN 1 1/2 INCHES WIDE. FLEXIBLE DUCT SHALL BE SUPPORTED PER MANUFACTURER'S RECOMMENDED MATERIALS, BUT AT NO GREATER DISTANCE THAN 4 FEET MAX. PERMISSIBLE SAG IS MAX. 1/2 INCHES PER FOOT OF SPACING BETWEEN SUPPORTS.

4 DUCT SUPPORT DETAIL

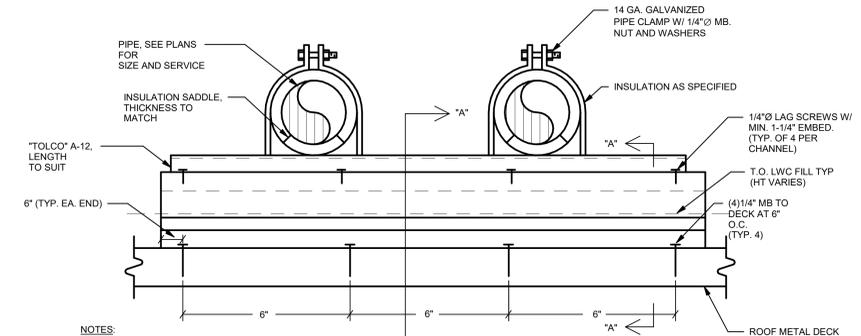
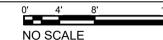


5 PENS PIPE PENETRATION THRU ROOF



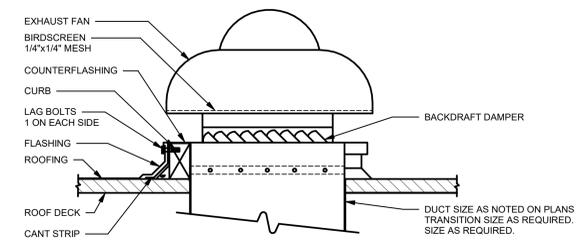
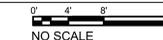
- NOTES:
1. TYPICAL SUPPORT AT EACH FLOOR.
 2. FOR MULTIPLE PIPES INSTALL CHANNELS IN PARALLEL AND PROVIDE ADDITIONAL FRAMING. SIZES OF FRAMING MEMBERS AS REQUIRED TO SUPPORT TOTAL WEIGHT OF PIPE.
 3. INSULATE CLAMP AT CHILLED WATER PIPE ONLY.

6 PIPE RISER SUPPORT



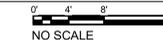
- NOTES:
1. PROVIDE CRICKET ON UP SLOPE SIDE WHEN SLEEPERS ARE PERPENDICULAR TO ROOF SLOPE.
 2. PROVIDE NEOPRENE-STEEL WASHERS UNDER BOLT HEADS & NEOPRENE PADS UNDER
 3. PROVIDE ADJUSTMENT TO SUPPORT AS REQUIRED BASED ON THE ROOF'S SLOPE AND INSULATION.

7 PIPE SUPPORT ON ROOF DETAIL



- NOTE:
- COORDINATE SIZE AND LOCATION OF ROOF PENETRATION WITH GENERAL CONTRACTOR. COORDINATE ALL ROOFING AND CURB INSTALLATION WITH GENERAL CONTRACTOR.

8 ROOF EXHAUST FAN



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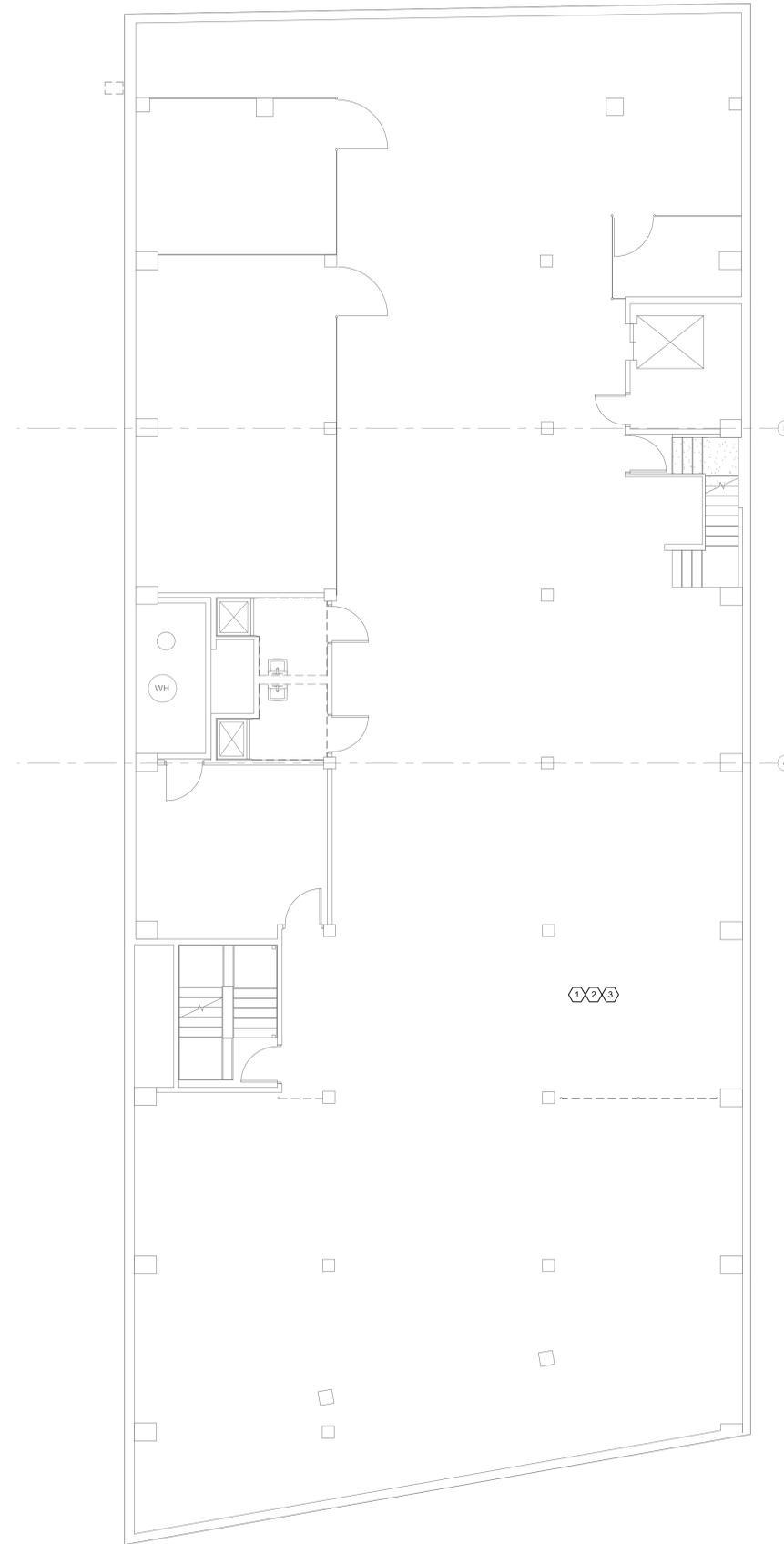
Project Status

DETAILS - MECHANICAL

M600

SHEET KEYNOTES

1. REMOVE ALL (E) MECHANICAL EQUIPMENT INCLUDING (E) TERMINAL UNITS, CEILING DIFFUSERS, AND RETURN/EXHAUST GRILLES, INCLUDING SIDE WALL RETURN GRILLES. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
2. REMOVE ALL (E) DUCTWORK, BOTH HORIZONTAL AND VERTICAL. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
3. REMOVE ALL (E) TERMINAL UNITS AND ANY ASSOCIATED DUCTWORK, PIPING, AND/OR ACCESSORIES. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.



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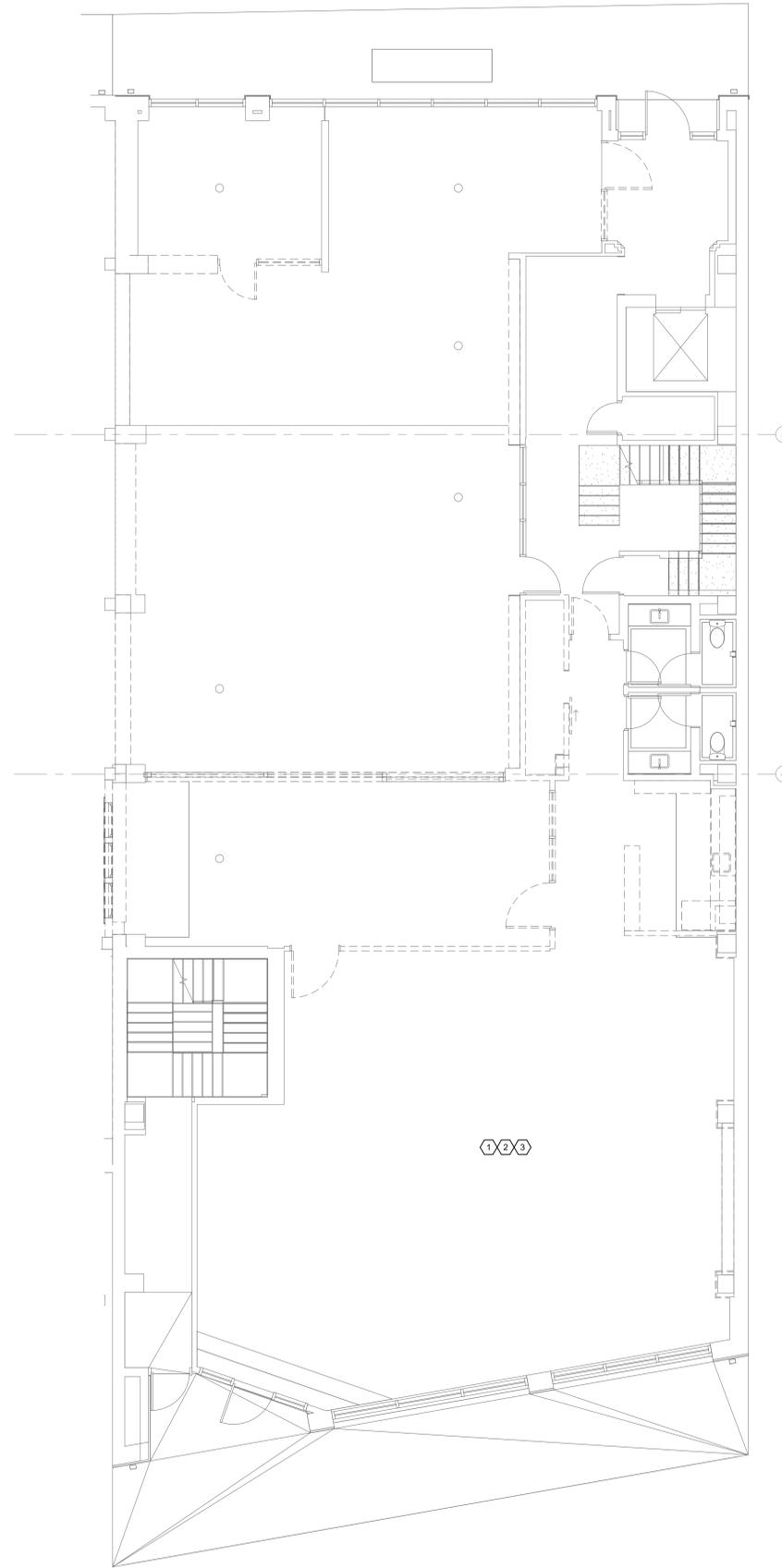
**DEMOLITION FLOOR
 PLAN - BASEMENT -
 MECHANICAL**

MD100

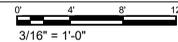
1 DEMOLITION FLOOR PLAN - BASEMENT - MECHANICAL
 0' 4' 8' 12'
 3/16" = 1'-0"

SHEET KEYNOTES

1. REMOVE ALL (E) MECHANICAL EQUIPMENT INCLUDING (E) TERMINAL UNITS, CEILING DIFFUSERS, AND RETURN/EXHAUST GRILLES, INCLUDING SIDE WALL RETURN GRILLES. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
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3. REMOVE ALL (E) TERMINAL UNITS AND ANY ASSOCIATED DUCTWORK, PIPING, AND/OR ACCESSORIES. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.



1 DEMOLITION FLOOR PLAN - 1ST FLOOR - MECHANICAL



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DATE	ISSUE

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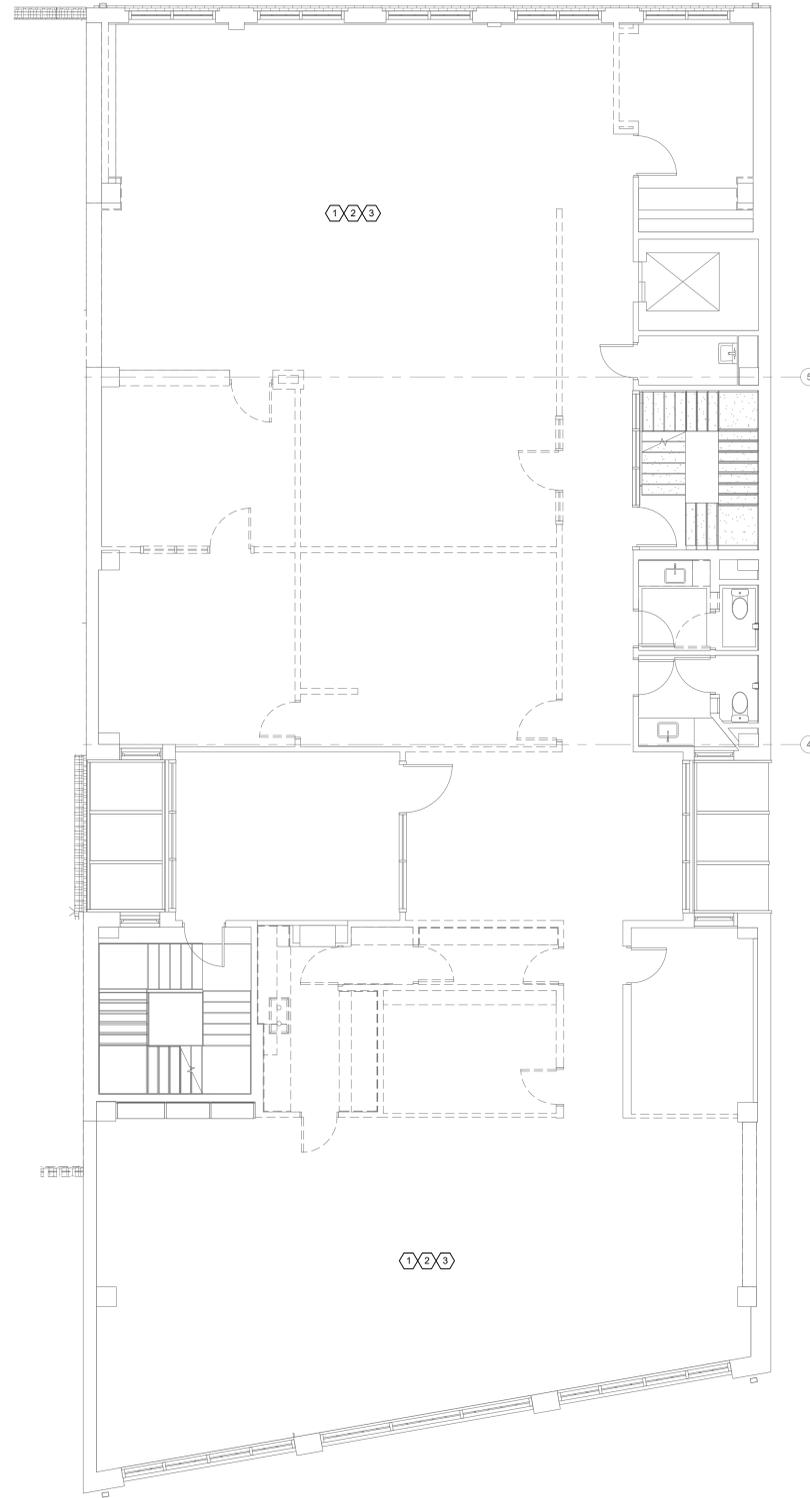
Project Status

**DEMOLITION FLOOR
 PLAN - 1ST FLOOR -
 MECHANICAL**

MD101

SHEET KEYNOTES

1. REMOVE ALL (E) MECHANICAL EQUIPMENT INCLUDING (E) TERMINAL UNITS, CEILING DIFFUSERS, AND RETURN/EXHAUST GRILLES, INCLUDING SIDE WALL RETURN GRILLES. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
2. REMOVE ALL (E) DUCTWORK, BOTH HORIZONTAL AND VERTICAL. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
3. REMOVE ALL (E) TERMINAL UNITS AND ANY ASSOCIATED DUCTWORK, PIPING, AND/OR ACCESSORIES. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.



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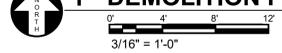
REVISIONS		
NO.	DATE	DESCRIPTION

Project Status

**DEMOLITION FLOOR
 PLAN - 2ND FLOOR -
 MECHANICAL**

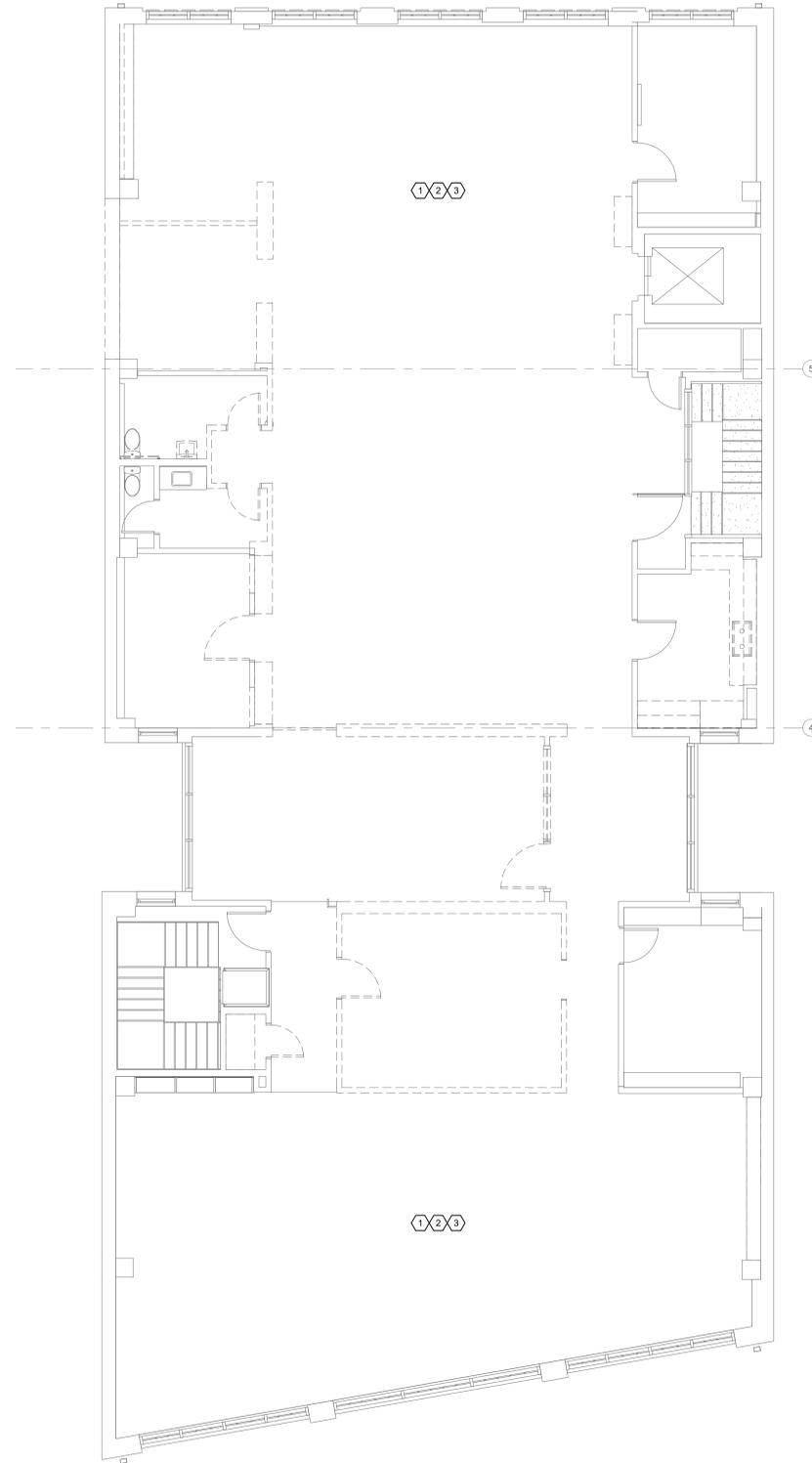
MD102

1 DEMOLITION FLOOR PLAN - 2ND FLOOR - MECHANICAL



SHEET KEYNOTES

1. REMOVE ALL (E) MECHANICAL EQUIPMENT INCLUDING (E) TERMINAL UNITS, CEILING DIFFUSERS, AND RETURN/EXHAUST GRILLES, INCLUDING SIDE WALL RETURN GRILLES. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
2. REMOVE ALL (E) DUCTWORK, BOTH HORIZONTAL AND VERTICAL. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
3. REMOVE ALL (E) TERMINAL UNITS AND ANY ASSOCIATED DUCTWORK, PIPING, AND/OR ACCESSORIES. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.



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NO.	DATE	DESCRIPTION

Project Status

**DEMOLITION FLOOR
 PLAN - 3RD FLOOR -
 MECHANICAL**

MD103

1 DEMOLITION FLOOR PLAN - 3RD FLOOR - MECHANICAL
 3/16" = 1'-0"



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SET ISSUE DATES table with columns DATE and ISSUE

REVISIONS table with columns NO., DATE, DESCRIPTION

Project Status

LUMINAIRE SCHEDULE

E002

LUMINAIRE SCHEDULE

Main table with columns: TYPE, DESCRIPTION, HOUSING, SHIELDING, MOUNTING, FINISH, UL/IP RATING, DRIVER/ POWER SUPPLY, LIGHT SOURCE, INPUT WATTS, MFG/CATALOG #, NOTES. Includes rows A through X2 and a NOTES section.

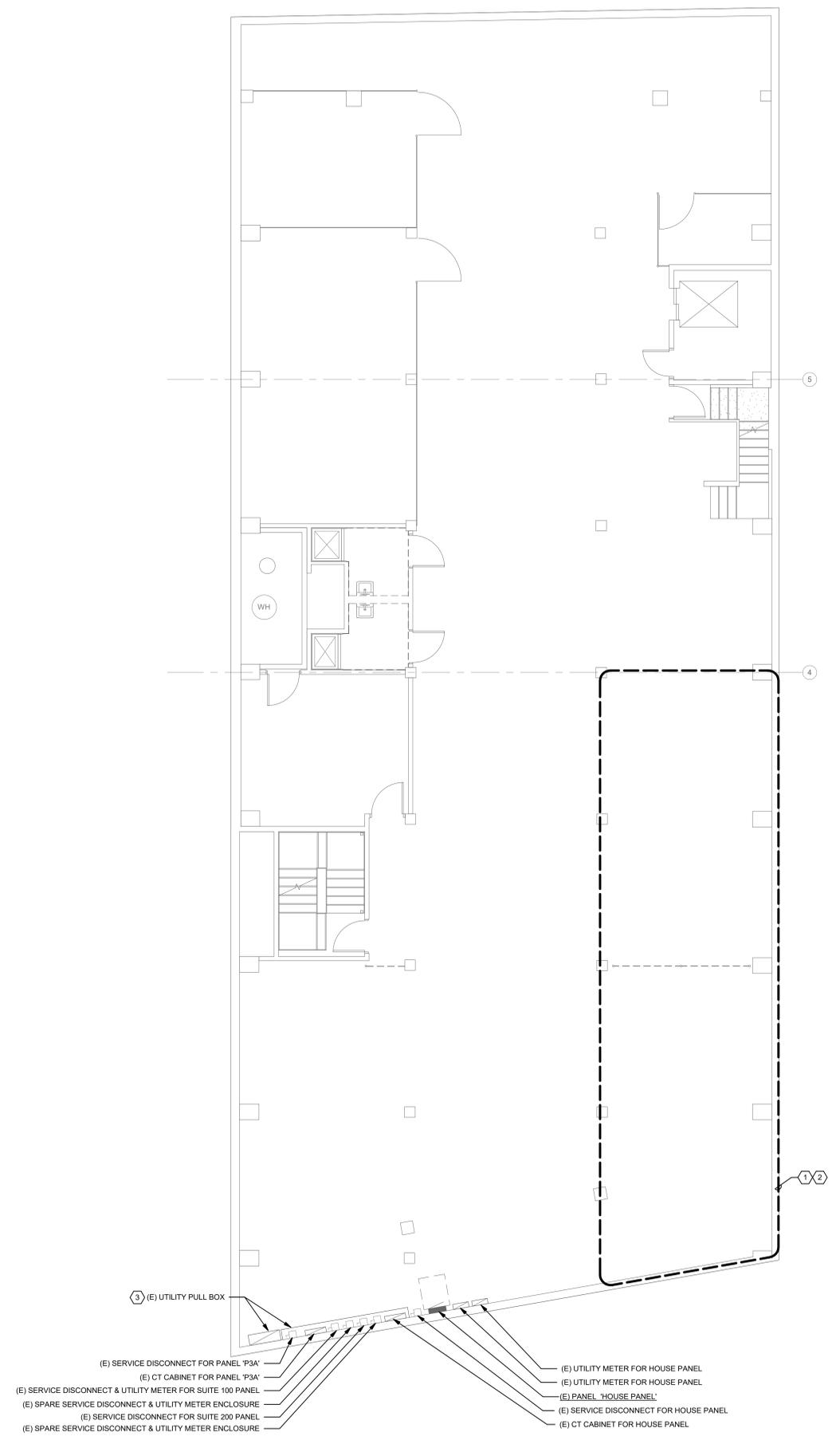
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SHEET KEYNOTES

1. DEMOLISH EXISTING LUMINAIRES, SWITCHES, SENSORS, AND ASSOCIATED RACEWAY AND WIRING BACK TO SOURCE PANELBOARD.
2. DISCONNECT POWER TO EXISTING HVAC AND PLUMBING EQUIPMENT DENOTE FOR DEMOLITION, REMOVE ASSOCIATED DISCONNECT SWITCHES, RACEWAY AND WIRING BACK TO SOURCE.
3. SEE SINGLE LINE DIAGRAM ON SHEET E501 FOR ADDITIONAL INFORMATION. SEE SHEET E503 FOR ADD ALTERNATE SCOPE.



1 DEMOLITION FLOOR PLAN - BASEMENT - ELECTRICAL
 0' 4' 8' 12'
 3/16" = 1'-0"

Issue Date: LIF PROJ. NO. 2018TX
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DATE	ISSUE

REVISIONS		
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Project Status
 DEMOLITION FLOOR PLAN - BASEMENT - ELECTRICAL
ED100

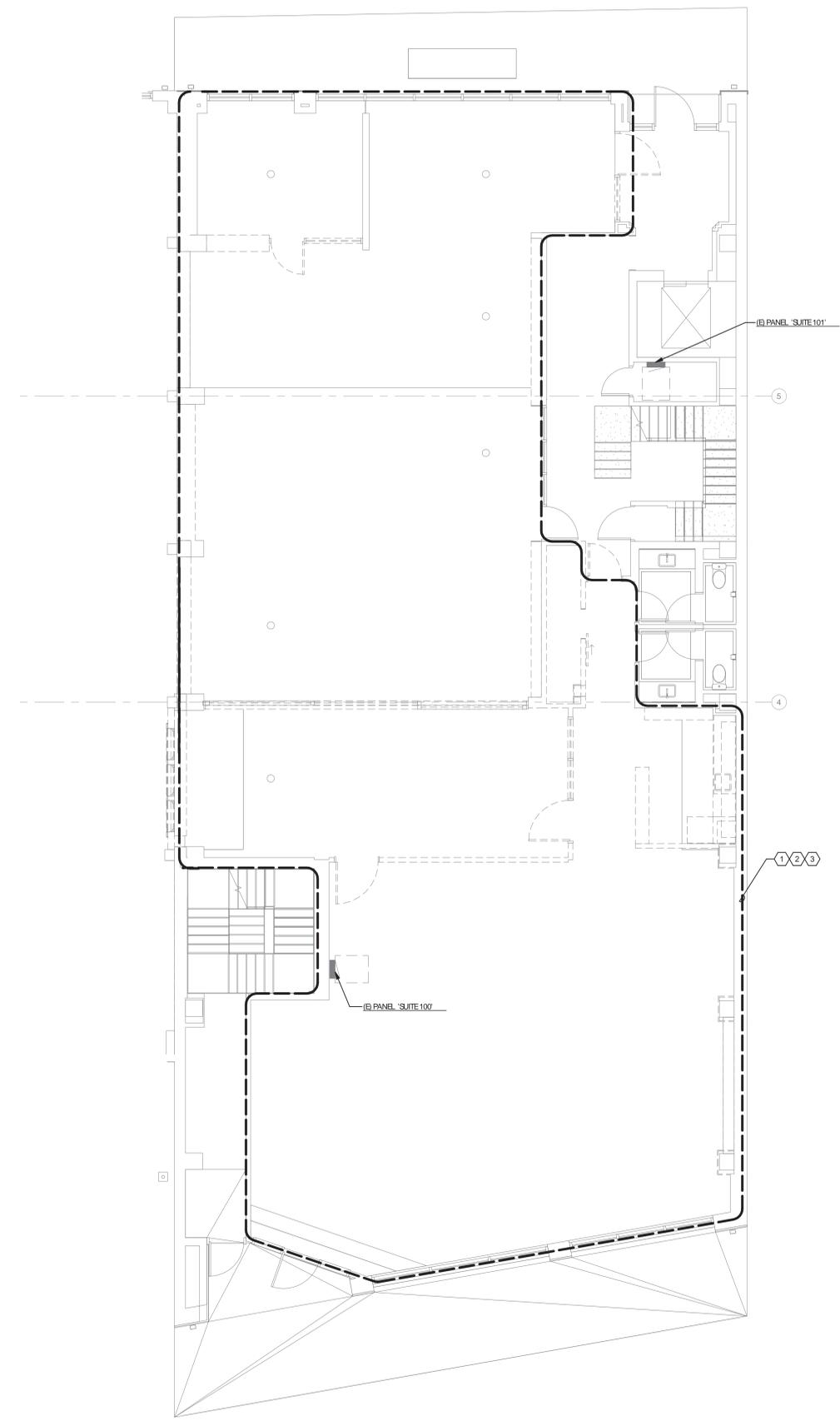
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SHEET KEYNOTES

1. DEMOLISH EXISTING LUMINAIRES, SWITCHES, SENSORS, AND ASSOCIATED RACEWAY AND WIRING BACK TO SOURCE PANELBOARD.
2. DEMOLISH EXISTING RECEPTACLES, JUNCTION BOXES, AND ASSOCIATED RACEWAY AND WIRING BACK TO SOURCE PANELBOARD.
3. DISCONNECT POWER TO EXISTING HVAC AND PLUMBING EQUIPMENT DENOTE FOR DEMOLITION. REMOVE ASSOCIATED DISCONNECT SWITCHES, RACEWAY AND WIRING BACK TO SOURCE.
4. SEE SINGLE LINE DIAGRAM ON SHEET E501 FOR ADDITIONAL INFORMATION. SEE SHEET E503 FOR ADD ALTERNATE SCOPE.



1 DEMOLITION FLOOR PLAN - 1ST FLOOR - ELECTRICAL
 0' 4' 8' 12'
 3/16" = 1'-0"

Issue Date: LIF PROJ. NO. 2018TX
 PROJ. ARCHITECT: DRAWN BY: Author

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DATE	ISSUE

REVISIONS		
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Project Status
 DEMOLITION FLOOR
 PLAN - 1ST FLOOR -
 ELECTRICAL

ED101

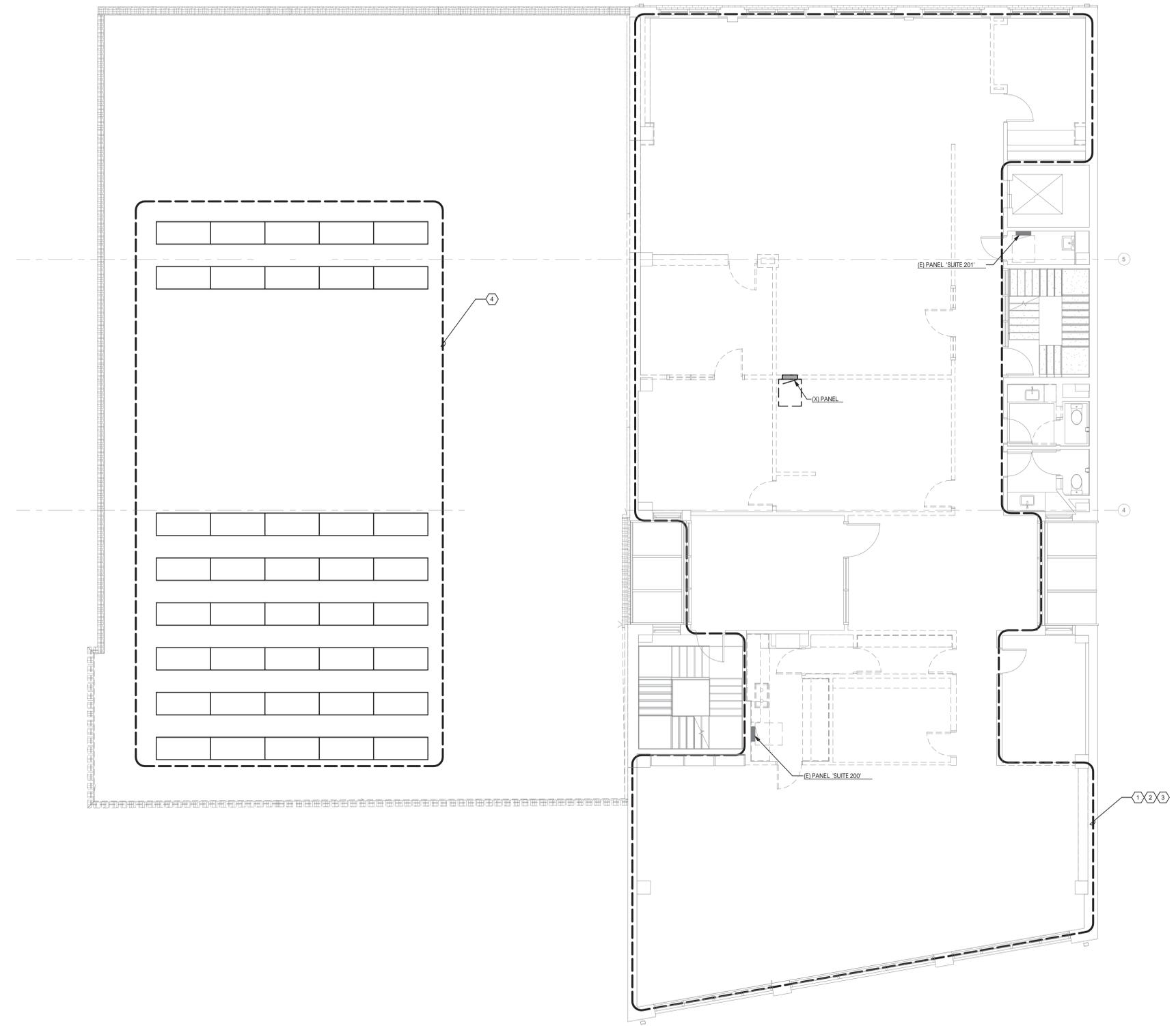
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SHEET KEYNOTES

1. DEMOLISH EXISTING LUMINAIRES, SWITCHES, SENSORS AND ASSOCIATED RACEWAY AND WIRING BACK TO SOURCE PANELBOARD.
2. DEMOLISH EXISTING RECEPTACLES, JUNCTION BOXES, AND ASSOCIATED RACEWAY AND WIRING BACK TO SOURCE PANELBOARD.
3. DISCONNECT POWER TO EXISTING HVAC AND PLUMBING EQUIPMENT DENOTE FOR DEMOLITION. REMOVE ASSOCIATED DISCONNECT SWITCHES, RACEWAY AND WIRING BACK TO SOURCE.
4. EXISTING PV SYSTEM AND ASSOCIATED EQUIPMENT AND DEVICES TO BE RELOCATED.



1 DEMOLITION FLOOR PLAN - 2ND FLOOR - ELECTRICAL
 0' 4' 8' 12'
 3/16" = 1'-0"

Issue Date: LIF PROJ. NO. 20188TX
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DATE	ISSUE

REVISIONS		
NO.	DATE	DESCRIPTION

Project Status
 DEMOLITION FLOOR
 PLAN - 2ND FLOOR -
 ELECTRICAL

ED102

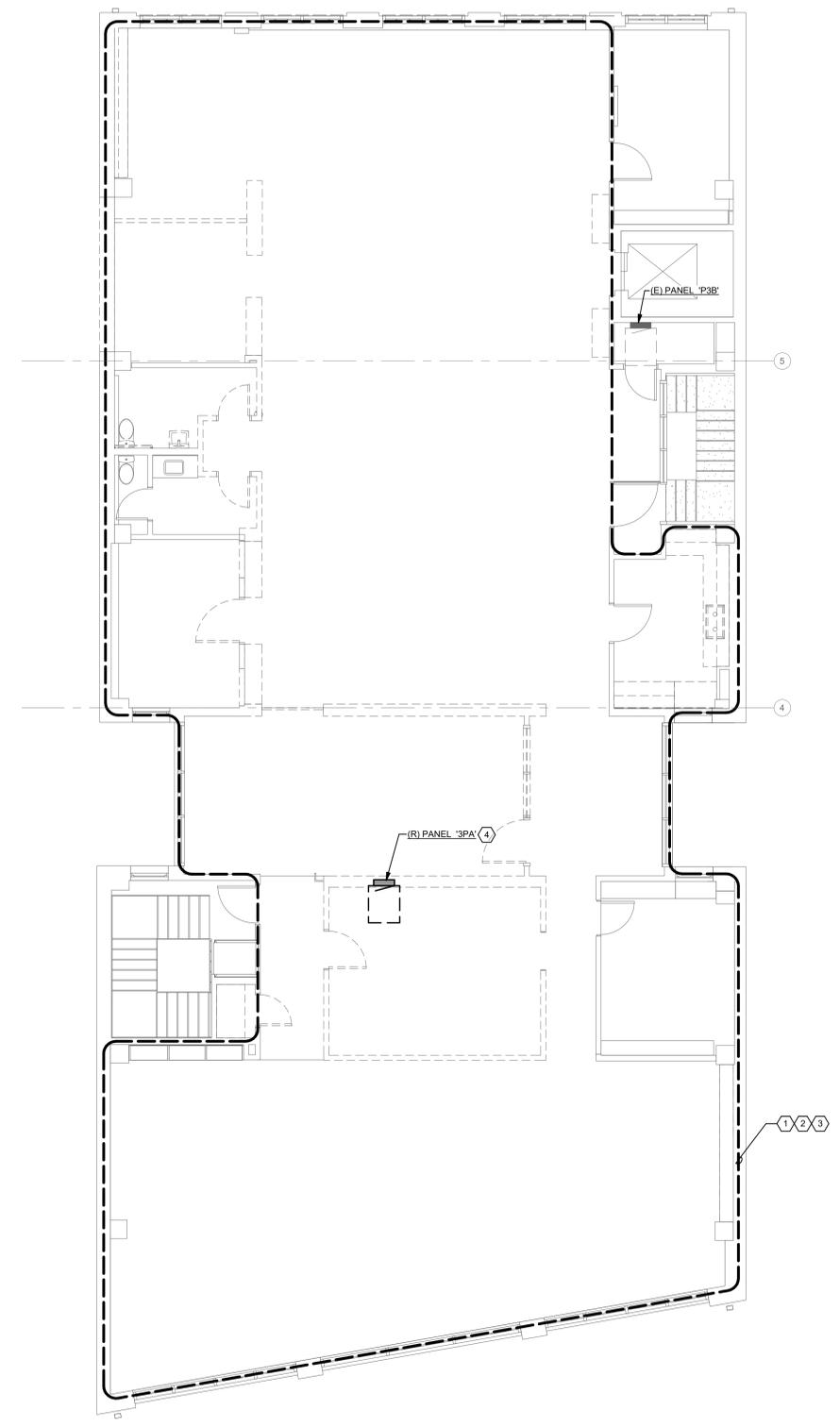
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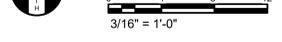
311 3rd Street

SHEET KEYNOTES

1. DEMOLISH EXISTING LUMINAIRES, SWITCHES, SENSORS AND ASSOCIATED RACEWAY AND WIRING BACK TO SOURCE PANELBOARD.
2. DEMOLISH EXISTING RECEPTACLES, JUNCTION BOXES, AND ASSOCIATED RACEWAY AND WIRING BACK TO SOURCE PANELBOARD.
3. DISCONNECT POWER TO EXISTING HVAC AND PLUMBING EQUIPMENT DENOTE FOR DEMOLITION. REMOVE ASSOCIATED DISCONNECT SWITCHES, RACEWAY AND WIRING BACK TO SOURCE.
4. EXISTING PANEL TO BE RELOCATED.



1 DEMOLITION FLOOR PLAN - 3RD FLOOR - ELECTRICAL



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DATE	ISSUE

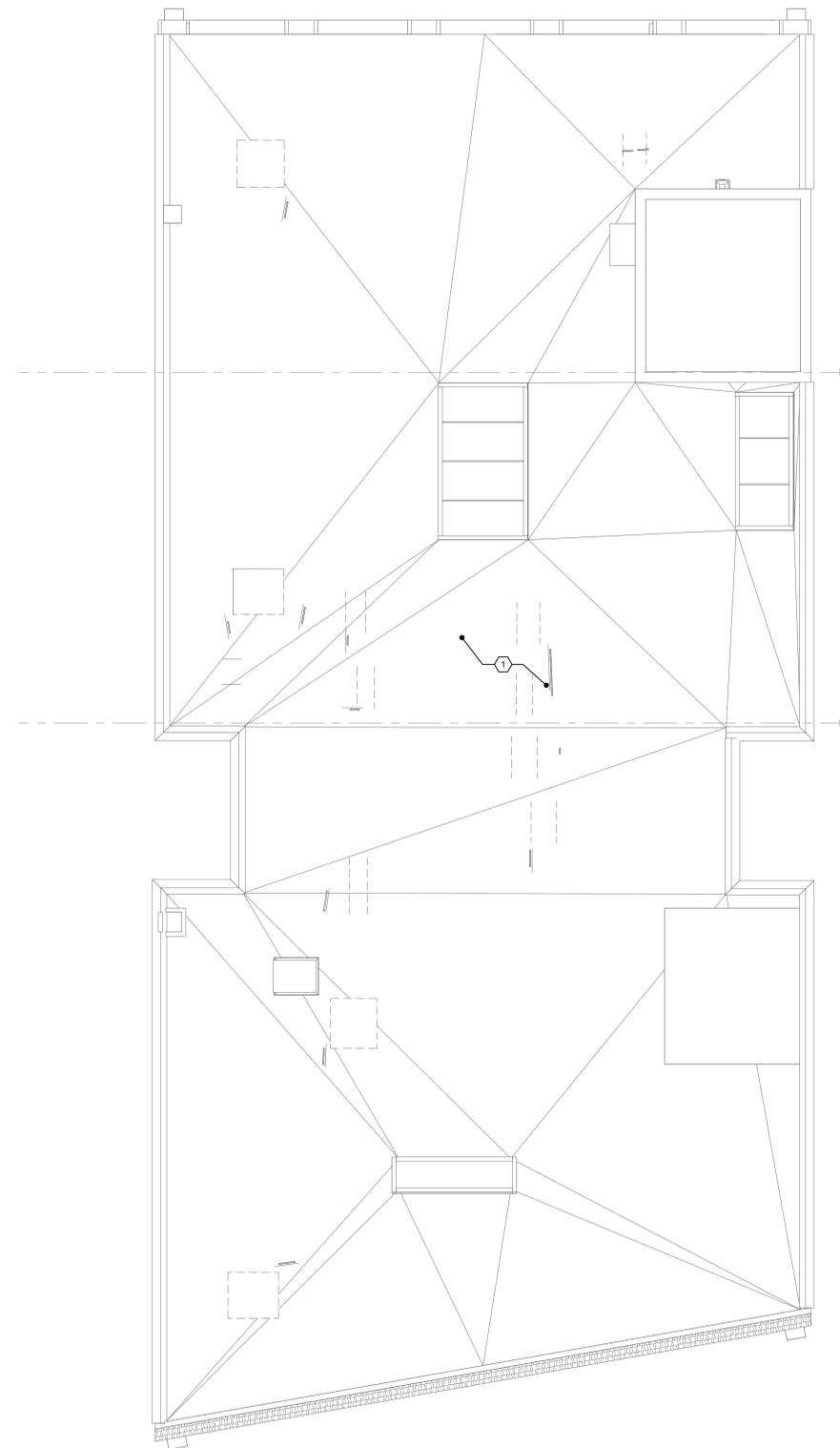
REVISIONS		
NO.	DATE	DESCRIPTION

Project Status
 DEMOLITION FLOOR
 PLAN - 3RD FLOOR -
 ELECTRICAL

ED103

SHEET KEYNOTES

1. DISCONNECT POWER TO EXISTING HVAC AND PLUMBING EQUIPMENT DENOTE FOR DEMOLITION. REMOVE ASSOCIATED DISCONNECT SWITCHES, RACEWAY AND WIRING BACK TO SOURCE.



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DATE	ISSUE

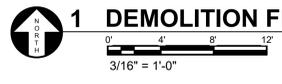
REVISIONS		
NO.	DATE	DESCRIPTION

Project Status

**DEMOLITION FLOOR
 PLAN - ROOF -
 ELECTRICAL**

ED104

1 DEMOLITION FLOOR PLAN - ROOF - ELECTRICAL



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1 REFLECTED CEILING PLAN - BASEMENT - LIGHTING
 0' 4' 8' 12'
 3/16" = 1'-0"

Issue Date: LIF PROJ. NO.: 2018TX
 PROJ. ARCHITECT: DRAWN BY: Author

SET ISSUE DATES	
DATE	ISSUE

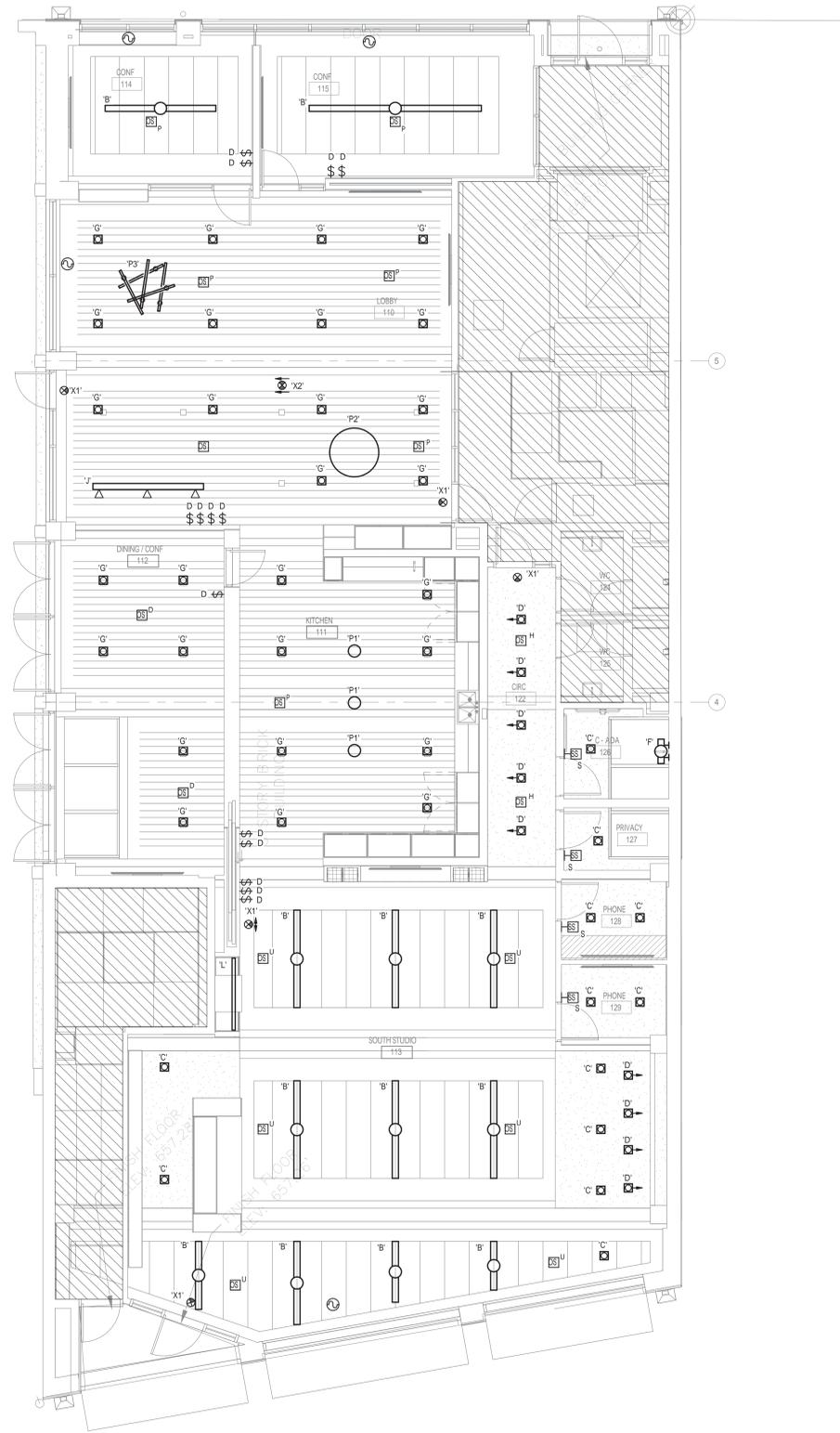
REVISIONS		
NO.	DATE	DESCRIPTION

Project Status
 REFLECTED CEILING
 PLAN - BASEMENT -
 LIGHTING
E200

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 PERMITTING
 OR
 CONSTRUCTION

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1 REFLECTED CEILING PLAN - 1ST FLOOR - LIGHTING
 0' 4' 8' 12'
 3/16" = 1'-0"

Issue Date: LIF PROJ. NO. 2018TX
 PROJ. ARCHITECT: DRAWN BY: Author

SET ISSUE DATES	
DATE	ISSUE

REVISIONS		
NO.	DATE	DESCRIPTION

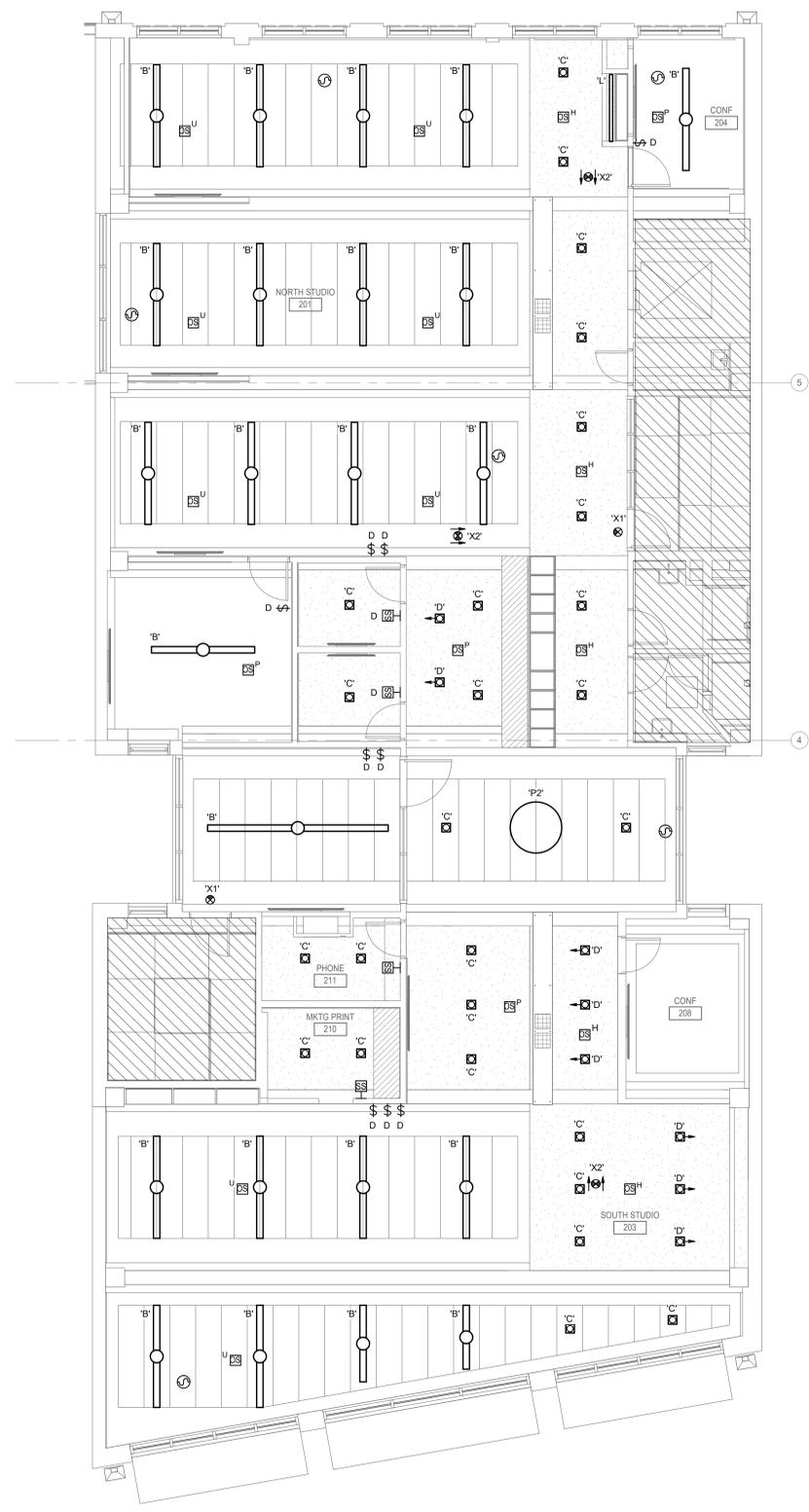
Project Status
 REFLECTED CEILING
 PLAN - 1ST FLOOR -
 LIGHTING

E201

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 OR
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1 REFLECTED CEILING PLAN - 2ND FLOOR - LIGHTING
 0' 4' 8' 12'
 3/16" = 1'-0"

Issue Date LIF PROJ. NO. 2018TX
 PROJ. ARCHITECT DRAWN BY: Author

SET ISSUE DATES

DATE	ISSUE

REVISIONS

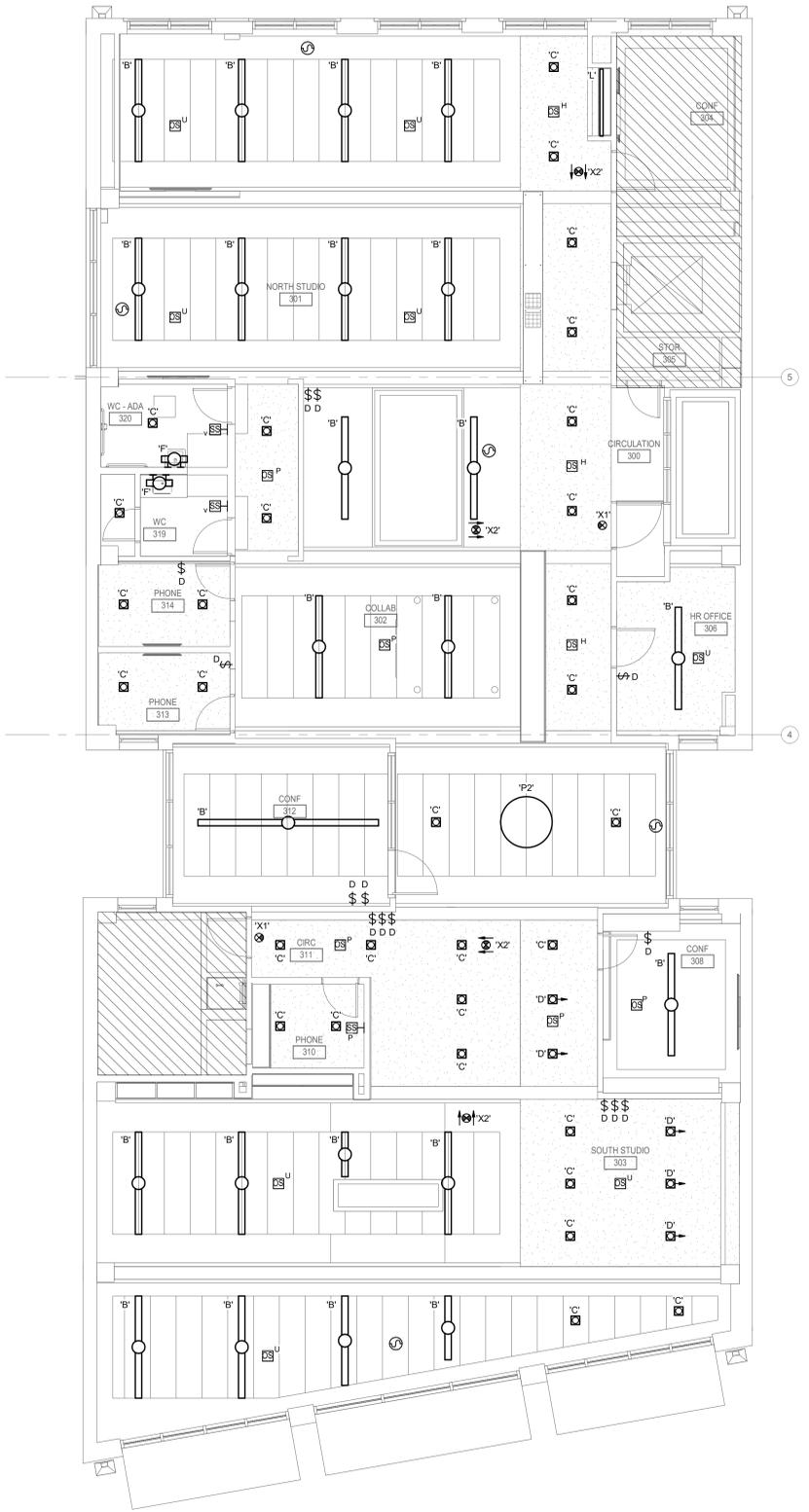
NO.	DATE	DESCRIPTION

Project Status
 REFLECTED CEILING
 PLAN - 2ND FLOOR -
 LIGHTING
E202

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 OR
 CONSTRUCTION

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1 REFLECTED CEILING PLAN - 3RD FLOOR - LIGHTING
 0' 4' 8' 12'
 3/16" = 1'-0"

Issue Date LIF PROJ. NO. 2018TX
 PROJ. ARCHITECT DRAWN BY: Author

SET ISSUE DATES	
DATE	ISSUE

REVISIONS		
NO.	DATE	DESCRIPTION

Project Status
 REFLECTED CEILING
 PLAN - 3RD FLOOR -
 LIGHTING

E203

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DATE	ISSUE

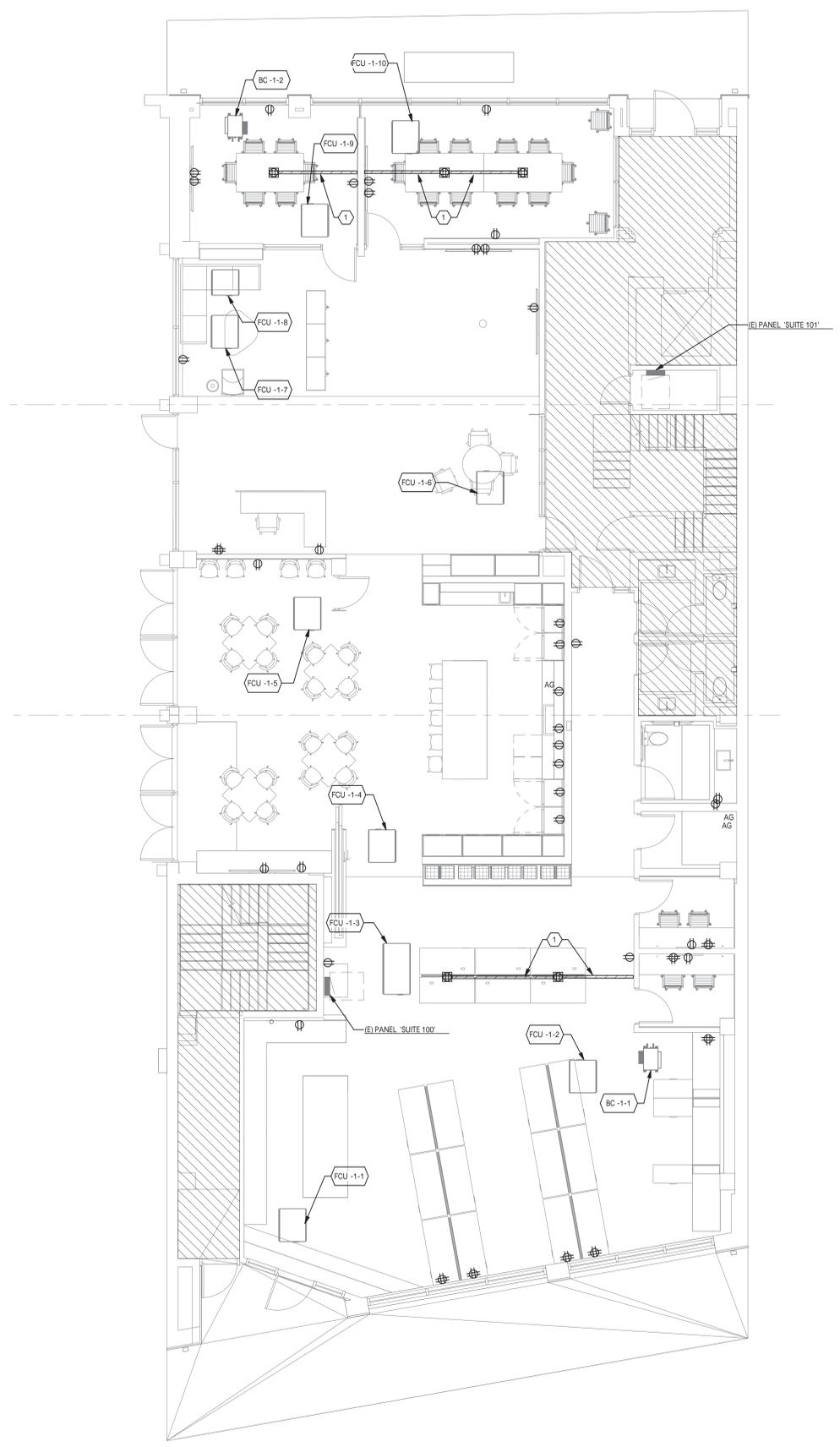
REVISIONS		
NO.	DATE	DESCRIPTION

Project Status

FLOOR PLAN - 1ST
 FLOOR - POWER

E301

SHEET KEYNOTES
 1. PROVIDE SURFACE MOUNED RACEWAY, CONNECTRAC FLEX SERIES OR EQUAL.



1 FLOOR PLAN - 1ST FLOOR - POWER
 0' 4' 8' 12'
 3/16" = 1'-0"

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DATE	ISSUE

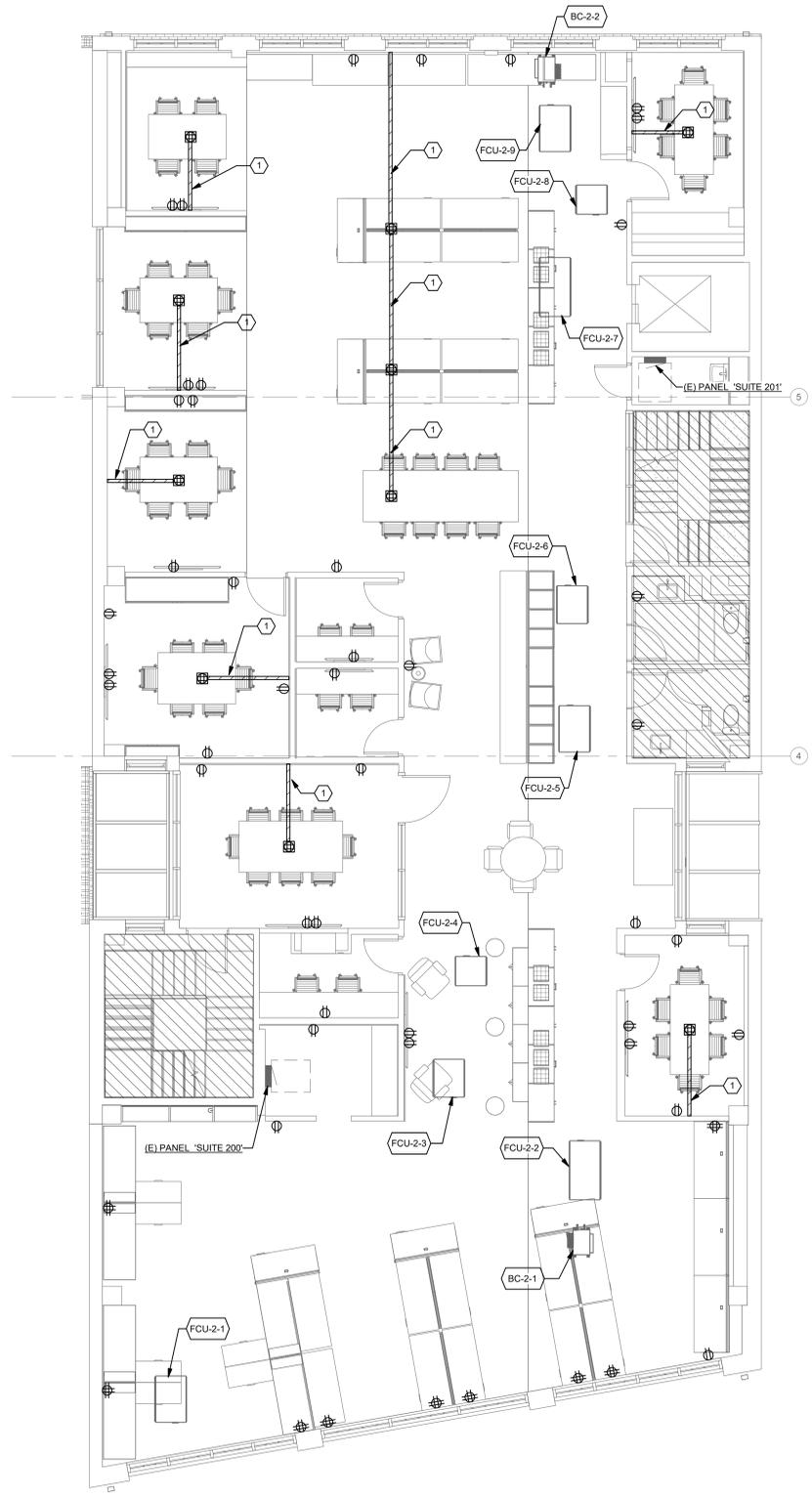
REVISIONS		
NO.	DATE	DESCRIPTION

Project Status

FLOOR PLAN - 2ND
 FLOOR - POWER

E302

SHEET KEYNOTES
 1. PROVIDE SURFACE MOUNED RACEWAY, CONNECTRAC FLEX SERIES OR EQUAL.



1 FLOOR PLAN - 2ND FLOOR - POWER
 3/16" = 1'-0"

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Issue Date LIF PROJ. NO. 2018TX
 PROJ. ARCHITECT DRAWN BY: Author

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DATE	ISSUE

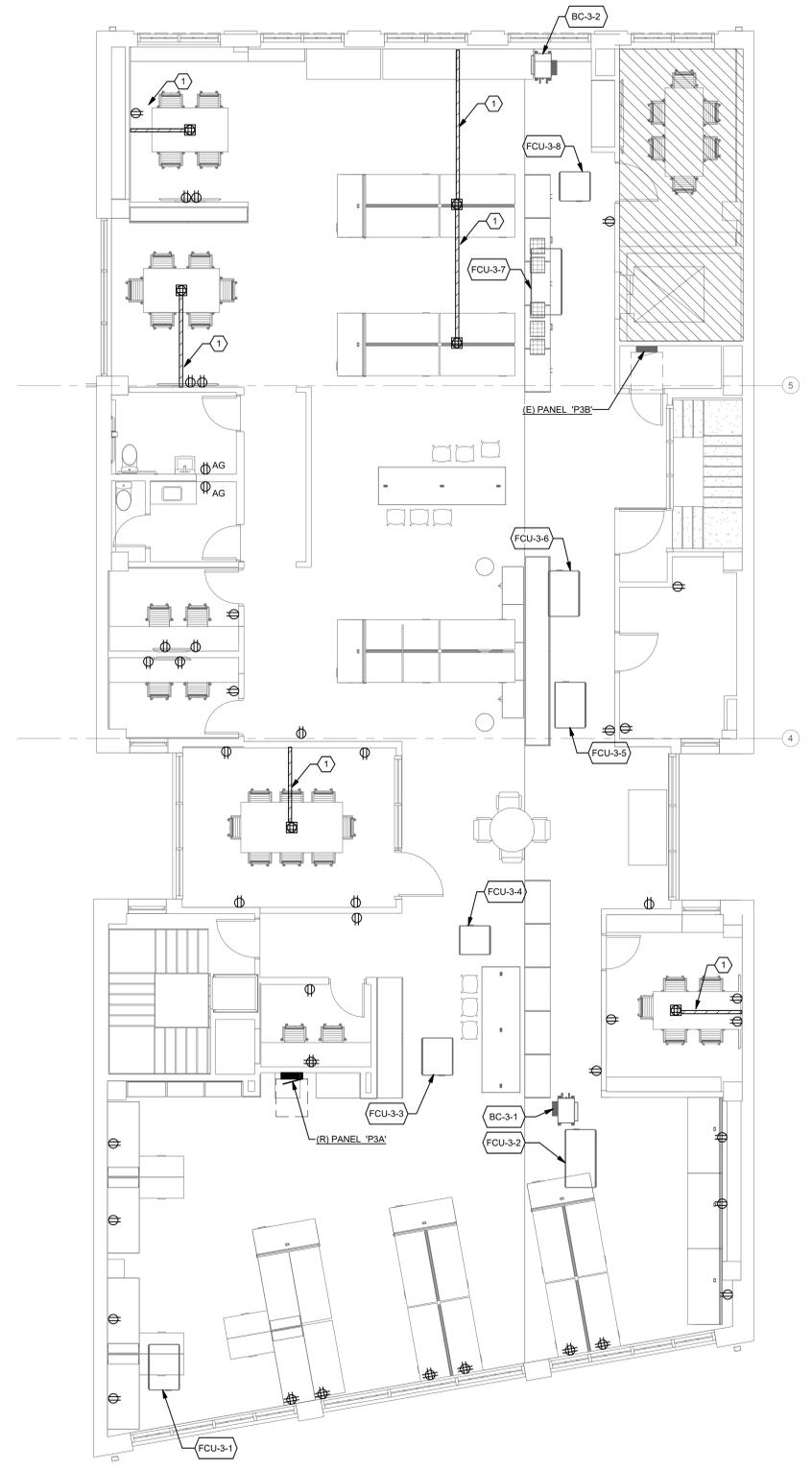
REVISIONS		
NO.	DATE	DESCRIPTION

Project Status

FLOOR PLAN - 3RD
 FLOOR - POWER

E303

SHEET KEYNOTES
 1. PROVIDE SURFACE MOUNED RACEWAY, CONNECTRAC FLEX SERIES OR EQUAL.

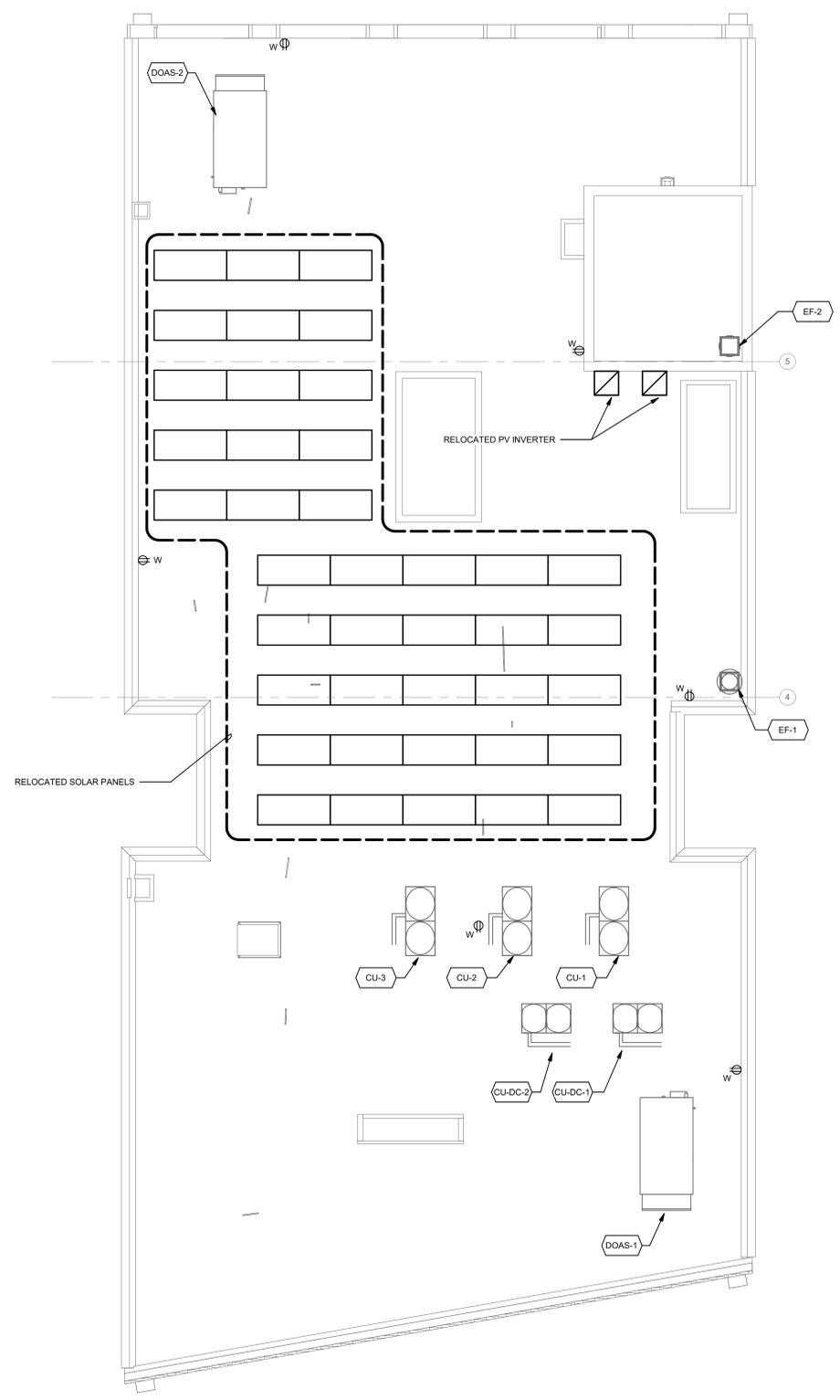


1 FLOOR PLAN - 3RD FLOOR - POWER
 0' 4' 8' 12'
 3/16" = 1'-0"

NOT FOR
 REGULATORY
 APPROVAL
 PERMITTING
 OR
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Issue Date LIF PROJ. NO. 2018TX
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DATE	ISSUE

REVISIONS		
NO.	DATE	DESCRIPTION

Project Status

ROOF PLAN - POWER

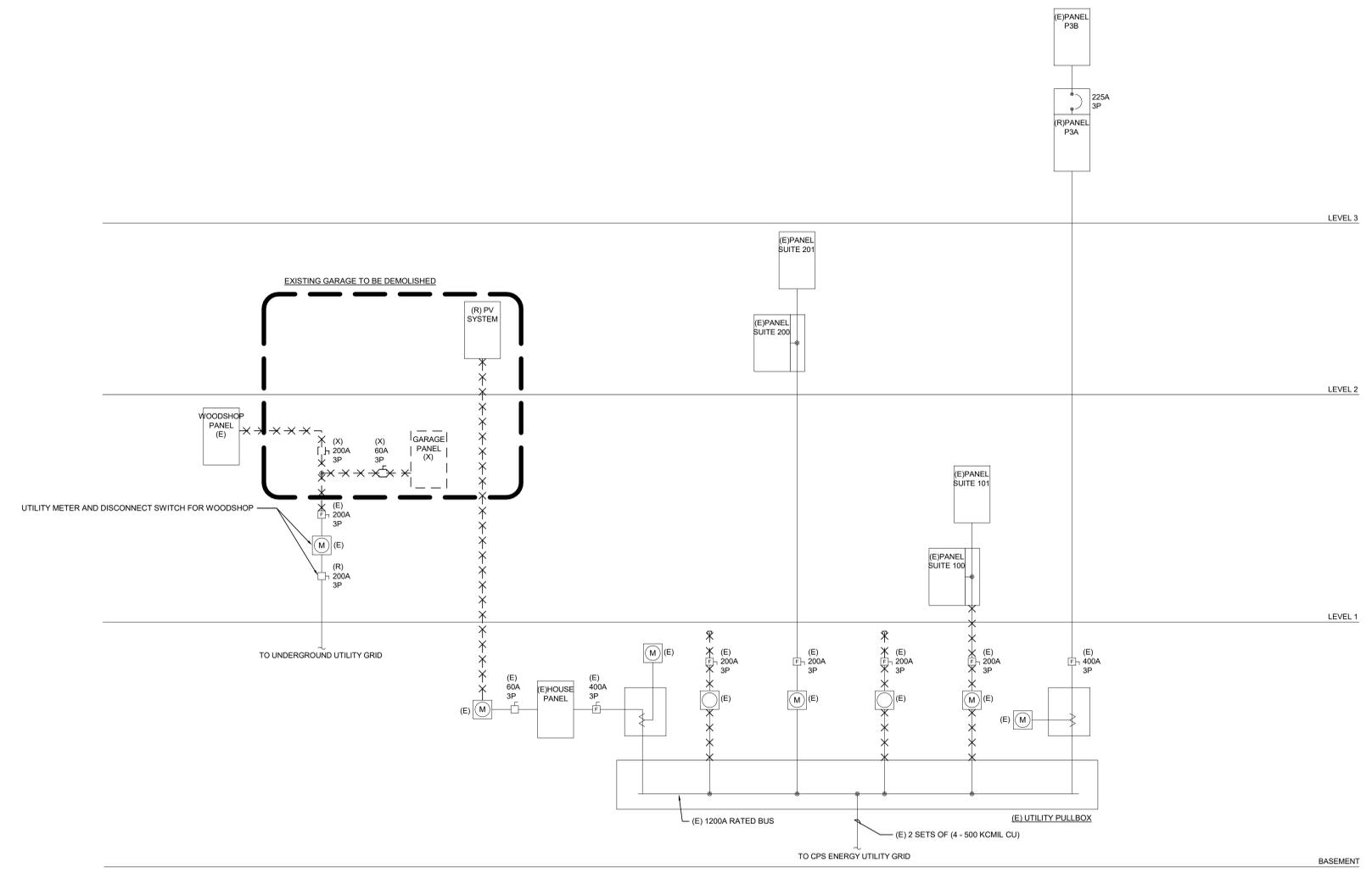
E304

1 ROOF PLAN - POWER
 0' 4' 8' 12'
 3/16" = 1'-0"

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 OR
 CONSTRUCTION

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1 SINGLE LINE DIAGRAM - DEMOLITION
 NO SCALE

Issue Date LIF PROJ. NO. 20198TX
 PROJ. ARCHITECT DRAWN BY: Author

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Project Status

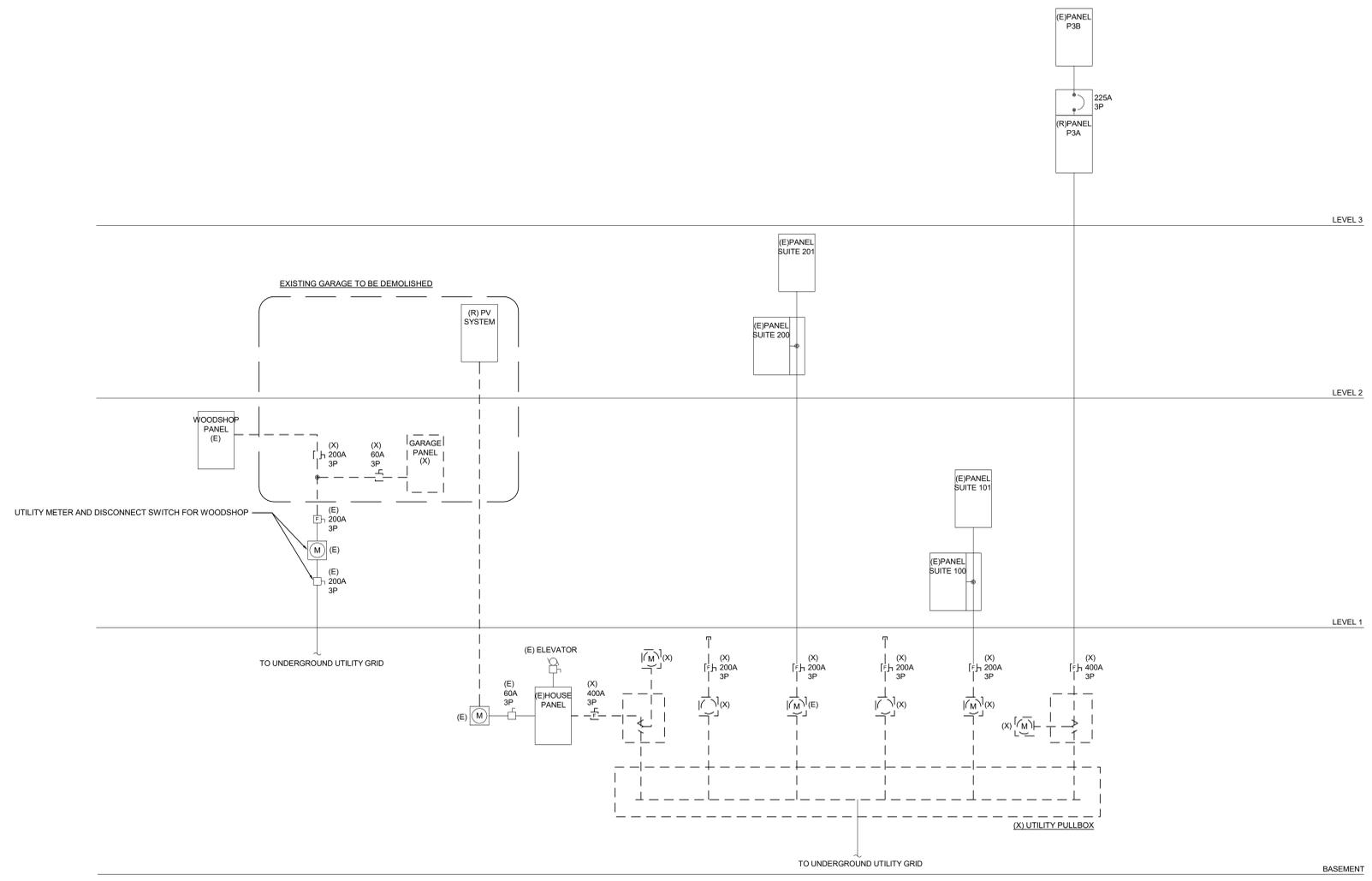
SINGLE LINE
 DIAGRAMS -
 ELECTRICAL

E501

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 REGULATORY
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 OR
 CONSTRUCTION

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1 SINGLE LINE DIAGRAM - DEMOLITION - ADD ALTERNATE
 NO SCALE

Issue Date: LIF PROJ. NO. 2018TX
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DATE	ISSUE

REVISIONS		
NO.	DATE	DESCRIPTION

Project Status

SINGLE LINE
 DIAGRAMS -
 ELECTRICAL

E503

PLUMBING FIXTURE SCHEDULE

SYMBOL	FIXTURE TYPE	DESCRIPTION	BASIS OF DESIGN				CONNECTION				NOTES
			MFR	MODEL	W	V	CW	HW			
(E) HB	EXISTING HOSE BIBB	EXISTING HOSE BIBB	(E)	(E)							
(E) SH	EXISTING SHOWER	EXISTING SHOWER	(E)	(E)							
L-1	LAVATORY	UNDERCOUNTER MOUNTED, VITREOUS CHINA, OVAL, FRONT OVERFLOW	AMERICAN STANDARD	497.221	FAUCET (SENSOR - BATTERY, 0.35 GPM); CHICAGO EBR-411D-11ABCP. PROVIDE WITH MIXING VALVE. SEE PLUMBING DEVICES SCHEDULE FOR MIXING VALVE(S).	1-1/2"	1-1/2"	1/2"	1/2"		
(E) L	EXISTING LAVATORY	EXISTING LAVATORY SINK W/ NEW THERMOSTATIC MIXING VALVE	(E)	(E)	PROVIDE WITH MIXING VALVE. SEE PLUMBING DEVICES SCHEDULE FOR MIXING VALVE(S).	(E)	(E)	(E)	(E)		
S-1	SINK	COUNTERTOP, SINGLE BOWL, 18 GAUGE STAINLESS STEEL, 15-INCHES X 22-INCHES X 6-INCHES DEEP, 18-INCH MINIMUM CABINET SIZE, 3-HOLE PUNCH, BARRIER FREE	ELKAY	LRAD152260	KITCHEN FAUCET (SINGLE LEVER HANDLE, 1.5GPM); CHICAGO 431-ABCP	2"	1-1/2"	3/4"	3/4"		
S-2	SINK	COUNTERTOP, DOUBLE BOWL, 18 GAUGE STAINLESS STEEL, 33-INCHES X 19-1/2-INCHES X 6-INCHES DEEP, 36-INCH MINIMUM CABINET SIZE, 3-HOLE PUNCH	ELKAY	LRAD331960	KITCHEN FAUCET (SINGLE LEVER HANDLE, 1.5GPM); CHICAGO 431-ABCP	2"	1-1/2"	3/4"	3/4"		
(E) WC	EXISTING WATER CLOSET	EXISTING WATER CLOSET	(E)	(E)		(E)	(E)	(E)	--		
WC-1	WATER CLOSET	TANK TYPE, VITREOUS CHINA, ELONGATED, PRESSURE ASSIST, 1.1 GPF	AMERICAN STANDARD	2467.100	SEAT (COMMERCIAL WEIGHT, HEAVY-DUTY SOLID PLASTIC WITH STAINLESS STEEL CHECK HINGE); CHURCH 9400SSCT	4"	2"	3/4"	--		

NOTES:
 1. SEE ARCHITECTURAL DRAWINGS FOR ALL FIXTURE MOUNTING HEIGHTS AND LOCATIONS.
 * UNLESS NOTED OTHERWISE ON DRAWINGS

PLUMBING DEVICES SCHEDULE

SYMBOL	DESCRIPTION	BASIS OF DESIGN		CONNECTION		NOTES
		MFR	MODEL	W	V	
TMV-1	THERMOSTATIC MIXING VALVE	WATTS	LFG480	--	1/2"	PROVIDE AT PUBLIC LAVATORIES. SET OUTLET TEMPERATURE TO 110°F.

NOTES:

EXISTING WATER HEATER SCHEDULE

SYMBOL	EQUIPMENT TYPE	LOCATION / SERVING	BASIS OF DESIGN		TANK CAPACITY (GALLONS)	ELECTRICAL				COMMENTS
			MFR	MODEL		VOLTS	PH	AMPS	KW	
(E) WH	ELECTRIC, TANK-TYPE WATER HEATER	BASEMENT	RHEEM	82V120-2	120	208	1	21.7	4500	MODIFY OUTLET TEMPERATURE TO 140 DEG F.

NOTES:

PUMP SCHEDULE

SYMBOL	EQUIPMENT TYPE	LOCATION / SERVING	BASIS OF DESIGN		FLOW RATE (GPM)	HEAD (FT H2O)	RPM	ELECTRICAL					COMMENTS
			MFR	MODEL				VOLTS	PH	AMPS	WATTS	HP	
CDP-1	CONDENSATE PUMP	SERVER ROOM FAN COIL UNITS	LITTLE GIANT	VCMX-26ULS	60 GPM	10	-	115	1	1.5	130		

NOTES:

PIPE MATERIAL SPECIFICATIONS

SANITARY WASTE & VENT (ABOVE GRADE)	"NO-HUB" CAST IRON SOIL PIPE AND FITTINGS WITH HEAVY-DUTY COUPLINGS HUSKY SD4000 OR CLAMP, ALL HI-TORG-125, FM 1680, CLASS 1.
SANITARY WASTE & VENT (BELOW GRADE)	"NO-HUB" CAST IRON SOIL PIPE AND FITTINGS WITH HEAVY-DUTY COUPLINGS HUSKY SD4000 OR CLAMP, ALL HI-TORG-125, FM 1680, CLASS 1.
DOMESTIC WATER (ABOVE GRADE)	TYPE "L" COPPER TUBING, WROUGHT COPPER OR CAST BRONZE SWEAT FITTINGS L PIPING 2-1/2 INCHES AND SMALLER. SOLDERED (95/5 SOLDER) JOINTS.
DOMESTIC WATER (BELOW GRADE)	TYPE "K" COPPER TUBING WITH BRAZED JOINTS.
PRIMER PIPING (ABOVE & BELOW GRADE)	TYPE "L" HARD-DRAWN COPPER TUBING WITH WROUGHT SWEAT FITTINGS AND SOLDERED JOINTS.
CONDENSATE DRAIN PIPING	TYPE "M" COPPER TUBING AND WROUGHT COPPER OR CAST BRONZE SWEAT FITTINGS (95/5 SOLDERED JOINTS). ON SIZES 1-1/4 INCHES OR LARGER, PROVIDE "DWV" PATTERN DRAINAGE FITTINGS.

NOTES:
 1. SEE SPECS FOR ADDITIONAL INFORMATION.
 2. PRESSURE LOCK TYPE AND PRESSED FITTING CONNECTIONS ARE NOT PERMITTED.
 3. DIELECTRIC UNIONS SHALL BE USED AT ALL POINTS OF CONNECTIONS WHERE THERE IS DISSIMILARITY OF METALS.
 4. ABS AND PVC INSTALLATIONS ARE NOT ALLOWED.



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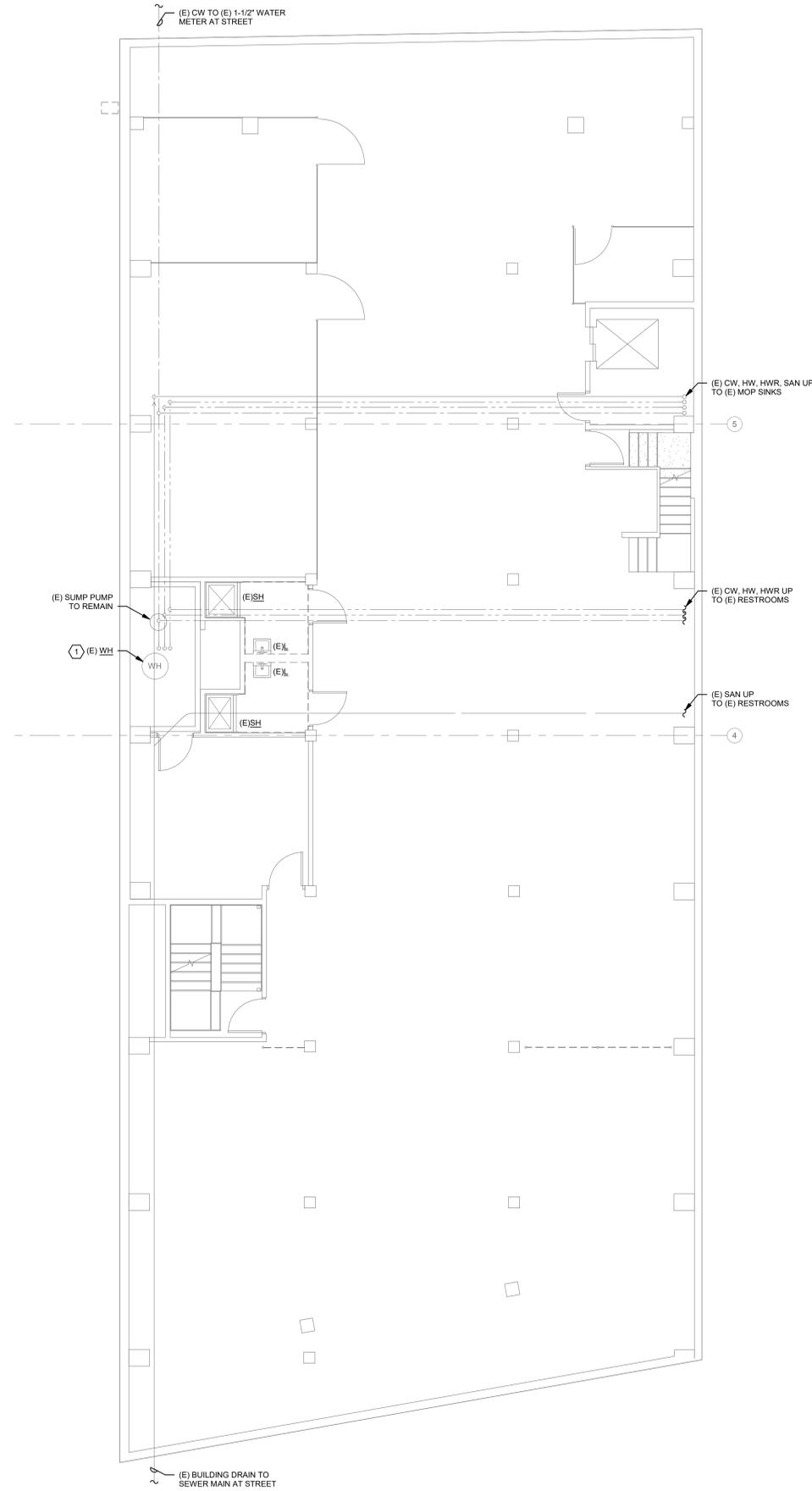
Project Status

SCHEDULES -
PLUMBING

P002

SHEET KEYNOTES

- (E) 4.5KW, 120 GALLON ELECTRIC, TANK-TYPE WATER HEATER AND CIRCULATION PUMP TO REMAIN.



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Project Status

**DEMOLITION FLOOR
 PLAN - BASEMENT -
 PLUMBING**

PD200

1 DEMOLITION FLOOR PLAN - BASEMENT - PLUMBING
 0' 4' 8' 12'
 3/16" = 1'-0"

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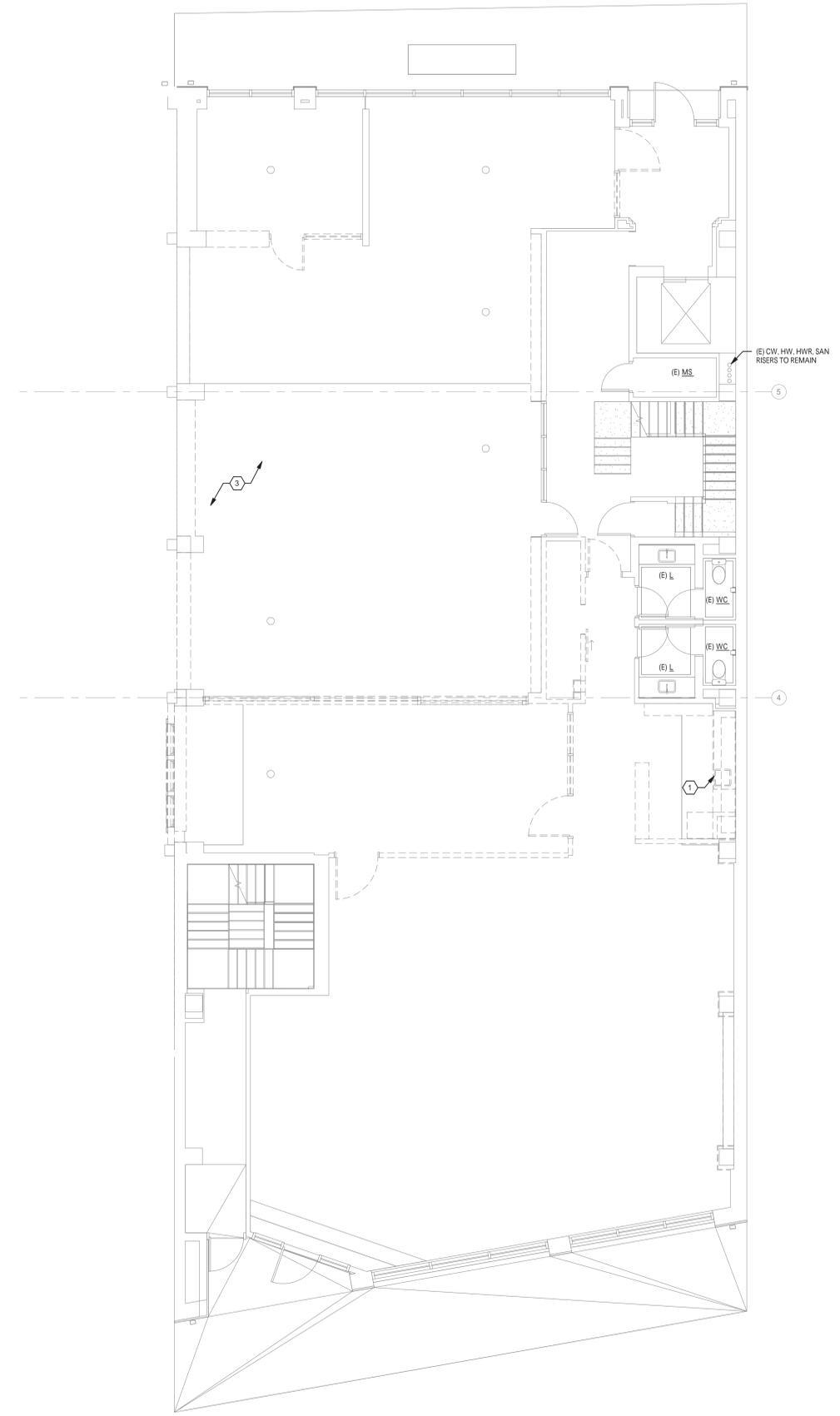
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SHEET KEYNOTES

1. REMOVE ALL (E) PLUMBING FIXTURES IN (E) BREAK ROOM. REMOVE (E) PLUMBING SERVICES AND CAP AND SEAL BEHIND ARCHITECTURAL FINISHES.
2. (E) HOSE BIBB IN (E) PARKING GARAGE TO BE REMOVED AND RE-INSTALLED AT OFFICE BUILDING. REMOVE (E) PLUMBING SERVICES AS REQUIRED AND CAP FOR RE-CONNECTION. SEE P201.
3. FIELD VERIFY EXACT LOCATIONS OF (E) PLUMBING RISERS SERVING (E) 3RD FLOOR RESTROOMS. REMOVE (E) PLUMBING RISERS AS REQUIRED FOR DEMOLITION OF (E) WALLS AND CAP FOR RE-CONNECTION. SEE P201.
4. COORDINATE W/ LOCAL GAS COMPANY TO REMOVE (E) GAS METER AT (E) WOOD SHOP BUILDING. REMOVE ALL GAS PIPING AND GAS EQUIPMENT IN (E) WOOD SHOP BUILDING.
5. REMOVE ALL (E) PIPING ABOVE GRADE IN (E) PARKING GARAGE. CAP AND ABANDON (E) PIPING BELOW GRADE AS REQUIRED.



1 DEMOLITION FLOOR PLAN - 1ST FLOOR - PLUMBING
 0' 4' 8' 12'
 3/16" = 1'-0"

Issue Date: LIF PROJ. NO. 2018TX
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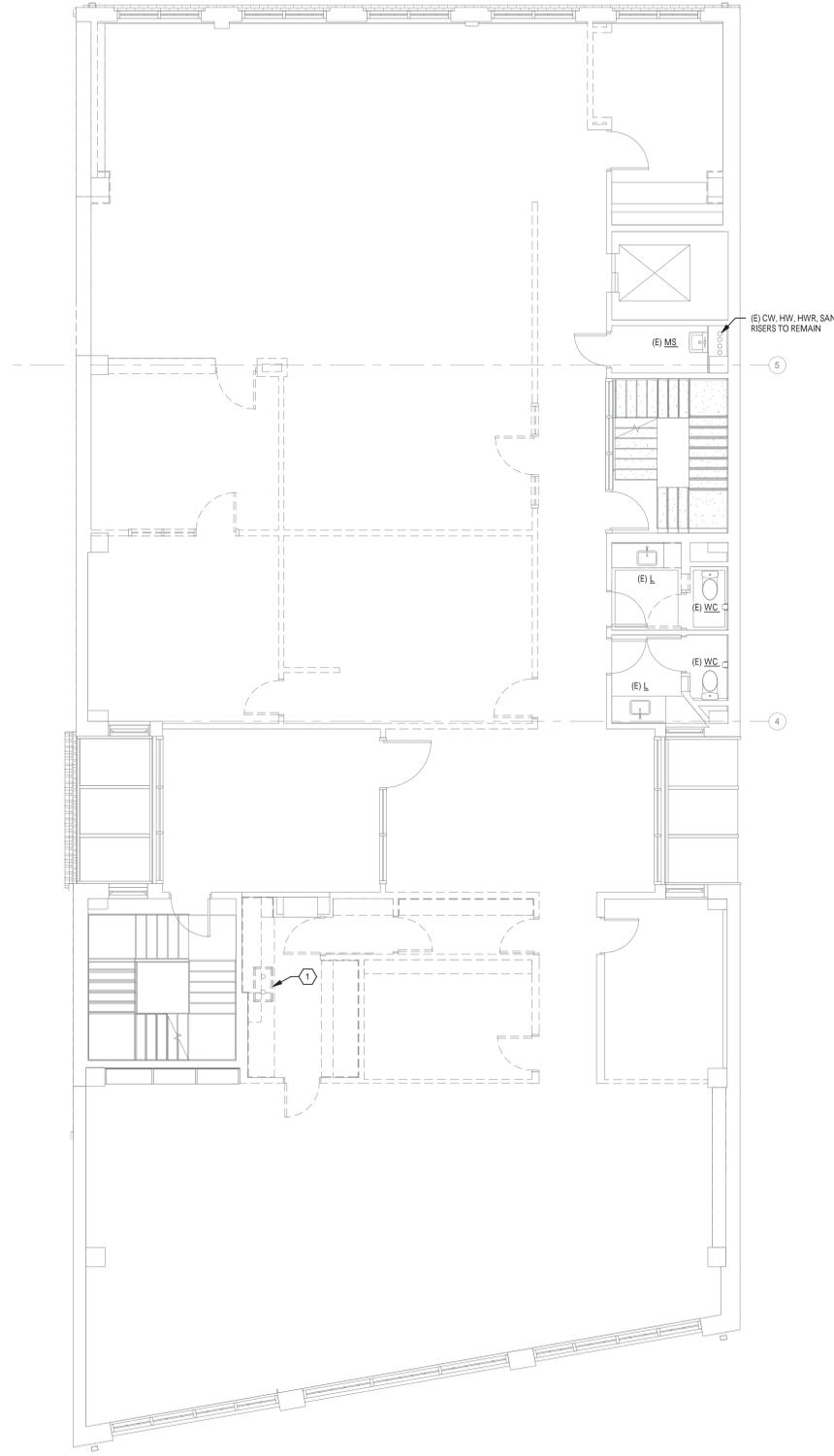
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Project Status
 DEMOLITION FLOOR
 PLAN - 1ST FLOOR -
 PLUMBING
PD201

SHEET KEYNOTES

1. REMOVE ALL (E) PLUMBING FIXTURES IN (E) BREAK ROOM. REMOVE (E) PLUMBING SERVICES AND CAP AND SEAL BEHIND ARCHITECTURAL FINISHES.



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Project Status

**DEMOLITION FLOOR
 PLAN - 2ND FLOOR -
 PLUMBING**

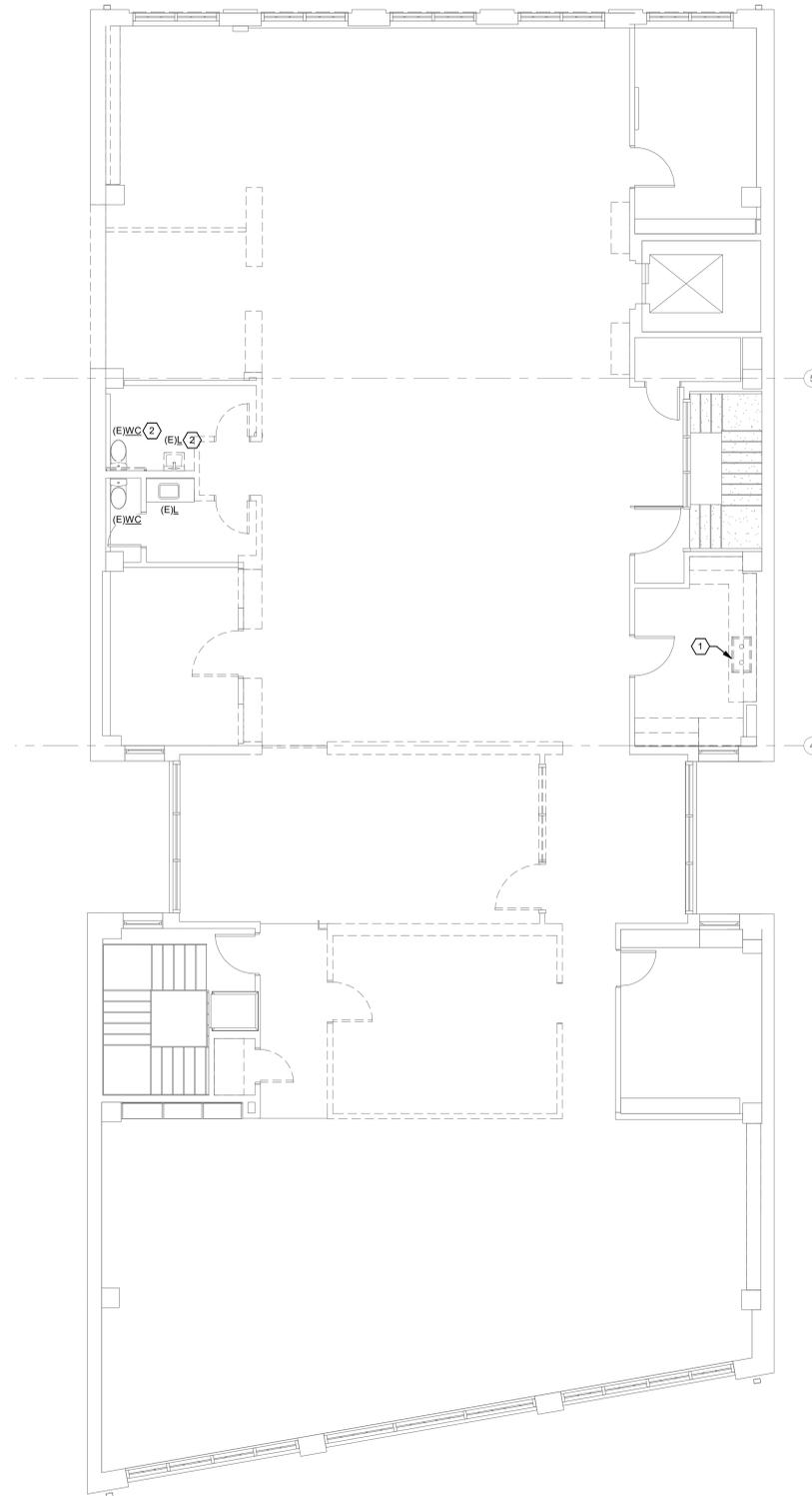
PD202

1 DEMOLITION FLOOR PLAN - 2ND FLOOR - PLUMBING
 0' 4' 8' 12'
 3/16" = 1'-0"

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SHEET KEYNOTES

1. REMOVE ALL (E) PLUMBING FIXTURES IN (E) BREAK ROOM. REMOVE (E) PLUMBING SERVICES AND CAP AND SEAL BEHIND ARCHITECTURAL FINISHES.
2. (E) PLUMBING FIXTURES IN (E) RESTROOM TO BE REMOVED AND RE-INSTALLED FOR ADA CLEARANCES. CAP (E) PLUMBING SERVICES FOR RE-CONNECTION. SEE P203.



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Project Status

**DEMOLITION FLOOR
 PLAN - 3RD FLOOR -
 PLUMBING**

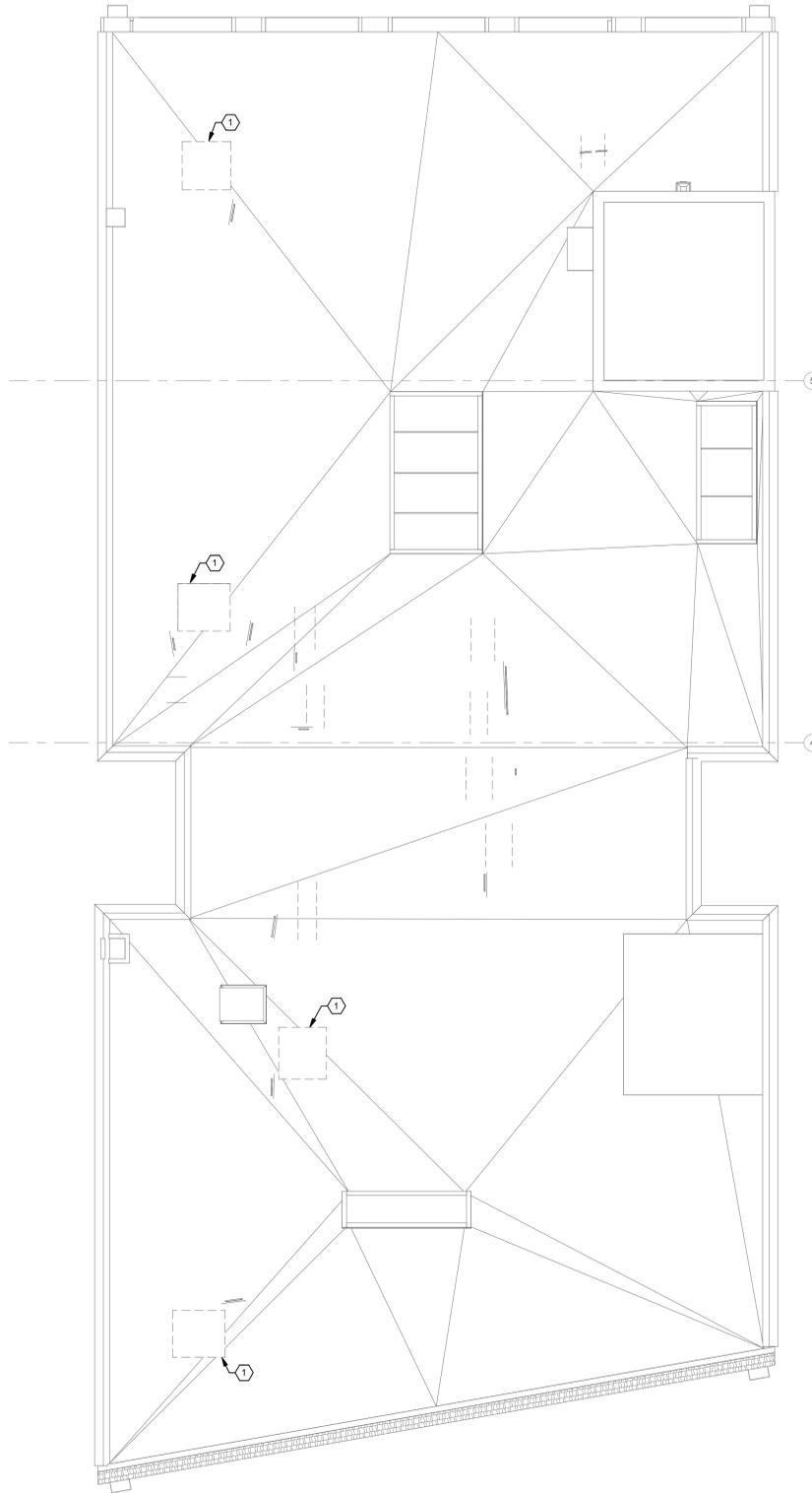
PD203

1 DEMOLITION FLOOR PLAN - 3RD FLOOR - PLUMBING
 0' 4' 8' 12'
 3/16" = 1'-0"

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SHEET KEYNOTES

- 1. REMOVE (E) CONDENSATE PIPING AT (E) ROOFTOP HVAC UNITS.



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Project Status

**DEMOLITION ROOF
 PLAN - PLUMBING**

PD204

1 DEMOLITION ROOF PLAN - PLUMBING
 0' 4' 8' 12'
 3/16" = 1'-0"

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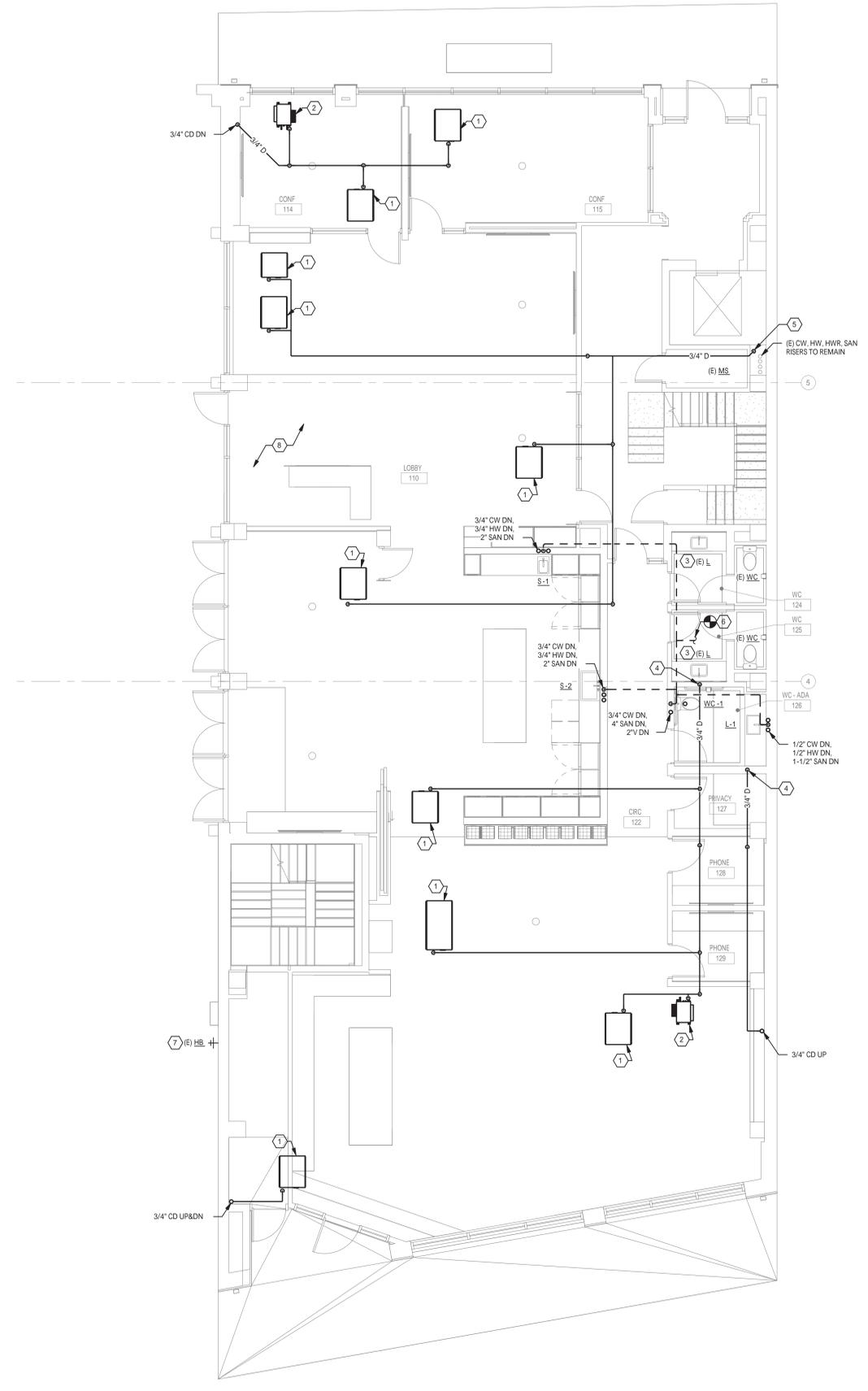
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SHEET KEYNOTES

1. FANCOIL UNIT W/ INTEGRAL CONDENSATE LIFT. CONNECT 3/4" CD TO FANCOIL UNIT AND RUN IN CEILING SPACE. SEE MECHANICAL FOR EXACT LOCATION OF FAN COIL UNIT.
2. VRF BRANCH CONTROLLER W/ CONDENSATE PUMP. RUN 1/4" TUBING FROM CONDENSATE PUMP AND ROLL INTO TOP OF 3/4" CD. SEE MECHANICAL FOR EXACT LOCATION OF BRANCH CONTROLLER.
3. PROVIDE AND INSTALL (N) THERMOSTATIC MIXING VALVE TMV-1 AT (E) LAV AND SET OUTLET TEMPERATURE TO 110 DEG F.
4. DROP 3/4" CD DN IN WALL AND CONNECT TO TAILPIECE AT SINK.
5. DROP 3/4" CD DN IN CHASE AND SPILL TO (E) MOP SINK W/ AIR GAP.
6. CONNECT (N) 2" VENT TO (E) VENT IN (E) RESTROOM. FIELD VERIFY EXACT SIZE AND LOCATION OF (E) VENT.
7. RE-INSTALL (E) HOSE BIBB AT OFFICE BUILDING. MODIFY (E) PLUMBING SERVICES AS REQUIRED FOR RE-CONNECTION. FIELD VERIFY EXACT LOCATION. SEE PD201.
8. FIELD VERIFY EXACT LOCATIONS OF (E) PLUMBING RISERS AND RE-LOCATE AS REQUIRED FOR DEMOLITION OF (E) WALLS. SEE PD201.



1 FLOOR PLAN - 1ST FLOOR - PLUMBING
 0' 4' 8' 12'
 3/16" = 1'-0"

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Project Status
 FLOOR PLAN - 1ST
 FLOOR - PLUMBING

P201

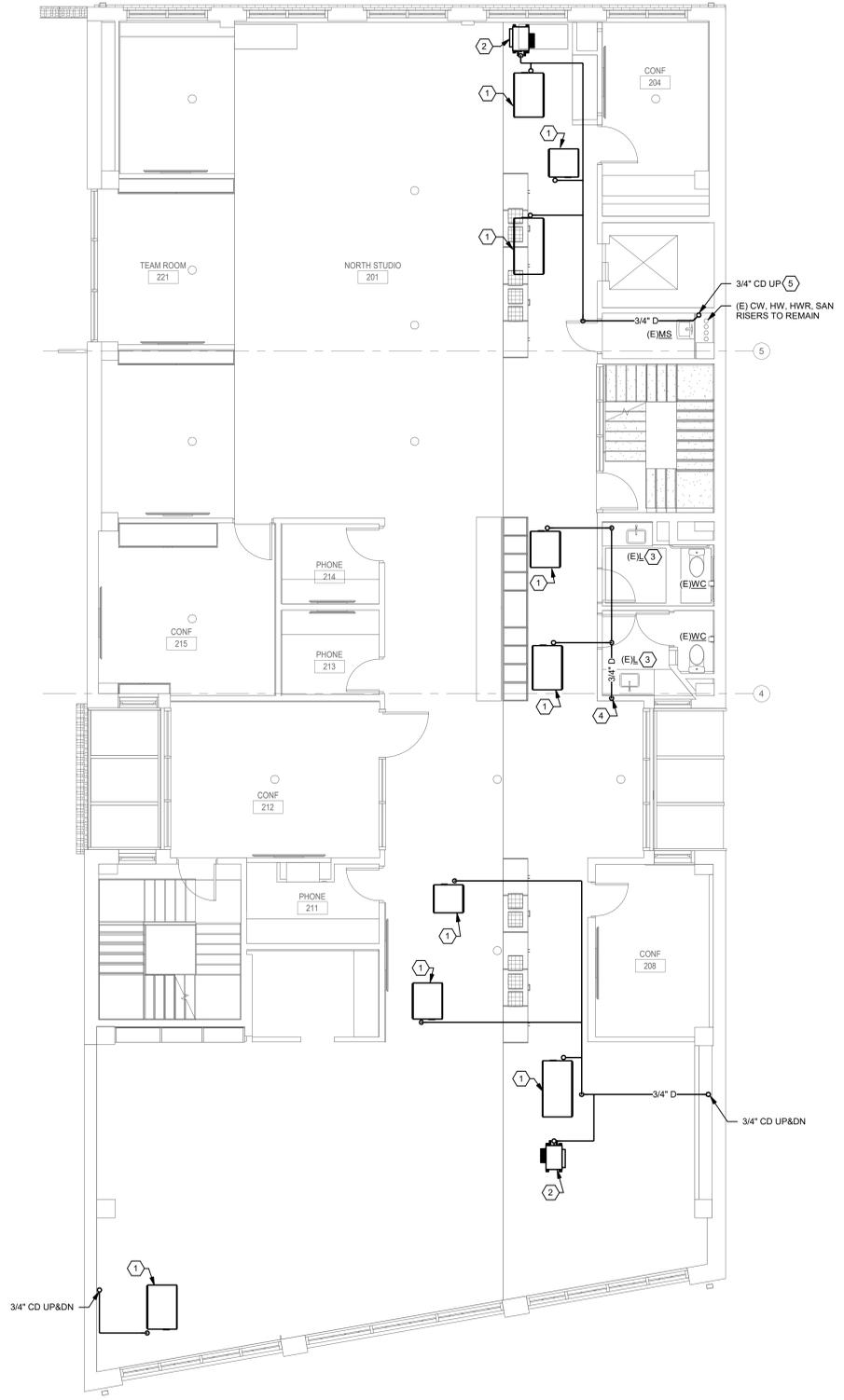
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SHEET KEYNOTES

1. FANCOIL UNIT W/ INTEGRAL CONDENSATE LIFT. CONNECT 3/4" CD TO FANCOIL UNIT AND RUN IN CEILING SPACE. SEE MECHANICAL FOR EXACT LOCATION OF FAN COIL UNIT.
2. VRF BRANCH CONTROLLER W/ CONDENSATE PUMP. RUN 1/4" TUBING FROM CONDENSATE PUMP AND ROLL INTO TOP OF 3/4" CD. SEE MECHANICAL FOR EXACT LOCATION OF BRANCH CONTROLLER.
3. PROVIDE AND INSTALL (N) THERMOSTATIC MIXING VALVE TMV-1 AT (E) LAV AND SET OUTLET TEMPERATURE TO 110 DEG F.
4. DROP 3/4" CD DN IN WALL AND CONNECT TO TAILPIECE AT SINK.
5. DROP 3/4" CD DN IN CHASE AND SPILL TO (E) MOP SINK W/ AIR GAP.



1 FLOOR PLAN - 2ND FLOOR - PLUMBING
 0' 4' 8' 12'
 3/16" = 1'-0"

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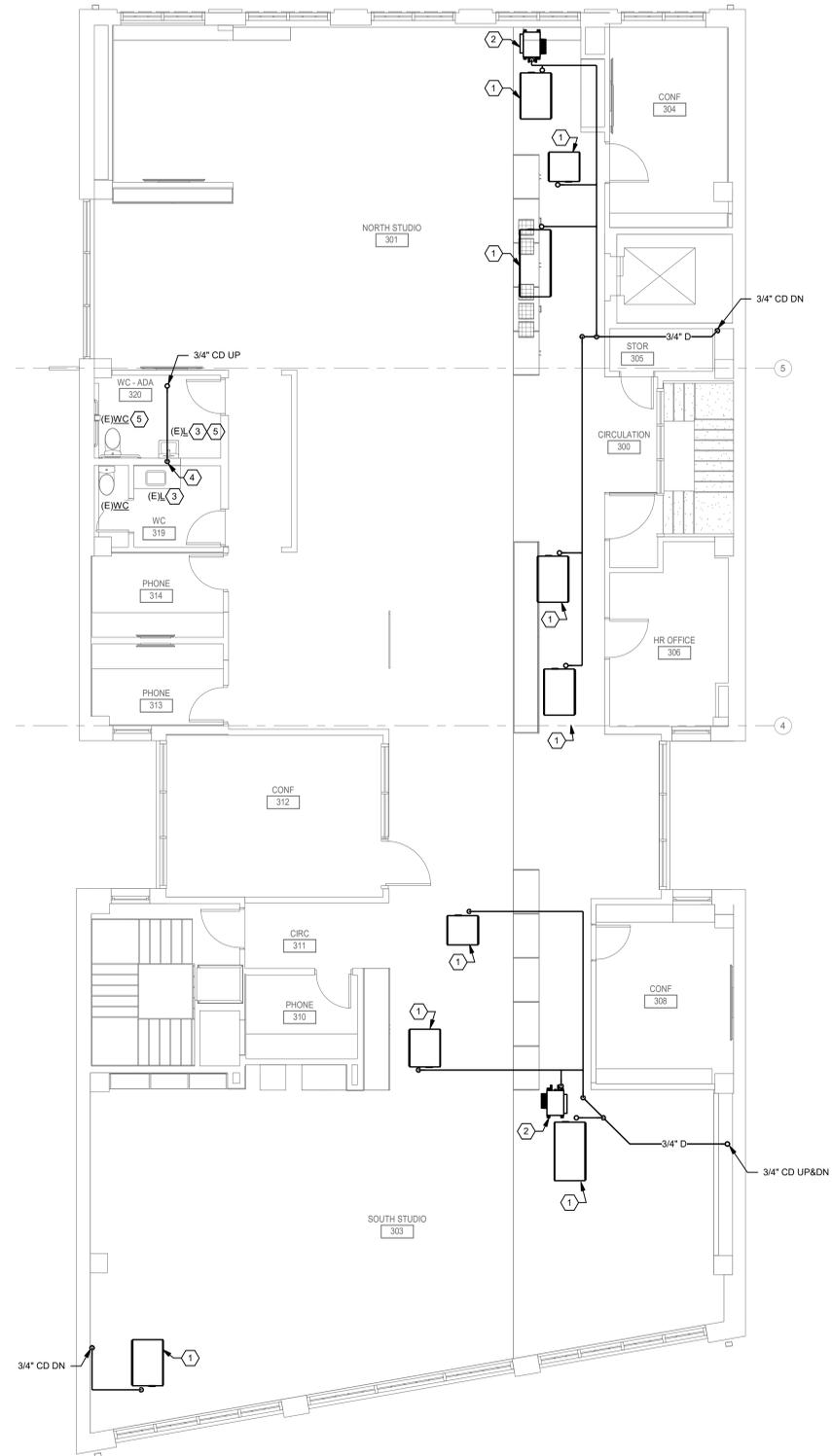
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Project Status
 FLOOR PLAN - 2ND
 FLOOR - PLUMBING

P202

SHEET KEYNOTES

1. FANCOIL UNIT W/ INTEGRAL CONDENSATE LIFT. CONNECT 3/4" CD TO FANCOIL UNIT AND RUN IN CEILING SPACE. SEE MECHANICAL FOR EXACT LOCATION OF FAN COIL UNIT.
2. VRF BRANCH CONTROLLER W/ CONDENSATE PUMP. RUN 1/4" TUBING FROM CONDENSATE PUMP AND ROLL INTO TOP OF 3/4" CD. SEE MECHANICAL FOR EXACT LOCATION OF BRANCH CONTROLLER.
3. PROVIDE AND INSTALL (N) THERMOSTATIC MIXING VALVE TMV-1 AT (E) LAV AND SET OUTLET TEMPERATURE TO 110 DEG F.
4. DROP 3/4" CD DN IN WALL AND CONNECT TO TAILPIECE AT SINK.
5. RE-INSTALL (E) PLUMBING FIXTURES IN (E) RESTROOM FOR ADA CLEARANCES. MODIFY (E) PLUMBING SERVICES AS REQUIRED FOR RE-CONNECTION. SEE PD203.



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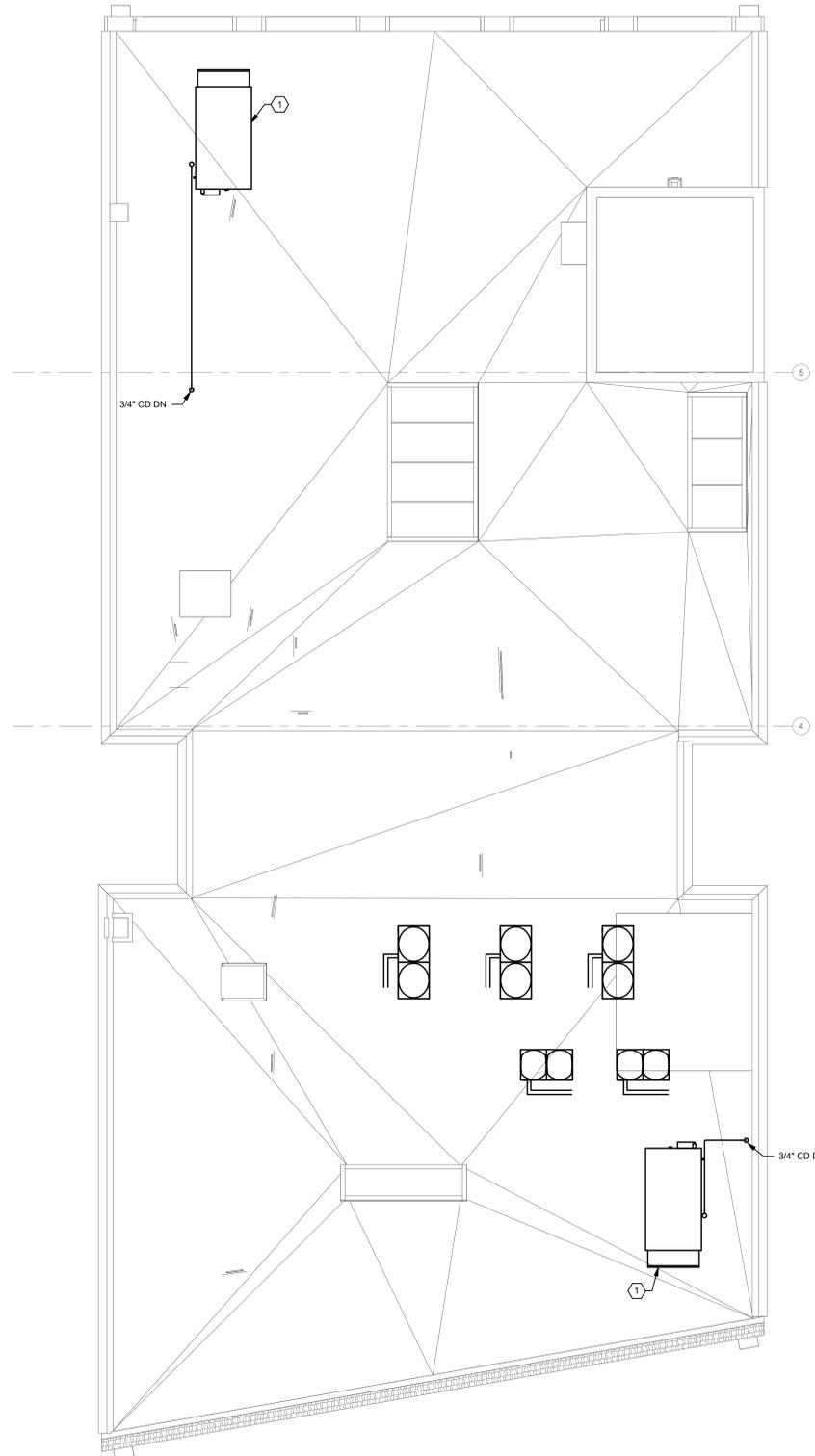
FLOOR PLAN - 3RD FLOOR - PLUMBING

P203

1 FLOOR PLAN - 3RD FLOOR - PLUMBING
 0' 4' 8' 12'
 3/16" = 1'-0"

SHEET KEYNOTES

- CONNECT 3/4" CONDENSATE DRAIN W/ "P" TRAP, CLEANOUT, AND FLEX CONNECTION TO ROOFTOP HVAC UNIT. SEE MECHANICAL FOR EXACT LOCATION.



1 ROOF PLAN - PLUMBING
 0' 4' 8' 12'
 3/16" = 1'-0"

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Project Status

**ROOF PLAN -
 PLUMBING**

P204

Panel 'PBA'											
120/208V, 3 Ph., 4 W.; 400A Bus with 400A Main Circuit Breaker Surface Mounted Panelboard											
Ckt. No.	Description / Location	Load (VA) / Type	C.B. A/Pole	Note	Ph.	Note	C.B. A/Pole	Load (VA) / Type	Description / Location	Ckt. No.	
1	CRAC-1									2	
3										4	
5										6	
7	CRAC-2									8	
9										10	
11										12	
13										14	
15										16	
17										18	
19										20	
21										22	
23										24	
25										26	
27										28	
29										30	
31										32	
33										34	
35										36	
37										38	
39										40	
41										42	

Total Connected Load: Ph. A 0 VA 0 Amps Panel Connected Load: 0.0 KVA 0.0 Amps
 Total Connected Load: Ph. B 0 VA 0 Amps Sub-Fed Connected Load: 0.0 KVA 0.0 Amps
 Total Connected Load: Ph. C 0 VA 0 Amps **Total Demand Load: 0.0 KVA 0.0 Amps**

Notes:
 1. Accessories: Provide Fully Rated Breakers
 2.
 3.
 4.
 5.

(E) Panel 'Suite 200'											
120/208V, 3 Ph., 4 W.; 225A Bus with 225A Main Circuit Breaker Surface Mounted Panelboard											
Ckt. No.	Description / Location	Load (VA) / Type	C.B. A/Pole	Note	Ph.	Note	C.B. A/Pole	Load (VA) / Type	Description / Location	Ckt. No.	
1										2	
3										4	
5										6	
7										8	
9										10	
11										12	
13										14	
15										16	
17										18	
19										20	
21										22	
23										24	
25										26	
27										28	
29										30	
31										32	
33										34	
35										36	
37										38	
39										40	
41										42	

Total Connected Load: Ph. A 0 VA 0 Amps Panel Connected Load: 0.0 KVA 0.0 Amps
 Total Connected Load: Ph. B 0 VA 0 Amps Sub-Fed Connected Load: 0.0 KVA 0.0 Amps
 Total Connected Load: Ph. C 0 VA 0 Amps **Total Demand Load: 0.0 KVA 0.0 Amps**

Notes:
 1. Accessories: Provide Fully Rated Breakers
 2.
 3.
 4.
 5.

Panel 'PBB'											
120/208V, 3 Ph., 4 W.; 225A Bus with Main Lug Only Surface Mounted Panelboard											
Ckt. No.	Description / Location	Load (VA) / Type	C.B. A/Pole	Note	Ph.	Note	C.B. A/Pole	Load (VA) / Type	Description / Location	Ckt. No.	
1										2	
3										4	
5										6	
7										8	
9										10	
11										12	
13										14	
15										16	
17										18	
19										20	
21										22	
23										24	
25										26	
27										28	
29										30	
31										32	
33										34	
35										36	
37										38	
39										40	
41										42	

Total Connected Load: Ph. A 0 VA 0 Amps Panel Connected Load: 0.0 KVA 0.0 Amps
 Total Connected Load: Ph. B 0 VA 0 Amps Sub-Fed Connected Load: 0.0 KVA 0.0 Amps
 Total Connected Load: Ph. C 0 VA 0 Amps **Total Demand Load: 0.0 KVA 0.0 Amps**

Notes:
 1. Accessories: Provide Fully Rated Breakers
 2.
 3.
 4.
 5.

(E) Panel 'Suite 201'											
120/208V, 3 Ph., 4 W.; 225A Bus with 225A Main Circuit Breaker Surface Mounted Panelboard											
Ckt. No.	Description / Location	Load (VA) / Type	C.B. A/Pole	Note	Ph.	Note	C.B. A/Pole	Load (VA) / Type	Description / Location	Ckt. No.	
1										2	
3										4	
5										6	
7										8	
9										10	
11										12	
13										14	
15										16	
17										18	
19										20	
21										22	
23										24	
25										26	
27										28	
29										30	
31										32	
33										34	
35										36	
37										38	
39										40	
41										42	

Total Connected Load: Ph. A 0 VA 0 Amps Panel Connected Load: 0.0 KVA 0.0 Amps
 Total Connected Load: Ph. B 0 VA 0 Amps Sub-Fed Connected Load: 0.0 KVA 0.0 Amps
 Total Connected Load: Ph. C 0 VA 0 Amps **Total Demand Load: 0.0 KVA 0.0 Amps**

Notes:
 1. Accessories: Provide Fully Rated Breakers
 2.
 3.
 4.
 5.

(E) Panel 'Suite 100'											
120/208V, 3 Ph., 4 W.; 225A Bus with 225A Main Circuit Breaker Surface Mounted Panelboard											
Ckt. No.	Description / Location	Load (VA) / Type	C.B. A/Pole	Note	Ph.	Note	C.B. A/Pole	Load (VA) / Type	Description / Location	Ckt. No.	
1										2	
3										4	
5										6	
7										8	
9										10	
11										12	
13										14	
15										16	
17										18	
19										20	
21										22	
23										24	
25										26	
27										28	
29										30	
31										32	
33										34	
35										36	
37										38	
39										40	
41										42	

Total Connected Load: Ph. A 0 VA 0 Amps Panel Connected Load: 0.0 KVA 0.0 Amps
 Total Connected Load: Ph. B 0 VA 0 Amps Sub-Fed Connected Load: 0.0 KVA 0.0 Amps
 Total Connected Load: Ph. C 0 VA 0 Amps **Total Demand Load: 0.0 KVA 0.0 Amps**

Notes:
 1. Accessories: Provide Fully Rated Breakers
 2.
 3.
 4.
 5.

(E) Panel 'P3A'											
120/208V, 3 Ph., 4 W.; 400A Bus with 400A Main Circuit Breaker Surface Mounted Panelboard											
Ckt. No.	Description / Location	Load (VA) / Type	C.B. A/Pole	Note	Ph.	Note	C.B. A/Pole	Load (VA) / Type	Description / Location	Ckt. No.	
1										2	
3										4	
5										6	
7										8	
9										10	
11										12	
13										14	
15										16	
17										18	
19										20	
21										22	
23										24	
25										26	
27										28	
29										30	
31										32	
33										34	
35	(E) SPACE								(E) SPACE	36	
37	(E) SPACE								(E) SPACE	38	
39	(E) SPACE								(E) SPACE	40	
41	(E) SPACE								(E) SPACE	42	

Total Connected Load: Ph. A 0 VA 0 Amps Panel Connected Load: 0.0 KVA 0.0 Amps
 Total Connected Load: Ph. B 0 VA 0 Amps Sub-Fed Connected Load: 0.0 KVA 0.0 Amps
 Total Connected Load: Ph. C 0 VA 0 Amps **Total Demand Load: 0.0 KVA 0.0 Amps**

Notes:
 1. Accessories: Provide Fully Rated Breakers
 2.
 3.
 4.
 5.

(E) Panel 'Suite 101'											
120/208V, 3 Ph., 4 W.; 225A Bus with 225A Main Circuit Breaker Surface Mounted Panelboard											
Ckt. No.	Description / Location	Load (VA) / Type	C.B. A/Pole	Note	Ph.	Note	C.B. A/Pole	Load (VA) / Type	Description / Location	Ckt. No.	
1										2	
3										4	
5										6	
7										8	
9										10	
11										12	
13										14	
15										16	
17										18	
19										20	
21										22	
23										24	
25										26	
27										28	
29										30	
31										32	
33										34	
35										36	
37										38	
39										40	
41										42	

Total Connected Load: Ph. A 0 VA 0 Amps Panel Connected Load: 0.0 KVA 0.0 Amps
 Total Connected Load: Ph. B 0 VA 0 Amps Sub-Fed Connected Load: 0.0 KVA 0.0 Amps
 Total Connected Load: Ph. C 0 VA 0 Amps **Total Demand Load: 0.0 KVA 0.0 Amps**

Notes:
 1. Accessories: Provide Fully Rated Breakers
 2.
 3.
 4.
 5.

(E) Panel 'P3B'											
120/208V, 3 Ph., 4 W.; 225A Bus with 225A Main Circuit Breaker Surface Mounted Panelboard											
Ckt. No.	Description / Location	Load (VA) / Type	C.B. A/Pole	Note	Ph.	Note	C.B. A/Pole	Load (VA) / Type	Description / Location	Ckt. No.	
1										2	
3										4	
5										6	
7										8	
9										10	
11										12	
13										14	
15										16	
17										18	
19										20	
21										22	
23										24	