

# HISTORIC AND DESIGN REVIEW COMMISSION

March 15, 2017

Agenda Item No:

**HDRC CASE NO:** 2016-285  
**ADDRESS:** 111 W HOUSTON (FORMERLY 235 W HOUSTON ST) – FROST TOWER  
**LEGAL DESCRIPTION:** NCB: 119 BLK: - LOT: 19 (FROST MOTOR BANK SUBD)  
**ZONING:** D HS RIO-7  
**CITY COUNCIL DIST.:** 1  
**APPLICANT:** Irby Hightower/Alamo Architects  
**OWNER:** WUKDC 1, LP  
**TYPE OF WORK:** Final approval of new construction of a commercial tower and parking structure  
**REQUEST:**

The applicant is requesting a Certificate of Appropriateness for approval to construct an office tower and parking structure on the lot at 111 W Houston Street, formerly addressed as 235 W Houston Street.

## APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 4, Guidelines for New Construction*

### 1. Building and Entrance Orientation

#### A. FAÇADE ORIENTATION

*i. Setbacks*—Align front facades of new buildings with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Use the median setback of buildings along the street frontage where a variety of setbacks exist. Refer to UDC Article 3, Division 2. Base Zoning Districts for applicable setback requirements.

*ii. Orientation*—Orient the front façade of new buildings to be consistent with the predominant orientation of historic buildings along the street frontage.

#### B. ENTRANCES

*i. Orientation*—Orient primary building entrances, porches, and landings to be consistent with those historically found along the street frontage. Typically, historic building entrances are oriented towards the primary street.

### 2. Building Massing and Form

#### A. SCALE AND MASS

*i. Similar height and scale*—Design new construction so that its height and overall scale are consistent with nearby historic buildings. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. In commercial districts, building height shall conform to the established pattern. If there is no more than a 50% variation in the scale of buildings on the adjacent block faces, then the height of the new building shall not exceed the tallest building on the adjacent block face by more than 10%.

*ii. Transitions*—Utilize step-downs in building height, wall-plane offsets, and other variations in building massing to provide a visual transition when the height of new construction exceeds that of adjacent historic buildings by more than one-half story.

*iii. Foundation and floor heights*—Align foundation and floor-to-floor heights (including porches and balconies) within one foot of floor-to-floor heights on adjacent historic structures.

#### B. ROOF FORM

*i. Similar roof forms*—Incorporate roof forms—pitch, overhangs, and orientation—that are consistent with those predominantly found on the block. Roof forms on residential building types are typically sloped, while roof forms on non-residential building types are more typically flat and screened by an ornamental parapet wall.

#### C. RELATIONSHIP OF SOLIDS TO VOIDS

*i. Window and door openings*—Incorporate window and door openings with a similar proportion of wall to window space

as typical with nearby historic facades. Windows, doors, porches, entryways, dormers, bays, and pediments shall be considered similar if they are no larger than 25% in size and vary no more than 10% in height to width ratio from adjacent historic facades.

*ii. Façade configuration*— The primary façade of new commercial buildings should be in keeping with established patterns. Maintaining horizontal elements within adjacent cap, middle, and base precedents will establish a consistent street wall through the alignment of horizontal parts. Avoid blank walls, particularly on elevations visible from the street. No new façade should exceed 40 linear feet without being penetrated by windows, entryways, or other defined bays.

#### D. LOT COVERAGE

*i. Building to lot ratio*— New construction should be consistent with adjacent historic buildings in terms of the building to lot ratio. Limit the building footprint for new construction to no more than 50 percent of the total lot area, unless adjacent historic buildings establish a precedent with a greater building to lot ratio.

### 3. Materials and Textures

#### A. NEW MATERIALS

*i. Complementary materials*—Use materials that complement the type, color, and texture of materials traditionally found in the district. Materials should not be so dissimilar as to distract from the historic interpretation of the district. For example, corrugated metal siding would not be appropriate for a new structure in a district comprised of homes with wood siding.

*ii. Alternative use of traditional materials*—Consider using traditional materials, such as wood siding, in a new way to provide visual interest in new construction while still ensuring compatibility.

*iii. Roof materials*—Select roof materials that are similar in terms of form, color, and texture to traditionally used in the district.

*iv. Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alterations and Maintenance section for additional specifications regarding metal roofs.

*v. Imitation or synthetic materials*—Do not use vinyl siding, plastic, or corrugated metal sheeting. Contemporary materials not traditionally used in the district, such as brick or simulated stone veneer and Hardie Board or other fiberboard siding, may be appropriate for new construction in some locations as long as new materials are visually similar to the traditional material in dimension, finish, and texture. EIFS is not recommended as a substitute for actual stucco.

### 4. Architectural Details

#### A. GENERAL

*i. Historic context*—Design new buildings to reflect their time while respecting the historic context. While new construction should not attempt to mirror or replicate historic features, new structures should not be so dissimilar as to distract from or diminish the historic interpretation of the district.

*ii. Architectural details*—Incorporate architectural details that are in keeping with the predominant architectural style along the block face or within the district when one exists. Details should be simple in design and should complement, but not visually compete with, the character of the adjacent historic structures or other historic structures within the district. Architectural details that are more ornate or elaborate than those found within the district are inappropriate.

*iii. Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for new construction. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the structure is new. Modern materials should be implemented in a way that does not distract from the historic structure.

### FINDINGS:

- a. The applicant is requesting a Certificate of Appropriateness for the construction of a commercial tower and parking structure at 111 W Houston, formerly addressed as 235 W Houston. The lot is bound by N Flores to the east, W Travis to the north, Camaron to the west and W Houston to the south. There are no historic structures located on this lot. At the time of conceptual approval on July 20, 2016, this property was not zoned within the River Improvement Overlay. Since that time, the RIO-7 zoning district has been applied to this property. While this request was initiated prior to the passing of RIO-7, staff finds that the proposed development is in keeping with the recent RIO standards.
- b. This request received conceptual approval on July 20, 2016, with the following stipulations:
  - i. That the applicant provide staff with a detailed landscaping plan prior to returning to the HDRC for final

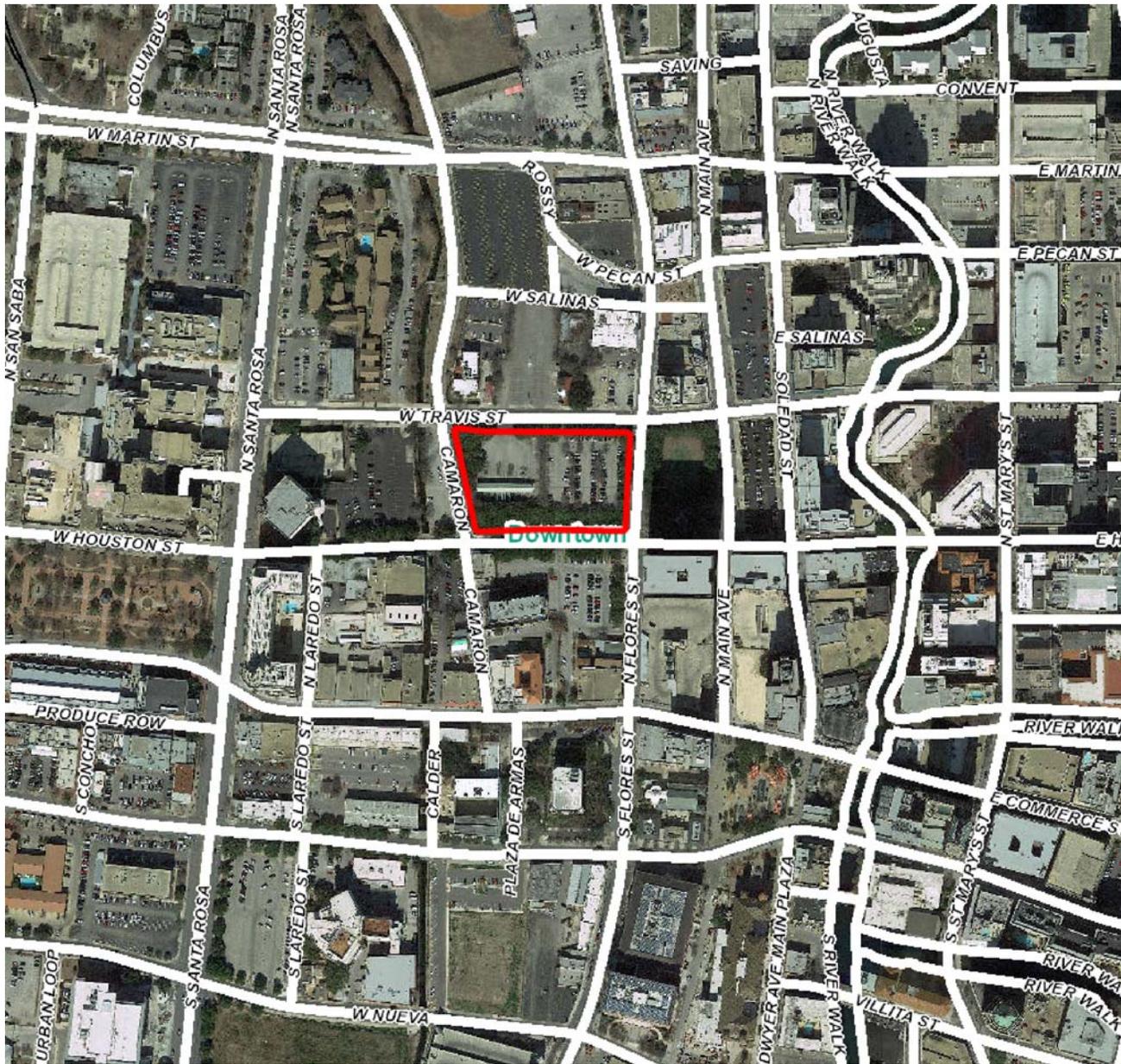
- approval. *The applicant has revised previous landscaping plans.*
  - ii. That the applicant provide staff with a detailed site and architectural lighting plan prior to returning to the HDRC for final approval. *The applicant has provided additional information regarding lighting.*
  - iii. That the applicant provide staff with detailed elevations of each of the garage's facades prior to returning to the HDRC for final approval. *The applicant has provided updated elevations found in the construction document set.*
  - iv. That the applicant provide staff with information regarding the width of each proposed curb cut prior to returning to the HDRC for final approval. *The applicant has reduced the overall size of the proposed curb cuts.*
- c. DESIGN REVIEW COMMITTEE – This request was reviewed by the Design Review Committee on December 13, 2016. At that meeting, committee members noted that the level of landscaping was appropriate, noted that the proposed street parking would activate Camaron and noted that many of the committee's original concerns had been addressed. The DRC also noted that the proposed tower entrance was very improved.
- d. FAÇADE ORIENTATION – The Guidelines for New Construction 1.A. and B states that the facades of new construction should align with the front façade of adjacent structures, should be oriented consistently with adjacent and nearby structures and should feature primary building entrances that are oriented towards street frontage. The applicant has proposed for the tower to occupy the western-most portion of the site to address N Flores Street with a parking garage wrapped in retail to address W Travis, Camaron and W Houston Streets. Staff finds the applicant's proposal to orient primary and secondary entrances and well as retail space toward each street appropriate and consistent with the Guidelines.
- e. SCALE & MASS – New construction for properties zoned Historic should feature building massing and form that is comparable to surrounding parcels. The applicant has proposed a structure to feature 23 floors and approximately 385 feet in height. There are various structures featuring multiple floors in the immediate vicinity including the existing Frost Tower, the Weston Centre, the Wyndham San Antonio Riverwalk and the historic Robert E Lee Hotel. Staff finds the proposed height appropriate.
- f. FAÇADE CONFIGURATION – The facades of new commercial buildings should be in keeping with established patterns. Maintaining horizontal elements within adjacent building sections such as a base, midsection and cap establishes consistency within the street wall. The applicant has proposed a base which includes a transparent glass and internal sunshades, a mid-section of octagonal shimmering facets and a tapering shaft and a capital featuring a tapering crown element. This is consistent with the Guidelines.
- g. LOT COVERAGE – New construction should be consistent with nearby structures in regards to a building to lot ratio. Many structures in the immediate vicinity cover large majorities of the lot if not all of the lot. The applicant's proposal is consistent with the Guidelines.
- h. MATERIALS – The applicant has proposed materials that primarily consist of a glass curtainwall system for the tower and channel glass. Staff finds these materials appropriate and consistent with examples found in the vicinity of the proposed tower.
- i. ARCHITECTURAL DETAILS – The Guidelines for New Construction 4.A.iii. recommends the integration of contemporary interpretations of traditional design and details for new construction. The applicant has noted that the proposed octagonal design utilizes facets on each side to reduce the bulk of the structure's massing and to create a memorable presence that recalls San Antonio's earliest skyscrapers, the Emily Morgan Hotel and the Tower Life Building. Staff finds the applicant's contemporary interpretations appropriate.
- j. MECHANICAL EQUIPMENT – According to the Guidelines for New Construction 6.A. and B., all mechanical equipment should be screened from the public right of way. The applicant has noted that the proposed architectural crown is to screen all rooftop mechanical equipment. This is consistent with the Guidelines.
- k. LIGHTING – The applicant has noted that the tower will feature LED pin-striping at the tower's edges to enhance the tower's presence in the skyline at night. Staff finds that the applicant's proposed lighting will not negatively impact any nearby historic features. The applicant has provided updated information regarding the proposed lighting including perspectives noting the lighting at different levels of day lighting.
- l. PARKING GARAGE – The applicant has noted that the proposed structured parking is to feature two curb cuts on W Travis, one curb cut on Camaron, is to feature street level retail and is to be clad with channel glass. Staff finds the applicant's proposal appropriate.
- m. LANDSCAPING – The applicant has provided information regarding the location of landscaped areas as well as a narrative explaining the inclusion of a garden adjacent to pedestrian sidewalks. Additionally, the applicant modified previous plaza designs and has provided both plans and perspectives noting those changes.
- n. ARCHAEOLOGY – Archaeological investigations are occurring under cooperation with Weston Urban.

**RECOMMENDATION:**

Staff recommends approval as submitted based on findings a through m.

**CASE MANAGER:**

Edward Hall



## Flex Viewer

Powered by ArcGIS Server

Printed: Jul 12, 2016

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Project Description

Pelli Clarke Pelli Architects

Frost Tower is located on the block surrounded by W. Houston Street on the south, Camaron Street on the west, W. Travis Street on the north and N. Flores Street on the east. This block occupies a unique position within the city of San Antonio and calls for a sensitive design solution that responds to its importance within the urban core. Bounded by public space on three sides – the park to the east, the significant allée of live oaks on Houston Street and San Pedro Creek on the west – Frost Tower is positioned to be an active mixed-use development within a green pedestrian environment.

The site strategy is to place passive uses such as the office tower lobby on the park to the east and active uses with retail on the western side adjacent to San Pedro Creek. This results in taller massing towards the park and the Central Business District and lower massing along San Pedro Creek to enhance the pedestrian environment envisioned.

A prime goal of the project is to reinforce the promenade along W. Houston Street from the Alamo to Milam Park. The project capitalizes on the use of San Pedro Creek and neighborhood pathways to create a great pedestrian environment that connects to nearby cultural institutions, downtown parks, and historic sites. The new urban environment highlights San Antonio's varied presence in tourism, finance, and technology.

Retail activates the W. Houston Street promenade with direct access to outdoor plazas and seating under the grand allée of live oak trees. A goal of the project has been to actively encourage pedestrian circulation along W. Houston Street connecting the city center to the historic Alameda Theater and reinforce the pedestrian environment along San Pedro Creek.

The pedestrian path along Houston Street has a variety of uses with direct public access to programmed outdoor spaces that capitalize on the allée of live oak trees. On the corner of N. Flores Street and W. Houston Street one of the octagonal tower faces addresses an entrance plaza with access to the tower. The W. Houston Street side of the tower will be occupied by a retail tenant that will have access to an outdoor terrace for seating. At the base of the six-story parking garage on Houston, a continuous retail environment is carefully integrated with the landscape. There are two distinct pedestrian pathways parallel to W. Houston Street: a wide path beneath the canopy of live oak trees and another along the sidewalk edge adjacent to W. Houston Street. Perpendicular paved pathways tie directly into projected retail bays. Retail occupants will have the ability to place street furniture on these paved entryways to animate the pedestrian environment. The W. Houston Street sidewalk has been interspersed with parallel parking and live oak trees to improve the existing condition today. The integration of outdoor public space adjacent to retail mitigates the heat island effect by providing comfortable spaces to gather and the opportunity for urban wildlife.

The project has worked closely with the San Pedro Creek Redevelopment Team to create an integrated public response to the western facade. Retail runs from corner to corner along the Camaron Street facade adjacent to a sidewalk that is planted with live oak trees. An entrance to the garage has been narrowed from three lanes to two lanes and reduced in height to allow only automobiles to enter. Careful treatment of the paving will signal the safe coexistence of pedestrians and automobiles along this active path adjacent the San Pedro Creek redevelopment.

W. Travis Street has been enhanced by extending the sidewalk to incorporate trees and parallel car parking. Access to the parking garage and loading dock along Travis Street reinforces the city's goal of maintaining this thoroughfare as a service street. Walls that enclose mechanical zones and the loading dock will be screened with obscured glass and landscape planting to make the pedestrian experience pleasant. The precast parking garage will be enclosed with channel glass for a patterned scrim that is at least 50% open animating the façade above the trees.

The tower base on W. Travis Street and along N. Flores Street has been softened with a line of live oak trees and a garden adjacent to a pedestrian sidewalk. In the tradition of San Antonio skyscrapers, the building comes to grade but only occupies a third of the frontage, leaving the rest of the land as naturally landscaped plazas and gardens. Clear glass at the base of the building allows for the tower to act as a pavilion within the park. Transparency provides clear views into the lobby, retail bank, and retail occupant for those who pass along on the sidewalks.

Frost Tower has an iconic form based on the tradition of classic skyscrapers. The tower reinforces a connection to the Central Business District by striking a distinct silhouette on the skyline, marking its place adjacent to the park. The octagonal form of the tower utilizes facets on each side to reduce the bulk of massing and to create a memorable presence that recalls the earliest skyscrapers of San Antonio, like the Emily Morgan Hotel and the Tower Life Building. Rather than a series of traditional setbacks, the tower form tapers as it rises to create an elegant form that diminishes as the pleated facets increase. The tower is capped with an integrated crown, screening mechanical equipment, as the facets are cut to create a dynamic silhouette against the sky. The design intent has never been to copy the solidity of the original masonry skyscrapers in San Antonio, but rather continue the formal massing strategy in a modern building that uses a contemporary vocabulary.

The tower enclosure is a high-performance glass curtainwall system that optimizes energy performance while creating Class A office space with panoramic views of the city. The slightly reflective curtainwall system meets the International Energy Conservation Code of 2015. The enclosure's performance shades 50% more sun than clear glass, is 75% more energy efficient than clear glass, and screens 82% more ultraviolet radiation than clear glass. Overall, the curtainwall system allows for 70% less heat energy infiltration than clear glass and creates a building which conserves energy and optimizes performance, symbolizing the values of Frost Bank and the City of San Antonio.

The tower is divided into three distinct facade zones that are responsive to the city context. The base, which contains the lobby, retail bank, and commercial retail, can be viewed as a glassy pavilion within a park. This zone in the building is clad in transparent glass with internal sunshades above to allow a visual connection for pedestrians looking in and for occupants looking out to the landscape. The middle of the tower is a series of octagonal shimmering facets, which enclose the shaft as it tapers towards the top of the tower. The crown cuts a silhouette against the sky, making it unique within the core of San Antonio. Integrated night lighting will utilize LED pin-striping at the edges of the tower form that will enhance the tower's presence in the skyline of San Antonio. Frost Tower will become a new icon in San Antonio marking the 150<sup>th</sup> anniversary of Frost Bank and the 300<sup>th</sup> anniversary of San Antonio.

# FROST BANK TOWER

# HDRC PRESENTATION



FROST BANK TOWER

PELLI CLARKE PELLI ARCHITECTS | KENDALL/HEATON ASSOCIATES

FROST BANK HEADQUARTERS | SAN ANTONIO, TEXAS

HDRC PRESENTATION | 15 MARCH 2017



# FROST BANK TOWER

PELLI CLARKE PELLI ARCHITECTS | KENDALL/HEATON ASSOCIATES

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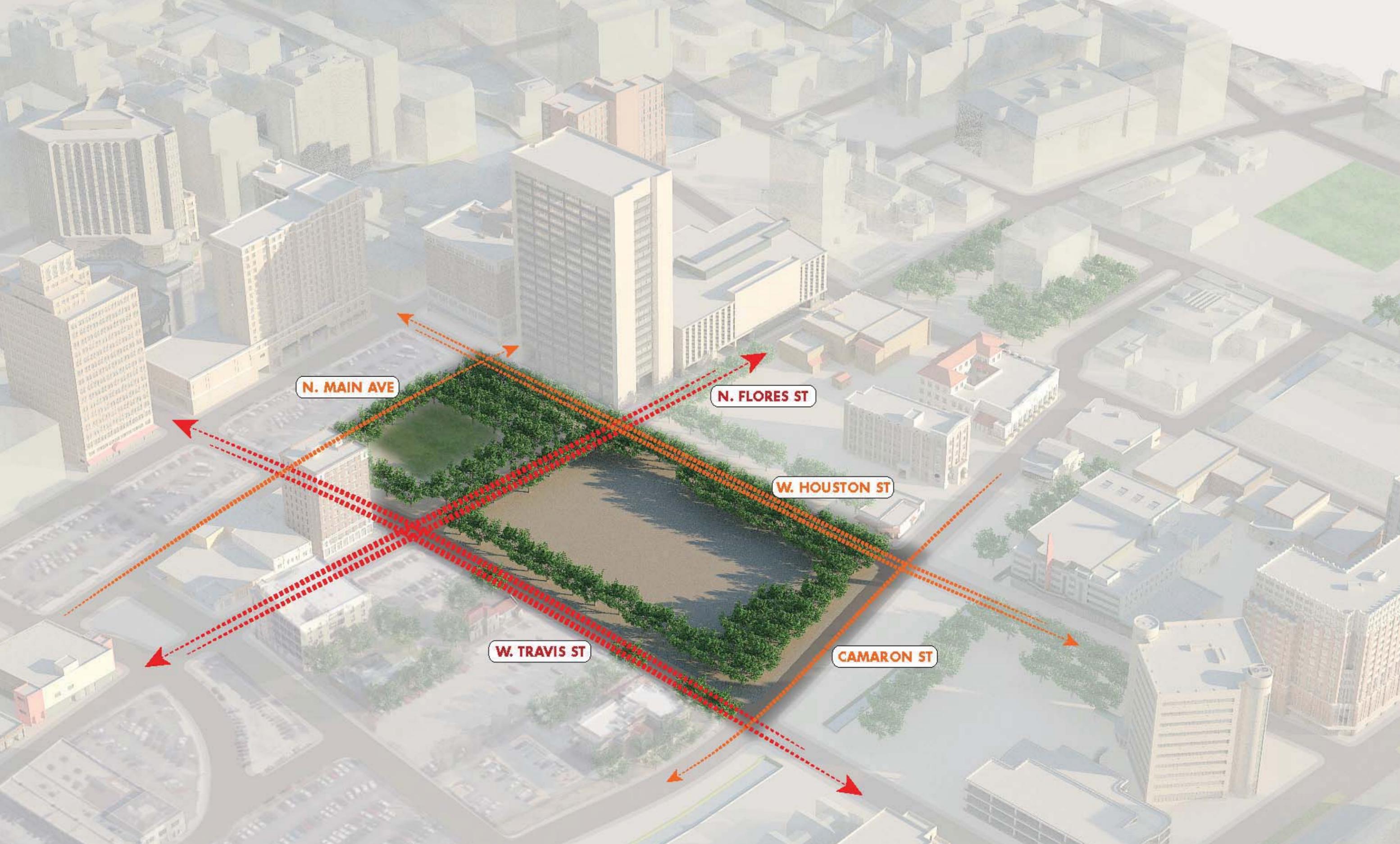


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**N. MAIN AVE**

**N. FLORES ST**

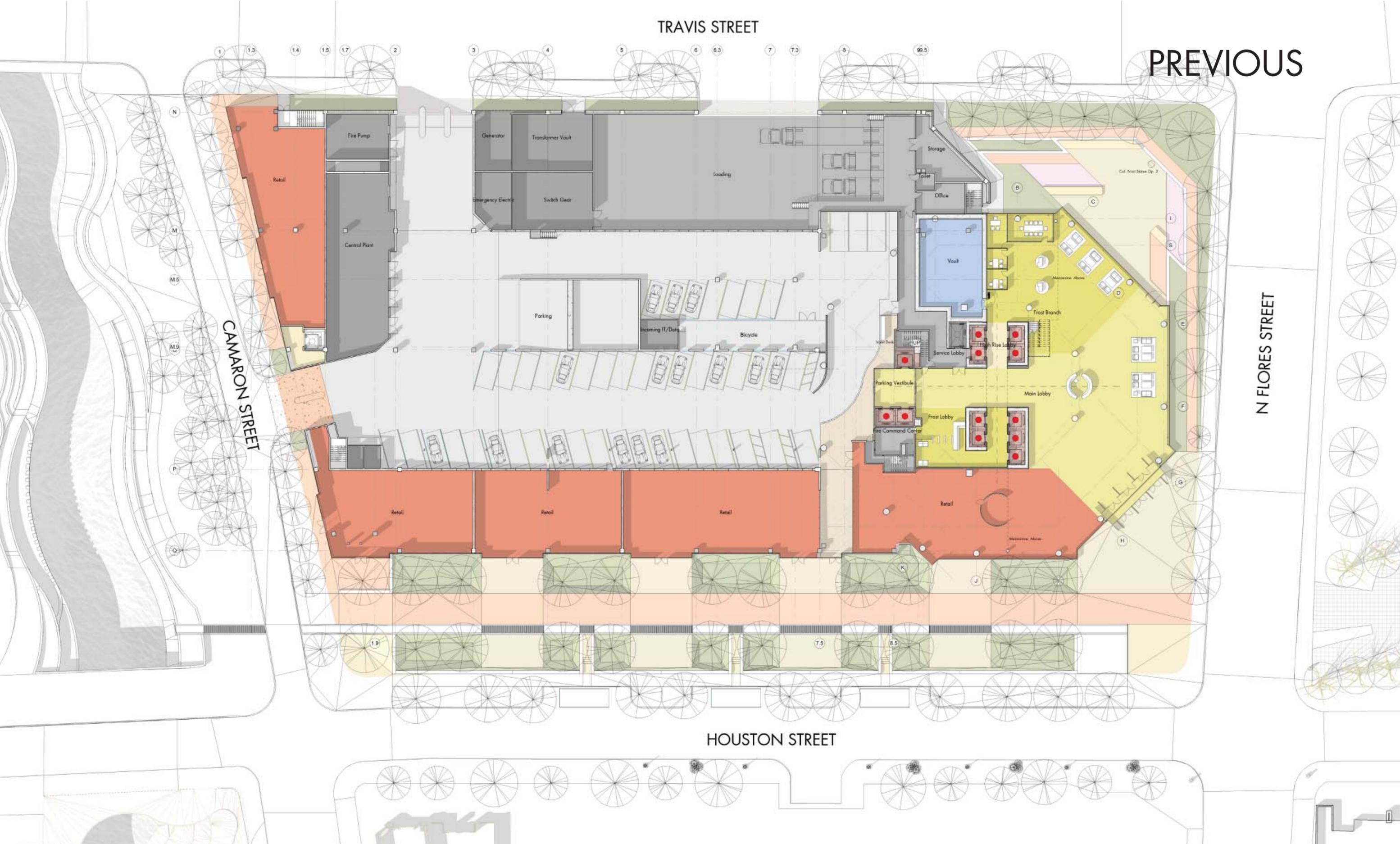
**W. HOUSTON ST**

**W. TRAVIS ST**

**CAMARON ST**

TRAVIS STREET

PREVIOUS

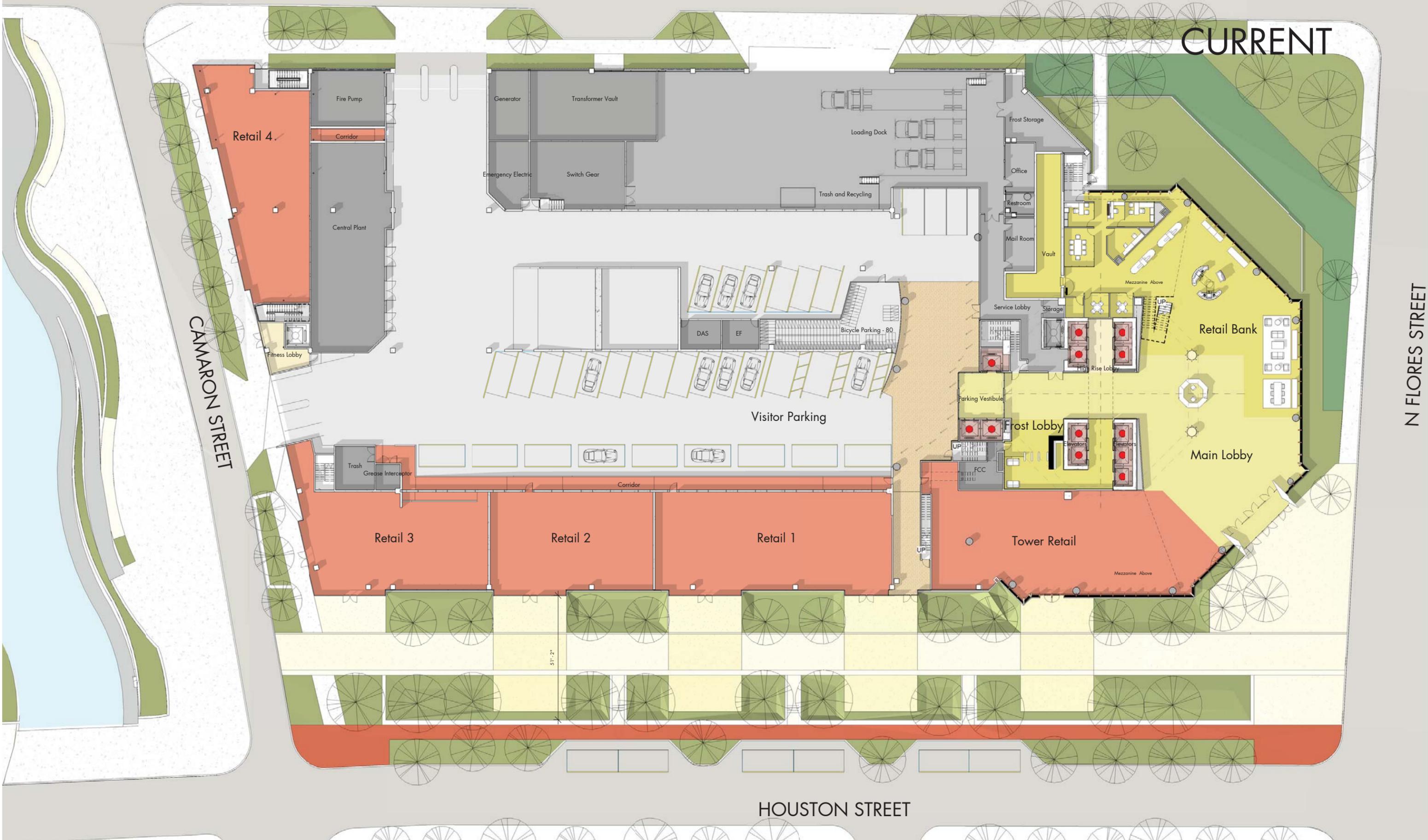


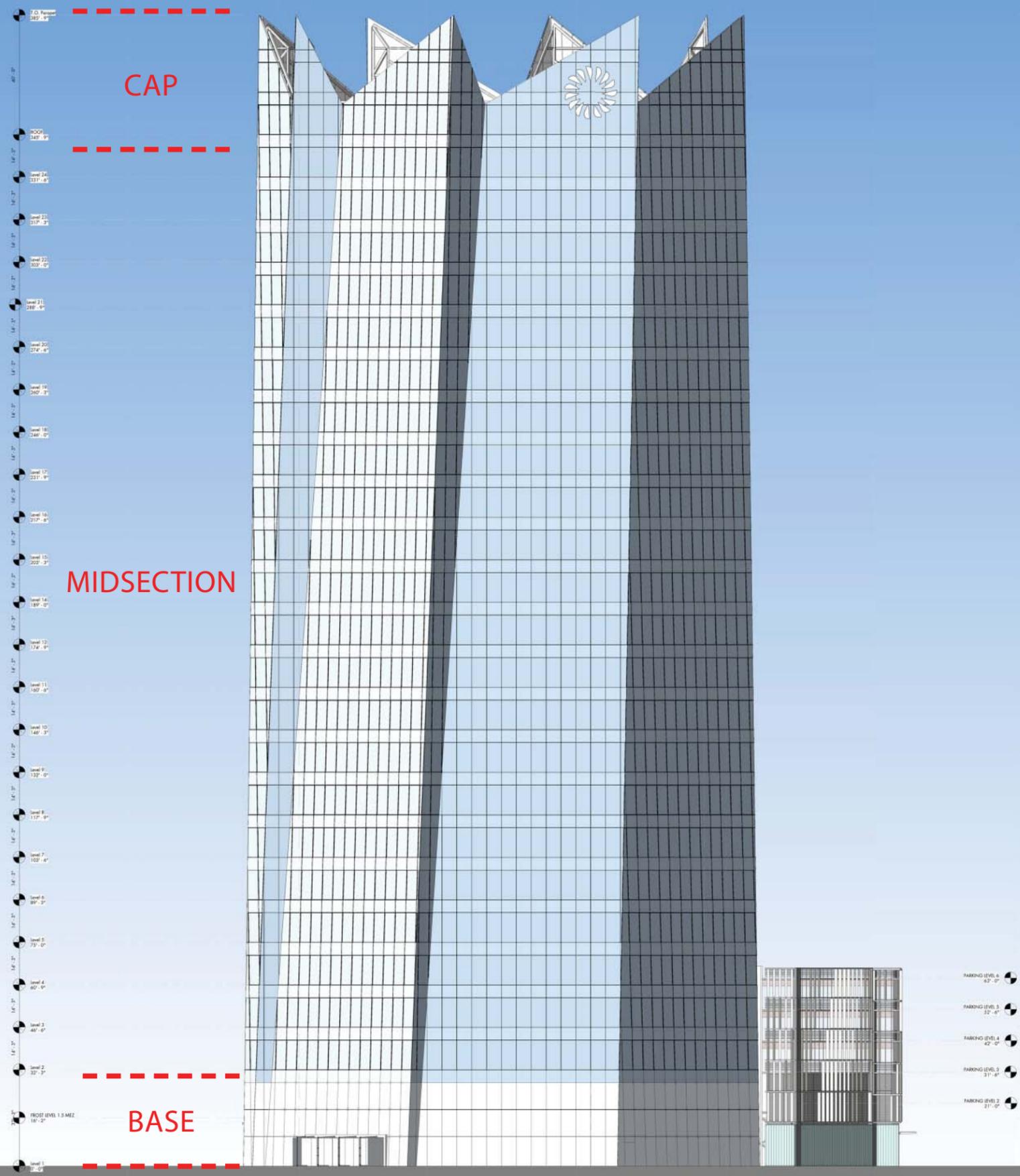
CAMARON STREET

N FLORES STREET

HOUSTON STREET

# CURRENT









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N FLORES STREET

PREVIOUS



# CURRENT



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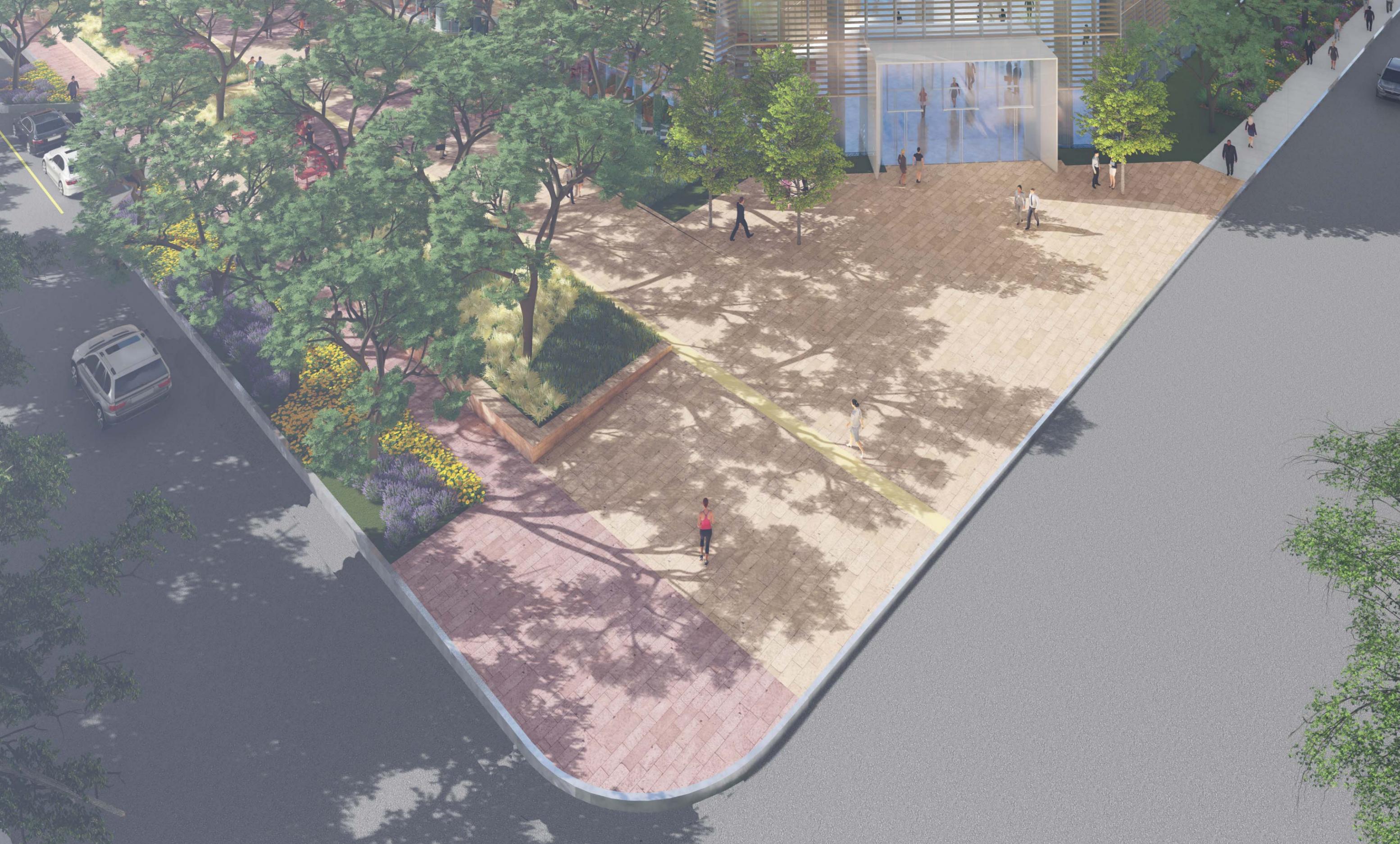


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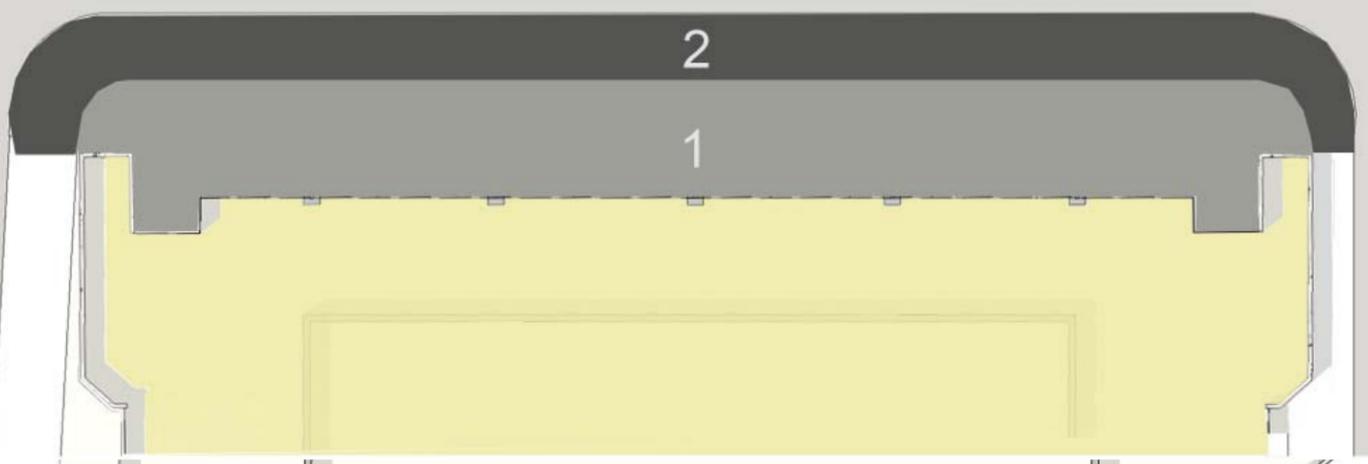
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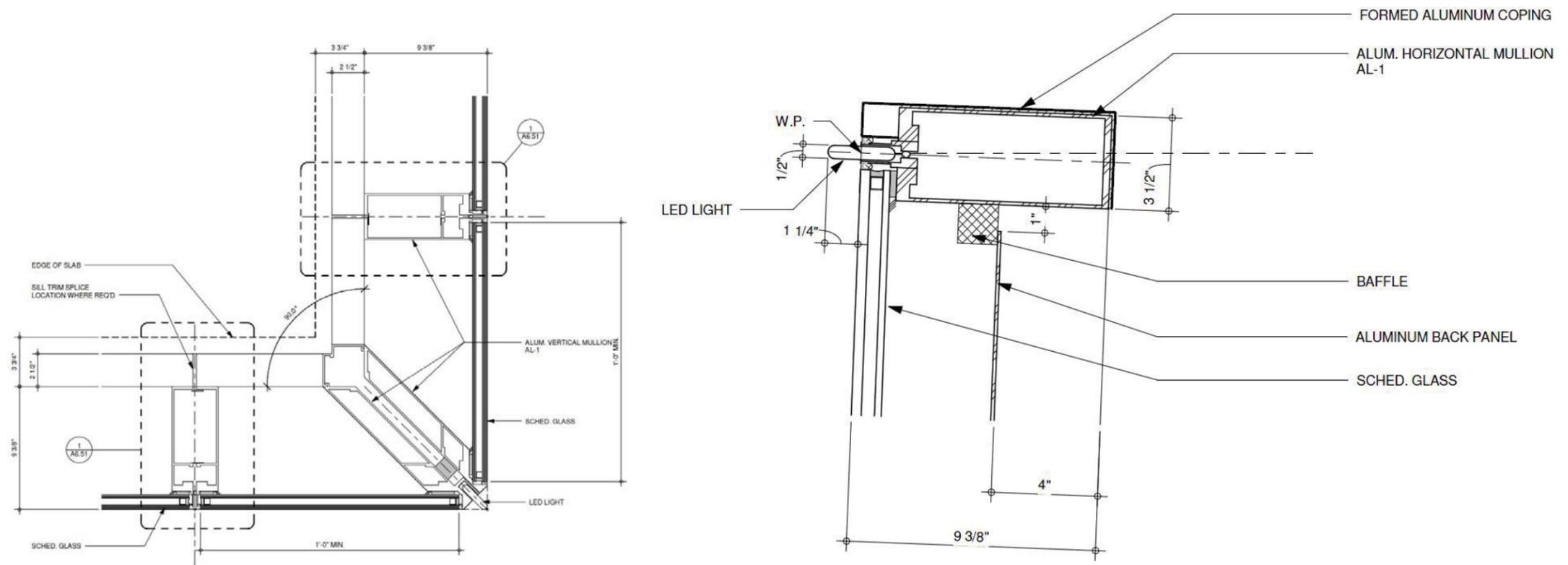
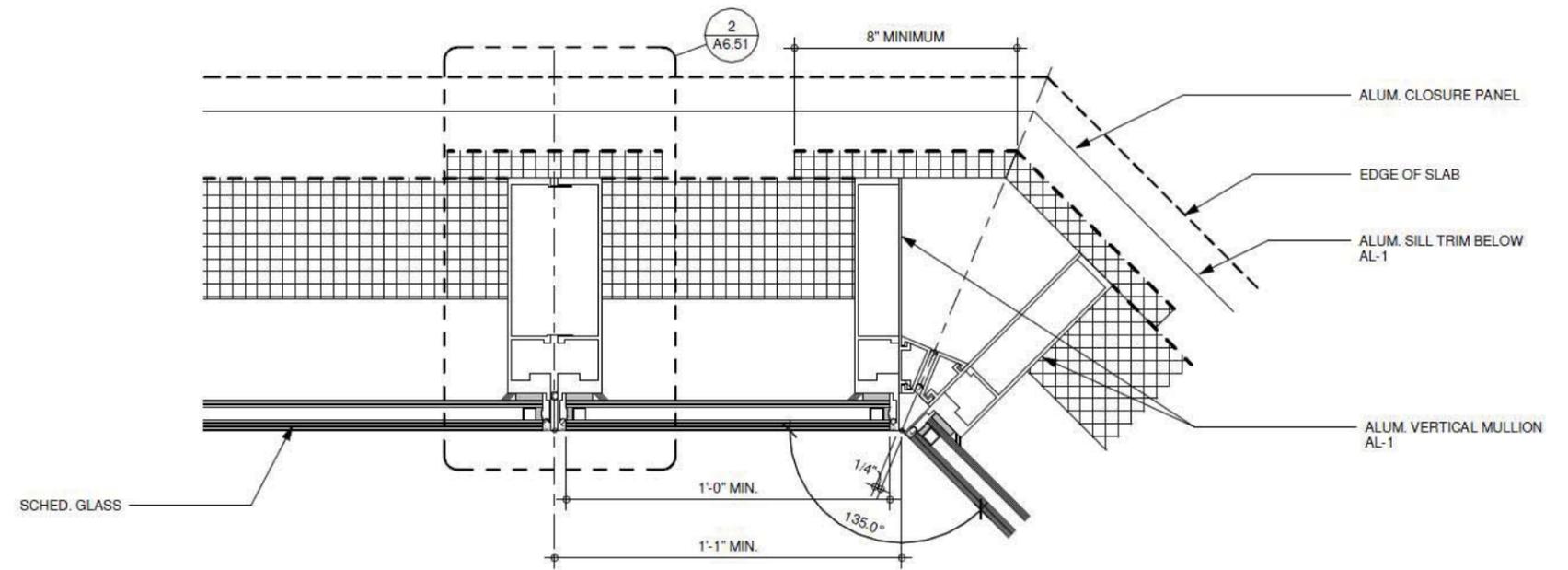
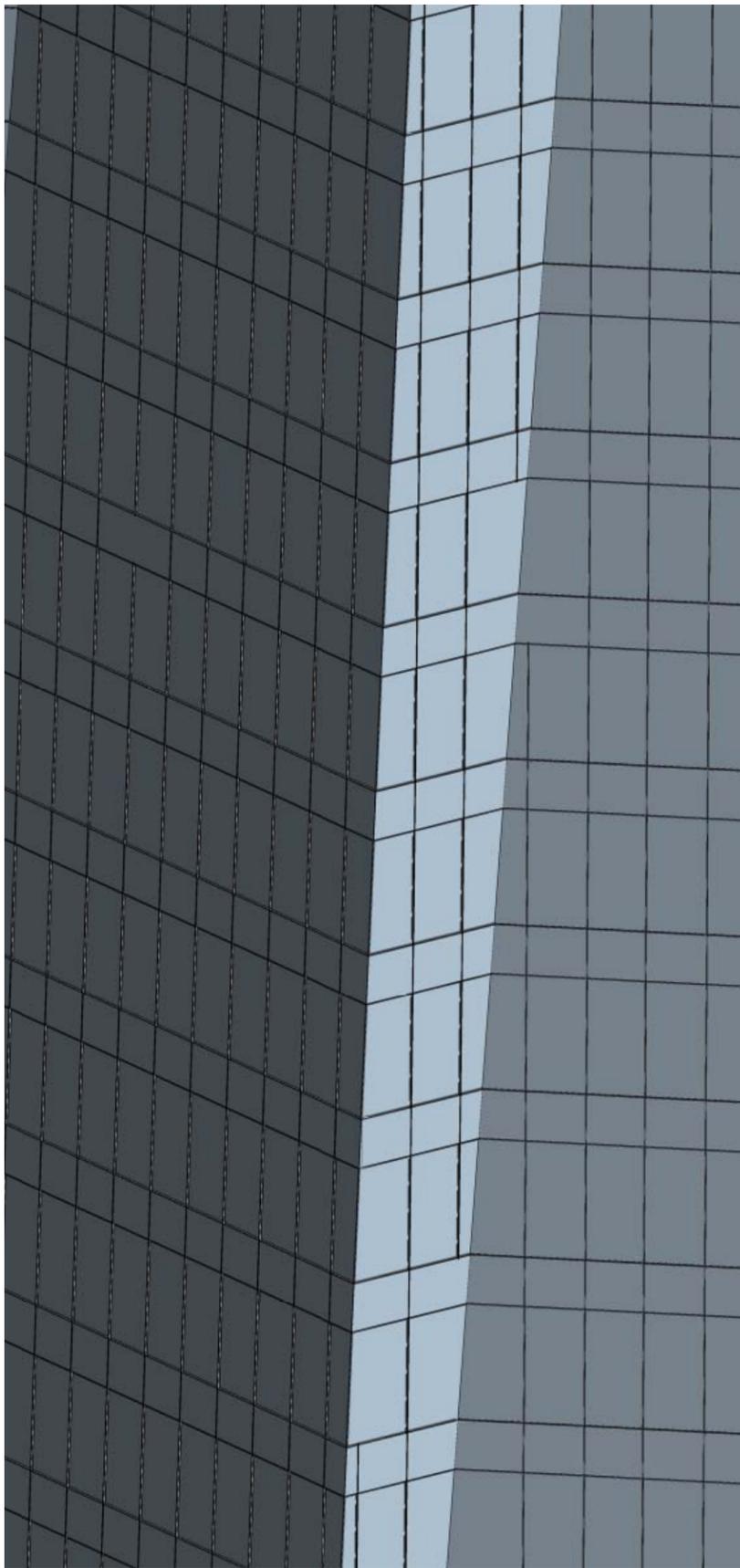
HOUSTON STREET



Proposed Frost Bank Tower Plaza  
 Area 1 : 3,100 SQF  
 Area 2 : 940 SQF  
 Area 3 : 1,450 SQF  
 Total : 5,490 SQF

Existing Frost Bank Tower Plaza  
 Area 1 : 3,600 SQF  
 Area 2 : 2,280 SQF  
 Total : 5,880 SQF







**FROST BANK TOWER**

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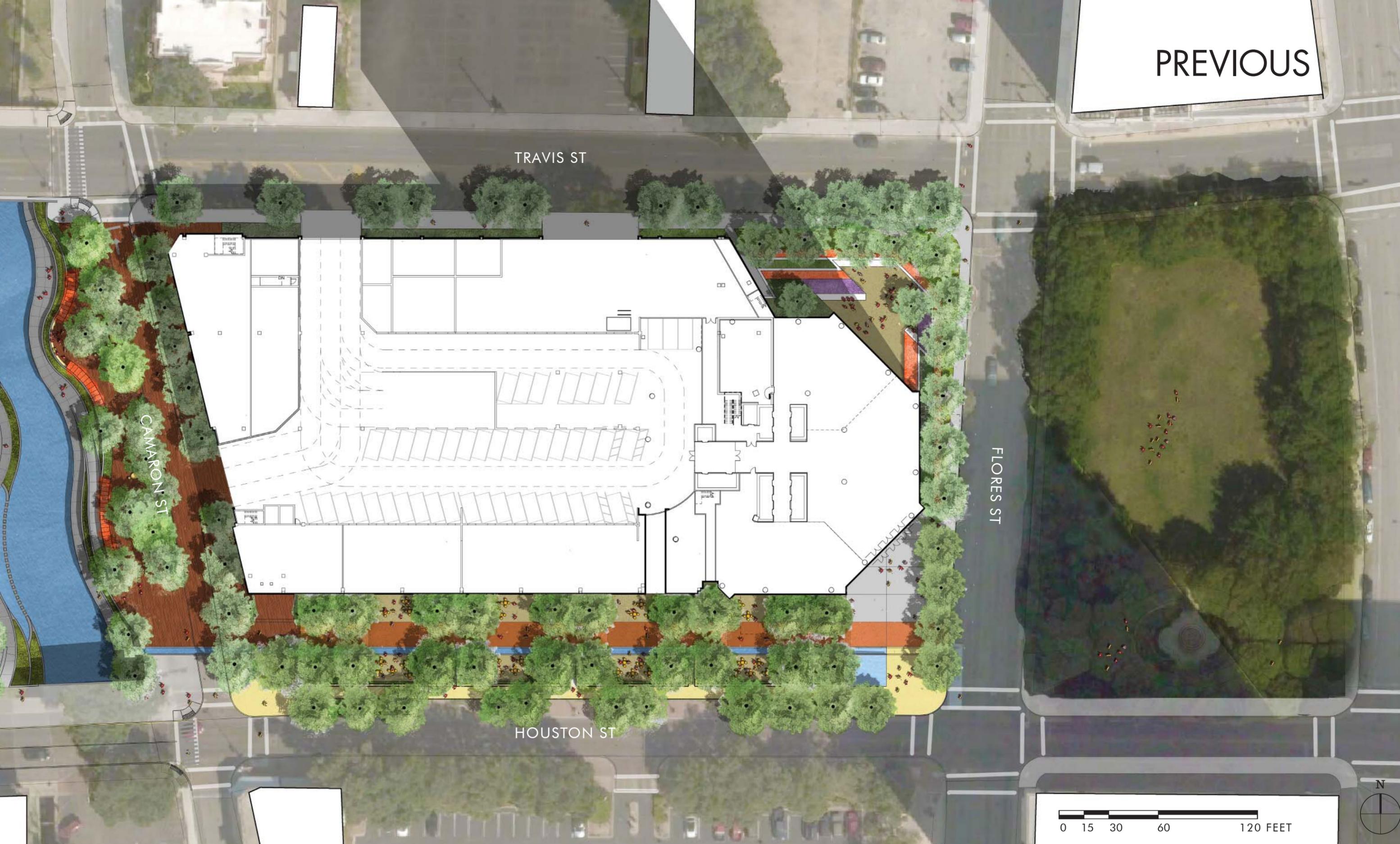
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PREVIOUS



TRAVIS ST

CAMERON ST

FLORES ST

HOUSTON ST



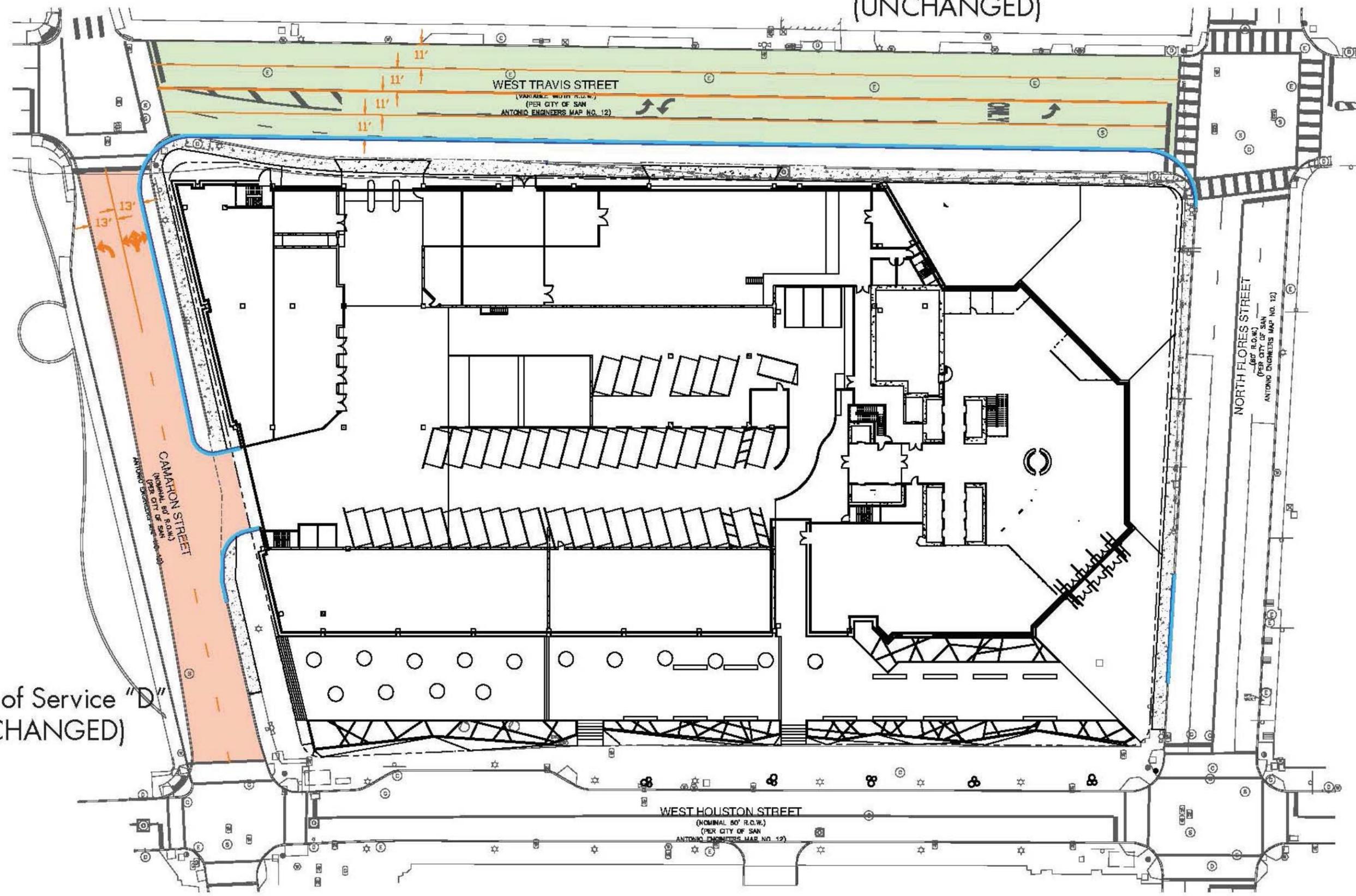
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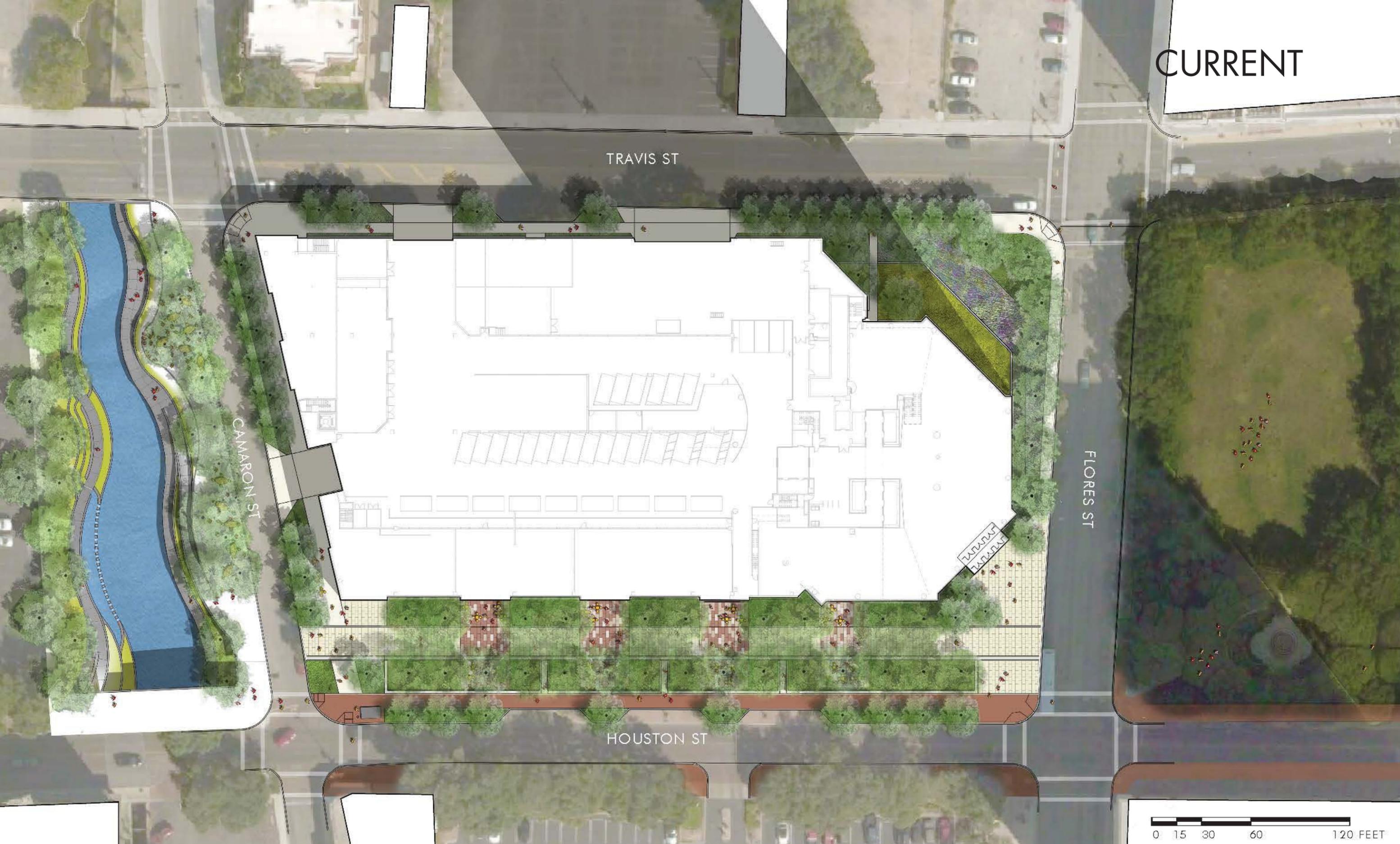
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Level of Service "C"  
(UNCHANGED)



Level of Service "D"  
(UNCHANGED)

CURRENT



TRAVIS ST

CAMARON ST

FLORES ST

HOUSTON ST

0 15 30 60 120 FEET





Storefronts - Future by Tenants



HOUSTON STREET



FROST BANK TOWER

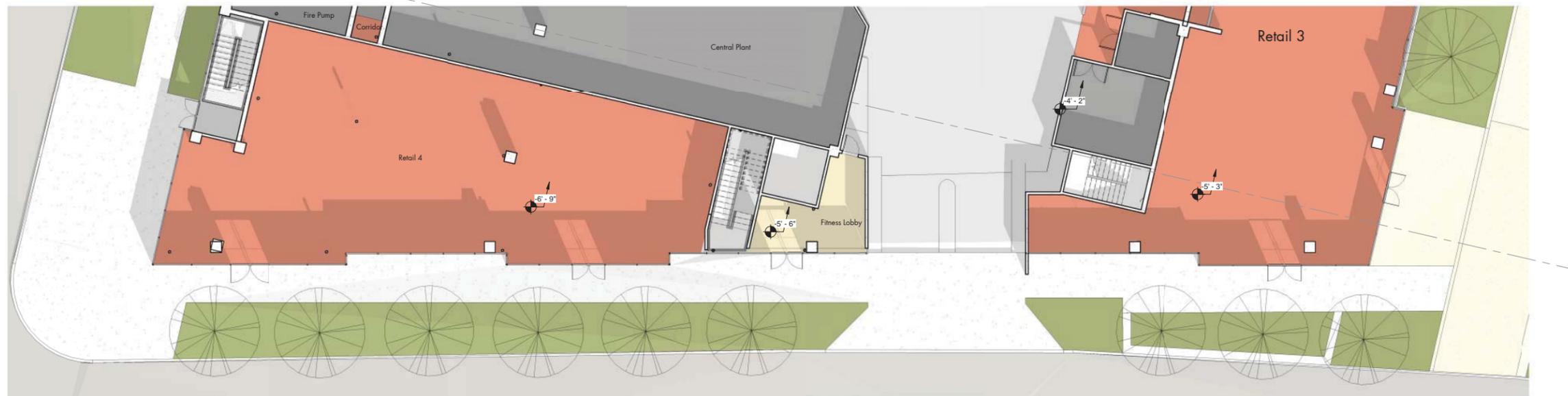
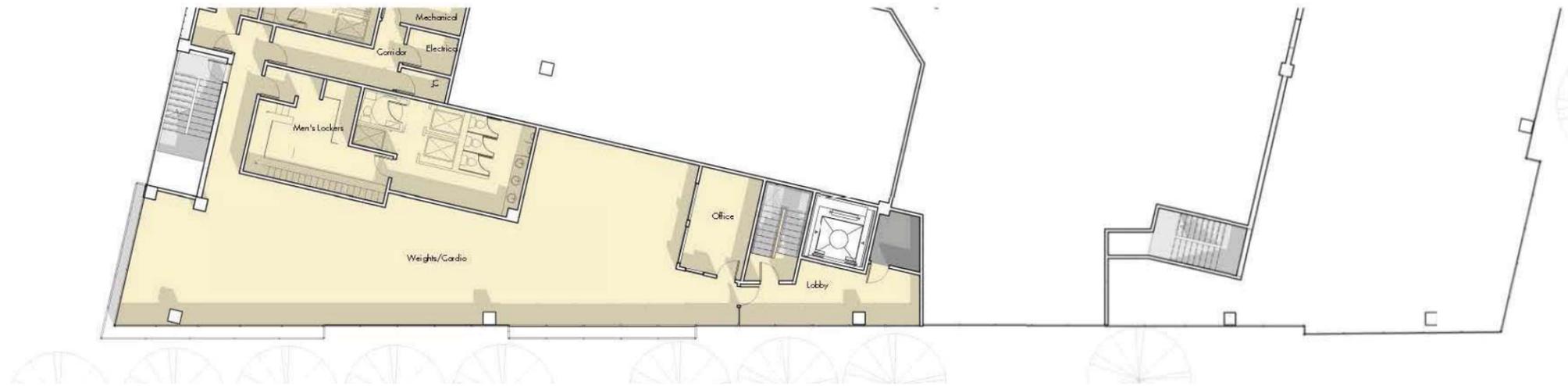
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Storefronts - Future by Tenants



1 PLAN GROUND FLOOR - RETAIL West  
3/32" = 1'-0"

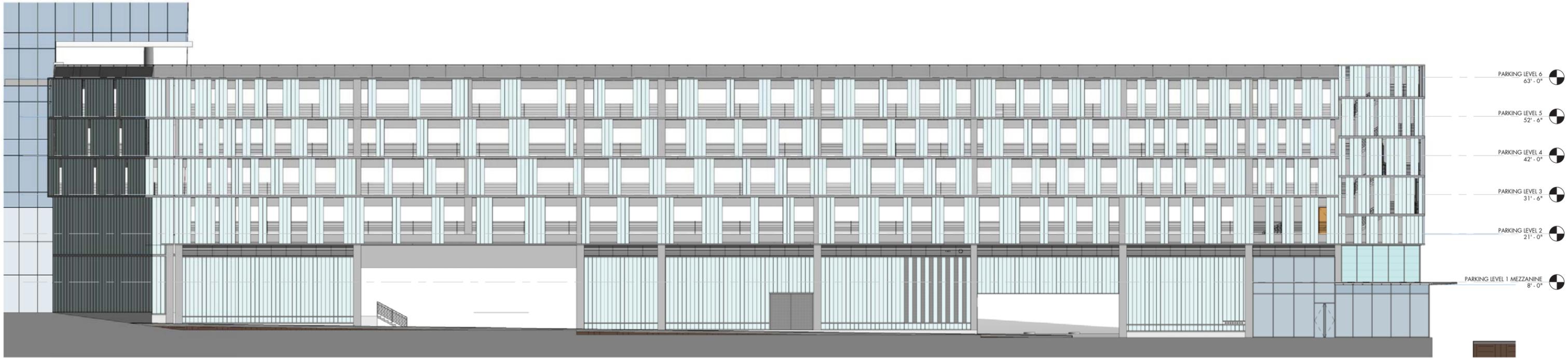


# FROST BANK TOWER

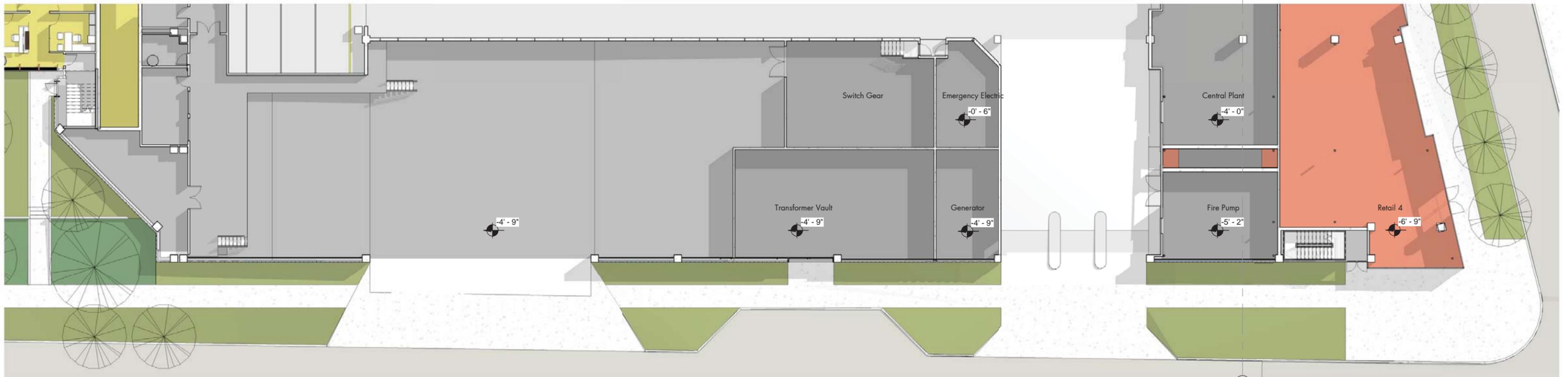
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② GARAGE ELEVATION NORTH GROUND LEVEL  
1/16" = 1'-0"



① PLAN GROUND FLOOR - North  
1/16" = 1'-0"

1.4





# FROST BANK TOWER

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- T.O. Parapet 385'-9"
- 39'-0"
- ROOF 346'-9"
- 15'-3"
- Level 24 331'-6"
- 14'-3"
- Level 23 317'-3"
- 14'-3"
- Level 22 303'-0"
- 14'-3"
- Level 21 288'-9"
- 14'-3"
- Level 20 274'-6"
- 14'-3"
- Level 19 260'-3"
- 14'-3"
- Level 18 246'-0"
- 14'-3"
- Level 17 231'-9"
- 14'-3"
- Level 16 217'-6"
- 14'-3"
- Level 15 203'-3"
- 14'-3"
- LEVEL 14 189'-0"
- 14'-3"
- LEVEL 12 174'-9"
- 14'-3"
- Level 11 160'-6"
- 14'-3"
- Level 10 146'-3"
- 14'-3"
- Level 9 132'-0"
- 14'-3"
- Level 8 117'-9"
- 14'-3"
- Level 7 103'-6"
- 14'-3"
- Level 6 89'-3"
- 14'-3"
- Level 5 75'-0"
- 14'-3"
- Level 4 60'-9"
- 14'-3"
- Level 3 46'-6"
- 14'-3"
- Level 2 32'-3"
- 16'-7"
- FROST LEVEL 1.5 MEZ 15'-8"
- 15'-8"
- Level 1 0'-0"

- PARKING LEVEL 6 63'-0"
- PARKING LEVEL 5 52'-6"
- PARKING LEVEL 4 42'-0"
- PARKING LEVEL 3 31'-6"
- PARKING LEVEL 2 21'-0"

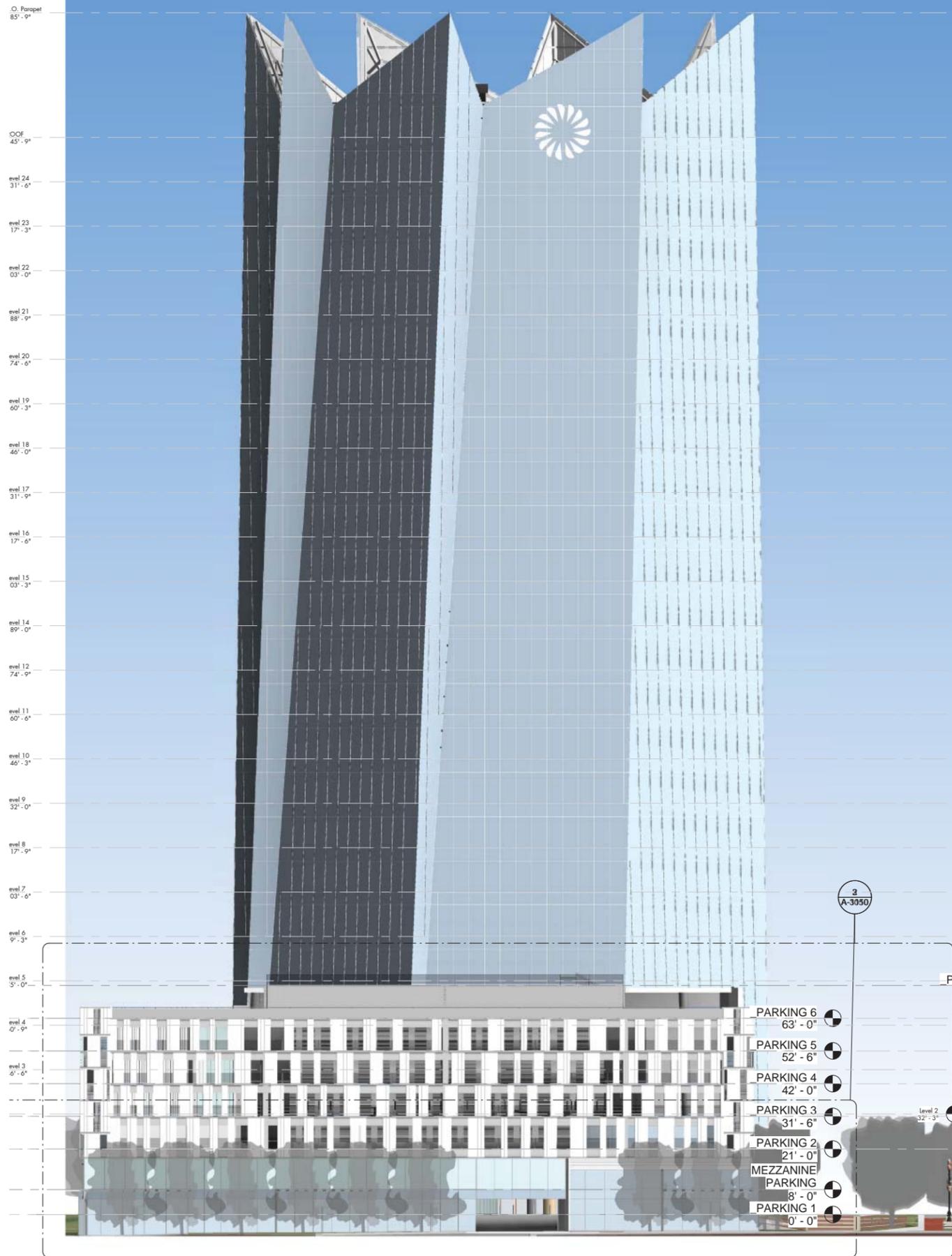
- Parking 6 63'-0"
- Parking 5 52'-6"
- Parking 4 42'-0"
- Parking 3 31'-6"
- Parking 2 21'-0"

1  
A-9050  
A-5060

SOUTH



- PARKING 6.5  
73' - 6"
- PARKING 6.6  
63' - 0"
- PARKING 6.5  
52' - 6"
- PARKING 6.4  
42' - 2"
- PARKING 6.3  
31' - 6"
- PARKING 6.2  
21' - 0"
- MEZZANINE  
PARKING  
8' - 0"
- PARKING 6.1  
2' - 0"





FROST BANK TOWER

PELLI CLARKE PELLI ARCHITECTS | KENDALL/HEATON ASSOCIATES

FROST BANK HEADQUARTERS | SAN ANTONIO, TEXAS

HDRC PRESENTATION | 15 MARCH 2017



**FROST TOWER**  
SAN ANTONIO, TEXAS

Owner/Development Team  
**WESTON URBAN**  
112 E. Pecan, Suite 100  
San Antonio, TX 78205  
tel. 214.690.7519

**KDC**  
3115 Preston Road, Suite 700  
Dallas, TX 75225  
tel. 214.696.1700

Design Architect  
**PELLI CLARKE PELLI ARCHITECTS**  
1058 Chapel Street  
New Haven, CT 06510  
tel. 203.777.2515

Architect of Record  
**KENDALL HEATON ASSOCIATES, INC.**  
3050 Post Oak Blvd. Suite 1000  
Houston, TX 77056  
tel. 713.877.1192

Structural Engineer  
**BROCKETTE DAVIS DRAKE, INC.**  
4144 N. Central Expressway, Suite 1100  
Dallas, TX 75204  
tel. 214.824.2586

Mechanical, Electrical, Plumbing, Fire Protection  
**BLUM CONSULTING ENGINEERS, INC.**  
3744 Walnut Hill Lane, Suite 200  
Dallas, TX 75231  
tel. 214.373.8222

Landscape Architect  
**GUSTAFSON GUTHRIE NICHOL**  
1932 First Avenue, Suite 400  
Seattle, WA 98101  
tel. 206.903.6802

Over Engineer  
**PAPE DAWSON ENGINEERS**  
2000 NW Loop 410  
San Antonio, TX 78213  
tel. 210.375.8000

Vertical Transportation Consultant  
**PERSOHN/HAHN ASSOCIATES, INC.**  
11621 Spring Cypress Road, Suite D  
Tomball, TX 77377  
tel. 713.467.4444

Parking Consultant  
**HWA PARKING**  
3700 W. Sam Houston Parkway South, Suite 100  
Houston, TX 77042  
tel. 713.458.7730

IT/Telecom Consultant  
**JANCOM TECHNOLOGIES, INC.**  
235 Walnut Hill Road, Suite 201  
Austin, TX 78746  
tel. 512.322.5122

Owner Wall Consultant  
**CURTAIN WALL DESIGN & CONSULTING, INC.**  
8070 Park Lane, Suite 400  
Dallas, TX 75231  
tel. 972.437.4200

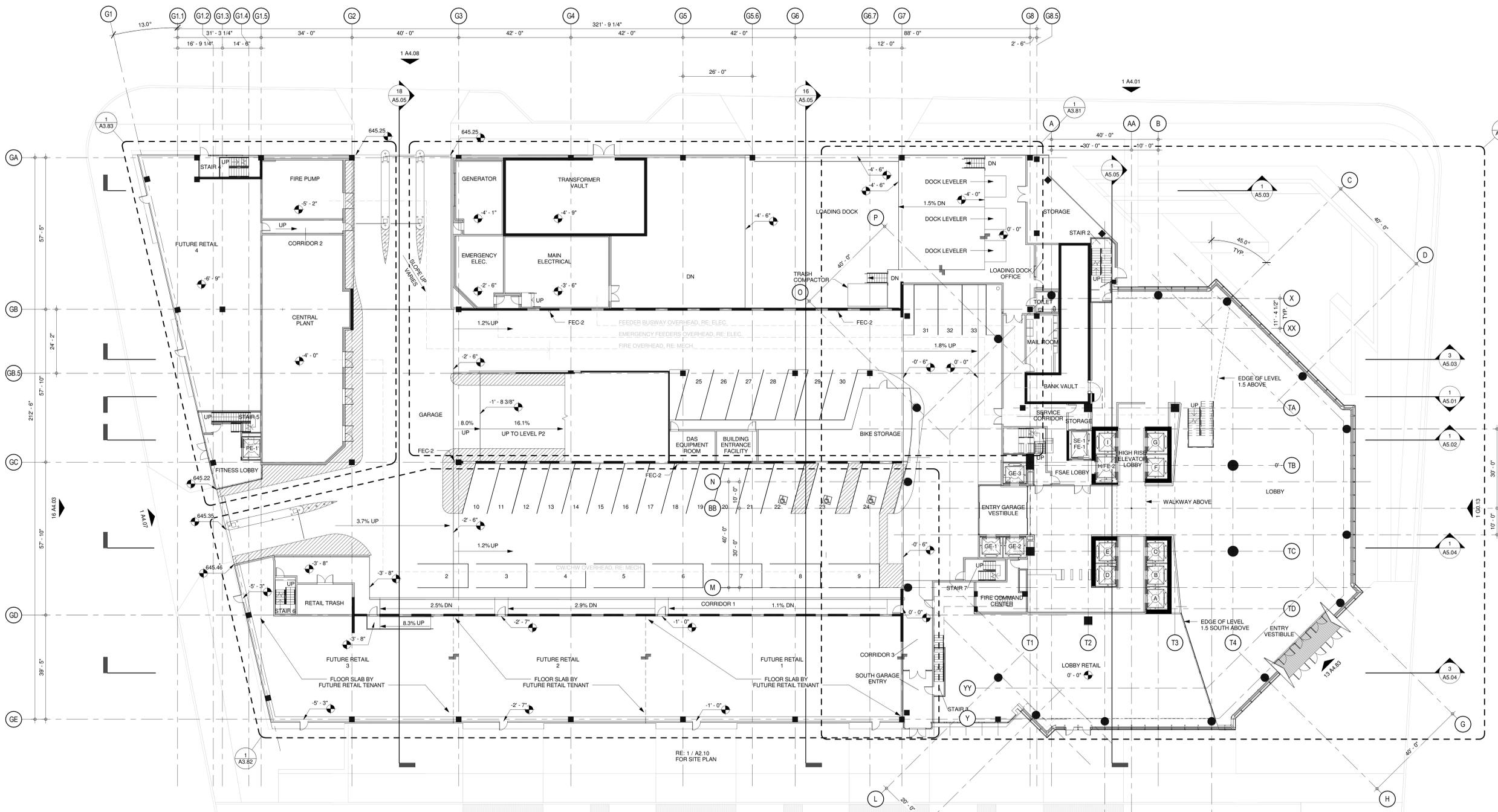
Exterior Building Maintenance Consultant  
**LERCH BATES**  
719 Sawdust Road, Suite 104  
The Woodlands, TX 77380  
tel. 832.380.8393

Graphic Design and Wayfinding  
**DYAL DESIGN & COMMUNICATIONS**  
1501 Lavaca Street, Suite 115  
Austin, TX 78701  
tel. 512.810.3311

Security Consultant  
**HMA CONSULTING, INC.**  
2010 Wright Road, Suite 150  
Stafford, TX 77477  
tel. 832.944.6020

Acoustical Consultant  
**CERMAN ASSOCIATES, INC.**  
404 Fifth Avenue  
New York, NY 10018  
tel. 212.370.1776

Lighting Consultant  
**CLINE BETTRIDGE BERNSTEIN**  
**LIGHTING DESIGN INC.**  
116 East 27th Street, 4th Floor  
New York, NY 10016  
tel. 212.741.3280



LOCATION DIAGRAM

P.R.	M.R.	T.R.
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NO.	DATE	60% DESIGN DEVELOPMENT	ISSUE
5	27 FEB 17	ISSUED FOR PERMIT	
4	16 DEC 16	ISSUED FOR REVIEW	
3	14 SEP 16	DD PROGRESS PRINT	
2	31 AUG 16	DRAFT - PROGRESS PRINT	
1	08 JUN 16	60% DESIGN DEVELOPMENT	

DRAWING TITLE  
**LEVEL 1 (EL. +0'-0'')**

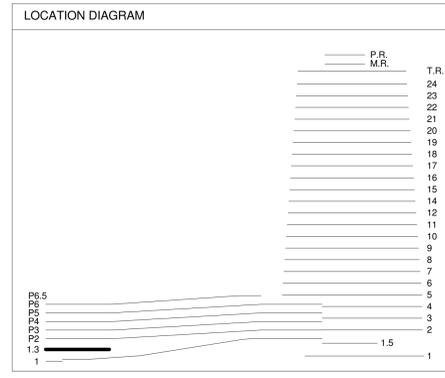
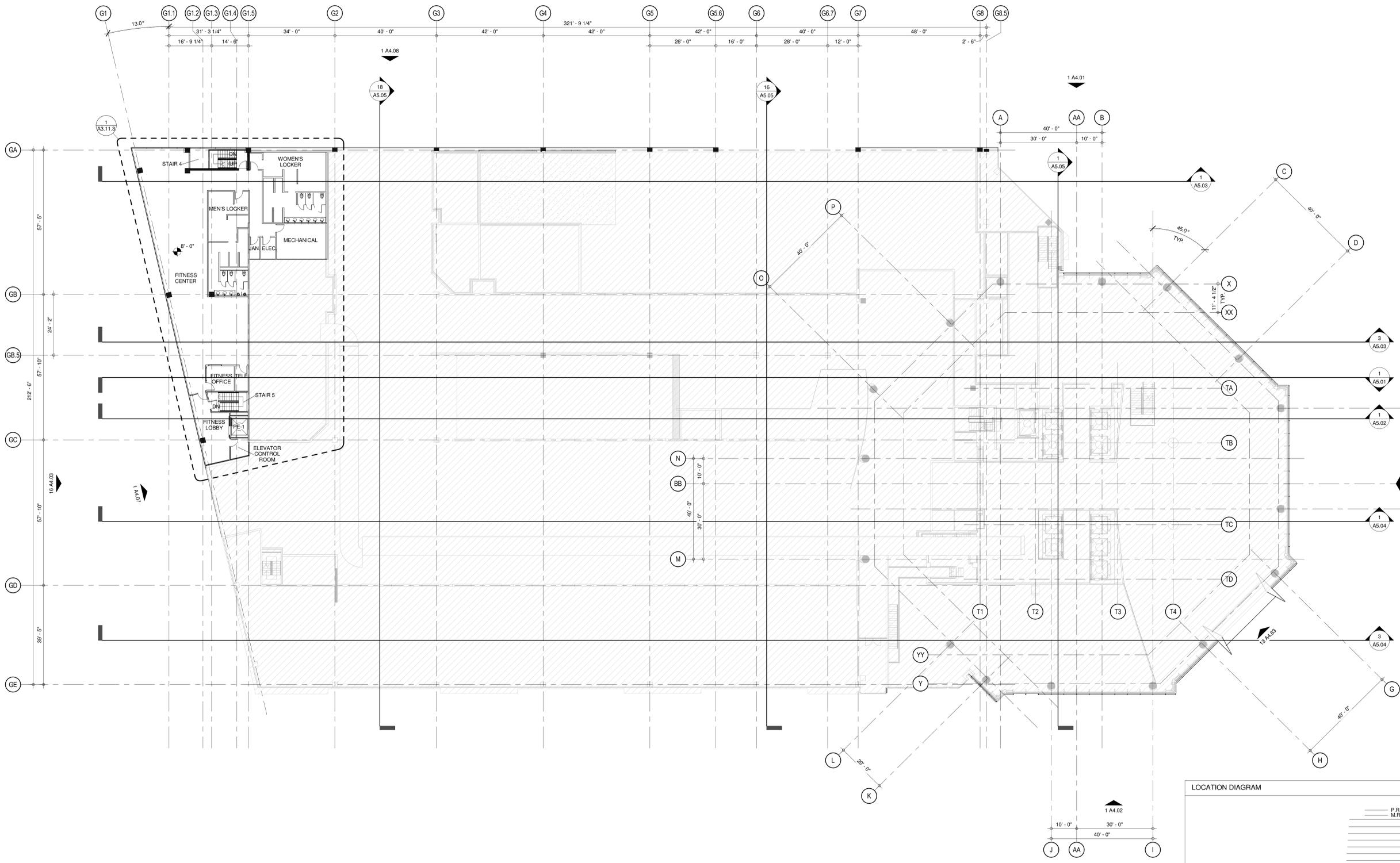
DRAWING NUMBER  
**A3.01**

Level 1 Parking Space Count: 32 parking stalls



**FROST TOWER**  
SAN ANTONIO, TEXAS

- Owner/Development Team  
**WESTON URBAN**  
 112 E. Pecan, Suite 100  
 San Antonio, TX 78205  
 tel. 210.630.7519
- KDC**  
 3115 Preston Road, Suite 700  
 Dallas, TX 75225  
 tel. 214.696.1700
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**PELLI CLARKE PELLI ARCHITECTS**  
 1058 Chapel Street  
 New Haven, CT 06510  
 tel. 203.777.2515
- Architect of Record  
**KENDALL HEATON ASSOCIATES, INC.**  
 3050 Post Oak Blvd, Suite 1000  
 Houston, TX 77056  
 tel. 713.877.1192
- Structural Engineer  
**BROCKETTE DAVIS DRAKE, INC.**  
 4144 N. Central Expressway, Suite 1100  
 Dallas, TX 75204  
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- Mechanical, Electrical, Plumbing, Fire Protection  
**BLUM CONSULTING ENGINEERS, INC.**  
 3744 Walnut Hill Lane, Suite 200  
 Dallas, TX 75231  
 tel. 214.373.8222
- Landscape Architect  
**GUSTAFSON GUTHRIE NICHOL**  
 1932 First Avenue, Suite 400  
 Seattle, WA 98101  
 tel. 206.903.6802
- Civil Engineer  
**PAPE DAWSON ENGINEERS**  
 2000 NW Loop 410  
 San Antonio, TX 78213  
 tel. 210.375.8000
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**PERSOHN/HAHN ASSOCIATES, INC.**  
 11621 Spring Cypress Road, Suite D  
 Tomball, TX 77377  
 tel. 713.467.4444
- Parking Consultant  
**HWA PARKING**  
 3700 W. Sam Houston Parkway South, Suite 100  
 Houston, TX 77042  
 tel. 713.458.7730
- IT/Telecom Consultant  
**JANCOM TECHNOLOGIES, INC.**  
 2365 Easton Road, Suite 201  
 Austin, TX 78746  
 tel. 512.322.5122
- Owner Wall Consultant  
**CURTAIN WALL DESIGN & CONSULTING, INC.**  
 8070 Park Lane, Suite 400  
 Dallas, TX 75231  
 tel. 972.437.4200
- Exterior Building Maintenance Consultant  
**LERCH BATES**  
 719 Sawdust Road, Suite 104  
 The Woodlands, TX 77380  
 tel. 832.380.8393
- Graphic Design and Wayfinding  
**DYAL DESIGN & COMMUNICATIONS**  
 1501 Lavaca Street, Suite 115  
 Austin, TX 78701  
 tel. 512.810.3311
- Security Consultant  
**HMA CONSULTING, INC.**  
 5010 Wright Road, Suite 150  
 Stafford, TX 77477  
 tel. 832.944.6020
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 404 Fifth Avenue  
 New York, NY 10018  
 tel. 212.370.1776
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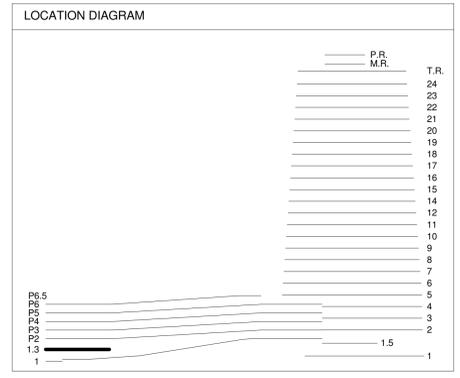
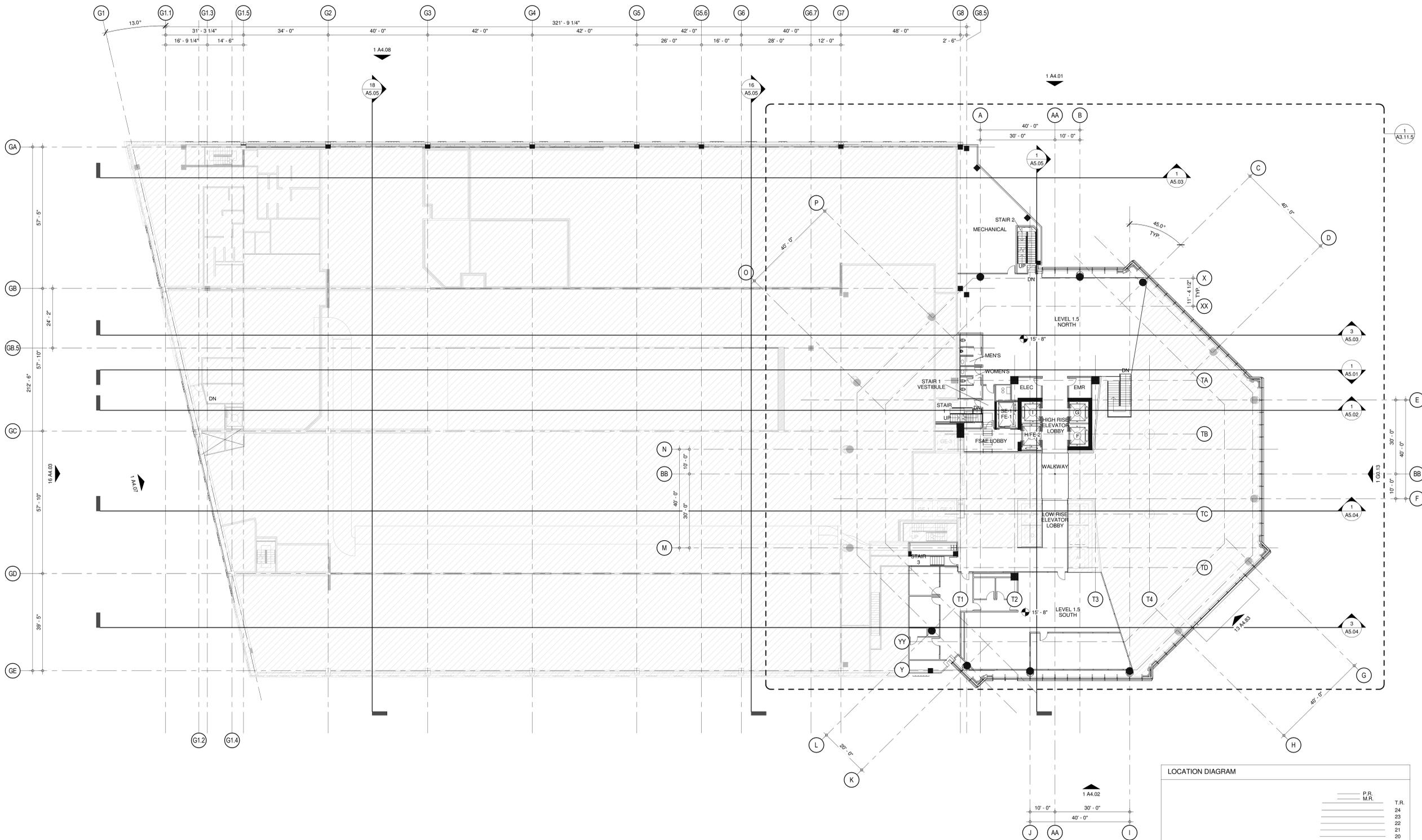


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- Owner/Development Team**  
**WESTON URBAN**  
 112 E. Pecan, Suite 100  
 San Antonio, TX 78205  
 tel. 210.630.7519
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 Houston, TX 77056  
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 4144 N. Central Expressway, Suite 1100  
 Dallas, TX 75204  
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 Seattle, WA 98101  
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 Houston, TX 77042  
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 Austin, TX 78746  
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 New York, NY 10018  
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1	08 JUN 16	60% DESIGN DEVELOPMENT

DRAWING TITLE	
<b>LEVEL 1.5 (EL. +15'-8'')</b>	
NO. PROJECT NO.	DRAWING NUMBER
15026	A3.01.5

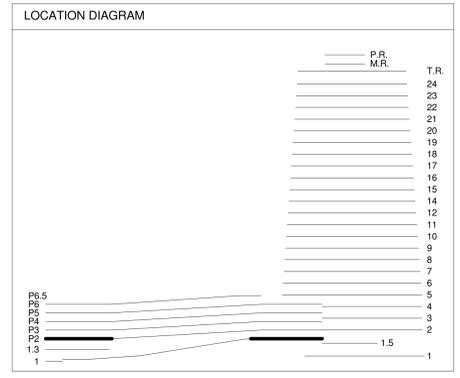
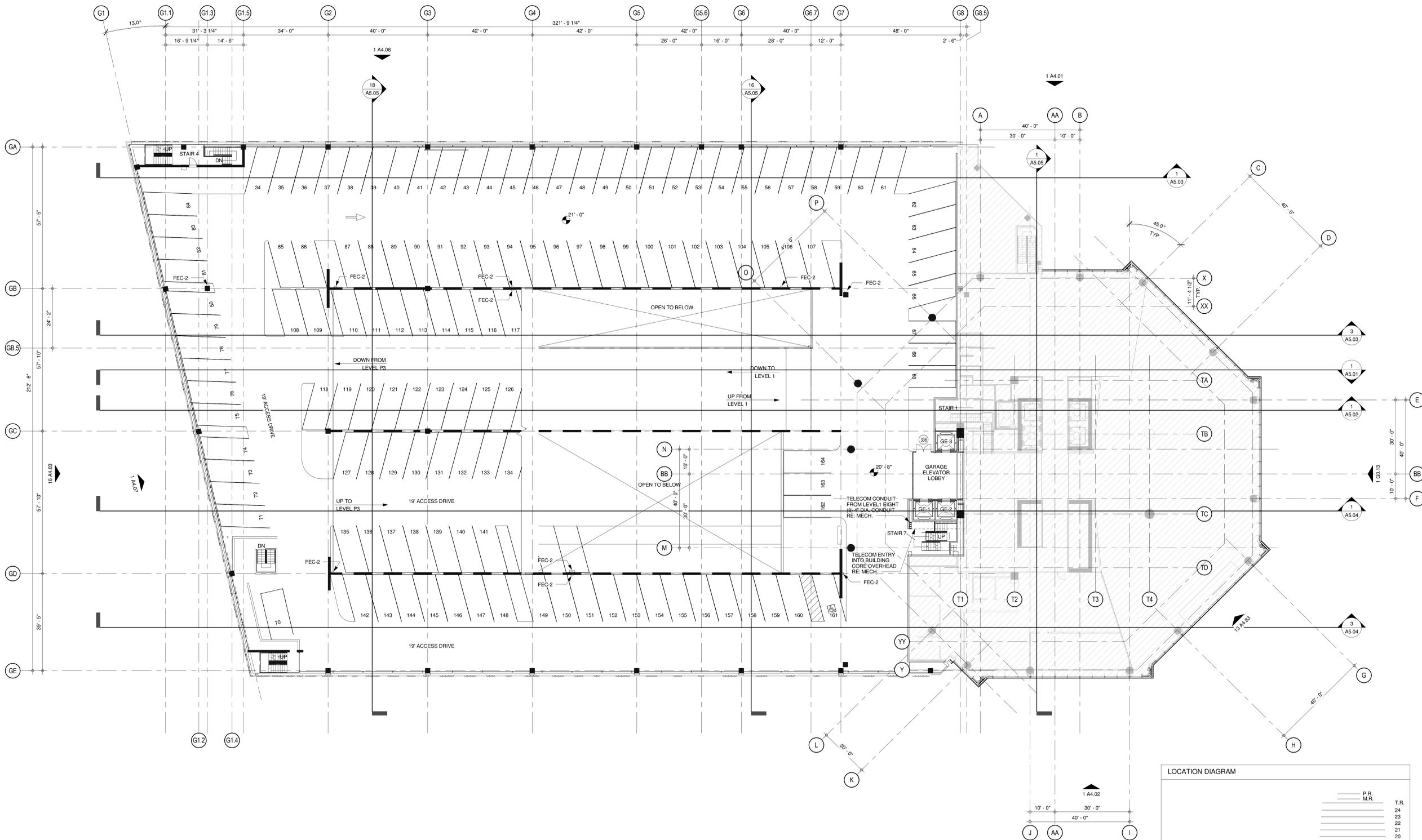


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 San Antonio, TX 78205  
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- KDC**  
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 3050 Post Oak Blvd, Suite 1000  
 Houston, TX 77056  
 tel. 713.871.1192
- Structural Engineer  
**BROCKETTE DAVIS DRAKE, INC.**  
 4144 N. Central Expressway, Suite 1100  
 Dallas, TX 75204  
 tel. 214.824.2586
- Mechanical, Electrical, Plumbing, Fire Protection  
**BLUM CONSULTING ENGINEERS, INC.**  
 3744 Walnut Hill Lane, Suite 200  
 Dallas, TX 75231  
 tel. 214.373.8222
- Landscape Architect  
**GUSTAFSON GUTHRIE NICHOL**  
 1932 First Avenue, Suite 700  
 Seattle, WA 98101  
 tel. 206.903.6802
- Civil Engineer  
**PAPE DAWSON ENGINEERS**  
 2000 NW Loop 410  
 San Antonio, TX 78213  
 tel. 210.275.8000
- Vertical Transportation Consultant  
**PERSOHN/HAHN ASSOCIATES, INC.**  
 11621 Spring Cypress Road, Suite D  
 Tomball, TX 77377  
 tel. 713.467.4444
- Parking Consultant  
**HWA PARKING**  
 3700 W. Sam Houston Parkway South, Suite 100  
 Houston, TX 77042  
 tel. 713.458.7730
- IT/Telecom Consultant  
**JANCOM TECHNOLOGIES, INC.**  
 235 W. Eastman Road, Suite 201  
 Austin, TX 78746  
 tel. 512.322.5122
- Owner Wall Consultant  
**CURTAIN WALL DESIGN & CONSULTING, INC.**  
 8070 Park Lane, Suite 400  
 Dallas, TX 75231  
 tel. 972.437.4200
- Exterior Building Maintenance Consultant  
**LERCH BATES**  
 719 Sawdust Road, Suite 104  
 The Woodlands, TX 77380  
 tel. 832.380.8393
- Graphic Design and Wayfinding  
**DYAL DESIGN & COMMUNICATIONS**  
 1501 Lavaca Street, Suite 115  
 Austin, TX 78701  
 tel. 512.810.3311
- Security Consultant  
**HMA CONSULTING, INC.**  
 5010 Wright Road, Suite 150  
 Stafford, TX 77477  
 tel. 832.944.6020
- Acoustical Consultant  
**CERMAN ASSOCIATES, INC.**  
 404 Fifth Avenue  
 New York, NY 10018  
 tel. 212.370.1776
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 New York, NY 10016  
 tel. 212.741.3280



27 FEB 17



Level P2 Parking Space Count: 131 parking stalls

LEVEL P2

1/16" = 1'-0" 1

**LEVEL P2**  
**(EL. +21'-0")**

PROJECT NO. **15026** DRAWING NUMBER **A3.01.P2**

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# FROST TOWER

SAN ANTONIO, TEXAS

Owner/Development Team  
**WESTON URBAN**  
112 E. Pecan, Suite 100  
San Antonio, TX 78205  
tel. 210.630.7519

**KDC**  
3115 Preston Road, Suite 700  
Dallas, TX 75225  
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3050 Post Oak Blvd, Suite 1000  
Houston, TX 77056  
tel. 713.877.1192

Structural Engineer  
**BROCKETTE DAVIS DRAKE, INC.**  
4144 N. Central Expressway, Suite 1100  
Dallas, TX 75204  
tel. 214.824.2586

Mechanical, Electrical, Plumbing, Fire Protection  
**BLUM CONSULTING ENGINEERS, INC.**  
5744 Walnut Hill Lane, Suite 200  
Dallas, TX 75231  
tel. 214.373.8222

Landscape Architect  
**GUSTAFSON GUTHRIE NICHOL**  
1925 First Avenue, Suite 700  
Seattle, WA 98101  
tel. 206.903.6802

Civil Engineer  
**PAPE DAWSON ENGINEERS**  
2000 NW Loop 410  
San Antonio, TX 78213  
tel. 210.375.8000

Vertical Transportation Consultant  
**PERSOHN/HAHN ASSOCIATES, INC.**  
11621 Spring Cypress Road, Suite D  
Tomball, TX 77377  
tel. 713.467.4444

Parking Consultant  
**HWA PARKING**  
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Houston, TX 77042  
tel. 713.458.7730

IT/Telecom Consultant  
**JANCOM TECHNOLOGIES, INC.**  
235 Walnut Road, Suite 201  
Austin, TX 78746  
tel. 512.322.5122

Curriculum Consultant  
**CURTAIN WALL DESIGN & CONSULTING, INC.**  
8070 Park Lane, Suite 400  
Dallas, TX 75231  
tel. 972.437.4200

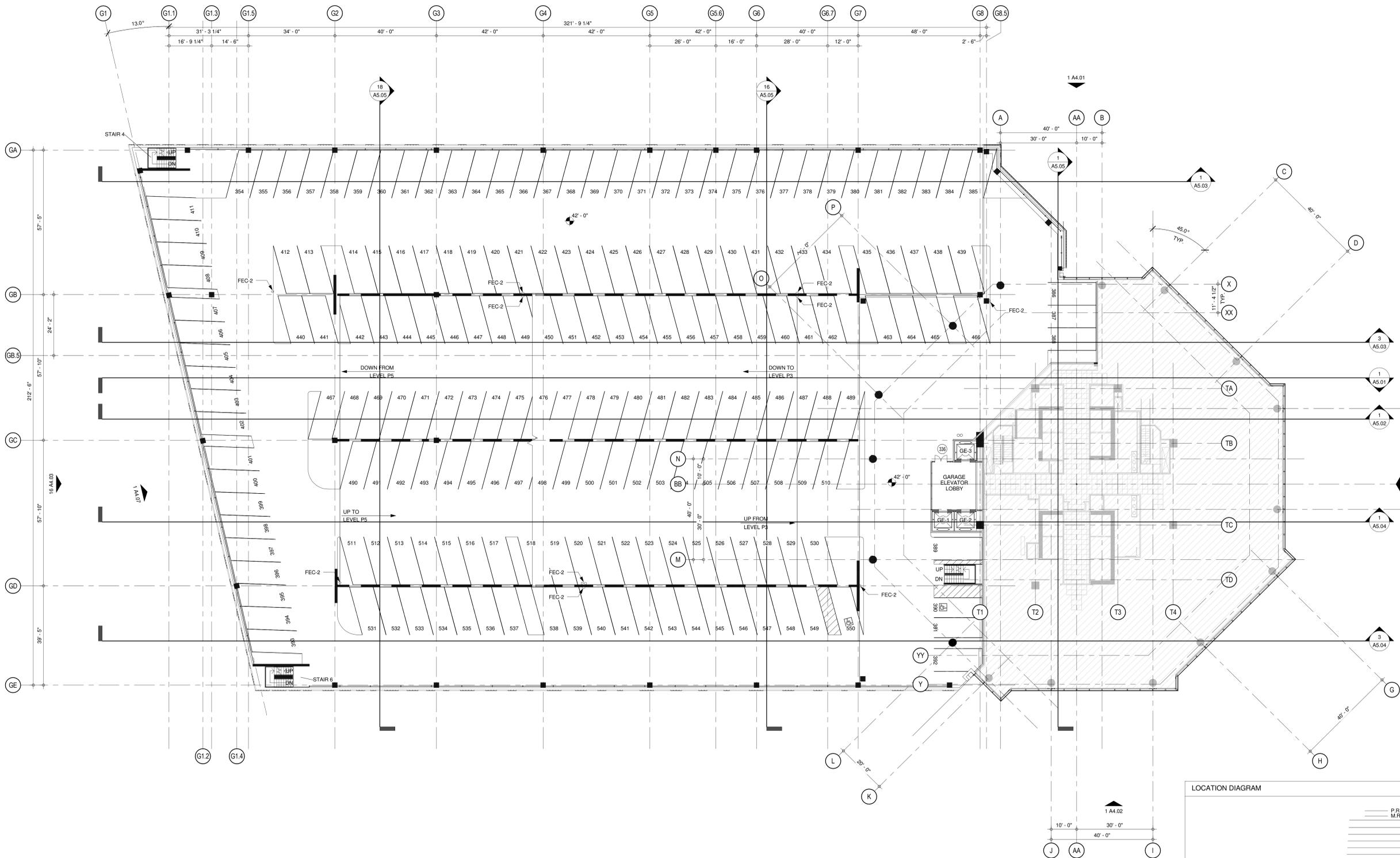
Exterior Building Maintenance Consultant  
**LERCH BATES**  
719 Sawdust Road, Suite 104  
The Woodlands, TX 77380  
tel. 832.380.8393

Graphic Design and Wayfinding  
**DYAL DESIGN & COMMUNICATIONS**  
1501 Lavaca Street, Suite 115  
Austin, TX 78701  
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LOCATION DIAGRAM

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3	14 SEP 16	DD PROGRESS PRINT
2	31 AUG 16	DRAFT - PROGRESS PRINT
1	08 JUN 16	60% DESIGN DEVELOPMENT

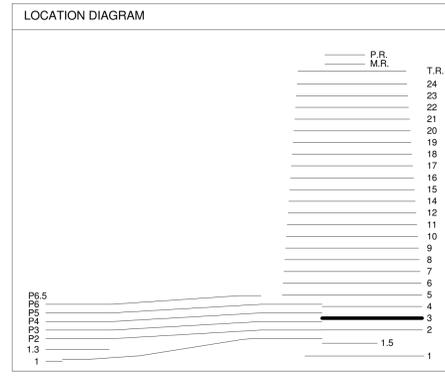
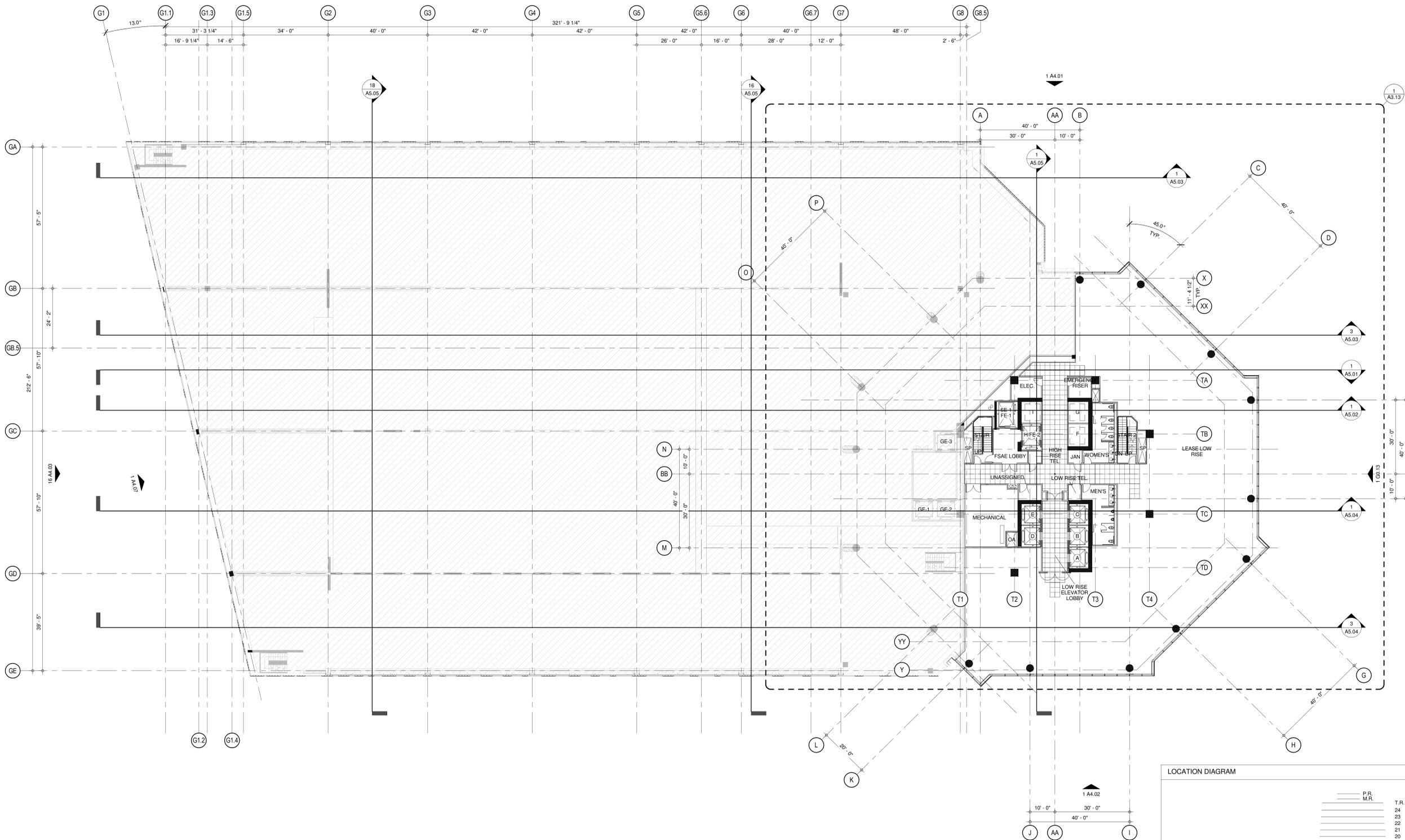
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Level P4 Parking Space Count: 197 parking stalls



**FROST TOWER**  
SAN ANTONIO, TEXAS

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**WESTON URBAN**  
 112 E. Pecan, Suite 100  
 San Antonio, TX 78205  
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 Houston, TX 77056  
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 Dallas, TX 75204  
 tel. 214.824.2586
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 Dallas, TX 75231  
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 Seattle, WA 98101  
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 San Antonio, TX 78213  
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 Tomball, TX 77377  
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 3700 W. Sam Houston Parkway South, Suite 100  
 Houston, TX 77042  
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 235 West Esplanade, Suite 201  
 Austin, TX 78746  
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 Dallas, TX 75231  
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DRAWING TITLE  
**LEVEL 3**  
**(EL. +46'-6")**

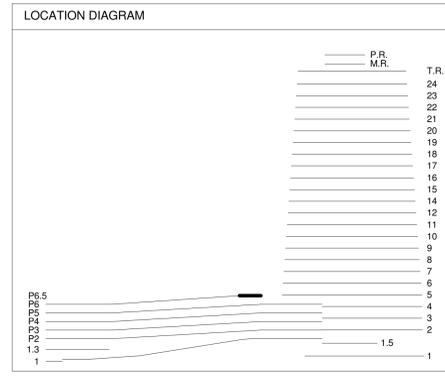
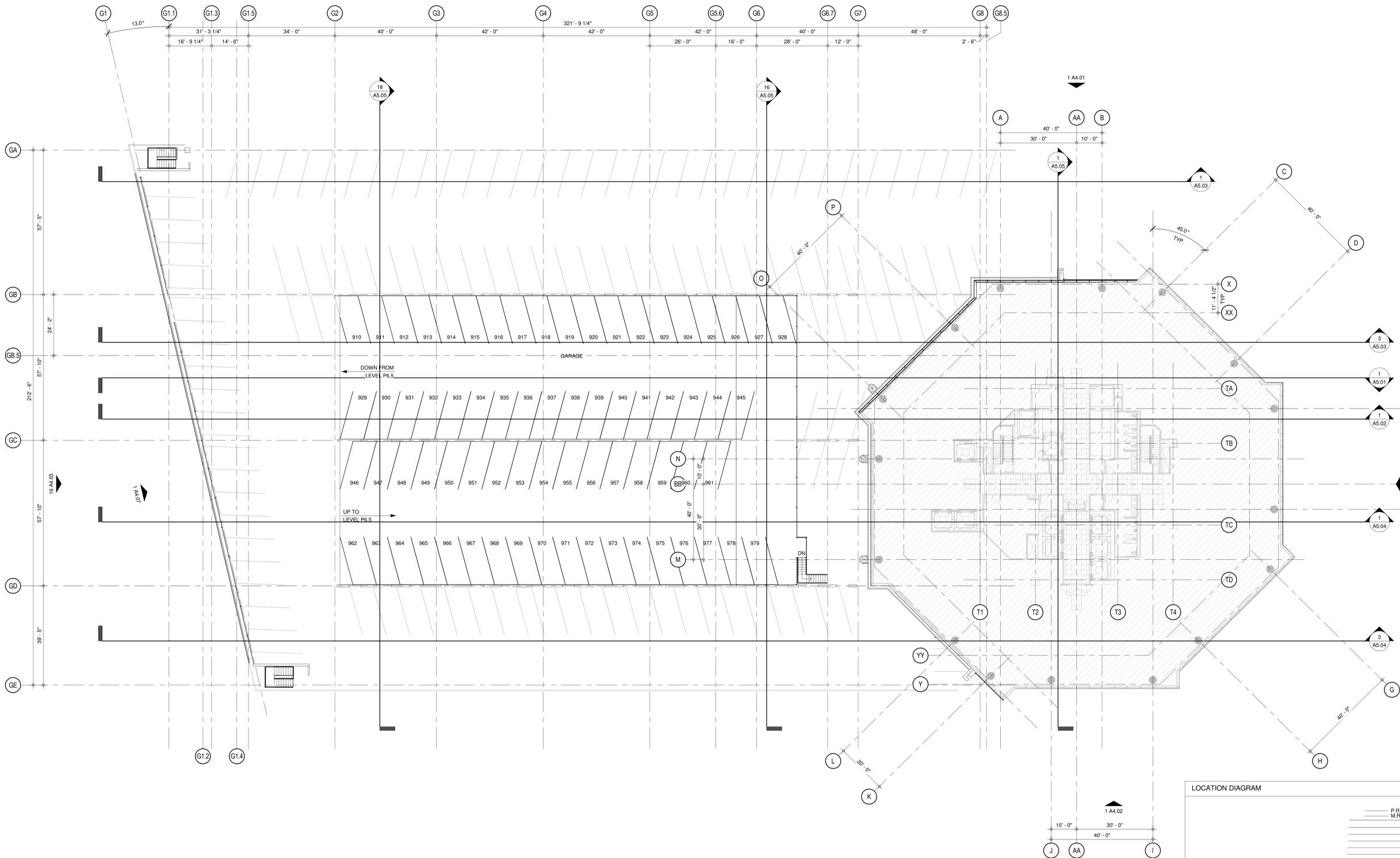
DRAWING NUMBER  
**A3.03**



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SAN ANTONIO, TEXAS

- Owner/Development Team  
**WESTON URBAN**  
 112 E. Pecan, Suite 100  
 San Antonio, TX 78205  
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 235 East Basin Road, Suite 201  
 Austin, TX 78746  
 tel. 512.322.5122
- Owner Wall Consultant  
**CURTAIN WALL DESIGN & CONSULTING, INC.**  
 8070 Park Lane, Suite 400  
 Dallas, TX 75231  
 tel. 972.437.4200
- Exterior Building Maintenance Consultant  
**LERCH BATES**  
 719 Sawdust Road, Suite 104  
 The Woodlands, TX 77380  
 tel. 832.380.8393
- Graphic Design and Wayfinding  
**DYAL DESIGN & COMMUNICATIONS**  
 1501 Lavaca Street, Suite 115  
 Austin, TX 78701  
 tel. 512.810.3311
- Security Consultant  
**HMA CONSULTING, INC.**  
 5010 Wright Road, Suite 150  
 Stafford, TX 77477  
 tel. 832.944.6020
- Acoustical Consultant  
**CERMAN ASSOCIATES, INC.**  
 404 Fifth Avenue  
 New York, NY 10018  
 tel. 212.370.1776
- Lighting Consultant  
**CLINE BETTRIDGE BERNSTEIN**  
 LIGHTING DESIGN INC.  
 116 East 27th Street, 4th Floor  
 New York, NY 10016  
 tel. 212.741.3280



Level P6.5 Parking Space Count: 70 parking stalls

## LEVEL P6.5 (EL. +73'-6")

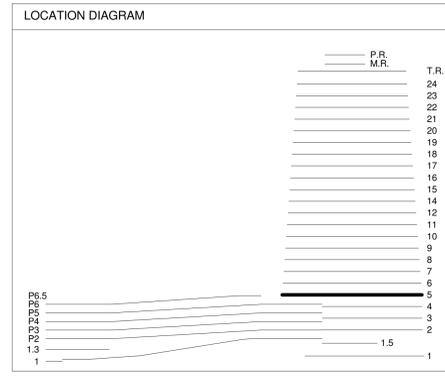
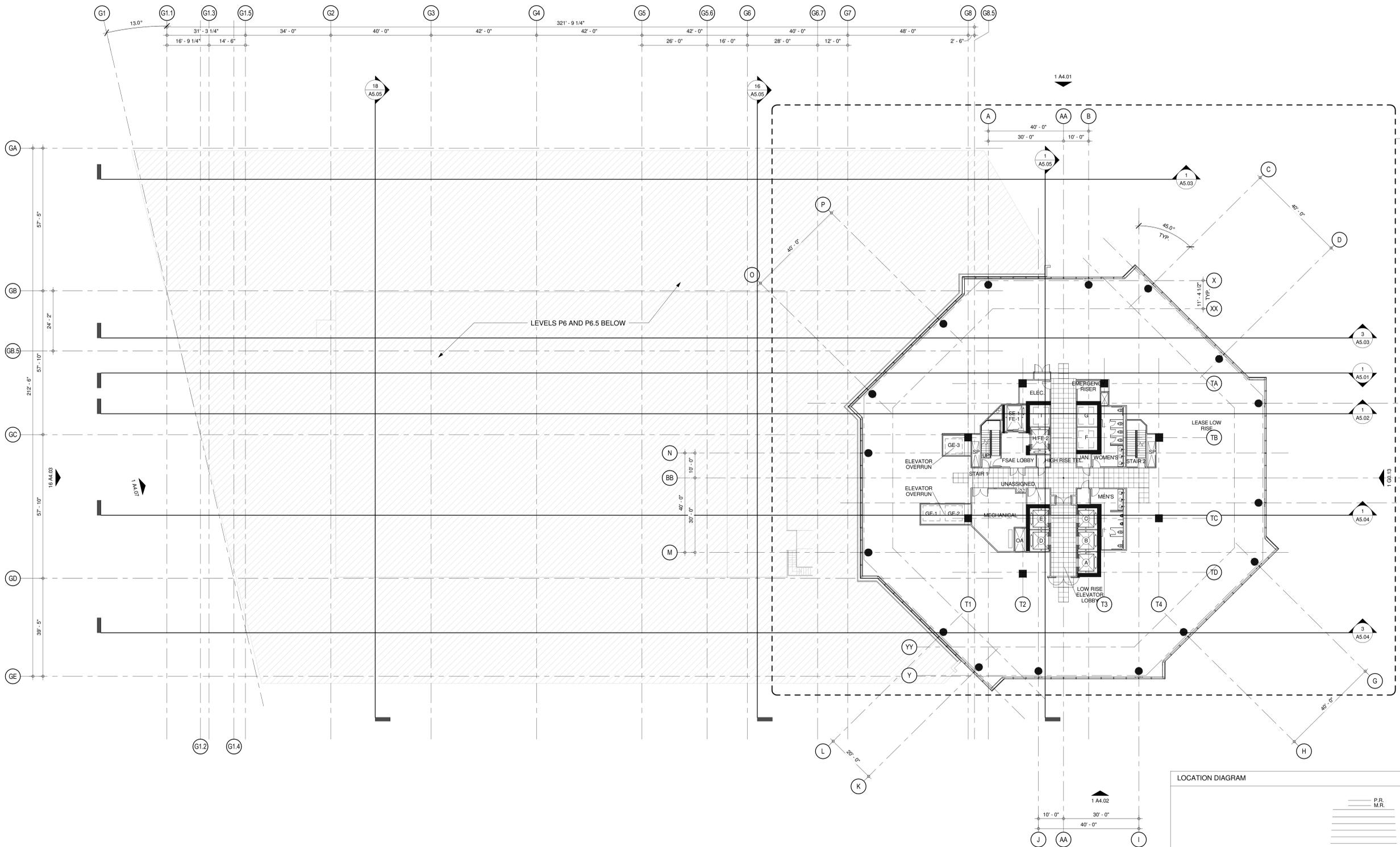
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DWG FILENAME: PROJECT NO. 15026 DRAWING NUMBER: A3.04.P6.5



**FROST TOWER**  
SAN ANTONIO, TEXAS

- Owner/Development Team**  
**WESTON URBAN**  
 112 E. Pecan, Suite 100  
 San Antonio, TX 78205  
 tel. 210.630.7519
- KDC**  
 3115 Preston Road, Suite 700  
 Dallas, TX 75225  
 tel. 214.696.1700
- Design Architect**  
**PELLI CLARKE PELLI ARCHITECTS**  
 1058 Chapel Street  
 New Haven, CT 06510  
 tel. 203.777.2515
- Architect of Record**  
**KENDALL HEATON ASSOCIATES, INC.**  
 3050 Post Oak Blvd, Suite 1000  
 Houston, TX 77056  
 tel. 713.877.1192
- Structural Engineer**  
**BRACKETTE DAVIS DRAKE, INC.**  
 4144 N. Central Expressway, Suite 1100  
 Dallas, TX 75204  
 tel. 214.824.2586
- Mechanical, Electrical, Plumbing, Fire Protection**  
**BLUM CONSULTING ENGINEERS, INC.**  
 3744 Walnut Hill Lane, Suite 200  
 Dallas, TX 75231  
 tel. 214.373.8222
- Landscape Architect**  
**GUSTAFSON GUTHRIE NICHOL**  
 1552 First Avenue, Suite 700  
 Seattle, WA 98101  
 tel. 206.903.6802
- Civil Engineer**  
**PAPE DAWSON ENGINEERS**  
 2000 NW Loop 410  
 San Antonio, TX 78213  
 tel. 210.375.8000
- Vertical Transportation Consultant**  
**PERSOHN/HAHN ASSOCIATES, INC.**  
 11621 Spring Cypress Road, Suite D  
 Tomball, TX 77377  
 tel. 713.467.4444
- Parking Consultant**  
**HWA PARKING**  
 3700 W. Sam Houston Parkway South, Suite 100  
 Houston, TX 77042  
 tel. 713.458.7730
- IT/Telecom Consultant**  
**JANCOM TECHNOLOGIES, INC.**  
 235 W. Eason Road, Suite 201  
 Austin, TX 78746  
 tel. 512.322.5122
- Owner Wall Consultant**  
**CURTAIN WALL DESIGN & CONSULTING, INC.**  
 8070 Park Lane, Suite 400  
 Dallas, TX 75231  
 tel. 972.437.4200
- Exterior Building Maintenance Consultant**  
**LERCH BATES**  
 719 Sawdust Road, Suite 104  
 The Woodlands, TX 77380  
 tel. 832.380.8393
- Graphic Design and Wayfinding**  
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 Austin, TX 78701  
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 5010 Wirth Road, Suite 150  
 Stafford, TX 77477  
 tel. 832.944.6020
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**CERMAN ASSOCIATES, INC.**  
 404 Fifth Avenue  
 New York, NY 10018  
 tel. 212.370.1776
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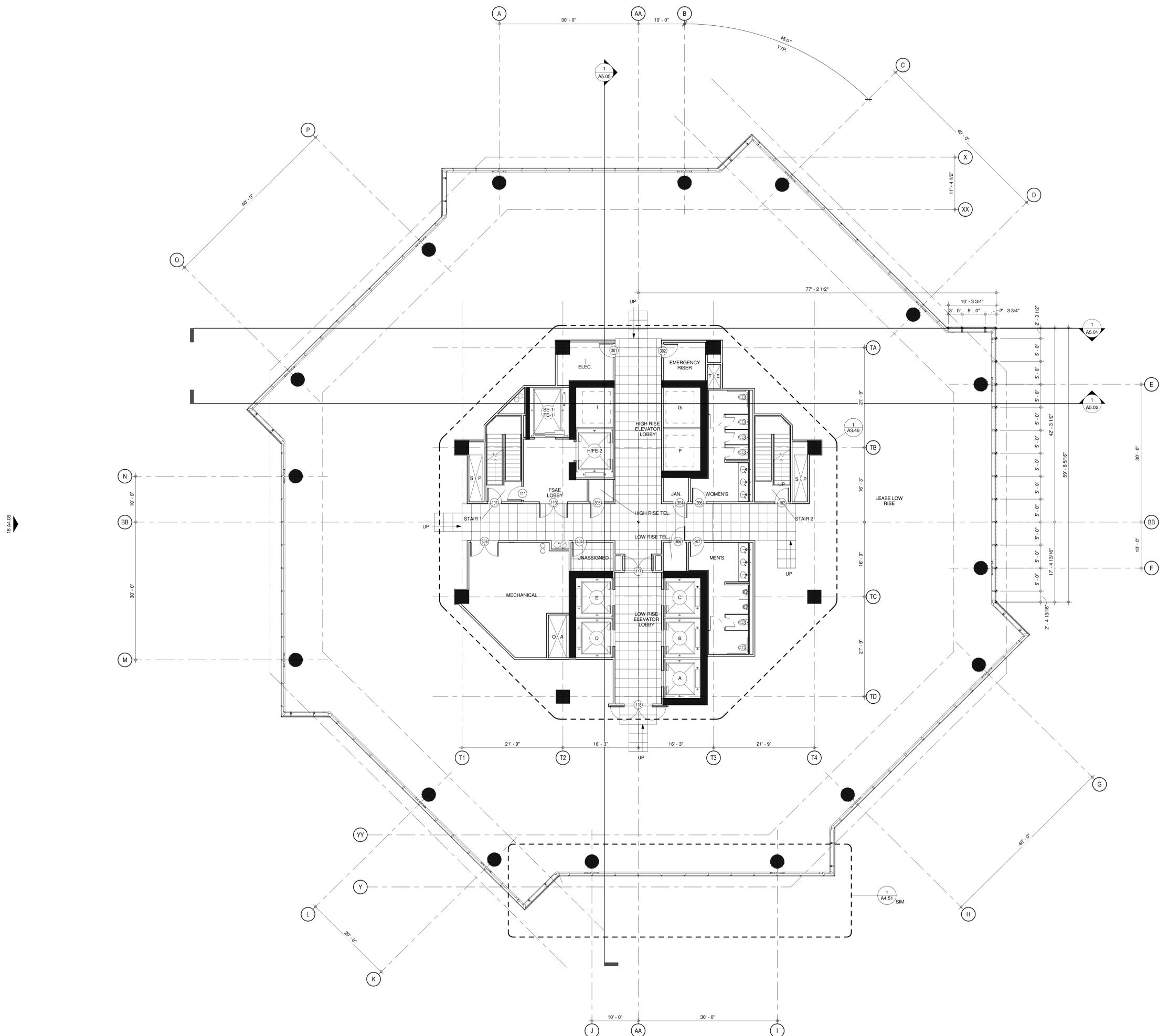
**LEVEL 5**  
**(EL. +75'-0")**

PROJECT NO. **15026** DRAWING NUMBER **A3.05**



**FROST TOWER**  
SAN ANTONIO, TEXAS

- Owner/Development Team  
**WESTON URBAN**  
 112 E. Pecan, Suite 100  
 San Antonio, TX 78205  
 tel. 210.630.7519
- KDC**  
 3115 Preston Road, Suite 700  
 Dallas, TX 75225  
 tel. 214.696.1700
- Design Architect  
**PELLI CLARKE PELLI ARCHITECTS**  
 1058 Chapel Street  
 New Haven, CT 06510  
 tel. 203.777.2515
- Architect of Record  
**KENDALL HEATON ASSOCIATES, INC.**  
 3050 Post Oak Blvd, Suite 1000  
 Houston, TX 77056  
 tel. 713.871.1192
- Structural Engineer  
**BROCKETTE DAVIS DRAKE, INC.**  
 4144 N. Central Expressway, Suite 1100  
 Dallas, TX 75204  
 tel. 214.824.2586
- Mechanical, Electrical, Plumbing, Fire Protection  
**BLUM CONSULTING ENGINEERS, INC.**  
 3744 Walnut Hill Lane, Suite 200  
 Dallas, TX 75231  
 tel. 214.373.8222
- Landscape Architect  
**GUSTAFSON GUTHRIE NICHOL**  
 1932 First Avenue, Suite 700  
 Seattle, WA 98101  
 tel. 206.903.6802
- Civil Engineer  
**PAPE DAWSON ENGINEERS**  
 2000 NW Loop 410  
 San Antonio, TX 78213  
 tel. 210.375.8000
- Vertical Transportation Consultant  
**PERSOHN/HAHN ASSOCIATES, INC.**  
 11621 Spring Cypress Road, Suite D  
 Tomball, TX 77377  
 tel. 713.467.444
- Parking Consultant  
**HWA PARKING**  
 3700 W. Sam Houston Parkway South, Suite 100  
 Houston, TX 77042  
 tel. 713.458.7730
- IT/Telecom Consultant  
**JANCOM TECHNOLOGIES, INC.**  
 236 West Basin Road, Suite 201  
 Austin, TX 78746  
 tel. 512.322.5122
- Custom Wall Consultant  
**CURTAIN WALL DESIGN & CONSULTING, INC.**  
 8070 Park Lane, Suite 400  
 Dallas, TX 75231  
 tel. 972.427.4200
- Exterior Building Maintenance Consultant  
**LERCH BATES**  
 719 Sawdust Road, Suite 104  
 The Woodlands, TX 77380  
 tel. 832.380.8393
- Graphic Design and Wayfinding  
**DYAL DESIGN & COMMUNICATIONS**  
 1501 Lavaca Street, Suite 115  
 Austin, TX 78701  
 tel. 512.810.3311
- Security Consultant  
**HMA CONSULTING, INC.**  
 2010 Wright Road, Suite 150  
 Stafford, TX 77477  
 tel. 832.944.6020
- Acoustical Consultant  
**CERMAN ASSOCIATES INC.**  
 404 Fifth Avenue  
 New York, NY 10018  
 tel. 212.370.1776
- Lighting Consultant  
**CLINE BETTRIDGE BERNSTEIN**  
 LIGHTING DESIGN INC.  
 116 East 27th Street, 4th Floor  
 New York, NY 10016  
 tel. 212.741.3280



16 A4.03

LEVEL 12 - TOWER PLAN

1/8" = 1'-0" 1

**LEVEL 12 TOWER PLAN**

DRAWING NUMBER  
**A3.22**

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5	27 FEB 17	ISSUED FOR PERMIT
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PROJECT NO.  
**15026**

DATE  
**27 FEB 17**

ISSUE

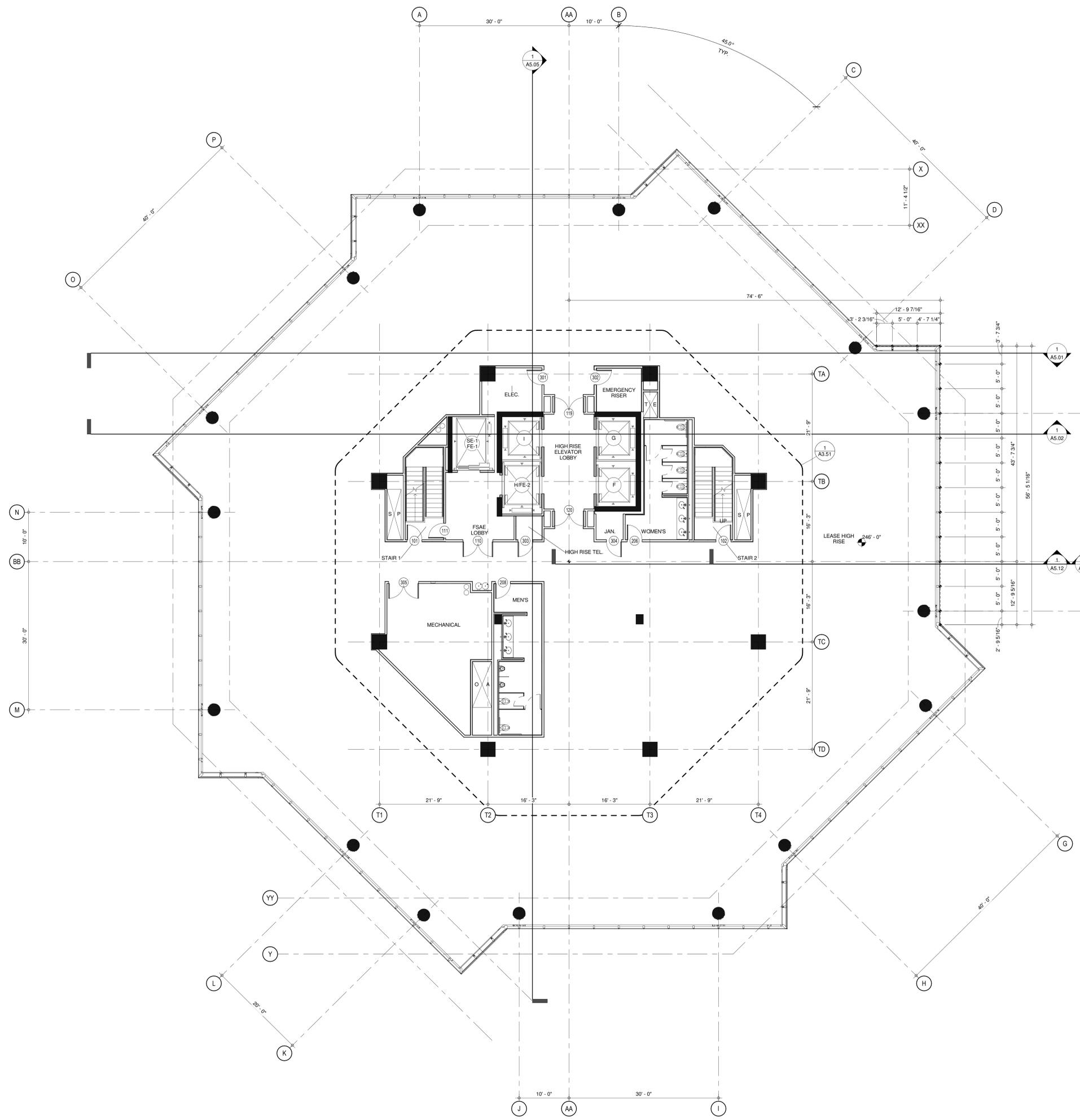
1/8" = 1'-0" 1



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SAN ANTONIO, TEXAS

- Owner/Development Team**  
**WESTON URBAN**  
 112 E. Pecan, Suite 100  
 San Antonio, TX 78205  
 tel. 210.630.7519
- KDC**  
 3115 Preston Road, Suite 700  
 Dallas, TX 75225  
 tel. 214.696.1700
- Design Architect**  
**PELLI CLARKE PELLI ARCHITECTS**  
 1058 Chapel Street  
 New Haven, CT 06510  
 tel. 203.777.2515
- Architect of Record**  
**KENDALL HEATON ASSOCIATES, INC.**  
 3050 Post Oak Blvd, Suite 1000  
 Houston, TX 77056  
 tel. 713.877.1192
- Structural Engineer**  
**BROCKETTE DAVIS DRAKE, INC.**  
 4144 N. Central Expressway, Suite 1100  
 Dallas, TX 75204  
 tel. 214.824.2586
- Mechanical, Electrical, Plumbing, Fire Protection**  
**BLUM CONSULTING ENGINEERS, INC.**  
 3744 Walnut Hill Lane, Suite 200  
 Dallas, TX 75231  
 tel. 214.373.8222
- Landscape Architect**  
**GUSTAFSON GUTHRIE NICHOL**  
 1932 First Avenue, Suite 700  
 Seattle, WA 98101  
 tel. 206.903.6802
- Civil Engineer**  
**PAPE DAWSON ENGINEERS**  
 2000 NW Loop 410  
 San Antonio, TX 78213  
 tel. 210.375.8000
- Vertical Transportation Consultant**  
**PERSOHN/HAHN ASSOCIATES, INC.**  
 11621 Spring Cypress Road, Suite D  
 Tomball, TX 77377  
 tel. 713.467.444
- Parking Consultant**  
**HWA PARKING**  
 3700 W. Sam Houston Parkway South, Suite 100  
 Houston, TX 77042  
 tel. 713.458.7730
- IT/Telecom Consultant**  
**JANCOM TECHNOLOGIES, INC.**  
 236 Wild Basin Road, Suite 201  
 Austin, TX 78746  
 tel. 512.322.5122
- Curtain Wall Consultant**  
**CURTAIN WALL DESIGN & CONSULTING, INC.**  
 8070 Park Lane, Suite 400  
 Dallas, TX 75231  
 tel. 972.427.4200
- Exterior Building Maintenance Consultant**  
**LERCH BATES**  
 719 Sawdust Road, Suite 104  
 The Woodlands, TX 77380  
 tel. 832.380.8393
- Graphic Design and Wayfinding**  
**DYAL DESIGN & COMMUNICATIONS**  
 1501 Lavaca Street, Suite 115  
 Austin, TX 78701  
 tel. 512.810.3311
- Security Consultant**  
**HMA CONSULTING, INC.**  
 2010 Wright Road, Suite 150  
 Stafford, TX 77477  
 tel. 832.944.6020
- Acoustical Consultant**  
**CERMAN ASSOCIATES INC.**  
 404 Fifth Avenue  
 New York, NY 10018  
 tel. 212.370.1776
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**CLINE BETTRIDGE BERNSTEIN**  
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16.A4.03



LEVEL 18 - TOWER PLAN

1/8" = 1'-0" 1

**LEVEL 18 TOWER PLAN**

PROJECT NO. 15026  
 DRAWING NUMBER A3.28

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DRAWING TITLE

PROJECT NO. 15026  
 DRAWING NUMBER A3.28

1/8" = 1'-0" 1

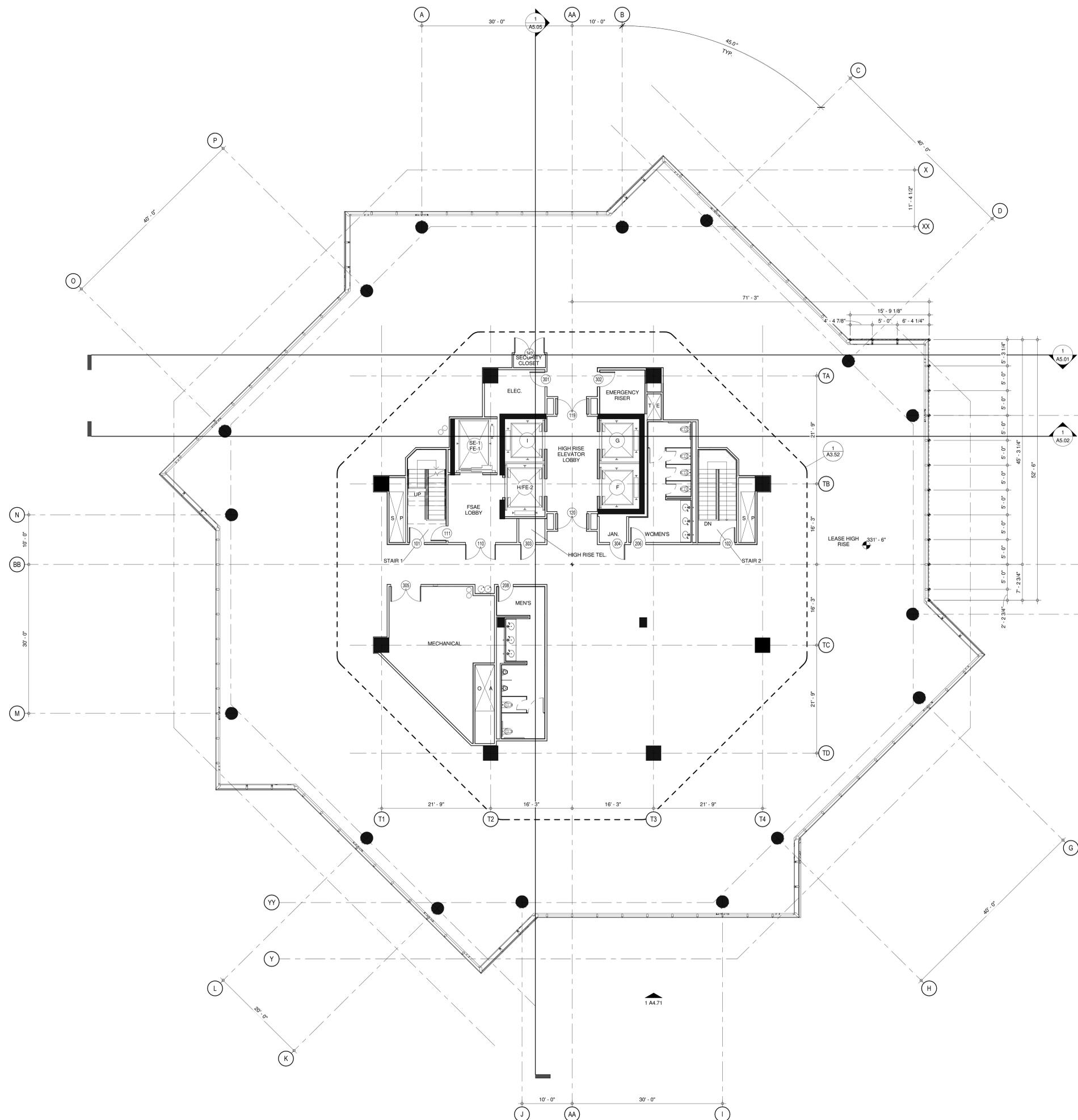
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**FROST TOWER**  
SAN ANTONIO, TEXAS

- Owner/Development Team  
**WESTON URBAN**  
 112 E. Pecan, Suite 100  
 San Antonio, TX 78205  
 tel. 210.630.7519
- KDC  
 3115 Preston Road, Suite 700  
 Dallas, TX 75225  
 tel. 214.696.1700
- Design Architect  
**PELLI CLARKE PELLI ARCHITECTS**  
 1058 Chapel Street  
 New Haven, CT 06510  
 tel. 203.777.2515
- Architect of Record  
**KENDALL HEATON ASSOCIATES, INC.**  
 3050 Post Oak Blvd, Suite 1000  
 Houston, TX 77056  
 tel. 713.871.1192
- Structural Engineer  
**BROCKETTE DAVIS DRAKE, INC.**  
 4144 N. Central Expressway, Suite 1100  
 Dallas, TX 75204  
 tel. 214.824.2586
- Mechanical, Electrical, Plumbing, Fire Protection  
**BLUM CONSULTING ENGINEERS, INC.**  
 3744 Walnut Hill Lane, Suite 200  
 Dallas, TX 75231  
 tel. 214.373.8222
- Landscape Architect  
**GUSTAFSON GUTHRIE NICHOL**  
 1932 First Avenue, Suite 750  
 Seattle, WA 98101  
 tel. 206.903.6802
- Civil Engineer  
**PAPE DAWSON ENGINEERS**  
 2000 NW Loop 410  
 San Antonio, TX 78213  
 tel. 210.375.8000
- Vertical Transportation Consultant  
**PERSOHN/HAHN ASSOCIATES, INC.**  
 11621 Spring Cypress Road, Suite D  
 Tomball, TX 77377  
 tel. 713.467.444
- Parking Consultant  
**HWA PARKING**  
 3700 W. Sam Houston Parkway South, Suite 100  
 Houston, TX 77042  
 tel. 713.458.7730
- IT/Telecom Consultant  
**JANCOM TECHNOLOGIES, INC.**  
 236 West Basin Road, Suite 201  
 Austin, TX 78746  
 tel. 512.322.5122
- Curtain Wall Consultant  
**CURTAIN WALL DESIGN & CONSULTING, INC.**  
 8070 Park Lane, Suite 400  
 Dallas, TX 75231  
 tel. 972.427.4200
- Exterior Building Maintenance Consultant  
**LERCH BATES**  
 719 Sawdust Road, Suite 104  
 The Woodlands, TX 77380  
 tel. 832.380.8393
- Graphic Design and Wayfinding  
**DYAL DESIGN & COMMUNICATIONS**  
 1501 Lavaca Street, Suite 115  
 Austin, TX 78701  
 tel. 512.810.3311
- Security Consultant  
**HMA CONSULTING, INC.**  
 2010 Wright Road, Suite 150  
 Stafford, TX 77477  
 tel. 832.944.6020
- Acoustical Consultant  
**CERMAN ASSOCIATES INC.**  
 404 Fifth Avenue  
 New York, NY 10018  
 tel. 212.370.1776
- Lighting Consultant  
**CLINE BETTRIDGE BERNSTEIN**  
 LIGHTING DESIGN INC.  
 116 East 27th Street, 4th Floor  
 New York, NY 10016  
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LEVEL 24 - TOWER PLAN

1/8" = 1'-0" 1

**LEVEL 24 TOWER PLAN**

NO. DATE ISSUE

PROJECT NO. 15026 DRAWING NUMBER A3.34



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# FROST TOWER SAN ANTONIO, TEXAS

Owner/Development Team  
**WESTON URBAN**  
112 E. Pecan, Suite 100  
San Antonio, TX 78205  
tel. 210.630.7519

**KDC**  
3115 Preston Road, Suite 700  
Dallas, TX 75225  
tel. 214.696.1700

Design Architect  
**PELLI CLARKE PELLI ARCHITECTS**  
1058 Chapel Street  
New Haven, CT 06510  
tel. 203.777.2515

Architect of Record  
**KENDALL HEATON ASSOCIATES, INC.**  
3050 Post Oak Blvd, Suite 1000  
Houston, TX 77056  
tel. 713.877.1192

Structural Engineer  
**BROCKETTE DAVIS DRAKE, INC.**  
4144 N. Central Expressway, Suite 1100  
Dallas, TX 75204  
tel. 214.824.2586

Mechanical, Electrical, Plumbing, Fire Protection  
**BLUM CONSULTING ENGINEERS, INC.**  
3744 Walnut Hill Lane, Suite 200  
Dallas, TX 75231  
tel. 214.373.8222

Landscape Architect  
**GUSTAFSON GUTHRIE NICHOL**  
1932 First Avenue, Suite 700  
Seattle, WA 98101  
tel. 206.903.6802

Civil Engineer  
**PAPE DAWSON ENGINEERS**  
2000 NW Loop 410  
San Antonio, TX 78213  
tel. 210.375.8000

Vertical Transportation Consultant  
**PERSOHN/HAHN ASSOCIATES, INC.**  
11621 Spring Cypress Road, Suite D  
Tomball, TX 77377  
tel. 713.467.4444

Parking Consultant  
**HWA PARKING**  
3700 W. Sam Houston Parkway South, Suite 100  
Houston, TX 77042  
tel. 713.458.7730

IT/Telecom Consultant  
**JANCOM TECHNOLOGIES, INC.**  
235 Wild Basin Road, Suite 201  
Austin, TX 78746  
tel. 512.322.5122

Curtain Wall Consultant  
**CURTAIN WALL DESIGN & CONSULTING, INC.**  
8070 Park Lane, Suite 400  
Dallas, TX 75231  
tel. 972.427.4200

Exterior Building Maintenance Consultant  
**LERCH BATES**  
719 Sawdust Road, Suite 104  
The Woodlands, TX 77380  
tel. 832.380.8393

Graphic Design and Wayfinding  
**DYAL DESIGN & COMMUNICATIONS**  
1501 Lavaca Street, Suite 115  
Austin, TX 78701  
tel. 512.810.3311

Security Consultant  
**HMA CONSULTING, INC.**  
2010 Wright Road, Suite 150  
Stafford, TX 77477  
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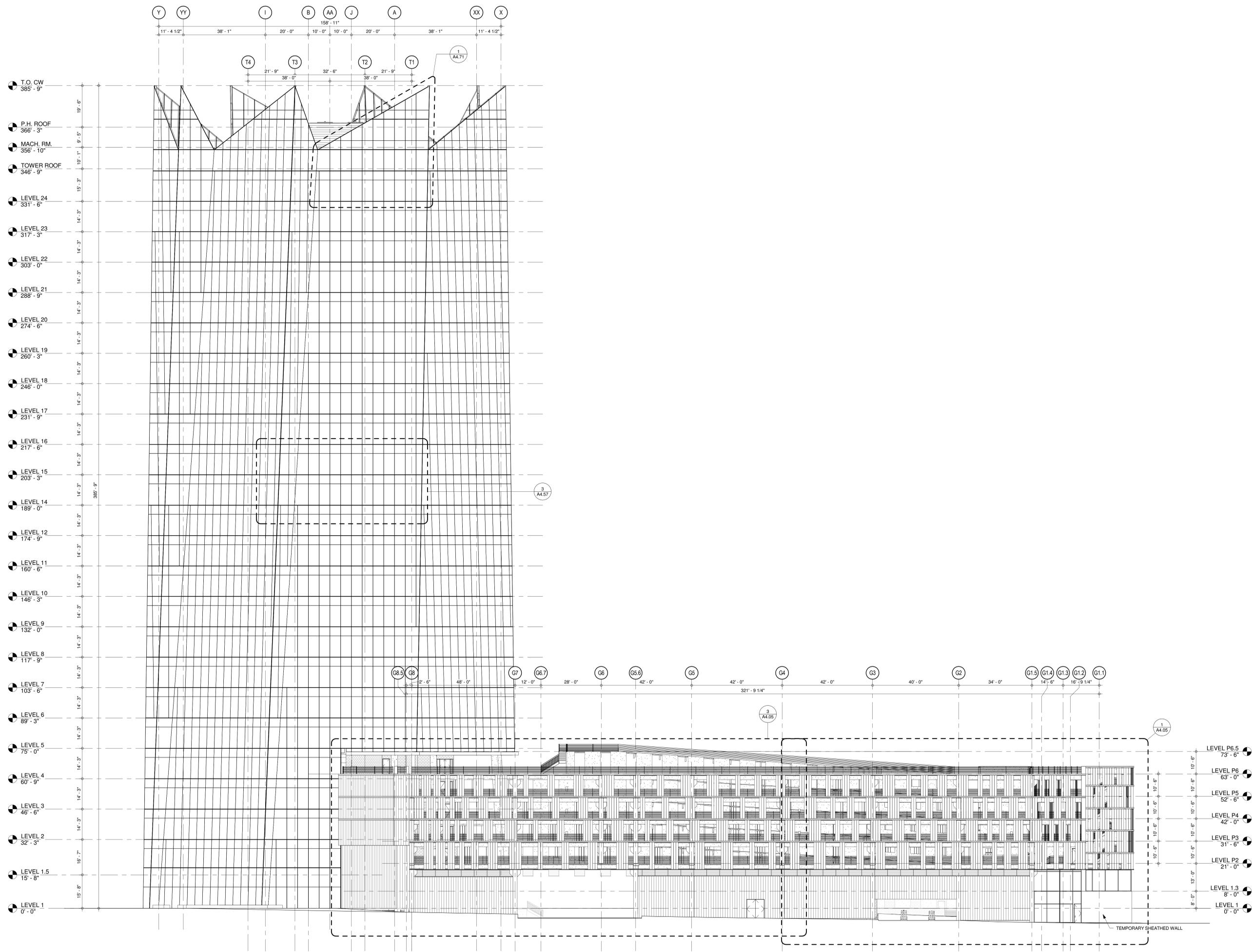


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## BUILDING ELEVATIONS

PROJECT NO. **15026** DRAWING NUMBER **A4.01**



NORTH BUILDING ELEVATION

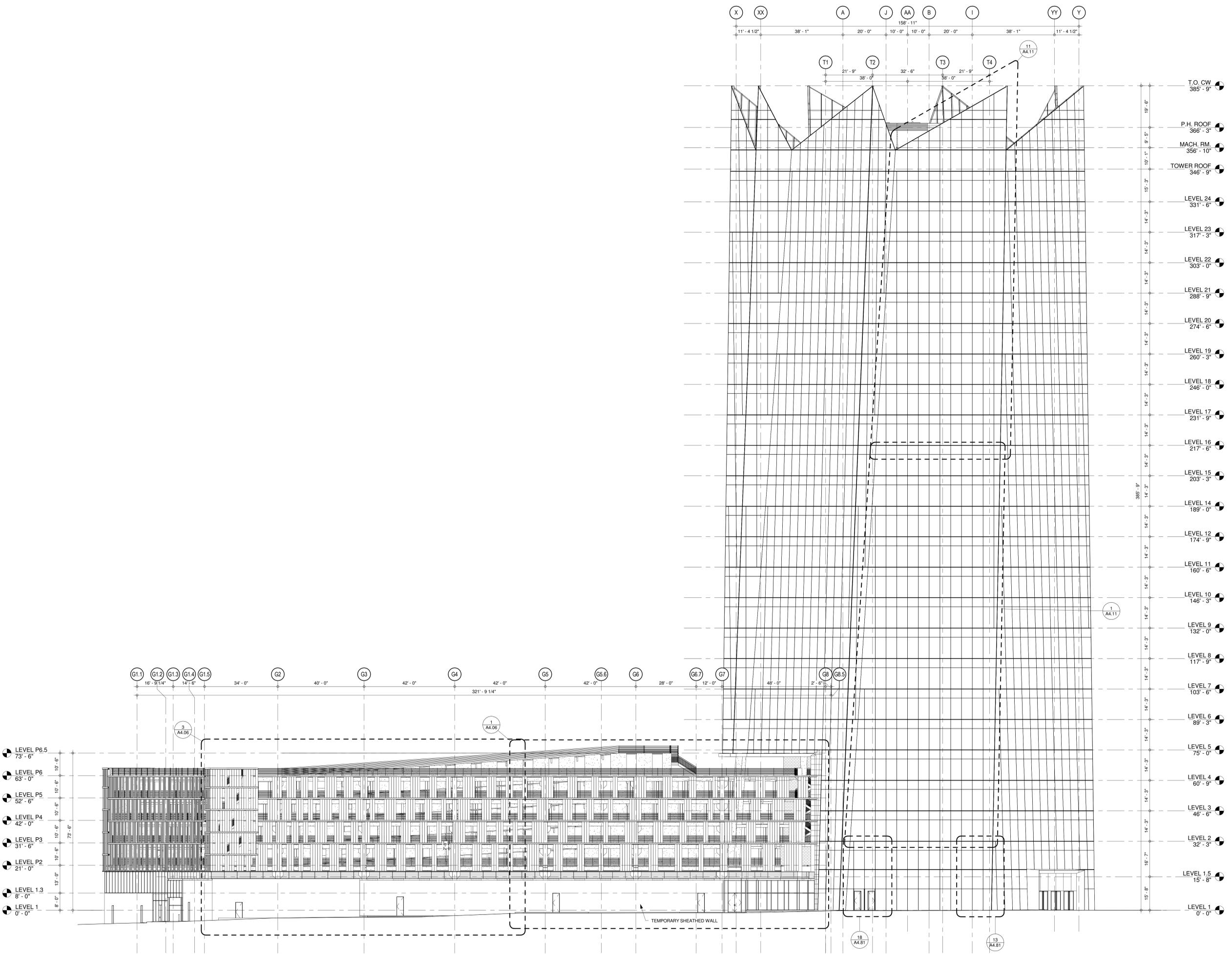
1/16" = 1'-0" 1



# FROST TOWER

SAN ANTONIO, TEXAS

- Owner/Development Team**  
**WESTON URBAN**  
 112 E. Pecan, Suite 100  
 San Antonio, TX 78205  
 tel. 210.630.7519
- KDC**  
 3115 Preston Road, Suite 700  
 Dallas, TX 75225  
 tel. 214.696.1700
- Design Architect**  
**PELLI CLARKE PELLI ARCHITECTS**  
 1058 Chapel Street  
 New Haven, CT 06510  
 tel. 203.777.2515
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**KENDALLHEATON ASSOCIATES, INC.**  
 3050 Post Oak Blvd, Suite 1000  
 Houston, TX 77056  
 tel. 713.871.1192
- Structural Engineer**  
**BROCKETTE DAVIS DRAKE, INC.**  
 4144 N. Central Expressway, Suite 1100  
 Dallas, TX 75204  
 tel. 214.824.2586
- Mechanical, Electrical, Plumbing, Fire Protection**  
**BLUM CONSULTING ENGINEERS, INC.**  
 3144 Walnut Hill Lane, Suite 201  
 Dallas, TX 75231  
 tel. 214.373.8222
- Landscape Architect**  
**GUSTAFSON GUTHRIE NICHOL**  
 1932 First Avenue, Suite 700  
 Seattle, WA 98101  
 tel. 206.903.6802
- Civil Engineer**  
**PAPE DAWSON ENGINEERS**  
 2000 NW Loop 410  
 San Antonio, TX 78213  
 tel. 210.375.8000
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 11621 Spring Cypress Road, Suite D  
 Tomball, TX 77377  
 tel. 713.467.444
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**HWA PARKING**  
 3700 W. Sam Houston Parkway South, Suite 100  
 Houston, TX 77042  
 tel. 713.458.7730
- IT/Telecom Consultant**  
**JANCOM TECHNOLOGIES, INC.**  
 235 Wild Basin Road, Suite 201  
 Austin, TX 78746  
 tel. 512.322.5122
- Curtain Wall Consultant**  
**CURTAIN WALL DESIGN & CONSULTING, INC.**  
 8070 Park Lane, Suite 400  
 Dallas, TX 75231  
 tel. 972.427.4200
- Exterior Building Maintenance Consultant**  
**LERCH BATES**  
 719 Sawdust Road, Suite 104  
 The Woodlands, TX 77380  
 tel. 832.380.8393
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**DYAL DESIGN & COMMUNICATIONS**  
 1501 Lavaca Street, Suite 115  
 Austin, TX 78701  
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 2010 Wright Road, Suite 150  
 Stafford, TX 77477  
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 404 Fifth Avenue  
 New York, NY 10018  
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SOUTH BUILDING ELEVATION

1/16" = 1'-0" 1



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**BUILDING ELEVATIONS**

PROJECT NO. **15026** DRAWING NUMBER **A4.02**



# FROST TOWER SAN ANTONIO, TEXAS

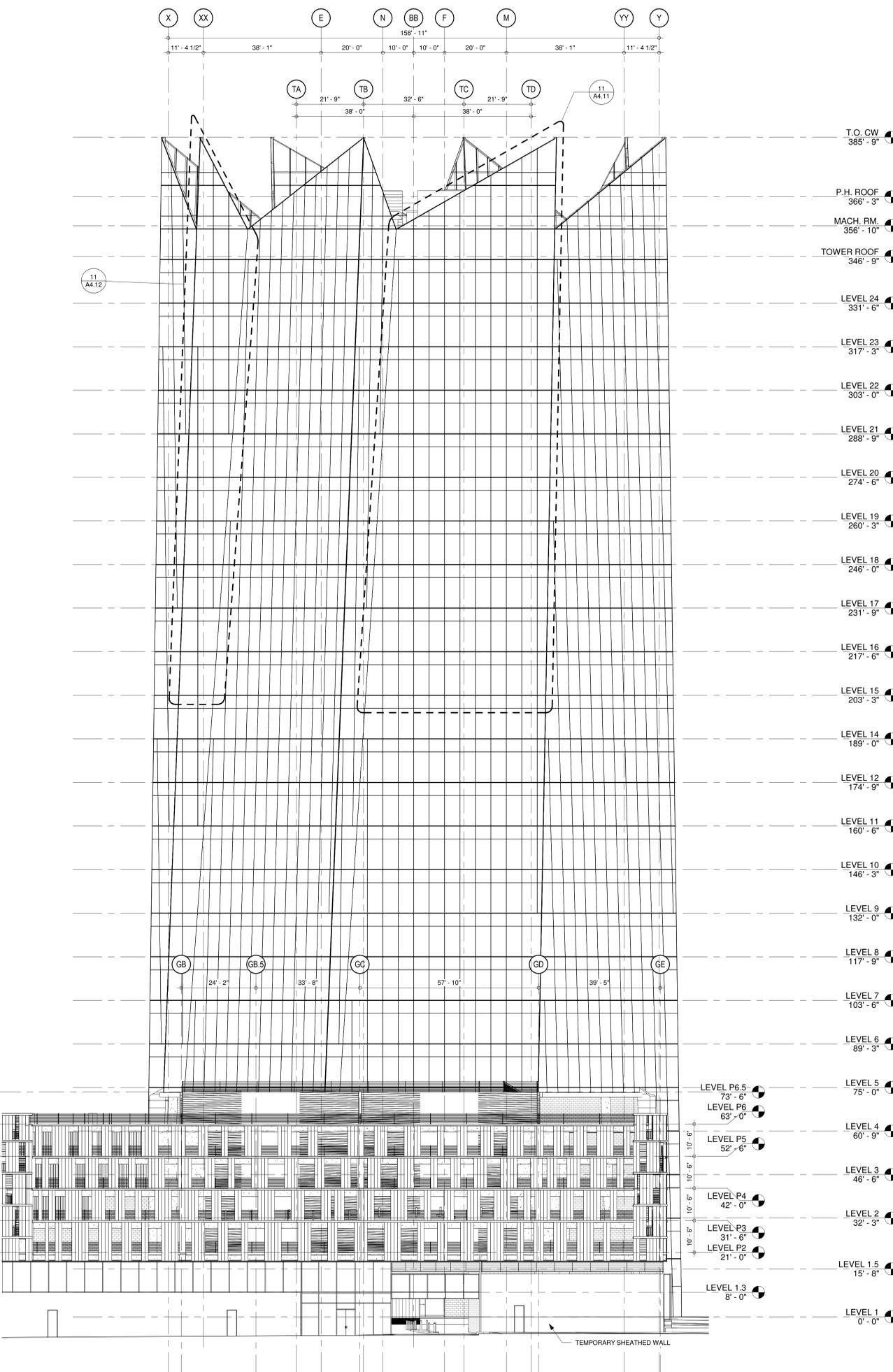
- Owner/Development Team  
**WESTON URBAN**  
112 E. Pecan, Suite 100  
San Antonio, TX 78205  
tel. 210.630.7519
- KDC**  
3115 Preston Road, Suite 700  
Dallas, TX 75225  
tel. 214.696.1700
- Design Architect  
**PELLI CLARKE PELLI ARCHITECTS**  
1058 Chapel Street  
New Haven, CT 06510  
tel. 203.777.2515
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Houston, TX 77056  
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- Structural Engineer  
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4144 N. Central Expressway, Suite 1100  
Dallas, TX 75204  
tel. 214.824.2586
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3144 Walnut Hill Lane, Suite 200  
Dallas, TX 75231  
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- Landscape Architect  
**GUSTAFSON GUTHRIE NICHOL**  
1500 First Street, Suite 700  
Seattle, WA 98101  
tel. 206.903.6802
- Civil Engineer  
**PAPE DAWSON ENGINEERS**  
2000 NW Loop 410  
San Antonio, TX 78213  
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- IT/Telecom Consultant  
**JANCOM TECHNOLOGIES, INC.**  
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tel. 512.322.5122
- Curtain Wall Consultant  
**CURTAIN WALL DESIGN & CONSULTING, INC.**  
8070 Park Lane, Suite 400  
Dallas, TX 75231  
tel. 972.437.4200
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**LERCH BATES**  
719 Sawdust Road, Suite 104  
The Woodlands, TX 77380  
tel. 832.380.8393
- Graphic Design and Wayfinding  
**DYAL DESIGN & COMMUNICATIONS**  
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Austin, TX 78701  
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2010 Wright Road, Suite 150  
Stafford, TX 77477  
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tel. 212.370.1776
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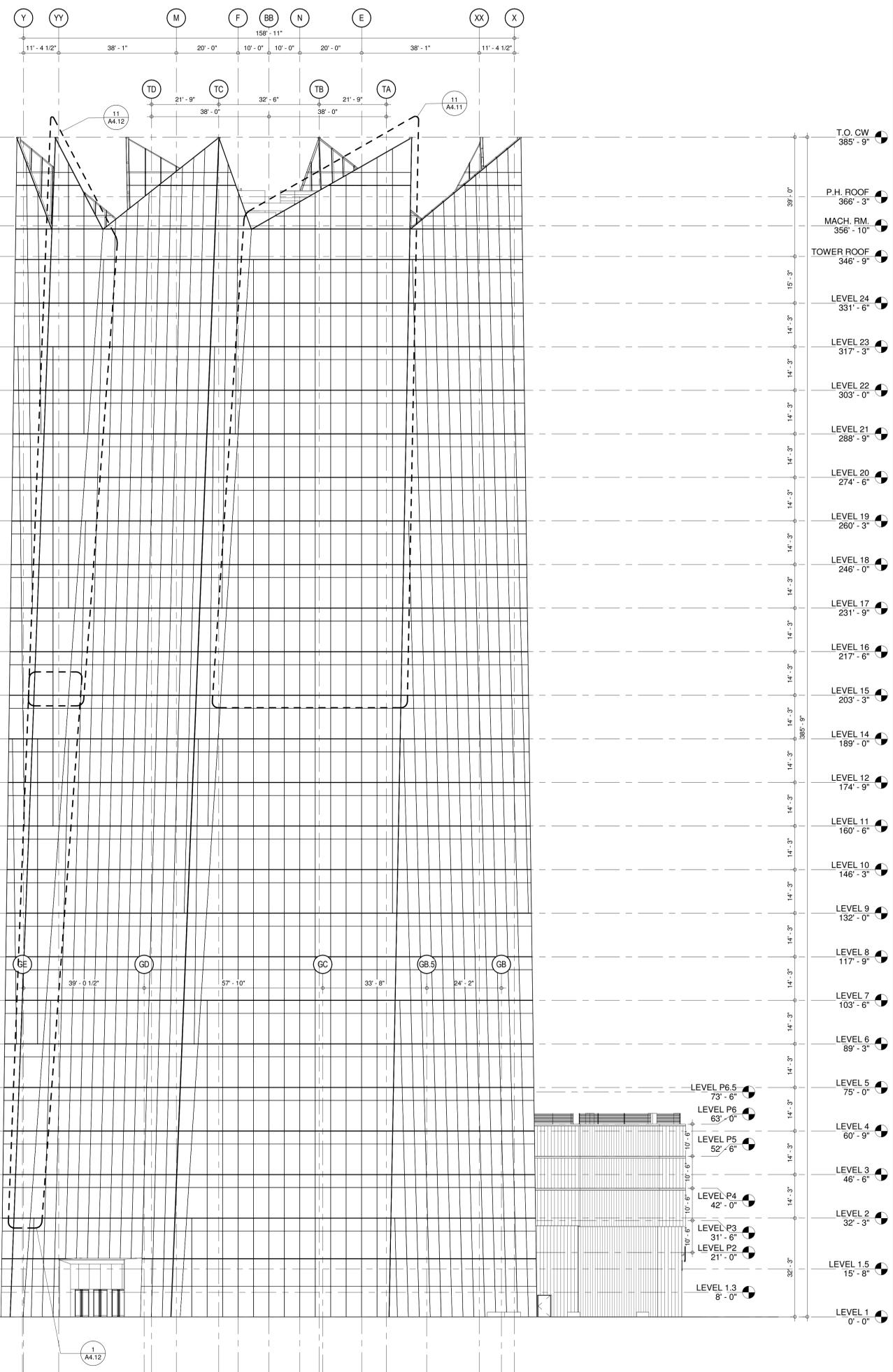
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4	16 DEC 16	ISSUED FOR REVIEW
3	14 SEP 16	DD PROGRESS PRINT
2	31 AUG 16	DRAFT - PROGRESS PRINT
1	08 JUN 16	60% DESIGN DEVELOPMENT

## BUILDING ELEVATIONS

PROJECT NO. **15026** DRAWING NUMBER **A4.03**



WEST BUILDING ELEVATION 1/16" = 1'-0" 16



EAST BUILDING ELEVATION 1/16" = 1'-0" 1

2/27/2017 5:25:44 PM



**FROST TOWER**  
SAN ANTONIO, TEXAS

Owner/Development Team  
**WESTON URBAN**  
112 E. Pecan, Suite 100  
San Antonio, TX 78205  
tel. 210.630.7519

Architect of Record  
**KDC**  
3115 Preston Road, Suite 700  
Dallas, TX 75225  
tel. 214.696.1700

Design Architect  
**PELLI CLARKE PELLI ARCHITECTS**  
1055 Chapel Street  
New Haven, CT 06510  
tel. 203.777.2515

Architect of Record  
**KENDALL HEATON ASSOCIATES, INC.**  
3050 Post Oak Blvd, Suite 1000  
Houston, TX 77056  
tel. 713.877.1192

Structural Engineer  
**BROCKETTE DAVIS DRAKE, INC.**  
4144 N. Central Expressway, Suite 1100  
Dallas, TX 75204  
tel. 214.824.2586

Mechanical, Electrical, Plumbing, Fire Protection  
**BLUM CONSULTING ENGINEERS, INC.**  
3744 Walnut Hill Lane, Suite 200  
Dallas, TX 75231  
tel. 214.373.8222

Landscape Architect  
**GUSTAFSON GUTHRIE NICHOL**  
1932 First Avenue, Suite 750  
Seattle, WA 98101  
tel. 206.903.6802

Civil Engineer  
**PAPE DAWSON ENGINEERS**  
2000 NW Loop 410  
San Antonio, TX 78213  
tel. 210.375.8000

Vertical Transportation Consultant  
**PERSOHN/HAHN ASSOCIATES, INC.**  
11621 Spring Cypress Road, Suite D  
Tomball, TX 77377  
tel. 713.467.4444

Parking Consultant  
**HWA PARKING**  
3700 W. Sam Houston Parkway South, Suite 100  
Houston, TX 77042  
tel. 713.458.7730

IT/Telecom Consultant  
**JANCOM TECHNOLOGIES, INC.**  
235 W. 51st Street, Suite 201  
Austin, TX 78746  
tel. 512.322.5122

Custom Wall Consultant  
**CURTAIN WALL DESIGN & CONSULTING, INC.**  
8070 Park Lane, Suite 400  
Dallas, TX 75231  
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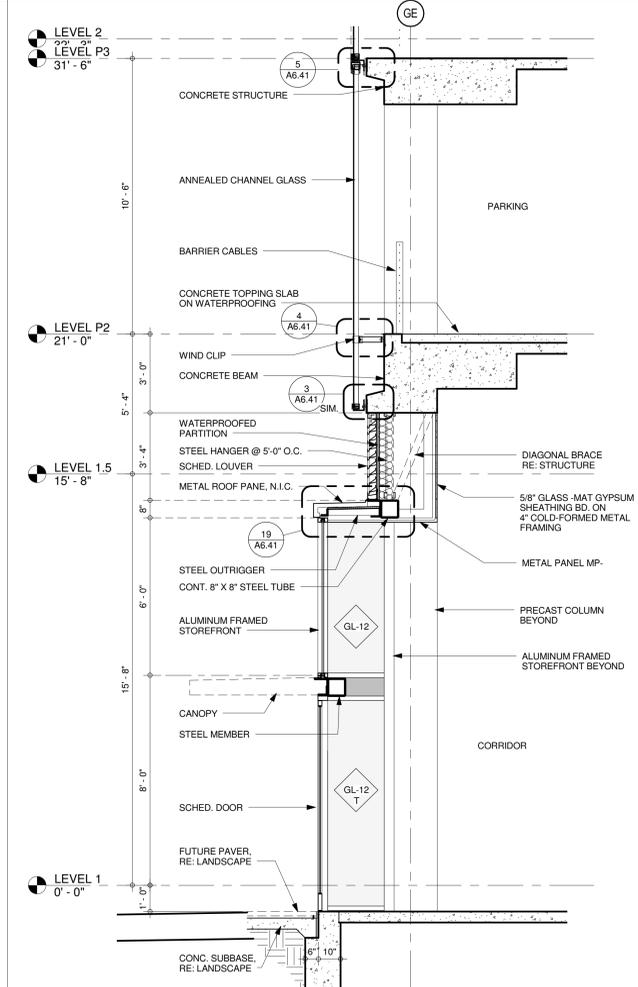
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STATE OF TEXAS  
27 FEB 17

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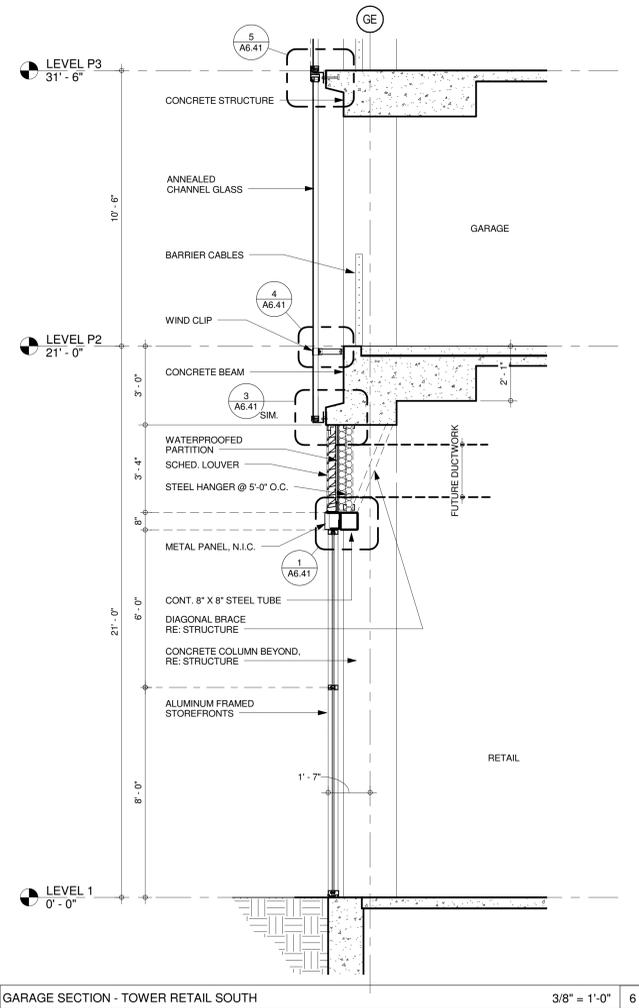
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**GARAGE ENLARGED PLAN, SECTION AND ELEVATION**

PROJECT NO.  
**15026**

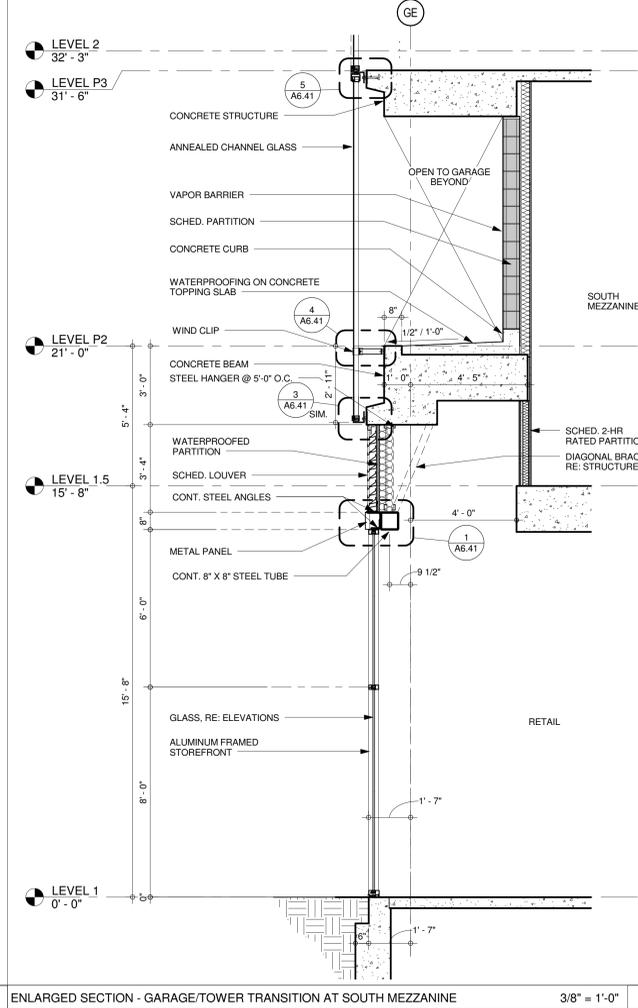
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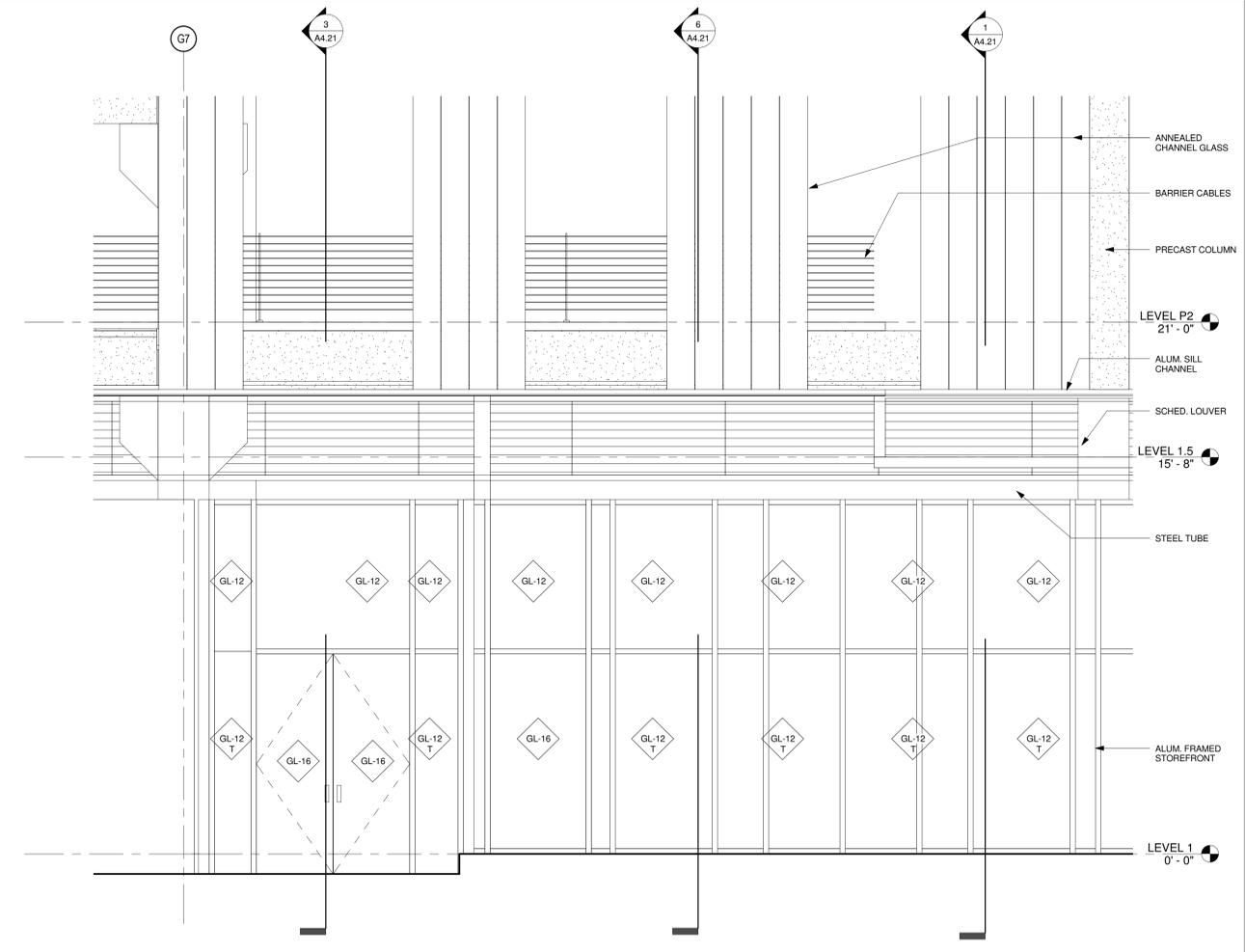
ENLARGED SECTION - GARAGE/TOWER AT RETAIL 3/8" = 1'-0" 3



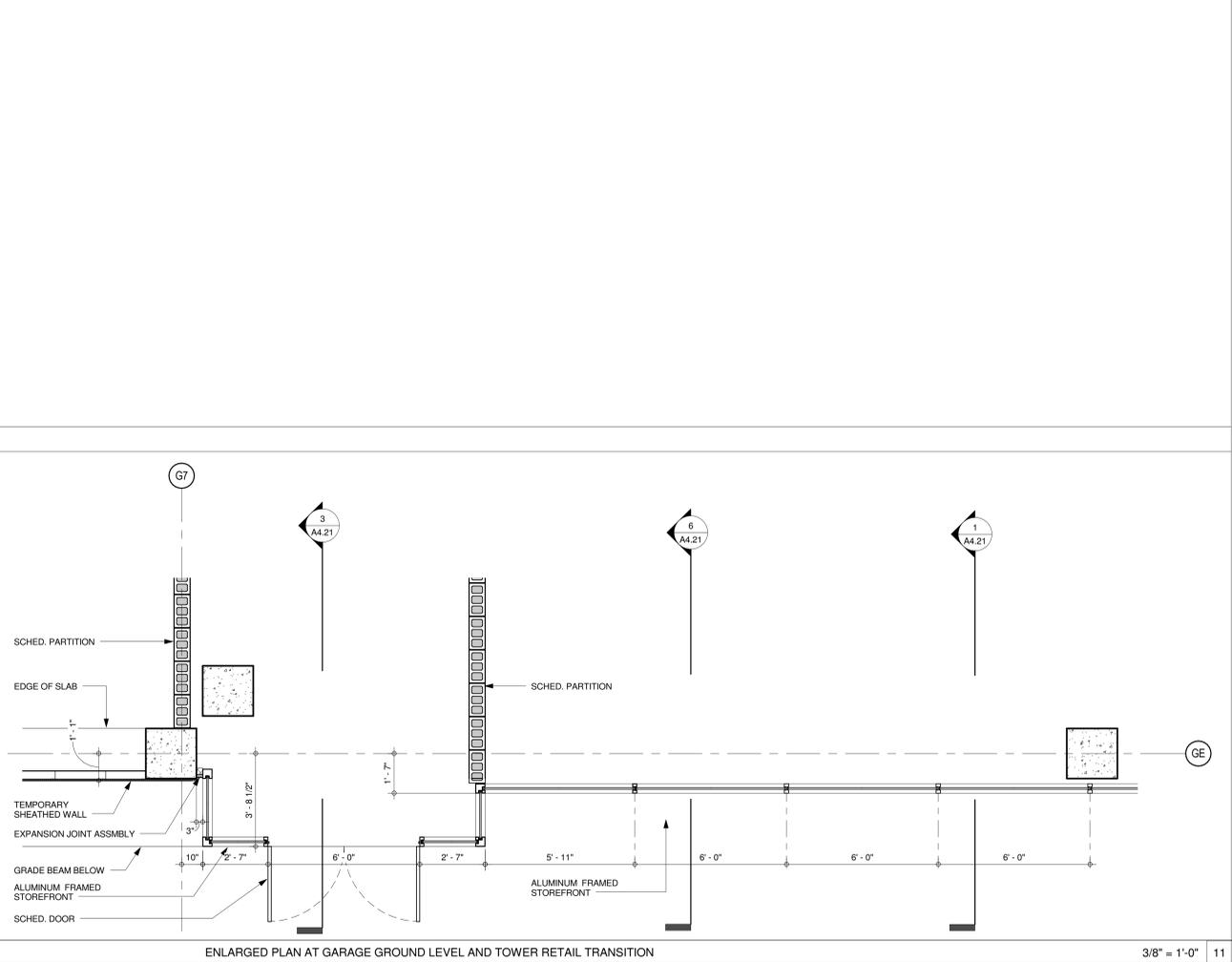
GARAGE SECTION - TOWER RETAIL SOUTH 3/8" = 1'-0" 6



ENLARGED SECTION - GARAGE/TOWER TRANSITION AT SOUTH MEZZANINE 3/8" = 1'-0" 1



ENLARGED GARAGE SOUTH ELEVATION - GROUND LEVEL TOWER RETAIL 3/8" = 1'-0" 13



ENLARGED PLAN AT GARAGE GROUND LEVEL AND TOWER RETAIL TRANSITION 3/8" = 1'-0" 11

2/27/2017 5:28:38 PM



**FROST TOWER**  
SAN ANTONIO, TEXAS

- Owner/Development Team  
**WESTON URBAN**  
112 E. Pecan, Suite 100  
San Antonio, TX 78205  
tel. 210.630.7519
- KDC  
3115 Preston Road, Suite 700  
Dallas, TX 75225  
tel. 214.696.1700
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**PELLI CLARKE PELLI ARCHITECTS**  
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New Haven, CT 06510  
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Houston, TX 77056  
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Dallas, TX 75204  
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3744 Walnut Hill Lane, Suite 200  
Dallas, TX 75231  
tel. 214.373.8222
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**GUSTAFSON GUTHRIE NICHOL**  
1505 15th Avenue, Suite 700  
Seattle, WA 98101  
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San Antonio, TX 78213  
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Tomball, TX 77377  
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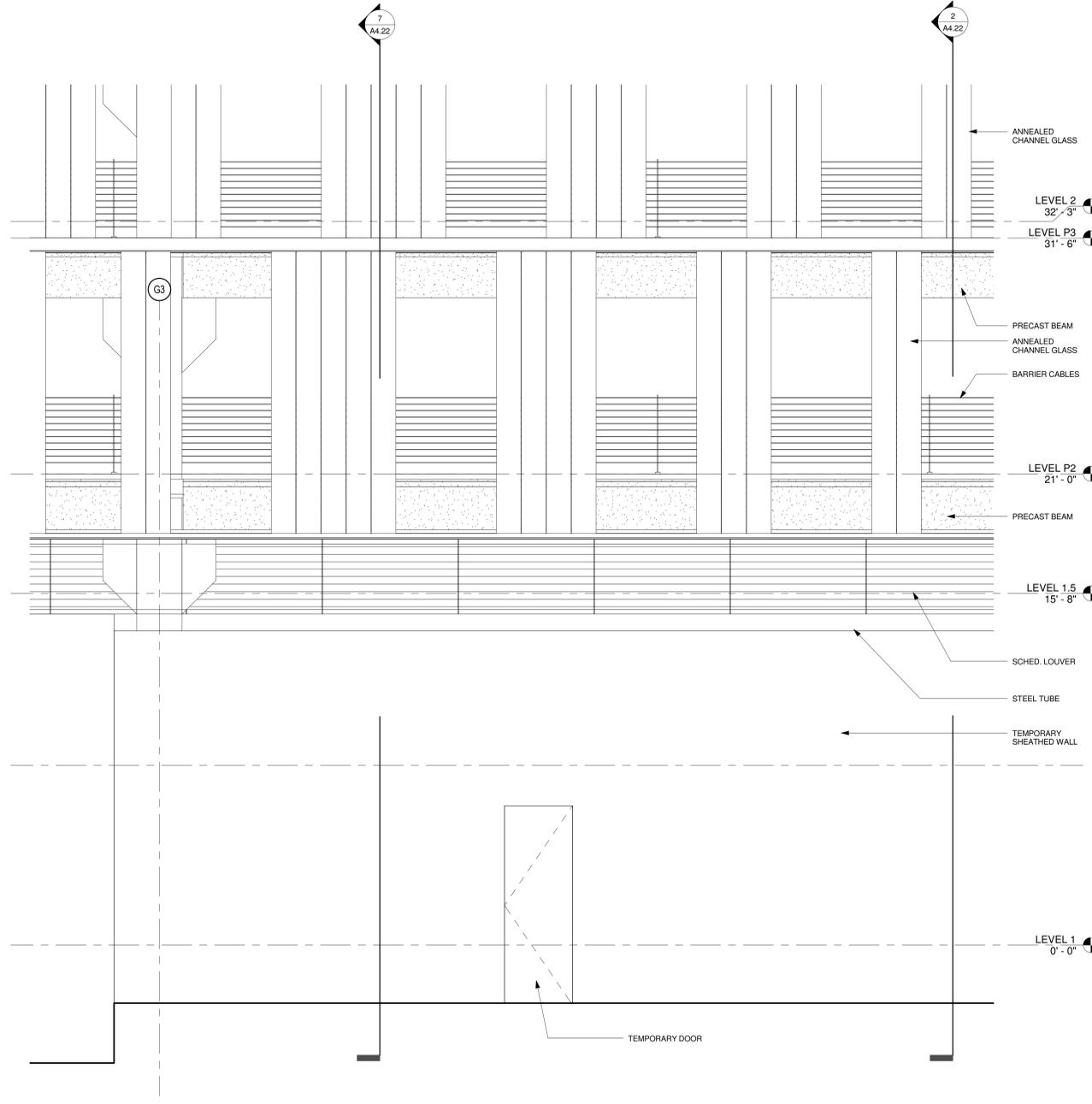
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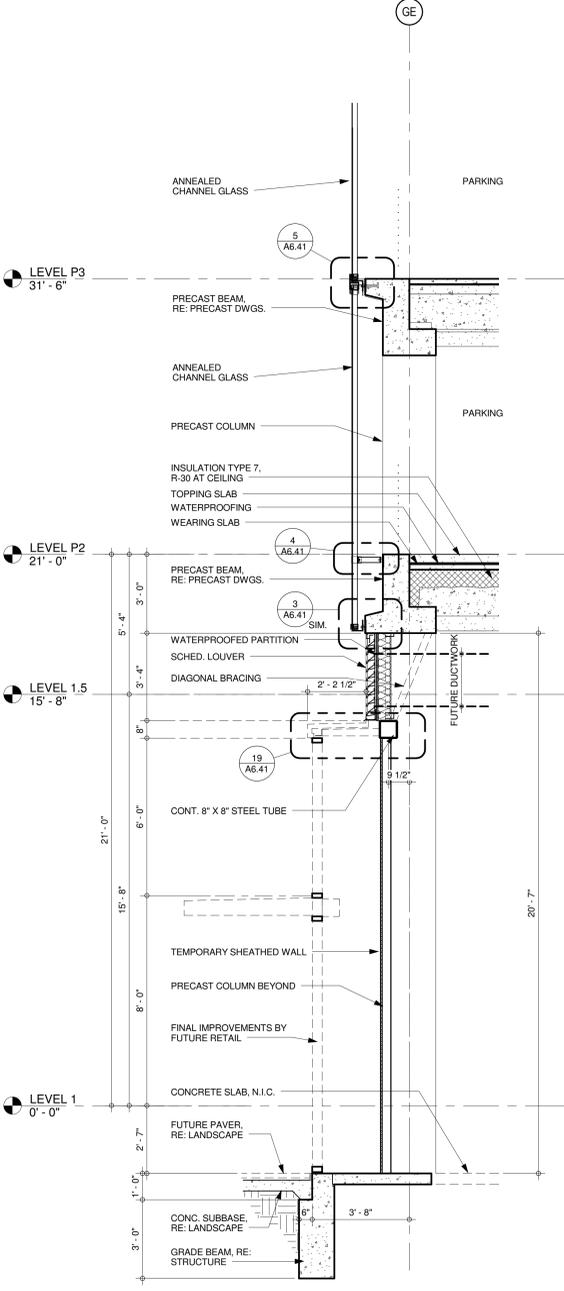
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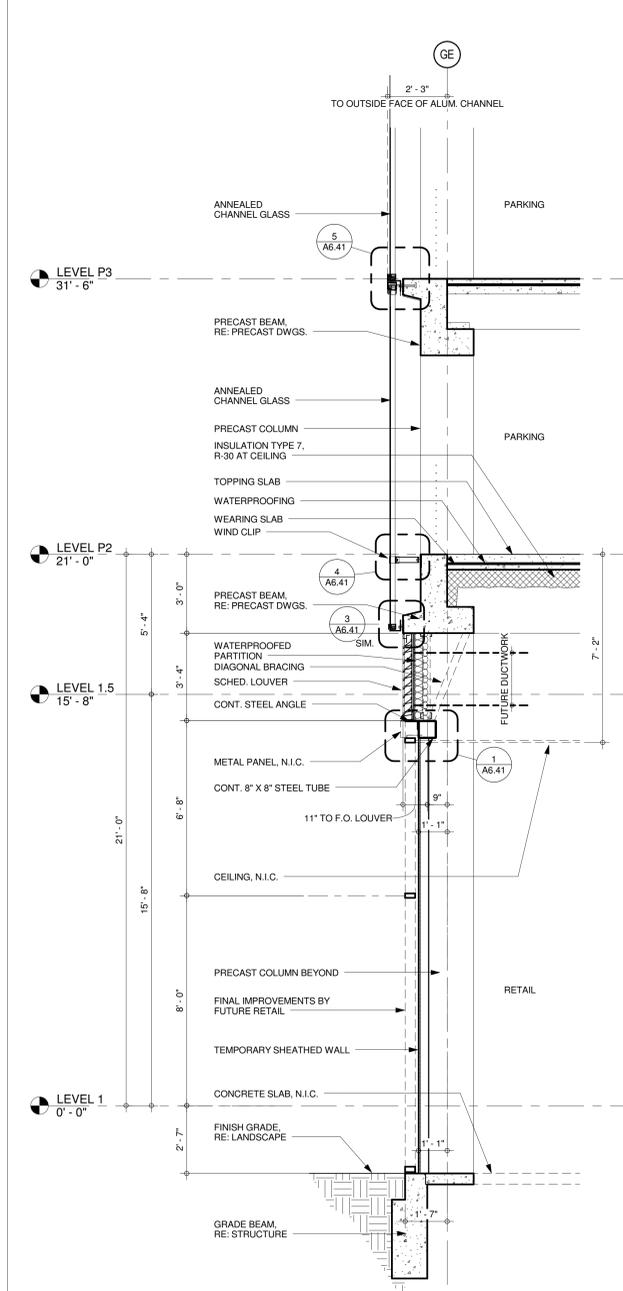
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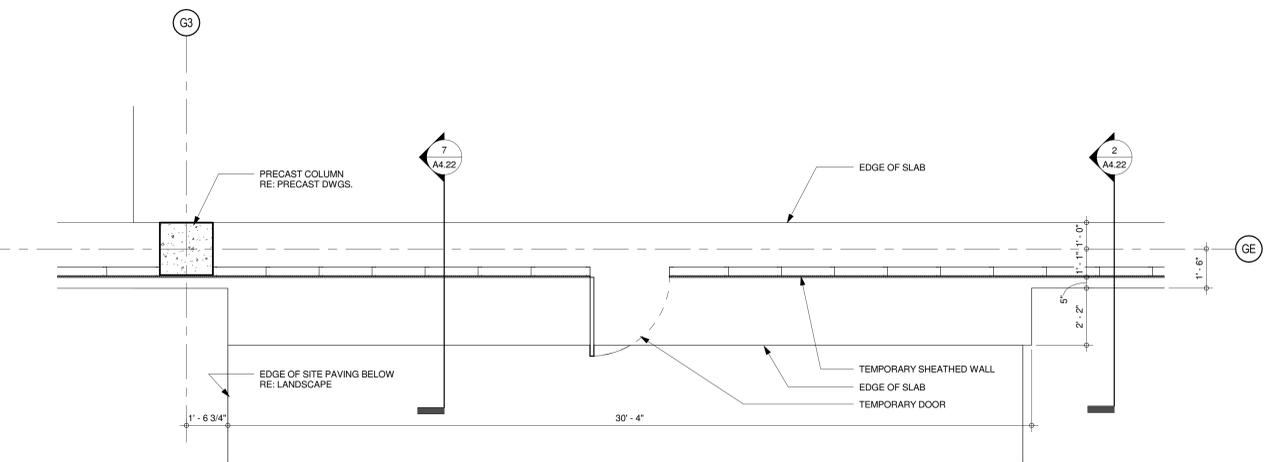
ENLARGED GARAGE ELEVATION - GROUND LEVEL FUTURE RETAIL 2 STOREFRONT BAY 3/8" = 1'-0" 17



GARAGE SECTION - GROUND LEVEL FUTURE RETAIL 2 STOREFRONT ENTRANCE BAY 3/8" = 1'-0" 7

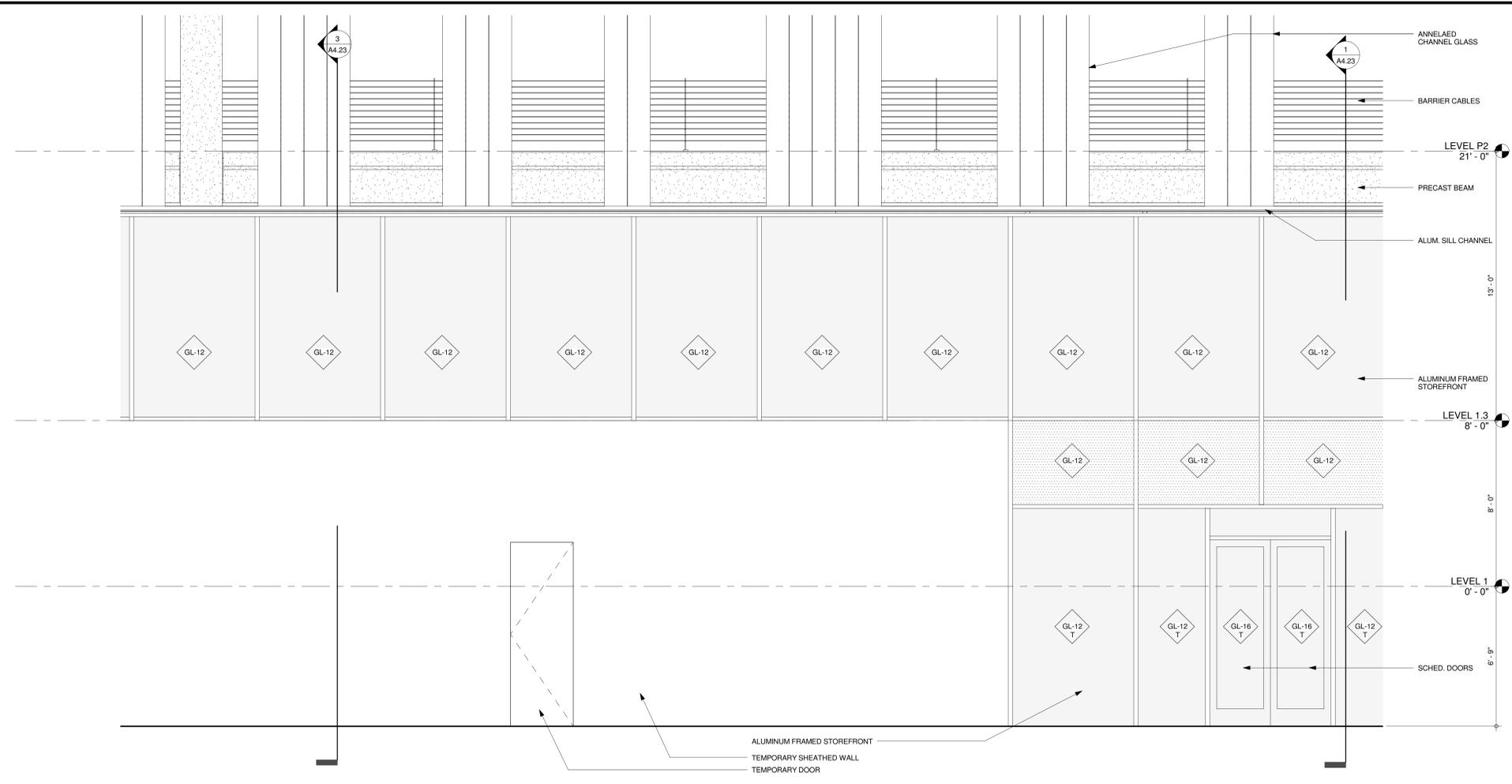


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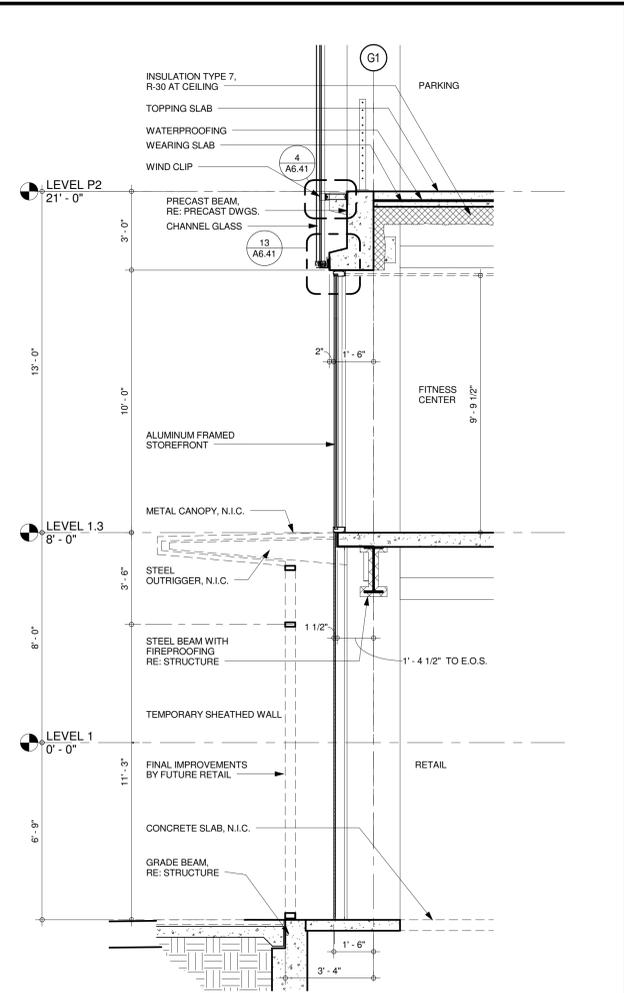
ENLARGED GARAGE PLAN - GROUND FUTURE RETAIL 2 STOREFRONT BAY 3/8" = 1'-0" 16

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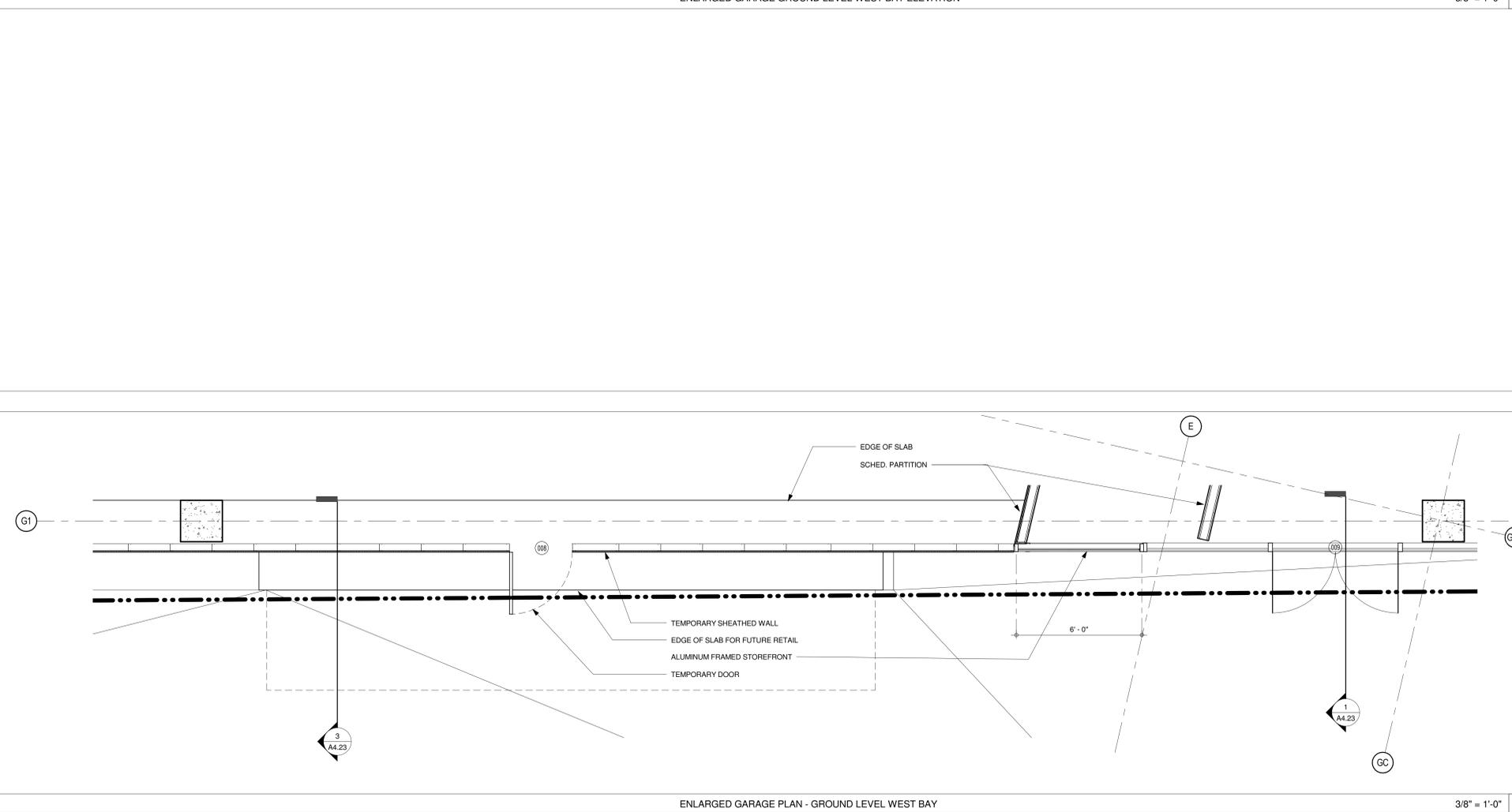
ENLARGED GARAGE GROUND LEVEL WEST BAY ELEVATION

3/8" = 1'-0" 8



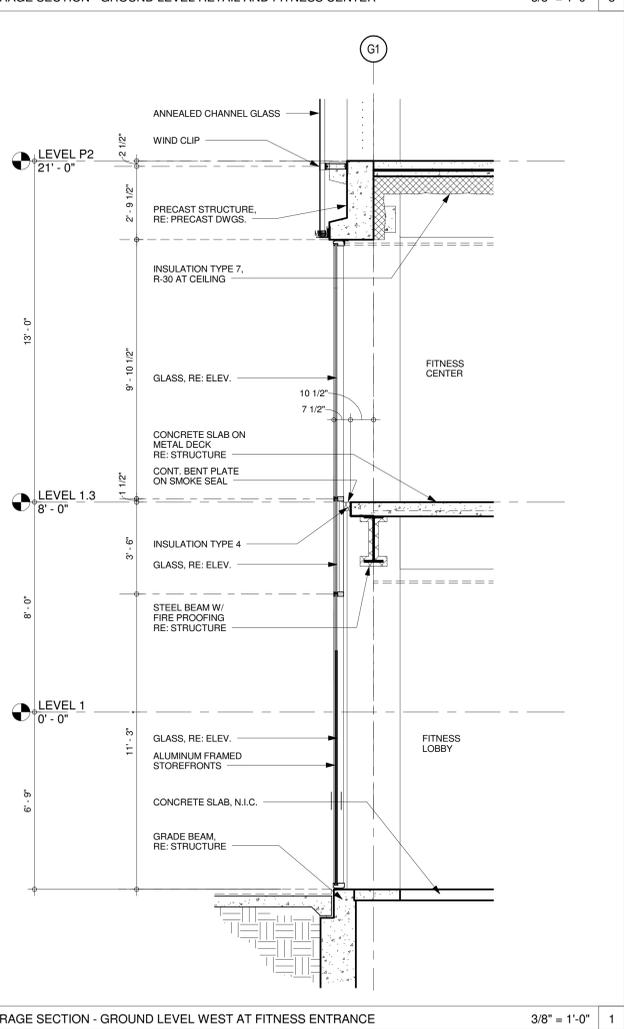
GARAGE SECTION - GROUND LEVEL RETAIL AND FITNESS CENTER

3/8" = 1'-0" 3



ENLARGED GARAGE PLAN - GROUND LEVEL WEST BAY

3/8" = 1'-0" 6



GARAGE SECTION - GROUND LEVEL WEST AT FITNESS ENTRANCE

3/8" = 1'-0" 1



**FROST TOWER**  
SAN ANTONIO, TEXAS

- Owner/Development Team  
**WESTON URBAN**  
 112 E. Pecan, Suite 100  
 San Antonio, TX 78205  
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- KDC**  
 3115 Preston Road, Suite 700  
 Dallas, TX 75225  
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 Houston, TX 77056  
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 3744 Walnut Hill Lane, Suite 200  
 Dallas, TX 75231  
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**GUSTAFSON GUTHRIE NICHOL**  
 1932 First Avenue, Suite 700  
 Seattle, WA 98101  
 tel. 206.903.6802
- Civil Engineer  
**PAPE DAWSON ENGINEERS**  
 2000 NW Loop 410  
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 Tomball, TX 77377  
 tel. 713.467.4444
- Parking Consultant  
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 Houston, TX 77042  
 tel. 713.458.7730
- IT/Telecom Consultant  
**JANCOM TECHNOLOGIES, INC.**  
 235 Wilgus Road, Suite 201  
 Austin, TX 78746  
 tel. 512.322.5122
- Custom Wall Consultant  
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 8070 Park Lane, Suite 400  
 Dallas, TX 75231  
 tel. 972.427.4200
- Exterior Building Maintenance Consultant  
**LERCH BATES**  
 719 Sawdust Road, Suite 104  
 The Woodlands, TX 77380  
 tel. 832.380.8393
- Graphic Design and Wayfinding  
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 1501 Lavaca Street, Suite 115  
 Austin, TX 78701  
 tel. 512.810.3311
- Security Consultant  
**HMA CONSULTING, INC.**  
 2010 Wright Road, Suite 150  
 Stafford, TX 77477  
 tel. 832.944.6020
- Acoustical Consultant  
**CERMAN ASSOCIATES INC.**  
 404 Fifth Avenue  
 New York, NY 10018  
 tel. 212.370.1776
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**GARAGE ENLARGED PLAN, SECTION AND ELEVATION**

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**A4.23**

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**FROST TOWER**  
SAN ANTONIO, TEXAS

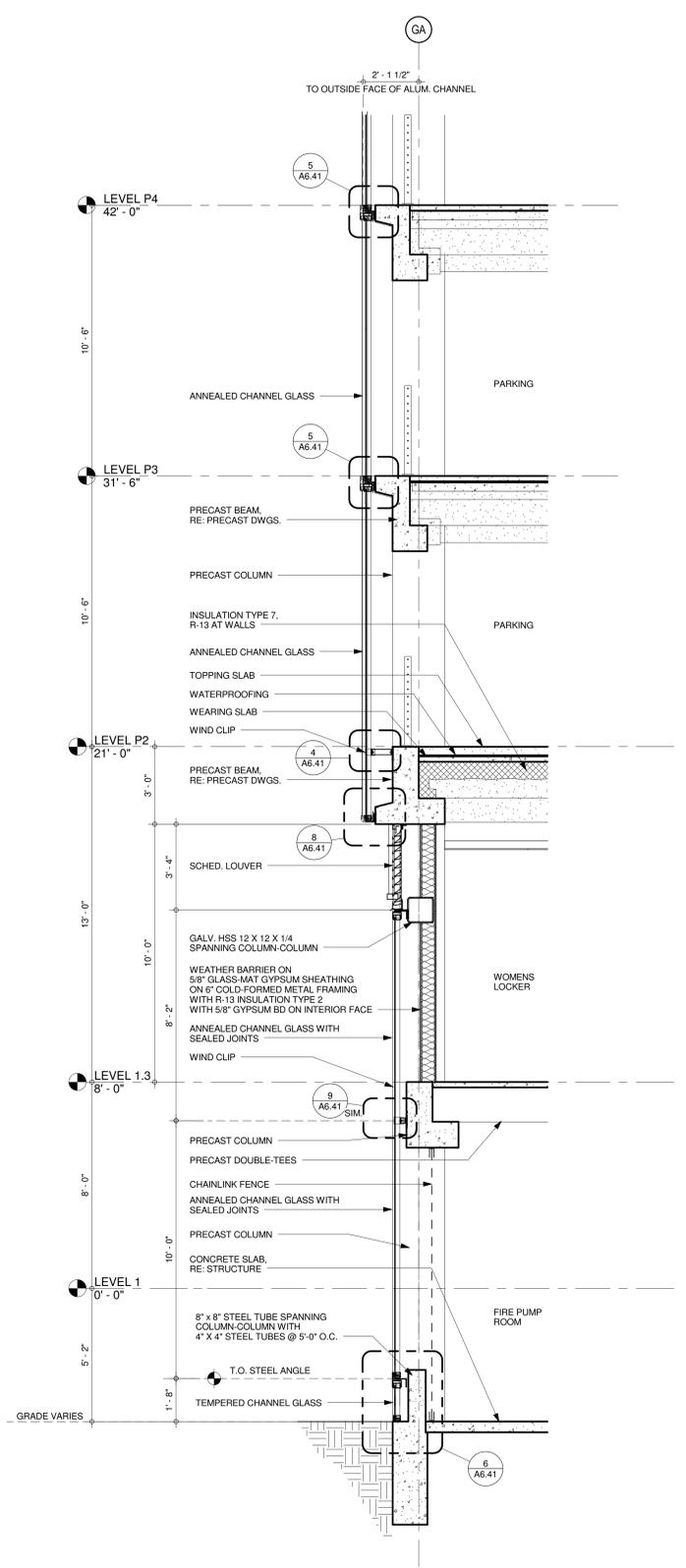
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**WESTON URBAN**  
 112 E. Pecan, Suite 100  
 San Antonio, TX 78205  
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 Dallas, TX 75225  
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 3050 Post Oak Blvd, Suite 1000  
 Houston, TX 77056  
 tel. 713.871.1192
- Structural Engineer  
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 4144 N. Central Expressway, Suite 1100  
 Dallas, TX 75204  
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- Mechanical, Electrical, Plumbing, Fire Protection  
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 3744 Walnut Hill Lane, Suite 200  
 Dallas, TX 75231  
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 Seattle, WA 98101  
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 2000 NW Loop 410  
 San Antonio, TX 78213  
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 11621 Spring Cypress Road, Suite D  
 Tomball, TX 77377  
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**HWA PARKING**  
 3700 W. Sam Houston Parkway South, Suite 100  
 Houston, TX 77042  
 tel. 713.458.7730
- IT/Telecom Consultant  
**JANCOM TECHNOLOGIES, INC.**  
 235 West Basin Road, Suite 201  
 Austin, TX 78746  
 tel. 512.322.5122
- Owner Wall Consultant  
**CURTAIN WALL DESIGN & CONSULTING, INC.**  
 8070 Park Lane, Suite 400  
 Dallas, TX 75231  
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 719 Sawdust Road, Suite 104  
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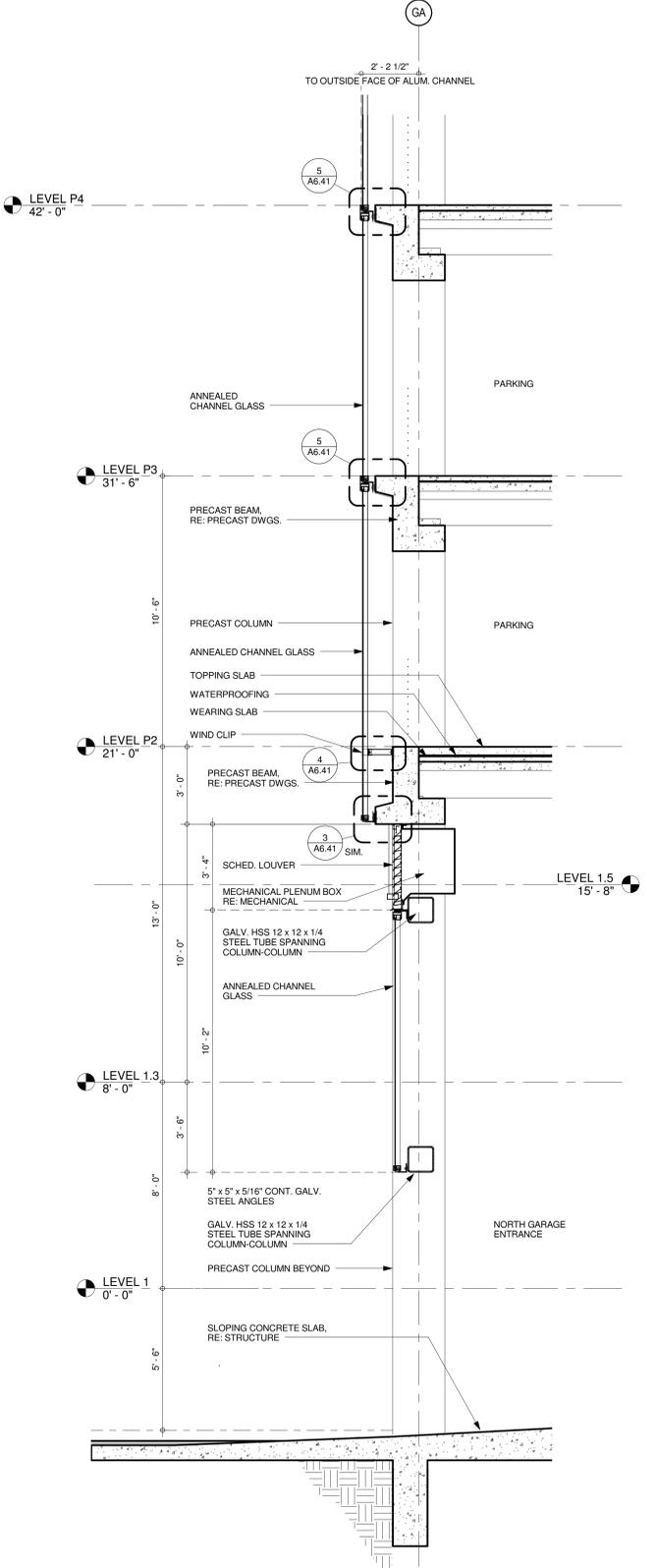
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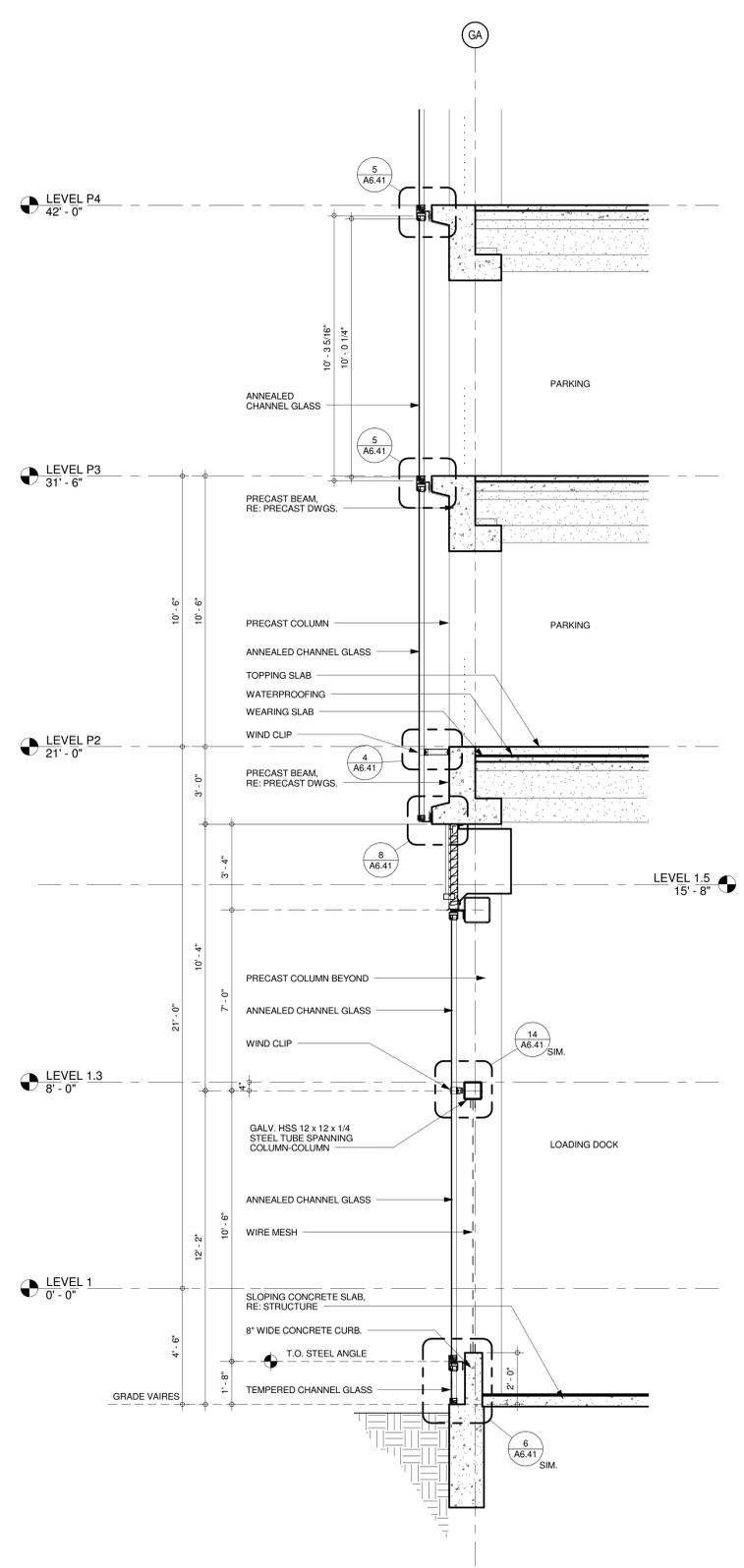
PROJECT NO. 15026 DRAWING NUMBER A4.24



GARAGE SECTION - GROUND LEVEL NORTH AT FIRE PUMP 3/8" = 1'-0" 1



GARAGE SECTION - GROUND LEVEL NORTH ENTRANCE 3/8" = 1'-0" 16



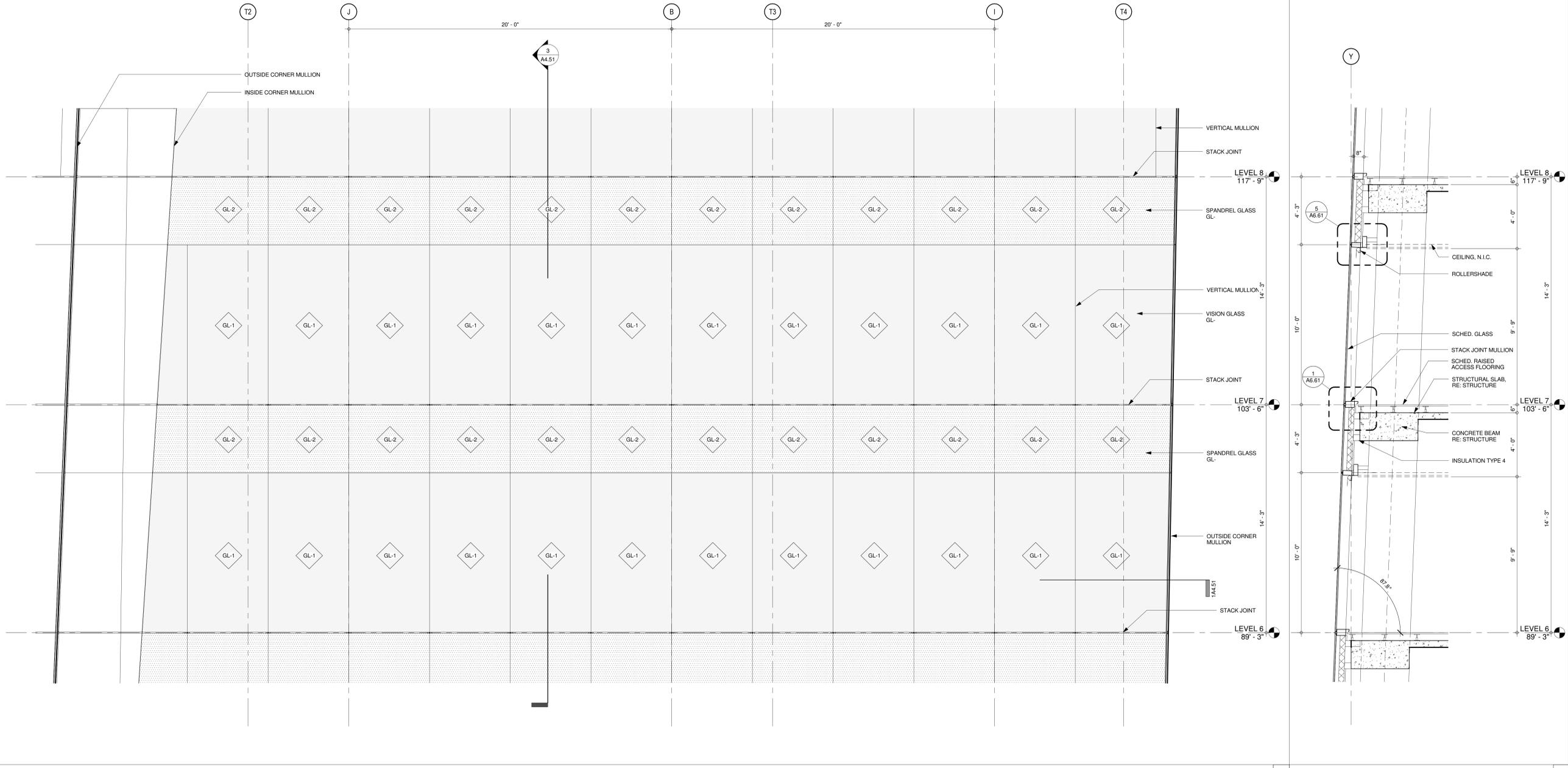
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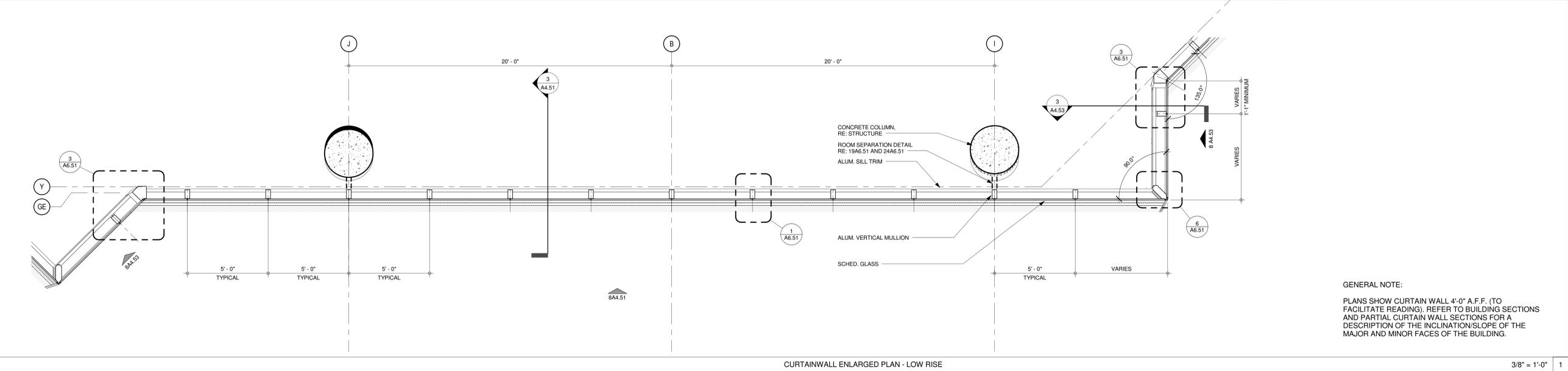
**FROST TOWER**  
SAN ANTONIO, TEXAS

- Owner/Development Team  
**WESTON URBAN**  
 112 E. Pecan, Suite 100  
 San Antonio, TX 78205  
 tel. 214.690.7519
- Architect of Record  
**PELLI CLARKE PELLI ARCHITECTS**  
 1058 Chapel Street  
 New Haven, CT 06510  
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CURTAIN WALL ELEVATION - MAJOR FACE LOW RISE

CURTAINWALL SECTION - MAJOR FACE LOW RISE



CURTAINWALL ENLARGED PLAN - LOW RISE

GENERAL NOTE:  
 PLANS SHOW CURTAIN WALL 4'-0" A.F.F. (TO FACILITATE READING), REFER TO BUILDING SECTIONS AND PARTIAL CURTAIN WALL SECTIONS FOR A DESCRIPTION OF THE INCLINATION/SLOPE OF THE MAJOR AND MINOR FACES OF THE BUILDING.



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2	08 JUN 16	60% DESIGN DEVELOPMENT
1	04 MAY 16	SCHEMATIC DESIGN

DRAWING TITLE  
**TOWER ENLARGED PLAN, SECTION AND ELEVATION**

PROJECT NO.  
**15026**

DRAWING NUMBER  
**A4.51**



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 San Antonio, TX 78205  
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- Structural Engineer  
**BROCKETTE DAVIS DRAKE, INC.**  
 4144 N. Central Expressway, Suite 1100  
 Dallas, TX 75204  
 tel. 214.824.2586
- Mechanical, Electrical, Plumbing, Fire Protection  
**BLUM CONSULTING ENGINEERS, INC.**  
 3744 Walnut Hill Lane, Suite 200  
 Dallas, TX 75231  
 tel. 214.373.8222
- Landscape Architect  
**GUSTAFSON GUTHRIE NICHOL**  
 1502 First Avenue, Suite 100  
 Seattle, WA 98101  
 tel. 206.903.6802
- Civil Engineer  
**PAPE DAWSON ENGINEERS**  
 2000 NW Loop 410  
 San Antonio, TX 78213  
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 Tomball, TX 77377  
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**JANCOM TECHNOLOGIES, INC.**  
 235 Wilshire Road, Suite 201  
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 tel. 832.380.8393
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 1501 Lavaca Street, Suite 115  
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**HMA CONSULTING, INC.**  
 2010 Wright Road, Suite 150  
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 tel. 832.944.6020
- Acoustical Consultant  
**CERMAN ASSOCIATES INC.**  
 404 Fifth Avenue  
 New York, NY 10018  
 tel. 212.370.1776
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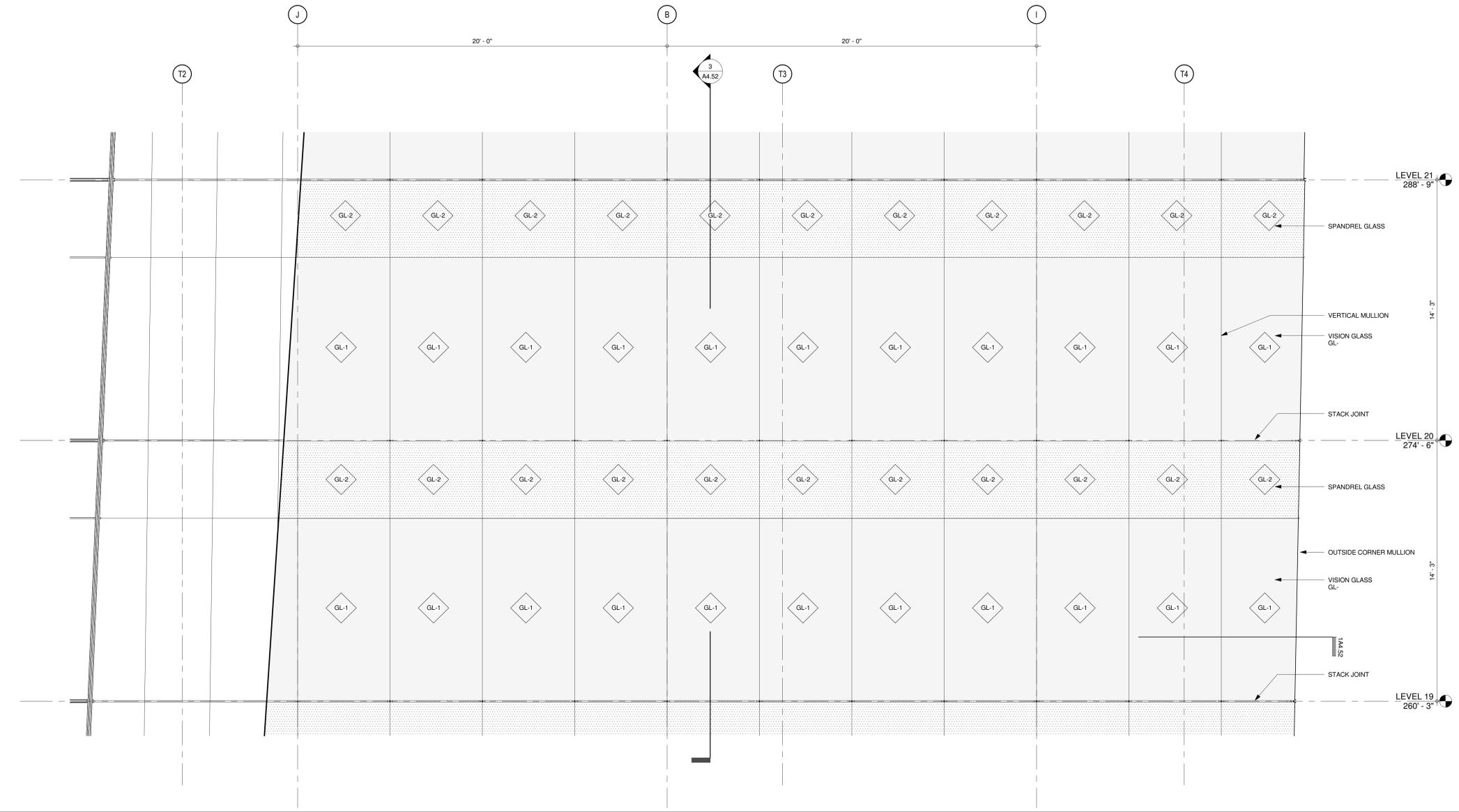


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2	08 JUN 16	60% DESIGN DEVELOPMENT
1	04 MAY 16	SCHEMATIC DESIGN

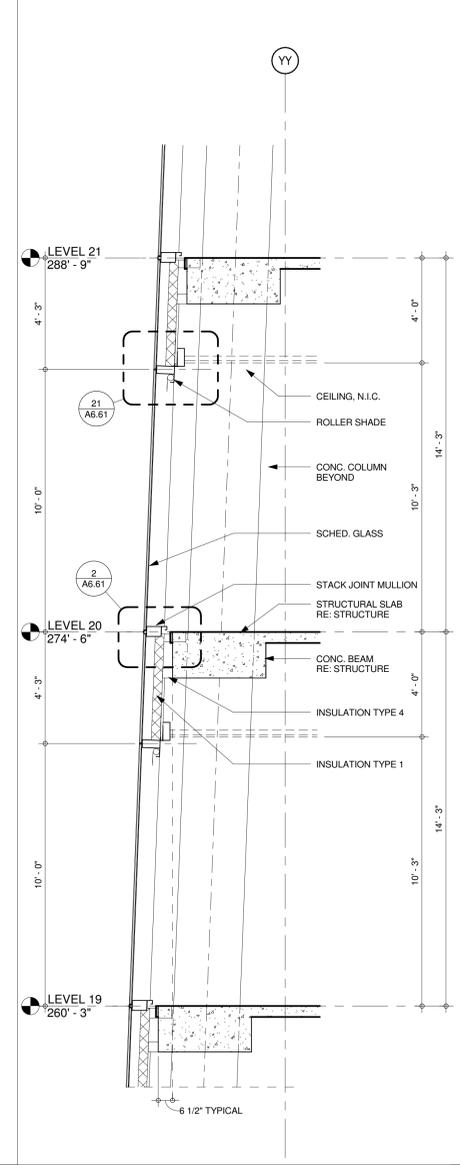
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**TOWER ENLARGED PLAN, SECTION AND ELEVATION**

PROJECT NO.  
**15026**

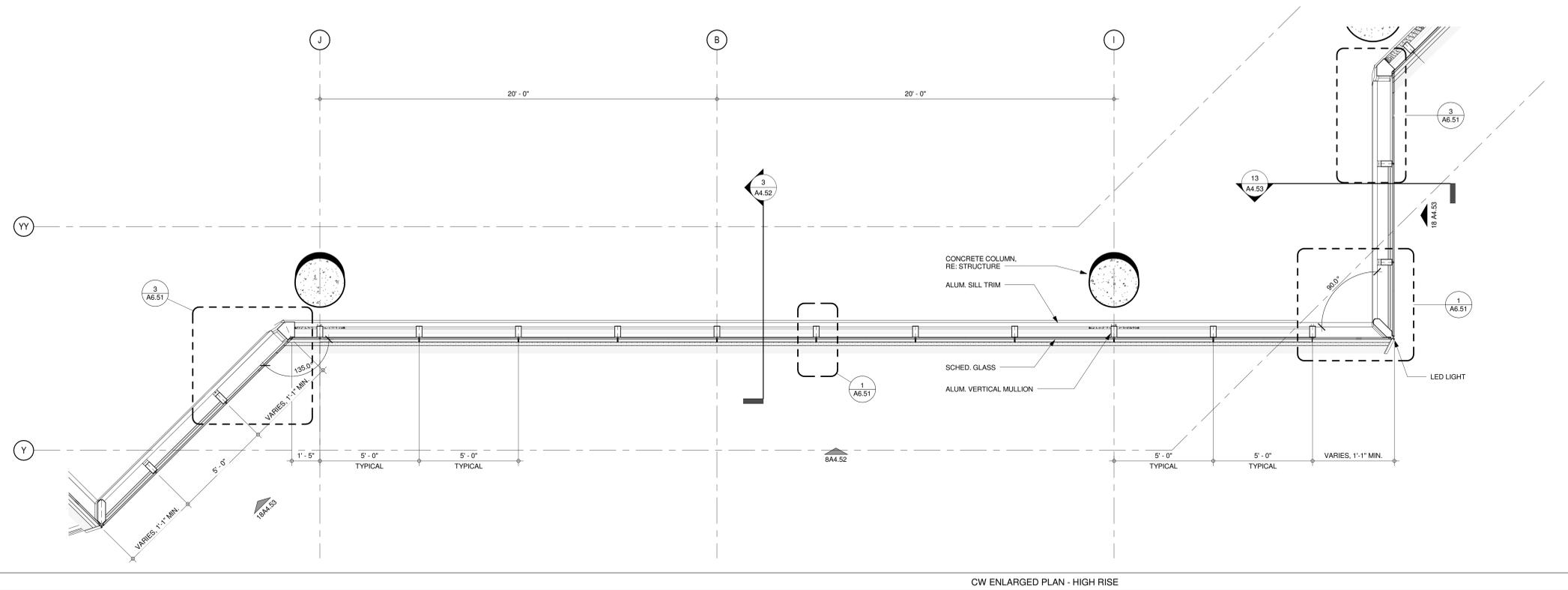
DRAWING NUMBER  
**A4.52**



CURTAIN WALL ELEVATION - MAJOR FACE HIGH RISE 3/8" = 1'-0" 8



CURTAIN WALL SECTION - MAJOR FACE HIGH RISE 3/8" = 1'-0" 3



CW ENLARGED PLAN - HIGH RISE 3/8" = 1'-0" 1

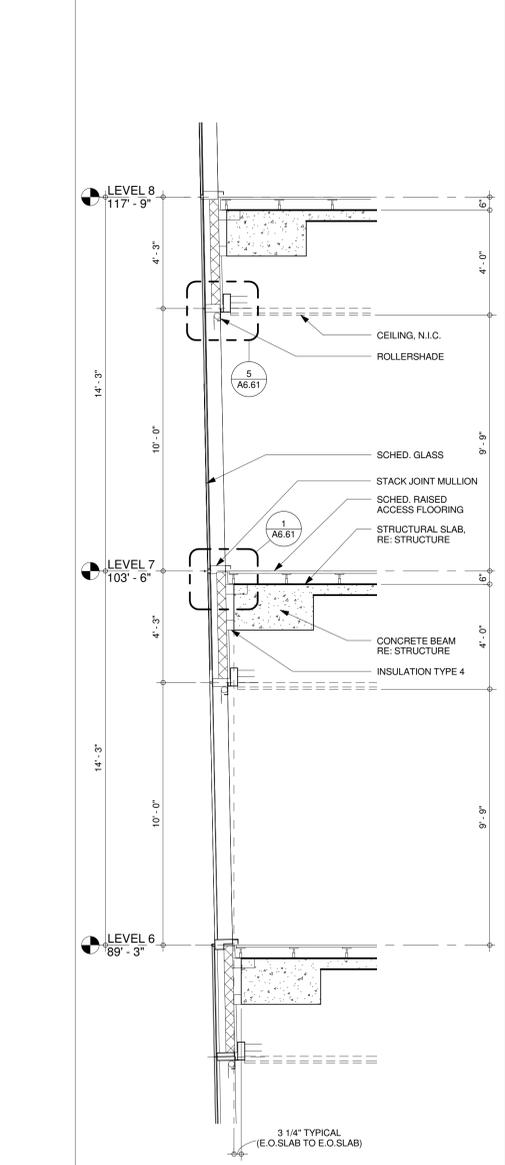
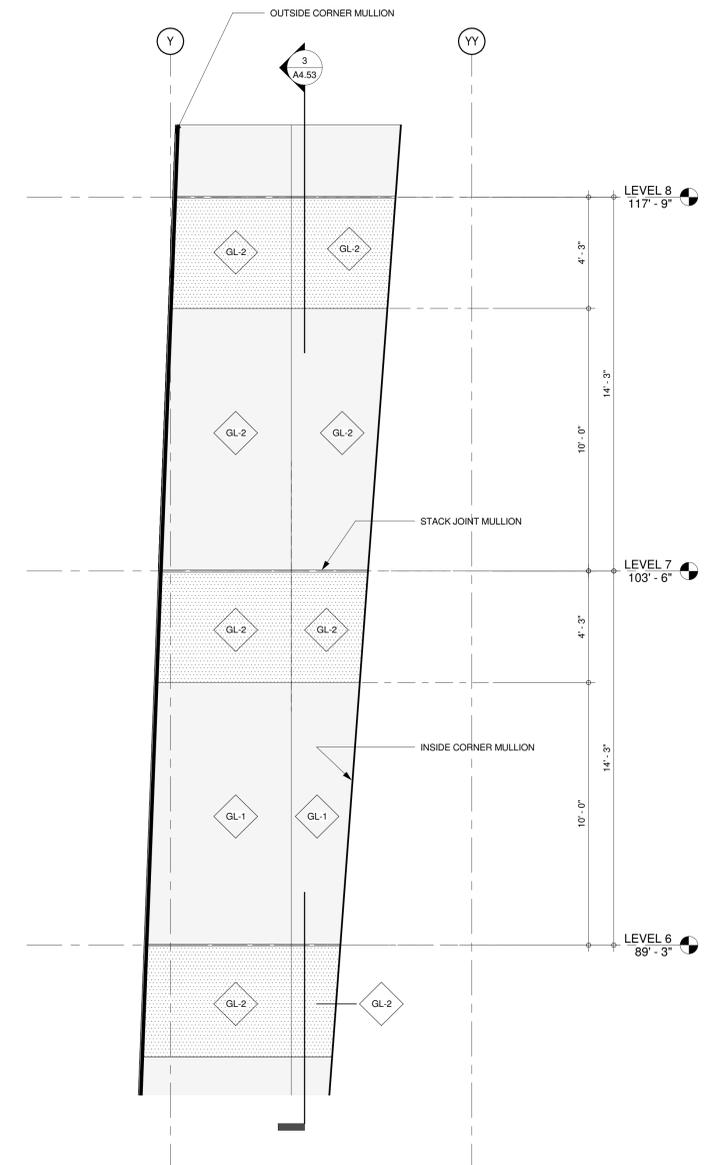
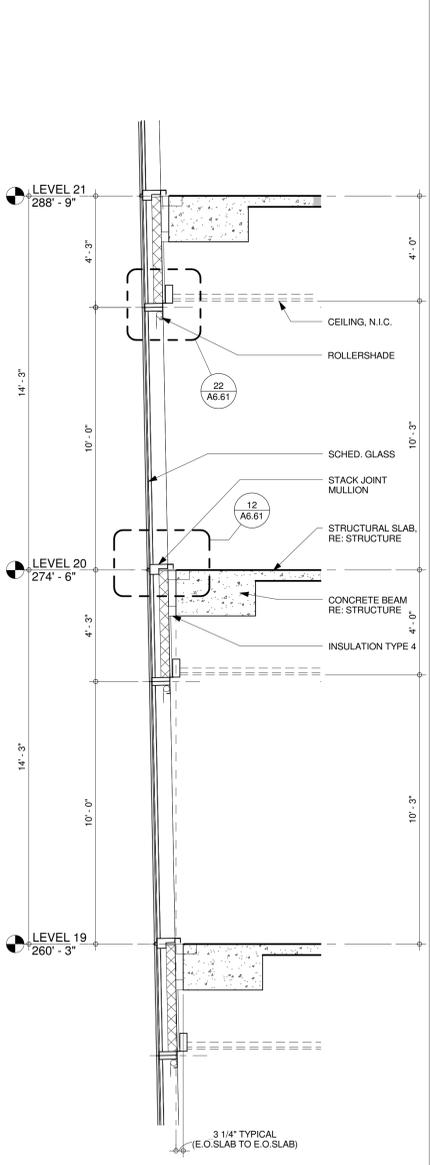
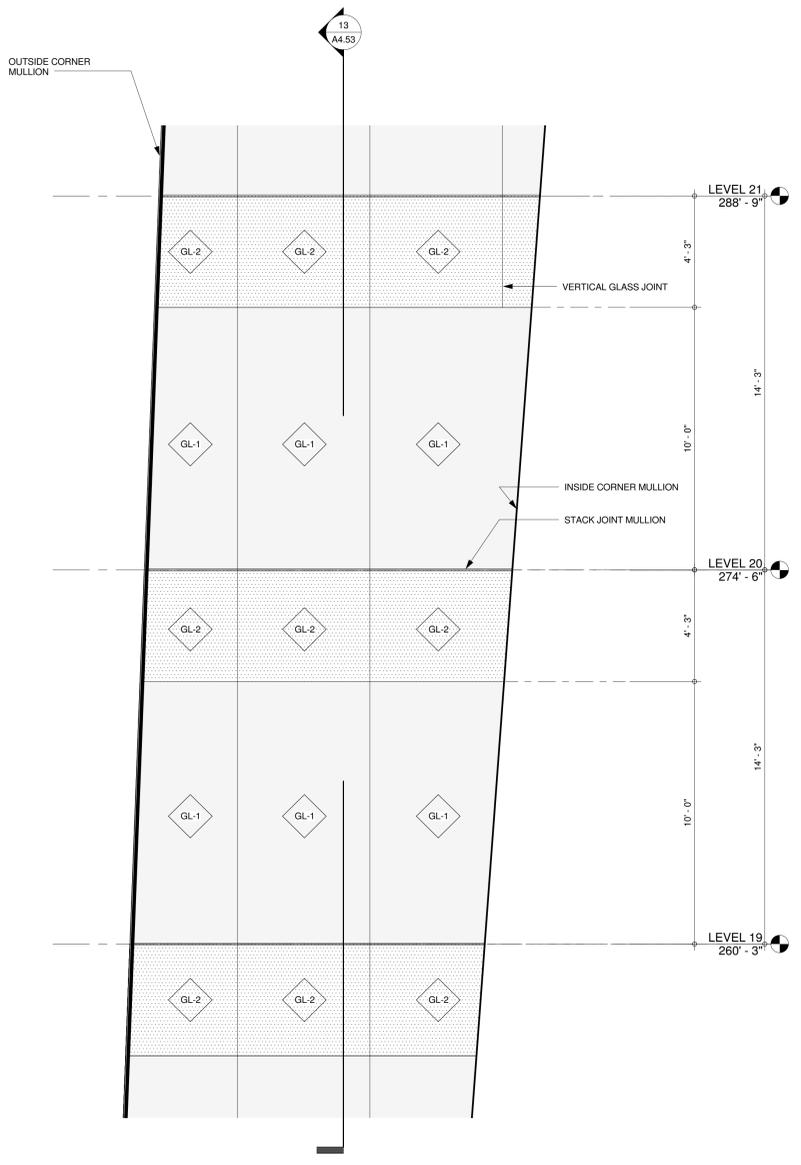
GENERAL NOTE:  
 PLANS SHOW CURTAIN WALL AT FLOOR LINE (TO FACILITATE READING), REFER TO BUILDING SECTIONS AND PARTIAL CURTAIN WALL SECTIONS FOR A DESCRIPTION OF THE INCLINATION/SLOPE OF THE MAJOR AND MINOR FACES OF THE BUILDING.

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**FROST TOWER**  
SAN ANTONIO, TEXAS

- Owner/Development Team  
**WESTON URBAN**  
 112 E. Pecan, Suite 100  
 San Antonio, TX 78205  
 tel. 210.630.7519
- KDC**  
 3115 Preston Road, Suite 700  
 Dallas, TX 75225  
 tel. 214.696.1700
- Design Architect  
**PELLI CLARKE PELLI ARCHITECTS**  
 1058 Chapel Street  
 New Haven, CT 06510  
 tel. 203.777.2515
- Architect of Record  
**KENDALL HEATON ASSOCIATES, INC.**  
 3050 Post Oak Blvd, Suite 1000  
 Houston, TX 77056  
 tel. 713.877.1192
- Structural Engineer  
**BROCKETTE DAVIS DRAKE, INC.**  
 4144 N. Central Expressway, Suite 1100  
 Dallas, TX 75204  
 tel. 214.824.2586
- Mechanical, Electrical, Plumbing, Fire Protection  
**BLUM CONSULTING ENGINEERS, INC.**  
 314 Walnut Hill Lane, Suite 200  
 Dallas, TX 75231  
 tel. 214.373.8222
- Landscape Architect  
**GUSTAFSON GUTHRIE NICHOL**  
 1932 First Avenue, Suite 700  
 Seattle, WA 98101  
 tel. 206.903.6802
- Civil Engineer  
**PAPE DAWSON ENGINEERS**  
 2000 NW Loop 410  
 San Antonio, TX 78213  
 tel. 210.375.8000
- Vertical Transportation Consultant  
**PERSOHN/HAHN ASSOCIATES, INC.**  
 11621 Spring Cypress Road, Suite D  
 Tomball, TX 77377  
 tel. 713.467.444
- Parking Consultant  
**HWA PARKING**  
 3700 W. Sam Houston Parkway South, Suite 100  
 Houston, TX 77042  
 tel. 713.458.7730
- IT/Telecom Consultant  
**JANCOM TECHNOLOGIES, INC.**  
 235 Wild Basin Road, Suite 201  
 Austin, TX 78746  
 tel. 512.322.5122
- Curtain Wall Consultant  
**CURTAIN WALL DESIGN & CONSULTING, INC.**  
 8070 Park Lane, Suite 400  
 Dallas, TX 75231  
 tel. 972.427.4200
- Exterior Building Maintenance Consultant  
**LERCH BATES**  
 719 Sawdust Road, Suite 104  
 The Woodlands, TX 77380  
 tel. 832.380.8393
- Graphic Design and Wayfinding  
**DYAL DESIGN & COMMUNICATIONS**  
 1501 Lavaca Street, Suite 115  
 Austin, TX 78701  
 tel. 512.810.3311
- Security Consultant  
**HMA CONSULTING, INC.**  
 2010 Wirth Road, Suite 150  
 Stafford, TX 77477  
 tel. 832.944.6020
- Acoustical Consultant  
**CERMAN ASSOCIATES INC.**  
 404 Fifth Avenue  
 New York, NY 10018  
 tel. 212.370.1776
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 New York, NY 10016  
 tel. 212.741.3280



CURTAIN WALL ELEVATION - MINOR FACE HIGH RISE 3/8" = 1'-0" 18 CURTAIN WALL SECTION - MINOR FACE HIGH RISE 3/8" = 1'-0" 13 CURTAIN WALL ELEVATION - MINOR FACE LOW RISE 3/8" = 1'-0" 8 CURTAIN WALL SECTION - MINOR FACE LOW RISE 3/8" = 1'-0" 3



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1	04 MAY 16	SCHEMATIC DESIGN

DRAWING TITLE  
**TOWER ENLARGED PLAN, SECTION AND ELEVATION**

PROJECT NO.  
**15026**

DRAWING NUMBER  
**A4.53**



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SAN ANTONIO, TEXAS

- Owner/Development Team  
**WESTON URBAN**  
 112 E. Pecan, Suite 100  
 San Antonio, TX 78205  
 tel. 210.630.7519
- KDC**  
 3115 Preston Road, Suite 700  
 Dallas, TX 75225  
 tel. 214.696.1700
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**PELLI CLARKE PELLI ARCHITECTS**  
 1058 Chapel Street  
 New Haven, CT 06510  
 tel. 203.777.2515
- Architect of Record  
**KENDALL HEATON ASSOCIATES, INC.**  
 3050 Post Oak Blvd, Suite 1000  
 Houston, TX 77056  
 tel. 713.871.1192
- Structural Engineer  
**BROCKETTE DAVIS DRAKE, INC.**  
 4144 N. Central Expressway, Suite 1100  
 Dallas, TX 75204  
 tel. 214.824.2586
- Mechanical, Electrical, Plumbing, Fire Protection  
**BLUM CONSULTING ENGINEERS, INC.**  
 3744 Walnut Hill Lane, Suite 200  
 Dallas, TX 75231  
 tel. 214.373.8222
- Landscape Architect  
**GUSTAFSON GUTHRIE NICHOL**  
 1932 First Avenue, Suite 700  
 Seattle, WA 98101  
 tel. 206.903.6802
- Civil Engineer  
**PAPE DAWSON ENGINEERS**  
 2000 NW Loop 410  
 San Antonio, TX 78213  
 tel. 210.375.8000
- Vertical Transportation Consultant  
**PERSOHN/HAHN ASSOCIATES, INC.**  
 Tomball, TX 77377  
 tel. 713.467.4444
- Parking Consultant  
**HWA PARKING**  
 3700 W. Sam Houston Parkway South, Suite 100  
 Houston, TX 77042  
 tel. 713.458.7730
- IT/Telecom Consultant  
**JANCOM TECHNOLOGIES, INC.**  
 295 Walnut Road, Suite 201  
 Austin, TX 78746  
 tel. 512.322.5122
- Curtain Wall Consultant  
**CURTAIN WALL DESIGN & CONSULTING, INC.**  
 8070 Park Lane, Suite 400  
 Dallas, TX 75231  
 tel. 972.437.4200
- Exterior Building Maintenance Consultant  
**LERCH BATES**  
 719 Sawdust Road, Suite 104  
 The Woodlands, TX 77380  
 tel. 832.380.8393
- Graphic Design and Wayfinding  
**DYAL DESIGN & COMMUNICATIONS**  
 1501 Lavaca Street, Suite 115  
 Austin, TX 78701  
 tel. 512.810.3311
- Security Consultant  
**HMA CONSULTING, INC.**  
 2010 Wright Road, Suite 150  
 Stafford, TX 77477  
 tel. 832.944.6020
- Acoustical Consultant  
**CERMAN ASSOCIATES, INC.**  
 404 Fifth Avenue  
 New York, NY 10018  
 tel. 212.370.1776
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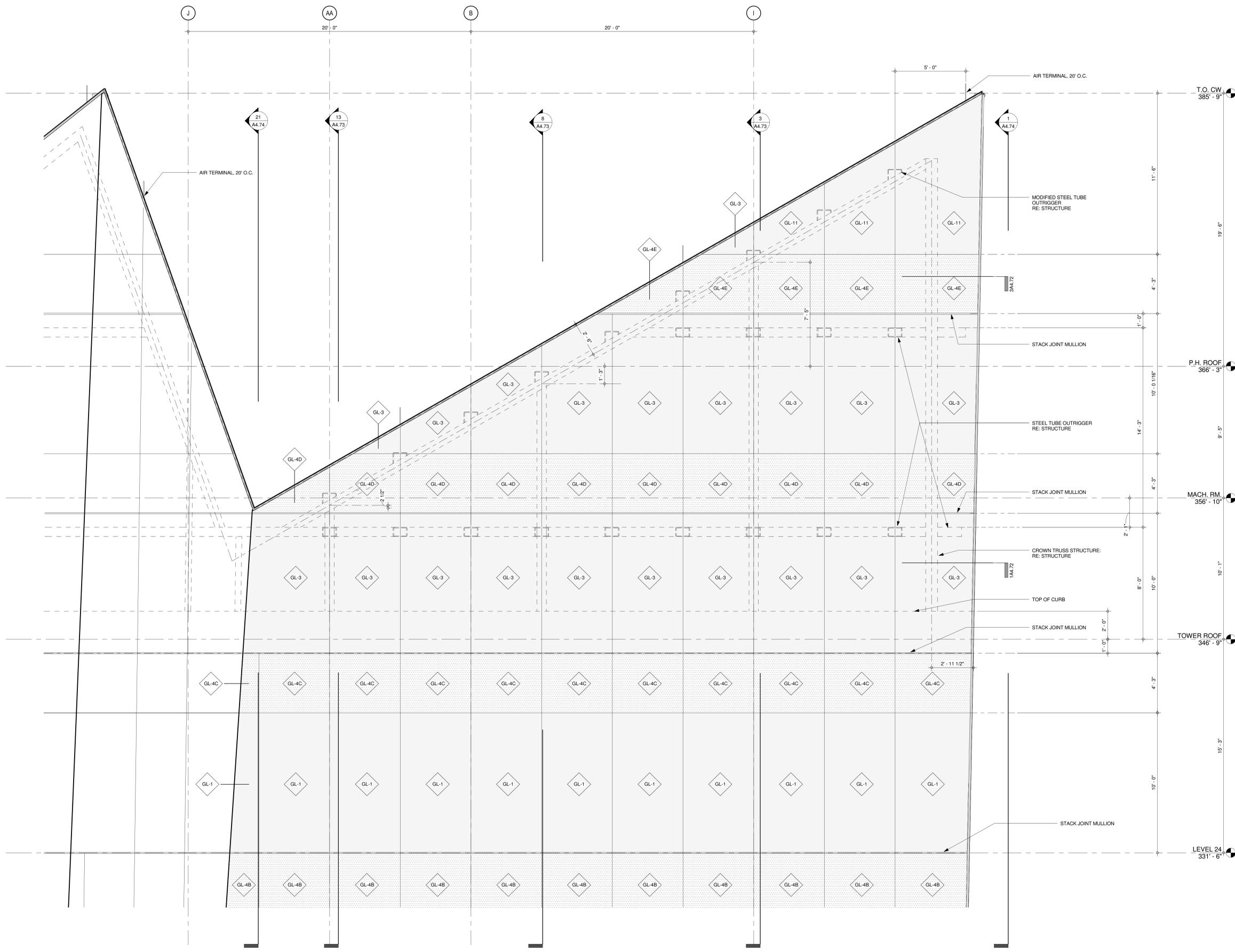
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**CROWN ENLARGED PLAN, SECTION AND ELEVATION**

PROJECT NO. **15026** DRAWING NUMBER **A4.71**



CURTAIN WALL ELEVATION - CROWN MAJOR FACE

3/8" = 1'-0" 1

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**FROST TOWER**  
SAN ANTONIO, TEXAS

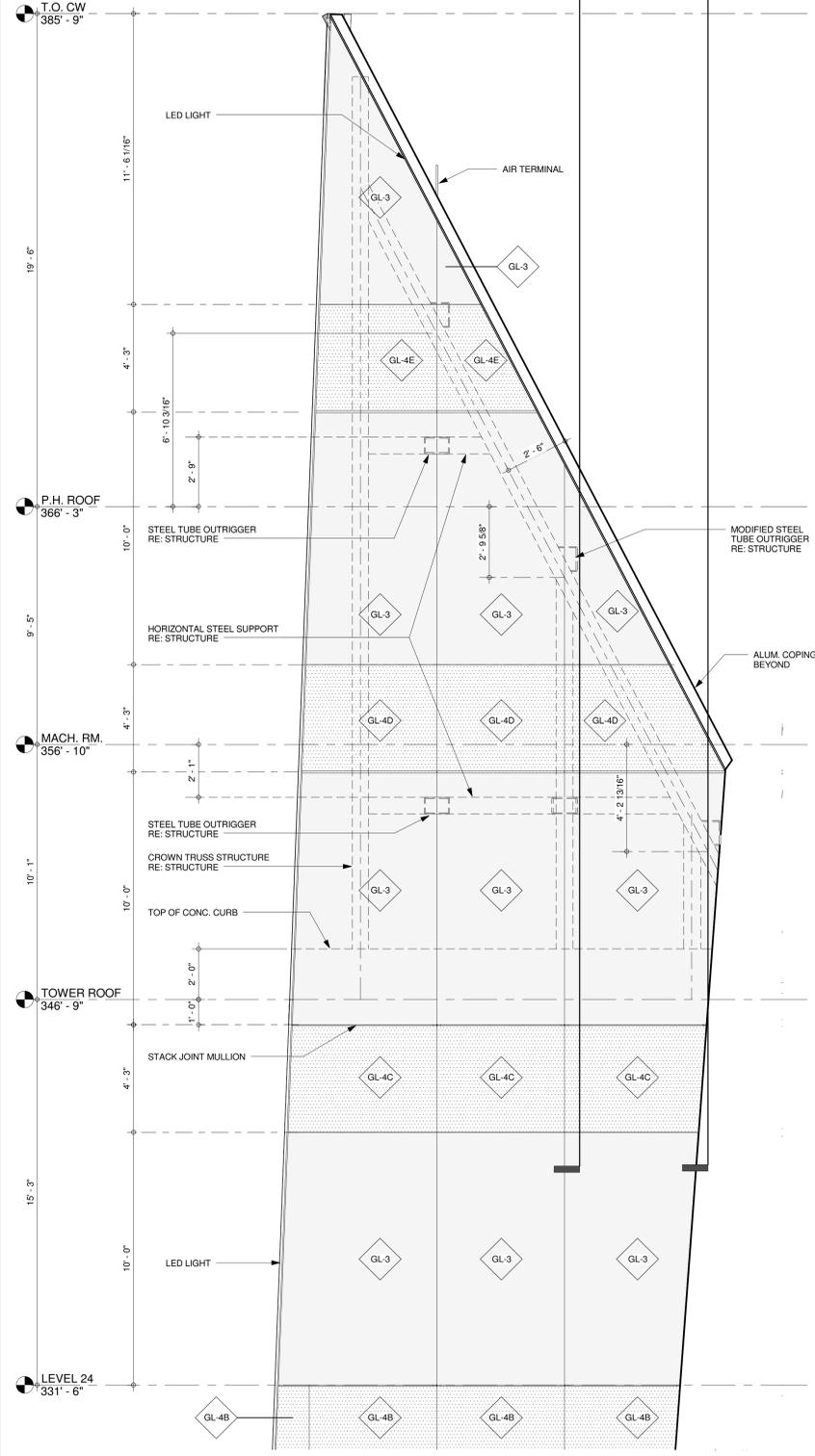
- Owner/Development Team  
**WESTON URBAN**  
 112 E. Pecan, Suite 100  
 San Antonio, TX 78205  
 tel. 210.630.7519
- KDC**  
 3115 Preston Road, Suite 700  
 Dallas, TX 75225  
 tel. 214.696.1700
- Design Architect  
**PELLI CLARKE PELLI ARCHITECTS**  
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 New Haven, CT 06510  
 tel. 203.777.2515
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**KENDALL HEATON ASSOCIATES, INC.**  
 3050 Post Oak Blvd, Suite 1000  
 Houston, TX 77056  
 tel. 713.877.1192
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 4144 N. Central Expressway, Suite 1100  
 Dallas, TX 75204  
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 Dallas, TX 75231  
 tel. 214.373.8222
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 1932 First Avenue, Suite 700  
 Seattle, WA 98101  
 tel. 206.903.6802
- Civil Engineer  
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 2000 NW Loop 410  
 San Antonio, TX 78213  
 tel. 210.375.8000
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 Tomball, TX 77377  
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- Parking Consultant  
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 Houston, TX 77042  
 tel. 713.458.7730
- IT/Telecom Consultant  
**JANCOM TECHNOLOGIES, INC.**  
 235 Walnut Hill Road, Suite 201  
 Austin, TX 78746  
 tel. 512.322.5122
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**CURTAIN WALL DESIGN & CONSULTING, INC.**  
 8070 Park Lane, Suite 400  
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 tel. 972.427.4200
- Exterior Building Maintenance Consultant  
**LERCH BATES**  
 719 Sawdust Road, Suite 104  
 The Woodlands, TX 77380  
 tel. 832.380.8393
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 Austin, TX 78701  
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 2010 Wright Road, Suite 150  
 Stafford, TX 77477  
 tel. 832.944.6020
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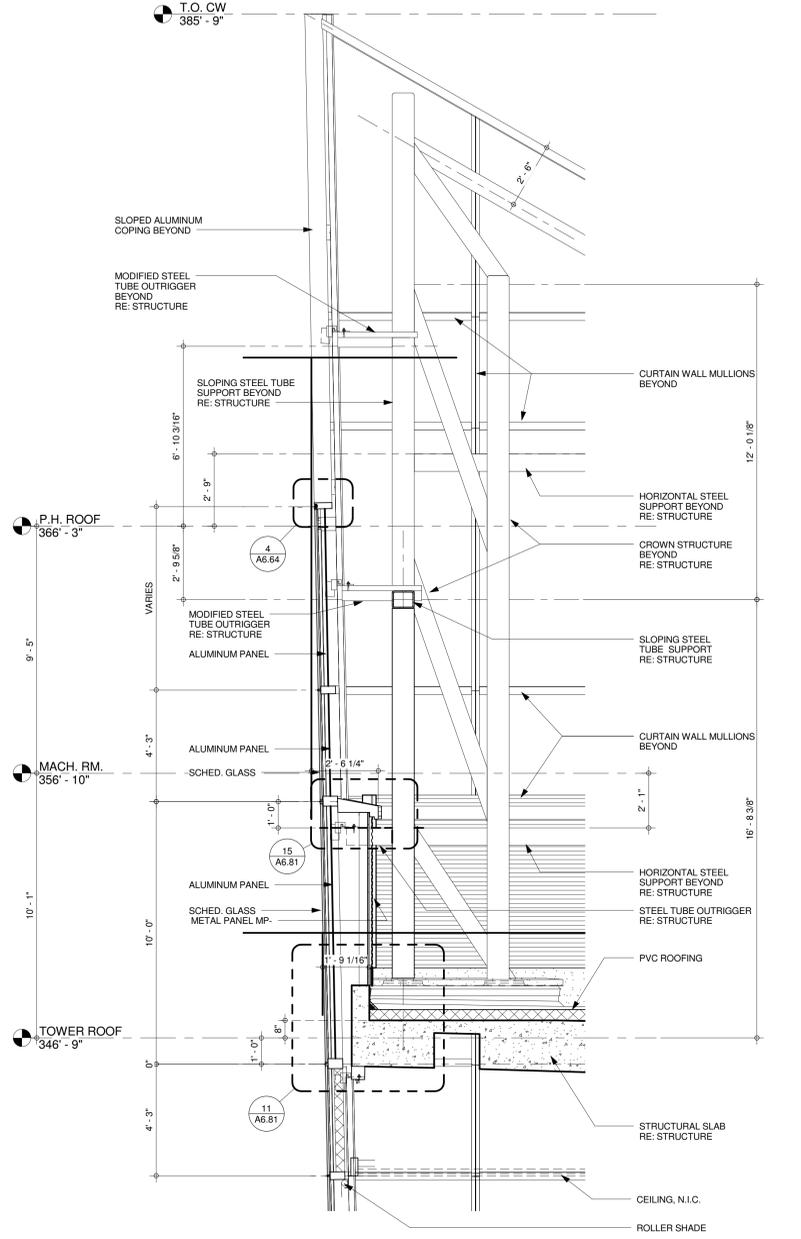
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**CROWN ENLARGED PLAN, SECTION AND ELEVATION**

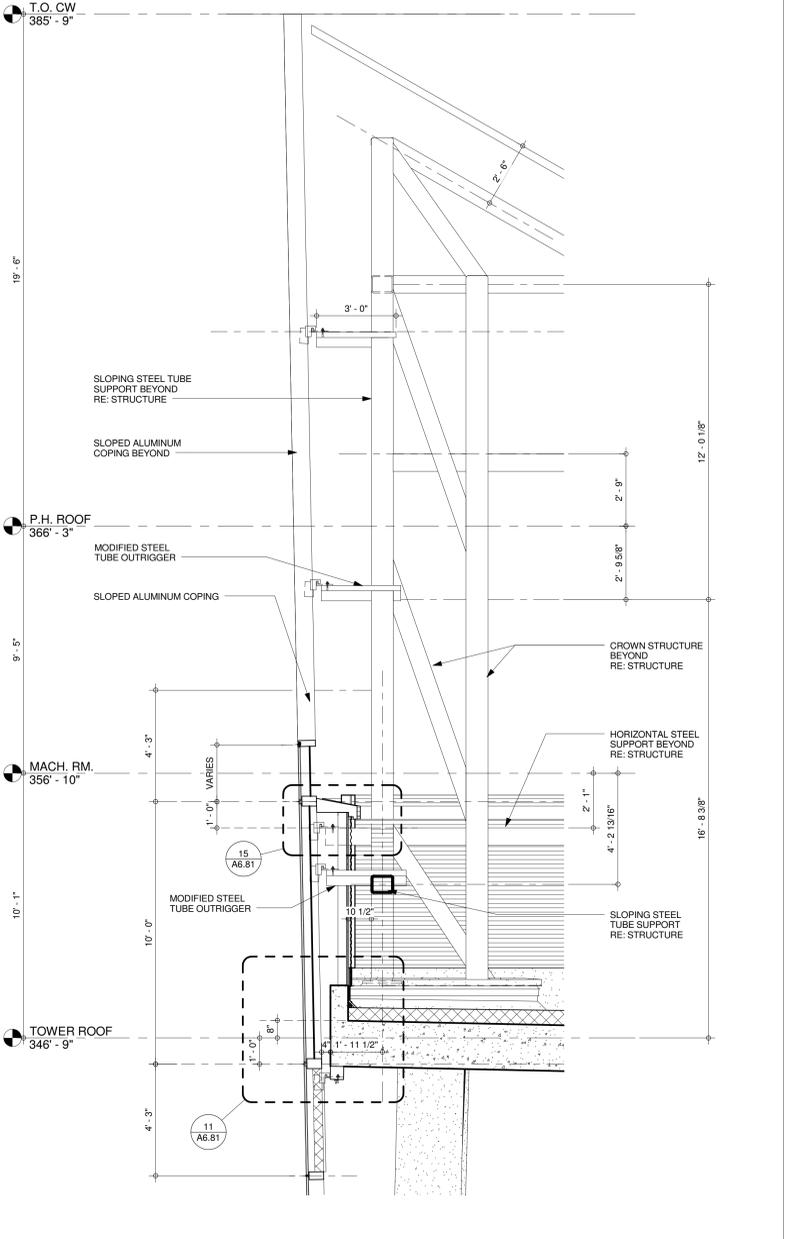
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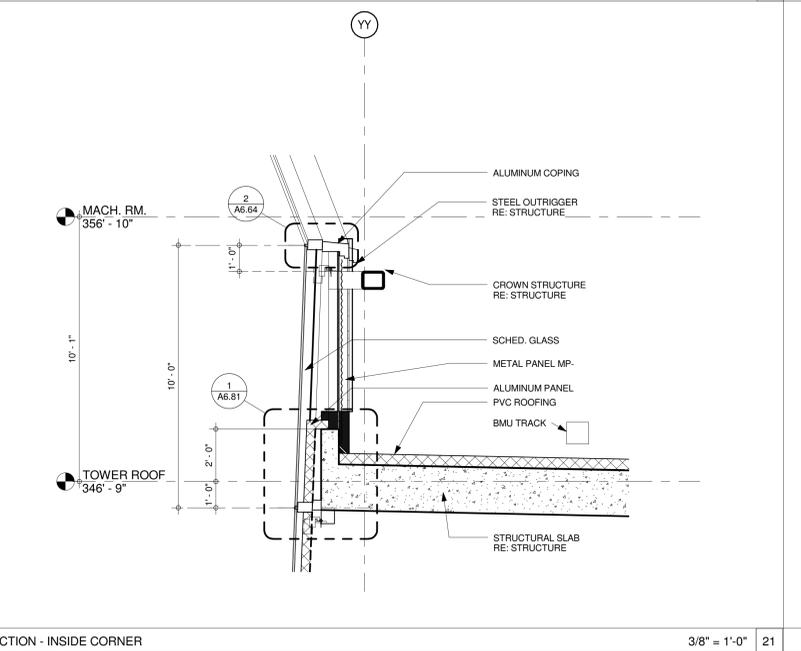
CURTAIN WALL ELEVATION - CROWN MINOR FACE  
 3/8" = 1'-0" 1



CROWN SECTION - MINOR FACE  
 3/8" = 1'-0" 22



CROWN SECTION - MINOR FACE LOW  
 3/8" = 1'-0" 21



CROWN SECTION - INSIDE CORNER  
 3/8" = 1'-0" 21



**FROST TOWER**  
SAN ANTONIO, TEXAS

- Owner/Development Team  
**WESTON URBAN**  
 112 E. Pecan, Suite 100  
 San Antonio, TX 78205  
 tel. 210.630.7519
- KDC  
 3115 Preston Road, Suite 700  
 Dallas, TX 75225  
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**PELLI CLARKE PELLI ARCHITECTS**  
 1058 Chapel Street  
 New Haven, CT 06510  
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 3050 Post Oak Blvd, Suite 1000  
 Houston, TX 77056  
 tel. 713.877.1192
- Structural Engineer  
**BROCKETTE DAVIS DRAKE, INC.**  
 4144 N. Central Expressway, Suite 1100  
 Dallas, TX 75204  
 tel. 214.824.2586
- Mechanical, Electrical, Plumbing, Fire Protection  
**BLUM CONSULTING ENGINEERS, INC.**  
 3144 Walnut Hill Lane, Suite 200  
 Dallas, TX 75231  
 tel. 214.373.8222
- Landscape Architect  
**GUSTAFSON GUTHRIE NICHOL**  
 1952 First Avenue, Suite 400  
 Seattle, WA 98101  
 tel. 206.903.6802
- Civil Engineer  
**PAPE DAWSON ENGINEERS**  
 2000 NW Loop 410  
 San Antonio, TX 78213  
 tel. 210.375.8000
- Vertical Transportation Consultant  
**PERSOHN/HAHN ASSOCIATES, INC.**  
 11621 Spring Cypress Road, Suite D  
 Tomball, TX 77377  
 tel. 713.467.4444
- Parking Consultant  
**HWA PARKING**  
 3700 W. Sam Houston Parkway South, Suite 100  
 Houston, TX 77042  
 tel. 713.458.7730
- IT/Telecom Consultant  
**JANCOM TECHNOLOGIES, INC.**  
 235 Walnut Road, Suite 201  
 Austin, TX 78746  
 tel. 512.322.5122
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 Dallas, TX 75231  
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- Exterior Building Maintenance Consultant  
**LERCH BATES**  
 719 Sawdust Road, Suite 104  
 The Woodlands, TX 77380  
 tel. 832.380.8393
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 Austin, TX 78701  
 tel. 512.810.3311
- Security Consultant  
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 2010 Wright Road, Suite 150  
 Stafford, TX 77477  
 tel. 832.944.6020
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 404 Fifth Avenue  
 New York, NY 10018  
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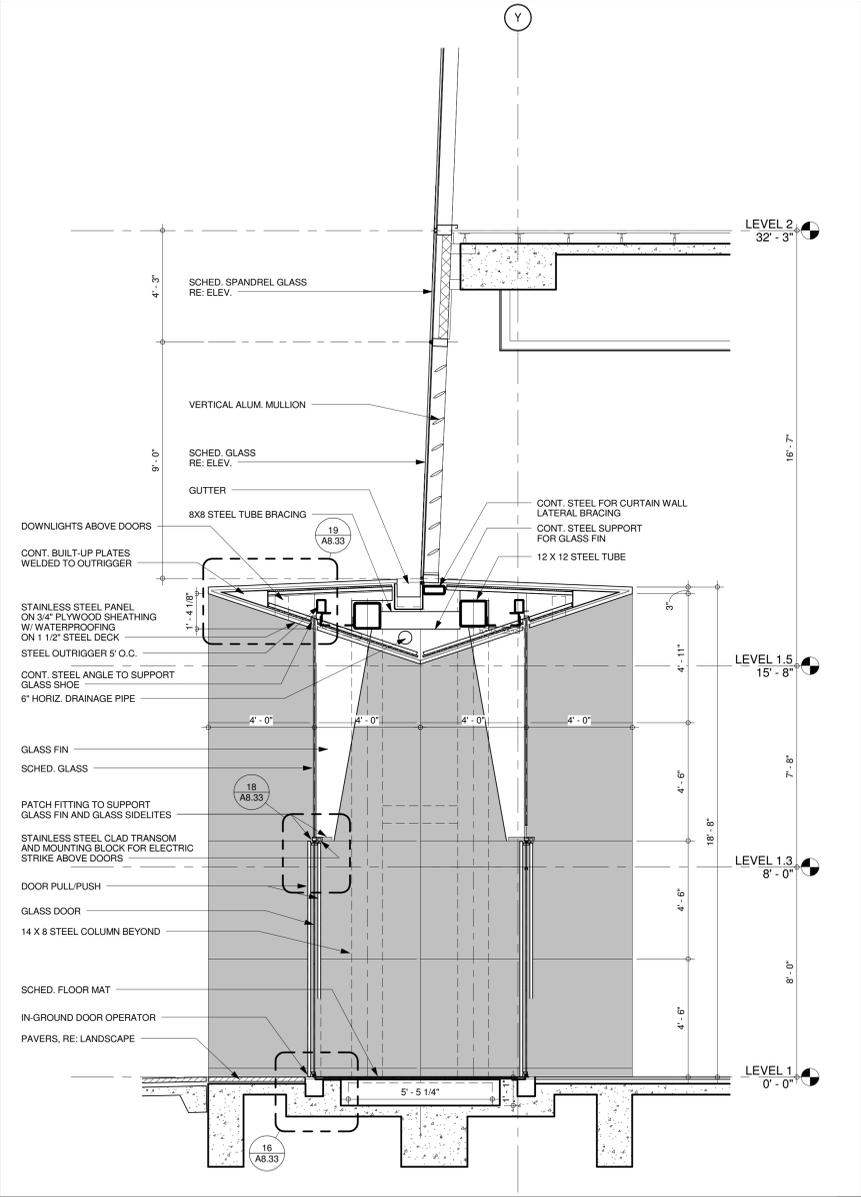
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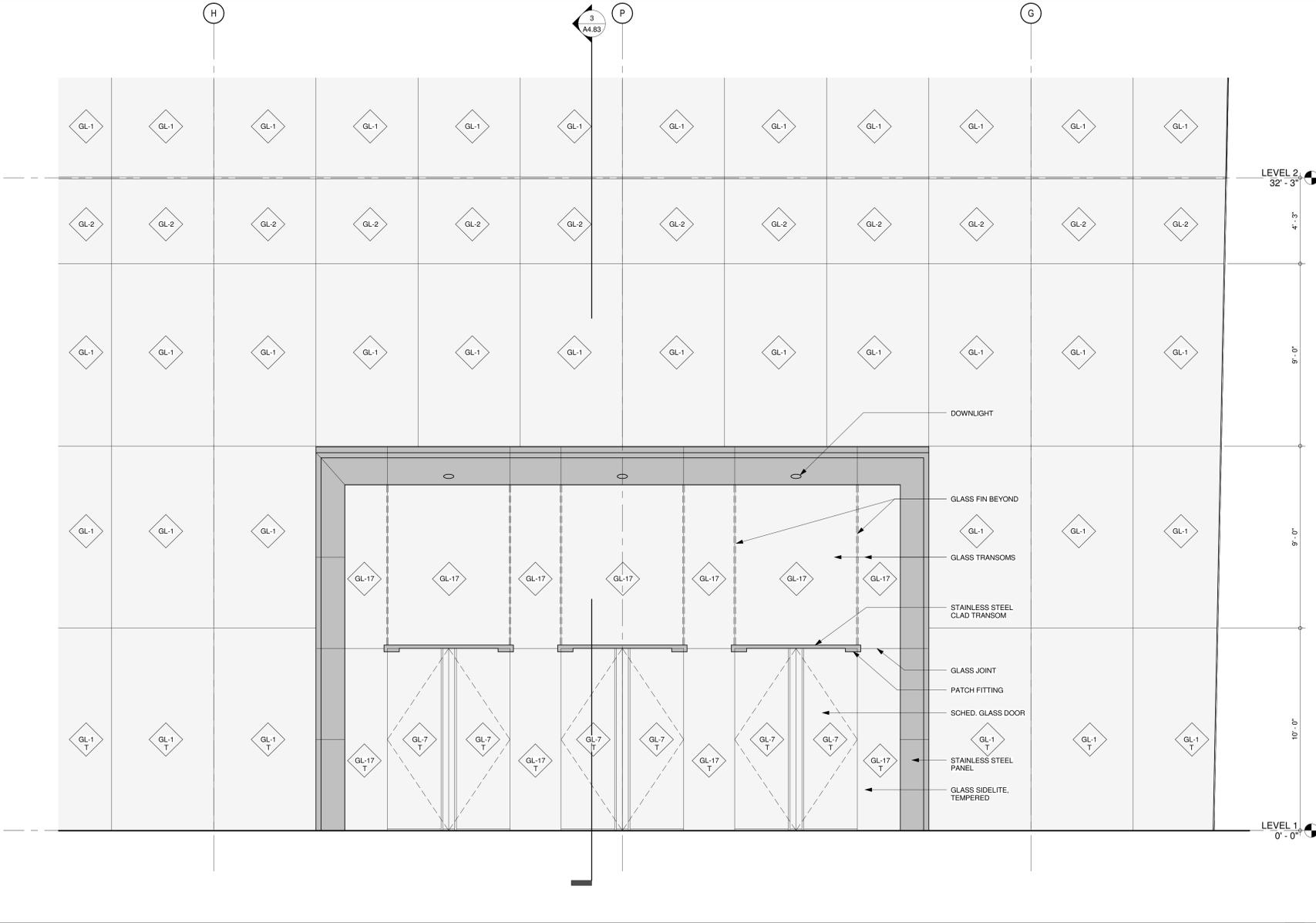
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**LOBBY WALL ENTRANCE PORTAL**

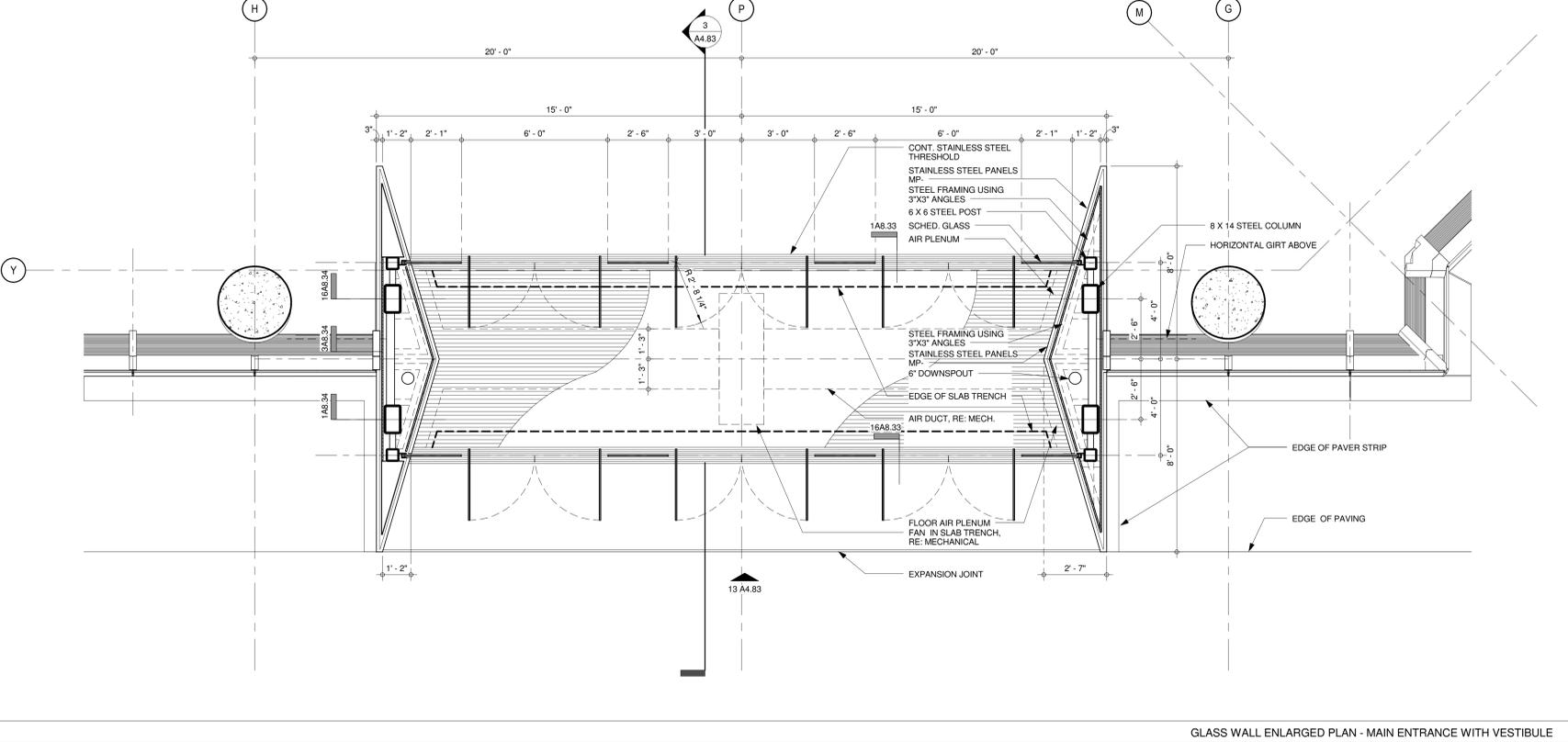
PROJECT NO. **15026** DRAWING NUMBER **A4.83**



GLASS WALL SECTION - MAIN ENTRANCE WITH VESTIBULE 3/8" = 1'-0" 3



GLASS WALL ELEVATION - MAIN ENTRANCE WITH VESTIBULE 3/8" = 1'-0" 13



GLASS WALL ENLARGED PLAN - MAIN ENTRANCE WITH VESTIBULE 3/8" = 1'-0" 1

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**FROST TOWER**  
SAN ANTONIO, TEXAS

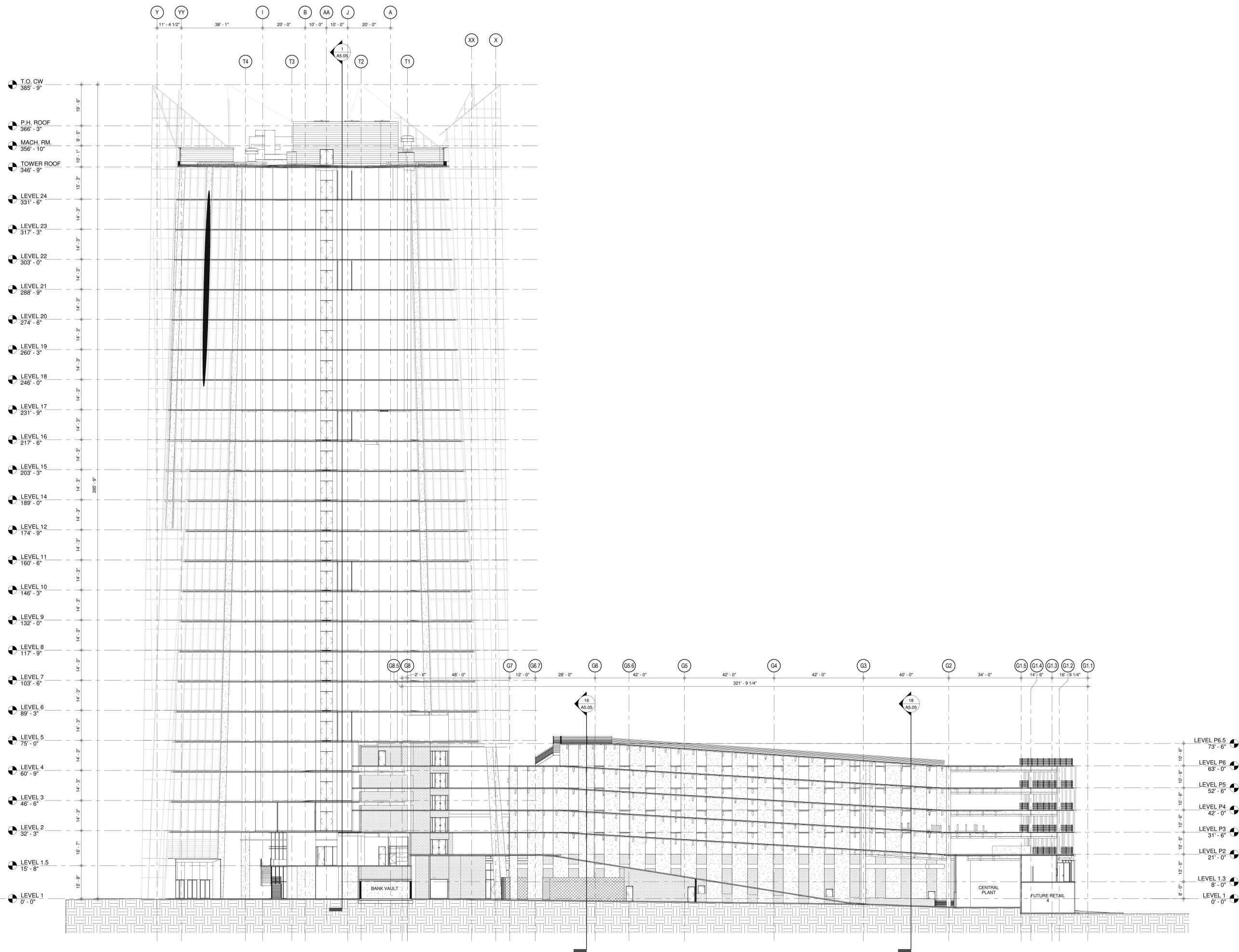
- Owner/Development Team  
**WESTON URBAN**  
 112 E. Pecan, Suite 100  
 San Antonio, TX 78205  
 tel. 210.630.7519
- KDC**  
 3115 Preston Road, Suite 700  
 Dallas, TX 75225  
 tel. 214.696.1700
- Design Architect  
**PELLI CLARKE PELLI ARCHITECTS**  
 1058 Chapel Street  
 New Haven, CT 06510  
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 Dallas, TX 75231  
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**GUSTAFSON GUTHRIE NICHOL**  
 1932 First Avenue, Suite 700  
 Seattle, WA 98101  
 tel. 206.903.6802
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 San Antonio, TX 78213  
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 Houston, TX 77042  
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**JANCOM TECHNOLOGIES, INC.**  
 235 Wilkison Road, Suite 201  
 Austin, TX 78746  
 tel. 512.322.5122
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 Dallas, TX 75231  
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 The Woodlands, TX 77380  
 tel. 832.380.8393
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 Austin, TX 78701  
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 2010 Wright Road, Suite 150  
 Stafford, TX 77477  
 tel. 832.944.6020
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 404 Fifth Avenue  
 New York, NY 10018  
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**BUILDING SECTIONS**

PROJECT NO. **15026** DRAWING NUMBER **A5.01**



LONGITUDINAL SECTION SOUTH

1/16" = 1'-0" 1

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**FROST TOWER**  
SAN ANTONIO, TEXAS

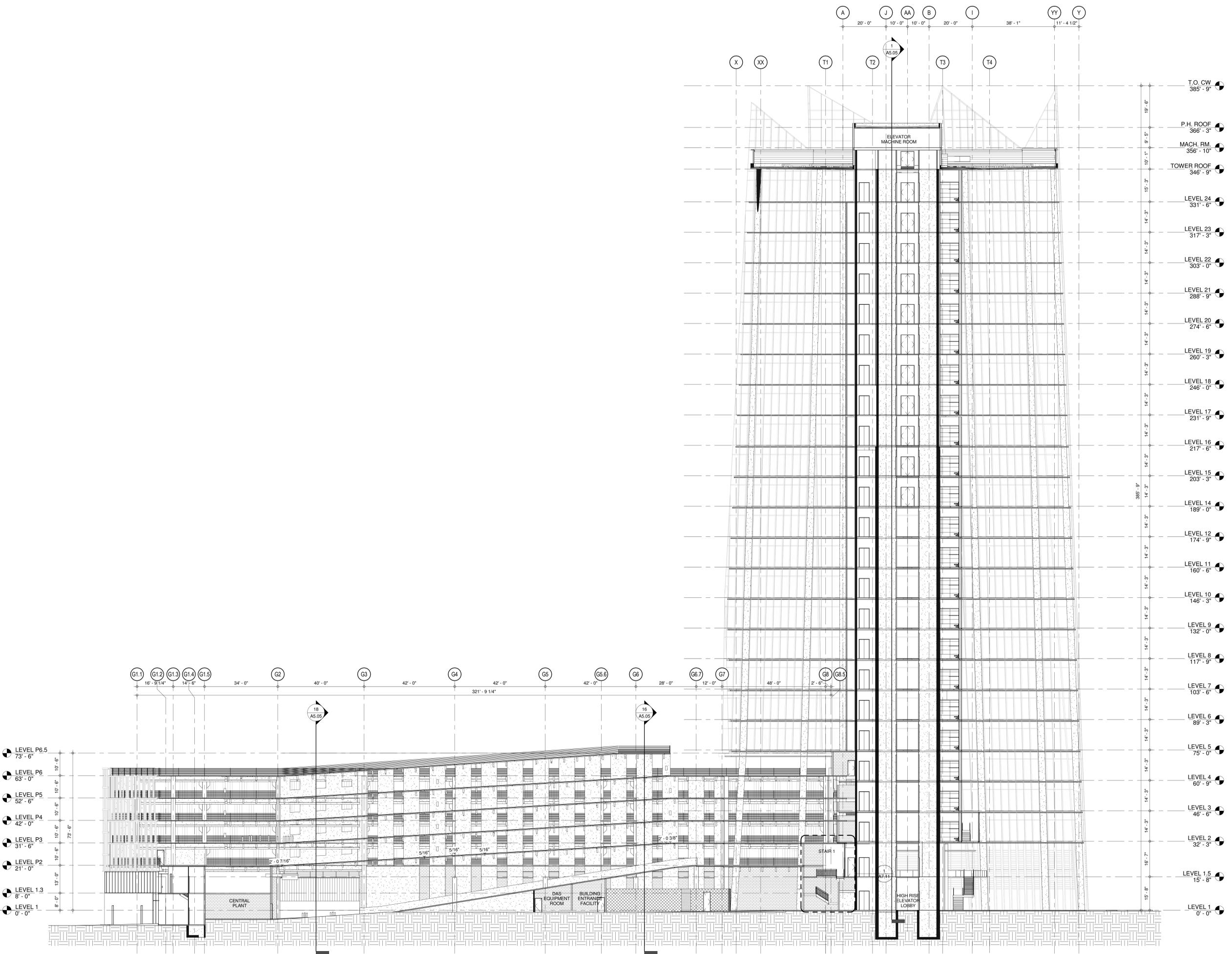
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 San Antonio, TX 78205  
 tel. 210.630.7519
- KDC**  
 8115 Preston Road, Suite 700  
 Dallas, TX 75225  
 tel. 214.696.1700
- Design Architect  
**PELLI CLARKE PELLI ARCHITECTS**  
 1058 Chapel Street  
 New Haven, CT 06510  
 tel. 203.777.2515
- Architect of Record  
**KENDALL HEATON ASSOCIATES, INC.**  
 3050 Post Oak Blvd, Suite 1000  
 Houston, TX 77056  
 tel. 713.877.1192
- Structural Engineer  
**BROCKETTE DAVIS DRAKE, INC.**  
 4144 N. Central Expressway, Suite 1100  
 Dallas, TX 75204  
 tel. 214.824.2586
- Mechanical, Electrical, Plumbing, Fire Protection  
**BLUM CONSULTING ENGINEERS, INC.**  
 3144 Walnut Hill Lane, Suite 200  
 Dallas, TX 75231  
 tel. 214.373.8222
- Landscape Architect  
**GUSTAFSON GUTHRIE NICHOL**  
 1932 First Avenue, Suite 700  
 Seattle, WA 98101  
 tel. 206.903.6802
- Civil Engineer  
**PAPE DAWSON ENGINEERS**  
 2000 NW Loop 410  
 San Antonio, TX 78213  
 tel. 210.375.8000
- Vertical Transportation Consultant  
**PERSOHN/HAHN ASSOCIATES, INC.**  
 11621 Spring Cypress Road, Suite D  
 Tomball, TX 77377  
 tel. 713.467.4444
- Parking Consultant  
**HWA PARKING**  
 3700 W. Sam Houston Parkway South, Suite 100  
 Houston, TX 77042  
 tel. 713.458.7730
- IT/Telecom Consultant  
**JANCOM TECHNOLOGIES, INC.**  
 235 West Basin Road, Suite 201  
 Austin, TX 78746  
 tel. 512.322.5122
- Curtain Wall Consultant  
**CURTAIN WALL DESIGN & CONSULTING, INC.**  
 8070 Park Lane, Suite 400  
 Dallas, TX 75231  
 tel. 972.427.4200
- Exterior Building Maintenance Consultant  
**LERCH BATES**  
 719 Sawdust Road, Suite 104  
 The Woodlands, TX 77380  
 tel. 832.380.8393
- Graphic Design and Wayfinding  
**DYAL DESIGN & COMMUNICATIONS**  
 1501 Lavaca Street, Suite 115  
 Austin, TX 78701  
 tel. 512.810.3311
- Security Consultant  
**HMA CONSULTING, INC.**  
 2010 Wright Road, Suite 150  
 Stafford, TX 77477  
 tel. 832.944.6020
- Acoustical Consultant  
**CERMAN ASSOCIATES INC.**  
 404 Fifth Avenue  
 New York, NY 10018  
 tel. 212.370.1776
- Lighting Consultant  
**CLINE BETTRIDGE BERNSTEIN**  
**LIGHTING DESIGN INC.**  
 116 East 27th Street, 4th Floor  
 New York, NY 10016  
 tel. 212.741.3280



3	27 FEB 17	ISSUED FOR PERMIT
2	16 DEC 16	ISSUED FOR REVIEW
1	14 SEP 16	DD PROGRESS PRINT
NO.	DATE	ISSUE

**BUILDING SECTIONS**

PROJECT NO. **15026** DRAWING NUMBER **A5.02**



LONGITUDINAL SECTION NORTH

1/16" = 1'-0" 1



**FROST TOWER**  
SAN ANTONIO, TEXAS

Owner/Development Team  
**WESTON URBAN**  
112 E. Pecan, Suite 100  
San Antonio, TX 78205  
tel. 210.630.7519

Architect of Record  
**PELLI CLARKE PELLI ARCHITECTS**  
1058 Chapel Street  
New Haven, CT 06510  
tel. 203.777.2515

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Houston, TX 77056  
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Structural Engineer  
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4144 N. Central Expressway, Suite 1100  
Dallas, TX 75204  
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Mechanical, Electrical, Plumbing, Fire Protection  
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1932 First Avenue, Suite 700  
Seattle, WA 98101  
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Civil Engineer  
**PAE DAWSON ENGINEERS**  
2000 NW Loop 410  
San Antonio, TX 78213  
tel. 210.375.8000

Vertical Transportation Consultant  
**PERSOHN/HAHN ASSOCIATES, INC.**  
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Tomball, TX 77377  
tel. 713.467.4444

Parking Consultant  
**HWA PARKING**  
3700 W. Sam Houston Parkway South, Suite 100  
Houston, TX 77042  
tel. 713.458.7730

IT/Telecom Consultant  
**JANCOM TECHNOLOGIES, INC.**  
235 West Eason Road, Suite 201  
Austin, TX 78746  
tel. 512.322.5122

Curtain Wall Consultant  
**CURTAIN WALL DESIGN & CONSULTING, INC.**  
8070 Park Lane, Suite 400  
Dallas, TX 75231  
tel. 972.437.4200

Exterior Building Maintenance Consultant  
**LERCH BATES**  
719 Sawdust Road, Suite 104  
The Woodlands, TX 77380  
tel. 832.380.8393

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Austin, TX 78701  
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Security Consultant  
**HMA CONSULTING, INC.**  
5010 Wright Road, Suite 150  
Stafford, TX 77477  
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Acoustical Consultant  
**CERMAN ASSOCIATES INC.**  
404 Fifth Avenue  
New York, NY 10018  
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New York, NY 10016  
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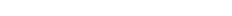
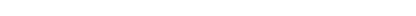
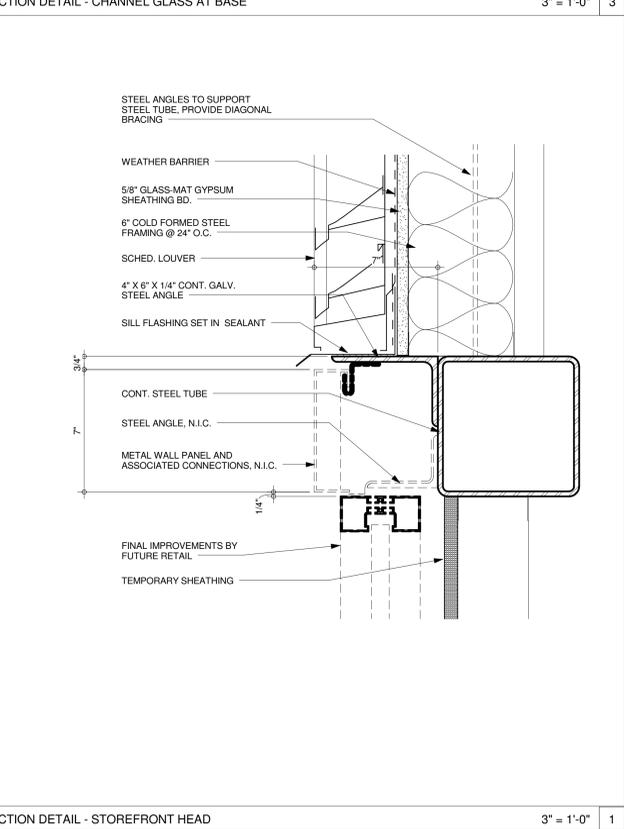
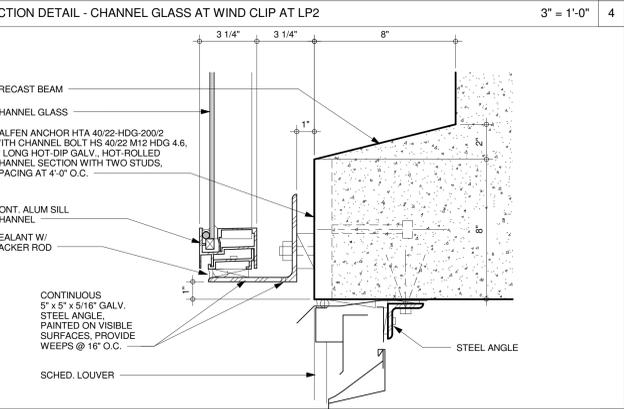
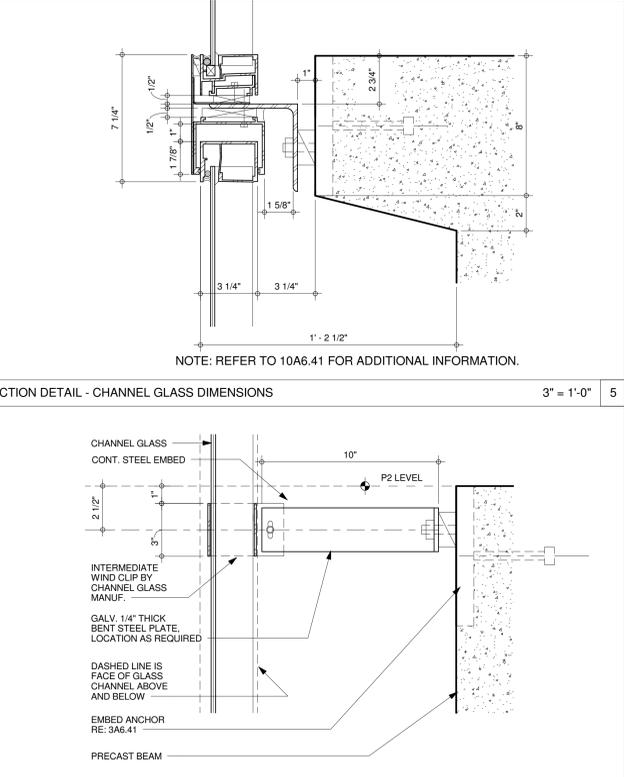
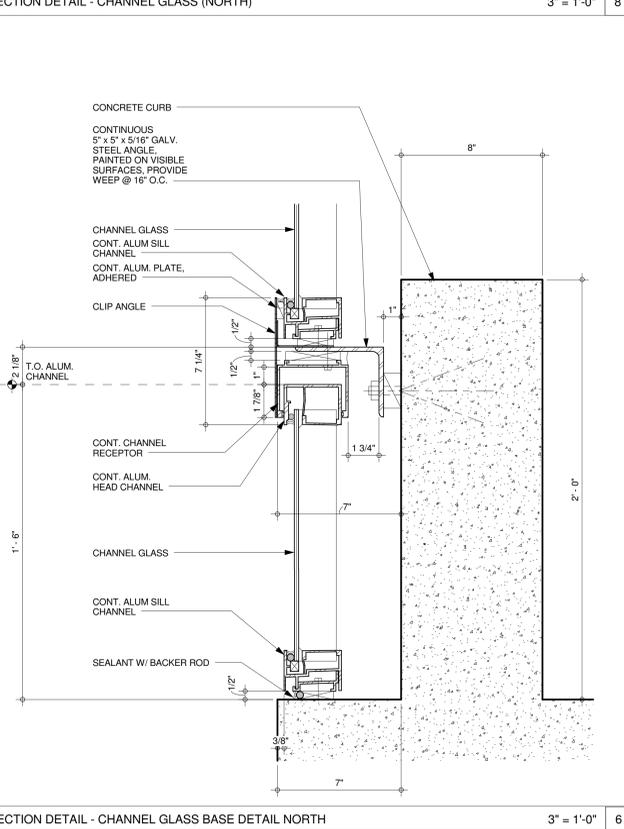
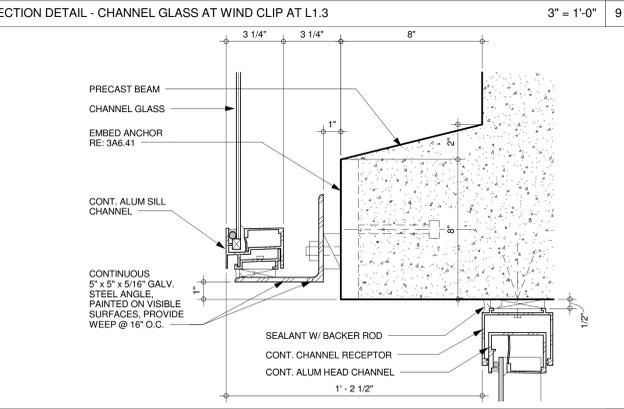
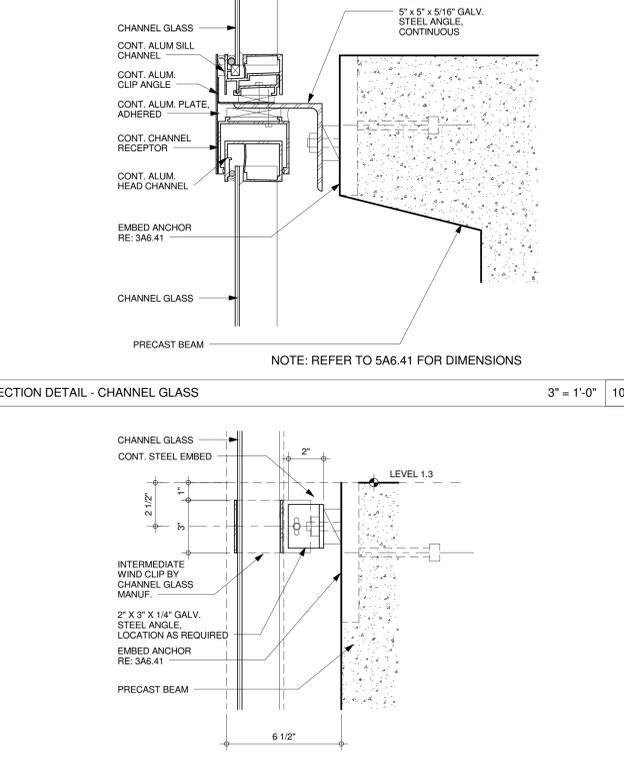
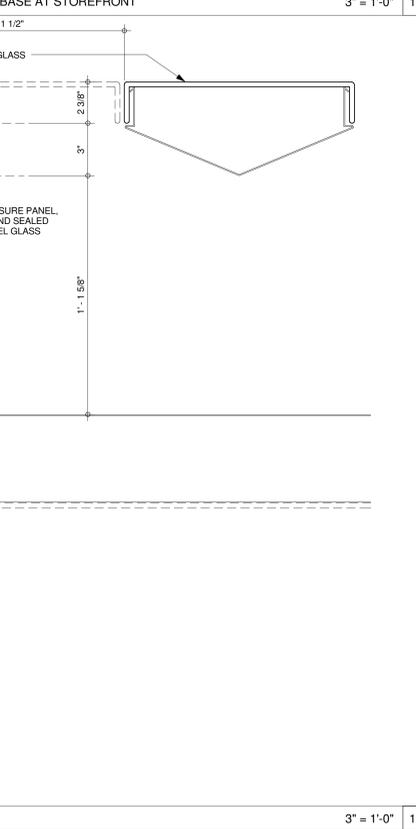
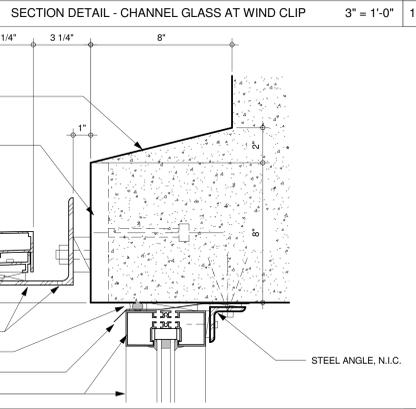
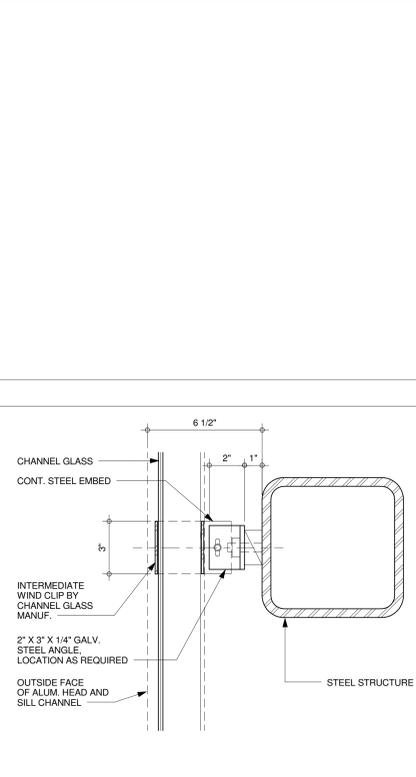
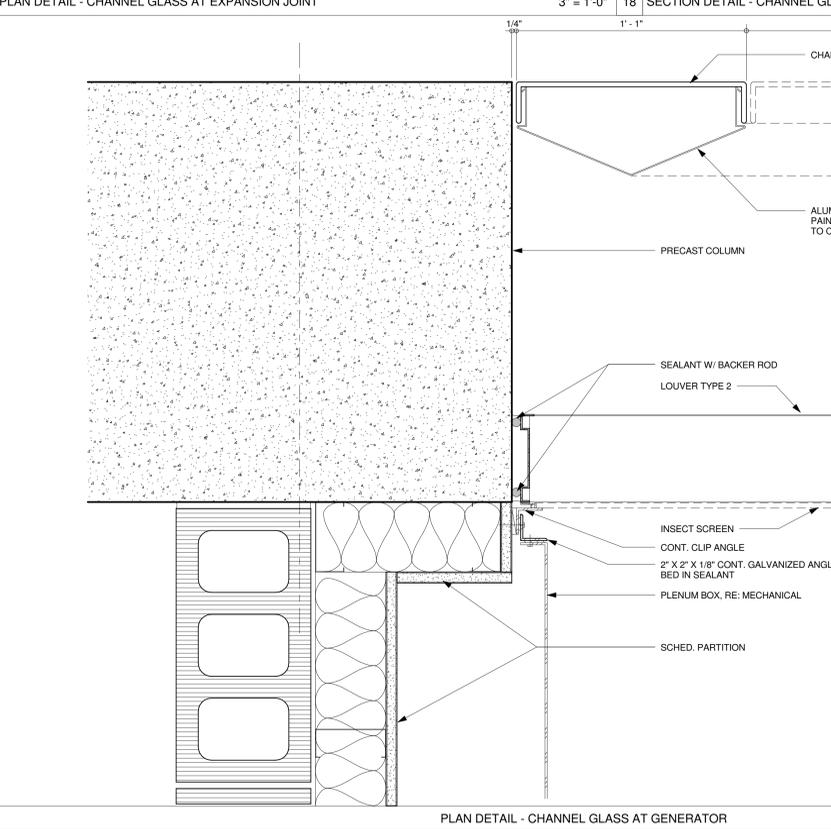
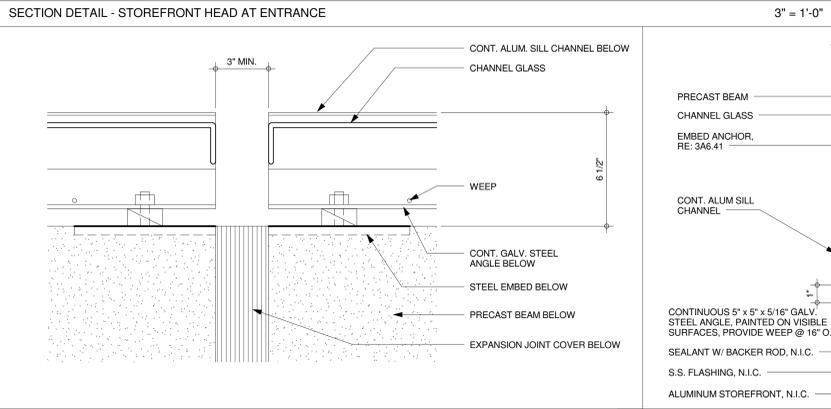
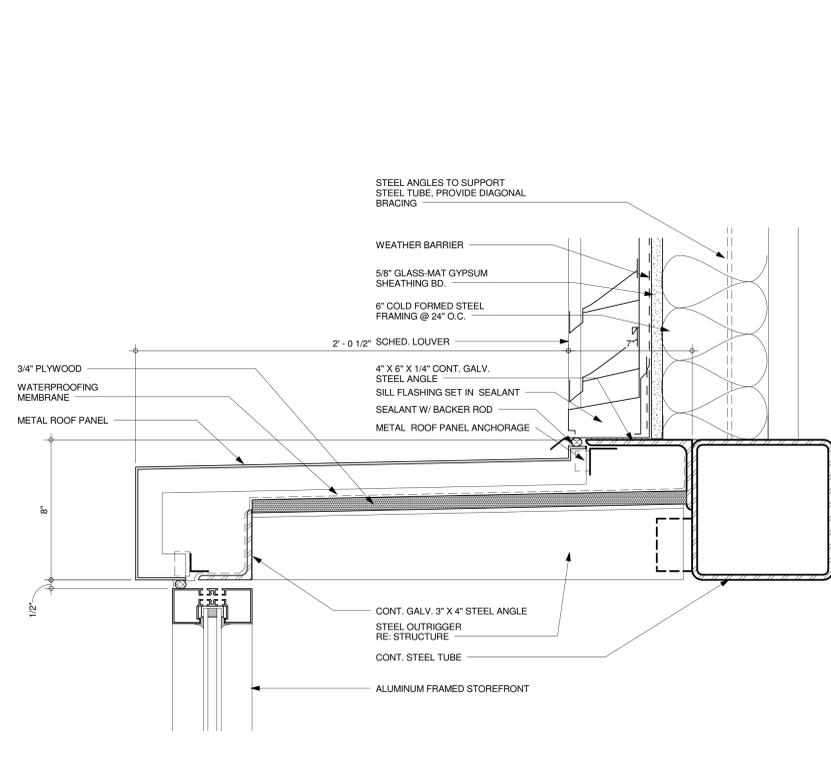
Exterior Building Maintenance Consultant  
**LERCH BATES**  
719 Sawdust Road, Suite 104  
The Woodlands, TX 77380  
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27 FEB 17

1 27 FEB 17 ISSUED FOR PERMIT  
NO. DATE ISSUE

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DRAWING TITLE

**GARAGE CLADDING AND STOREFRONT DETAILS**

PROJECT NO. 15026 DRAWING NUMBER A6.41



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Owner/Development Team  
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 112 E. Pecan, Suite 100  
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 Stafford, TX 77477  
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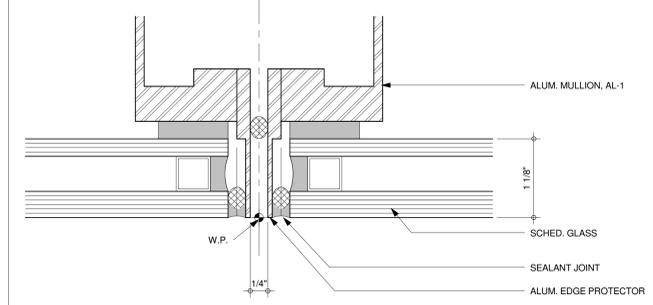
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2	08 JUN 16	60% DESIGN DEVELOPMENT
1	04 MAY 16	SCHEMATIC DESIGN

REGISTERED ARCHITECT  
 STATE OF TEXAS  
 27 FEB 17

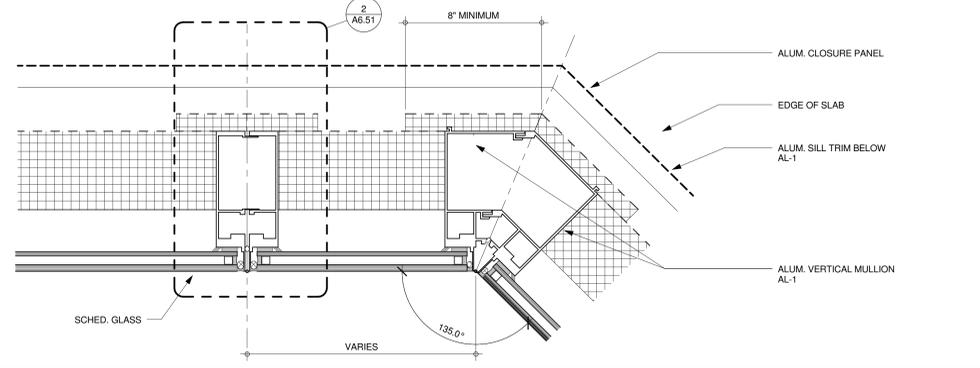
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**CURTAIN WALL PLAN DETAILS**

PROJECT NO.  
**15026**

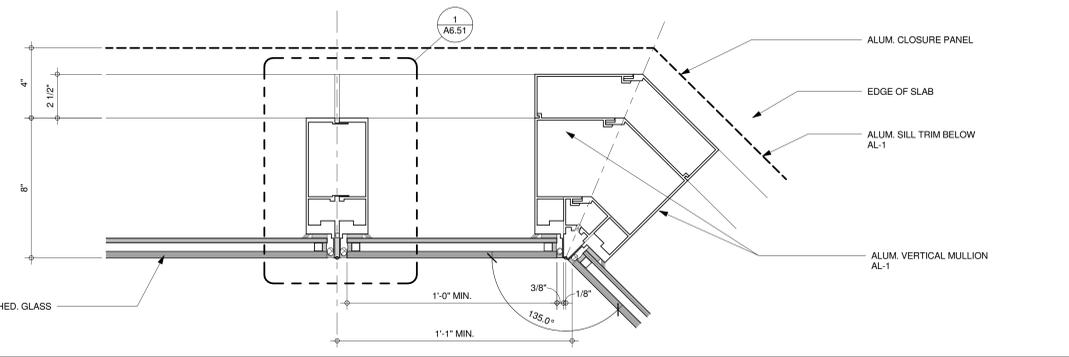
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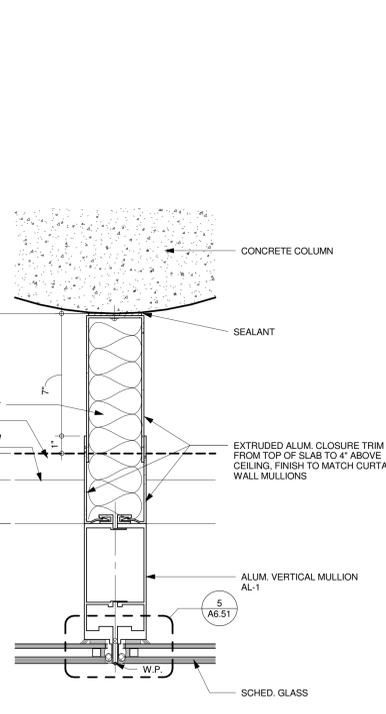
PLAN DETAIL - GLASS EDGE PROTECTOR 12" = 1'-0" 5



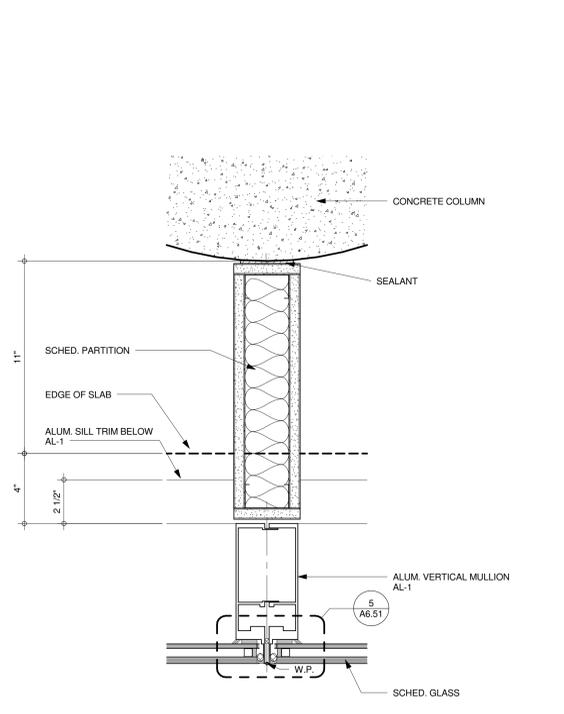
PLAN DETAIL AT SPANDREL - INSIDE CORNER MULLION 3" = 1'-0" 4



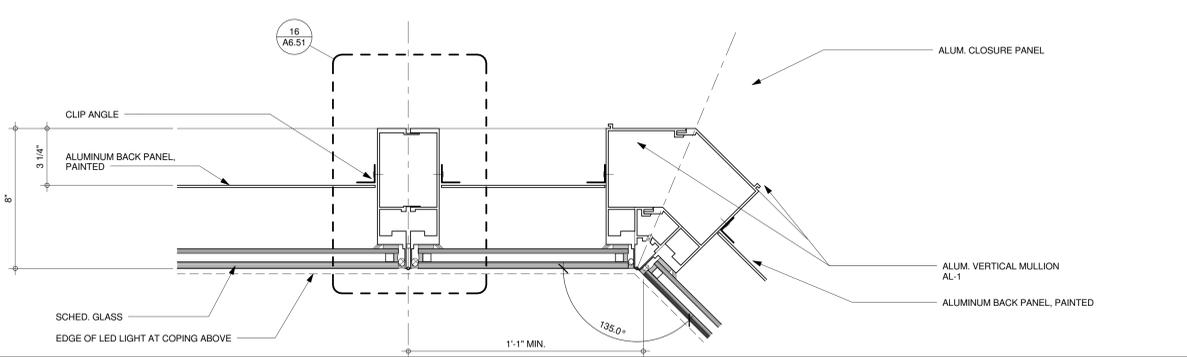
PLAN DETAIL AT VISION - INSIDE CORNER MULLION 3" = 1'-0" 3



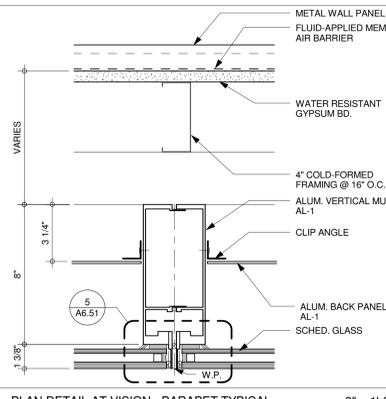
PLAN DETAIL AT LOW-RISE COLUMN - ROOM SEPARATION 3" = 1'-0" 19



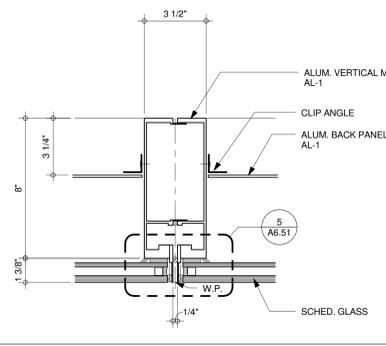
PLAN DETAIL AT HIGH-RISE COLUMN - ROOM SEPARATION 3" = 1'-0" 24



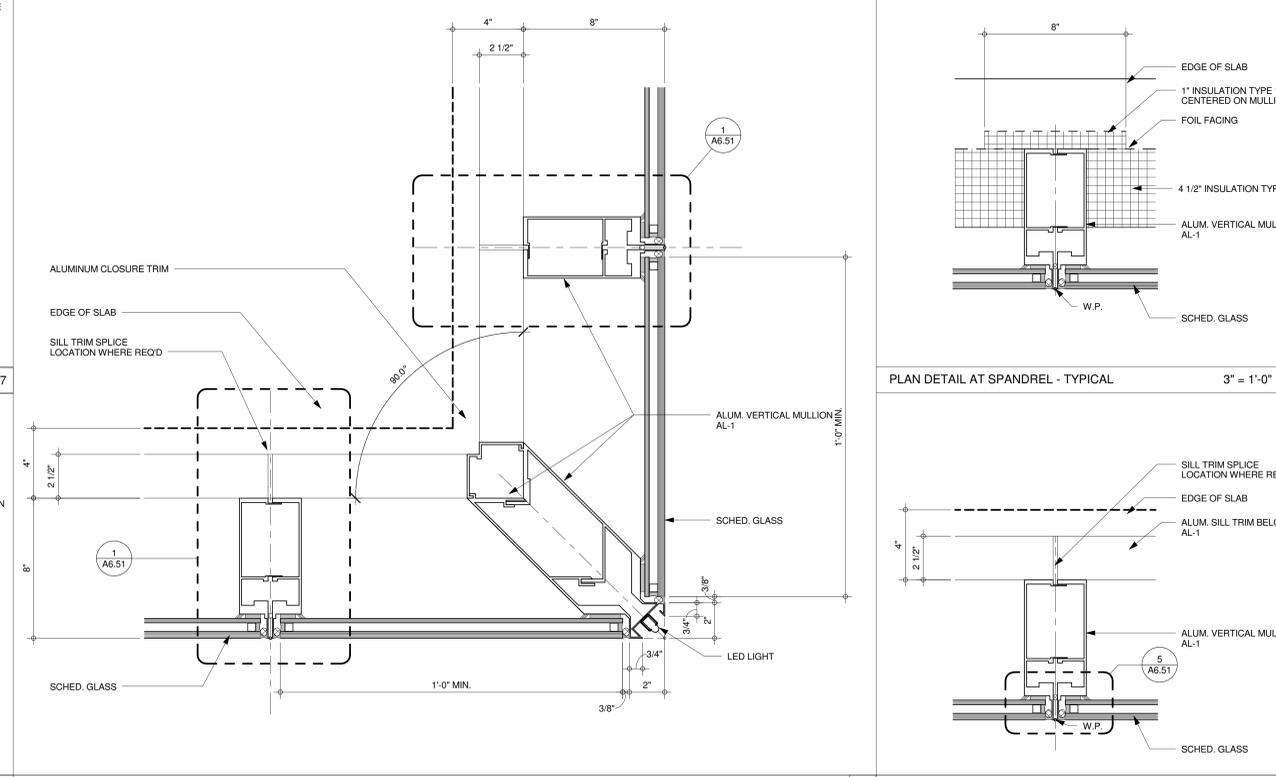
PLAN DETAIL AT VISION - CROWN INSIDE CORNER MULLION 3" = 1'-0" 18



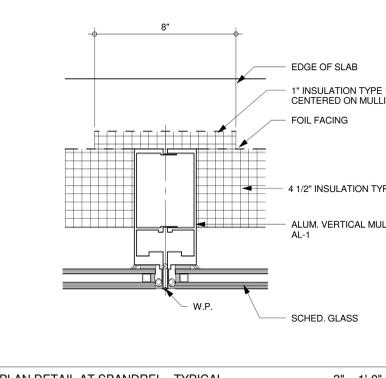
PLAN DETAIL AT VISION - PARAPET TYPICAL 3" = 1'-0" 17



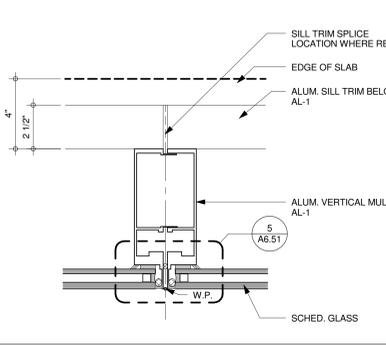
PLAN DETAIL AT VISION - CROWN TYPICAL 3" = 1'-0" 16



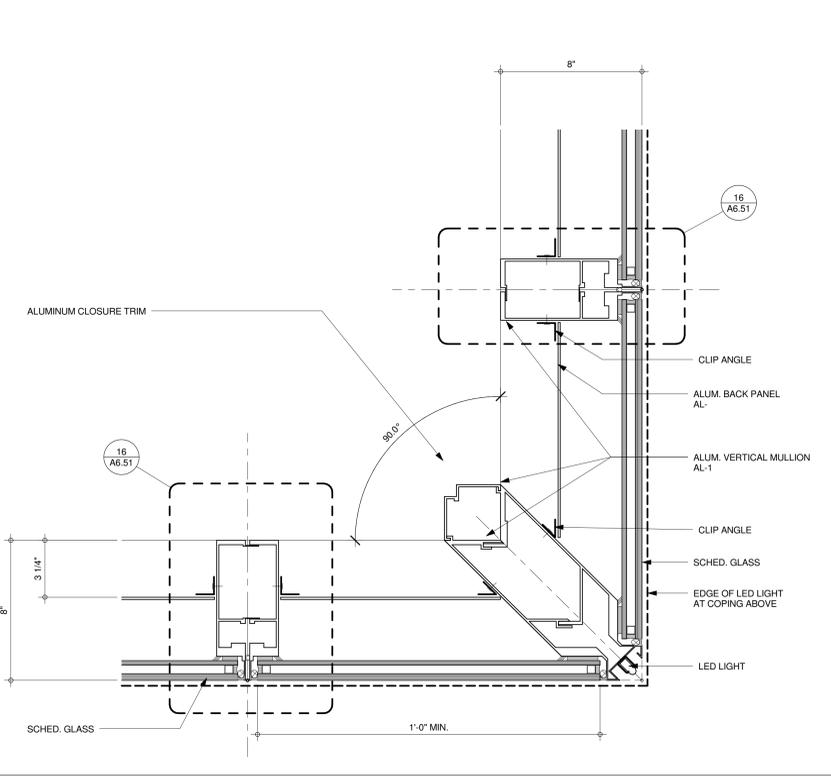
PLAN DETAIL AT VISION - OUTSIDE CORNER MULLION 3" = 1'-0" 6



PLAN DETAIL AT SPANDREL - TYPICAL 3" = 1'-0" 2



PLAN DETAIL AT VISION - TYPICAL 3" = 1'-0" 1



PLAN DETAIL AT VISION - CROWN OUTSIDE CORNER MULLION 3" = 1'-0" 21

2/27/2017 5:26:07 PM



**FROST TOWER**  
SAN ANTONIO, TEXAS

Owner/Development Team  
**WESTON URBAN**  
112 E. Pecan, Suite 100  
San Antonio, TX 78205  
tel. 210.630.7519

**KDC**  
3115 Preston Road, Suite 700  
Dallas, TX 75225  
tel. 214.696.1700

Design Architect  
**PELLI CLARKE PELLI ARCHITECTS**  
1055 Chapel Street  
New Haven, CT 06510  
tel. 203.777.2515

Architect of Record  
**KENDALLHEATON ASSOCIATES, INC.**  
3050 Post Oak Blvd, Suite 1000  
Houston, TX 77056  
tel. 713.877.1192

Structural Engineer  
**BROCKETTE DAVIS DRAKE, INC.**  
4144 N. Central Expressway, Suite 1100  
Dallas, TX 75204  
tel. 214.824.2586

Mechanical, Electrical, Plumbing, Fire Protection  
**BLUM CONSULTING ENGINEERS, INC.**  
3744 Walnut Hill Lane, Suite 200  
Dallas, TX 75231  
tel. 214.373.8222

Landscape Architect  
**GUSTAFSON GUTHRIE NICHOL**  
1502 Broadway, Suite 750  
Seattle, WA 98101  
tel. 206.903.6802

Civil Engineer  
**PAPE DAWSON ENGINEERS**  
2000 NW Loop 410  
San Antonio, TX 78213  
tel. 210.375.8000

Vertical Transportation Consultant  
**PERSOHNHAHN ASSOCIATES, INC.**  
Tomball, TX 77377  
tel. 713.467.4444

Parking Consultant  
**HWA PARKING**  
3700 W. Sam Houston Parkway South, Suite 100  
Houston, TX 77042  
tel. 713.458.7730

IT/Telecom Consultant  
**JANCOM TECHNOLOGIES, INC.**  
236 Walnut Road, Suite 201  
Austin, TX 78746  
tel. 512.322.5122

Curtain Wall Consultant  
**CURTAIN WALL DESIGN & CONSULTING, INC.**  
8070 Park Lane, Suite 400  
Dallas, TX 75231  
tel. 972.437.4500

Exterior Building Maintenance Consultant  
**LERCH BATES**  
719 Sawdust Road, Suite 104  
The Woodlands, TX 77380  
tel. 832.380.8393

Graphic Design and Wayfinding  
**DYAL DESIGN & COMMUNICATIONS**  
1501 Lavaca Street, Suite 115  
Austin, TX 78701  
tel. 512.810.3311

Security Consultant  
**HMA CONSULTING, INC.**  
5010 Wright Road, Suite 150  
Stafford, TX 77477  
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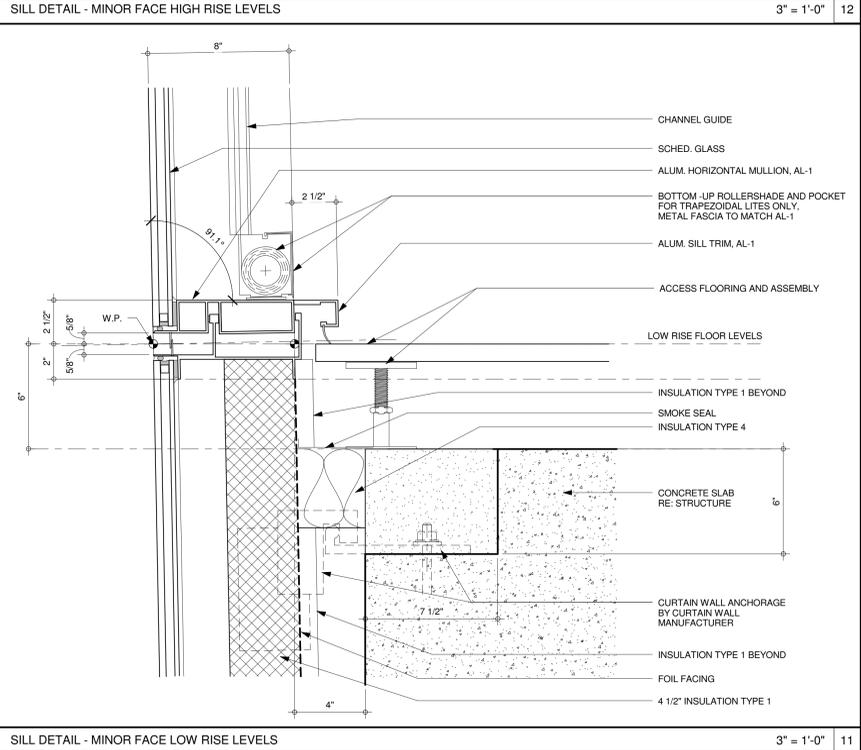
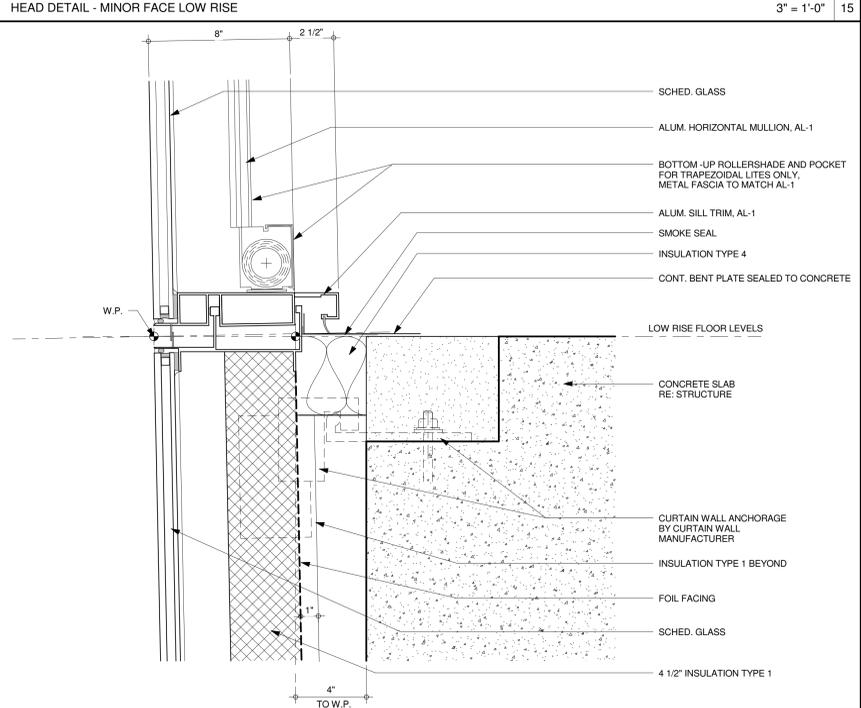
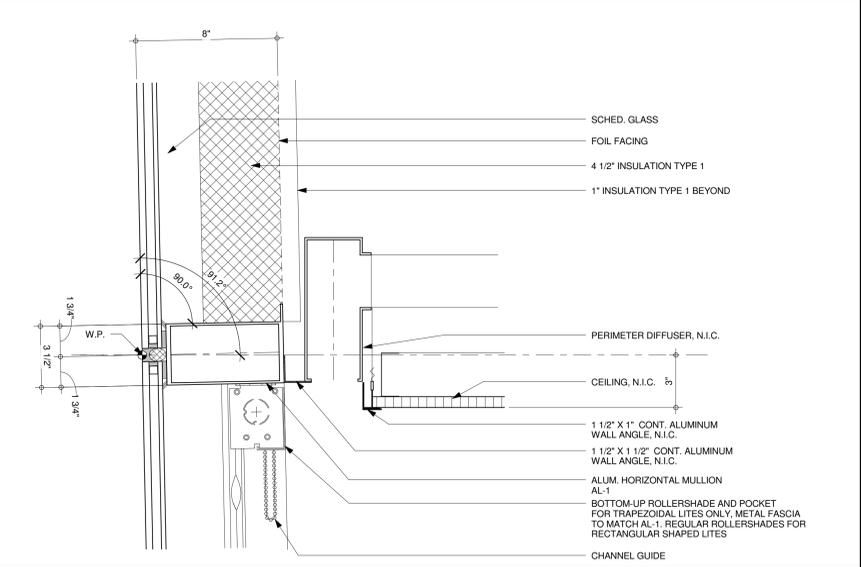


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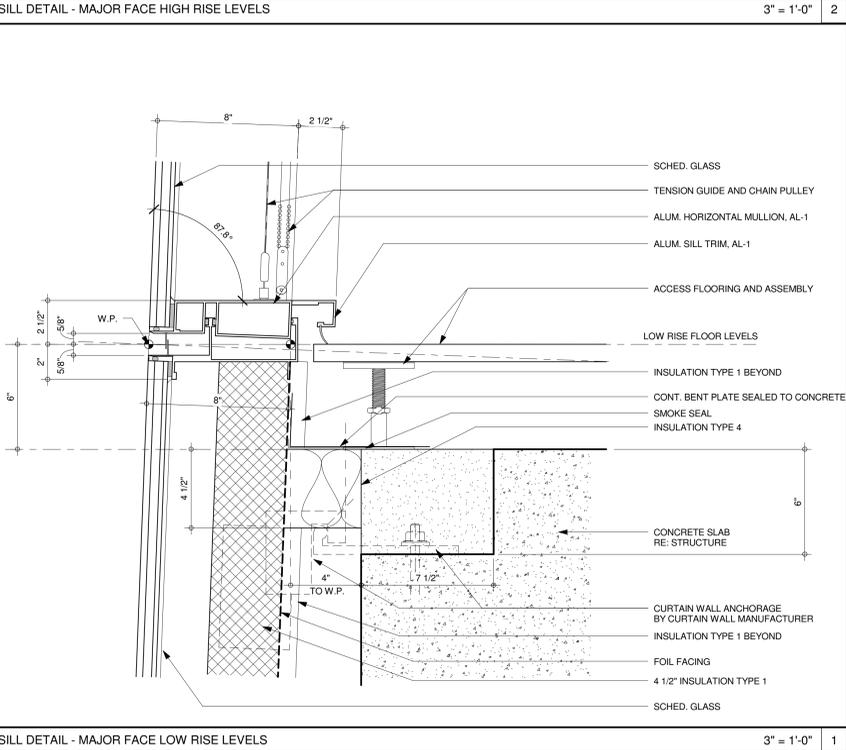
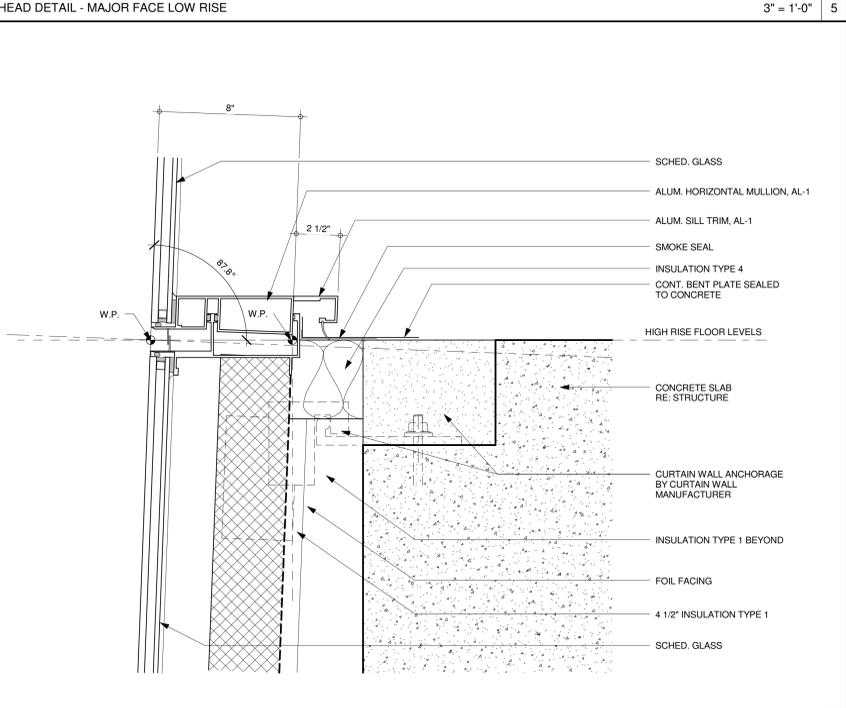
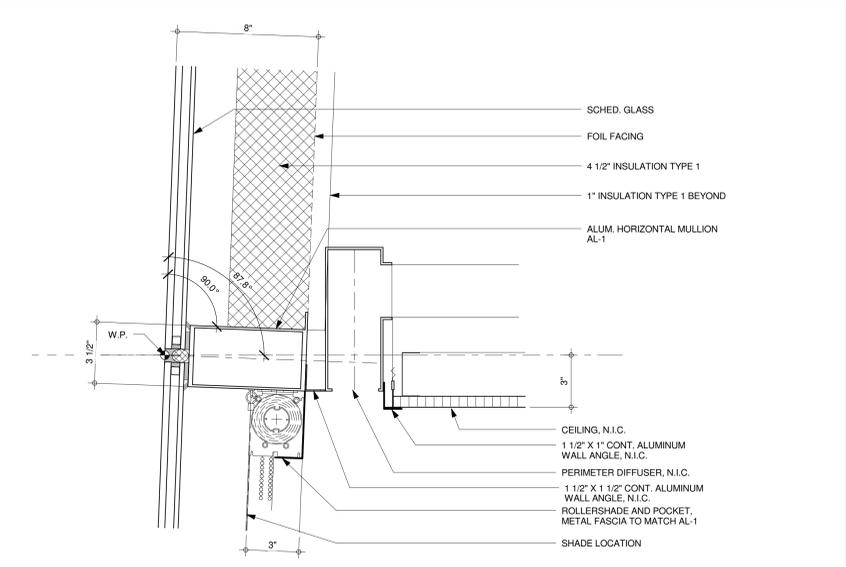
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**CURTAIN WALL SECTION DETAILS**

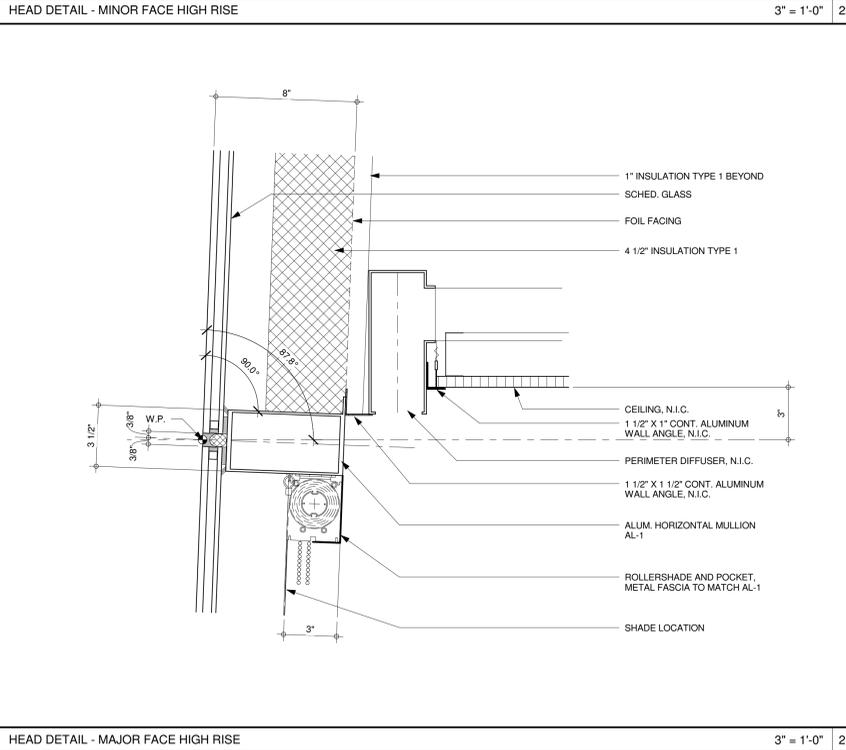
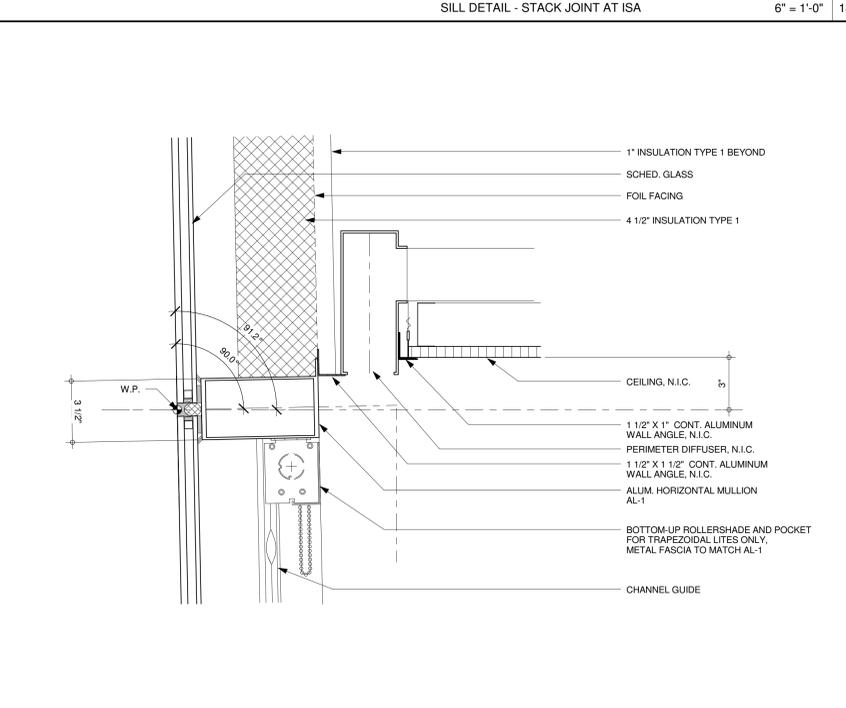
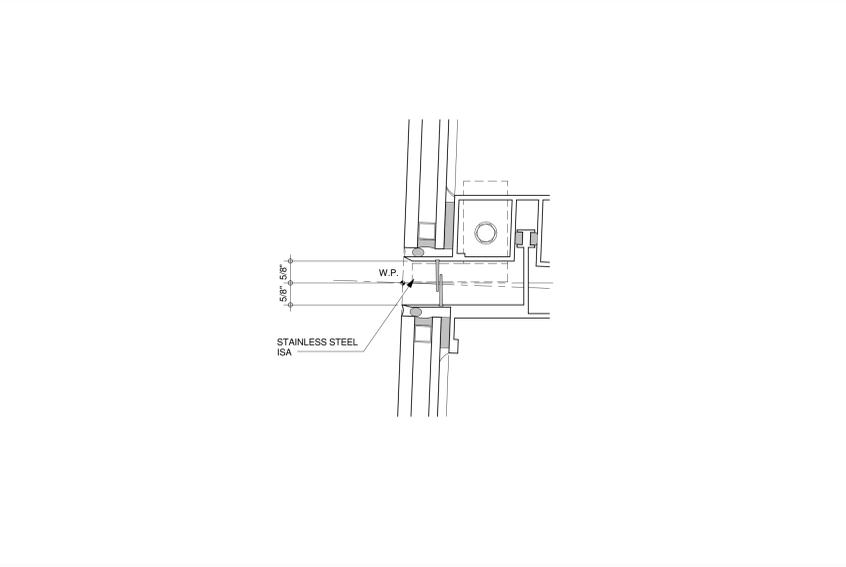
PROJECT NO. **15026** DRAWING NUMBER **A6.61**



SILL DETAIL - MINOR FACE LOW RISE LEVELS 3" = 1'-0" 11



SILL DETAIL - MAJOR FACE HIGH RISE LEVELS 3" = 1'-0" 2



HEAD DETAIL - MAJOR FACE HIGH RISE 3" = 1'-0" 21

SILL DETAIL - STACK JOINT AT ISA 6" = 1'-0" 18

HEAD DETAIL - MINOR FACE HIGH RISE 3" = 1'-0" 22

HEAD DETAIL - MAJOR FACE HIGH RISE 3" = 1'-0" 21





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Owner/Development Team  
**WESTON URBAN**  
112 E. Pecan, Suite 100  
San Antonio, TX 78205  
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11621 Spring Cypress Road, Suite D  
Tomball, TX 77377  
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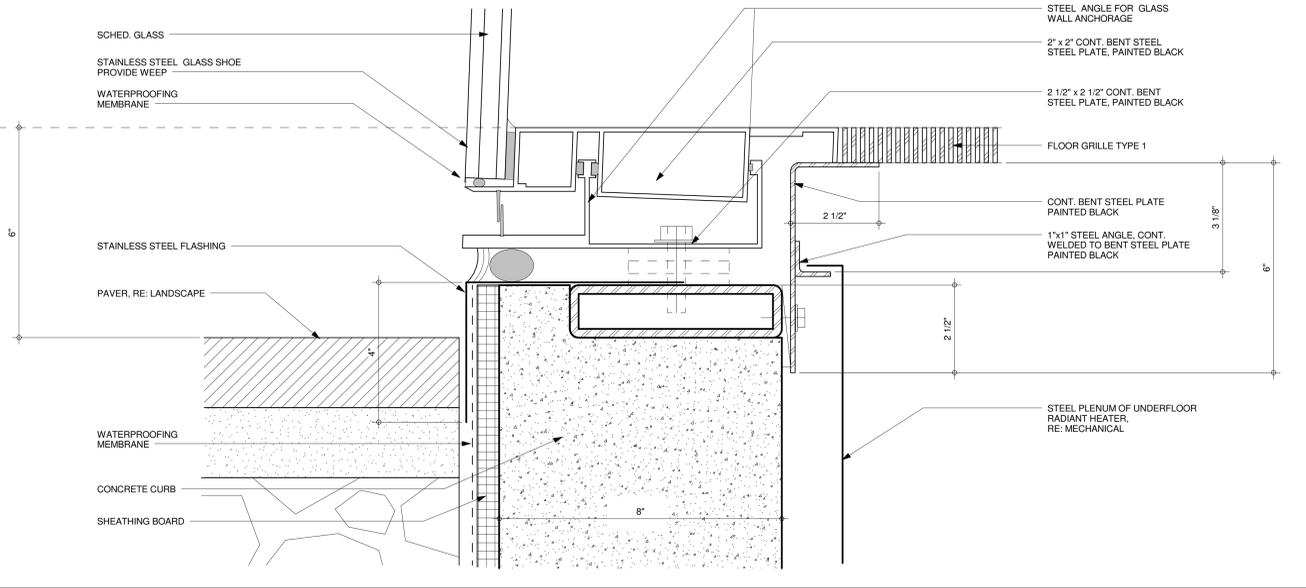
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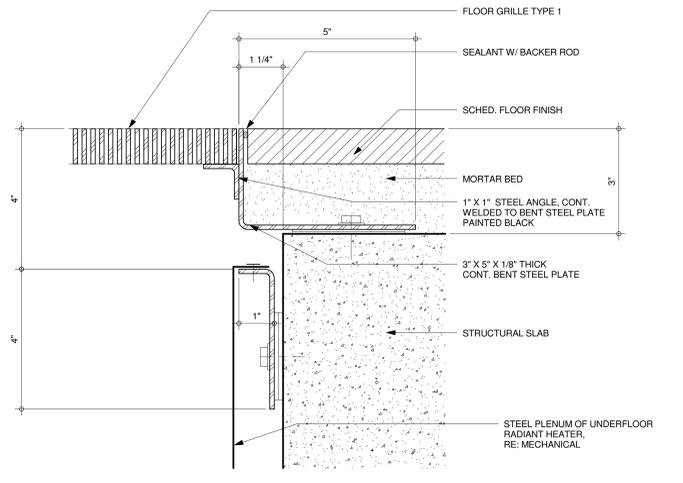
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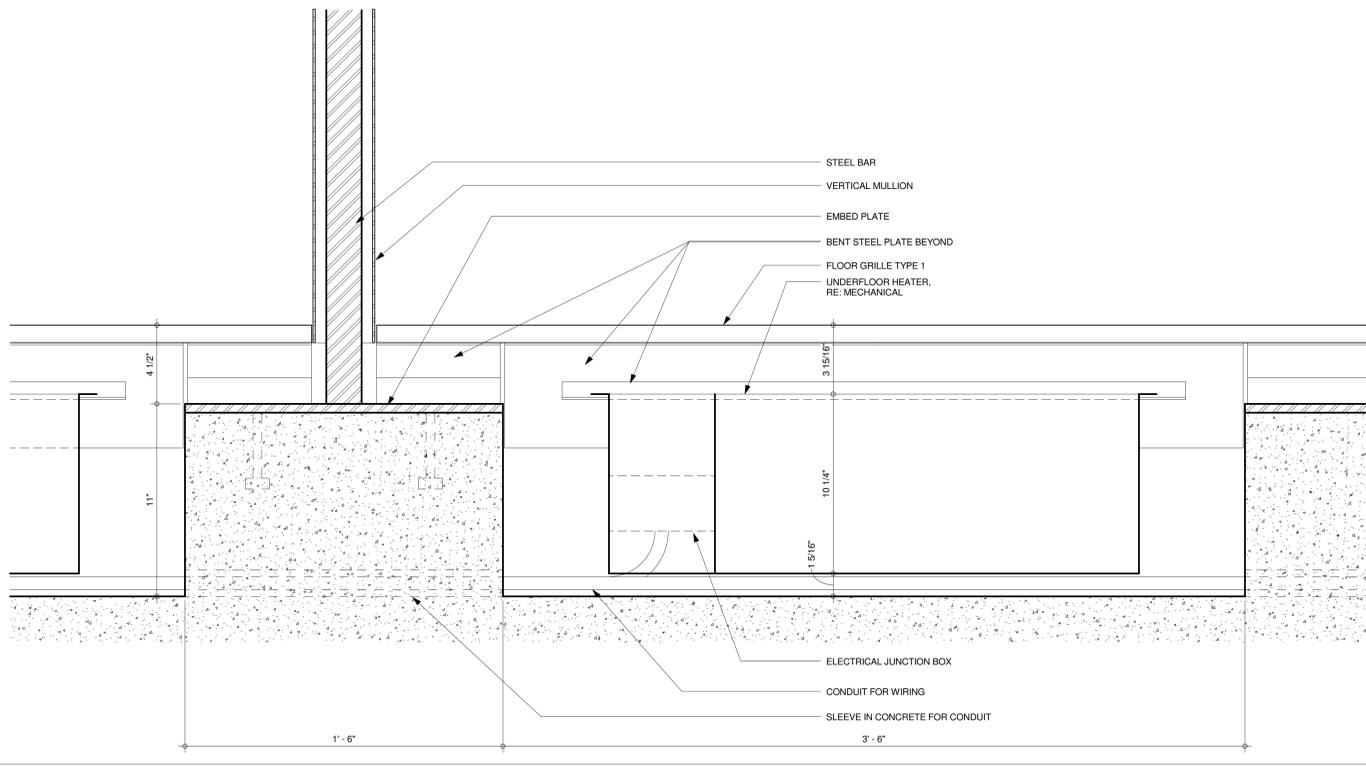
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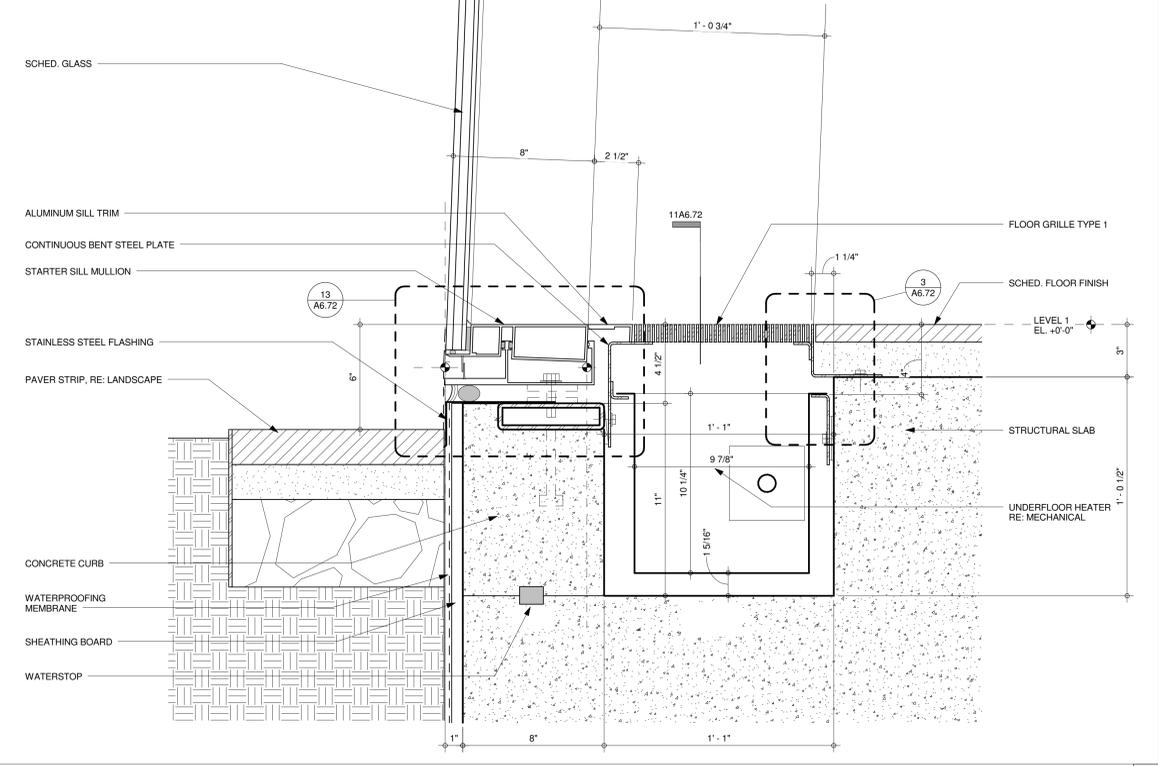
ENLARGED DETAIL - LOBBY WALL SHOE 6" = 1'-0" 13



ENLARGED DETAIL - FLOOR GRILLE 6" = 1'-0" 3



SILL DETAIL - TRENCH HEATER 3" = 1'-0" 11



SILL DETAIL - MAJOR FACE GROUND LEVEL 3" = 1'-0" 1

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DRAWING TITLE  
**LOBBY WALL DETAILS**

PROJECT NO. 15026  
DRAWING NUMBER **A6.72**