

HISTORIC AND DESIGN REVIEW COMMISSION

July 01, 2015

Agenda Item No: 28

HDRC CASE NO: 2015-268
ADDRESS: 123 MAY
LEGAL DESCRIPTION: NCB 1373 BLK 1 LOT 18 19 E 27 FT OF 17
ZONING: RM4 H
CITY COUNCIL DIST.: 2
DISTRICT: Dignowity Hill Historic District
APPLICANT: Loren Drum
OWNER: Christina Vidal, Carlos Vidal
TYPE OF WORK: Construct detached storage/shop outbuilding
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to construct a 32ftx40ft shop/storage building. The proposed building will be single story timber frame construction with a loft. The structure will be clad in cedar planks finished in natural color and will have wood windows.

APPLICABLE CITATIONS:

5. Garages and Outbuildings

A. DESIGN AND CHARACTER

i. *Massing and form*—Design new garages and outbuildings to be visually subordinate to the principal historic structure in terms of their height, massing, and form.

ii. *Building size* – New outbuildings should be no larger in plan than 40 percent of the principal historic structure footprint.

iii. *Character*—Relate new garages and outbuildings to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details.

iv. *Windows and doors*—Design window and door openings to be similar to those found on historic garages or outbuildings in the district or on the principle historic structure in terms of their spacing and proportions.

v. *Garage doors*—Incorporate garage doors with similar proportions and materials as those traditionally found in the district.

B. SETBACKS AND ORIENTATION

i. *Orientation*—Match the predominant garage orientation found along the block. Do not introduce front-loaded garages or garages attached to the primary structure on blocks where rear or alley-loaded garages were historically used.

ii. *Setbacks*—Follow historic setback pattern of similar structures along the streetscape or district for new garages and outbuildings. Historic garages and outbuildings are most typically located at the rear of the lot, behind the principal building. In some instances, historic setbacks are not consistent with UDC requirements and a variance may be required.

FINDINGS:

- a. The property is currently subdivided in multiple lots. The only existing structure is the house at 117 May. The existing house is built in the Minimal Traditional style with a low pitch hip roof, deep overhangs, and plank siding.
- b. Consistent with the Guidelines for New Construction, new outbuildings should be visually subordinate to the principal historic structure in terms of height, massing and form. The proposed structure will be taller and appear larger than the main house; however it will be located on the opposite side of the property which will reduce the appearance of height compared to the main house. Although the proposed garage will be surrounded by mostly vacant lots, the existing adjacent structures are one and one-half story houses. Due to its location on the site and context, additional height may be appropriate.
- c. According to the Guidelines for New Construction, new garages should relate to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details. The proposed structure does not relate to the Minimal Traditional style of the main house in roof form, pitch, and overhang dimension which is not consistent with the guidelines.

- d. As recommended by the Guidelines for New Construction, windows and door openings should be similar to those found on historic garages or outbuildings in the district or on the principle historic structure in terms of their spacing and proportions. The proposed design is consistent with the guidelines.
- e. According to the Guidelines for New Construction, the predominant garage orientation found along the block should be matched. There are no other garages on May Street and a predominant pattern along the block does not exist.
- f. Consistent with the Guidelines for New Construction, the historic setback pattern of similar structures along the streetscape or district should be followed. Historic garages and outbuildings are most typically located at the rear of the lot, behind the principal building. The proposed garage will be located on the front yard of the property and will align with the front of the main structure which is not consistent with the guidelines.

RECOMMENDATION:

Staff does not recommend final approval at this time based on findings a-f. Staff recommends the following:

- a. New structure should relate to style and period of construction of the main house
- b. Reduce height to be more consistent with surrounding structures
- c. Garage should be located towards the rear of the property closer to Houston Street.
- d. Additional information including window specifications, foundation type, and dimensioned site plan is submitted for review.

CASE COMMENTS:

If approved, the applicant will be re-platting to combine the multiple lots prior to construction.

CASE MANAGER:

Adriana Ziga

View of Goodloe Alley at May



View of May St. at Goodloe Alley



117 May - Main House



View of proposed location



Bexar CAD

Property Search Map Search Map Administration Login

Property Search Results > Property ID 114630 VIDAL CHRISTINA JOYCE for Year 2016

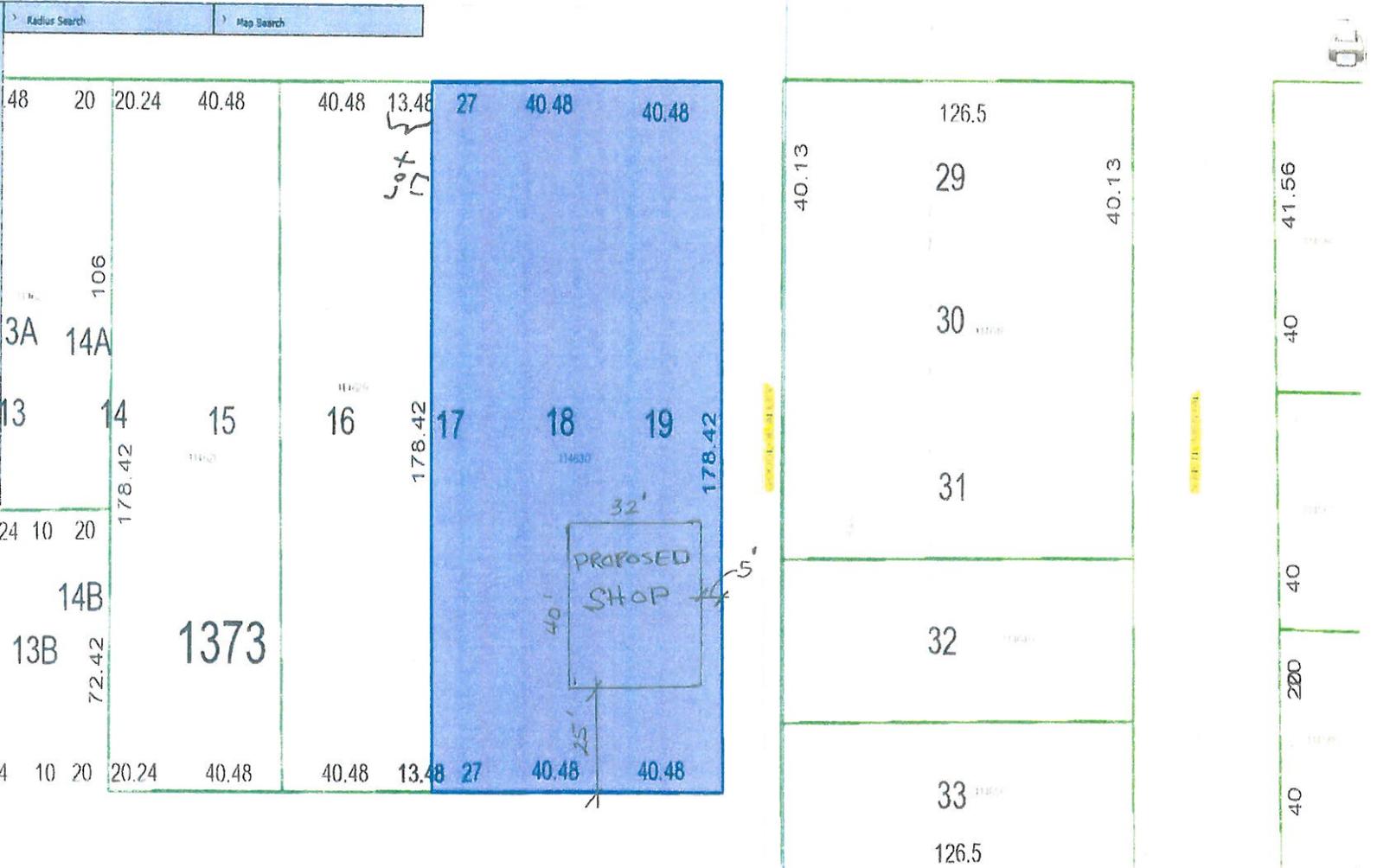
New Search

Details Map

Help

| | | | |
|--|--|--|---|
| Account Property ID: 114630 Geo. ID: 01172-00111100 Type: 651 Legal Description: 106 1373 BLK 1 LOT 16 10 E 27 FT OF 17 | Location Site Address: 122 MAY 941, ANTONIO, TX 78202 Neighborhood: NB4D code11820 Mapsc: E17B5 Jurisdictions: 09, 57, 10, CAD, 06, 94011, 11, 21, 09 | Owner Owner Name: VIDAL CHRISTINA JOYCE Mailing Address: 14833 CHEEDER DR, SAN ANTONIO, TX 78228-5303 | Property Appraised Value: \$28,500.00 |
|--|--|--|---|

- Layers
- Streets
- 100Yr Flood Zone
- School Districts
- City
- Parcels
 - Current Parcel
 - Acres
 - BlockNum
 - Dimensions
 - LotNum
 - NcbNum
 - SubName
 - PartNum



DISCLAIMER

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Bexar CAD

Property Search Map Search Map Administration Login

Property Search Results > Property ID 114630 VIDAL CHRISTINA JOYCE for Year 2015

New Search

Help

Details Map

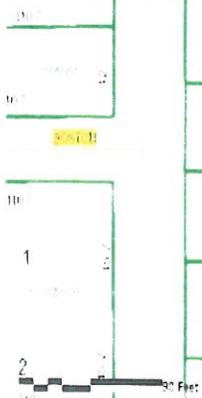
Account
Property ID: 114630
Geo. ID: 00272-001-0160
Type: Real
Legal Description: NCE 1272 BLK 1 LOT 18 19 E 27 FT OF 17

Location
Site Address: 123 MAY SAN ANTONIO, TX 78202
Neighborhood: NBHD ccds11820
Mapco: 617B5
Jurisdictions: 09, 57, 10, CAD, 06, SA011, 11, 21, 08

Owner
Owner Name: VIDAL CHRISTINA JOYCE
Mailing Address: 4823 CHEODER DR, SAN ANTONIO, TX 78229-5203

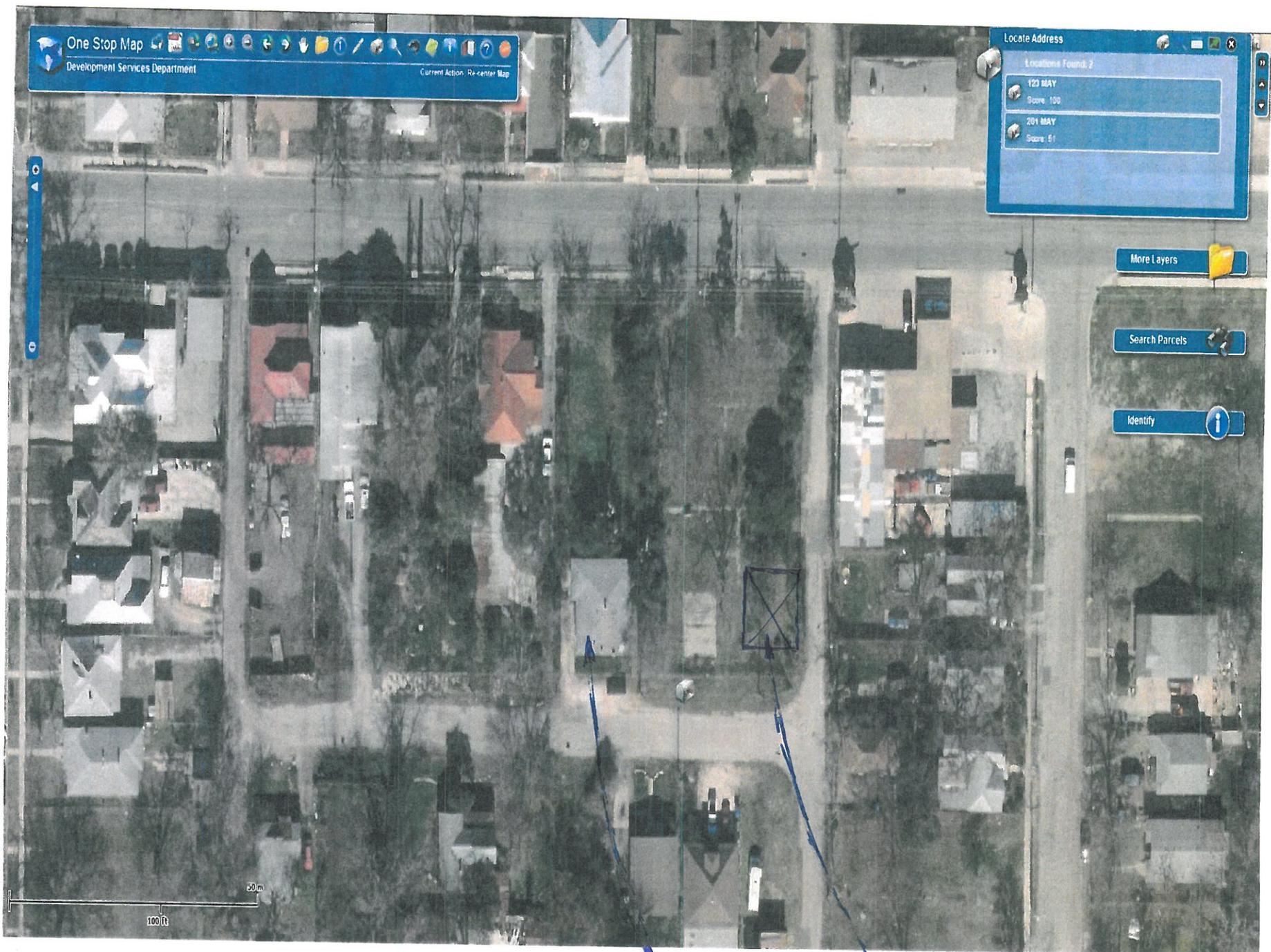
Property
Appraised Value: \$29,570.00

- Layers
- Streets
- 100Yr Flood Zone
- School Districts
- City
- Parcels
 - Current Parcel
 - Acres
 - BlockNum
 - Dimensions
 - LotNum
 - NcbNum
 - SubName
 - ParNum



DISCLAIMER

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VIDAL HOME PROPOSED BARN / STORAGE BLDG

E Houston St

E Houston St



Sign



Site

May St

Main House



Wheeler Alley

Wheeler Alley

Goodloe Alley

Goodloe Alley

N Monumental St

N Monumental St

N Monumental St



GARAGES & HOBBY BARNs



TRADITIONAL WOOD BARNs



GENERAL NOTES AND RECOMMENDATIONS

- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB SITE CONDITIONS BEFORE COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES TO SAID CLIENT WITHIN 1 WEEK.
- THESE DRAWINGS PROVIDE DIMENSIONS ONLY AND ARE NOT PROVIDED BY AN INDEPENDENT PROFESSIONAL SERVICES MAY BE RELIANT TO FOLLOW THIS PLAN TO YOUR SATISFACTION BECAUSE LOCAL CODES VARY AND SUCCESS YOU TAKE THESE PLANS TO YOUR LOCAL INSPECTOR TO HAVE THEM VERIFY SHOWN OR LOCAL BUILDING OFFICIALS. THE PROJECT'S STRUCTURAL REQUIREMENTS AND/OR EXISTING CONDITIONS APPLY TO THE SITE. IN THE EVENT OF A CONFLICT BETWEEN SPECIFICATIONS LISTED WITH THIS SET OF PLANS AND APPLICABLE CODES OR REGULATIONS IN YOUR AREA, WE RECOMMEND THAT THE MORE STRINGENT PROVISION BE FOLLOWED DURING CONSTRUCTION. VARIATIONS REQUESTED BY LOCAL BUILDING OFFICIALS SHALL NOT BE BASED ON THE DESIGNER OF SAID CLIENT WITHIN 1 WEEK.
- EFFORT HAS BEEN MADE TO ELIMINATE ERRORS DURING THE PREPARATION OF THESE DRAWINGS BUT BECAUSE SAID CLIENT WITHIN 1 WEEK CANNOT GUARANTEE AGAINST THE POSSIBILITY OF HUMAN ERROR. IT BECOMES THE OBLIGATION OF THE USER TO VERIFY THE ACCURACY OF ALL DETAILS AND DIMENSIONS AND PERSONALLY BE RESPONSIBLE FOR THEM.
- ALL WRITTEN DIMENSIONS DO NOT USE SCALE DIMENSION. IF DIMENSION IS NEEDED CONSULT SAID CLIENT WITHIN 1 WEEK BEFORE PROCEEDING.
- ALL MECHANICAL AND ELECTRICAL PLANS AND SPECIFICATIONS ARE DESCRIBED PROVIDED BY THE MECHANICAL/ELECTRICAL CONTRACTOR FOR THEIR USE.
- ALL DIMENSIONS ARE FROM FINISH SURF UNLESS NOTED. ALL PLATE IS 2"X4" FINISH RED CEDAR. WE RECOMMEND ALL SCALERS BE NIPPLED BEHIND THE SHELL PLATE.
- WHERE FEASIBLE INSTALL DO BOLTS IN THE PLATE EVERY 24" WITH THE NUTS CAN BE ACCESSIBLE FROM THE INTERIOR OF THE BARN. THE BOLTS OR NUTS MAY NEED TO BE NOTCHED SLIGHTLY FOR PLATE AND BOLT CLEARANCE.
- VERIFY FINISH AND JOINT FINISH OPENINGS BEFORE FINISHING.
- WE RECOMMEND BREAKER BOARD BE DETAIL AT SONG SPACES. WE RECOMMEND THAT THE CONTRACTOR INSTALL 2" FLASHING AT ALL BREAKER BOARD LOCATIONS. IF 2" FLASHING IS INSTALLED IT IS TO BE PROVIDED BY GENERAL CONTRACTOR.
- FINISHING FLASHING TO BE INSTALLED AT ALL CONNECTIONS BETWEEN ROOFS, WALLS, AND PROJECTIONS OR PROTRUSIONS AS REQUIRED BY GOOD CONSTRUCTION PRACTICES. FLASHING IS TO BE PROVIDED BY CONTRACTOR OR GENERAL CONTRACTOR.
- DO NOT APPLY EXCESSIVE LOADS PLACED IN THE LOFT MAY CAUSE STRUCTURAL DAMAGE.
- ANY MATERIALS SHOWN ON THESE DRAWINGS WHICH ARE NOT WRITTEN IN YOUR CONTRACT OR LISTED IN THE SAID CLIENT WITHIN 1 WEEK MATERIALS LIST ARE TO BE PROVIDED BY THE USER.

ERECTOR SAFETY NOTES

THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING JOB SITE SAFETY AND CONSTRUCTION PROCEDURES IN ACCORDANCE WITH NATIONAL, STATE, AND LOCAL SAFETY REGULATIONS. THE ADEQUACY AND SAFETY OF ERECTOR BRACING, SHORING, AND TEMPORARY SUPPORTS IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

FOUNDATION NOTES

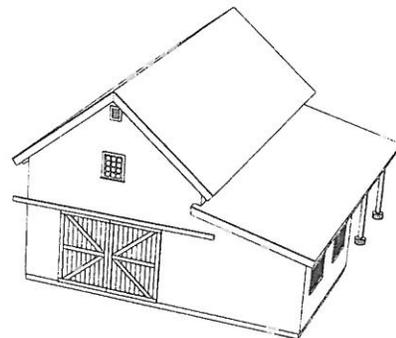
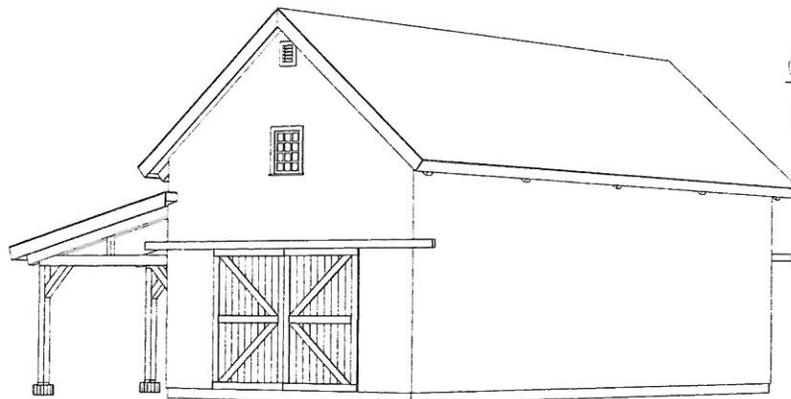
LOCAL BUILDING CODE SPECIFICATIONS HAVE PRECEDENCE OVER THE STANDARD FOUNDATION SHOWN IN THESE DRAWINGS. IT IS THE RESPONSIBILITY OF THE OWNER OR THE FOUNDATION CONTRACTOR TO VERIFY THE LOCAL BUILDING CODE REQUIREMENTS FOR FOUNDATION. FOUNDATION LOCAL CODES VARY AND SUCCESS YOU TAKE THESE PLANS TO YOUR LOCAL INSPECTOR TO HAVE THEM VERIFY SHOWN OR LOCAL BUILDING OFFICIALS. THE PROJECT'S STRUCTURAL REQUIREMENTS AND/OR EXISTING CONDITIONS APPLY TO THE SITE. IN THE EVENT OF A CONFLICT BETWEEN SPECIFICATIONS LISTED WITH THIS SET OF PLANS AND APPLICABLE CODES OR REGULATIONS IN YOUR AREA, WE RECOMMEND THAT THE MORE STRINGENT PROVISION BE FOLLOWED DURING CONSTRUCTION. VARIATIONS REQUESTED BY LOCAL BUILDING OFFICIALS SHALL NOT BE BASED ON THE DESIGNER OF SAID CLIENT WITHIN 1 WEEK.

PROJECT LOCATION

ADDRESS: 11111 STREET
SAN ANTONIO TX 78201

WOOD TYPE

STRUCTURAL FINISH: PONDERSUSA PINE



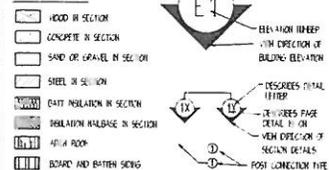
COVER SHEET

NOTE: ALL DIMENSIONS SHOWN IN LOWER SHEET
SHEET # ARE FROM FINISH SURF UNLESS NOTED AND ARE
NOT INTENDED FOR USE IN CONSTRUCTION DRAWINGS.

REVISION HISTORY

| REV# | DATE | DESCRIPTION |
|------|------------|----------------|
| 0 | 04/20/2024 | ISSUE DRAWINGS |
| 1 | 04/20/2024 | |
| 2 | 04/20/2024 | |
| 3 | 04/20/2024 | |
| 4 | 04/20/2024 | |
| 5 | 04/20/2024 | |
| 6 | 04/20/2024 | |
| 7 | 04/20/2024 | |
| 8 | 04/20/2024 | |
| 9 | 04/20/2024 | |

SYMBOLS



STANDARD ABBREVIATIONS

| CODE | CONCRETE | WOOD | STEEL | INSULATION | ATTIC FLOOR | BOARD AND BATTEN SIDING |
|------|----------------|------|-------|------------|-------------|-------------------------|
| CONC | CONCRETE | WOOD | STEEL | INSULATION | ATTIC FLOOR | BOARD AND BATTEN SIDING |
| CEM | CEMENT | W | S | I | A | B |
| CEL | CELLULOSE | W | S | I | A | B |
| CF | CEMENT FIBER | W | S | I | A | B |
| EA | EXTERIOR ANGLE | W | S | I | A | B |
| EXT | EXTERIOR | W | S | I | A | B |
| FF | FINISHED FLOOR | W | S | I | A | B |
| FIN | FINISH | W | S | I | A | B |
| INS | INSULATION | W | S | I | A | B |
| INT | INTERIOR | W | S | I | A | B |

SAND CREEK
Post & Beam

CUSTOMER: CUSTOMER NAME

JOB CODE: JOB CODE

STYLE: 1112 PONDERSUSA BARN

REVISION: 0

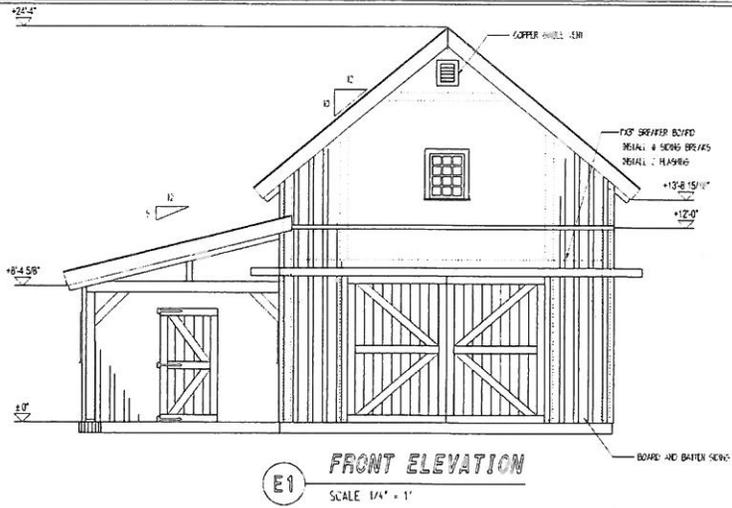
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DRAWING STATUS: NOT FOR CONSTRUCTION

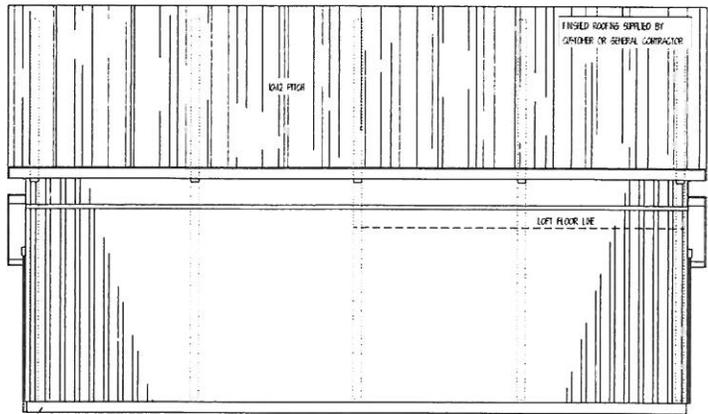
SAND CREEK POST & BEAM
116 W. 1st St
WAYNE, NE 68787

PH: (402) 833-5810
FAX: (402) 833-9122
TOLL-FREE: 1-877-483-1000

SHEET #: 1



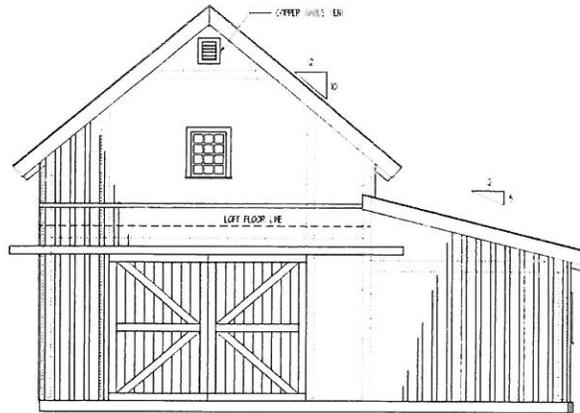
E1 FRONT ELEVATION
SCALE: 1/4" = 1'



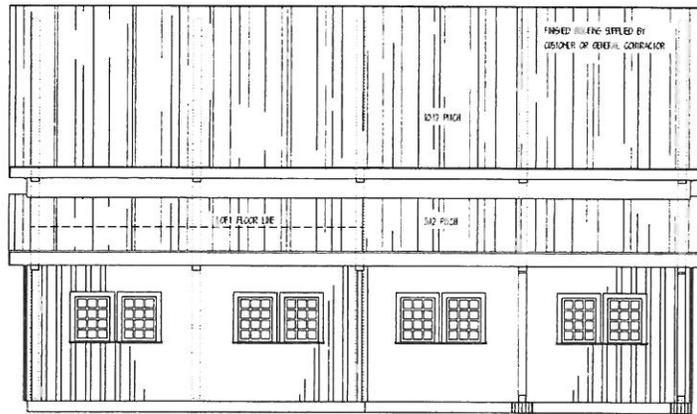
E2 RIGHT ELEVATION
SCALE: 1/4" = 1'

SHEET NOTES
 1. SHEAFER BOARD LOCATION IS APPROX. ONLY AND SHOULD BE
 DETAILED ON SITE TO MATCH SENS. LENGTH PROVIDED.
 2. DOOR AND WINDOW LOCATIONS ARE APPROX. ONLY. EXACT LOCATIONS
 TO BE VERIFIED BY OWNER AND GENERAL CONTRACTOR.
 3. FINISHED ROOFING MATERIAL TO BE PROVIDED BY CUSTOMER OR
 GENERAL CONTRACTOR. ROOFING INSTALLATION PROVIDED BY SAND
 CREEK POST & BEAM.

| | | | | | |
|--|-------------------------|---------------------------|--------------------------------------|--|------------|
| | CUSTOMER: CUSTOMER NAME | STYLE: 142 PONDEROSA BARN | DRAWN BY: SCOB DRAFTER | SAND CREEK POST & BEAM 116 W. 1st St WAYNE, NE 68797 PH: (402) 833-5623 FAX: (402) 833-5612 TOLL-FREE: 1-800-488-1822 | SHEET #: 2 |
| | JOB CODE: JOB CODE | REVISION: 0 | DRAWING STATUS: NOT FOR CONSTRUCTION | | |



E3 REAR ELEVATION
SCALE: 1/4" = 1'



E4 LEFT ELEVATION
SCALE: 1/4" = 1'

NOTE:
 1. DORMER SHIM LOCATIONS ARE APPROX. ONLY AND SHOULD BE INSTALLED ON SITE TO MATCH SCENE LEVELS PROVIDED.
 2. DOOR AND WINDOW LOCATIONS ARE APPROX. ONLY. EXACT LOCATIONS TO BE VERIFIED BY ARCHITECT AND GENERAL CONTRACTOR ON SITE.
 3. FINISHED FLOORING MATERIAL TO BE PROVIDED BY CUSTOMER OR GENERAL CONTRACTOR. ROOFING MATERIALS PROVIDED BY SAND CREEK POST & BEAM.

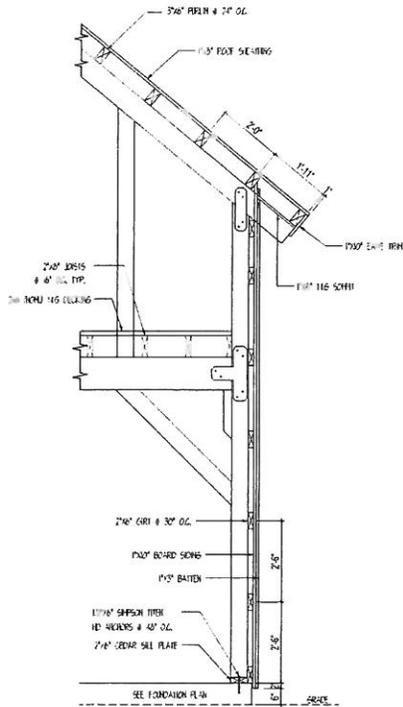


CUSTOMER: CUSTOMER NAME
 JOB CODE: JOB CODE

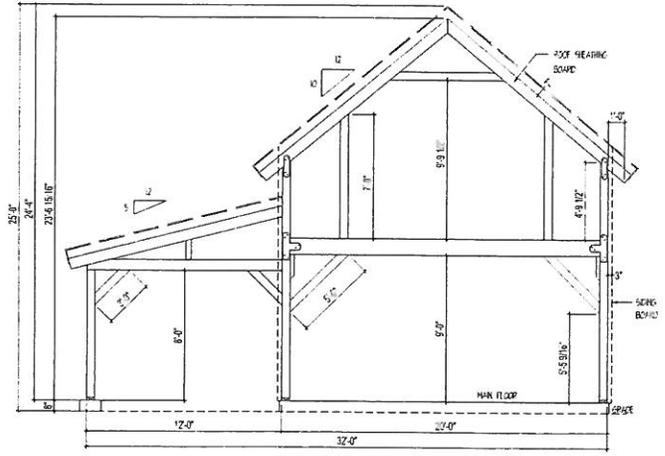
STYLE: TWO PONDERROSA BARN
 REVISION: 0
 DRAWN BY: SCFB QUARTER
 DRAWING STATUS: NOT FOR CONSTRUCTION

SAND CREEK POST & BEAM
 116 W. 1st St.
 WAYNE, NE 68787
 PH: (405) 833-4410
 FAX: (405) 833-0800
 TOLL-FREE: 1-800-450-2813

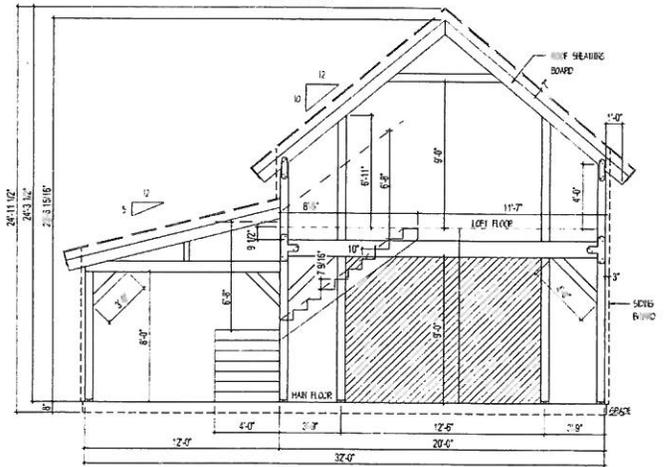
SHEET #: 3



A EXTERIOR HALL DETAIL
SCALE 1/2" = 1'-0"

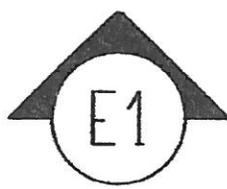
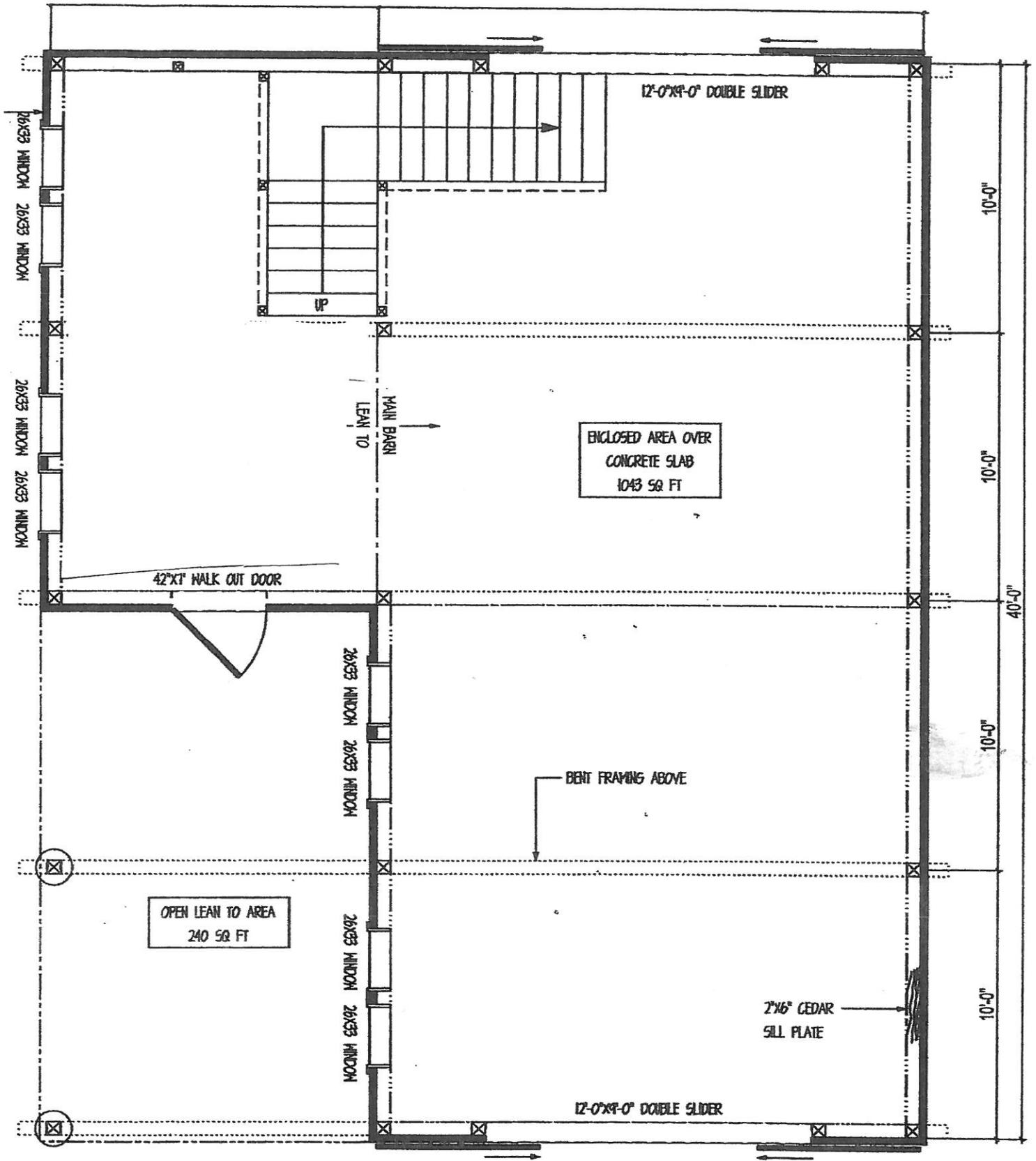


TYP. BUILDING SECTION
SCALE 1/4" = 1'



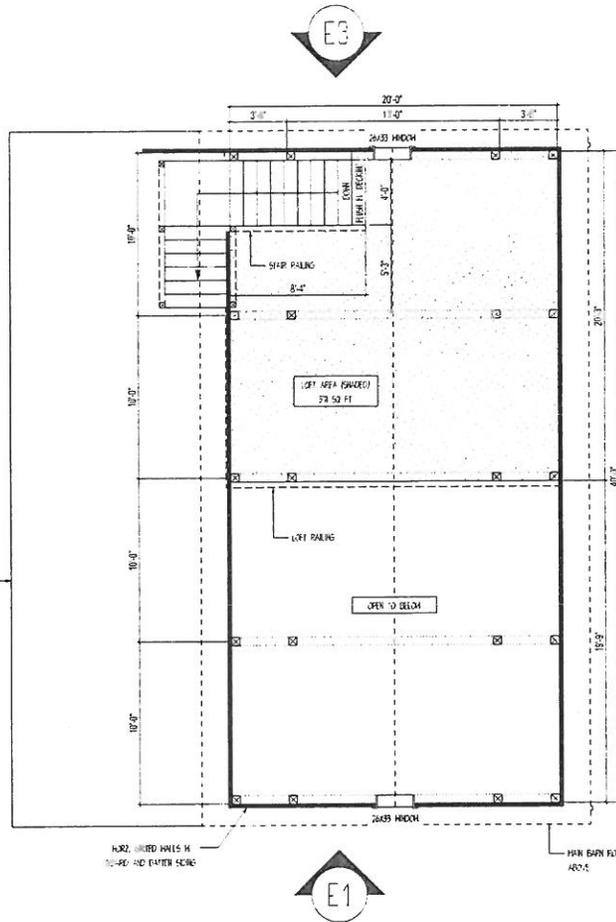
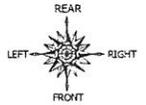
TYP. BUILDING SECTION
SCALE 1/4" = 1'

| | | | | | |
|----------------------------------|-------------------------|---------------------------|--------------------------------------|---|------------|
| SAND CREEK Post & Beam | CUSTOMER: CUSTOMER NAME | STYLE: TWO PONDEROSA BARN | DRAWN BY: SGPB DRAFTER | SAND CREEK POST & BEAM 116 W. 1st St WAYNE, NE 68787 PH: (408) 833-0033 FAX: (408) 833-5412 Toll-Free: 1-800-79-1800 | SHEET #: 4 |
| | JOB CODE: JOB CODE | REVISION: 0 | DRAWING STATUS: NOT FOR CONSTRUCTION | | |



MAIN FLOOR LAYOUT

SCALE: 1/4" = 1'



LOFT FLOOR LAYOUT
SCALE 1/4" = 1'

- SHEET NOTES:**
1. FLOOR LAYOUT DRAWINGS ARE NOT DESIGNED BY US UNLESS ADDITIONAL PROFESSIONAL SERVICES MAY BE REQUIRED TO COMPLY WITH LOCAL CODES AND REGULATIONS.
 2. SAND CREEK POST & BEAM IS NOT RESPONSIBLE FOR DESCRIBING ELECTRICAL, PLUMBING, AND HVAC PLANES.
 3. INTERIOR PARTITION WALLS, WINDOWS, DOORS, AND FINISHES ARE PROVIDED BY CUSTOMER OR GENERAL CONTRACTOR.
 4. DIMENSION, OPENING, AND EGRESS REQUIREMENTS ARE THE RESPONSIBILITY OF THE ARCHITECTURAL CONTRACTOR.
 5. DOOR AND WINDOW LOCATIONS ARE APPROXIMATE. EXACT LOCATION TO BE DETERMINED BY THE ARCHITECT AND GENERAL CONTRACTOR.

SAND CREEK
Post & Beam

CUSTOMER: CUSTOMER NAME

STYLE: SAND PONDROSA BARN

DRAWN BY: SCFD DRAFTER

SAND CREEK POST & BEAM
116 W. 1st St
WAYNE, NE 68787

PH: (402) 833-4000
FAX: (402) 833-4022
TOLL-FREE: 1-888-444-5541

SHEET #: 6

JOB CODE: JOB CODE

REVISION: 0

DRAWING STATUS: NOT FOR CONSTRUCTION