

Property Description for Parcel 19905

Being a 0.0091 of one acre (397 square feet) parcel of land out of Lots 12 through 16, Block 19, New City Block 7707, Harlandale, City of San Antonio, Bexar County, Texas, according to the map or plat recorded in Volume 105, Page 279 of the Deed and Plat Records of Bexar County, Texas (D.P.R.B.C.), and further being described in an instrument to Jesus Marcos Palomo, et ux recorded in Document Number 20040040439 of the Official Public Records of Bexar County, Texas (O.P.R.B.C.); said 0.0091 of one acre parcel being more particularly described by metes and bounds as follows:

**COMMENCING** at a calculated point for the Northeast corner of said Lot 12, same being an interior corner of a called 0.075 acre alley abandonment recorded under City Ordinance 2016-01-28-0024 and Document Number 20170194688 of the O.P.R.B.C., from which a 1/2-inch iron rod found for the Northeast corner of Lot 27 of said Block 19, lying on the South right-of-way line of Belden Avenue (called 50 feet wide) bears North 14°22'02" West, 150.15 feet;

South 14°22'02" East, along and with the East line of said Lot 12, same being the West line of said 0.075 acre tract, a distance of 138.24 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for the Northeast corner and **POINT OF BEGINNING** of the herein described parcel and having surface coordinates of N=13,684,336.84 and E=2,132,294.64, lying on the proposed North right-of-way line of said Southcross Boulevard (62 feet wide);

- 1) **THENCE**, South 14°22'02" East, continuing along and with the East line of said Lot 12, same being the West line of said 0.075 acre tract, a distance of 2.84 feet to a 1/2-inch iron rod found for the common Southeast corner of said Lot 12 and the herein described parcel, same being the most Southerly Southwest corner of said 0.075 acre tract, lying on the existing North right-of-way line of Southcross Boulevard (width varies);
- 2) **THENCE**, South 89°45'21" West, along and with the South line of said Lots 12 through 16, same being the existing North right-of-way line of said Southcross Boulevard, a distance of 128.79 feet to a calculated point for the common Southwest corner of said Lot 16 and the herein described parcel, same being the Southeast corner of Lot 17 of said Block 19;
- 3) **THENCE**, North 13°07'23" West, along and with the common line of said Lots 16 and 17, a distance of 3.51 feet to a 1/2-inch iron rod with cap stamped "BGE INC" set for the Northwest corner of the herein described parcel, lying on the proposed North right-of-way line of said Southcross Boulevard;

- 4) **THENCE**, South 89°56'45" East, over and across said Lots 12 through 16 and along and with the proposed North right-of-way line of said Southcross Boulevard, a distance of 128.89 feet to the **POINT OF BEGINNING** and containing 0.0091 of one acre (397 square feet) of land.

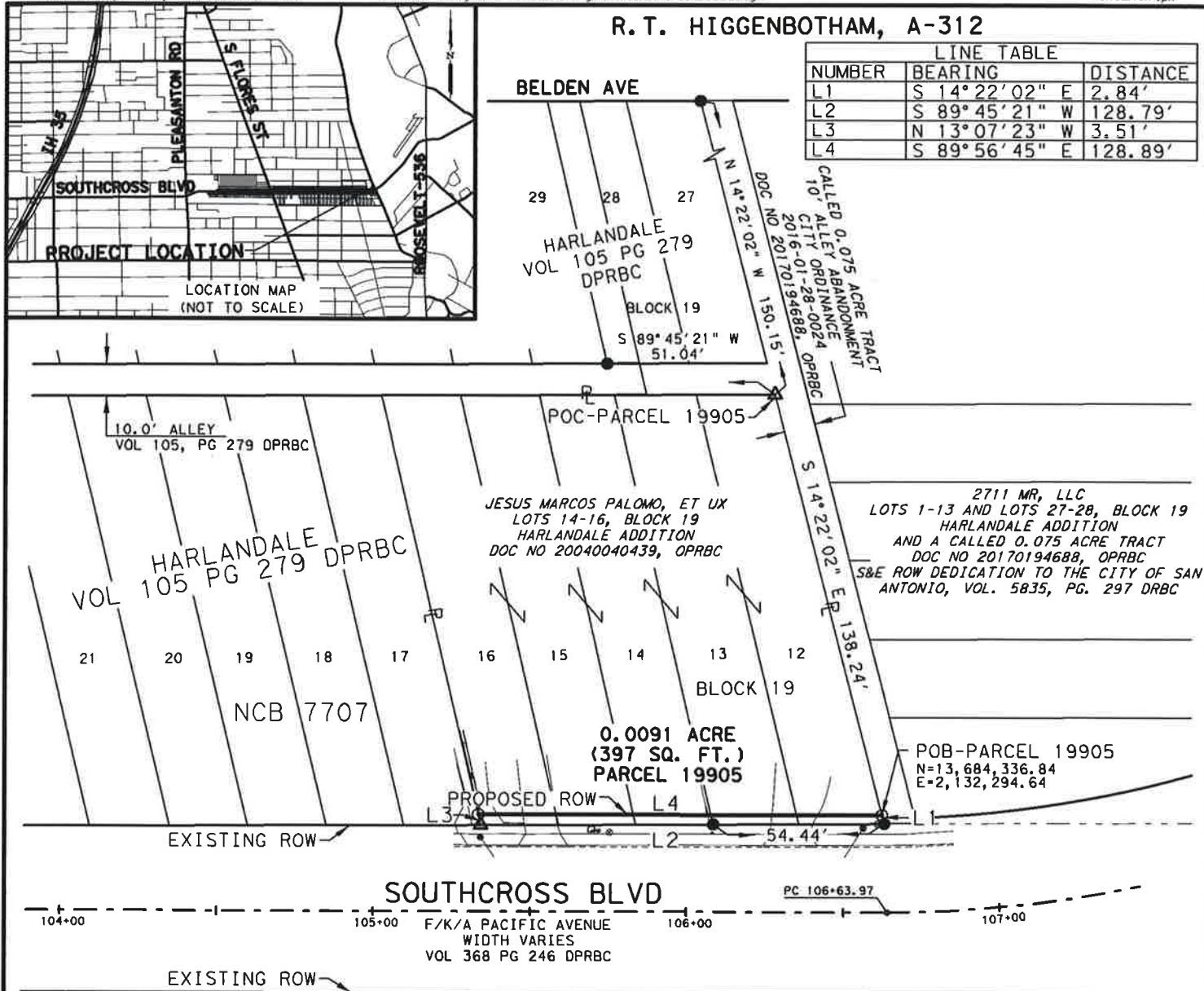
All bearings and coordinates are based on the Texas Coordinate System, South Central Zone, North American Datum of 1983 (NAD 83), and all distances and coordinates are surface and may be converted to grid by dividing by a combined adjustment factor of 1.00017.

Compiled by:  
BGE, Inc.  
7000 North Mopac, Suite 330  
Austin, Texas 78731  
(512) 879-0400  
TBPLS Licensed Survey Firm No. 10106502



**NOTES:**

A parcel plat of even date has been prepared in conjunction with this property description.



**ABBREVIATION LEGEND**

DRBC DEED RECORDS OF  
BEXAR COUNTY, TEXAS  
 DPRBC DEED AND PLAT RECORDS  
OF BEXAR COUNTY, TEXAS  
 DOC NO DOCUMENT NUMBER  
 FND FOUND  
 IR IRON ROD  
 OPRBC OFFICIAL PUBLIC RECORDS  
OF BEXAR COUNTY, TEXAS  
 PG PAGE  
 POB POINT OF BEGINNING  
 POC POINT OF COMMENCING  
 ROW RIGHT-OF-WAY  
 VOL VOLUME

**NOTES:**

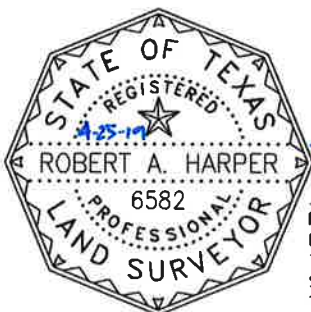
1. ALL BEARINGS AND COORDINATES ARE BASED ON THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83) AND ALL DISTANCES AND COORDINATES ARE SURFACE AND MAY BE CONVERTED TO GRID BY DIVIDING BY A COMBINED ADJUSTMENT FACTOR OF 1.00017.
2. NO TITLE COMMITMENT WAS PROVIDED AND THE SURVEYOR DID NOT ABSTRACT THE PROPERTY FOR RECORD INSTRUMENTS THAT MAY AFFECT, RESTRICT, OR OTHERWISE ENCUMBER THE SUBJECT TRACT.
3. FIELD SURVEYS WERE PERFORMED FROM OCTOBER 2018 THRU JANUARY 2019.
4. A PROPERTY DESCRIPTION OF EVEN DATE WAS PREPARED IN CONJUNCTION WITH THIS PARCEL PLAT.

0' 25' 50'  
 SCALE 1" = 50'

I HEREBY CERTIFY THAT THIS PLAT AND ACCOMPANYING  
 LEGAL DESCRIPTIONS IS BASED ON THE GROUND SURVEY  
 MADE UNDER MY SUPERVISION AND TO THE BEST OF MY  
 KNOWLEDGE, IS TRUE AND CORRECT.

**SYMBOL LEGEND**

- SET 1/2" IRON ROD  
WITH "BGE, INC." CAP
- FOUND 1/2" IRON ROD  
(UNLESS OTHERWISE NOTED)
- ⊙ FOUND 1/2" IRON PIPE
- ✕ FOUND "X" IN CONCRETE
- △ CALCULATED POINT
- ℙ PROPERTY LINE



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DATE	REVISION

**BGE, Inc.**  
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 Tel: 512-879-0400 • www.bgeinc.com  
 TBPLS Licensed Surveying Firm No. 10106502  
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**PARCEL PLAT OF**  
 0.0091 ACRE / 397 SQ FT  
 PARCEL 19905  
 SOUTHCROSS BLVD.  
 CITY OF SAN ANTONIO  
 PROJECT NO. 23-01613  
 FEBRUARY, 2019  
 PAGE 3 OF 3 SCALE: 1"=50'