

HISTORIC AND DESIGN REVIEW COMMISSION

January 17, 2018

HDRC CASE NO: 2018-011
ADDRESS: 504 KING WILLIAM
LEGAL DESCRIPTION: NCB 749 BLK 8 LOT 9,10, NW IRR 28.2FT OF 1 & NW 61.2 FT OF 2
ZONING: RM-4, HS
CITY COUNCIL DIST.: 1
DISTRICT: King William Historic District
LANDMARK: Steves, Albert - House
APPLICANT: Jim Poteet, FAIA/Poteet Architects, LP
OWNER: Laurel Heights Family Irrevocable Trust
TYPE OF WORK: Exterior modifications, guardrail installation
APPLICATION RECEIVED: December 21, 2017
60-DAY REVIEW: February 19, 2018
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Construct a 2'-0" deep bay addition along a portion of the north east façade of a previously enclosed porch.
2. Add a painted steel guardrail to the roof deck above the enclosed porch.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations

7. Architectural Features: Porches, Balconies, and Porte-Cocheres

A. MAINTENANCE (PRESERVATION)

- i. Existing porches, balconies, and porte-cocheres*—Preserve porches, balconies, and porte-cocheres. Do not add new porches, balconies, or porte-cocheres where not historically present.
- ii. Balusters*—Preserve existing balusters. When replacement is necessary, replace in-kind when possible or with balusters that match the originals in terms of materials, spacing, profile, dimension, finish, and height of the railing.
- iii. Floors*—Preserve original wood or concrete porch floors. Do not cover original porch floors of wood or concrete with carpet, tile, or other materials unless they were used historically.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. Front porches*—Refrain from enclosing front porches. Approved screen panels should be simple in design as to not change the character of the structure or the historic fabric.
- ii. Side and rear porches*—Refrain from enclosing side and rear porches, particularly when connected to the main porch or balcony. Original architectural details should not be obscured by any screening or enclosure materials. Alterations to side and rear porches should result in a space that functions, and is visually interpreted as, a porch.
- iii. Replacement*—Replace in-kind porches, balconies, porte-cocheres, and related elements, such as ceilings, floors, and columns, when such features are deteriorated beyond repair. When in-kind replacement is not feasible, the design should be compatible in scale, massing, and detail while materials should match in color, texture, dimensions, and finish.
- iv. Adding elements*—Design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance.
- v. Reconstruction*—Reconstruct porches, balconies, and porte-cocheres based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the building and historic patterns.

Historic Design Guidelines, Chapter 3, Guidelines for Additions

1. Massing and Form of Residential Additions

A. GENERAL

- i. Minimize visual impact*—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.
- ii. Historic context*—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.
- iii. Similar roof form*—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. Transitions between old and new*—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

B. SCALE, MASSING, AND FORM

- i. Subordinate to principal facade*—Design residential additions, including porches and balconies, to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- ii. Rooftop additions*—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.
- iii. Dormers*—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.
- iv. Footprint*—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.
- v. Height*—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

3. Materials and Textures

A. COMPLEMENTARY MATERIALS

- i. Complementary materials*—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.
- ii. Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alternations and Maintenance section for additional specifications regarding metal roofs.
- iii. Other roofing materials*—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

B. INAPPROPRIATE MATERIALS

- i. Imitation or synthetic materials*—Do not use imitation or synthetic materials, such as vinyl siding, brick or simulated stone veneer, plastic, or other materials not compatible with the architectural style and materials of the original structure.

C. REUSE OF HISTORIC MATERIALS

- i. Salvage*—Salvage and reuse historic materials, where possible, that will be covered or removed as a result of an addition.

4. Architectural Details

A. GENERAL

- i. Historic context*—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.
- ii. Architectural details*—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details

that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.

iii. Contemporary interpretations—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

FINDINGS:

- a. The historic structure located at 504 King William Street was constructed circa 1883 and was design by Alfred Giles. The structure features limestone walls, double height columns, stone lintels and sills and a rear addition. At this time, the applicant has proposed to perform modifications to the existing rear addition.
- b. BAY ADDITION – On an existing rear addition, the applicant has proposed to construct a 2’ – 0” deep bay along the north east façade. The applicant has proposed for the addition to feature an overall width that is less than that of the original addition to provide a visual separation. Regarding materials, the applicant has proposed to use wood siding and wood elements to match those of the existing addition. The roof will feature a sheet metal cap and a profile to match the existing. Staff finds the proposed bay addition appropriate.
- c. GUARDRAIL ADDITION – Atop of the existing addition, the applicant has proposed to install a steel guardrail to provide access to the rooftop. The design and profile of the proposed steel guardrail is architecturally consistent with other metal ornamentation of the historic structure. Staff finds this installation appropriate.

RECOMMENDATION:

Staff recommends approval of items #1 and #2 as submitted based on findings b and c.

CASE MANAGER:

Edward Hall



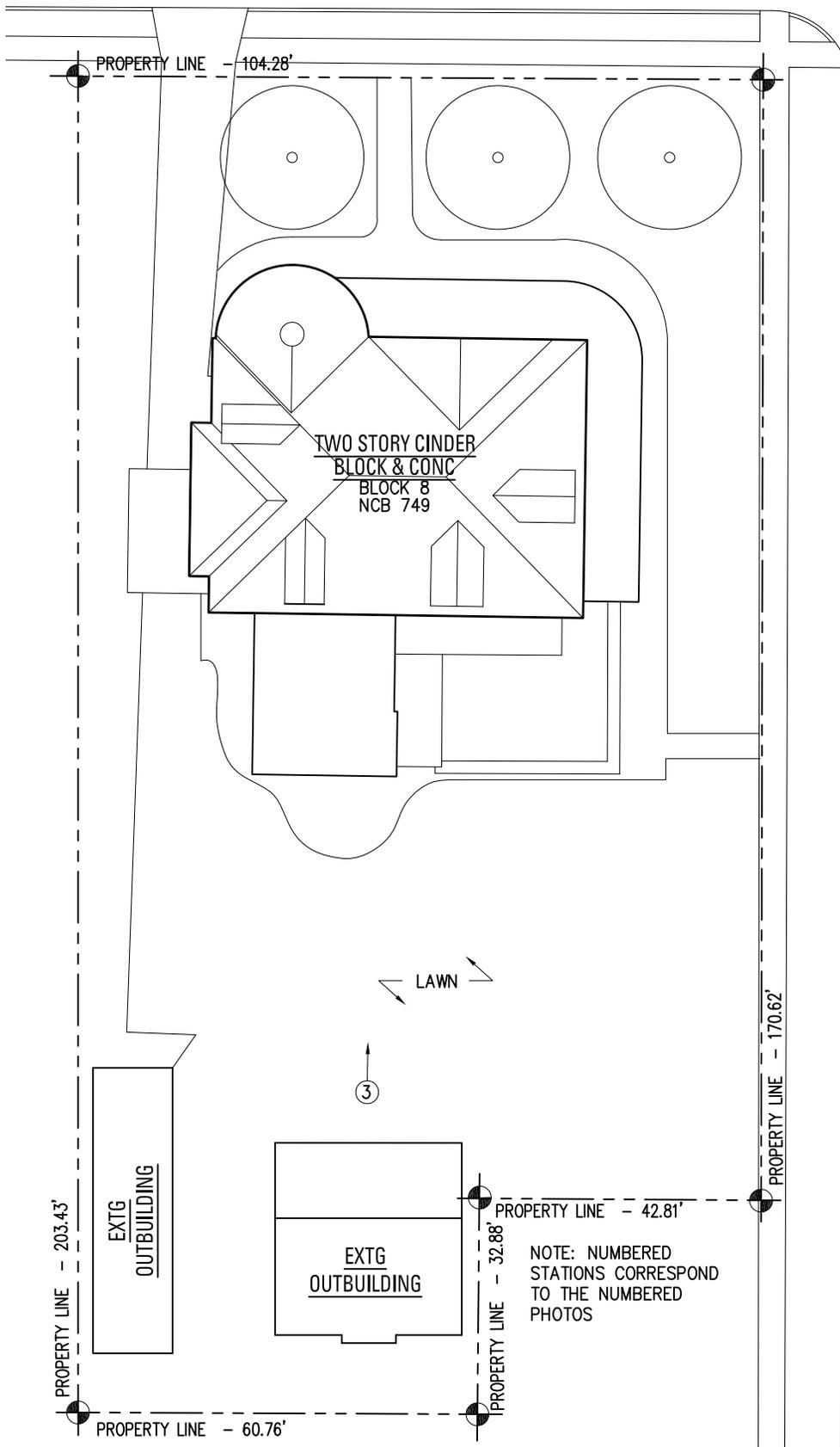
Flex Viewer

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KING WILLIAM
55.3' R.O.W.



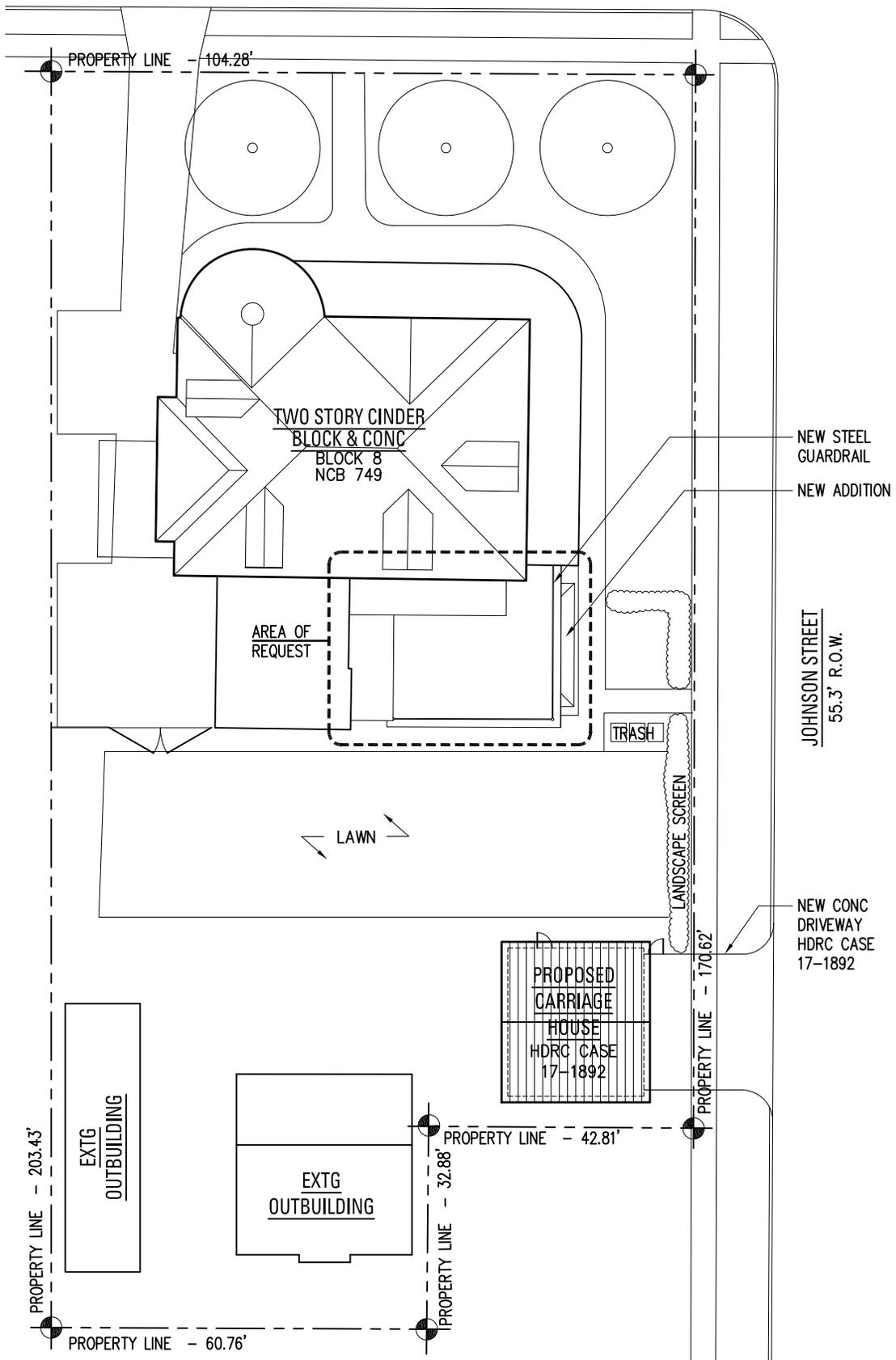
JOHNSON STREET
55.3' R.O.W.

SITE PLAN: EXTG
SCALE: 1" = 25'-0"



504 KING WILLIAM	A0.1 SHT 1 OF 6
DATE: DECEMBER 22, 2017	
POTEET ARCHITECTS, LP	

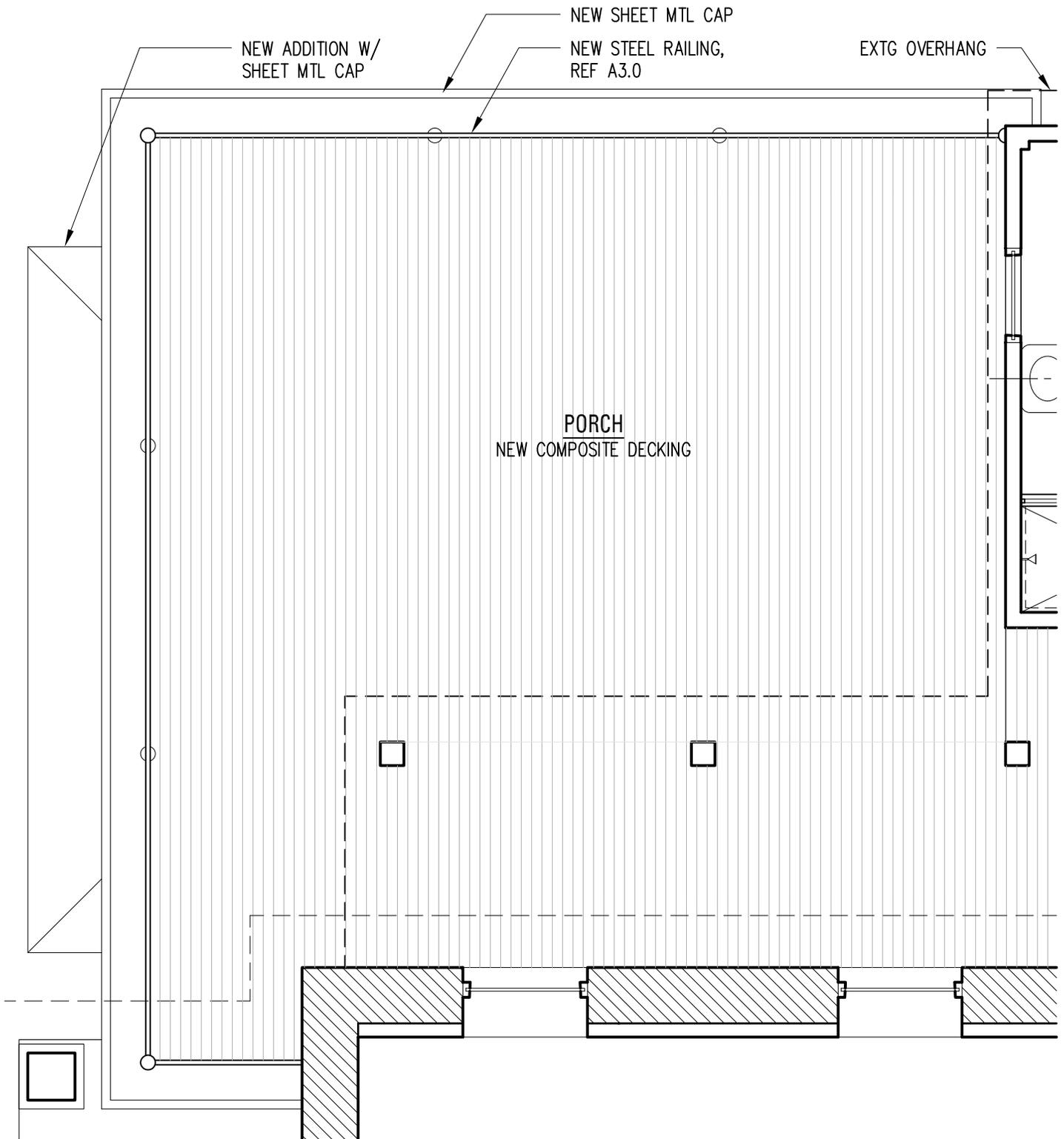
KING WILLIAM
55.3' R.O.W.



SITE PLAN: PROPOSED
SCALE: 1" = 25'-0"

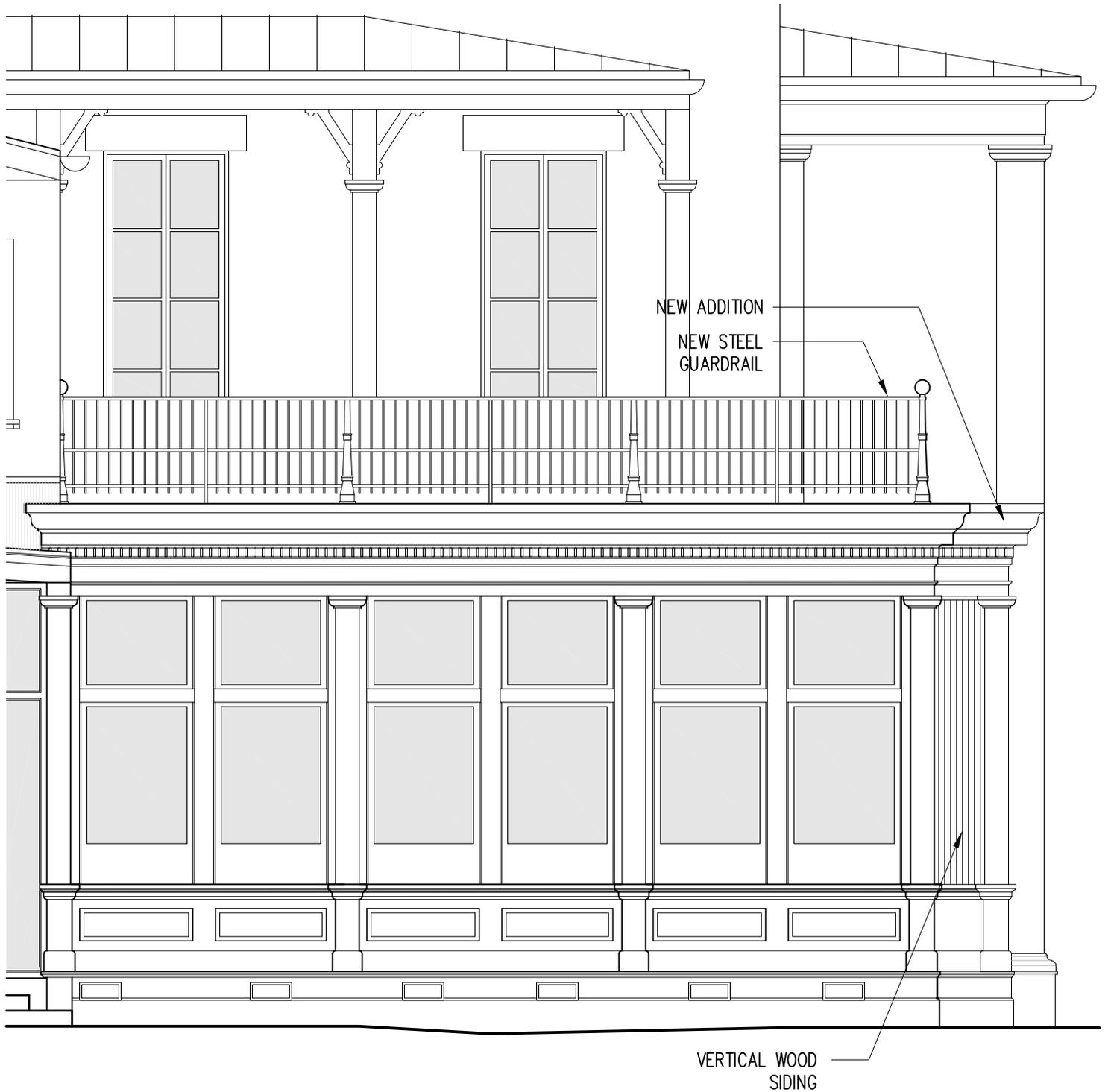


504 KING WILLIAM	A0.2 SHT 2 OF 6
DATE: DECEMBER 22, 2017	
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1 FLOOR PLAN PROPOSED ALTERATIONS
 SCALE: 1/4" = 1'-0"

504 KING WILLIAM	A1.0 SHT 3 OF 6
DATE: DECEMBER 22, 2017	
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1

ELEVATION: PROPOSED ALTERATIONS

SCALE: 1/4" = 1'-0"

504 KING WILLIAM	A2.0 SHT 4 OF 6
DATE: DECEMBER 22, 2017	
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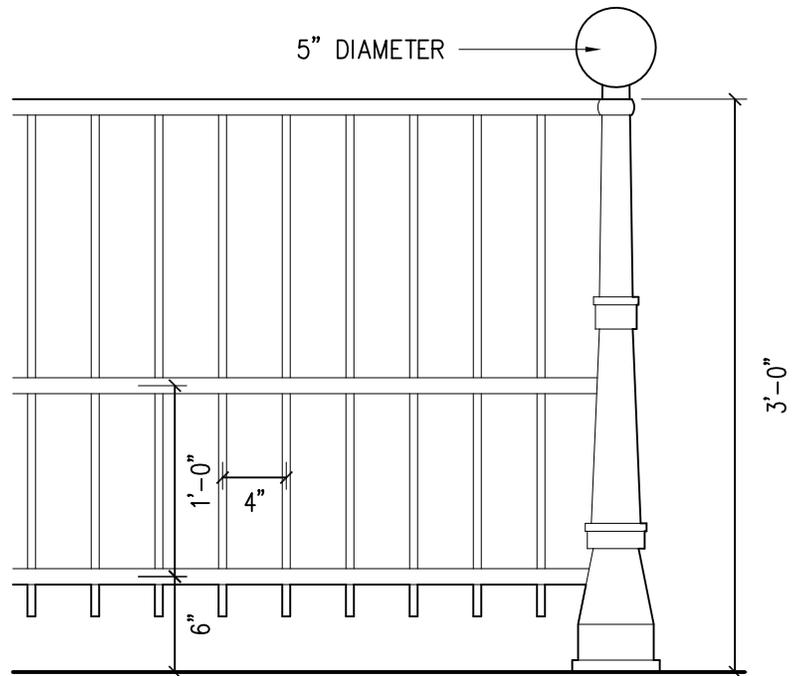
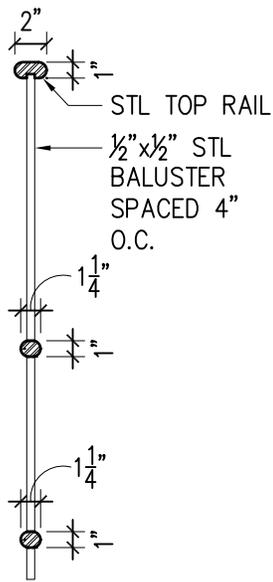


1

ELEVATION: PROPOSED ALTERATIONS

SCALE: 1/4" = 1'-0"

504 KING WILLIAM	A2.1 SHT 5 OF 6
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1 **DTL:** STEEL GUARDRAIL
SCALE: 1" = 1'-0"

2 **ELEVATION:** STEEL GUARDRAIL
SCALE: 1" = 1'-0"

504 KING WILLIAM	A3.0 SHT 6 OF 6
DATE: DECEMBER 22, 2017	
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① 504 KING WILLIAM
View looking south

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② 504 KING WILLIAM
View looking west

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VIEW

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View looking northwest

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