

HISTORIC AND DESIGN REVIEW COMMISSION

May 01, 2020

HDRC CASE NO: 2020-131
ADDRESS: 3021 MISSION RD
LEGAL DESCRIPTION: NCB 7696 BLK 14 LOT 16
ZONING: R-6, H
CITY COUNCIL DIST.: 3
DISTRICT: Mission Historic District
APPLICANT: Dan Gonzalez
OWNER: Tony Pearson/PEARSON ANTHONY C & MELISSA D
TYPE OF WORK: Rear/side addition with roof modifications
APPLICATION RECEIVED: March 13, 2020
60-DAY REVIEW: May 12, 2020
CASE MANAGER: Huy Pham

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Improve the non-conforming rear addition including roof form and fenestration modifications.
2. Repair the existing windows.

APPLICABLE CITATIONS:

3. Guidelines for Exterior Maintenance and Alterations

6. Architectural Features: Doors, Windows, and Screens

A. MAINTENANCE (PRESERVATION)

- i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.

3. Guidelines for Additions

1. Massing and Form of Residential Additions

A. GENERAL

- i. *Minimize visual impact*—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.
- ii. *Historic context*—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.
- iii. *Similar roof form*—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. *Transitions between old and new*—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

B. SCALE, MASSING, AND FORM

- i. *Subordinate to principal facade*—Design residential additions, including porches and balconies, to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- ii. *Roof top additions*—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.
- iii. *Dormers*—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.
- iv. *Footprint*—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing

building footprint, regardless of lot size.

v. Height—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

3. Materials and Textures

A. COMPLEMENTARY MATERIALS

i. *Complementary materials*—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.

ii. *Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alternations and Maintenance section for additional specifications regarding metal roofs.

iii. *Other roofing materials*—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

B. INAPPROPRIATE MATERIALS

i. *Imitation or synthetic materials*—Do not use imitation or synthetic materials, such as vinyl siding, brick or simulated stone veneer, plastic, or other materials not compatible with the architectural style and materials of the original structure.

C. REUSE OF HISTORIC MATERIALS

i. *Salvage*—Salvage and reuse historic materials, where possible, that will be covered or removed as a result of an addition.

4. Architectural Details

A. GENERAL

i. *Historic context*—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.

ii. *Architectural details*—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.

iii. *Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

Standard Specification for Windows for New Construction

Consistent with the Historic Design Guidelines, the following recommendations are made for windows to be used in new construction:

- GENERAL: Windows used in new construction should be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. While no material is expressly prohibited by the Historic Design Guidelines, a high-quality wood or aluminum-clad wood window product often meets the Guidelines with the stipulations listed below.
- SIZE: Windows should feature traditional dimensions and proportions as found within the district.
- SASH: Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- DEPTH: There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. All windows should be supplied in a block frame and exclude nailing fins which limit the ability to sufficiently recess the windows.
- TRIM: Window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail.
- GLAZING: Windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature true, exterior muntins.
- COLOR: Wood windows should feature a painted finish. If a clad or non-wood product is approved, white or

metallic manufacturer's color is not allowed, and color selection must be presented to staff.

Mission Historic District Design Manual

Section 2: Guidelines for Exterior Alterations and Additions

A. EXTERIOR ALTERATIONS IN GENERAL

i. Non-contributing structures — Where a determination of non-contributing status has been provided for a structure, more flexibility may be considered in regards to facade alterations provided that overall design and architectural styles introduced remain respectful of the immediate historic context of the block and surrounding residential structures.

B. ADDITIONS

i. Minimize visual impact — Additions should be located to the rear of a property whenever possible. If the rear is not a feasible location due to site restrictions, such as a contributing rear accessory structure, heritage landscape element, or a small rear yard, alternative locations may be explored. A site analysis and site plan that demonstrates any restrictions must be submitted as part of an application if an alternative location is proposed.

ii. Alternative locations — A side or second story addition may be considered only if the rear of the lot has been determined to be unfeasible as demonstrated by a site analysis provided by the applicant.

C. SIDE ADDITIONS

i. Setbacks — Side additions must be set back from the front façade by at least 50% of the total side façade length. A greater setback is encouraged where feasible.

ii. Width — Side additions must not be greater than 30% of the width of the front façade of the primary structure.

iii. Roof form — Side additions must feature a subordinate roofline in height, while maintaining the original roof form (front or side gabled, hipped, etc.). Ridge lines that match the existing historic structure in height may be considered on a case-by-case basis, especially if ridge line continuity is a paramount feature of a particular historic style. The applicant must demonstrate the appropriateness of a matching ridge line in their application.

FINDINGS:

- a. The primary historic structure at 3021 Mission was constructed circa 1940 and contributes to the Mission Historic District. The structure features a primary front facing gable with an inset covered porch and a traditional front window bay. The property has been subjected to multiple phases of rear and side additions.
- b. ADDITIONS – The original structure features a simple rectangular floor plan under a single front-facing gable. The structure was subject to a rear shed addition and side carport addition which then became enclosed. The applicant has proposed to remove most of the side addition toward the front of the house and to reconstruct a more appropriate rear addition with a portion extending to the side of the historic wall plane. Per the Mission Historic District Design Manual Sec 2.C.i., side additions must be set back from the front façade by at least 50% of the total side façade length. A greater setback is encouraged where feasible. Staff finds that proposed modifications to the side addition brings the structure into compliance with the Mission Historic Design Manual.
- c. ROOF FORM – The applicant has proposed to remove all shed roofs from the side and rear addition and instead extend the existing front facing gable toward the rear and install a new crossing turned gable. Per the Guidelines for Additions 1.A.iii., rooftop additions should be limited to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Staff finds the proposed modifications to produce a more uniformed addition roof form is generally consistent with the Guidelines. However, a measured roof plan should be submitted to staff for final approval.
- d. TRANSITION – Per the Guidelines for Additions 1.A.iv., a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition should be utilized to provide a clear visual distinction between old and new building forms. Staff finds that a change in material and a vertical trim piece should be installed between old and new building forms.
- e. FOOTPRINT – Per the Guidelines for Additions 1.B.i., the building footprint should respond to the size of the lot, an appropriate yard to building ratio should be maintained for consistency within historic districts, and residential additions should not be so large as to double the existing building footprint, regardless of lot size. Staff finds that the proposed footprint is consistent with the Guidelines. However, a measured site plan should be submitted to staff for final approval.
- f. HEIGHT – Per the Guidelines for Additions 1.B.ii., the height of new additions should be consistent with the height of the existing structure, the maximum height of new additions should be determined by examining the line-of-sight or visibility from the street, and an addition's height should never be so contrasting as to overwhelm or distract from the existing structure. Staff finds the proposed height of the turned gable is subordinate to the original front facing gable. However, measured elevation drawings should be submitted to staff for final approval.
- g. MATERIALS – The applicant has proposed to utilize matching composition shingle roofing material, vertical Hardie siding. Per the Guidelines for Additions 3.A.i., materials that match in type, color, and texture and include an offset or

reveal to distinguish the addition from the historic structure should be used whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure. Staff finds that a change in material and a vertical trim piece should be installed between old and new building forms. No window products have been submitted at this time; all new windows should adhere to the *Standard Specifications for Windows for New Construction*.

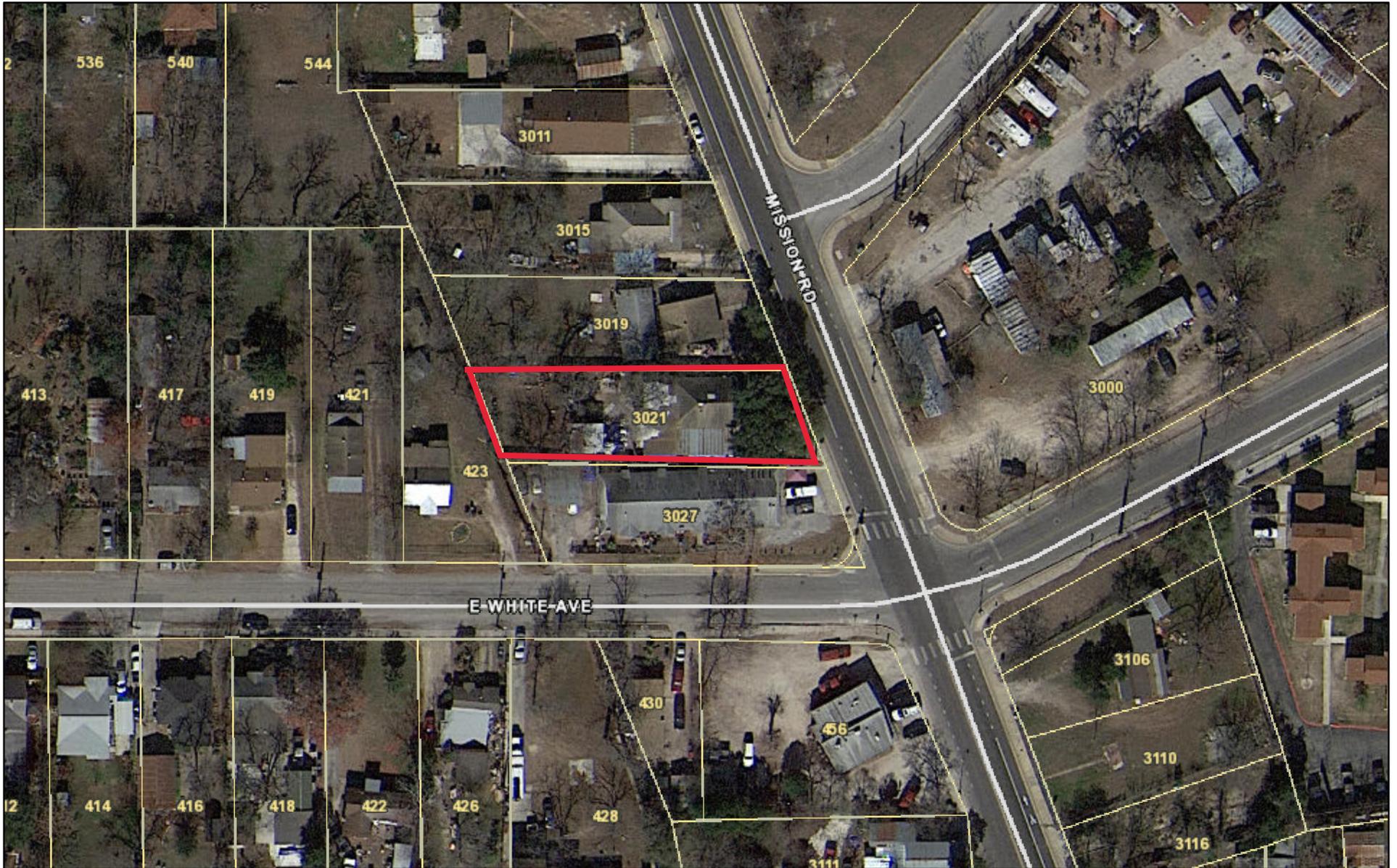
- h. ARCHITECTURAL DETAILS – The applicant has proposed to construct a rear addition featuring five (5) one-over-one sash windows and a set of double doors facing the rear. Per the Guidelines for New Construction 4.A.i., new buildings should be designed to reflect their time while respecting the historic context. While new construction should not attempt to mirror or replicate historic features, new structures should not be so dissimilar as to distract from or diminish the historic interpretation of the district. Staff finds that the proposed fenestration patterns relates to the primary historic structure. No window or door products have been submitted to staff; all new windows should adhere to the *Standard Specifications for Windows for New Construction*.
- i. WINDOW REPAIR – The applicant has proposed to repair two existing windows including glass replacement. Per the Guidelines for Exterior Maintenance and Alterations 6.A.iii., when glass is broken, the color and clarity of replacement glass should match the original historic glass. Staff finds that wood window repair is appropriate and that no wholesale replacement is requested or approved at this time.

RECOMMENDATION:

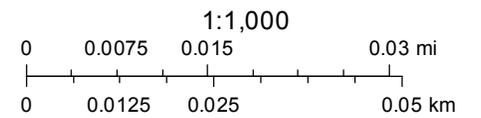
Staff recommends approval of items 1 and 2 based on findings b through l with the following stipulations to be met prior to the issuance of a Certificate of Appropriateness:

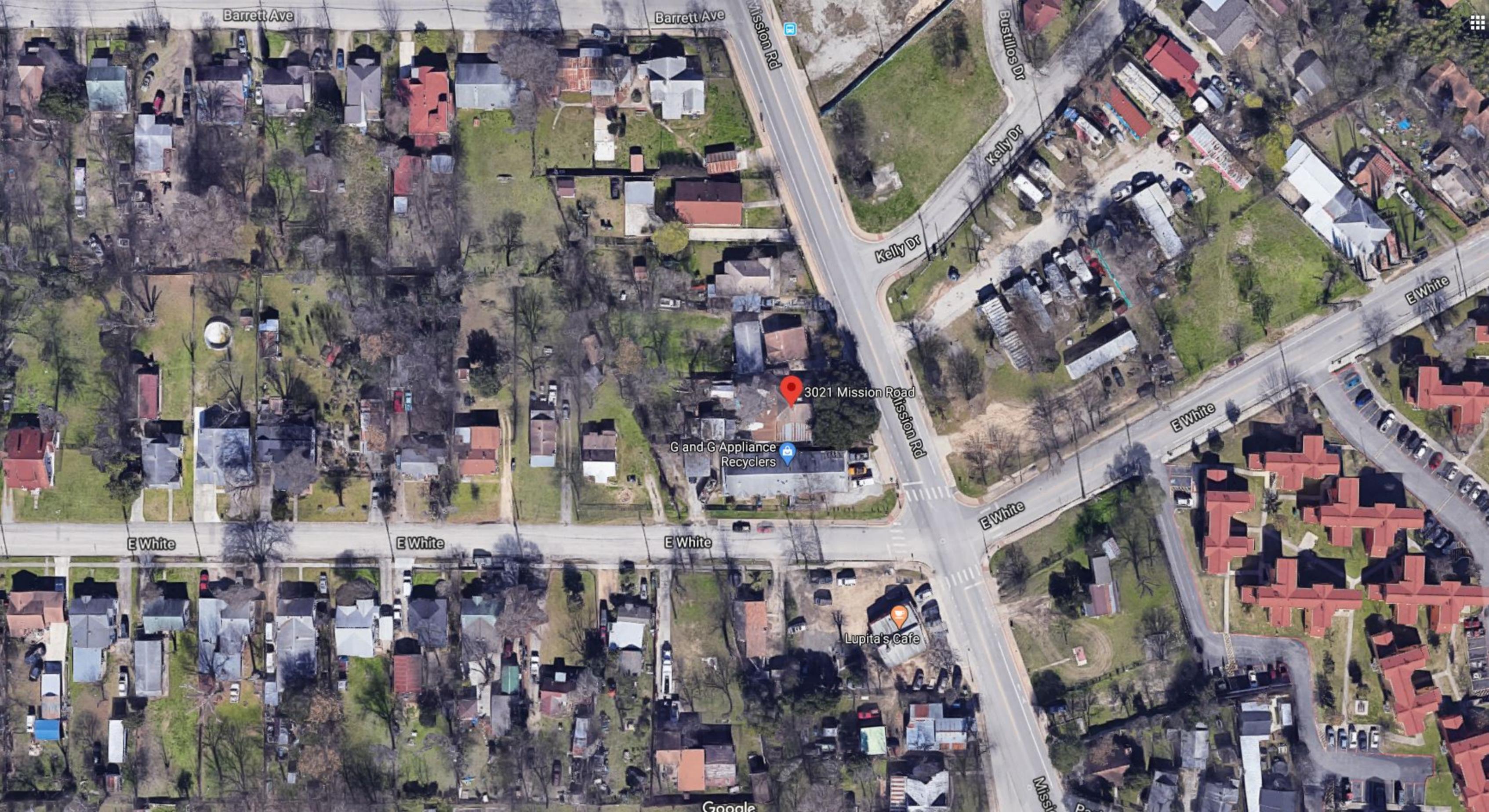
- i. That a measured roof plan, site plan, and elevation drawings are be submitted to staff
- ii. That a change in material and a vertical trim piece should be installed between old and new building forms.
- iii. That final window and door products that are consistent with the Guidelines and the *Standard Specifications for Windows for New Construction* are submitted to staff
- iv. That for window repair, the color and clarity of replacement glass should match the original historic glass. No wholesale replacement is requested or approved at this time.

3021 Mission St



March 24, 2020





Barrett Ave

Barrett Ave

Mission Rd

Bustillos Dr

Kelly Dr

Kelly Dr

E White

E White

E White

E White

E White

E White

3021 Mission Road

G and G Appliance Recyclers

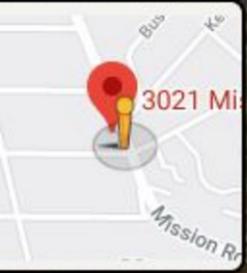
Lupita's Cafe

Google



3021 Mission Road

G and G Appliance Recyclers





FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION: ADDITION



REAR ELEVATION: ADDITION



REAR ELEVATION: ADDITION



DAMAGED WINDOW: TYP



DAMAGED WINDOW: TYP

SIDING HARDI BOARD 8" BRD

SIDING PAINT:
LIGHT FRENCH GRAY
SW 0055

3021 MISSION RESIDENCE

SAN ANTONIO, TEXAS



ROOF @ ADDITION



ROOF @ ADDITION

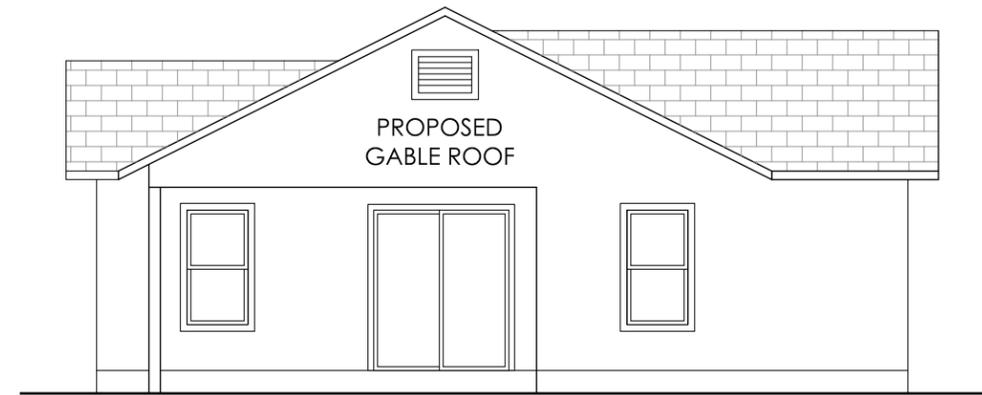
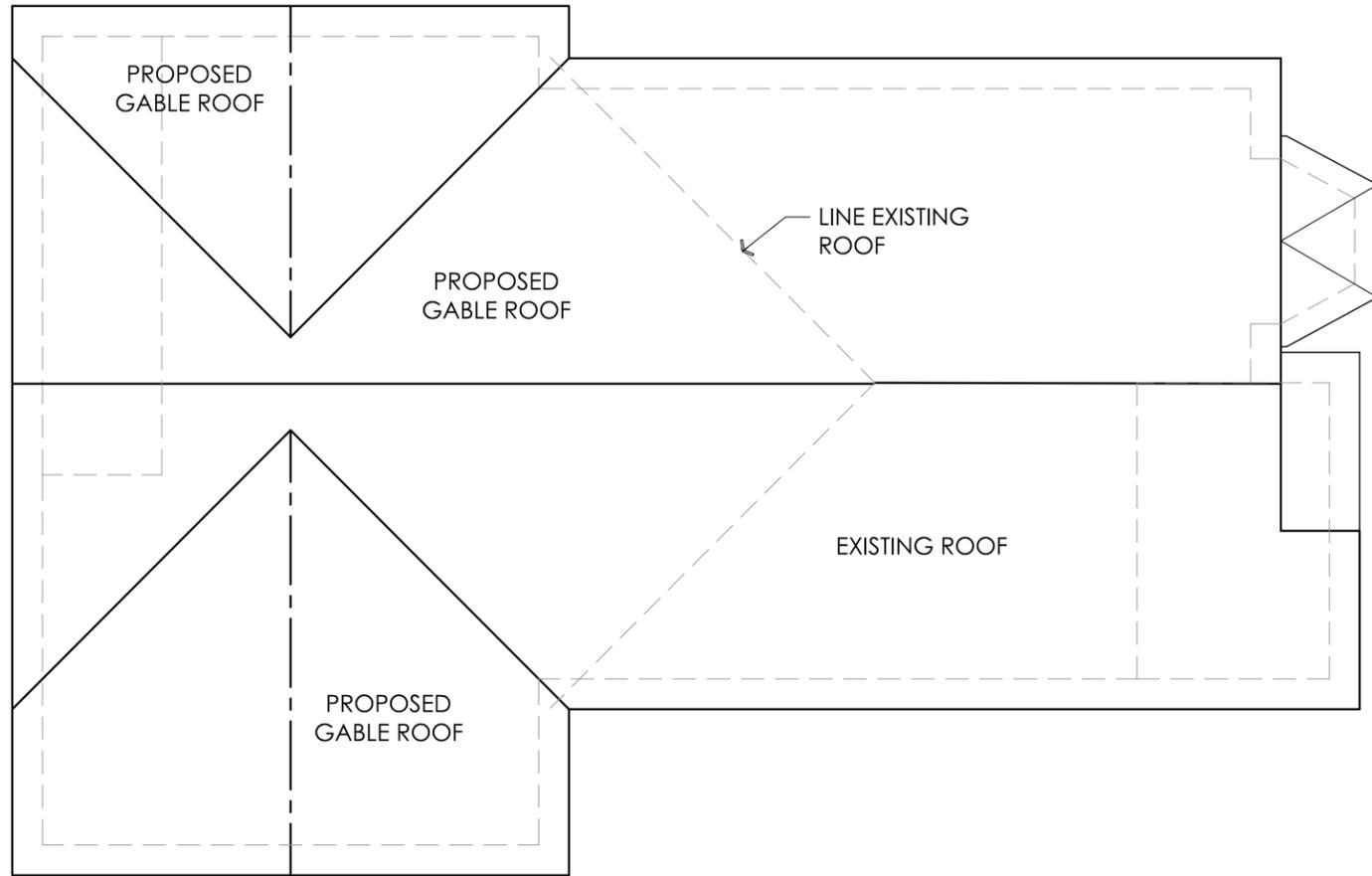


ROOF @ ADDITION

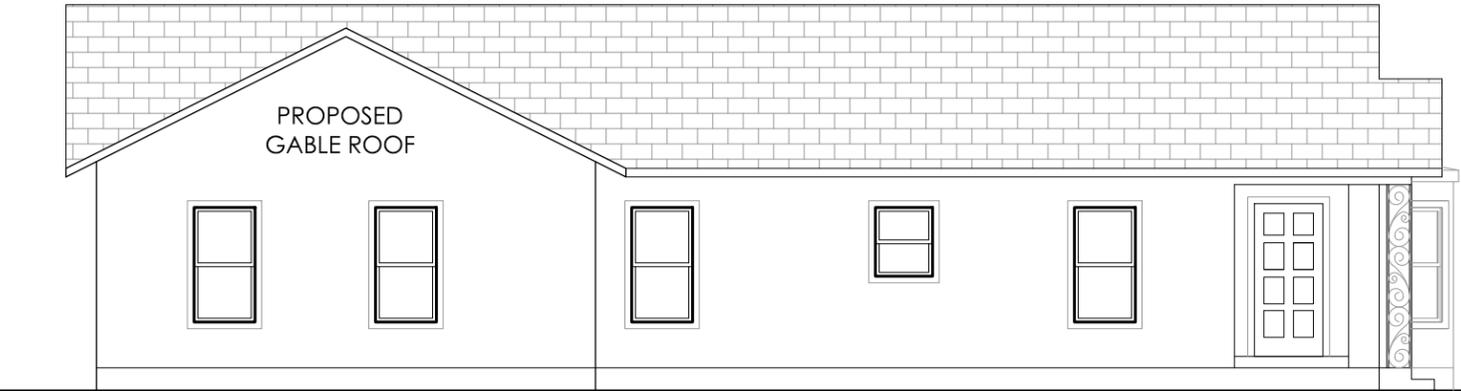


ROOF @ ADDITION

3021 MISSION RESIDENCE
SAN ANTONIO, TEXAS



3 ELEVATION: REAR
SCALE: 1/8"=1'-0"

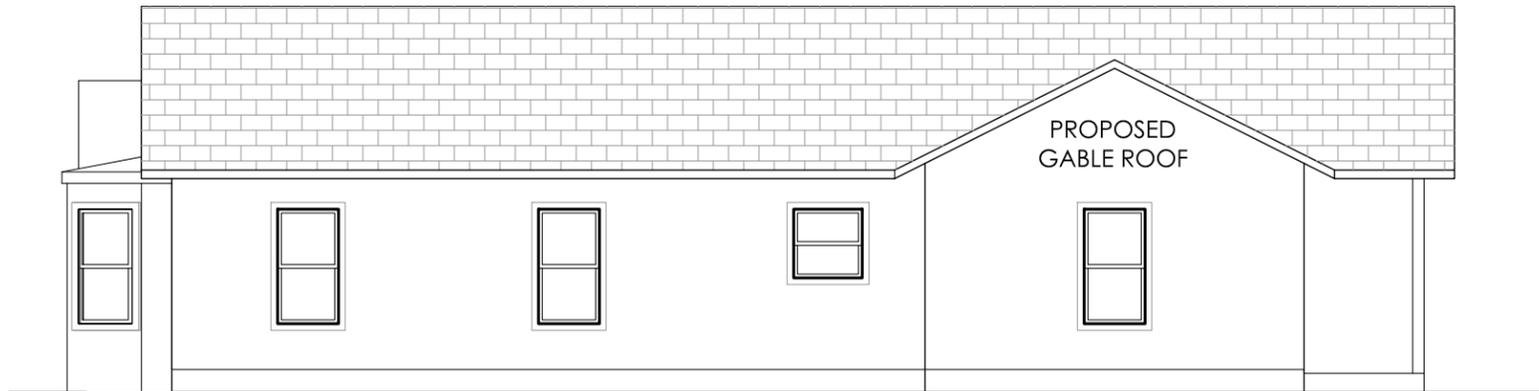


4 ELEVATION: SIDE
SCALE: 1/8"=1'-0"

1 ROOF PLAN
SCALE: 1/8"=1'-0"



2 ELEVATION: FRONT
SCALE: 1/8"=1'-0"



5 ELEVATION: SIDE
SCALE: 1/8"=1'-0"