

HISTORIC AND DESIGN REVIEW COMMISSION

October 04, 2017

HDRC CASE NO: 2017-490
ADDRESS: 820 HAYS ST
LEGAL DESCRIPTION: NCB 1656 BLK D LOT 10
ZONING: R-5 H
CITY COUNCIL DIST.: 2
DISTRICT: Dignowity Hill Historic District
APPLICANT: Alanzo Alston/Sol Studio Architects
OWNER: Cynda Reznicek
TYPE OF WORK: Construction of a single family residential structure
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Construct a single family house featuring approximately 2,015 square feet on the vacant lot at 820 Hays street in the Dignowity Hill Historic District.
2. To construct a rear accessory structure.
3. To construct fencing on the lot.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 4, Guidelines for New Construction

1. Building and Entrance Orientation

A. FAÇADE ORIENTATION

- i. Setbacks—Align front facades of new buildings with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Use the median setback of buildings along the street frontage where a variety of setbacks exist. Refer to UDC Article 3, Division 2. Base Zoning Districts for applicable setback requirements.
- ii. Orientation—Orient the front façade of new buildings to be consistent with the predominant orientation of historic buildings along the street frontage.

B. ENTRANCES

- i. Orientation—Orient primary building entrances, porches, and landings to be consistent with those historically found along the street frontage. Typically, historic building entrances are oriented towards the primary street.

2. Building Massing and Form

A. SCALE AND MASS

- i. Similar height and scale—Design new construction so that its height and overall scale are consistent with nearby historic buildings. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. In commercial districts, building height shall conform to the established pattern. If there is no more than a 50% variation in the scale of buildings on the adjacent block faces, then the height of the new building shall not exceed the tallest building on the adjacent block face by more than 10%.
- ii. Transitions—Utilize step-downs in building height, wall-plane offsets, and other variations in building massing to provide a visual transition when the height of new construction exceeds that of adjacent historic buildings by more than one-half story.
- iii. Foundation and floor heights—Align foundation and floor-to-floor heights (including porches and balconies) within one foot of floor-to-floor heights on adjacent historic structures.

B. ROOF FORM

- i. Similar roof forms—Incorporate roof forms—pitch, overhangs, and orientation—that are consistent with those predominantly found on the block. Roof forms on residential building types are typically sloped, while roof forms on nonresidential building types are more typically flat and screened by an ornamental parapet wall.

ii. Façade configuration—The primary façade of new commercial buildings should be in keeping with established patterns. Maintaining horizontal elements within adjacent cap, middle, and base precedents will establish a consistent street wall through the alignment of horizontal parts. Avoid blank walls, particularly on elevations visible from the street. No new façade should exceed 40 linear feet without being penetrated by windows, entryways, or other defined bays.

D. LOT COVERAGE

i. Building to lot ratio—New construction should be consistent with adjacent historic buildings in terms of the building to lot ratio. Limit the building footprint for new construction to no more than 50 percent of the total lot area, unless adjacent historic buildings establish a precedent with a greater building to lot ratio.

3. Materials and Textures

A. NEW MATERIALS

i. Complementary materials—Use materials that complement the type, color, and texture of materials traditionally found in the district. Materials should not be so dissimilar as to distract from the historic interpretation of the district. For example, corrugated metal siding would not be appropriate for a new structure in a district comprised of homes with wood siding.

ii. Alternative use of traditional materials—Consider using traditional materials, such as wood siding, in a new way to provide visual interest in new construction while still ensuring compatibility.

iii. Roof materials—Select roof materials that are similar in terms of form, color, and texture to traditionally used in the district.

iv. Metal roofs—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alterations and Maintenance section for additional specifications regarding metal roofs.

v. Imitation or synthetic materials—Do not use vinyl siding, plastic, or corrugated metal sheeting. Contemporary materials not traditionally used in the district, such as brick or simulated stone veneer and Hardie Board or other fiberboard siding, may be appropriate for new construction in some locations as long as new materials are visually similar to the traditional material in dimension, finish, and texture. EIFS is not recommended as a substitute for actual stucco.

4. Architectural Details

A. GENERAL

i. Historic context—Design new buildings to reflect their time while respecting the historic context. While new construction should not attempt to mirror or replicate historic features, new structures should not be so dissimilar as to distract from or diminish the historic interpretation of the district.

ii. Architectural details—Incorporate architectural details that are in keeping with the predominant architectural style along the block face or within the district when one exists. Details should be simple in design and should complement, but not visually compete with, the character of the adjacent historic structures or other historic structures within the district. Architectural details that are more ornate or elaborate than those found within the district are inappropriate.

iii. Contemporary interpretations—Consider integrating contemporary interpretations of traditional designs and details for new construction. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the structure is new. Modern materials should be implemented in a way that does not distract from the historic structure.

5. Garages and Outbuildings

A. DESIGN AND CHARACTER

v. Garage doors—Incorporate garage doors with similar proportions and materials as those traditionally found in the district.

6. Mechanical Equipment and Roof Appurtenances

A. LOCATION AND SITING

i. Visibility—Do not locate utility boxes, air conditioners, rooftop mechanical equipment, skylights, satellite dishes, and other roof appurtenances on primary facades, front-facing roof slopes, in front yards, or in other locations that are clearly visible from the public right-of-way.

ii. Service Areas—Locate service areas towards the rear of the site to minimize visibility from the public right-of-way.

B. SCREENING

- i. Building-mounted equipment—Paint devices mounted on secondary facades and other exposed hardware, frames, and piping to match the color scheme of the primary structure or screen them with landscaping.
 - ii. Freestanding equipment—Screen service areas, air conditioning units, and other mechanical equipment from public view using a fence, hedge, or other enclosure.
 - iii. Roof-mounted equipment—Screen and set back devices mounted on the roof to avoid view from public right-of-way.
- Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

B. NEW FENCES AND WALLS

- i. Design—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.
- ii. Location—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.
- iii. Height—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.
- iv. Prohibited materials—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.
- v. Appropriate materials—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

3. Landscape Design

A. PLANTINGS

- i. Historic Gardens—Maintain front yard gardens when appropriate within a specific historic district.
- ii. Historic Lawns—Do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%.
- iii. Native xeric plant materials—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light requirements as those being replaced.
- iv. Plant palettes—If a varied plant palette is used, incorporate species of taller heights, such informal elements should be restrained to small areas of the front yard or to the rear or side yard so as not to obstruct views of or otherwise distract from the historic structure.
- v. Maintenance—Maintain existing landscape features. Do not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations (e.g., dense foundation plantings or vines) or as to cause damage.

B. ROCKS OR HARDSCAPE

- i. Impervious surfaces —Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.
- ii. Pervious and semi-pervious surfaces—New pervious hardscapes should be limited to areas that are not highly visible, and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.
- iii. Rock mulch and gravel - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

D. TREES

- i. Preservation—Preserve and protect from damage existing mature trees and heritage trees. See UDC Section 35-523 (Tree Preservation) for specific requirements.
- ii. New Trees – Select new trees based on site conditions. Avoid planting new trees in locations that could potentially cause damage to a historic structure or other historic elements. Species selection and planting procedure should be done in accordance with guidance from the City Arborist.

5. Sidewalks, Walkways, Driveways, and Curbing

A. SIDEWALKS AND WALKWAYS

- i. Maintenance—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.
- ii. Replacement materials—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.
- iii. Width and alignment—Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.
- iv. Stamped concrete—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.
- v. ADA compliance—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

B. DRIVEWAYS

- i. Driveway configuration—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.
- ii. Curb cuts and ramps—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

7. Off-Street Parking

A. LOCATION

- i. Preferred location—Place parking areas for non-residential and mixed-use structures at the rear of the site, behind primary structures to hide them from the public right-of-way. On corner lots, place parking areas behind the primary structure and set them back as far as possible from the side streets. Parking areas to the side of the primary structure are acceptable when location behind the structure is not feasible. See UDC Section 35-310 for district-specific standards.
- ii. Front—Do not add off-street parking areas within the front yard setback as to not disrupt the continuity of the streetscape.
- iii. Access—Design off-street parking areas to be accessed from alleys or secondary streets rather than from principal streets whenever possible.

B. DESIGN

- i. Screening—Screen off-street parking areas with a landscape buffer, wall, or ornamental fence two to four feet high—or a combination of these methods. Landscape buffers are preferred due to their ability to absorb carbon dioxide. See UDC Section 35-510 for buffer requirements.
- ii. Materials—Use permeable parking surfaces when possible to reduce run-off and flooding. See UDC Section 35-526(j) for specific standards.
- iii. Parking structures—Design new parking structures to be similar in scale, materials, and rhythm of the surrounding historic district when new parking structures are necessary.

FINDINGS:

- a. The applicant has proposed to construct a single family house to feature approximately 2,015 square feet on the vacant lot at 820 Hays Street, located in the Dignowity Hill Historic District.
- b. CONCEPTUAL APPROVAL – This request received conceptual approval at the April 19, 2017, Historic and Design Review Commission hearing, where the request was approved as submitted. At that time, staff’s concerns regarded setbacks from the street, front porch massing, window opening proportions, the front porch corten

planter, bronze colored roof, cement plaster finish, window profiles and exposed rafter tails.

- c. FINAL APPROVAL – The request for a Certificate of Appropriateness was heard by the HDRC on September 6, 2017, where it was denied. Since that time, the applicant has provided a document to respond to staff’s findings and recommendations; however, has not modified a majority of the design elements to be consistent with staff’s recommendation.
- d. DESIGN REVIEW COMMITTEE – This request was reviewed by the Design Review Committee on September 26, 2017, where committee members noted that an increase to the proposed porch roof was needed, that the proposed materials were generally appropriate and that the proposed massing and scale was appropriate.
- e. SETBACKS & ORIENTATION – According to the Guidelines for New Construction, the front facades of new buildings are to align with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Additionally, the orientation of new construction should be consistent with the historic example found on the block. The applicant has proposed a setback of 33’ – 0”. The applicant has noted that adjacent historic structures on this block feature setbacks of 42’ – 0”, 24’ – 6” and 27’ – 6”. Staff finds the proposed setback to be appropriate and consistent with the Guidelines.
- f. ENTRANCES – According to the Guidelines for New Construction 1.B.i., primary building entrances should be oriented towards the primary street. The applicant has proposed to orient the primary entrance towards Hays Street. This is consistent with the Guidelines.
- g. ENTRANCES – The applicant has proposed a protruding enclosure front porch with cut openings to represent two windows and a front door. Beneath this enclosure, the applicant has proposed a recessed primary entrance. Folk Victorian structures, feature primary entrances on recessed front porches at the side of projecting front bays. As the applicant has proposed the enclosed porch, the primary entrance area extrudes past the front projecting bay. This is architecturally inappropriate and removes façade depth that is naturally created by a recessed front porch.
- h. PORCH DESIGN – The applicant has proposed a front porch overhang that features a roof with a slope of ½ /12 roof slope. Historic structures throughout the Dignowity Hill Historic District feature porch roofs that feature numerous widths, depths and roof styles. The applicant’s proposed porch roof design is not appropriate and inconsistent with the Guidelines. Where a porch roof features shed and hipped elements, the slope is greater than that proposed by the applicant. The applicant should also incorporate porch columns that feature historic characteristics in regards to spacing and detailing.
- i. ENTRANCE RAMP – The applicant has proposed an entrance ADA ramp at the front of the proposed new construction. Staff finds the ramp to be an integral part of the new construction and appropriate.
- j. WINDOW & DOOR OPENINGS – Per the Guidelines for New Construction 2.C.i., window and door openings with similar proportions of wall to window space as typical with nearby historic facades should be incorporated into new construction. The applicant has proposed window openings that generally feature widths that are similar to those found on historic structures.
- k. WINDOW & DOOR OPENINGS – The applicant has proposed windows that feature contemporary sizes on the side elevations. Staff finds that these windows may be appropriate in addition to or coupled with windows that are similarly sized to historic windows.
- i. WINDOW MATERIALS – The applicant has noted the installation of aluminum clad one over one windows. The door and window schedule note these windows. Staff finds that a double-hung, one-over-one wood windows or aluminum-clad wood windows be used based on finding m. Meeting rails must be no taller than 1.25” and stiles no wider than 2.25”. White manufacturer’s color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening.
- l. LOT COVERAGE – The building footprint for new construction should be no more than fifty (50) percent of the size of total lot area. The applicant’s proposed building footprint is consistent with the Guidelines for New Construction 2.D.i.
- m. MATERIALS – The applicant has proposed materials that include cypress siding, Hardi siding with a four inch exposure, Portland cement plaster, galvalume roof decking, a standing seam metal roof and a corten steel planter. The applicant should ensure that the proposed Hardi siding features a smooth exposure. The proposed standing seam metal roof should feature panels that are 18 to 21 inches in width, seams that are 1 to 2 inches in height, a crimped ridge seam and a standard galvalume finish. Regarding the proposed cement plaster finish and corten steel planter at the front porch, there is no historic example or precedent of these proposed materials. Staff does

- not find this appropriate.
- n. ARCHITECTURAL DETAILS – New buildings should be designed to reflect their time while representing the historic context of the district. Additionally, architectural details should be complementary in natural and should not detract from nearby historic structures. Generally, the proposed structure is consistent with the Guidelines; however, the proposed porch massing should not extend past the front bay as noted in finding h.
 - o. ACCESSORY STRUCTURE – At the rear of the proposed new construction, the applicant has proposed to construct an accessory structure to accommodate parking for three vehicles. Staff finds this location appropriate.
 - p. MECHANICAL EQUIPMENT – Per the Guidelines for New Construction 6., all mechanical equipment should be screened from view at the public right of way. The applicant is responsible for complying with this.
 - q. DRIVEWAY – The Guidelines for Site Elements 5.A.i. notes that historic driveways should be repaired and retained in place. There is currently a ribbon strip driveway located on the west side of the property. The applicant has proposed to remove this driveway and install a new, decomposed granite driveway on the east side of the property. This is not consistent with the Guidelines.
 - r. LANDSCAPING – The applicant has proposed front yard landscaping that includes the installation of xeric plant materials. At least fifty (50) percent of front yard grass is to be retained.
 - s. PLANTER BOX – The applicant has proposed to locate a corten planter box on the front façade of the proposed new construction. This material and the location of a planter box on the front façade of a structure to be located in a historic district is not appropriate.
 - t. RAFTER TAILS/LOOKOUTS – The applicant has noted that the proposed rafter tails serve a structural purpose. Folk Victorian structures, from which the applicant has modeled the massing, do not feature exposed structural roofing elements. Staff finds these should be eliminated.

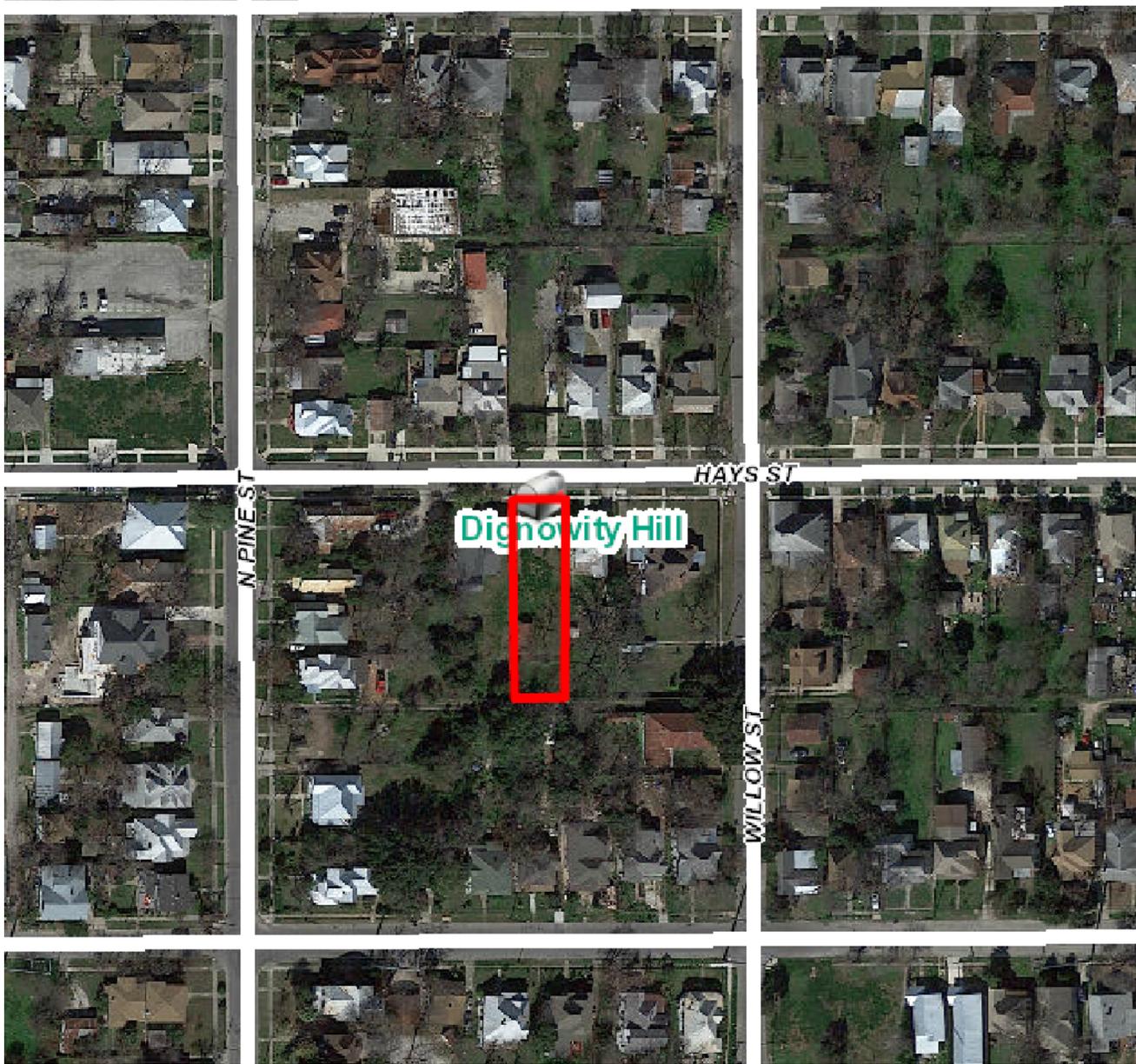
RECOMMENDATION:

Staff does not recommend final approval at this time. Staff recommends the applicant address the following items prior to receiving final approval.

- i. That the applicant propose a front porch and front massing that are consistent with the Guidelines and complementary of historic structures' front porches found in the Dignowity Hill Historic District as noted in findings g and h.
- ii. That the applicant eliminate the proposed front porch corten planter, bronze colored roof and cement plaster finish from the proposed materials as noted in finding m and s.
- iii. That the proposed aluminum clad windows feature meeting rails that are no taller than 1.25" and stiles no wider than 2.25". White manufacturer's color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening.
- iv. That the applicant install a standing seam metal roof that features panels that are 18 to 21 inches wide, seams are 1 to 2 inches in height, a crimped ridge seam and a standard galvalume finish as noted in finding m. A roofing inspection must be scheduled with OHP staff prior to installation.
- v. That the applicant eliminate the proposed exposed rafter tails/lookouts that are inappropriately placed on the front gable as noted in finding t.

CASE MANAGER:

Edward Hall



Flex Viewer

Powered by ArcGIS Server

Printed: Apr 06, 2017

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Childress Memorial Cogic

Hays St

Hays St

Hays St

N Pine St

N Pine St

N Pine St

Willow St

Willow St

820 Hays Street

13 September 2017



RE: *820 Hays Street, San Antonio, Texas 78202, Private Residence New Construction Project Description*

Our project located at 820 Hays Street is currently a vacant lot between a one-story home and a two-story multi-family residence.

The street facing portion of the lot faces north we consider this to be the primary frontage.

The proposed development is a single-family home consisting of a 2,014 square foot dwelling and a detached garage located on south side of the lot. The home is designed to accommodate the home owner, her spouse and her mother, who will relocate at a future date. Since this project is intended for an elderly family member the design includes handicap accessible accommodations including, but not limited to: sloped pavement leading to an accessible entry, wider bedroom doorways and an accessible bathroom.

The building design, including its scale, form, shape and proportion were designed fully with the intent on fitting in with the context of the Dignowity Historical Neighborhood. The home's scale and proportion was designed around the adjacent historical homes along the Hays Street block. We took architectural cues from the neighboring homes as well. The idea was not to mimic the architectural forms but to give a nod to them while acknowledging the new building is in-fact distinguishable from the historical surrounding buildings.

The diagram of the home is a take on a shot gun house with a front porch. The roofline and materials that were selected to honor the adjacent historical homes in the neighborhood. The wall materials and colors selected are currently utilized in the district however we are incorporating them in a way that presents subtle distinctions from the historical structures versus new.

We begin with an inviting approach to the front entry. The entry porch, reminiscent of the adjacent homes allows for an inviting entry from the neighborhood while protecting a visitor from the elements. After entering the open porch, one would approach an enclosed entry porch consisting of wood slat walls allowing a hint of light in during the day but returning the favor with a subtle glow at night.

On the west facing façade the home is placed on the property setback and windows are placed rationally to maximize their function at the rooms within. The east facing façade is pulled back to take advantage of the morning light and to offer clear passage of the homeowner's vehicles to reach the garage at the back of the lot.

The overall effect the design of the home is intended to allow the adjacent historic homes be showcased and not to assert a striking design style but to fit delicately into the neighborhood.

Edward Hall (OHP)

From: Alonzo Alston <alston@solstudioarchitects.us>
Sent: Thursday, September 21, 2017 2:38 PM
To: Edward Hall (OHP)
Cc: Cynda Reznicek
Subject: [EXTERNAL] 820 Hays St Responses
Attachments: _HDCR 820 Hays St COMMENT RESPONSES.PDF

Edward,

Thanks for your call today. The Construction Documents include the updates discussed below however we are attaching a graphic response for ease of reference.

We are copying our Client as an FYI.

As discussed please see the proposed responses below and attached exhibits:

THE RESPONSES TO THE STAFF COMMENTS ARE AS FOLLOWS:

- i. That the front yard setback be increased to match the greater setback of the two adjacent historic structures.

We have demonstrated in the attached exhibit (Drawing 1) the proposed dwelling is within the average setback of the existing setbacks of historic structures adjacent to the proposed dwelling.

- ii. That the applicant propose a front porch and front massing that are consistent with the Guidelines and complementary of historic structures' front porches found in the Dignowity Hill Historic District as noted in findings e and f.

We have demonstrated in the attached exhibit (Drawing 2) the proposed dwelling is taking cues from the adjacent historic structures while not mimicking them. The attached exhibit indicates examples of front projected open porch and gable mass. The proposed design provides a gable mass acting as the primary entrance and an inviting porch leading to the entry.

The flat porch roof as indicated on the conceptual drawings has been modified to have a low pitch roof which is consistent with the adjacent historical structures as demonstrated in the attached exhibit (Drawing 2).

- iii. That the applicant eliminate the proposed front porch corten planter, bronze colored roof and cement plaster finish from the proposed materials as noted in finding o.

Upon the ARC meeting dated April 11, 2017 we were encouraged to find examples of proposed materials currently in the neighborhood fabric for response to this comment. In addition, we were encouraged to consider the corten steel planter as a take on a porch railing and re-work it to introduce a shadow pattern emulating railing balusters. The attached exhibit (Drawing 2) indicates the corten steel to be modified to give a shadow line and the attached exhibit (Drawing 3 and 4) indicates examples of differential roof types and corten steel in the neighborhood that we are using as visual cues in the design.

Although we provided Drawing 2 to modify the corten steel planter the Historic Design and Review Committee understood the overall concept, materiality, decision making in the overall design. The committee then approved the design as originally submitted per the April 19th review meeting. With that, approval the corten

steel planter design remained intact, the cement plaster finish selection remained intact and the differential roof material remain intact.

- iv. That that a double-hung, one-over-one wood windows or aluminum-clad wood windows be used based on finding m. Meeting rails must be no taller than 1.25" and stiles no wider than 2.25". White manufacturer's color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening.

Concur - We originally indicated a fixed window in the concept drawings. Currently in the 90% Construction Documents we indicate an aluminum clad double hung window with a grey color. The construction documents further indicate the windows are recessed.

- v. That the applicant install a standing seam metal roof that features panels that are 18 to 21 inches wide, seams are 1 to 2 inches in height, a crimped ridge seam and a standard galvalume finish as noted in finding o.

Concur - The Construction Documents currently reflect a standing seam roof with 1" ribs and are spaced at 18" o.c. max. however the differential roof finishes remain due to response to item iii.

- vi. That the applicant eliminate the proposed exposed rafter tails that are inappropriately placed on the front gable and propose a roof form that features a roof pitch that is consistent with historic examples found throughout the Dignowity Hill Historic District.

Clarification – there are no exposed rafter tails on the gable roof. This was clarified in the April 19 review meeting and a follow up email to staff prior to the April 19 meeting. Based on response to item iii. The structural components for the roof are lookouts providing further support for the roof overhang. The roof shape is consistent with examples shown on attached exhibits Drawing 2 and Drawing 3.

Thanks!



Alonzo C. Alston, RA, NCARB

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COMMENT i: RESPONSE



1

Existing and Proposed Structure Setbacks

Scale: N.T.S.



SOL STUDIO ARCHITECTS
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2 1 0 . 2 4 0 8 8 6 4
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HDRC Staff Responses
820 HAYS ST. RESIDENCE
820 Hays St., San Antonio, TX 78202
PROJECT NO: 2017011
DATE: 04.19.2017

SHEET
Dwg 1
1 OF 4 SHEETS

COMMENT ii, iii, iv, v, vi, vii: RESPONSE



ADJACENT PROPERTIES FEATURING A LOW PITCH PORCH ROOF



UPDATED ELEVATION

2 Building Elevations

N.T.S.



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HDRC Staff Responses
820 HAYS ST. RESIDENCE
820 Hays St., San Antonio, TX 78202
PROJECT NO: 2017011
DATE: 04.19.2017

SHEET
Dwg 2
2 OF 4 SHEETS



3 Existing Differential Roof Types
N.T.S.



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SHEET
Dwg 3
3 OF 4 SHEETS



4

Existing Uses of Corten Steel in Dignowity

N.T.S.



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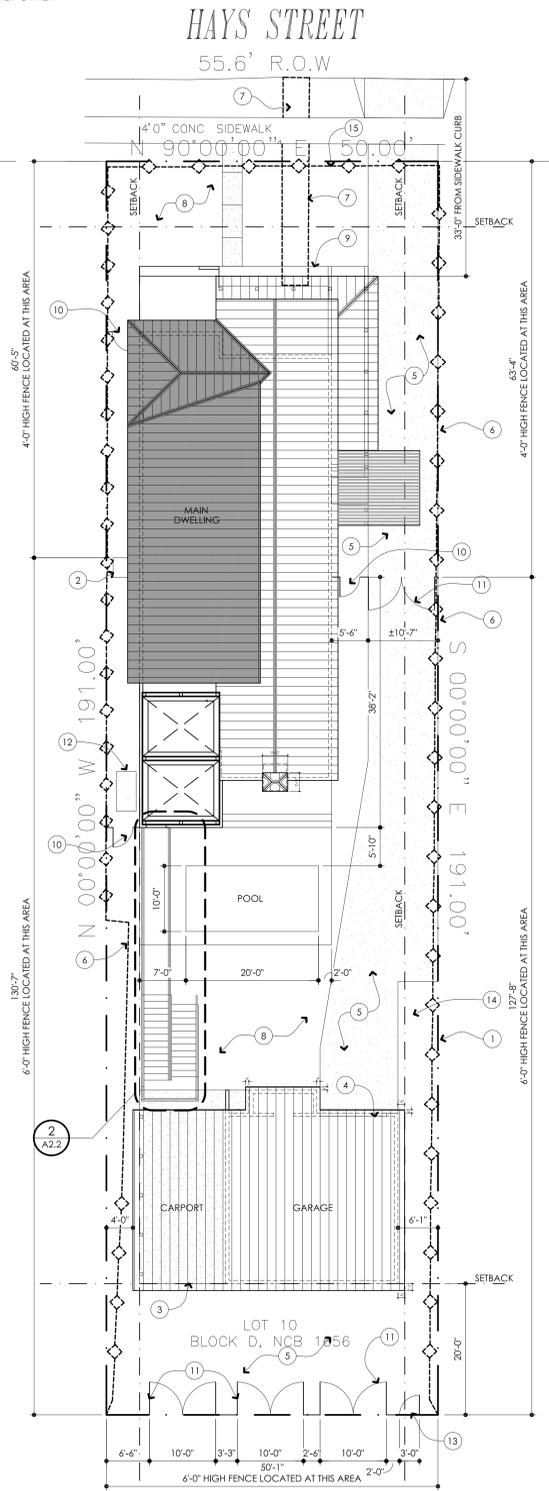
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PROJECT NO: 2017011
DATE: 04.19.2017

SHEET
Dwg 4
4 OF 4 SHEETS

KEY NOTES

- 1 PROPERTY LINE
- 2 AIR CONDITIONING CONDENSER UNIT LOCATION
- 3 NEW CARPORT LOCATION
- 4 NEW GARAGE LOCATION
- 5 NEW DECOMPOSED GRANITE DRIVEWAY TO LINK TO NEW CARPORT AND GARAGE / 3' DECOMPOSED GRANITE OVER 4" COMPACTED FILL OVER COMPACTED GRADE
- 6 REMOVE AND REPLACE EXISTING FENCE WITH NEW EVEN WOOD FENCE AND STEEL POSTS EMBEDDED INTO CONCRETE
- 7 REMOVE EXISTING SIDEWALKS AND REPLACE WITH NEW FINISH GRADE AND SOD
- 8 INSTALL NEW LANDSCAPING IN AREA
- 9 NEW 4'-0" SIDEWALK / SEE FLOOR PLAN FOR CONSTRUCTION
- 10 NEW 4'-0" WIDE WOOD MAN GATE
- 11 NEW 10'-0" WIDE VEHICULAR WOOD GATE
- 12 FUTURE POOL EQUIPMENT LOCATION
- 13 3'-0" WIDE WOOD MAN GATE
- 14 AREA DESIGNATED FOR PLANTING BED
- 15 REMOVE EXISTING FENCE AT STREET FACING AREA



1 SITE PLAN
SCALE: 3/32" = 1'-0"

GENERAL NOTES

1. G.C. TO STORE AND PROTECT REMOVED ITEMS THAT WILL BE REINSTALLED OR REUSED. G.C. SHALL BE RESPONSIBLE FOR REPLACING DAMAGED OR STOLEN ITEMS AS A RESULT OF MISHANDLING OR IMPROPER STORAGE OR SECURITY.
2. G.C. SHALL EXERCISE PROPER PRECAUTION TO INSPECT THE CONSTRUCTION SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING A BID FOR THE CONSTRUCTION CONTRACT. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES IN THE DRAWINGS OR CONDITIONS OF THE SITE IMMEDIATELY. CONTRACTOR IS RESPONSIBLE FOR ANY ERRORS RESULTING FROM FAILURE TO EXERCISE SUCH PRECAUTION. SUCH ERRORS WILL NOT BE CONSIDERED SUBSEQUENTLY AS A BASIS FOR EXTRA MONETARY CONSIDERATION.
3. G.C. SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS. ANY ERROR OR INCONSISTENCY SHALL BE REPORTED TO ARCHITECT AND HIS DISPOSITION OBTAINED BEFORE ANY WORK IS BEGUN. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCES BETWEEN ACTUAL DIMENSIONS OF WORK AND THE MEASUREMENTS INDICATED ON THE CONSTRUCTION DOCUMENTS.
4. G.C. TO COORDINATE DEMOLITION WITH NEW CONSTRUCTION TO SALVAGE AND REUSE EXISTING MATERIALS AS NOTED IN THE DRAWINGS.
5. IF THERE ARE ANY DISCREPANCIES IN DRAWINGS AND SPECIFICATIONS, CONTACT THE ARCHITECT FOR CLARIFICATION IF NO COMMUNICATION IS MADE THE MOST STRINGENT REQUIREMENTS SHALL PREVAIL.
6. WHEN THE DRAWING INDICATES A PRODUCT OR A MATERIAL, BUT THE SPECIFICATION DOES NOT, G.C. SHALL NOTIFY THE ARCHITECT PRIOR TO COMMENCING WORK, AND PROVIDE THE ITEM AS INDICATED AND INSTALL PER THE MANUFACTURER'S DIRECTION.
7. ANY DAMAGE TO THE EXISTING FACILITY DUE TO CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BACK TO ORIGINAL CONDITION AT THE G.C.'S EXPENSE.
8. G.C. SHALL COORDINATE WORK DESCRIBED IN CONSTRUCTION DOCUMENTS SUCH THAT ALL WORK IS COMPLETED AS INDICATED IN THE DOCUMENTS. ANY ERRORS RESULTING FROM G.C.'S LACK OF COORDINATION AND DIRECTION SHALL BE CORRECTED AT G.C.'S EXPENSE, AND WILL NOT BE CONSIDERED AS A BASIS FOR EXTRA MONETARY CONSIDERATION.

GENERAL CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, AND MATERIALS FOR THE FOLLOWING SCOPE OF WORK :

- DEMOLITION:**
- A. PREPARE SITE FOR NEW CONSTRUCTION.
 - B. REMOVE FENCE AND CONCRETE PAVEMENT.
- SITE WORK:**
- A. ADD NEW CONCRETE SIDEWALKS AND DECOMPOSED GRANITE DRIVEWAY TO LINK TO NEW CARPORT AND GARAGE
 - B. NEW LANDSCAPE AND 1 X 6 CEDAR PLANK FENCING SURROUNDING THE HOUSE

- BUILDING CONSTRUCTION:**
- A. CONSTRUCT A NEW SINGLE FAMILY HOME
 - A.1. CONCRETE FOUNDATION, WOOD FRAMED CONSTRUCTION
 - A.2. PAINTED HARDIE TRIM AND HARDIE SIDING
 - A.3. PAINTED CEMENT PLASTER SIDING
 - A.4. PREFINISHED AND GALVALUME METAL ROOFING
 - A.5. STEEL EXTERIOR STAIR AND BRIDGE TO ROOF DECK
 - A.6. ROOF DECK COMPRISED OF SINGLE-PLY MEMBRANE ROOFING AND COMPOSITE DECKING ON SLEEPERS
 - A.7. ROOF DECK HAS A WOOD FRAMED SHADE STRUCTURE WITH FABRIC ROOF
 - B. CONSTRUCT A CARPORT AND GARAGE
 - B.1. CONCRETE FOUNDATION, WOOD FRAMED CONSTRUCTION
 - B.2. PAINTED HARDIE TRIM AND HARDIE SIDING
 - B.3. INSTALL PRE-FINISHED GARAGE DOORS
 - C. POOL
 - C.1. POOL SHOW FOR REFERENCE ONLY
 - C.2. REFER TO POOL INSTALLER DRAWINGS FOR UTILITY AND REQUIREMENTS AND APPURTENANCES

CODE REVIEW SUMMARY

ADDRESS: 820 HAYS STREET, SAN ANTONIO, TEXAS 78202
OWNER: CYNDA REZNEICK
LEGAL DESCRIPTION: NCB 1456 BLK D LOT 10

APPLICABLE CODES:

2015 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS
2015 INTERNATIONAL ENERGY CONSERVATION CODE

ZONING:

R-SH (RESIDENTIAL SINGLE-FAMILY)
DIGNOWITY HISTORIC DISTRICT

CONSTRUCTION TYPE:

CONCRETE FOUNDATION, WOOD FRAMING

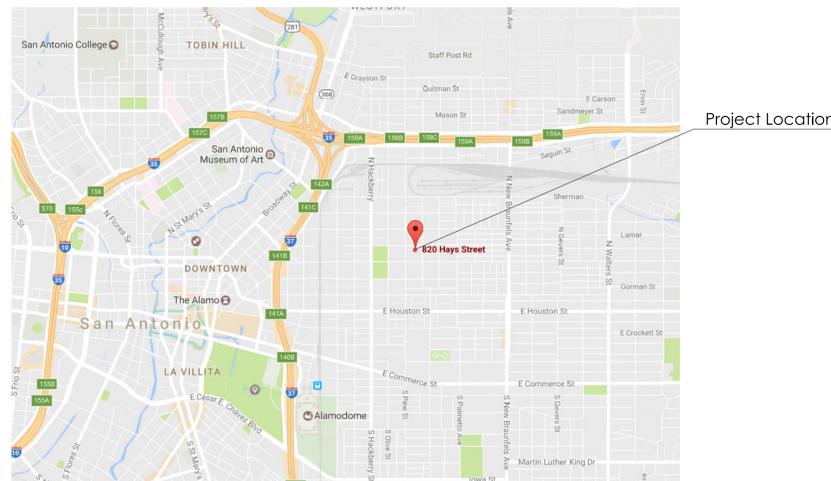
MAX. ALLOWABLE BLDG. HEIGHT AND AREA:

IN ZONE R-SH THE SQ. FOOTAGE LIMITATION IS BASED ON THE AVERAGE SQ. FOOTAGE IN THE DIGNOWITY HISTORIC DISTRICT. THE MAX HEIGHT IS 35' OR 2 1/2 STORIES BASED ON UDC TABLE 310.15-1

ACTUAL ALLOWABLE BLDG. HEIGHT AND AREA:

DWELLING= 17'-6" / 2,014 SQ. FT.
CARPORT= 14' / 384 SQ. FT.
GARAGE= 14' / 731 SQ. FT.

FIRE PROTECTION



2 LOCATION MAP
SCALE: N.T.S.

INDEX OF DRAWINGS

ARCHITECTURAL DRAWINGS

- A1.0 INDEX, LOCATION MAP, SITE PLAN, AND CODE REVIEW
- A2.0 FLOOR PLANS
- A2.1 ENLARGED FLOOR PLANS
- A2.2 ENLARGED STAIR PLAN AND SECTIONS
- A3.0 REFLECTED CEILING PLANS
- A3.1 ROOF PLANS
- A4.0 EXTERIOR ELEVATIONS OF DWELLING
- A4.1 EXTERIOR ELEVATIONS OF GARAGE
- A5.0 SECTIONS
- A5.1 GARAGE SECTIONS
- A5.2 PORCH SECTIONS
- A6.0 SECTION DETAILS
- A6.1 PLAN DETAILS
- A7.0 KITCHEN/INTERIOR ELEVATIONS
- A7.1 INTERIOR ELEVATIONS
- A8.0 DOOR AND WINDOW SCHEDULE
- A9.0 ROOM AND FINISH SCHEDULE

STRUCTURAL DRAWINGS

- S1 FOUNDATION PLAN
- S2 FOUNDATION SECTIONS
- S3 WIND BRACING PLAN
- S4 CEILING AND STAIRS FRAMING PLAN
- S5 ROOF FRAMING PLAN

DESIGN TEAM

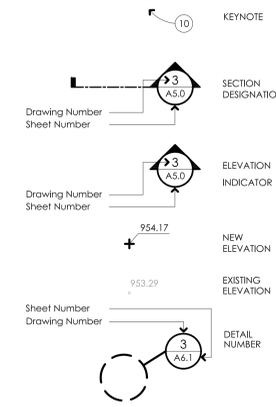
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jryanpe@bcglobal.net

ABBREVIATIONS

ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION
AFF	ABOVE FINISHED FLOOR	HCWD	HOLLOW CORE WOOD DOOR
ALT	ALTERNATE	HVAC	HEATING, VENTILATING AND AIR CONDITIONING
A/C	AIR CONDITIONER	MAT	MATCH
BLDG	BUILDING	MAX	MAXIMUM
CONC	CONCRETE	MEZZ	MEZZANINE
DWGS	DRAWINGS	N.I.C.	NOT IN CONTRACT
EXT	EXTERIOR	REF.	REFERENCE
EXIST	EXISTING	SQ FT	SQUARE FEET
FT	FEET	SCWD	SOLID CORE WOOD DOOR
IN	INCHES	TYP	TYPICAL
GALV	GALVANIZED	TAS	TEXAS ACCESSIBILITY STANDARDS
GYP. BD.	GYPSPUM BOARD	W/	WITH
HM	HOLLOW METAL	WD	WOOD

REFERENCE SYMBOLS



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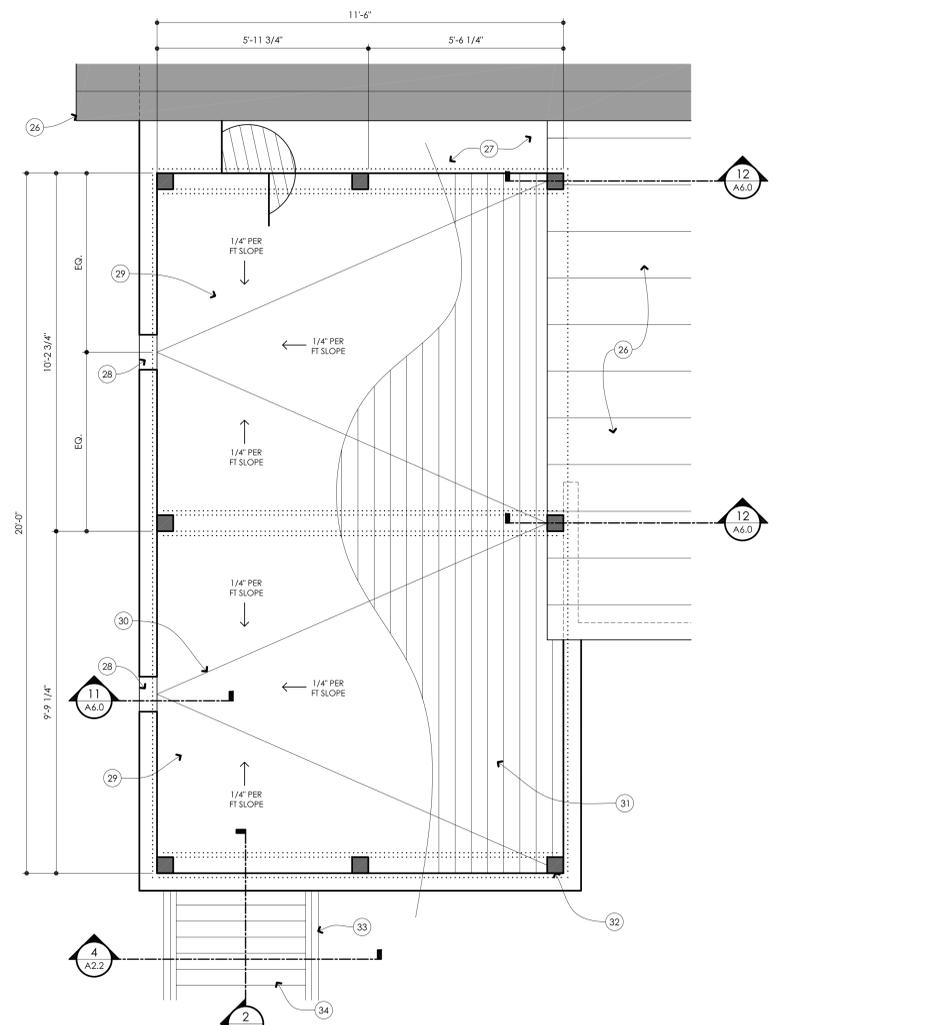
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INDEX, LOCATION MAP,
SITE PLAN, AND CODE REVIEW

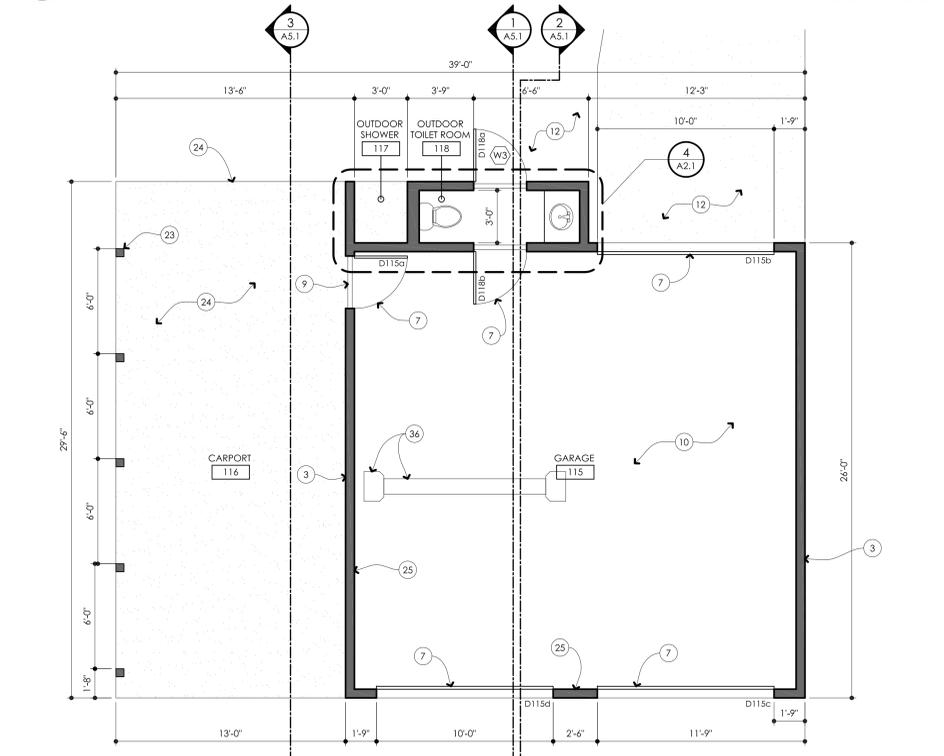
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1 OF 22 SHEETS

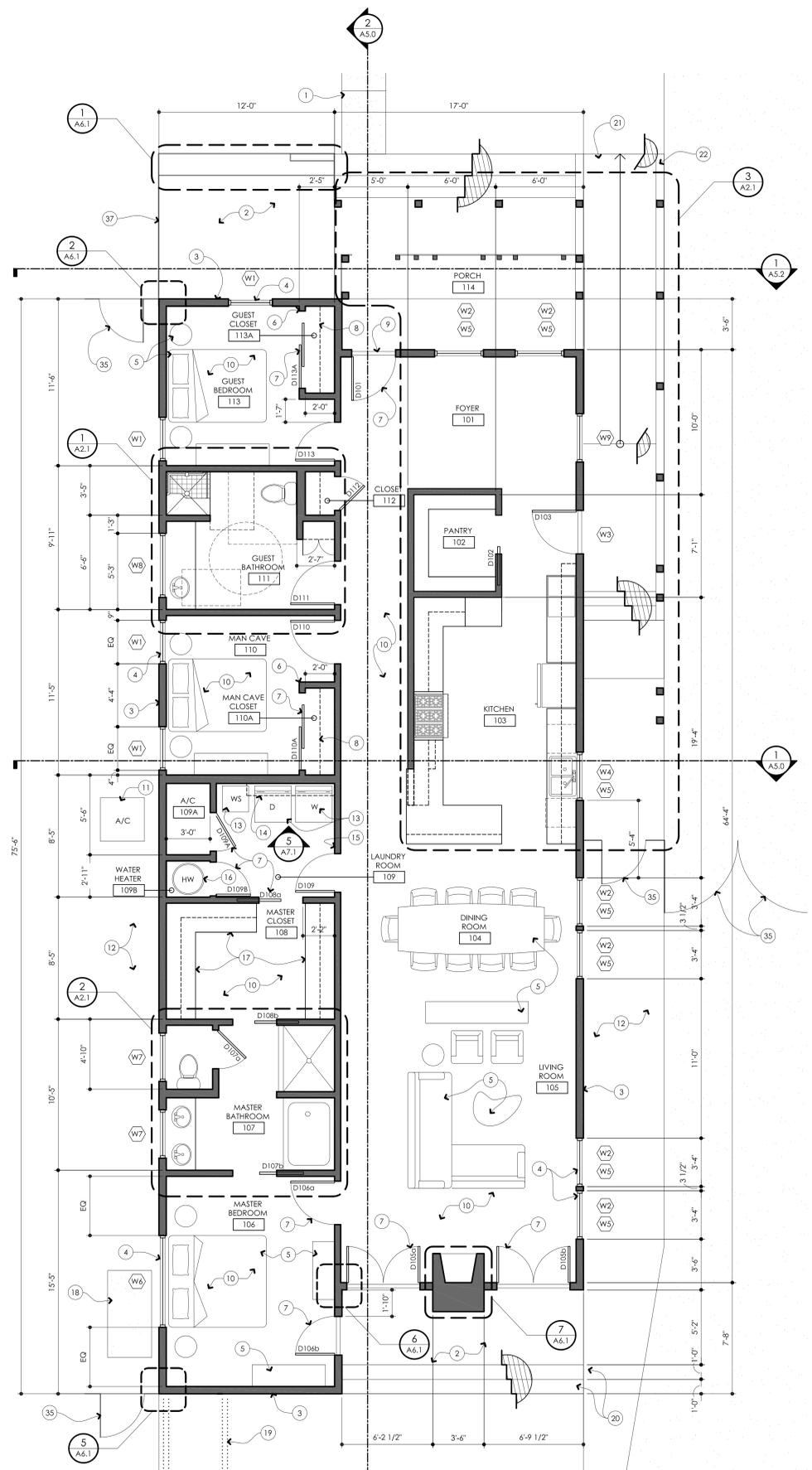
Review Documents



3 ROOF DECK PLAN
SCALE: 1/2" = 1'-0"



1 GARAGE FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 DWELLING FLOOR PLAN
SCALE: 1/4" = 1'-0"

KEY NOTES

- 1 4" THICK REINFORCED CONCRETE SIDEWALK OVER 4" DEPTH COMPACTED FILL OVER COMPACTED GRADE WITH 4X4 - W2.9 X W2.9 WIRE REINFORCEMENT CENTERED ON PAVEMENT
- 2 CONCRETE PORCH / LIGHT BROOM FINISH / SEE STRUCTURAL DRAWINGS
- 3 EXTERIOR WALL CONSTRUCTION / SEE EXTERIOR ELEVATIONS FOR FINISH AND TRIM LOCATIONS / ENSURE ENTIRE EXTERIOR IS WEATHERPROOFED
- 4 WINDOW / SEE WINDOW SCHEDULE
- 5 FURNITURE / N.I.C.
- 6 INTERIOR WALL CONSTRUCTION / 2X4 STUD WALL WITH 1/2" GYPSUM BOARD ON ALL SIDES / PAINT
- 7 DOOR / SEE DOOR SCHEDULE / PROVIDE ALL HARDWARE AND APPURTENANCES TO ALLOW DOOR TO FUNCTION PROPERLY
- 8 CLOSET ROD AND PAINTED 3/4" WOOD SHELF ANCHORED TO WALL / PROVIDE BLOCKING WITHIN WALL TO SUPPORT SYSTEM
- 9 ALUMINUM THRESHOLD / PROVIDE HANDICAP COMPLIANT UNIT / INSTALL WITH TWO BEADS OF SEALANT ALONG BOTTOM OF UNIT
- 10 SEE FINISH SCHEDULE AND INTERIOR ELEVATIONS FOR ALL FINISH APPLICATIONS
- 11 AIR CONDITIONING CONDENSER UNIT LOCATION / PROVIDE MINIMUM 4" THICK CONCRETE PAD TO PLACE UNIT / PROVIDE SIZE AS REQUIRED BY A/C MANUFACTURER WRITTEN INSTRUCTIONS
- 12 NEW SITE IMPROVEMENTS / SEE SITE PLANS
- 13 NEW APPLIANCES / PROVIDE ALL UTILITIES FOR EACH DEVICE / REFER TO PRODUCT MANUALS FOR REQUIREMENTS
- 14 WOOD SHELVING ABOVE / SEE INTERIOR ELEVATIONS / PROVIDE BLOCKING WITHIN WALL TO SUPPORT
- 15 PROPOSED ELECTRICAL PANEL LOCATIONS
- 16 PROVIDE AND INSTALL WATER HEATER AND ALL REQUIRED UTILITIES
- 17 ELFA CLOSET SYSTEM / PROVIDE AND INSTALL PER ELFA SHOP DRAWINGS / PROVIDE AND INSTALL CONTINUOUS BLOCKING WITHIN WALLS TO SUPPORT THE SYSTEM
- 18 PROVIDE AND INSTALL 4" CONCRETE PAD FOR POOL EQUIPMENT / COORDINATE WITH POOL DESIGNER ON EXACT SIZE AND LOCATION
- 19 STEEL BRIDGE ABOVE / SEE EXTERIOR ELEVATIONS
- 20 CONCRETE STEPS / SEE EXTERIOR ELEVATIONS AND SECTIONS / LIGHT BROOM FINISH
- 21 REINFORCED CONCRETE RAMP / SEE ENLARGED FLOOR PLANS
- 22 REINFORCED CONCRETE WALL ALONG RAMP / SEE ENLARGED FLOOR PLANS AND EXTERIOR ELEVATIONS
- 23 6X6 S4S CEDAR COLUMN / PAINT / ANCHOR TO CONCRETE FOUNDATION WITH SIMPSON COLUMN ANCHORS
- 24 REINFORCED CONCRETE CARPORT DRIVEWAY / LIGHT BROOM FINISH
- 25 INTERIOR WALL FINISH / SEE BUILDING SECTION
- 26 ROOF BEYOND
- 27 ROOF CURB WRAPPED WITH SINGLE PLY MEMBRANE ROOFING AND TOPPED WITH METAL DECKING
- 28 THRU WALL SCUPPER / ENSURE ALL ROOFING AND FLASHING IS SEALED TIGHT TO PREVENT WATER INTRUSION
- 29 SINGLE PLY MEMBRANE ROOFING OVER TAPERED RIGID INSULATION
- 30 VALLEY WITHIN TAPERED ROOFING
- 31 COMPOSITE DECKING OVER SINGLE PLY MEMBRANE ROOFING / INSTALL SLEEPERS UNDER DECKING TO ALLOW FOR DRAINAGE
- 32 6X6 CEDAR COLUMN ANCHORED THROUGH TO ROOF STRUCTURE / PAINT
- 33 STEEL BRIDGE AND RAILING / SEE EXTERIOR ELEVATIONS
- 34 COMPOSITE DECKING OVER STEEL BRIDGE FRAMING
- 35 WOOD GATE / SEE SITE PLAN
- 36 AUTO LIFT / INSTALL PER MANUFACTURERS REQUIREMENTS / PROVIDE ADEQUATE FOUNDATION FOR LOADS PER MANUFACTURER AND STRUCTURAL ENGINEER REQUIREMENTS
- 37 CORTEEN STEEL PLANTER / SEE DETAILS

LEGEND

- ROOF LINE ABOVE
- NEW WALL CONSTRUCTION

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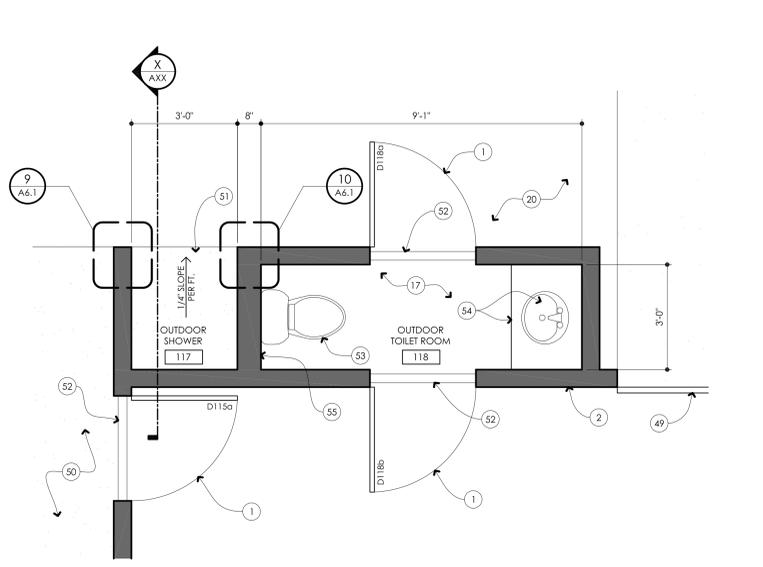
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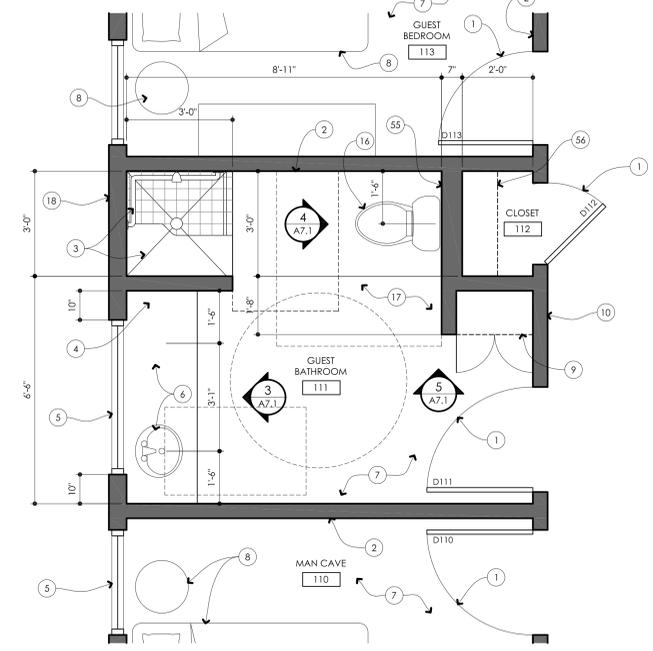
FLOOR PLANS

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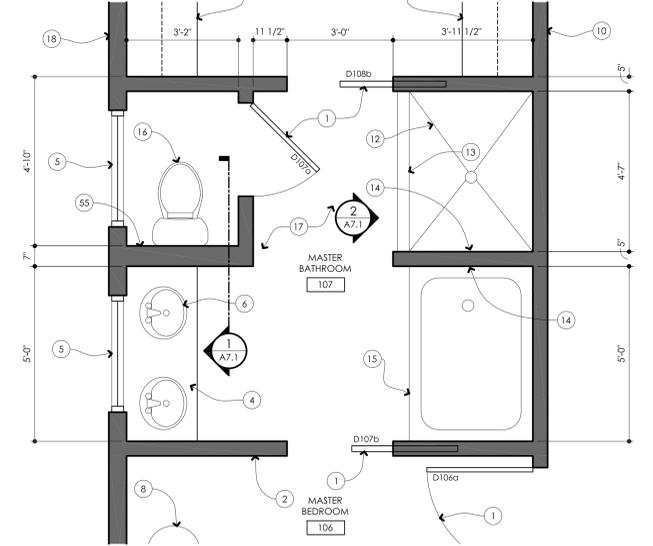
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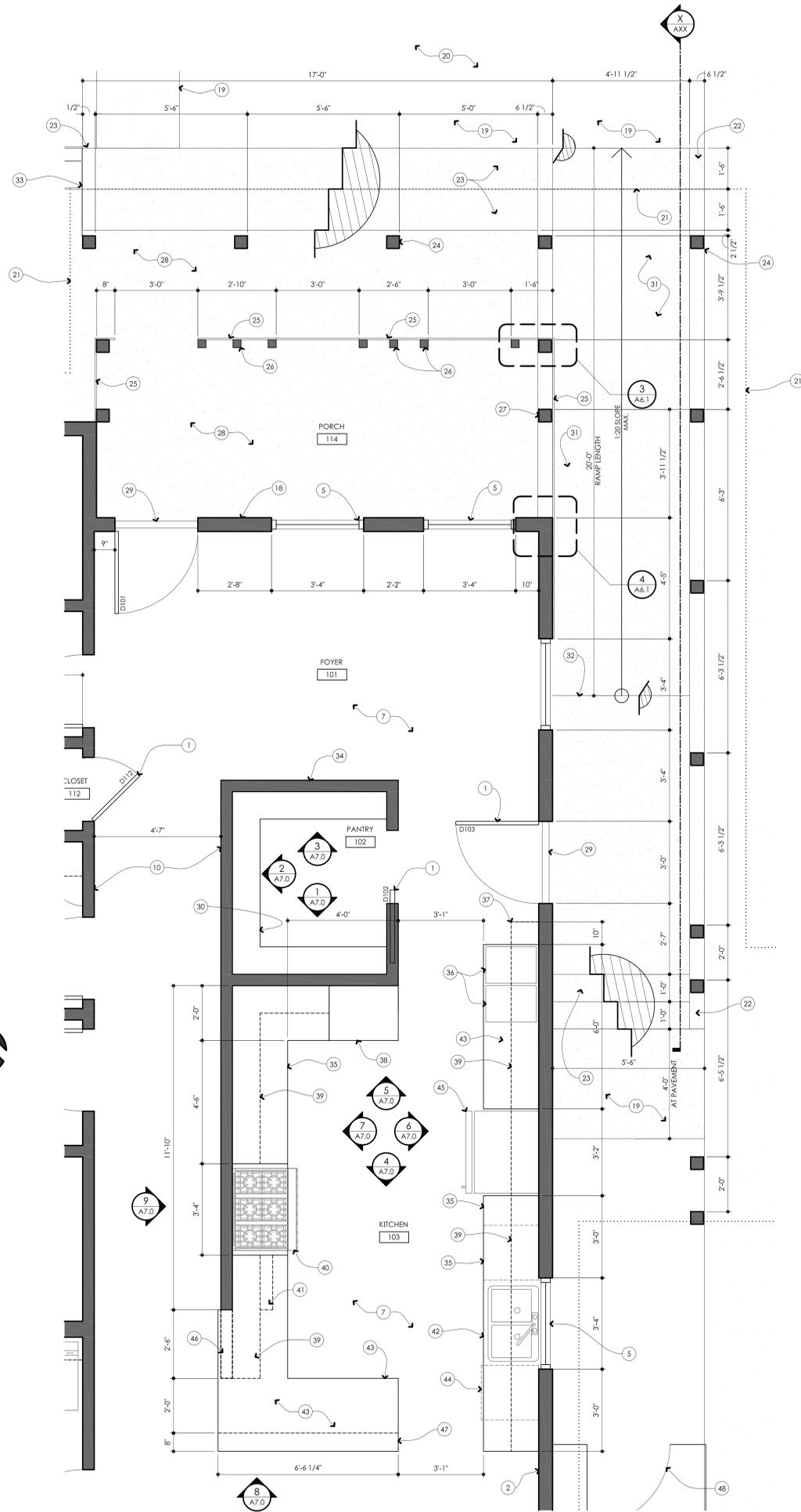
4 GARAGE BATH ENLARGED FLOOR PLAN
SCALE: 1/2" = 1'-0"



1 GUEST BATH ENLARGED FLOOR PLAN
SCALE: 1/2" = 1'-0"



2 MASTER BATH ENLARGED FLOOR PLAN
SCALE: 1/2" = 1'-0"



3 KITCHEN AND FRONT PORCH ENLARGED FLOOR PLAN
SCALE: 1/2" = 1'-0"

KEY NOTES

- 1 DOOR / SEE DOOR SCHEDULE
- 2 GYPSUM BOARD WALL WITH PAINTED FINISH
- 3 HANDICAP COMPLIANT SHOWER STALL / SEE INTERIOR ELEVATION DRAWINGS
- 4 SINK VANITY / SEE INTERIOR ELEVATION DRAWINGS
- 5 WINDOW / SEE WINDOW SCHEDULE
- 6 SINK / SEE INTERIOR ELEVATION DRAWINGS
- 7 SEE INTERIOR ELEVATION DRAWINGS AND FINISH SCHEDULE FOR ROOM FINISHES
- 8 FURNITURE / N.J.C.
- 9 LINEN CLOSET WITH PAINTED WOOD SHELVING / USE OIL BASED PAINT ON ALL SHELVES / SEE INTERIOR ELEVATIONS
- 10 SEE BUILDING SECTIONS FOR FINISHES ON HALLWAY WALLS
- 11 ELFA CLOSET SYSTEM / PROVIDE CONTINUOUS BLOCKING WITHIN WALL / REVIEW OWNER PROVIDED DESIGN LAYOUT AND INSTALL SYSTEM
- 12 TILE SHOWER PAN WITH SCHLUTER KERDI-SHOWER-KIT / SLOPE TO DRAIN / INSTALL DRAIN AS SELECTED BY OWNER
- 13 FABRICATE CURB 4" HIGH AND 4" WIDE WITH TREATED LUMBER AND BACKER BOARD / COVER WITH KERDI-SHOWER-KIT
- 14 FAUCET LOCATION / SEE INTERIOR ELEVATIONS / PROVIDE AND INSTALL FAUCET AS SELECTED BY OWNER
- 15 INSTALL PREFORMED TUB WITH ENCLOSED SIDE PANEL / AS SELECTED BY OWNER
- 16 INSTALL TOILET / AS SELECTED BY OWNER
- 17 INSTALL ALL TOILET ACCESSORIES INCLUDING, BUT NOT LIMITED TO: TOWEL BARS, TOILET, PAPER HOLDER, ETC.
- 18 EXTERIOR WALL CONSTRUCTION / SEE EXTERIOR ELEVATIONS FOR FINISH AND TRIM LOCATION / ENSURE ENTIRE EXTERIOR IS WEATHERPROOFED
- 19 SIDEWALK / SEE SITE PLAN AND OVERALL FLOOR PLAN
- 20 SITEWORK / SEE SITE PLAN
- 21 ROOFLINE ABOVE / SEE EXTERIOR ELEVATIONS AND ROOF PLAN
- 22 REINFORCED CONCRETE WALL / SEE EXTERIOR ELEVATIONS
- 23 CONCRETE STEPS / SEE STRUCTURAL DRAWINGS AND EXTERIOR ELEVATIONS / LIGHT BROOM FINISH
- 24 6X6 CYPRESS COLUMN ANCHORED TO CONCRETE FOUNDATION WITH SIMPSON COLUMN ANCHOR / PAINT COLUMN / SEE EXTERIOR ELEVATIONS
- 25 2X6 CYPRESS LUMBER FASTENED TO PORCH SUPPORTS / SEE EXTERIOR ELEVATIONS FOR PATTERN AND SPACING
- 26 4X4 INTERMEDIATE PORCH COLUMN SUPPORTS ANCHOR TO FOUNDATION WITH SIMPSON COLUMN ANCHORS / PAINT
- 27 6X6 CYPRESS MAIN COLUMN PORCH SUPPORTS / PAINTS
- 28 CONCRETE PORCH FOUNDATION / LIGHT BROOM FINISH
- 29 HANDICAP COMPLIANT ALUMINUM DOOR THRESHOLD / SET INTO DOUBLE BEAD WITH SEALANT PRIOR TO ANCHORING TO FOUNDATION
- 30 PANTRY SHELVING / SEE INTERIOR ELEVATION
- 31 HANDICAP COMPLIANT CONCRETE RAMP WITH LIGHT BROOM FINISH / SHALL BE INTEGRAL WITH REINFORCED CONCRETE FOUNDATION
- 32 RAMP TRANSITION POINT
- 33 CORTEN STEEL PLANTER WITH INTEGRAL LIGHTING AND ADDRESS ANCHORED TO CONCRETE FOUNDATION / SEE DETAIL
- 34 CLAD WALL TO MATCH HALLWAY WALL / SEE BUILDING SECTION
- 35 LOWER CABINETS / SEE INTERIOR ELEVATION DRAWINGS
- 36 LOCATIONS FOR RECYCLE AND WASTE RECEPTACLE CABINETS / SEE INTERIOR ELEVATION DRAWINGS
- 37 12" DEEP STAINED SHELVING / SEE INTERIOR ELEVATION DRAWINGS
- 38 TALL CABINET TO MATCH FINISH OF LOWER CABINETS / SEE INTERIOR ELEVATION DRAWINGS
- 39 UPPER CABINETS INDICATED WITH DASHED LINE / SEE INTERIOR ELEVATION DRAWINGS
- 40 VENT HOOD CENTERED ABOVE COOKTOP / SEE INTERIOR ELEVATIONS / PROVIDE POWER AND DUCTING TO ROOF
- 41 MICROWAVE AND MICROWAVE SHELVING UNIT IN CABINET TO SUPPORT MICROWAVE / SEE INTERIOR ELEVATION DRAWINGS / PROVIDE ELECTRICAL OUTLET FOR MICROWAVE
- 42 SINK CABINET, SINK, AND FAUCET / PROVIDE ALL PLUMBING AND APPURTENANCES TO INSTALL SINK AND FAUCET
- 43 QUARTZ COUNTERTOP / PROVIDE AND INSTALL / COLOR AS SELECTED BY OWNER / SEE INTERIOR ELEVATION DRAWINGS
- 44 WINE COOLER LOCATION / PROVIDE AND INSTALL POWER AND CABINET SURROUND TO ALLOW DEVICE TO FUNCTION PROPERLY / SEE INTERIOR ELEVATION DRAWINGS
- 45 REFRIGERATOR LOCATION / REVIEW EXACT MODEL AND TYPE OF APPLIANCE PRIOR TO CABINET INSTALLATION / SEE INTERIOR ELEVATION DRAWINGS
- 46 OPENING UNDER WALL PARTITION TRIM OUT ALL EDGES / SEE INTERIOR ELEVATION DRAWINGS
- 47 COUNTERTOP OVERHANG / SEE INTERIOR ELEVATIONS
- 48 WOOD GATE / SEE SITE PLAN
- 49 OVERHEAD DOOR / SEE EXTERIOR ELEVATION DRAWINGS AND DOOR SCHEDULE
- 50 CARPORT SLAB / LIGHT BROOM FINISH / SEE GARAGE FLOOR PLANS AND STRUCTURAL DRAWINGS
- 51 CONCRETE AT SHOWER TO BE RAISED 5" ABOVE SLAB / SEE DETAIL / TROWEL FINISH
- 52 ALUMINUM THRESHOLD SET INTO DOUBLE BEAD OF SEALANT PRIOR TO ANCHORING TO CONCRETE FOUNDATION
- 53 INSTALL TOILET AS SELECTED BY OWNER / SEE BUILDING SECTION
- 54 INSTALL SINK AND CABINET FAUCET AS SELECTED BY OWNER
- 55 6" GYPSUM BOARD PLUMBING WALL LOCATED AT TOILET / INSTALL MOISTURE RESISTANT GYPSUM BOARD AT ALL PLUMBING FIXTURE LOCATIONS / SEE FINISH SCHEDULE
- 56 INSTALL CLOSET ROD AND PAINTED SHELF / PAINT WITH OIL BASED PAINT

LEGEND

- ROOF LINE ABOVE
- NEW WALL CONSTRUCTION

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ENLARGED FLOOR PLANS

SHEET
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08 SEPTEMBER 2017

REFLECTED CEILING PLANS

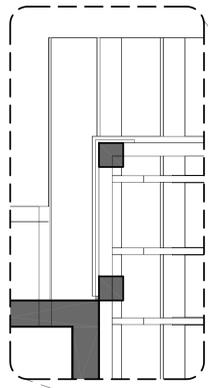
SHEET
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5 OF 22 SHEETS

KEY NOTES

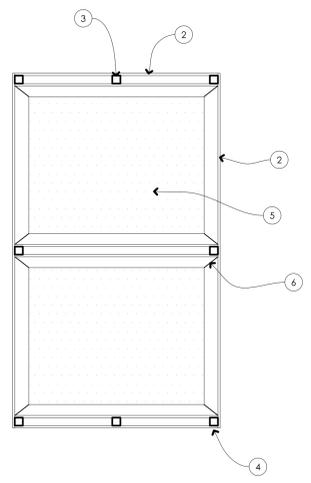
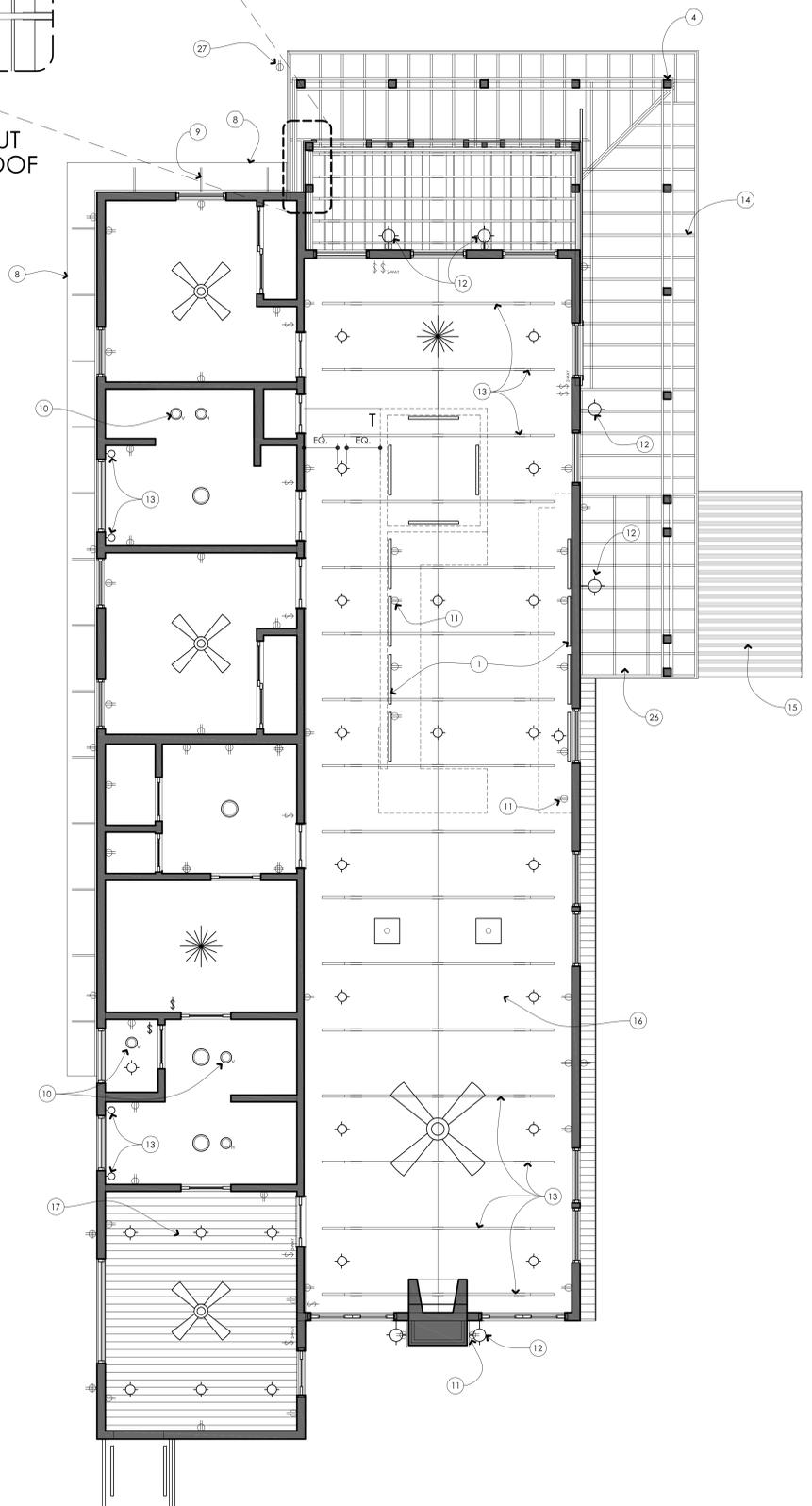
- 1 REVIEW UNDER COUNTER POWER STRIP AND LIGHTING WITH OWNER PRIOR TO INSTALLATION
- 2 ROOF CANOPY RAFTER ANCHORED TO COLUMN / PAINT
- 3 ROOF CANOPY COLUMN / PAINT
- 4 COLUMN / SEE FLOOR PLAN
- 5 FABRIC SHADE CLOTH / UTILIZE TRIVANTAGE OR AS APPROVED BY OWNER / ARCHITECT
- 6 STAINLESS STEEL CABLE AND ANCHORS ATTACHED TO SHADE CLOTH AND ANCHORED TO COLUMNS AND BEAM
- 7 5/16" HARDIE PANEL ATTACHED TO ROOF RAFTERS / PAINT / SEE DETAILS / OPEN TO ABOVE
- 8 2X4 CEDAR EAVE TRIM / PAINT / SEE DETAILS
- 9 WOOD BATTEN TRIM / INSTALL AS SHOWN / ALIGN HARDIE PANEL JOINTS TO BATTENS / PAINTS
- 10 RESTROOM VENT AND HEATER / SEE LEGEND / PROVIDE DUCTING AND POWER / TYP.
- 11 DUPLEX OUTLET / INSTALL PER NEC AND IRC TYP.
- 12 WALL SCONCE / SEE LEGEND / INSTALL CENTERED ON WALL AT 6'-0" A.F.F. TO CENTER OF FIXTURE
- 13 EXPOSED ROOF TRUSSES / PAINT
- 14 PORCH RAFTER / PAINT
- 15 CORRUGATED METAL DECK CANTILEVERED FROM PORCH STRUCTURE / SEE EXTERIOR ELEVATIONS
- 16 1/2" PAINTED GYPSUM BOARD CEILING
- 17 SHIPLAP APPLIED TO CEILING / PAINT
- 18 GYPSUM BOARD CEILING / SEE GARAGE DRAWINGS
- 19 ROOF OVERHANG / SEE GARAGE DRAWINGS
- 20 PAINT PLYWOOD DECK
- 21 PAINT EXPOSED RAFTERS
- 22 INSTALL SCONCE LIGHTS AT 7'-6" A.F.F. TO CENTER OF FIXTURE
- 23 LIGHT HUNG FROM ROOF STRUCTURE / LOCATE AS TO AVOID CONFLICTING WITH GARAGE DOOR, TRACK, AND LIFT
- 24 WALL MOUNTED STRIP FLORESCENT LIGHT FIXTURE MOUNTED AT 8'-0" A.F.F.
- 25 DASHED LINE INDICATING VEHICLE ON LIFT
- 26 PAINT EXPOSED PLYWOOD PORCH DECK / SEE DETAILS
- 27 INSTALL GFCI OUTLET AT PLANTER TO ILLUMINATE HOUSE NUMBERS

LEGEND

- CEILING FAN
- SURFACE MOUNT LIGHT
- VENT
- HEATER
- SCONCE
- PENDANT
- STRIP LED'S (ABOVE AND BELOW CABINETS)(ON WALL IN PANTRY)
- VANITY SCONCE
- BURST LIGHT (PURCHASED)
- SHOP LIGHT
- PENDANT LIGHTS CHOSEN AT FURGESON
- SHIPLAP CEILING FASTENED TO GYPSUM BOARD CEILING
- GYPSUM BOARD CEILING
- LARGE CEILING FAN
- DUPLEX OUTLET
- QUAD OUTLET
- LIGHT SWITCH PANEL
- THERMOSTAT LOCATION

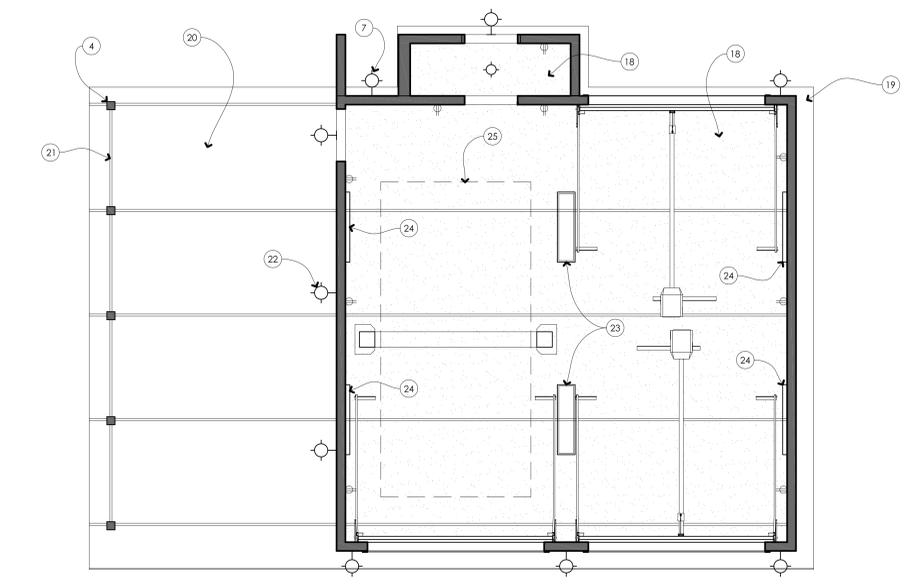


SECTION CUT AT HIGH ROOF



3 ROOF DECK REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"



1 GARAGE REFLECTED CEILING PLAN

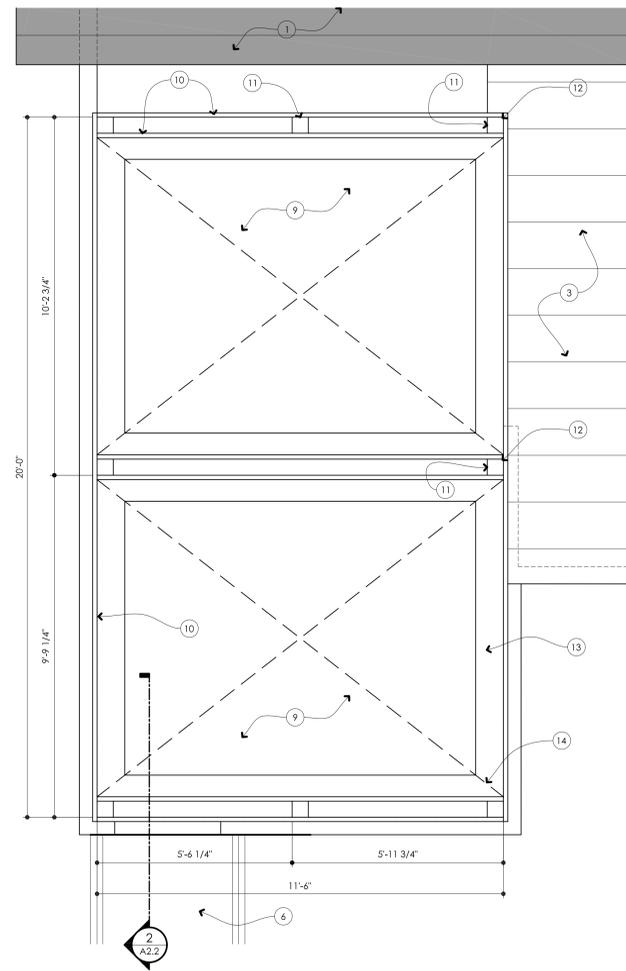
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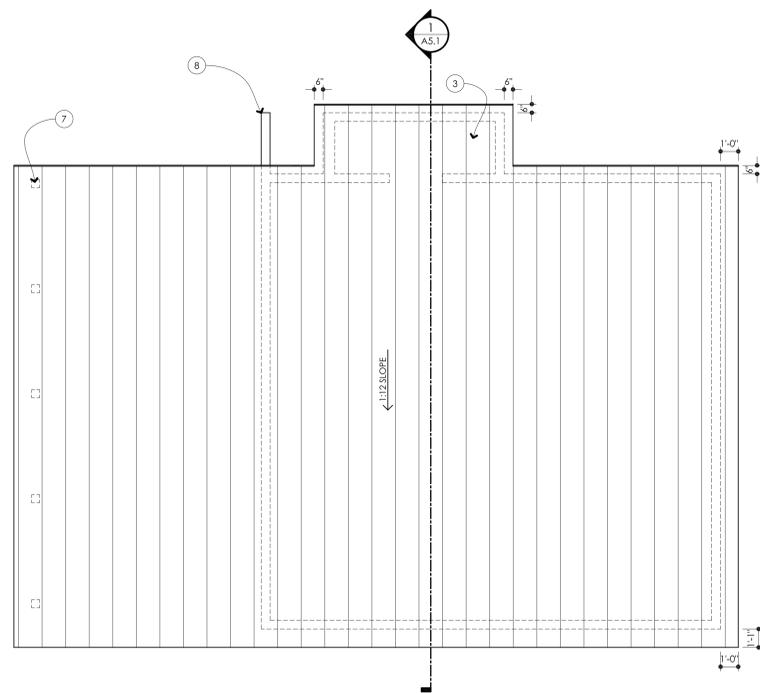
2 DWELLING REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

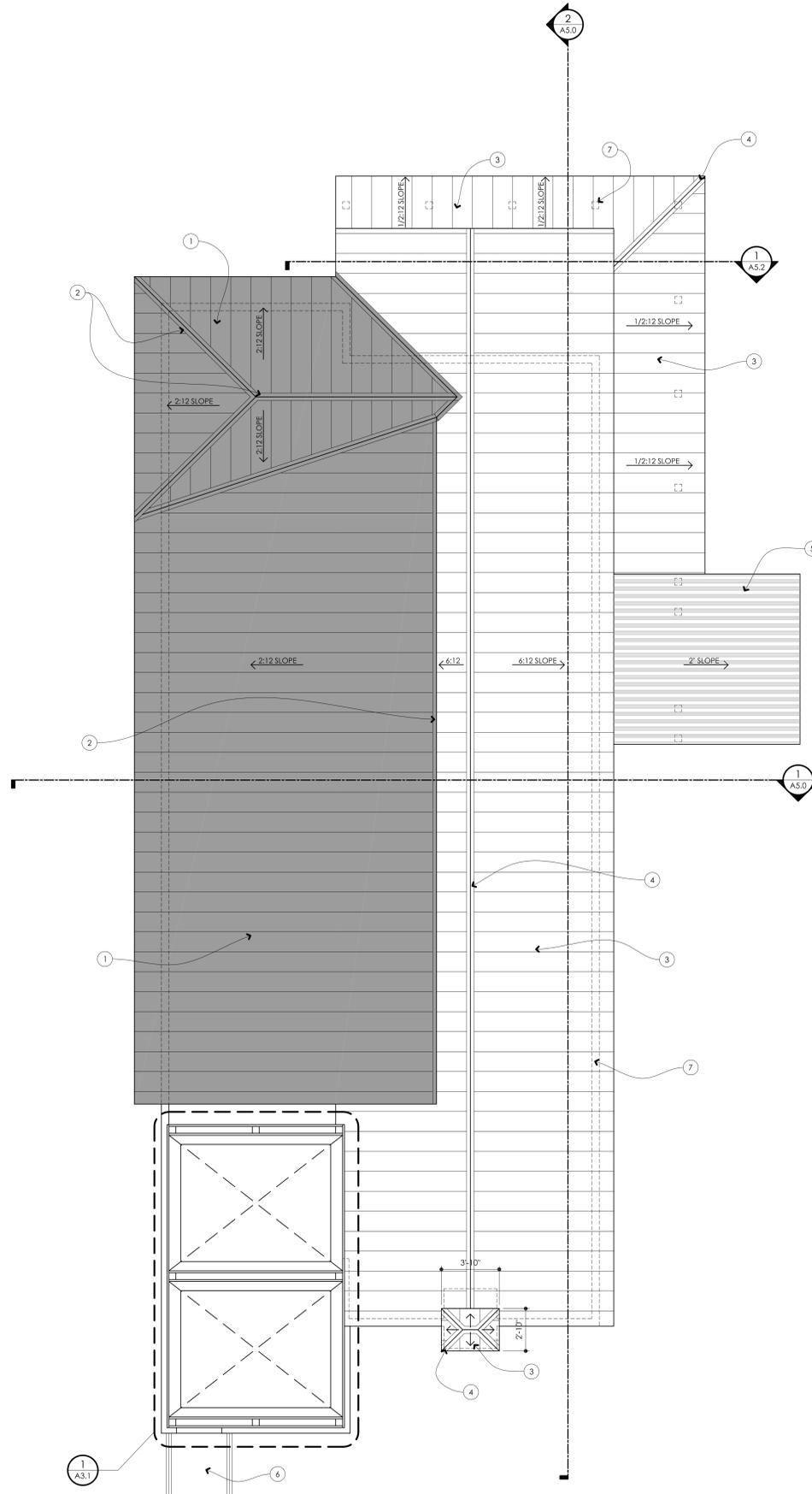




1 ENLARGED ROOF DECK PLAN
SCALE: 1/2" = 1'-0"



2 GARAGE ROOF PLAN
SCALE: 1/4" = 1'-0"



3 DWELLING ROOF PLAN
SCALE: 1/4" = 1'-0"



KEY NOTES

- 1 PRE-FINISHED STANDING SEAM METAL ROOFING WITH BRONZE COLOR COATING (ON WEST FACING WING OF HOUSE)
- 2 PRE-FINISHED CAP FLASHING WITH BRONZE COLOR OVER PRE-FINISHED METAL ROOF
- 3 GALVALUME STANDING SEAM METAL ROOFING
- 4 GALVALUME CAP FLASHING OVER GALVALUME ROOFING MATERIAL
- 5 CORRUGATED METAL ROOF DECK CANTILEVERED FROM PORCH ROOF STRUCTURE / FASTEN WITH EXPOSED FASTENERS
- 6 BRIDGE ACCESS TO ROOF DECK / SEE ENLARGED STAIR DRAWINGS
- 7 PLAN VIEW ELEMENTS SHOWN DASHED FOR REFERENCE
- 8 INSTALL CAP FLASHING ON TOP OF WING WALL TO SHED WATER AWAY FROM SHOWER
- 9 FABRIC SHADE CLOTH ATTACHED TO WOOD ROOF STRUCTURE WITH STAINLESS STEEL CABLES AND HARDWARE / COLOR AS SELECTED BY OWNER
- 10 2X SHADE STRUCTURE ROOF FRAME / SEE EXTERIOR ELEVATIONS AND SECTIONS / PAINT
- 11 COLUMN TO SUPPORT ROOF OF SHADE STRUCTURE / PAINT
- 12 INSTALL FLASHING AROUND COLUMN / ROOF INTERSECTION TO TRANSITION BETWEEN ROOF PLANE AND COLUMN PLANE / WRAP COLUMN IN RIGID METAL FLASHING AND SEAL TO FACE OF WOOD
- 13 ROOF DECK AND TAPERED ROOFING BELOW / SEE PLAN VIEW
- 14 STAINLESS STEEL CABLE AND HARDWARE CONNECTION TO SHADE STRUCTURE FRAME

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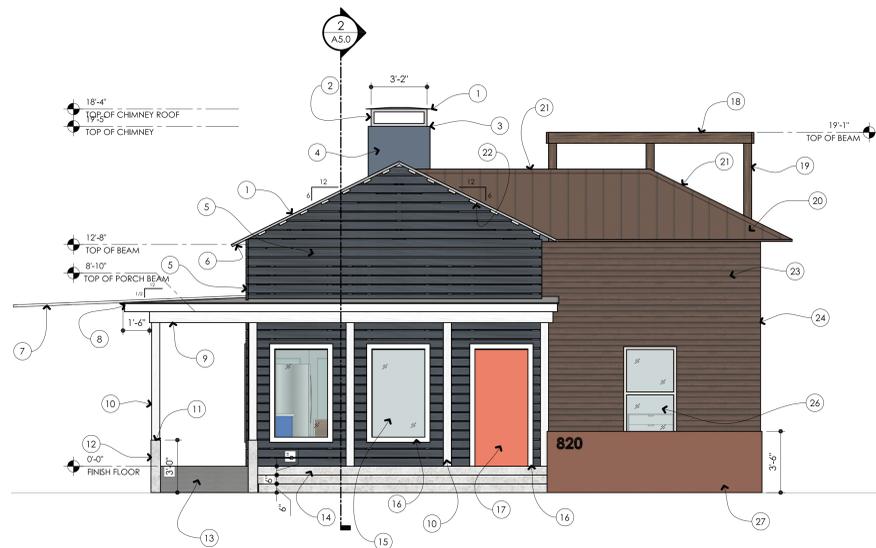
ROOF PLANS

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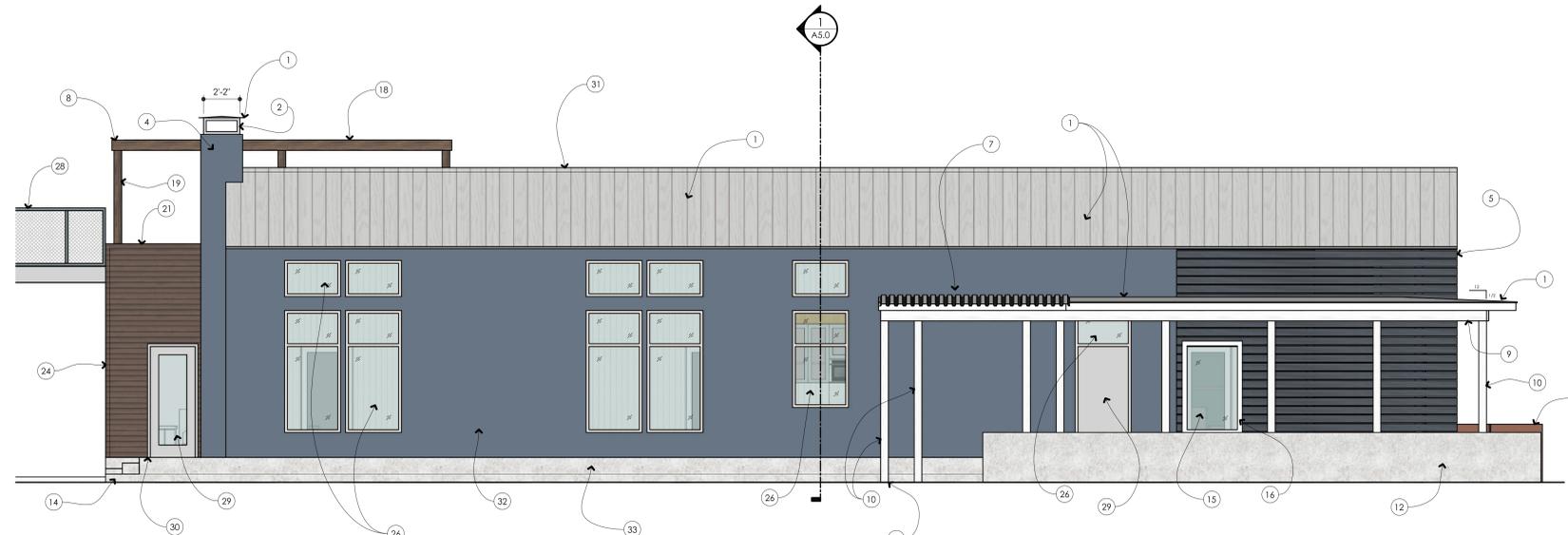
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KEY NOTES

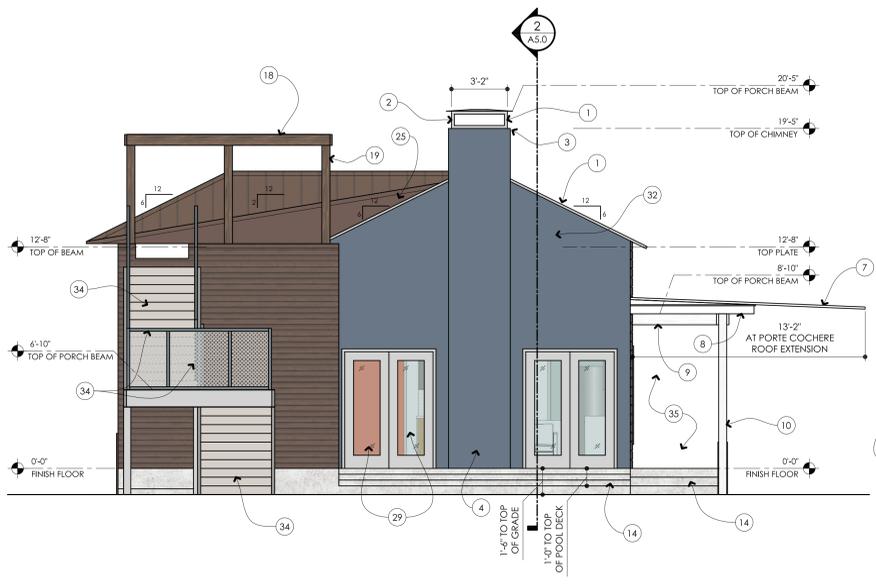
- 1 24 GAUGE STANDING SEAM METAL ROOFING INCLUDING ALL FLASHING, DRIP EDGES, AND COPING REQUIRED FOR COMPLETE INSTALLATION / SEE ROOF PLAN
- 2 2X2 FRAME ANCHORED TO CHIMNEY CAP TO SUPPORT CHIMNEY ROOF / PAINT WITH HEAT RESISTANT PAINT
- 3 INSTALL 24 GAUGE CAP FLASHING AT TOP OF CEMENT PLASTER CHIMNEY WALL / PAINT TO MATCH WALL
- 4 3-COAT 3/4" CEMENT PLASTER CHIMNEY WALL / PAINT
- 5 2X6 CYPRESS PORCH SLATS ANCHORED TO VERTICAL STRUCTURE WITHIN PORCH / PAINT / SPACE EVENLY WITH 1/4" GAP BETWEEN BOARDS
- 6 ROOF OVERHANG / SEE BUILDING SECTION AND DETAILS
- 7 CANTILEVERED GALVALUME ROOF DECK ANCHORED TO PORCH STRUCTURE WITH EXPOSED FASTENER
- 8 2X6 PORCH FASCIA AND ROOF FRAMING / PAINT
- 9 DOUBLE 2X8 PORCH BEAM ANCHORED TO FRONT AND BACK FACE OF COLUMN / PAINT
- 10 6X6 S4S CYPRESS COLUMN CHAMFER CORNERS 1/4" SAND SMOOTH / PAINT / ANCHOR TO CONCRETE USING SIMPSON PRE-FINISHED COLUMN ANCHOR
- 11 SIMPSON EXPOSED PRE-FINISHED COLUMN ANCHOR EMBEDDED INTO CONCRETE / ANCHOR BASE OF COLUMN
- 12 BOARD FORMED CONCRETE WALL / ENSURE FORM IS STRAIGHT AND PLUMB PRIOR TO POUR / PROTECT SURFACE THROUGHOUT THE DURATION OF CONSTRUCTION
- 13 CONCRETE RAMP WITH 1:20 MAX SLOPE / LIGHT BROOM FINISH / SEE ENLARGED PLANS
- 14 CONCRETE STEPS WITH LIGHT BROOM FINISH
- 15 CASED OPENING WITHIN SCREEN PORCH WALL / WINDOW BEYOND
- 16 1X4 TRIM ANCHORED TO 2X6 PORCH SLATS / PAINT
- 17 CASED OPENING AT PORCH / FRONT DOOR BEYOND
- 18 2X8 SHADE STRUCTURE FRAME / PAINT
- 19 6X6 SHADE STRUCTURE COLUMN ANCHORED TO ROOF STRUCTURE BELOW / PAINT / INSTALL FLASHING AROUND EACH COLUMN TO ENSURE NO WATER INTRUSION
- 20 24 GAUGE PRE-FINISHED BRONZE STANDING SEAM METAL ROOFING INCLUDING ALL FLASHING, DRIP EDGES, AND COPING REQUIRED FOR COMPLETE INSTALLATION / SEE ROOF PLAN
- 21 INSTALL 24 GAUGE BRONZE CAP FLASHING TO MATCH ROOF FINISH AND GAUGE
- 22 2X6 ROOF LOOKOUTS TO SUPPORT ROOF OVERHANG / PAINT
- 23 4" EXPOSURE SMOOTH FACE HARDIE PANEL SIDING PAINTED TO MATCH BRONZE ROOFING
- 24 1X4 TRIM INSTALLED TO ABUT HARDIE TRIM / ONE TRIM PER CORNER / EDGE OF BOARD TO FACE NORTH AND SOUTH / SEE DETAILS
- 25 FACE OF ROOF TO HAVE STANDING SEAM METAL OVER 5/8" DECK ANCHORED TO 2X WALL FRAMING
- 26 WINDOW / SEE SCHEDULE
- 27 1" CORTEN STEEL PLANTER WITH HOUSE NUMBER CUTOUTS / SEE DETAILS
- 28 BRIDGE RAILING / SEE ENLARGED STAIR DRAWINGS
- 29 DOOR / SEE DOOR SCHEDULE
- 30 DOOR CASING / PAINT
- 31 24 GAUGE GALVALUME RIDGE CAP AT GALVALUME ROOFING
- 32 3-COAT 3/4" PORTLAND CEMENT PLASTER WALL FINISH / SEE SECTION DETAILS / PAINT
- 33 CONCRETE FOUNDATION / SEE STRUCTURAL DRAWINGS
- 34 STEEL STAIR AND RAILING / SEE ENLARGED STAIR AND BRIDGE PLANS
- 35 OPEN TO BEYOND
- 36 2X6 SLATS EXTENDED FROM FACE OF PORCH WALL / PAINT
- 37 A/C CONDENSER UNIT AND CONCRETE PAD LOCATION / SEE FLOOR PLAN
- 38 FUTURE POOL EQUIPMENT LOCATION / SEE SITE PLAN
- 39 NEW GRADING AND LANDSCAPE / ENSURE POSITIVE DRAINAGE AWAY FROM DWELLING AND GARAGE STRUCTURES



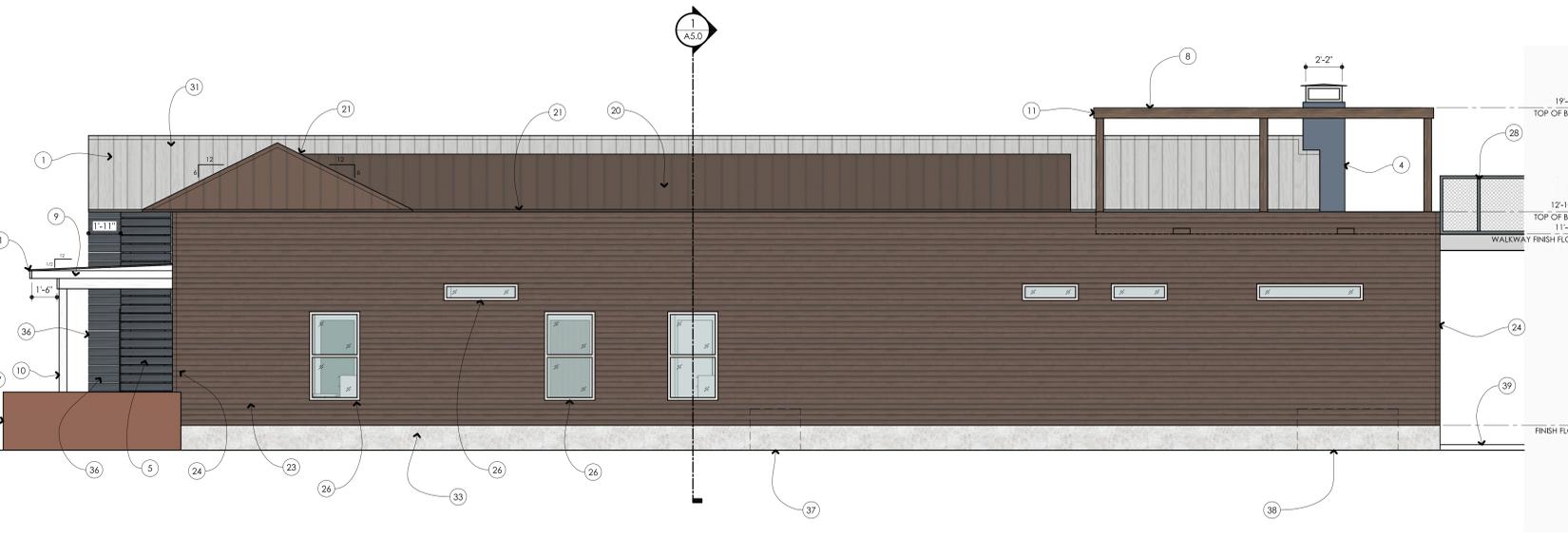
1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



4 WEST ELEVATION
SCALE: 1/4" = 1'-0"

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EXTERIOR ELEVATIONS OF DWELLING

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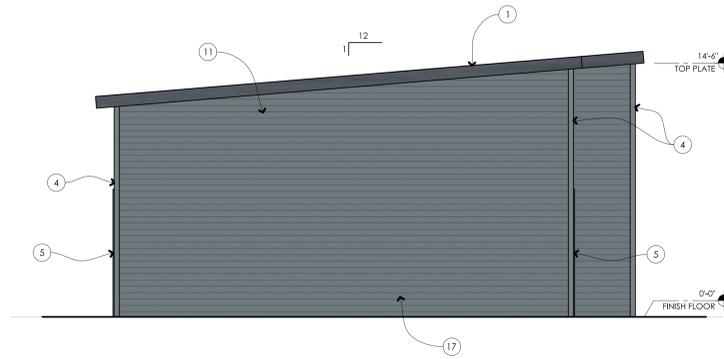
7 OF 22 SHEETS

Review Documents



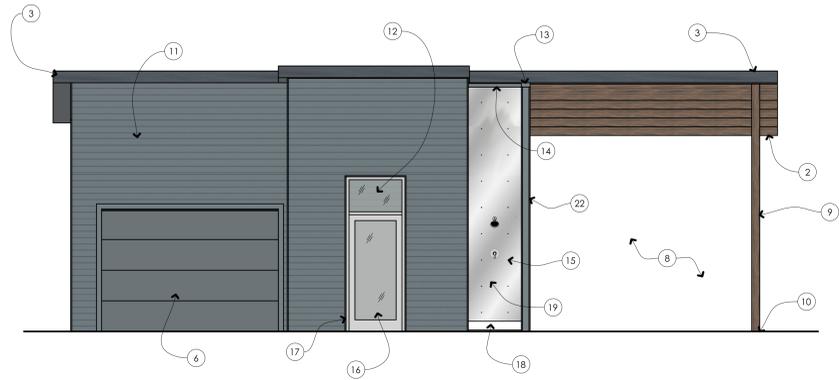
1 NORTH ELEVATION

SCALE: 1/4" = 1' - 0"



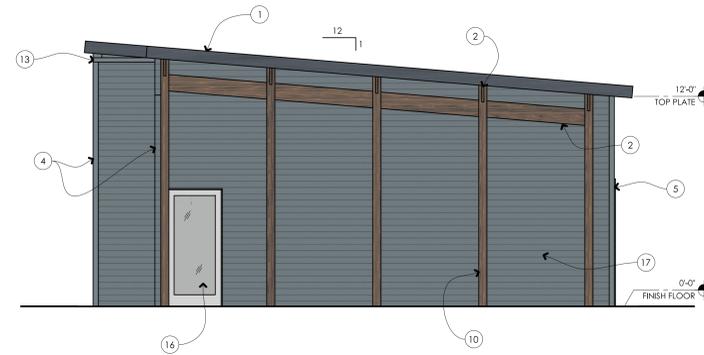
2 EAST ELEVATION

SCALE: 1/4" = 1' - 0"



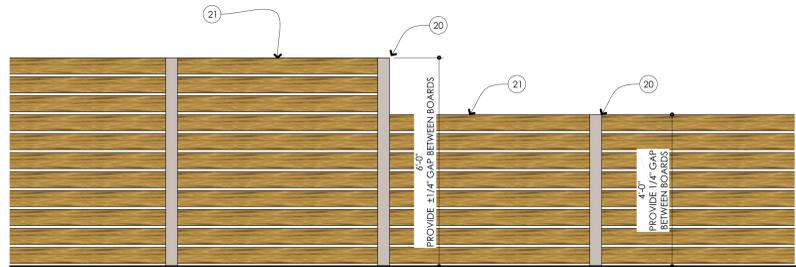
3 SOUTH ELEVATION

SCALE: 1/4" = 1' - 0"



4 EAST ELEVATION

SCALE: 1/4" = 1' - 0"



5 TYPICAL FENCE ELEVATION

SCALE: 1/2" = 1' - 0"

KEY NOTES

- 1 24 GAUGE STANDING SEAM METAL ROOFING INCLUDING ALL FLASHING, DRIP EDGES, AND COPING REQUIRED FOR COMPLETE INSTALLATION / SEE ROOF PLAN
- 2 2X12 CEDAR BEAMS TO SUPPORT CARPORT AND GARAGE ROOF / PAINT
- 3 1X8 FASCIA / PAINT
- 4 1X4 TRIM INSTALLED TO ABUT HARDIE TRIM / ONE TRIM PER CORNER OF STRUCTURE / EDGE OF BOARD TO FACE NORTH AND SOUTH
- 5 1X4 CASING AROUND DOOR OPENING / PAINT
- 6 PRE-FINISHED SMOOTH FACED PANEL GARAGE DOORS / PAINT TO MATCH SIDING COLOR
- 7 CONCRETE CARPORT WITH LIGHT SAND FINISH
- 8 OPEN TO BEYOND
- 9 6X6 CEDAR COLUMN ANCHORED TO CONCRETE FOUNDATION WITH SIMPSON COLUMN ANCHOR / SEE DETAILS
- 10 SIMPSON PRE-FINISHED COLUMN ANCHOR EMBEDDED INTO CONCRETE FOUNDATION / SEE DETAILS
- 11 4" EXPOSED SMOOTH FACE HARDIE SIDING / PAINT
- 12 WINDOW / SEE WINDOW SCHEDULE
- 13 24 GAUGE GALVALUME CAP FLASHING TO CAP TOP OF WALL AT SHOWER
- 14 1X4 TRIM TO CAP TOP OF STAINLESS STEEL PANEL / PAINT
- 15 STAINLESS STEEL SCREWS WITH STAINLESS STEEL WASHERS EVENLY SPACED AT 16" O.C.E.W.
- 16 DOOR / SEE DOOR SCHEDULE
- 17 DOOR CASING / PAINT
- 18 CONCRETE SHOWER FLOOR SHALL BE ELEVATED ABOVE SLAB PER DETAIL / TROWEL FINISH
- 19 STAINLESS STEEL SHOWER SURROUND ADHERED AND SCREWED TO WALL
- 20 4X4 STEEL POST EMBEDDED INTO 30" OF CONCRETE
- 21 1X6 CEDAR FENCE PLANKS ATTACHED TO STEEL POSTS AT 6'-0" O.C.
- 22 1X4 HARDIE TRIM ON ALL SIDES OF WING WALL / SEE DETAILS

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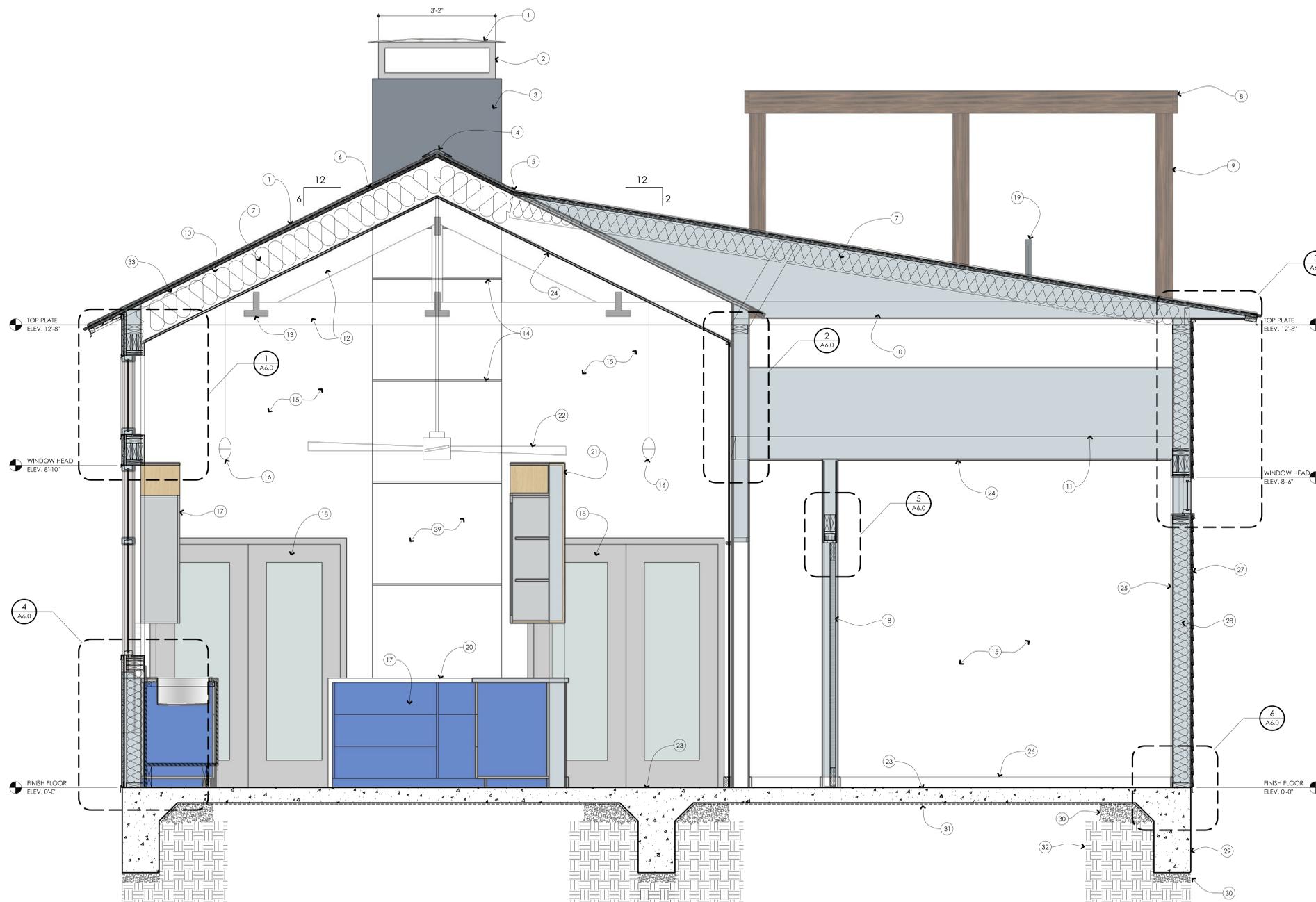
EXTERIOR ELEVATIONS OF GARAGE

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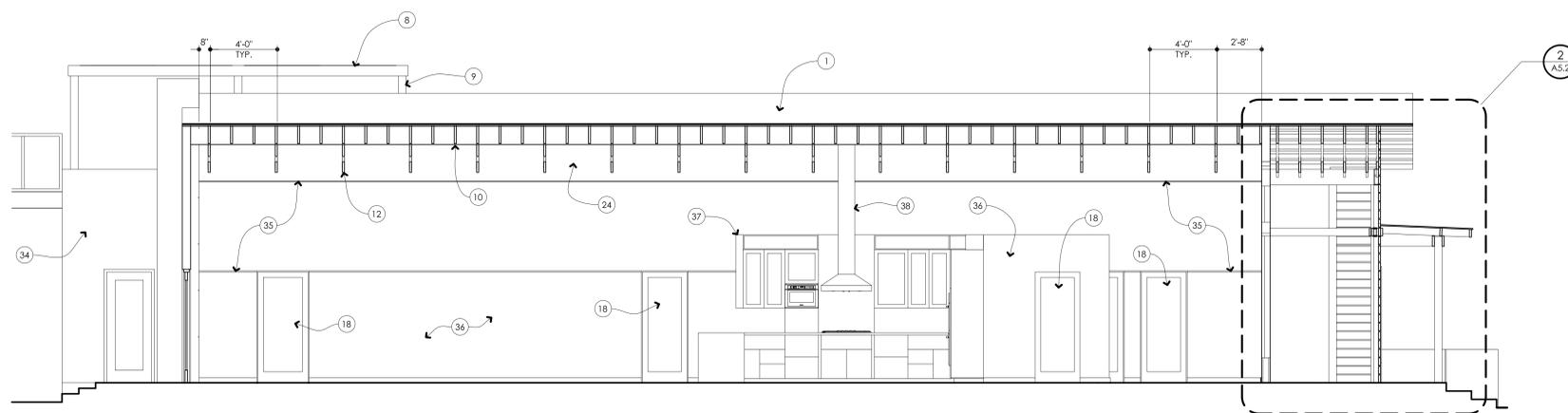
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OF 22 SHEETS

Review Documents



1 BUILDING SECTION
SCALE: 3/4" = 1'-0"



2 LONGITUDINAL BUILDING SECTION
SCALE: 1/4" = 1'-0"

KEY NOTES

- 1 24 GAUGE STANDING SEAM METAL ROOFING WITH CAP FLASHING / SEE ROOF PLAN
- 2 2X2 WELDED FRAME TO SUPPORT CHIMNEY ROOFING / PAINT WITH HEAT RESISTANT PAINT
- 3 3-COAT 3/4" PORTLAND CEMENT PLASTER FINISH / PAINT
- 4 24 GAUGE CAP FLASHING OVER STANDING SEAM ROOF
- 5 PRE-FINISHED 24 GAUGE BRONZE FLASHING TO TRANSITION BETWEEN ROOF PITCHES
- 6 30# BUILDING FELT OVER 5/8" PLYWOOD ROOF DECK OVER WOOD RAFTERS AND TRUSSES
- 7 R38 ROOF INSULATION WITHIN CAVITY BETWEEN RAFTERS AND ROOF TRUSSES
- 8 2X8 SHADE STRUCTURE FROM BEYOND
- 9 6X6 SHADE STRUCTURE COLUMN BEYOND
- 10 ROOF STRUCTURE / SEE STRUCTURAL DRAWINGS
- 11 CEILING JOISTS / SEE STRUCTURAL DRAWINGS
- 12 EXPOSED 2X8 WOOD TRUSS / PAINT
- 13 SIMPSON STEEL TRUSS TIES / PRE-FINISHED IN BLACK TO CONNECT TRUSS COMPONENTS
- 14 INSTALL REVEAL WITHIN WALL AT 2'-9" O.C. / PAINT
- 15 WALL BEYOND / PAINT
- 16 PENDANT LIGHT FIXTURE / SEE RCP DRAWINGS
- 17 KITCHEN CABINETS SHOWN IN SECTION / SEE KITCHEN ELEVATIONS
- 18 DOOR BEYOND / SEE DOOR SCHEDULE
- 19 RAILING BEYOND / SEE STAIR AND BRIDGE DRAWINGS
- 20 KITCHEN CABINET COUNTERTOP / SEE KITCHEN ELEVATIONS
- 21 HALLWAY WALL WITH SHIPLAP FINISH / PAINT
- 22 CEILING FAN / SEE RCP DRAWINGS
- 23 FINISH FLOOR / SEE FINISH SCHEDULE
- 24 5/8" GYPSUM BOARD INSTALLED AT CEILING TOP / TAPE, FLOAT, SAND, TEXTURE, AND PAINT
- 25 1/2" GYPSUM BOARD INSTALL ON WALLS TYP. / TAPE, FLOAT, SAND, TEXTURE, AND PAINT
- 26 1X FLOOR BASE / PAINT
- 27 4" EXPOSURE FLAT TEXTURE HARDIE SIDING / PAINT
- 28 R15 BATT INSULATION WITHIN CAVITY OF WALL BETWEEN STUDS
- 29 CONCRETE FOUNDATION / SEE STRUCTURAL DRAWINGS
- 30 COMPACTED FILL / SEE STRUCTURAL DRAWINGS
- 31 VAPOR BARRIER / SEE STRUCTURAL DRAWINGS
- 32 COMPACTED GRADE / SEE STRUCTURAL DRAWINGS
- 33 2X2 SCABBED ON TO END OF RAFTER TO SUPPORT ROOF OVERHANG
- 34 BUILDING ELEVATION BEYOND
- 35 1X1 TRANSITION TRIM AT CEILING AND DOOR HEAD / PAINT / SEE DETAILS
- 36 SHIPLAP SIDING OVER GYPSUM BOARD WALL / PAINT
- 37 KITCHEN ELEVATION / SEE KITCHEN ELEVATIONS
- 38 PROVIDE AND INSTALL ADDITIONAL VENT HOOD CHIMNEY EXTENSIONS TO ALLOW COVERAGE TO ROOF
- 39 PORTLAND CEMENT PLASTER FIREPLACE SURROUND / PAINT / SEE PLAN DETAILS

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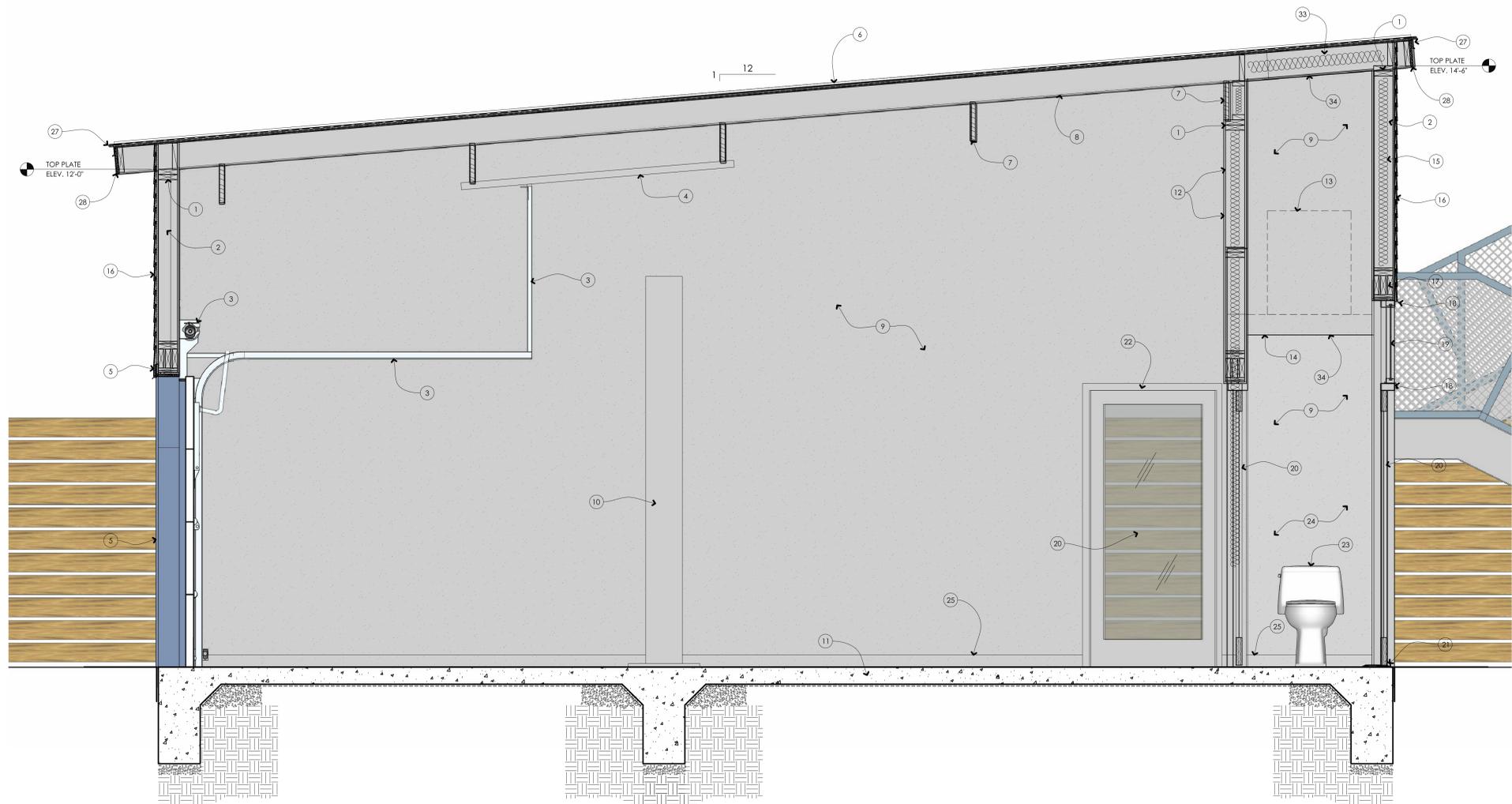
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SECTIONS

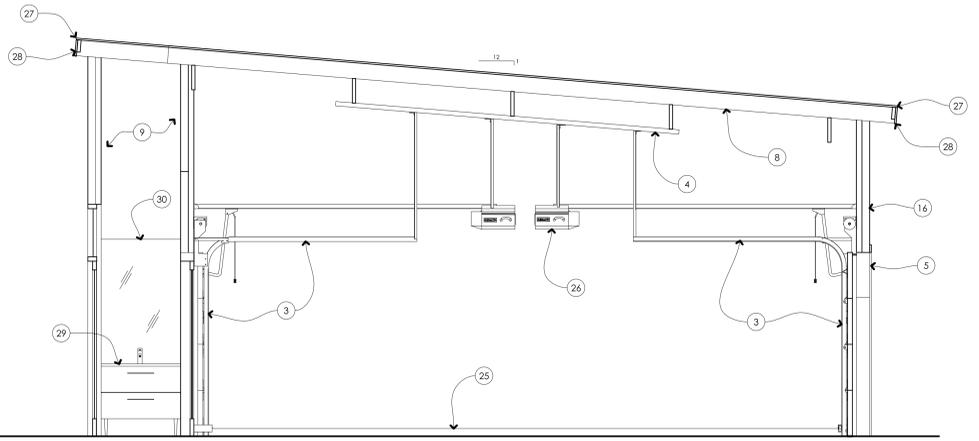
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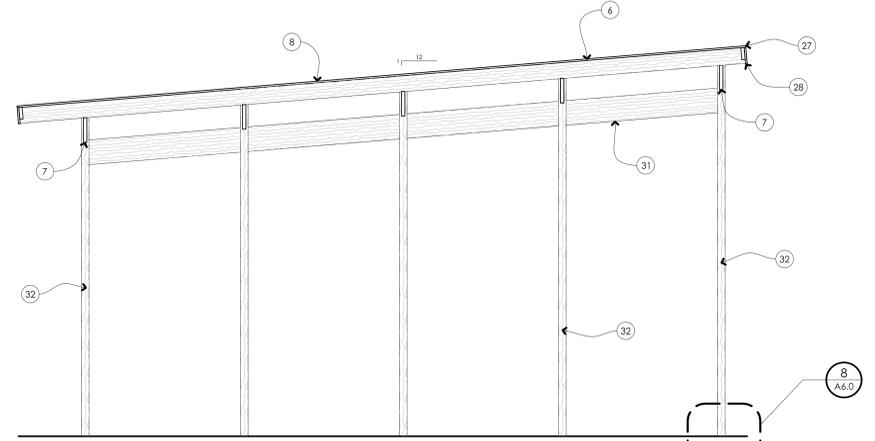
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1 GARAGE SECTION
SCALE: 3/8" = 1'-0"



2 GARAGE SECTION
SCALE: 3/8" = 1'-0"



3 GARAGE SECTION
SCALE: 3/8" = 1'-0"

KEY NOTES

- 1 2X6 DOUBLE TOP PLATE
- 2 2X6 STUDS AT 16" O.C.
- 3 GARAGE DOOR TRACK, SPRING, AND SUPPORTS
- 4 INSTALL UNISTRUT AS REQUIRED TO SUPPORT GARAGE DOOR TRACK / ANCHOR TO STRUCTURE
- 5 INSTALL HARDIE TRIM AT --- OPENING / PAINT
- 6 STANDING SEAM METAL ROOF OVER 30# FELT OVER 3/4" PLYWOOD ROOF DECK / SEE ROOF PLAN
- 7 2X8 BEAMS THROUGH BUILDING / PAINT / SEAL ALL JOINTS THROUGH WALL
- 8 2X8 JOISTS AT 16" O.C. MAX. / PAINT
- 9 1/2" MOISTURE RESISTANT GYPSUM BOARD ON WOOD STUDS / PAINT
- 10 TWIN BUSCH TW242E AUTO LIFT / ANCHOR TO CONCRETE FOUNDATION / PROVIDE POWER AND OTHER APPURTENANCES TO ALLOW SYSTEM TO FUNCTION / INSTALL CONTROLLER LOCATION PER OWNER DIRECTION
- 11 CONCRETE FOUNDATION WITH TROWEL FINISH / SEE STRUCTURAL DRAWINGS
- 12 PROVIDE OPENING WITHIN WALL TO ACCESS WATER HEATER ABOVE RESTROOM
- 13 30 GALLON ELECTRIC WATER HEATER INSTALLED ABOVE RESTROOM
- 14 2X6 STUDS AT 16" O.C. MAX. WITH 3/4" PLYWOOD DECK ON TOP TO SUPPORT / PAINT
- 15 INSTALL R-15 INSULATION WITHIN WALL CAVITY
- 16 4" SMOOTHFACE HARDIE SIDING OVER 30# FELT OVER 5/8" PLYWOOD SHEATHING / PAINT
- 17 2X HEADER OVER ALL FENESTRATIONS / SEE STRUCTURAL DRAWINGS
- 18 INSTALL GALVANIZED DRIP EDGE OVER ALL FENESTRATION / INSTALL UNDER FELT A MINIMUM OF 3"
- 19 TRANSOM WINDOW ABOVE DOOR / SEE WINDOW SCHEDULE
- 20 DOOR AND FRAME / SEE DOOR SCHEDULE
- 21 INSTALL DOOR DRIP CAP AT ALL EXTERIOR DOORS
- 22 1X2 DOOR CASING / PAINT
- 23 INSTALL TOILET / PROVIDE AND INSTALL PLUMBING AND APPURTENANCES FOR PLUMBING FIXTURE
- 24 INSTALL ALL RESTROOM ACCESSORIES INCLUDING ALL TOILET PAPER HOLDERS, TOWEL BARS, ETC., AND ALL APPURTENANCES PER OWNERS REQUIREMENTS
- 25 INSTALL 1X4 WOOD BASE THROUGHOUT / PAINT
- 26 INSTALL ELECTRIC GARAGE DOOR OPENER AND REQUIRED POWER AT GARAGE DOORS / SEE RCP FOR LOCATIONS
- 27 INSTALL FLASHING AT ALL ROOF EAVES / SHAPE DRIP EDGE TO SHED WATER
- 28 1X8 HARDIE TRIM OVER 2X8 RIM JOIST / PAINT
- 29 INSTALL MILLWORK VANITY / SINK / FAUCET / AND PLUMBING TO ALLOW UNIT TO FUNCTION / MATCH FINISH AT GUEST BATHROOMS
- 30 INSTALL MIRROR ABOVE VANITY DIRECTLY TO WALL
- 31 CARPORT LATERAL BEAM ANCHORED TO COLUMNS / PAINT
- 32 6X6 CEDAR COLUMNS ANCHORED TO CONCRETE FOUNDATION / SEE ANCHOR DETAIL / PAINT
- 33 R-38 INSULATION ABOVE RESTROOM AT ROOF RAFTERS
- 34 5/8" MOISTURE RESISTANT GYPSUM BOARD CEILING / TAPE, FLOAT, TEXTURE, SAND, AND PAINT

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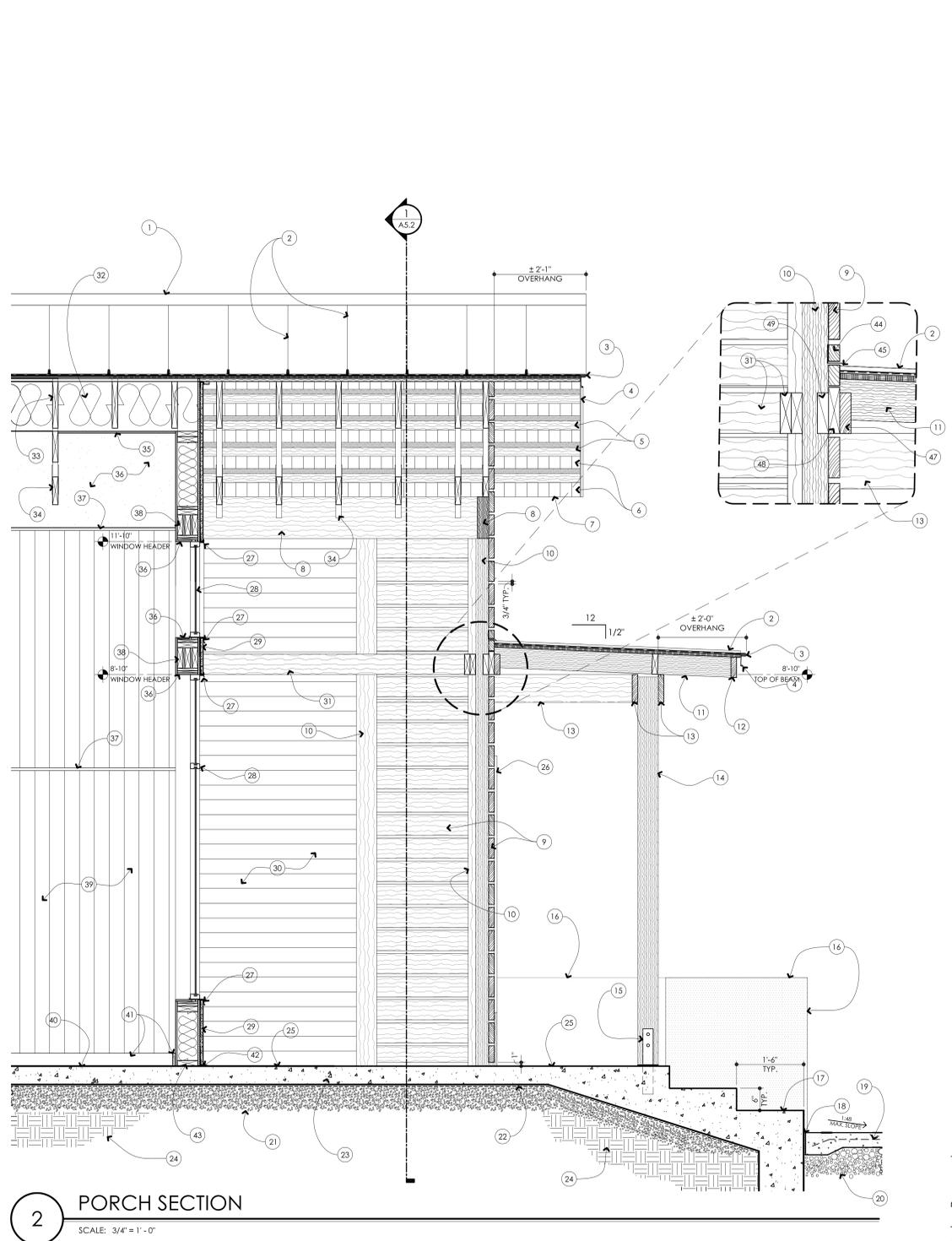
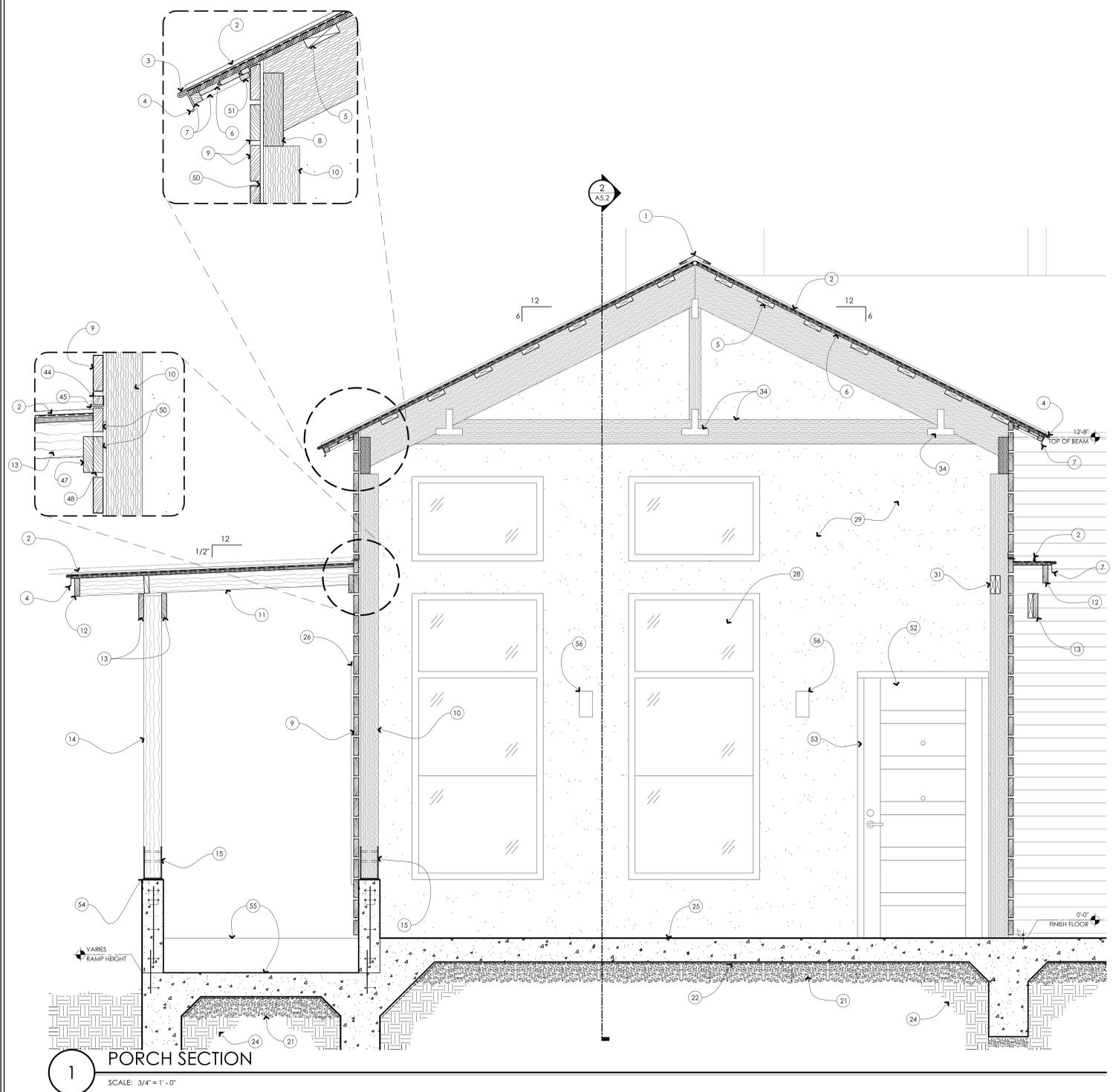
GARAGE SECTIONS

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KEY NOTES

- 1 24 GAUGE GALVALUME CAP FLASHING
- 2 24 GAUGE GALVALUME STANDING SEAM ROOF OVER 30# BUILDING FELT OVER 3/4" PLYWOOD DECK
- 3 24 GAUGE GALVALUME ROOFING HEMMED AT RAKE AND EAVE ENDS OF ROOFING
- 4 24 GAUGE GALVALUME DRIP EDGE AT RAKE AND EAVE ENDS INSTALLED UNDER HEMMED ENDS OF ROOFING
- 5 2X6 CYPRESS LOOKOUTS NOTCHED INTO TOP CHORD OF TRUSSES AT PORCH / PAINT
- 6 1X6 TONGUE AND GROOVE DECK AT PORCH / PAINT
- 7 2X2 CEDAR TRIM ANCHORED TO ROOF DECK / PAINT
- 8 LVL BEAM / SEE STRUCTURAL DRAWINGS / PAINT
- 9 2X6 CYPRESS WOOD PLANKS ANCHORED TO PORCH COLUMNS SPACED AS INDICATED ON DETAILS AND ELEVATIONS / PAINT
- 10 PORCH COLUMNS / 6X6 AND 4X4 CEDAR POSTS / SEE FLOOR PLAN FOR LOCATIONS / PAINT
- 11 2X6 CYPRESS RAFTERS / SEE STRUCTURAL DRAWINGS / SEE ARCHITECTURAL RCP FOR PATTERN / PAINT
- 12 2X6 CYPRESS TRIM AT RAFTERS / PAINT
- 13 2X8 CYPRESS ROOF BEAM ANCHORED TO SIDE OF PORCH COLUMN / PAINT
- 14 6X6 CYPRESS COLUMN / SEE STRUCTURAL DRAWINGS / PAINT
- 15 PRE-FINISHED SIMPSON COLUMN ANCHOR EMBEDDED INTO CONCRETE / ANCHOR BASE OF COLUMN PER MANUFACTURER WRITTEN INSTRUCTIONS
- 16 CORTEN STEEL PLANTER ANCHORED TO CONCRETE PORCH
- 17 CONCRETE STEPS / SEE STRUCTURAL DRAWINGS / LIGHT BROOM FINISH
- 18 INSTALL 3/8" COMPRESSIBLE FILLER BETWEEN CONCRETE FOUNDATION AND SIDEWALK
- 19 CONCRETE FLATWORK / SEE SITE PLAN AND FLOOR PLAN FOR EXTENT / INSTALL W2.9 X W2.9 WWF THROUGHOUT FOR REINFORCEMENT
- 20 4" COMPACTED FILL OVER COMPACTED GRADE
- 21 COMPACTED FILL / SEE STRUCTURAL DRAWINGS
- 22 VAPOR BARRIER / SEE STRUCTURAL DRAWINGS
- 23 CONCRETE FOUNDATION / SEE STRUCTURAL DRAWINGS
- 24 COMPACTED GRADE / SEE STRUCTURAL DRAWINGS
- 25 CONCRETE PORCH / LIGHT BROOM FINISH / SEE STRUCTURAL DRAWINGS
- 26 1X4 CEDAR TRIM ON WOOD SLATS / PAINT
- 27 GALVANIZED DRIP EDGE AND FLASHING AT WINDOW
- 28 SEE WINDOW SCHEDULE
- 29 3-COAT PORTLAND CEMENT PLASTER FINISH OVER GALVANIZED METAL SELF-FURRING LATH OVER 30# BUILDING FELT OVER SHEATHING
- 30 4" EXPOSURE HARDIE SIDING OVER 30# BUILDING FELT / SEAL ALL JUNCTURES
- 31 DOUBLE 2X6 WOOD BEAM / PAINT
- 32 R-38 BATT INSULATION BETWEEN ROOF TRUSSES / TYP.
- 33 CONCEALED ROOF TRUSS / SEE STRUCTURAL DRAWINGS / SEE RCP AND BUILDING SECTION FOR PATTERN
- 34 EXPOSED ROOF TRUSS / SEE RCP AND BUILDING SECTION FOR PATTERN / PAINT / INSTALL BRACKETS AS INDICATED ON SECTION DRAWINGS
- 35 5/8" GYPSUM BOARD CEILING / TAPE, FLOAT, SAND, TEXTURE, AND PAINT
- 36 1/2" GYPSUM BOARD AT WALLS / TAPE, FLOAT, SAND, TEXTURE, AND PAINT
- 37 1X1 TRIM AT SHIPLAP WALL TRANSITIONS / PAINT
- 38 WOOD HEADER AT ALL OPENINGS / SEE STRUCTURAL DRAWINGS
- 39 WOOD SHIPLAP SIDING INSTALLED WITHIN HOUSE / PAINT / SEE INTERIOR ELEVATIONS
- 40 FINISH FLOOR / SEE FLOOR PLAN AND FINISH SCHEDULE
- 41 1X4 WOOD BASE / PAINT
- 42 FLASHING AND J-MOLD AT BASE OF PLASTER FINISH / SEAL JOINT BETWEEN CONCRETE AND FLASHING
- 43 2X6 TREATED SILL PLATE EMBEDDED INTO TWO BEADS OF SEALANT / ANCHOR TO FOUNDATION PER STRUCTURAL DRAWINGS
- 44 SPLICE 2X6 (TAPER SPLICES TO DRAIN WATER AT LOCATION OF FLASHING)
- 45 GALVALUME FLASHING OVER ROOFING INSTALLED ON INSIDE FACE OF 2X WOOD SLATS

- 46 --
- 47 2X6 CYPRESS WOOD --- ATTACHED TO CONTINUOUS CYPRESS SLAT ATTACHED TO PORCH COLUMNS
- 48 CONTINUOUS CYPRESS 2X8 SUPPORT AT PORCH / PAINT
- 49 INSTALL 2X6 CEDAR BLOCKING AS NECESSARY / PAINT
- 50 INSTALL 1/2" SLEEPERS AT 16" O.C. VERTICALLY ALONG COLUMN, CONCRETE WALL AND ADJACENT PLASTER WALL TO ANCHOR 2X6 PORCH SLATS
- 51 1X2 CEDAR TRIM AT TRANSITION / SEAL ALL JOINTS / PAINT
- 52 EXTERIOR DOOR / SEE DOOR SCHEDULE
- 53 1X4 WOOD DOOR CASING / PAINT
- 54 BOARD FORM CONCRETE WALL / SEE STRUCTURAL DRAWINGS FOR REINFORCEMENT
- 55 CONCRETE RAMP WITH LIGHT BROOM FINISH / SEE STRUCTURAL DRAWINGS
- 56 WALL SCONCE INSTALLED ON WALL / SEE RCP



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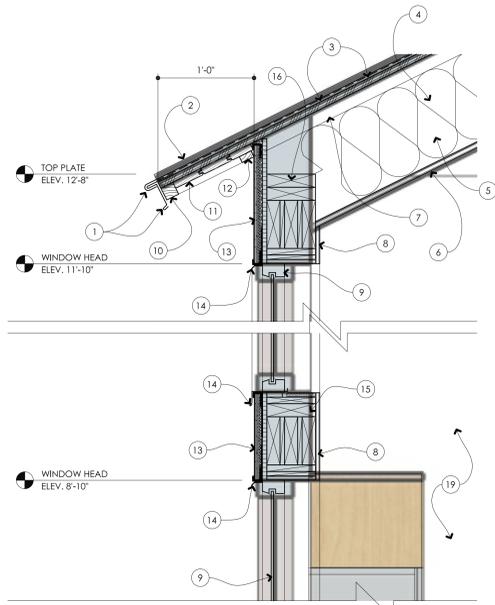
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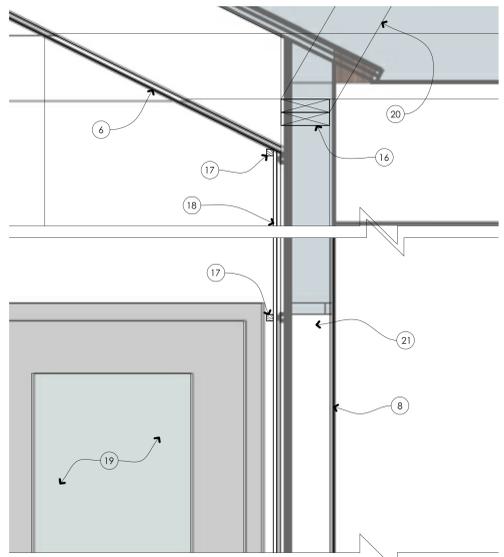
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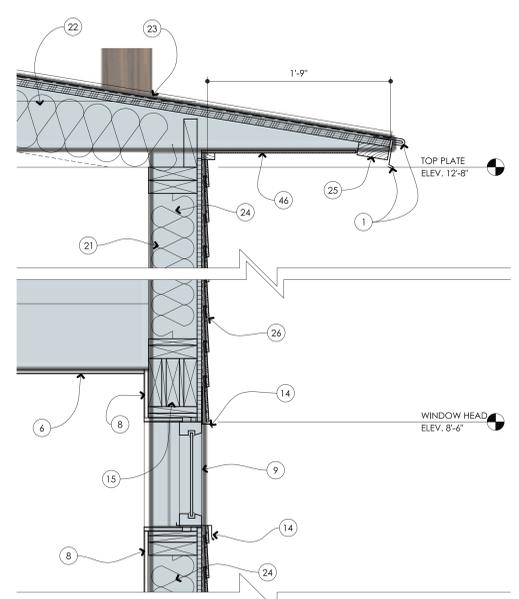
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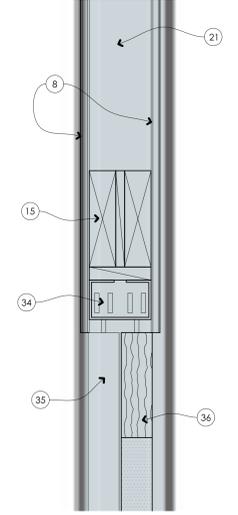
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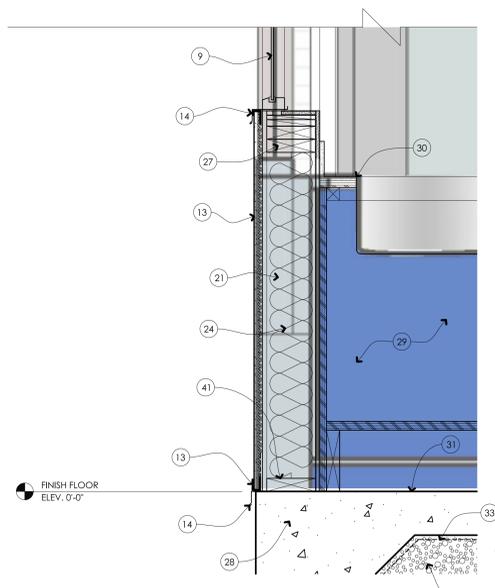
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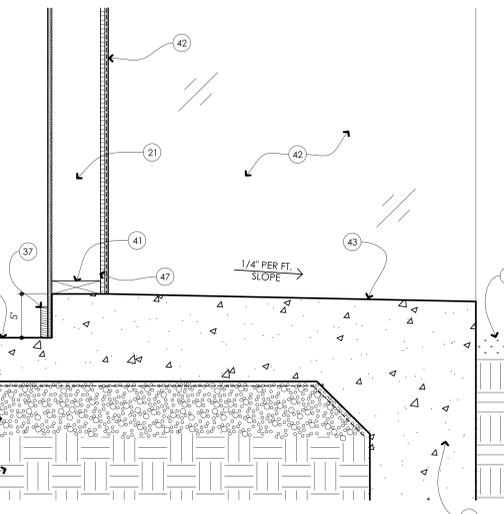
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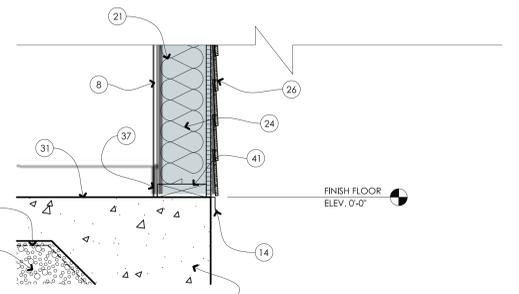
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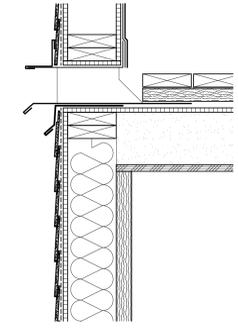
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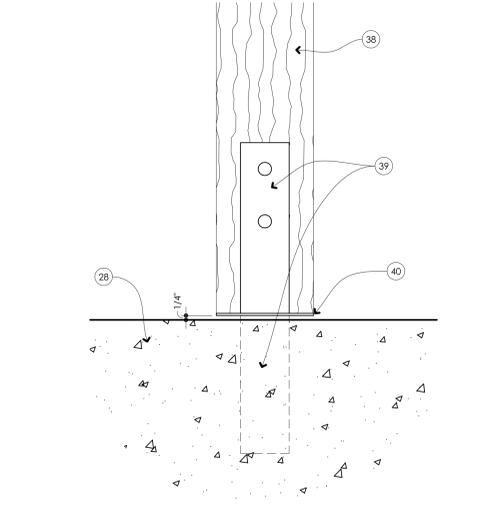
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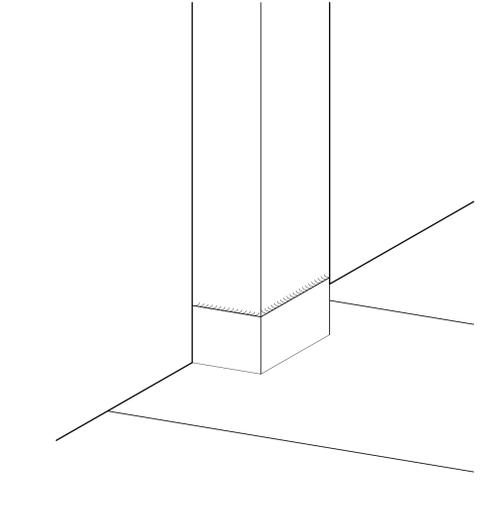
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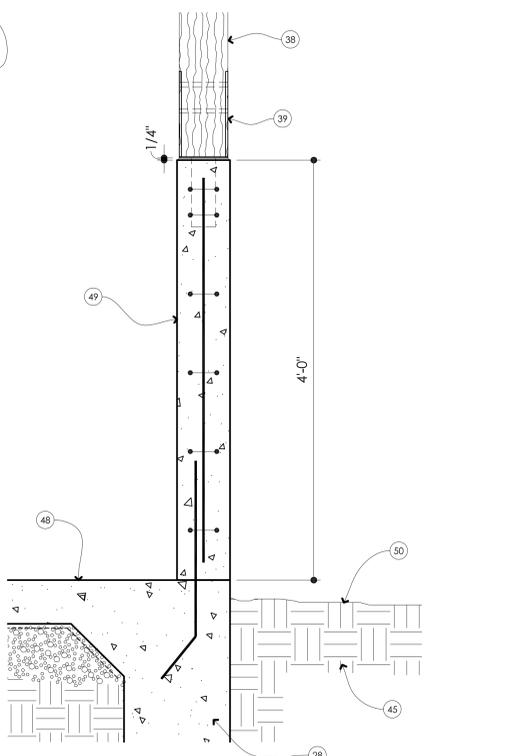
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9 DETAIL
SCALE: 3" = 1'-0"



10 DETAIL
SCALE: 1 1/2" = 1'-0"



11 DETAIL
SCALE: 1 1/2" = 1'-0"

KEY NOTES

- 1 ROOF FLASHING HEMMED WITH DRIP EDGE
- 2 STANDING SEAM GALVALUME METAL ROOFING ATTACHED TO ROOF DECK
- 3 30# BUILDING FELT OVER 5/8" PLYWOOD ROOF DECK
- 4 R38 BATT INSULATION INSTALLED BETWEEN ROOF TRUSSES
- 5 STRUCTURAL ROOF TRUSSES AT 48" O.C. AND ROOF RAFTERS SET IN BETWEEN ROOF TRUSSES AT 16" O.C.
- 6 5/8" GYPSUM BOARD CEILING / TAPE, FLOAT, SAND, TEXTURE, AND PAINT
- 7 2X2 SCABBED TO TRUSS AND RAFTER TO PROVIDE ADDITIONAL SUPPORT TO ROOF OVERHANG
- 8 1/2" GYPSUM BOARD WALL / TAPE, FLOAT, SAND, TEXTURE, AND PAINT
- 9 INSTALL WINDOW PER SCHEDULE / INSTALL FLASHING AROUND ENTIRE OPENING
- 10 2X2 EAVE TRIM / PAINT
- 11 1X4 CYPRESS TONGUE AND GROOVE SOFFIT / PAINT
- 12 1X2 TRANSITION TRIM / PAINT
- 13 3-COAT 3/4" CEMENT PLASTER SYSTEM OVER 30# FELT OVER 5/8" PLYWOOD SHEATHING / PAINT / INSTALL J-MOLD AT ALL TRANSITIONS
- 14 GALVANIZED FLASHING UNDER BUILDING FELT WITH HEMMED DRIP EDGE
- 15 SOLID HEADER ABOVE ALL FENESTRATION CONSTRUCTED OF 2X LUMBER AND SHIMS
- 16 DOUBLE 2X6 TOP PLATE
- 17 1X1 WOOD TRIM TO TRANSITION SHIPLAP CEILING ON WALL AS DOOR FRAMES / SEE BUILDING SECTION / PAINT
- 18 1/2" SHIPLAP ATTACHED TO GYPSUM BOARD WALL / TAPE / TAPE AND FLOAT GYPSUM BOARD WALL UNDER SHIPLAP
- 19 CONSTRUCTION ELEMENTS SHOWN BEYOND
- 20 2X KICKER SUPPORT FOR ROOF RAFTER / SEE BUILDING SECTION AND STRUCTURAL DRAWINGS
- 21 2X6 STUDS AT 16" O.C. MAX AT ALL LOAD BEARING WALLS
- 22 2X ROOF RAFTERS AT 16" O.C. MAX / SEE STRUCTURAL DRAWINGS
- 23 PRE-FINISHED STANDING SEAM METAL ROOFING WITH BRONZE COLOR COATING / ALL DRIP EDGE AND FLASHING SHALL MATCH ROOF COLOR
- 24 INSTALL R19 INSULATION AT WALL CAVITY BETWEEN STUDS
- 25 2X4 CONTINUOUS CEDAR EAVE TRIM / PAINT
- 26 4" EXPOSURE HARDIE SIDING OVER 30# BUILDING FELT OVER 5/8" PLYWOOD SHEATHING
- 27 INSTALL DOUBLE PLATE UNDER WINDOW
- 28 CONCRETE FOUNDATION / SEE STRUCTURAL DRAWINGS / PROVIDE 6" ABOVE GRADE MINIMUM
- 29 SINK CABINET SHOWN IN SECTION / SEE KITCHEN ELEVATIONS
- 30 COUNTERTOP AND BACKSPLASH SHOWN IN SECTION / SEE KITCHEN DRAWINGS
- 31 FINISH FLOOR / SEE FINISH SCHEDULE
- 32 COMPACTED FILL OVER COMPACTED GRADE / SEE STRUCTURAL DRAWINGS
- 33 VAPOR BARRIER / SEE STRUCTURAL DRAWINGS
- 34 BYPASS CLOSET TRACK SYSTEM EMBEDDED INTO WALL / INSTALL AS PER MANUFACTURER WRITTEN INSTRUCTIONS
- 35 SLIDING DOOR BEYOND / SEE DOOR SCHEDULE / ANCHOR TO ROLLER
- 36 SECTION CUT THROUGH SLIDING DOOR / SEE DOOR SCHEDULE / ANCHOR TO ROLLER
- 37 1X BASE / PAINT
- 38 6X6 COLUMN ANCHORED TO FOUNDATION WITH SIMPSON COLUMN ANCHOR / PAINT
- 39 INSTALL SIMPSON CB64PC PRE-FINISHED COLUMN ANCHOR / EMBED INTO CONCRETE FOUNDATION
- 40 BOTTOM OF PLATE / INSTALL NON-SHRINK GROUT BETWEEN PLATE AND FOUNDATION
- 41 PRESSURE TREATED SILL PLATE ANCHORED TO FOUNDATION / EMBED INTO 2 BEADS OF SEALANT AND ANCHOR TO FOUNDATION / SEE STRUCTURAL DRAWINGS
- 42 STAINLESS STEEL SHEET ANCHORED TO 30# FELT AND SHEATHING WITH STAINLESS STEEL [SCREENS AND WASHERS PER PATTERN SHOWN ON EXTERIOR ELEVATIONS
- 43 RAISE CONCRETE FINISH FLOOR OF OUTDOOR SHOWER AS INDICATED AND SLOPE AS INDICATED TO LANDSCAPE AREA
- 44 LANDSCAPE AREA / FINISH GRADE / ENSURE POSITIVE SLOPE AWAY FROM BUILDING
- 45 COMPACTED GRADE
- 46 5/16" HARDIE PANEL ATTACHED TO ROOF SOFFIT / INSTALL 1X BATTENS AT JOINTS INDICATED ON RCP DRAWINGS / PAINT
- 47 INSTALL CONTINUOUS GALVANIZED FLASHING AROUND PERIMETER OF SHOWER UNDER 30# BUILDING FELT TO SHED WATER
- 48 CONCRETE FOUNDATION / SEE STRUCTURAL DRAWINGS
- 49 BOARD FORM CONCRETE WALL / SEE EXTERIOR ELEVATIONS AND STRUCTURAL DRAWINGS
- 50 FINISH GRADE

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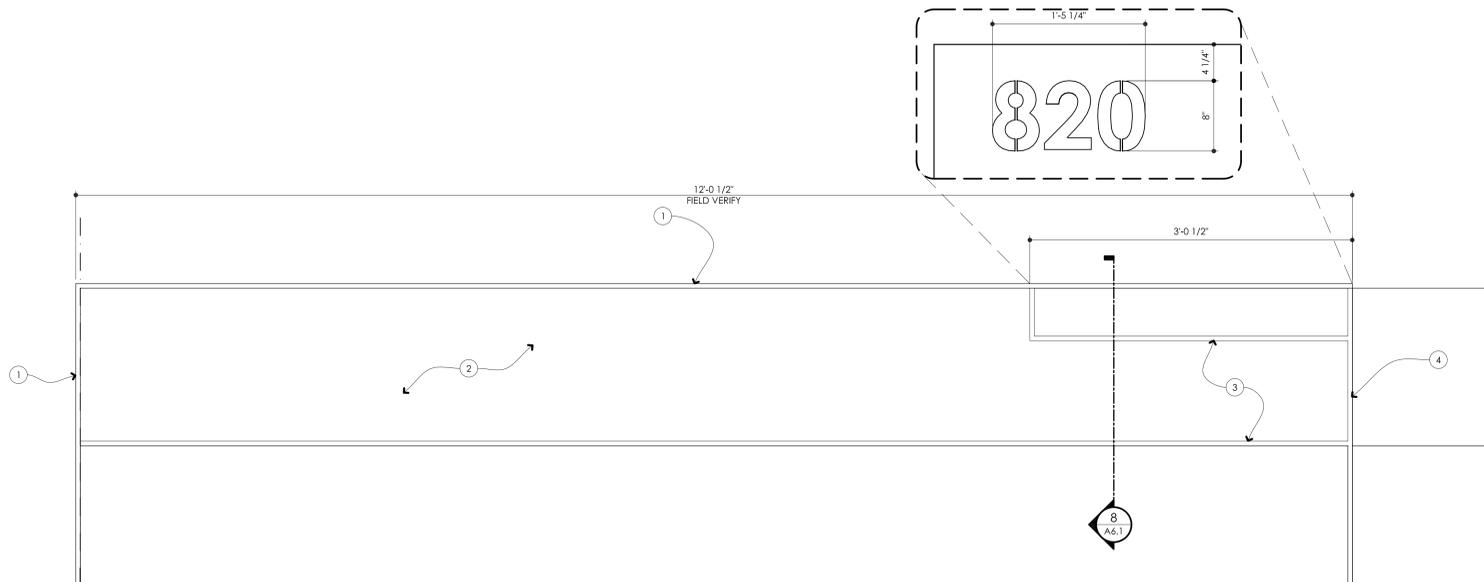
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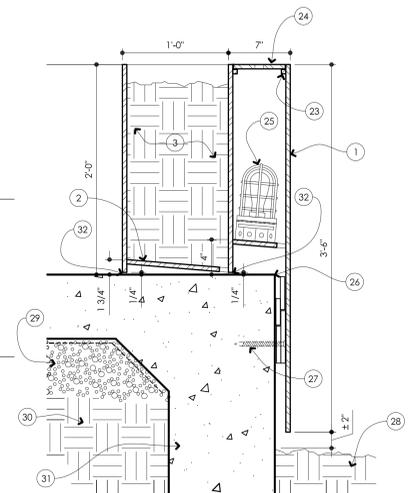
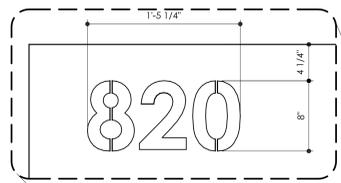
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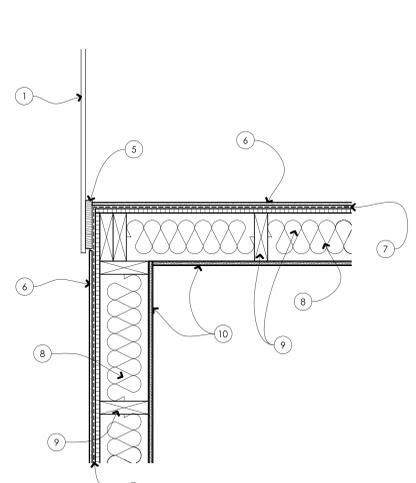
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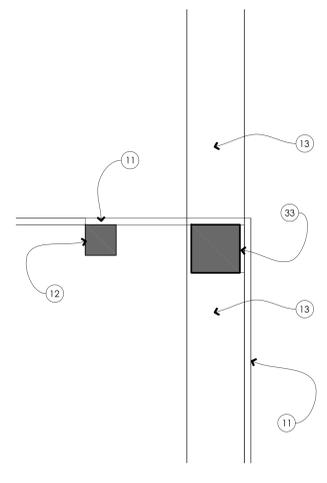
8 CORTEN PLANTER DETAIL
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KEY NOTES

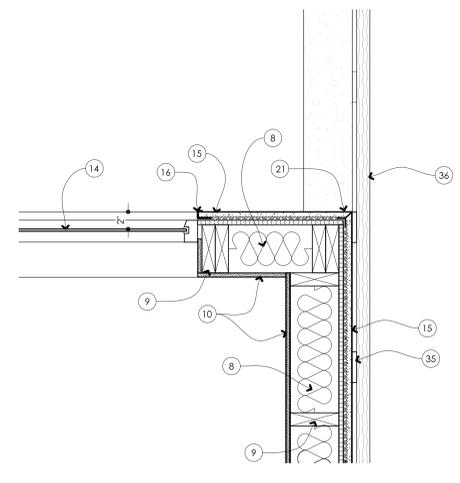
- 1 1/4" CORTEN STEEL PLANTER ANCHORED TO CONCRETE FOUNDATION / CONTACT WANDERLUST IRONWORKS FOR FABRICATION (903.520.1379)
- 2 INSTALL 1/4" CORTEN STEEL BOTTOM TO PLANTER 20" FROM TOP EDGE OF STEEL
- 3 FULL HEIGHT CORTEN STEEL SURROUND AT LOCATION OF HOUSE NUMBERS TO BLOCK PLANTER SOIL / INSTALL POWER AS REQUIRED TO ALLOW FOR LED LIGHTING
- 4 EDGE OF PLANTER TO FOLLOW STEP PROFILE
- 5 1X4 HARDIE TRIM / SEE EXTERIOR ELEVATIONS / PAINT
- 6 4" EXPOSURE HARDIE PANEL SIDING / PAINT / SEE EXTERIOR ELEVATIONS
- 7 30# BUILDING FELT OVER 5/8" SHEATHING OVER 2X6 STUD FRAMING
- 8 R-15 BATT INSULATION
- 9 2X6 STUD FRAMING AT 16" O.C. MAX. WITH TREATED SILL PLATE ANCHORED TO CONCRETE FOUNDATION
- 10 1/2" GYPSUM BOARD WALL / PAINT
- 11 2X6 CEDAR SLATS ANCHORED TO PORCH POSTS / SPACE AS INDICATED ON ELEVATION AND SECTION DRAWINGS / PAINT
- 12 4X4 POST ANCHORED TO CONCRETE FOUNDATION
- 13 BOARD FORM CONCRETE WALL / SEE DETAILS
- 14 WINDOW / SEE WINDOW SCHEDULE
- 15 3/4" THICK 3-COAT PORTLAND CEMENT PLASTER SYSTEM OVER 30# BUILDING FELT OVER SELF-FURRING GALVANIZED METAL LATH ANCHORED TO 5/8" SHEATHING
- 16 INSTALL GALVANIZED J-MOLD AT ALL PLASTER TERMINATIONS
- 17 1X2 WOOD TRIM / PAINT
- 18 DOOR / FRAME / CASING / SEE DOOR SCHEDULE
- 19 2X4 WOOD STUDS AT 16" O.C. / INTERIOR CONSTRUCTION ONLY
- 20 PRE-FABRICATED FIREPLACE UNIT / INSTALL PER MANUFACTURER WRITTEN REQUIREMENTS AND INSTALL ALL UTILITIES REQUIRED FOR UNIT TO FUNCTION PROPERLY
- 21 GALVANIZED CORNER BEAD AT ALL INSIDE AND OUTSIDE CORNERS OF PLASTER
- 22 COORDINATE STUD LOCATIONS WITH REQUIRED CLEARANCE FOR FIREPLACE INSTALLATION
- 23 1/2" x 1/2" CORTEN STEEL BAR WELDED TO SIDE OF PLANTER TO HOLD CORTEN LID
- 24 1/2" CORTEN STEEL LID
- 25 LIGHT FIXTURE / WEATHERTIGHT CONSTRUCTION / ANCHORED TO CORTEN STEEL PLATE
- 26 CORTEN STEEL CLIP PLATE WELDED TO CORTEN PLANTER
- 27 CORTEN STEEL CLIP ANGLE ANCHORED TO FOUNDATION AT 24" O.C. MAX.
- 28 FINISH GRADE / SEE SITE PLAN
- 29 COMPACTED FILL / SEE STRUCTURAL DRAWINGS
- 30 COMPACTED GRADE / SEE STRUCTURAL DRAWINGS
- 31 CONCRETE FOUNDATION / SEE STRUCTURAL DRAWINGS
- 32 INSTALL 1/4" OPENINGS UNDER CORTEN STEEL PLANTER AT 24" O.C. MAX.
- 33 1/2" SLEEPER ATTACHED TO COLUMN
- 34 STAINLESS STEEL PANEL OVER BUILDING FELT AND ANCHORED PER EXTERIOR ELEVATIONS
- 35 1X4 SLEEPERS ATTACHED TO FACE OF WALL FOR 2X CYPRESS PORCH EXTENSION
- 36 1X HARDIE TRIM / CUT TO FIT / PAINT



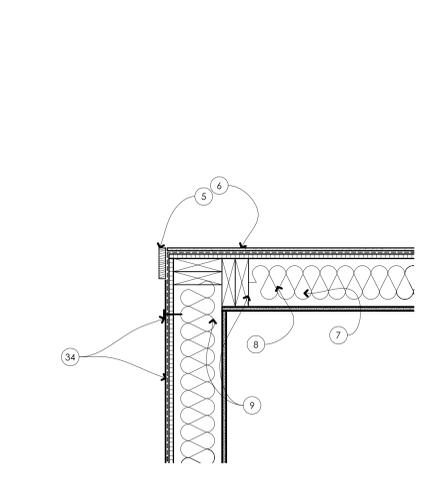
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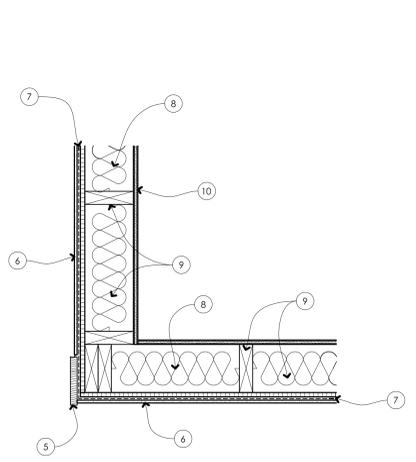
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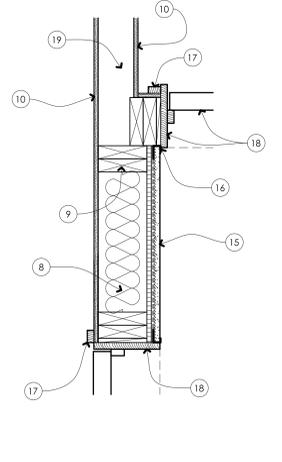
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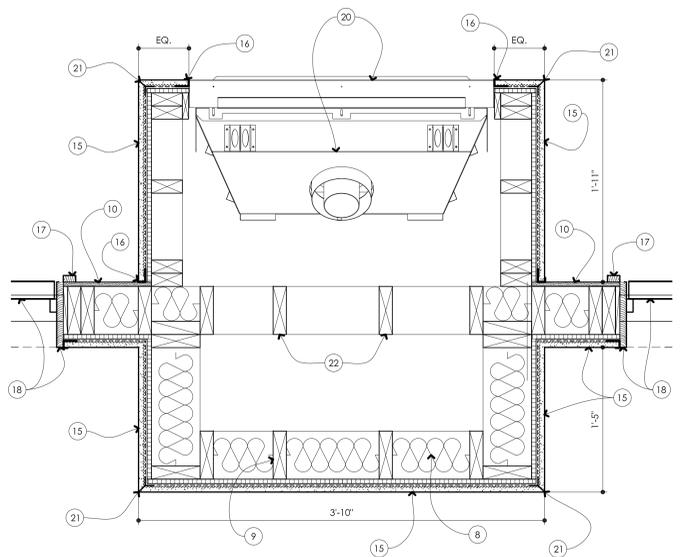
9 CORNER AT OUTDOOR SHOWER
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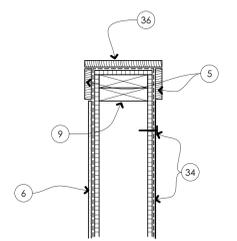
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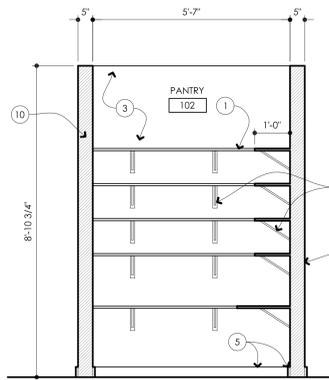
10 WING WALL AT SHOWER
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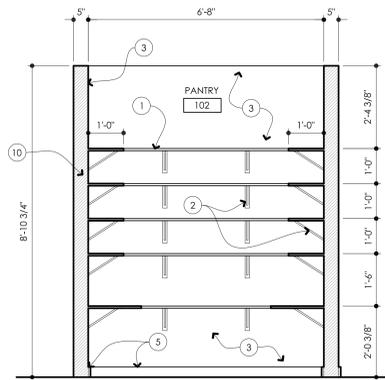
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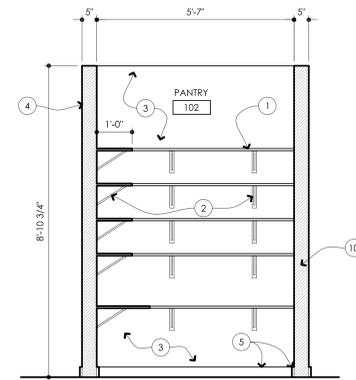
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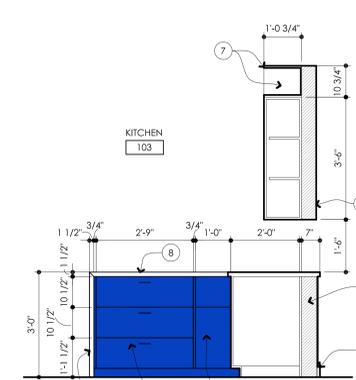
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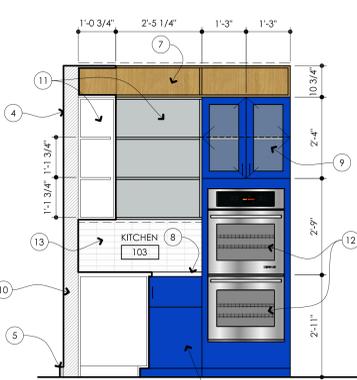
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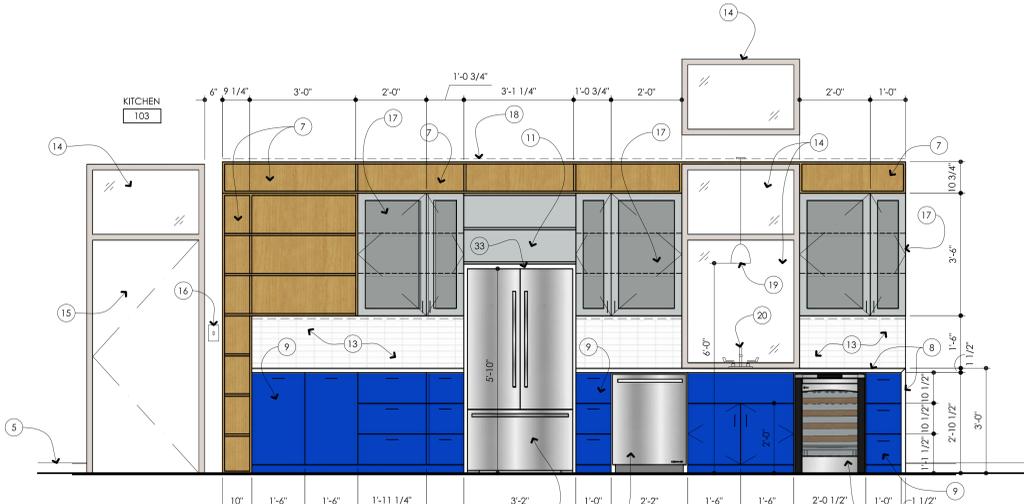
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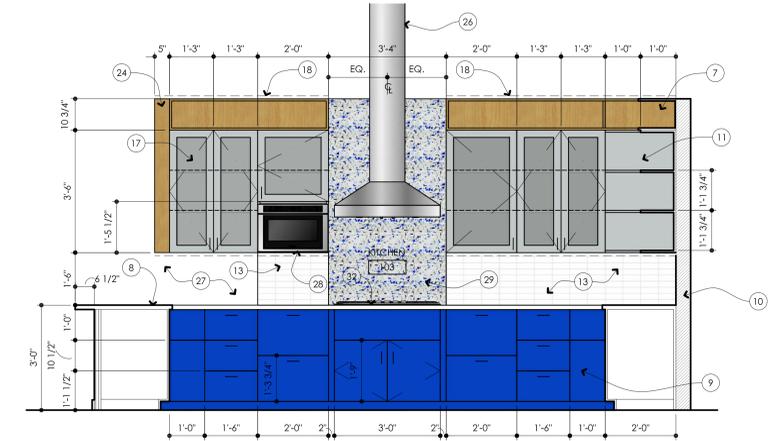
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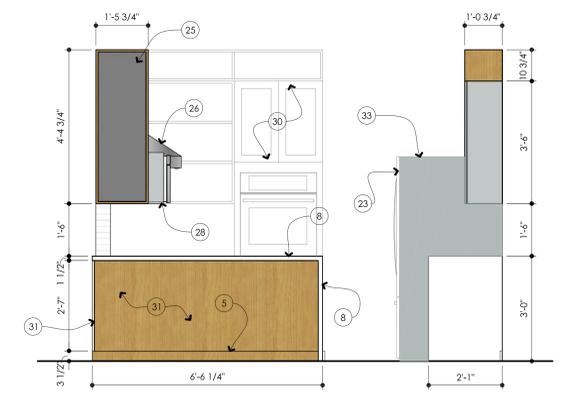
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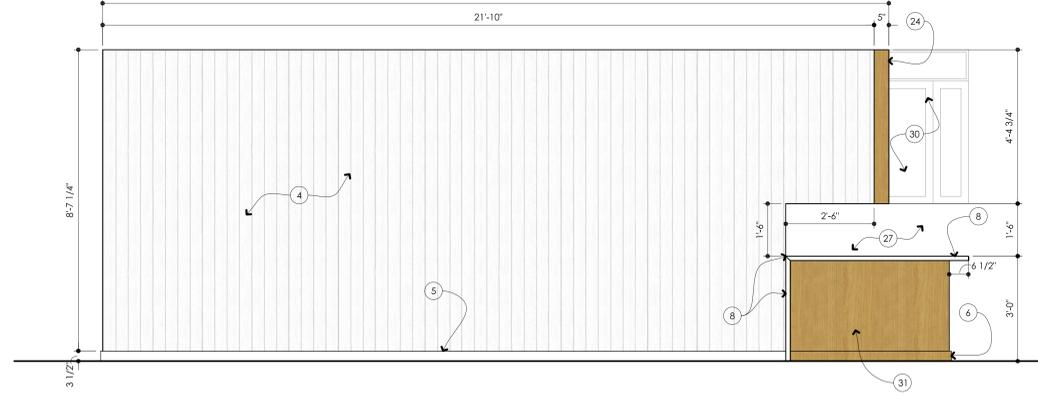
6 KITCHEN INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



7 KITCHEN INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



8 KITCHEN INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



9 KITCHEN INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"

KEY NOTES

- 1 3/4" PLYWOOD SHELF WITH WOOD VENEER EDGING / PAINT
- 2 HEAVY DUTY PRE-FINISHED BRACKET ANCHORED TO BLOCKING WITHIN WALL
- 3 1/2" PAINTED GYPSUM BOARD WALL
- 4 SHIPLAP SIDING ANCHORED TO WALL / PAINT
- 5 1X4 WOOD BASE / PAINT
- 6 1X4 WOOD BASE WITH MATCHING VENEER OF STAINED WOOD PANELS / STAIN TO MATCH
- 7 STAINED WOOD SHELVING OVER PAINTED CABINETS
- 8 QUARTZ COUNTERTOP ANCHORED TO CABINETRY / CREATE WATERFALL EDGE WITH MITERED CORNERS AS INDICATED
- 9 PAINTED WOOD CABINETRY WITH SOFT CLOSE HARDWARE
- 10 SECTION THROUGH WALL
- 11 PAINTED WOOD SHELVING
- 12 DOUBLE OVEN INSTALLED WITH CABINETRY / PROVIDE ALL UTILITIES TO ALLOW APPLIANCE TO FUNCTION
- 13 TILE BACKSPLASH AS SELECTED BY OWNER
- 14 WINDOW / SEE WINDOW SCHEDULE
- 15 DOOR AND FRAME / SEE DOOR SCHEDULE
- 16 LIGHT SWITCH LOCATION / SEE RCP
- 17 GLASS FRONT UPPER CABINETS WITH PAINTED WOOD FRAMES AND SOFT CLOSE HARDWARE
- 18 DASHED LINE INDICATES LED STRIP LIGHTING MOUNTED TO TOP OF UPPER SHELVING OR UNDERSIDE OF UPPER CABINETS
- 19 ALIGN PENDANT LIGHT OVER CENTER OF SINK
- 20 FAUCET AND SINK AS SELECTED BY OWNER
- 21 WINE COOLER LOCATION / PROVIDE ALL UTILITY REQUIREMENTS TO ALLOW APPLIANCE TO FUNCTION
- 22 DISHWASHER LOCATION / PROVIDE ALL UTILITIES REQUIRED TO ALLOW APPLIANCE TO FUNCTION
- 23 REFRIGERATOR LOCATION / PROVIDE ALL UTILITIES REQUIRED TO ALLOW APPLIANCE TO FUNCTION
- 24 STAINED WOOD FRAME FOR CHALK BOARD TO CAP END OF CABINETS
- 25 CABINET END CAP COMPRISED OF STAINED WOOD FRAME AND MASONITE INNER PANEL PAINTED WITH CHALK BOARD PAINT
- 26 STAINLESS STEEL HOOD AND VENT ANCHORED TO WALL AND CEILING
- 27 OPEN AREA BETWEEN CABINETS / FRAME WALL TO ACHIEVE CANTILEVER
- 28 MICROWAVE LOCATION / PROVIDE AND INSTALL ALL UTILITIES TO ALLOW APPLIANCE TO FUNCTION
- 29 ACCENT TILE ATTACHED TO WALL / COLOR AS SELECTED BY OWNER
- 30 KITCHEN CABINETRY BEYOND
- 31 PLYWOOD PANEL WITH WOOD VENEER STAINED TO MATCH ALL STAINED UPPER SHELVING
- 32 INSTALL COOK TOP WITHIN COUNTERTOP PROVIDE ALL UTILITIES REQUIRED FOR APPLIANCE TO FUNCTION
- 33 INSTALL 3/4" PAINTED CABINET GRADE PLYWOOD TO MATCH UPPER CABINETS

GENERAL NOTES

1. VERIFY ALL APPLIANCE SIZES PRIOR TO FABRICATION AND INSTALLATION OF CABINETRY. CONTRACTOR TO ALERT ARCHITECT / OWNER OF ANY DISCREPANCIES FROM ACTUAL APPLIANCE DIMENSIONS FROM THE DRAWINGS HEREIN.

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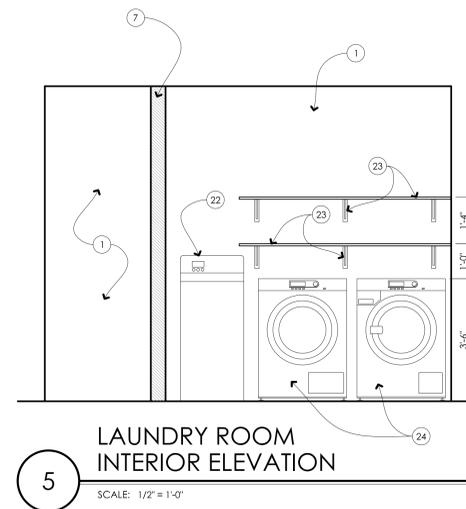
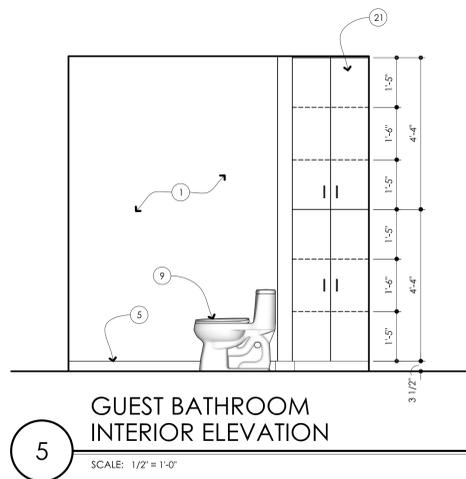
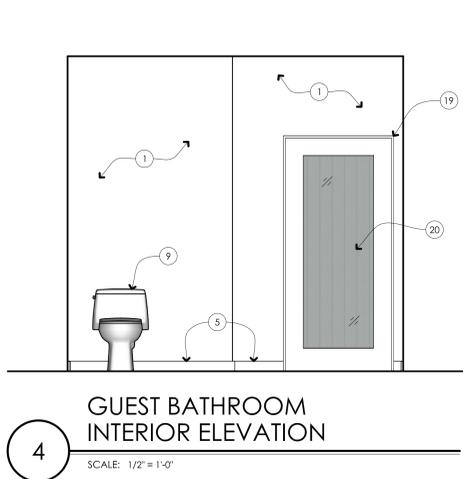
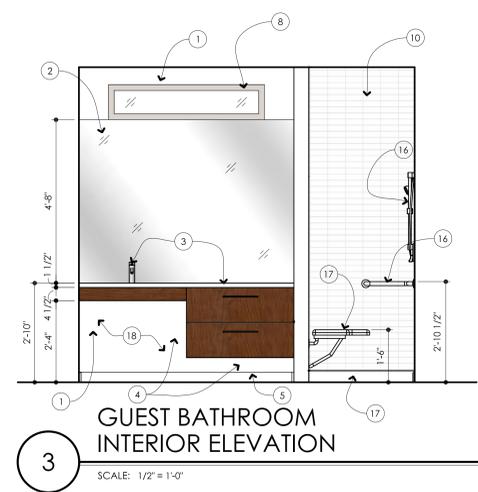
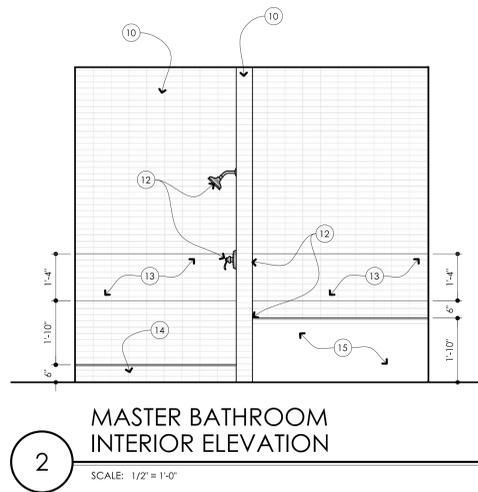
KITCHEN AND PANTRY INTERIOR ELEVATIONS

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KEY NOTES

- 1 1/2" GYPSUM BOARD WALL / TAPE, FLOAT, SAND, TEXTURE AND PAINT
- 2 MIRROR ADHERED TO WALL
- 3 CUSTOM VANITY WITH QUARTZ COUNTERTOP / INSTALL ALL PLUMBING SINKS AND FAUCETS / STAIN WOOD CABINET
- 4 OPEN BELOW
- 5 1X BASE / PAINT
- 6 INSTALL VANITY ON STAINED WOOD LEGS
- 7 SECTION CUT THROUGH WALL
- 8 WINDOW / SEE SCHEDULE
- 9 INSTALL TOILET / SELECTED BY OWNER
- 10 INSTALL WALL TILE OVER HARDIE BACKER BOARD / COLOR SELECTED BY OWNER
- 11 --
- 12 INSTALL WALL FAUCET, BODY SPRAYERS, AND CONTROLS FOR SHOWER PER OWNER REQUIREMENTS
- 13 3" DEEP CONTINUOUS RECESS WITHIN WALL / INSTALL TILE OVER HARDIE PANEL
- 14 CURB FOR SHOWER PAN / INSTALL SCHLUTER SHOWER PAN KIT AS PER MANUFACTURER WRITTEN INSTRUCTIONS
- 15 PROVIDE AND INSTALL FIBER GLASS TUB AS SELECTED BY OWNER
- 16 HANDICAP ACCESSIBLE SHOWER CONTROLS INSTALLED WITH FAUCET, HAND HELD SPRAYER, AND SHOWER BAR PER TAS STANDARDS
- 17 TEAK PRE-FABRICATED TAS COMPLIANT SHOWER SEAT TO BE WALL MOUNTED AS PER TAS REQUIREMENTS / PROVIDE AND INSTALL BLOCKING WITHIN WALL TO SUPPORT SEAT AND USER
- 18 INSTALL PLUMBING PIPE WITH PROTECTIVE PIPE COVER / PROVIDE KNEE CLEARANCE PER TAS REQUIREMENTS
- 19 1X1 DOOR CASING / PAINT
- 20 PROVIDE AND INSTALL DOOR PER SCHEDULE
- 21 BUILT IN LINEN CLOSET WITH ADJUSTABLE SHELVING AND SOFT CLOSE HINGES / DOOR FINISH TO BE PAINTED PLYWOOD WITH OIL BASED PAINT
- 22 WATER SOFTENER LOCATION / INSTALL AS PER MANUFACTURER WRITTEN INSTRUCTIONS / PROVIDE ALL POWER AND WATER REQUIREMENTS
- 23 INSTALL PLYWOOD OPEN SHELVING WITH STANLEY HEAVY DUTY BRACKETS INSTALLED ON WALL / ANCHOR TO BLOCKING WITHIN WALL
- 24 WASHER AND DRYER LOCATION / PROVIDE AND INSTALL PER MANUFACTURER WRITTEN INSTRUCTIONS / PROVIDE ALL POWER AND PLUMBING AS REQUIRED FOR DEVICES TO FUNCTION PROPERLY



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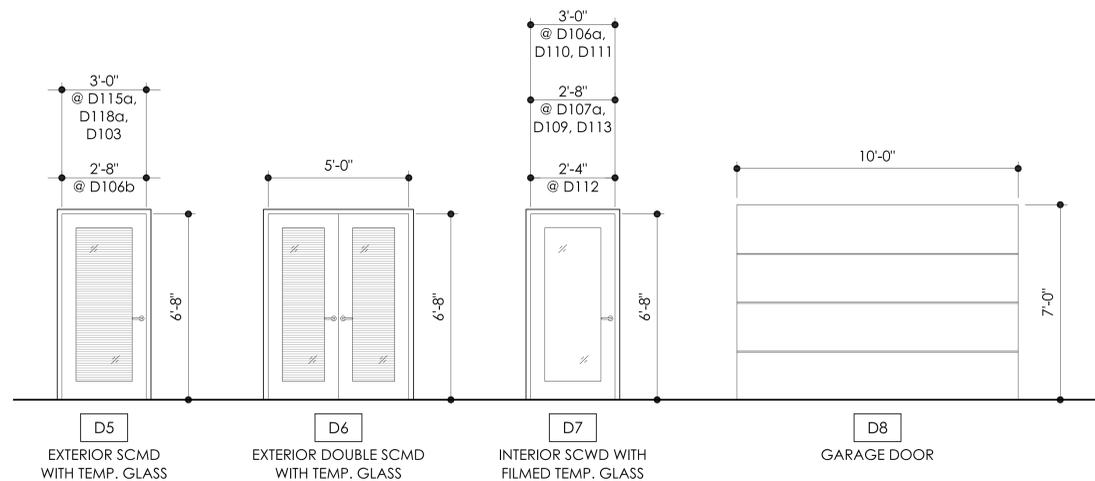
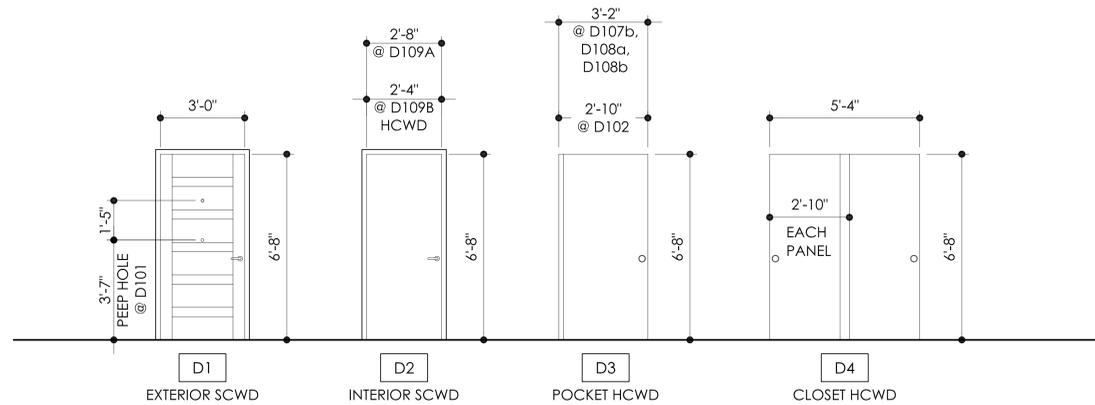
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DOOR SCHEDULE

DOOR NUMBER	DOOR								DOOR FRAME				UL FIRE RT.	HARDWARE GROUP	REMARKS
	SIZE			MTRL.	GLAZ.	FINISH		TYPE	FINISH						
	WIDTH	HT.	THK.			PULL S.	PUSH S.		MTRL.	PULL S.	PUSH S.				
D101	3'-0"	6'-8"	1 3/4"	SCWD	TEMP.	PAINT	PAINT	D1	WD	PAINT	PAINT	---	---	U-FACTOR PER IECC REPORT	
D102	2'-10"	6'-8"	1 3/4"	HCWD	---	PAINT	PAINT	D3	WD	PAINT	PAINT	---	---	---	
D103	3'-0"	6'-8"	1 3/4"	SCMD	---	PAINT	PAINT	D5	WD	PAINT	PAINT	---	---	U-FACTOR PER IECC REPORT	
D105a	5'-0"	6'-8"	1 3/4"	SCMD	TEMP.	PAINT FF	PAINT FF	D6	WD	PAINT	PAINT	---	---	U-FACTOR PER IECC REPORT	
D105b	5'-0"	6'-8"	1 3/4"	SCMD	TEMP.	PAINT FF	PAINT FF	D6	WD	PAINT	PAINT	---	---	U-FACTOR PER IECC REPORT	
D106a	3'-0"	6'-8"	1 3/4"	SCWD	TEMP.	PAINT	PAINT	D7	WD	PAINT	PAINT	---	---	---	
D106b	2'-8"	6'-8"	1 3/4"	SCMD	TEMP.	PAINT FF	PAINT FF	D5	WD	PAINT	PAINT	---	---	U-FACTOR PER IECC REPORT	
D107a	2'-8"	6'-8"	1 3/4"	SCWD	TEMP.	PAINT	PAINT	D7	WD	PAINT	PAINT	---	---	---	
D107b	3'-2"	6'-8"	1 3/4"	HCWD	---	PAINT	PAINT	D3	WD	PAINT	PAINT	---	---	---	
D108a	3'-2"	6'-8"	1 3/4"	HCWD	---	PAINT	PAINT	D3	WD	PAINT	PAINT	---	---	---	
D108b	3'-2"	6'-8"	1 3/4"	HCWD	---	PAINT	PAINT	D3	WD	PAINT	PAINT	---	---	---	
D109	2'-8"	6'-8"	1 3/4"	SCWD	TEMP.	PAINT	PAINT	D7	WD	PAINT	PAINT	---	---	---	
D109A	2'-8"	6'-8"	1 3/4"	SCWD	---	PAINT	PAINT	D2	WD	PAINT	PAINT	---	---	---	
D109B	2'-4"	6'-8"	1 3/4"	HCWD	---	PAINT	PAINT	D2	WD	PAINT	PAINT	---	---	---	
D110	3'-0"	6'-8"	1 3/4"	SCWD	TEMP.	PAINT	PAINT	D7	WD	PAINT	PAINT	---	---	---	
D110A	5'-4"	6'-8"	1 3/4"	HCWD	---	PAINT	PAINT	D4	WD	PAINT	PAINT	---	---	---	
D111	3'-0"	6'-8"	1 3/4"	SCWD	TEMP.	PAINT	PAINT	D7	WD	PAINT	PAINT	---	---	---	
D112	2'-4"	6'-8"	1 3/4"	SCWD	TEMP.	PAINT	PAINT	D7	WD	PAINT	PAINT	---	---	---	
D113	2'-8"	6'-8"	1 3/4"	SCWD	TEMP.	PAINT	PAINT	D7	WD	PAINT	PAINT	---	---	---	
D113A	5'-4"	6'-8"	1 3/4"	HCWD	---	PAINT	PAINT	D4	WD	PAINT	PAINT	---	---	---	
D115a	3'-0"	6'-8"	1 3/4"	SCMD	TEMP.	PAINT FF	PAINT FF	D5	WD	PAINT	PAINT	---	---	---	
D115b	10'-0"	7'-0"	2"	---	---	PAINT	PAINT	D8	ALUM	PAINT	PAINT	---	---	---	
D115c	10'-0"	7'-0"	2"	---	---	PAINT	PAINT	D8	ALUM	PAINT	PAINT	---	---	---	
D115d	10'-0"	7'-0"	2"	---	---	PAINT	PAINT	D8	ALUM	PAINT	PAINT	---	---	---	
D118a	3'-0"	6'-8"	1 3/4"	SCWD	TEMP.	PAINT FF	PAINT FF	D5	ALUM	PAINT	PAINT	---	---	U-FACTOR PER IECC REPORT	
D118b	3'-0"	6'-8"	1 3/4"	SCWD	---	PAINT	PAINT	D1	ALUM	PAINT	PAINT	---	---	U-FACTOR PER IECC REPORT	

NOTE: 1. FIELD VERIFY ALL OPENINGS PRIOR TO INSTALLATION OF NEW DOOR
2. FF = FACTORY FINISH ON DOOR (NOT FIELD APPLIED)



1 DOOR TYPES

SCALE: 1/4"=1'-0"

WINDOW SCHEDULE

WIDW. SYMB. & TYPE	WINDOW		GLAZING		WINDOW FRAME		REMARKS
	WIDTH	HT.	TYPE	THK.	MTRL.	FINISH	
(W1)	3'-0"	5'-6"	TEMP.	DOUBLE GLAZED	---	GREY	U-FACTOR PER IECC REPORT
(W2)	3'-4"	7'-4"	TEMP.	DOUBLE GLAZED	---	GREY	U-FACTOR PER IECC REPORT
(W3)	3'-4"	8'-10"	TEMP.	DOUBLE GLAZED	---	GREY	U-FACTOR PER IECC REPORT
(W4)	3'-4"	5'-10"	TEMP.	DOUBLE GLAZED	---	GREY	U-FACTOR PER IECC REPORT
(W5)	3'-4"	2'-2"	TEMP.	DOUBLE GLAZED	---	GREY	U-FACTOR PER IECC REPORT
(W6)	6'-4"	1'-0"	TEMP.	DOUBLE GLAZED	---	GREY	U-FACTOR PER IECC REPORT
(W7)	3'-4"	1'-0"	TEMP.	DOUBLE GLAZED	---	GREY	U-FACTOR PER IECC REPORT
(W8)	4'-5"	1'-0"	TEMP.	DOUBLE GLAZED	---	GREY	U-FACTOR PER IECC REPORT
(W9)	3'-4"	3'-4"	TEMP.	DOUBLE GLAZED	---	GREY	U-FACTOR PER IECC REPORT

NOTE: 1. ALL WINDOW DIMENSIONS MUST BE FIELD VERIFIED PRIOR TO FABRICATION.



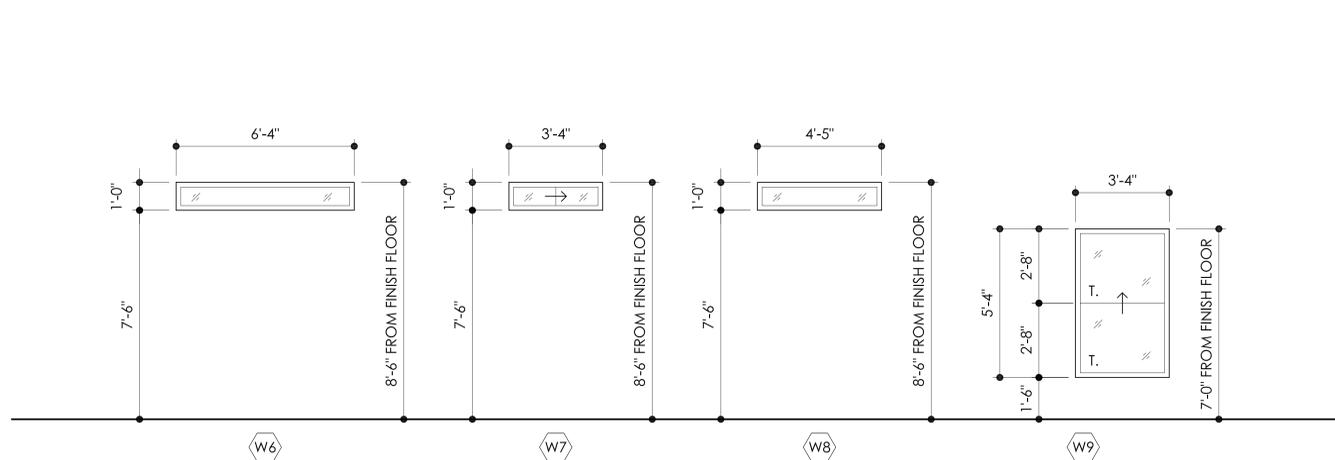
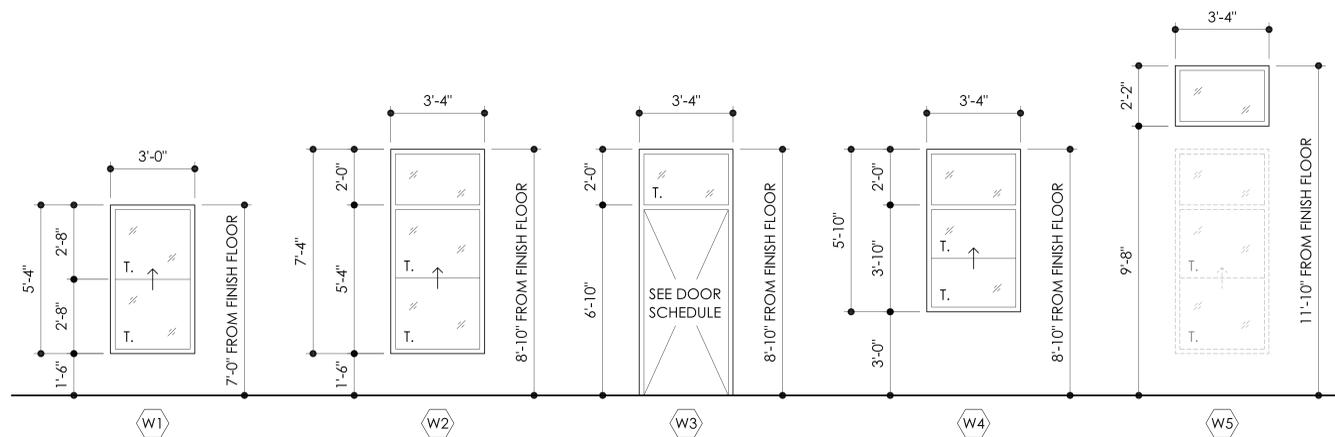
EXTERIOR DOORS - MASONITE PAINTED STEEL PREHUNG



GARAGE DOORS - CLOPAY MODERN STEEL COLLECTION



WINDOWS - JELD-WEN W-2500 WOOD WINDOWS



2 WINDOW TYPES

SCALE: 1/4"=1'-0"

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DOOR AND WINDOW SCHEDULE

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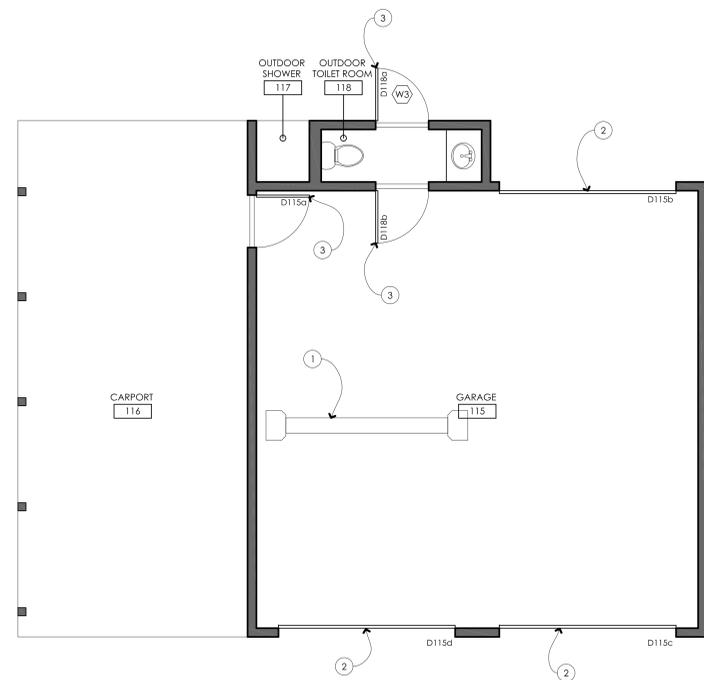
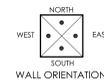
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FINISH SCHEDULE

TYPE	PRODUCT	MANUFACTURER	DESCRIPTION	LOCATION / COMMENTS
ROOF-1	ROOFING PRE-FINISHED SIGNATURE 300	MBCI	MEDIUM BRONZE	ON WEST FACING ROOF
ROOF-2	ROOFING GALVALUME	MBCI	GALVALUME FINISH	ON EAST FACING ROOF AND GARAGE
PT-1 EXTERIOR	PAINT	PPG	PPG 1006-7 METROPOLIS	ON WEST SIDE OF DWELLING
PT-2 EXTERIOR	PAINT	SHERWIN WILLIAMS	SW 7076 CYBER SPACE / OR AS SELECTED BY OWNER	ON EAST FACING OF DWELLING AND GARAGE
PT-3 EXTERIOR	PAINT	PPG	PPG 1001-1 DELICATE WHITE	PORCH SOFFIT COLUMNS AND EAVE TRIMS
DOOR COLOR-1 EXTERIOR	PAINT	PPG	PPG 1199-7 FRAGRANT CLOVES / OR AS SELECTED BY OWNER	FRONT DOOR INTERIOR AND EXTERIOR
GARAGE DOOR COLOR	PAINT	PPG	SW 7076 CYBER SPACE / OR AS SELECTED BY OWNER	ON ALL GARAGE DOORS

ROOM FINISH SCHEDULE

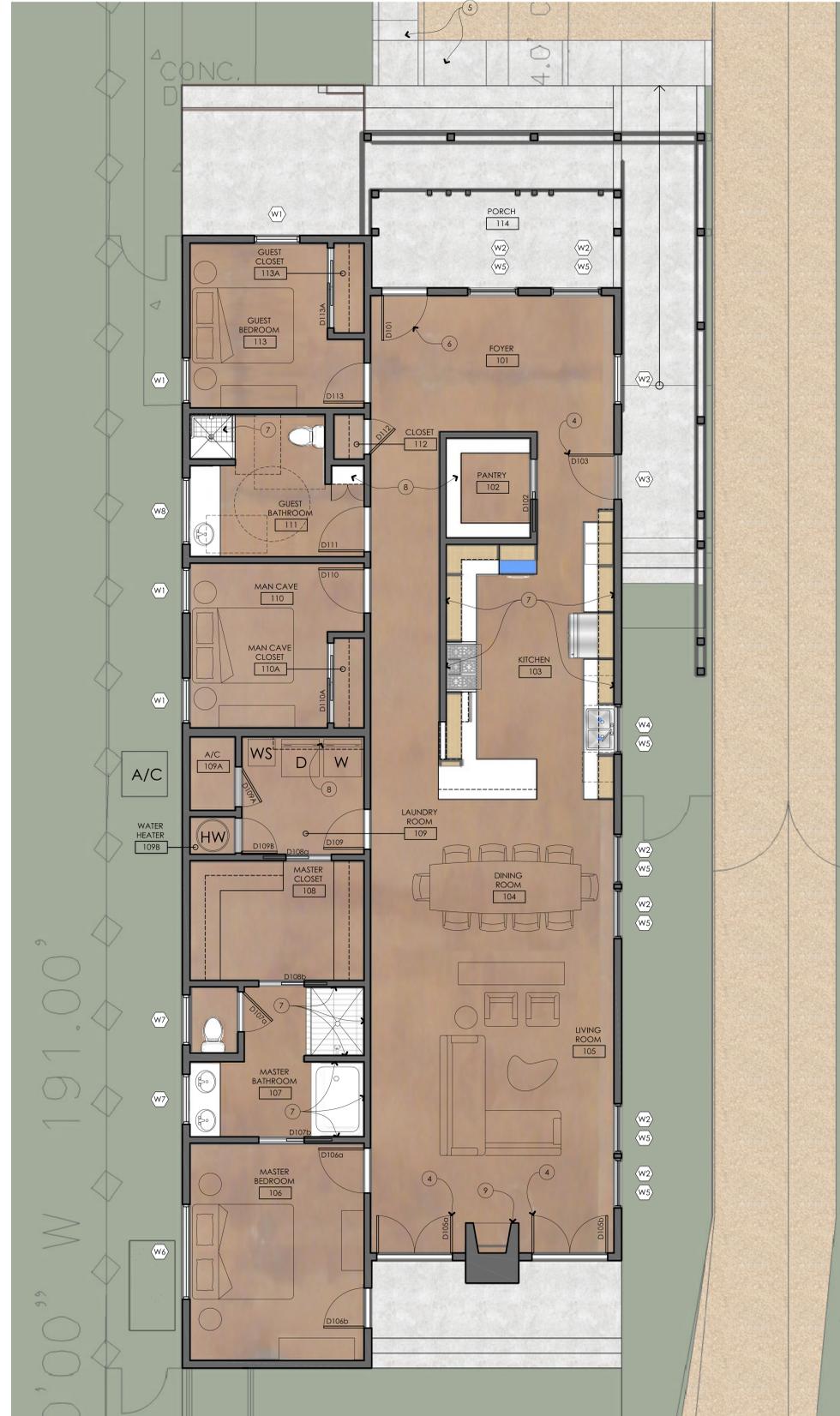
ROOM NO.	ROOM NAME	FLOOR		BASE	WALLS		CLG.	REMARKS
		STAINED CONCRETE	SEALED CONCRETE	LACED WOOD FINISH	PAINTED WOOD FINISH	PAINTED WOOD FINISH	PAINTED WOOD FINISH	
101	FOYER	•	•	•	•	•	•	
102	PANTRY	•	•	•	•	•	•	
103	KITCHEN	•	•	•	•	•	•	
104	DINING ROOM	•	•	•	•	•	•	
105	LIVING ROOM	•	•	•	•	•	•	
106	MASTER BEDROOM	•	•	•	•	•	•	
107	MASTER BATHROOM	•	•	•	•	•	•	
108	MASTER CLOSET	•	•	•	•	•	•	
109	LAUNDRY ROOM	•	•	•	•	•	•	
109A	A/C	•	•	•	•	•	•	
109B	WATER HEATER	•	•	•	•	•	•	
110	MAN CAVE	•	•	•	•	•	•	
110A	MAN CAVE CLOSET	•	•	•	•	•	•	
111	GUEST BATHROOM	•	•	•	•	•	•	
112	CLOSET	•	•	•	•	•	•	
113	GUEST BEDROOM	•	•	•	•	•	•	
113A	GUEST CLOSET	•	•	•	•	•	•	
114	PORCH	•	•	•	•	•	•	
115	GARAGE	•	•	•	•	•	•	
116	CARPORT	•	•	•	•	•	•	
117	OUTDOOR SHOWER	•	•	•	•	•	•	
118	OUTDOOR TOILET ROOM	•	•	•	•	•	•	



1 GARAGE ROOM FINISH PLAN
SCALE: 1/4" = 1'-0"



2 DWELLING ROOM FINISH PLAN
SCALE: 1/4" = 1'-0"



KEY NOTES

- AUTO LIFT / SEE FLOOR PLANS
- PROVIDE PRIMED GARAGE DOORS TO BE FIELD PAINTED
- PAINT DOORS TO MATCH WALL FINISH
- PROVIDE FACTORY FINISHED DOOR / GREY
- LIGHT BROOM FINISH ON SIDEWALK
- PAINT DOOR PER FINISH SCHEDULE
- INSTALL OWNER SELECTED TILE
- INSTALL OIL BASED PAINT AT ALL SHELVING
- INSTALL PAINTED CEMENT PLASTER AT FIRE PLACE / SEE INTERIOR ELEVATIONS

GENERAL NOTES

- PAINT ALL INTERIOR WALLS
- INSTALL 3"x2" SAMPLES ON MOCK UP WALLS FOR OWNER/ARCHITECT APPROVAL

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ROOM AND FINISH SCHEDULE

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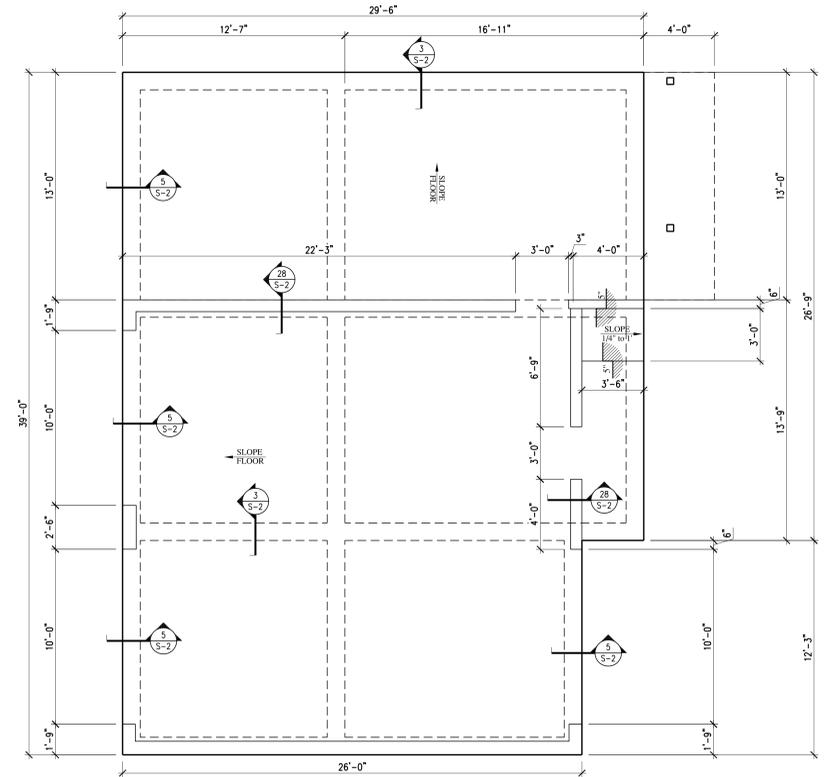
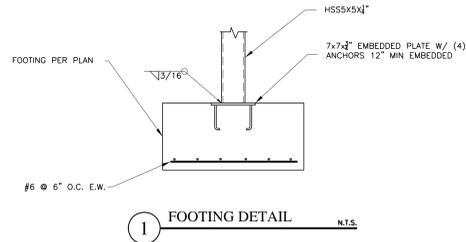
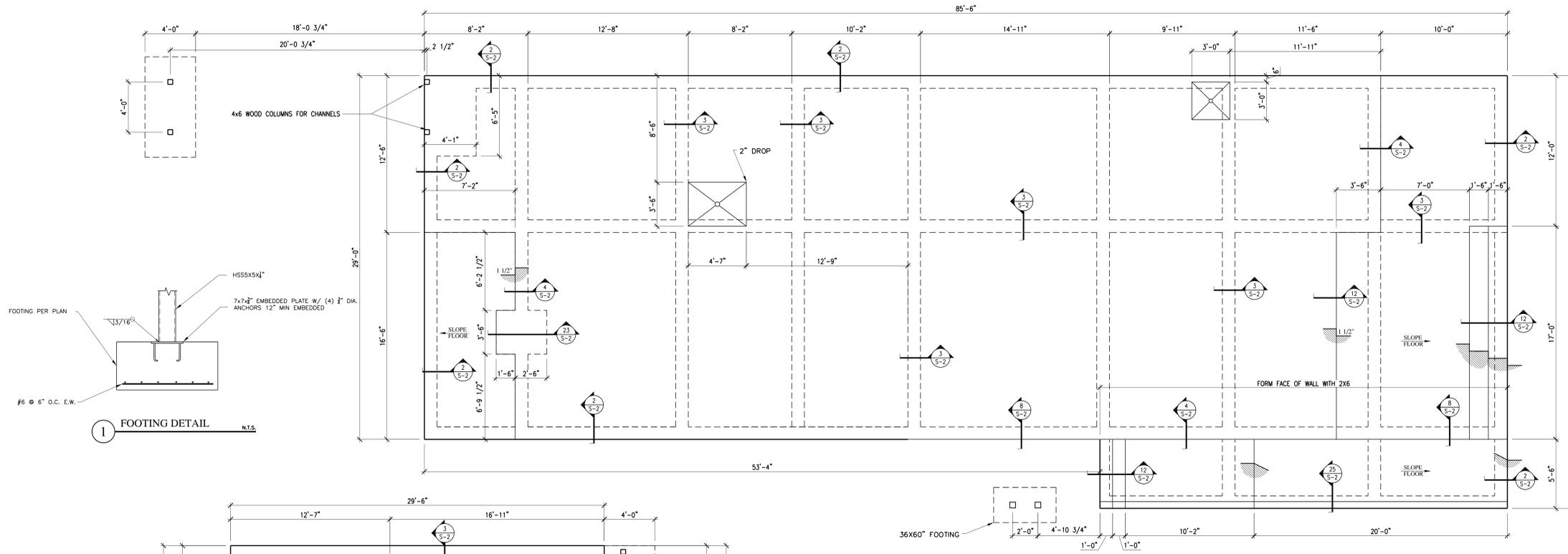
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MAIN HOUSE FOUNDATION PLAN
SCALE: 1/4"=1'-0"

DESIGN CRITERIA NOTES

- THE INTENDED DESIGN STANDARDS (LATEST EDITION) AND/OR CRITERIA ARE AS FOLLOWS:
GENERAL INTERNATIONAL RESIDENTIAL/BUILDING CODE 2015 EDITION
WOOD AISC
WOOD TRUSSES TPI
- DESIGN LOADS
DEAD LOADS ROOF 10 PSF - COMPOSITION SHINGLE
LIVE LOADS FLOORS 40 PSF
ROOF 20 PSF
CEILING JOIST 10 PSF
- SNOW LOAD : 5PSF
- WIND LOAD : 115MPH APPLIED PER I(B/R)C 1 = 1.0 EXPOSURE "B"
- SEISMIC : SEISMIC CATEGORY "A"
- ROUGH CARPENTRY
- ALL WOOD FRAMING MATERIAL SHALL BE SURFACE DRY AND USED AT 19% MAXIMUM MOISTURE CONTENT. ALL FRAMING LUMBER SHALL BE NO. 2 SYP OR BETTER.
- ALL LOAD BEARING PARTIONS SHALL RECEIVE A DOUBLE 2X TOP PLATE AND LAPPED AT CORNERS.
- ALL PARTITIONS SHALL BE BRACED ON THE TOP AT INTERVALS NOT EXCEEDING 6 FEET ON CENTER
- ALL MULTIPLE GIRDERS, BEAMS AND JOISTS SHALL BE GANG NAILED
- ALL FRAMING EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- PREFABRICATED METAL JOIST HANGERS, HURRICANE CLIPS, HOLD-DOWN ANCHORS, AND OTHER ACCESSORIES SHALL BE MANUFACTURED BY "SIMPSON STRONG TIE" OR APPROVED EQUAL.
- PREFABRICATED LVL'S, GLULAMS, AND PSL HEADERS AND BEAMS SHALL BE MANUFACTURED BY "TRUS JOIST MacMILLAN CORP." OR APPROVED EQUAL. MINIMUM BENDING STRESSES SHALL BE AS FOLLOWS:
LVL'S = 2,600 PSI
PSL'S = 2,900 PSI
GLULAMS = 2,400 PSI
- ALL PLATES, ANCHORS, NAILS, BOLTS, NUTS, WASHERS AND OTHER HARDWARE EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED
- INSTALL ALL BLOCKING NECESSARY FOR ATTACHING ALL FINISHES, GYPSUM WALLBOARD, CABINETRY, ETC.
- ATTACH WOOD PLATES TO FOUNDATIONS WITH 1/2" ANCHOR BOLTS AT 4'-0" O.C. MAXIMUM SPACING WITH AT LEAST 2 BOLTS PER PLATE.
- INSTALL COLUMNS AT ALL LINTELS, BEAMS, HEADERS EQUAL TO THE WIDTH OF THE BEAM. ALL MEMBERS WITH SPANS LESS THAN 5 FOOT SHALL HAVE SINGLE JACK STUDS.
- ATTACH WALL AND ROOF SHEATHING TO FRAMING WITH 8d NAILS AT 12" O.C. INTERMEDIATE SUPPORTS AND 6" O.C. EDGE SUPPORTS
- THE CONTRACTOR SHALL INSURE THAT ALL LOADS AND REACTIONS FROM BEAMS, BEARINGS WALLS, COLUMNS, ETC. ARE CONTINUOUSLY SUPPORTED TO THE FOUNDATION.
- ALL FLOOR SHEATHING SHALL BE A MINIMUM 3/4" TONGUE AND GROOVE SHEATHING GLED AND NAILED AT 6" O.C. WITH 8d NAILS.
- TAPERED END CUTS SHALL MEET MANUFACTURERS REQUIREMENTS.
- NOTCHING OF PREFABRICATED LUMBER SHALL NOT BE PERMITTED. WEB HOLES SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS

GARAGE FOUNDATION PLAN
SCALE: 1/4"=1'-0"



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FOUNDATION PLAN

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FOUNDATION GENERAL NOTES:

- GENERAL:
 - THIS FOUNDATION HAS BEEN DESIGNED AS A SOIL SUPPORTED STIFFENED GRID TYPE BEAM AND SLAB FOUNDATION. AND AS SUCH WILL MOVE WITH THE SOILS UPON WHICH IT BEARS.
 - CONTRACTOR IS TO VERIFY ALL DIMENSIONS, DROP AREAS, FLOOR PENETRATIONS, AND BLOCK OUT LOCATIONS WITH THE ARCHITECT'S FLOOR PLAN.
 - CONTRACTOR SHALL VERIFY ANY DEVIATION FROM THE INFORMATION ON THIS FOUNDATION DESIGN WITH JAMES V. RYAN, P.E.
 - THE CONTRACTOR SHALL NOT PLACE ANY CONCRETE UNTIL JAMES V. RYAN, P.E., HAS CONDUCTED A PRE-POUR INSPECTION AND HAS GIVEN APPROVAL TO PLACE THE CONCRETE.
 - CONTRACTOR IS TO CALL JAMES V. RYAN, P.E., IF FOUNDATION REQUIRES MULTIPLE CONCRETE POURS OF THREE (3) OR MORE.
 - CONTRACTOR SHALL FURNISH THE LABOR, MATERIALS, EQUIPMENT AND SUPERVISION NECESSARY TO PERFORM ALL WORK SHOWN ON PLANS AND SPECIFICATIONS.
 - IT IS THE RESPONSIBILITY OF THE BUILDER/CONTRACTOR TO NOTIFY THE HOMEOWNER OF THE IMPORTANCE OF ITEMS 20 AND 20 BELOW AND OF THE LIMITATIONS AS EXPRESSED IN ITEM NO. 1 ABOVE. NO OTHER WARRANTIES ARE EXPRESSED OR IMPLIED.

- FOUNDATION SITE PREPARATION & FINISH:
 - AREA OF FOUNDATION IS TO BE CLEARED AND GRUBBED OF ALL DELETERIOUS AND ORGANIC MATERIALS DOWN TO A SOLID BASE.
 - PROVIDE A VAPOR BARRIER BENEATH THE FLOOR SLAB BY USING A WATERPROOFING MEMBRANE OF 6 MIL POLYETHYLENE. THE MEMBRANE SHALL BE TAPED AT ALL SPLICES AND TEARS. THE MEMBRANE SHALL EXTEND TO WITHIN 6-INCHES OF THE BOTTOM OF THE BEAM TRENCHES.
 - POSITIVE DRAINAGE AWAY FROM THE PERIMETER OF THE FINISHED FOUNDATION MUST BE PROVIDED. THE TOP OF THE FOUNDATION SLAB SHOULD BE A MINIMUM OF 8-INCHES ABOVE THE FINISHED GRADE. THE GROUND ADJACENT TO THE FOUNDATION SHOULD SLOPE AWAY A MINIMUM OF 6-INCHES IN THE FIRST 5-FEET.
 - ANY TREES PLANTED AFTER PLACEMENT OF THE FOUNDATION SHOULD BE PLANTED NO CLOSER TO THE FOUNDATION THAN ONE-HALF THE POTENTIAL HEIGHT OF THE TREE.
 - IT IS THE RESPONSIBILITY OF THE BUILDER/CONTRACTOR TO NOTIFY THE HOMEOWNER OF THE IMPORTANCE OF ITEMS 20 AND 20 BELOW AND OF THE LIMITATIONS AS EXPRESSED IN ITEM NO. 1 ABOVE. NO OTHER WARRANTIES ARE EXPRESSED OR IMPLIED.

- CONCRETE:
 - CONCRETE TO BE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS, AND SHALL BE IN ACCORDANCE ACI 301. CEMENT SHALL BE TYPE 1 AND FLY ASH (IF USED) SHALL BE MONEY RESOURCES CLASS C. IF FLY ASH IS USED, IT SHALL NOT EXCEED 20% OF THE TOTAL AMOUNT OF FLY ASH AND CEMENT USED BY WEIGHT. NO AIR ENTRAINMENT OR CALCIUM CHLORIDE SHALL BE USED. CONTRACTOR SHALL SATISFY HIMSELF THAT THE MIX DESIGN IS ACCEPTABLE FOR ITS INTENDED PURPOSE.
 - CONCRETE SHALL BE PLACED AND CURED IN ACCORDANCE WITH ACI 302.1R. FINISH TOLERANCE SHALL BE IN ACCORDANCE WITH ACI 117. A MINIMUM SET OF TWO TEST CYLINDERS FOR 28-DAY COMPRESSIVE STRENGTH TESTS ARE RECOMMENDED TO BE PERFORMED IN ACCORDANCE WITH ASTM C42.
 - PLACE 1/2" X 7" EMBEDMENT ANCHOR BOLTS FOR ALL SILL PLATES ON EXTERIOR WALLS NOT EXCEEDING 4'-0" O.C. AND A MINIMUM OF 2 ANCHOR BOLTS PER WALL AND NOT FARTHER THAN 12-INCHES FROM WALL ENDS.

- GRADE BEAMS:
 - ALL GRADE BEAM DEPTHS MAY BE REDUCED TO A MINIMUM OF 14-INCHES IF THE BEAM IS BEARING ON SOLID ROCK.
 - FOR GRADE BEAMS WITH DEPTHS EQUAL TO OR IN EXCESS OF 36-INCHES, INCREASE THE AMOUNT OF REINFORCING STEEL BY ADDING TWO-#4 BARS HORIZONTALLY EVERY 18-INCHES OF VERTICAL. IF THE EXTERIOR GRADE BEAMS EXCEED 8-FEET IN DEPTH, SEE DETAIL 19 PER THIS DRAWING.

- REINFORCING STEEL:
 - REINFORCING BARS SHALL BE NEW BILLET STEEL, DEFORMED BARS, CONFORMING TO ASTM A615 GRADE 60.
 - LAPS AND SPLICES: MINIMUM 40 BAR DIAMETERS.
 - ALL BARS TO BE SUPPORTED IN THE FORMS AND SLAB WITH CHAIRS OR WIRE BOLSTERS, AND SHALL BE TIED AT EVERY OTHER INTERSECTION.
 - ALL BARS SHALL HAVE A MINIMUM CLEAR COVER OF 3-INCHES FROM THE BOTTOM AND SIDES OF THE BEAMS. SLAB REINFORCING SHALL BE IN MID PLANE.
 - CORNER REINFORCING BARS: TWO CORNER BARS AT EACH CORNER OF THE PERIMETER GRADE BEAM/WALL AS PER DETAIL 14, AND FOUR CORNER BARS AT THE INTERSECTION OF ALL INTERIOR GRADE BEAMS WITH THE PERIMETER GRADE BEAM/WALL AS PER DETAIL 13.

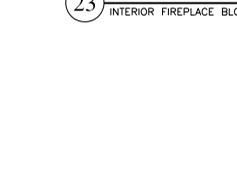
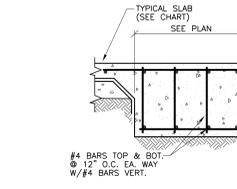
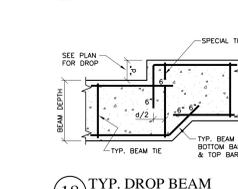
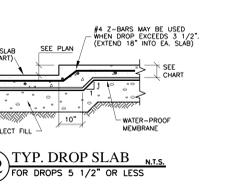
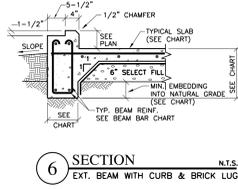
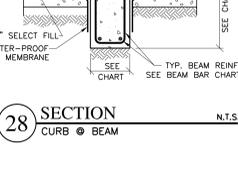
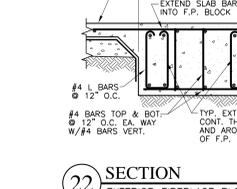
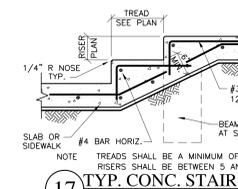
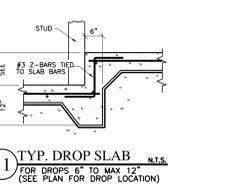
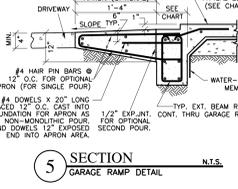
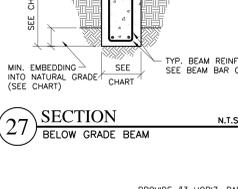
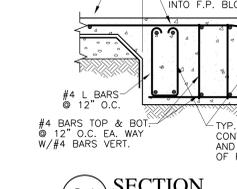
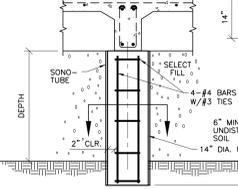
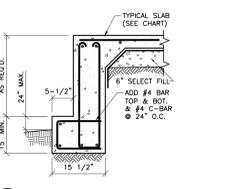
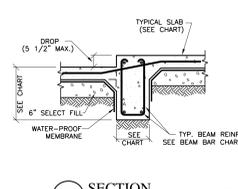
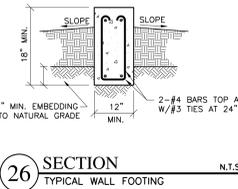
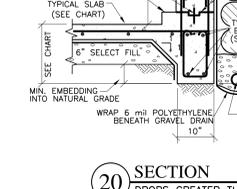
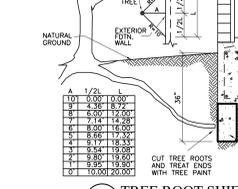
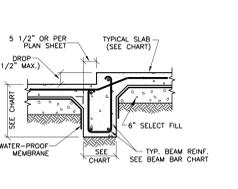
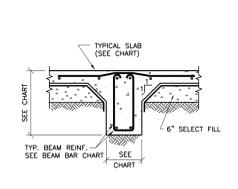
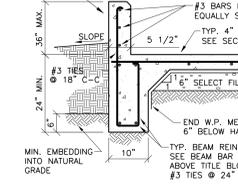
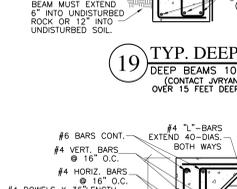
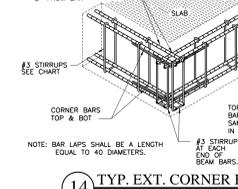
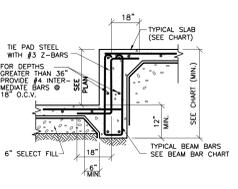
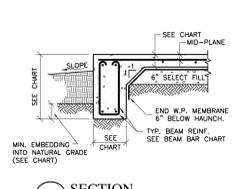
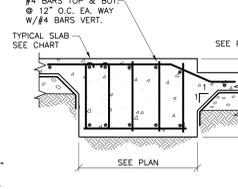
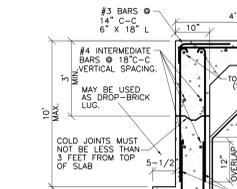
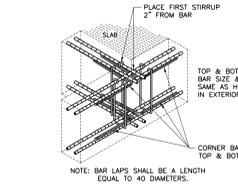
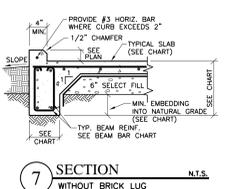
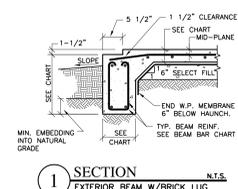
- CONSTRUCTION:
 - FOR ALL SLAB DROPS GREATER THAN 36-INCHES, THE CONTRACTOR SHALL CONSTRUCT A FRENCH DRAIN SYSTEM OF CAPACITY SUFFICIENT TO INTERCEPT AND TRANSPORT WATER FROM BENEATH THE FOUNDATION TO A POINT AWAY FROM THE FOUNDATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ESTABLISH THE DIRECTION OF FLOW AND POINT OF DISCHARGE TO DRYWELL. DISCHARGE OUTLET TO BE A MINIMUM OF 5-FEET AWAY FROM FOUNDATION. SOLID WALL PIPE MAY BE USED OUTSIDE OF FOUNDATION. WRAP ALL PERFORATED PIPE WITH MIRAFI N-SERIES FILTER FABRIC. REFER TO DETAIL 20.
 - ALL FOUNDATIONS THAT ARE TO HAVE A FILL DEPTH GREATER THAN 2-FEET BELOW BOTTOM OF INTERIOR GRADE BEAM SHALL MEET ONE OF THE FOLLOWING:
 - INTERIOR GRADE BEAMS MAY BE DEEPENED TO MAINTAIN 2-FEET MAXIMUM DEPTH OF FILL BELOW BOTTOM OF BEAM. INTERMEDIATE BARS PER NOTE 4-B SHALL BE ADDED IF REQUIRED.
 - IF BEARING ON SOLID ROCK - 14-INCHES DIA. PIERS, FORMED WITH SONO-TUBES, SHALL BE PLACED AT ALL INTERIOR BEAM INTERSECTIONS. PIERS ARE TO BE REINFORCED WITH A MINIMUM OF FOUR-#4 VERTICAL BARS WITH #3 TIES @ 12-INCHES O.C. VERTICALLY. REFER TO DETAIL 13.
 - IF EARTH SUPPORTED - SELECT FILL EQUAL TO TxDOT NO. 2 BASE SHALL BE COMPACTED TO A MINIMUM 95-PERCENT MODIFIED PROCTOR PER ASTM D-1557. FILL IS TO BE PLACED IN 8-INCH LIFTS AND TESTED BY A SOILS TESTING LAB.
 - ALTERNATIVELY, IF EARTH SUPPORTED - CRUSHED LIMESTONE BASE FILL WITH 100% PASSING 1 1/2-INCH SIEVE, AND 0% PASSING NO. 4 SIEVE, CAN BE PLACED WITHOUT COMPACTION. BEFORE INSTALLATION OF BASE FILL, FILTER FABRIC SUCH AS MIRAFI N-SERIES IS TO BE PLACED OVER EXISTING EARTH.
 - WHERE PIPES PASS THROUGH BEAMS, INCREASE BEAM SIZE AT PIPE PENETRATIONS TO MAINTAIN MINIMUM BEAM WIDTH AND HEIGHT. PLACE OF OVERSIZED DIAMETER SLEEVES IS ALSO RECOMMENDED.
 - CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM THE SLAB PERIMETER DURING CONSTRUCTION.
 - CONCRETE SHALL NOT BE PLACED ON SOILS THAT HAVE BEEN DISTURBED BY RAINFALL OR SEEPAGE, AND ALL BEARING SURFACES SHALL BE FREE OF LOOSE SOIL, PONDED WATER, AND DEBRIS PRIOR TO PLACING THE CONCRETE.

SOILS INFORMATION

DESIGN LEVEL	SOIL TYPE	P.L.	BY	DATE
E	CLAY	50		

BEAM AND SLAB INFORMATION

BEAM WIDTH	EXT. BEAM DEPTH	INT. BEAM DEPTH	BEAM BARS	STIRRUP EXT. BEAM	STIRRUP INT. BEAM	PAD BARS	SLAB THICKNESS
12" MIN.	33" MIN.	12" MIN.	27" MIN.	2-#7 TOP 2-#7 BOT.	#3 @ 18" O.C.	#3 @ 18" O.C.	4"



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FOUNDATION SECTIONS

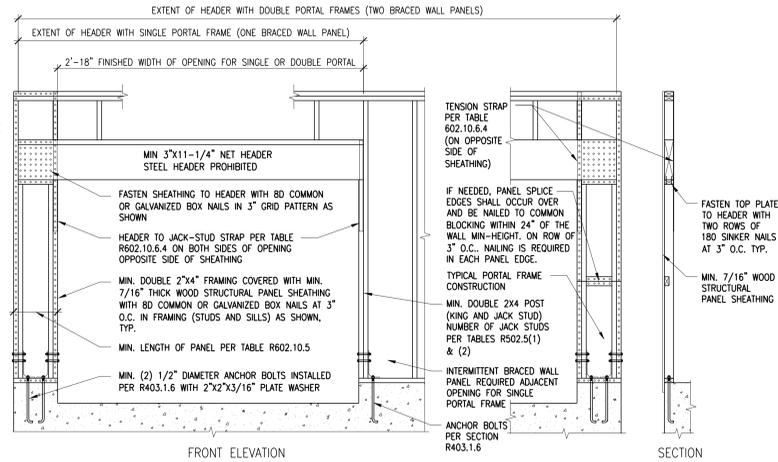
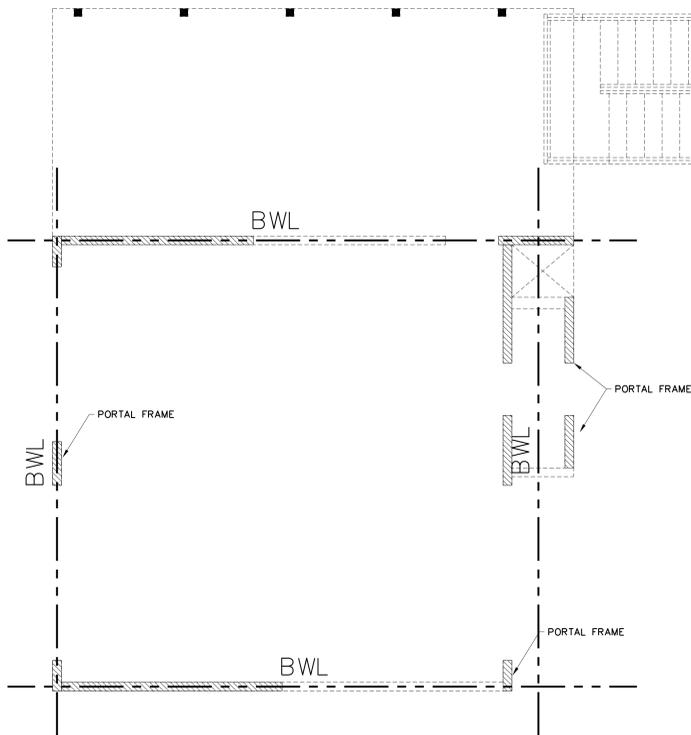
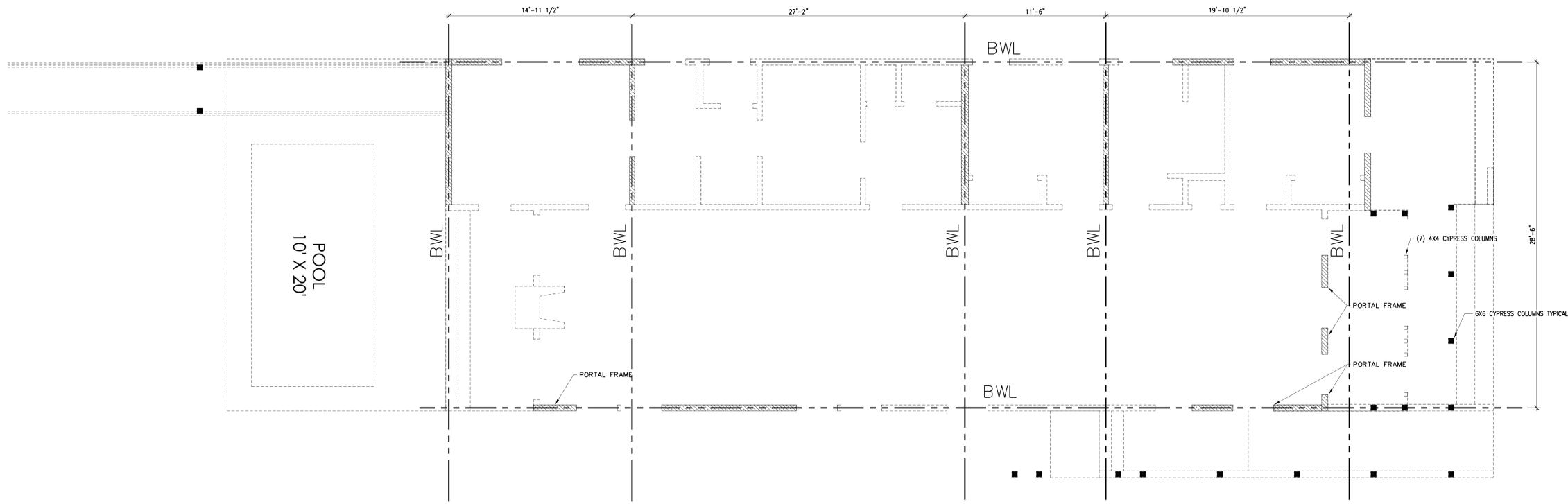
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 OF 5 SHEETS

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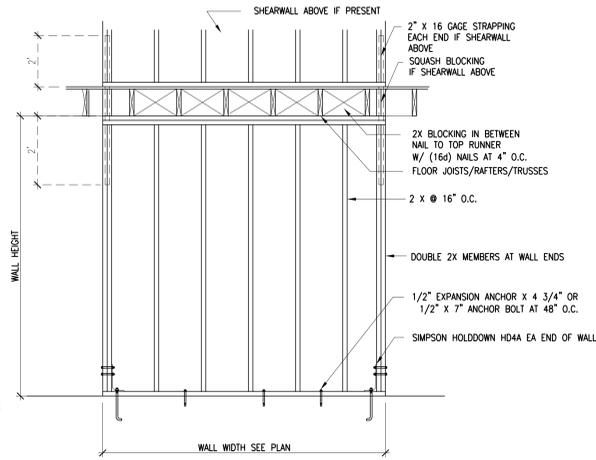
STATE OF TEXAS
 JAMES VINCENT RYAN, JR.
 90554
 LICENSED PROFESSIONAL ENGINEER

James V. Ryan, P.E.
 Structural Engineering

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 San Antonio, TX 78233
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 Fax (210) 599-7492
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FRONT ELEVATION
PORTAL FRAME DETAIL
NO SCALE



NOTE: WALL HEIGHT/WALL WIDTH < 3.5
TYPICAL BRACED WALL DETAIL
NO SCALE

SHEARWALL SCHEDULE CONFORM TO IRC METHOD WSP			
MARK	WALL CONSTRUCTION	WALL & SILL PLATE ANCHORING	WALL CHORD MEMBER
1/2" OSB	1/2" OSB ONE FACE OF WALL (BLOCKED) W/ 16d NAILS @ 3" O.C. ALONG PANEL EDGES & 3" O.C. @ INTERIOR STUD LINE.	1/2" x 7" ANCHOR BOLTS @ 4'-0" O.C. MAX SPACING. MINIMUM 2 PER PLATE.	(2) 2X STUDS



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WIND BRACING PLAN

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S-3

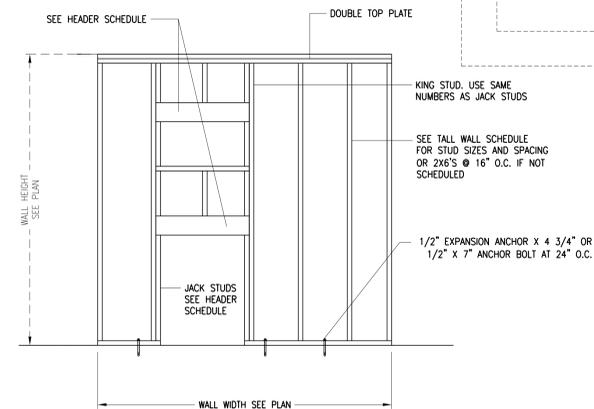
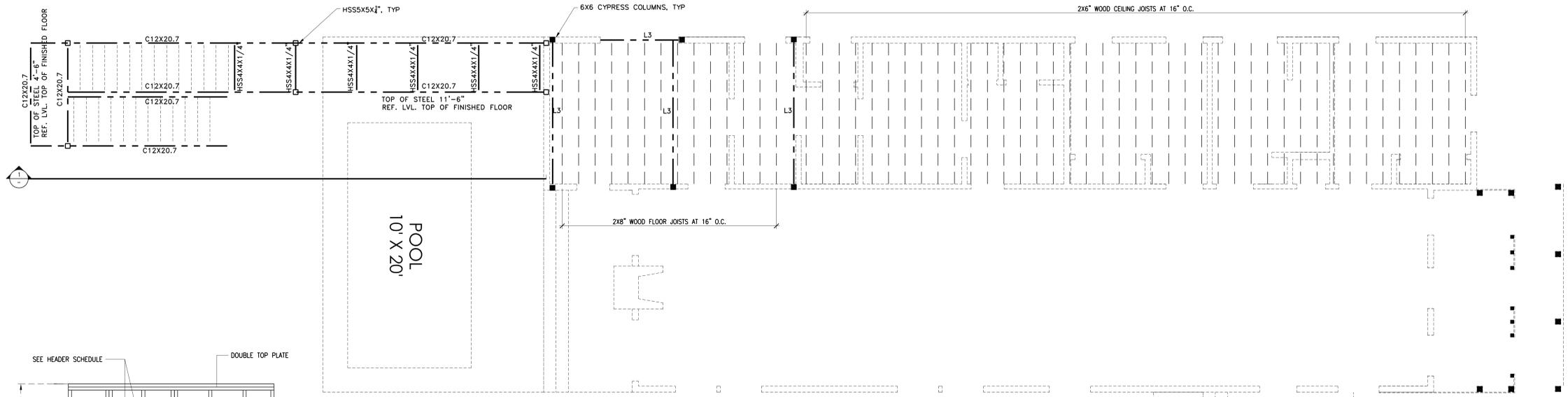
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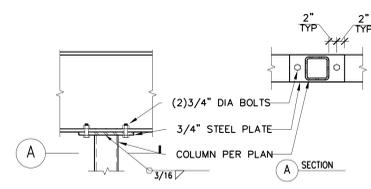


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TYPICAL TALLWALL DETAIL
NO SCALE



2 DETAIL
BEAM TO COLUMN CONNECTION
N.T.S.

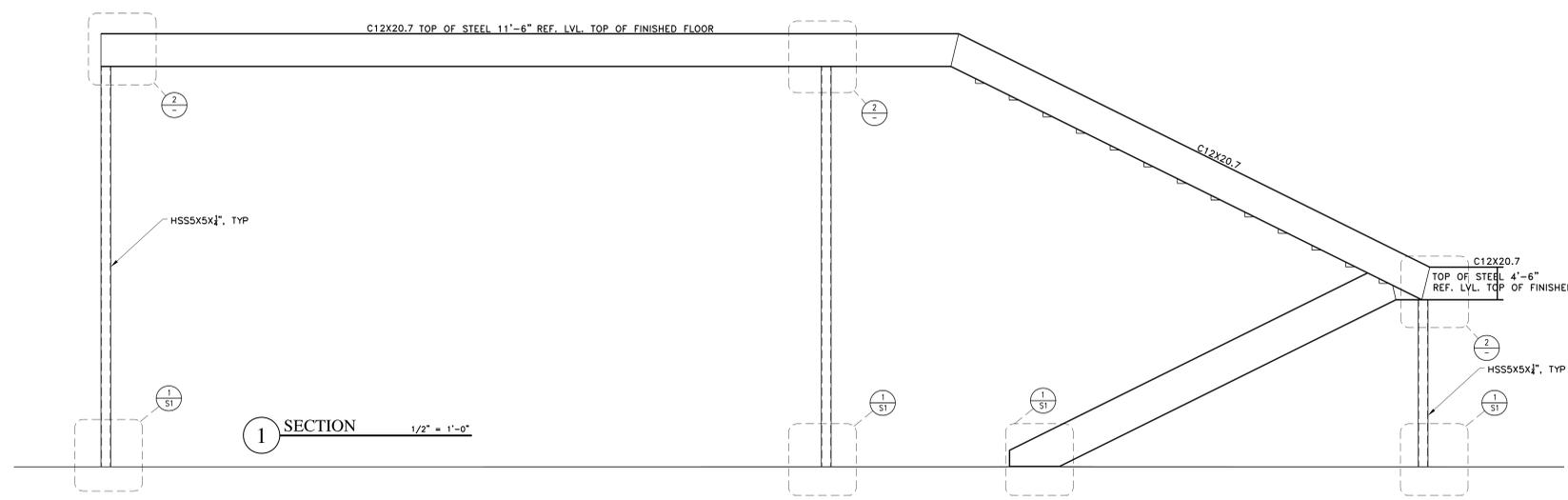
SIZE	MAXIMUM SPAN	
	ONE STORY B.R.	TWO STORY B.R.
2-2x6	3'-6"	2'-5"
2-2x8	4'-5"	3'-2"
2-2x10	5'-5"	3'-10"
2-2x12	6'-3"	4'-5"

* THESE HEADER SIZES ARE TO BE USED UNLESS OTHERWISE NOTED ON PLAN
* ALL MATERIAL TO BE NO.2 S.P.
* NUMBER OF STORIES BELOW ROOF LEVEL (B.R.)
* USE (2) JACK STUDS FOR 2X12 (1) JACK STUD FOR OTHERS. KING STUDS NO. EQUALS JACK STUD

MEMBER	HANGER	REACTION (LBS)
(1) 2x6	HU SERIES	500 MIN.
(2) 2x10	HU210-2	1,650
(2) 2x12	HU212-2	2,145
(3) 2x10	HU210-3	1,875
(3) 2x12	HU212-3	2,145
3.5X9.25	HUS410	1,860
3.5X11.875	HUS412	2,510
3.5X14	HU416	2,680
3.5X16	HHUS410	5,190
3.5X18	HGUS414	11,180
5.25X9.25	HUS.31/9	1,875
5.25X11.875	HHUS.5/10	5,190
5.25X14	HHUS.5/10	5,190
5.25X16	HHUS.5/10	5,190
5.25X18	HGUS.5/14	11,180
TJ1'S	IUT SERIES	730 MIN
TRUSSES	H SERIES	

* THESE HANGERS ARE TO BE USED UNLESS OTHERWISE NOTED ON PLAN
* ALL HANGERS ARE SIMPSON STRONG TIE.

MARK	SIZE	JACK STUDS
L1	(2) 1 3/4" X 11 1/4" LVL	(2) 2 X 4/6
L2	(2) 1 3/4" X 14" LVL	(2) 2 X 4/6
L3	(2) 1 3/4" X 16" LVL	(2) 2 X 4/6
L4	(2) 1 3/4" X 18" LVL	(3) 2 X 4/6
L5	(3) 1 3/4" X 11 1/4" LVL	(2) 2 X 6
L6	(3) 1 3/4" X 14" LVL	(2) 2 X 6
L7	(3) 1 3/4" X 16" LVL	(2) 2 X 6
L8	(3) 1 3/4" X 18" LVL	(3) 2 X 6
L9	5.25 X 24 GLULAM	(4) 2 X 6



1 SECTION
1/2" = 1'-0"



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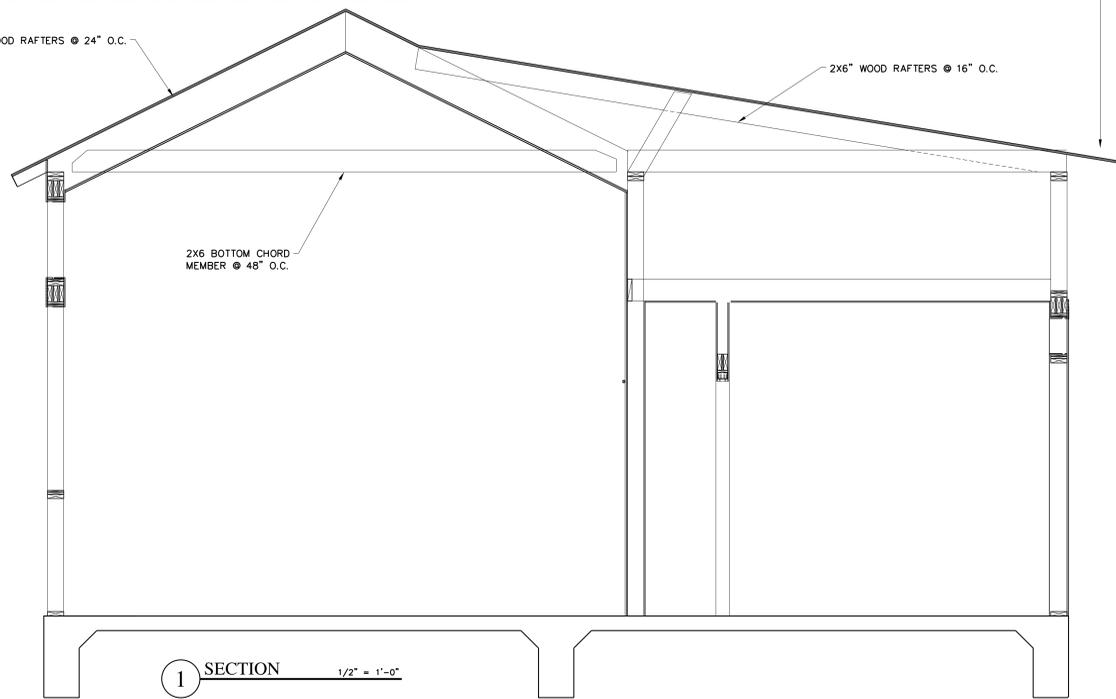
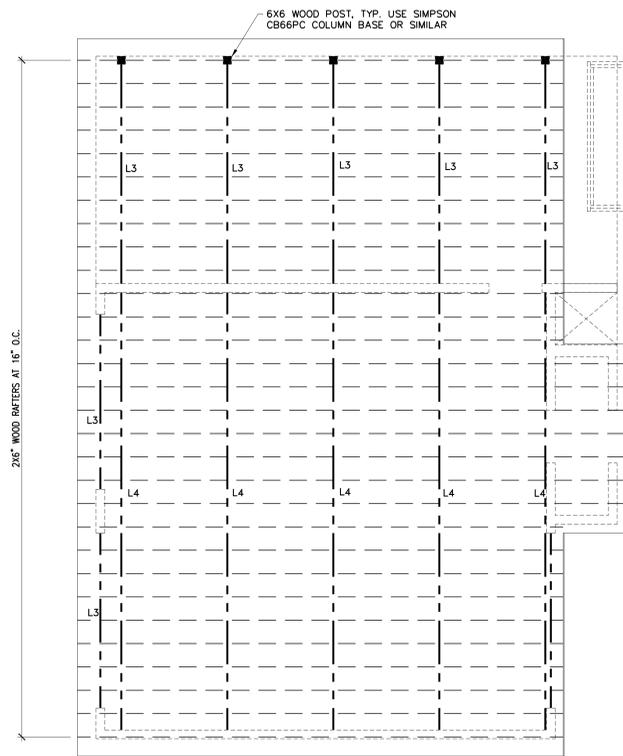
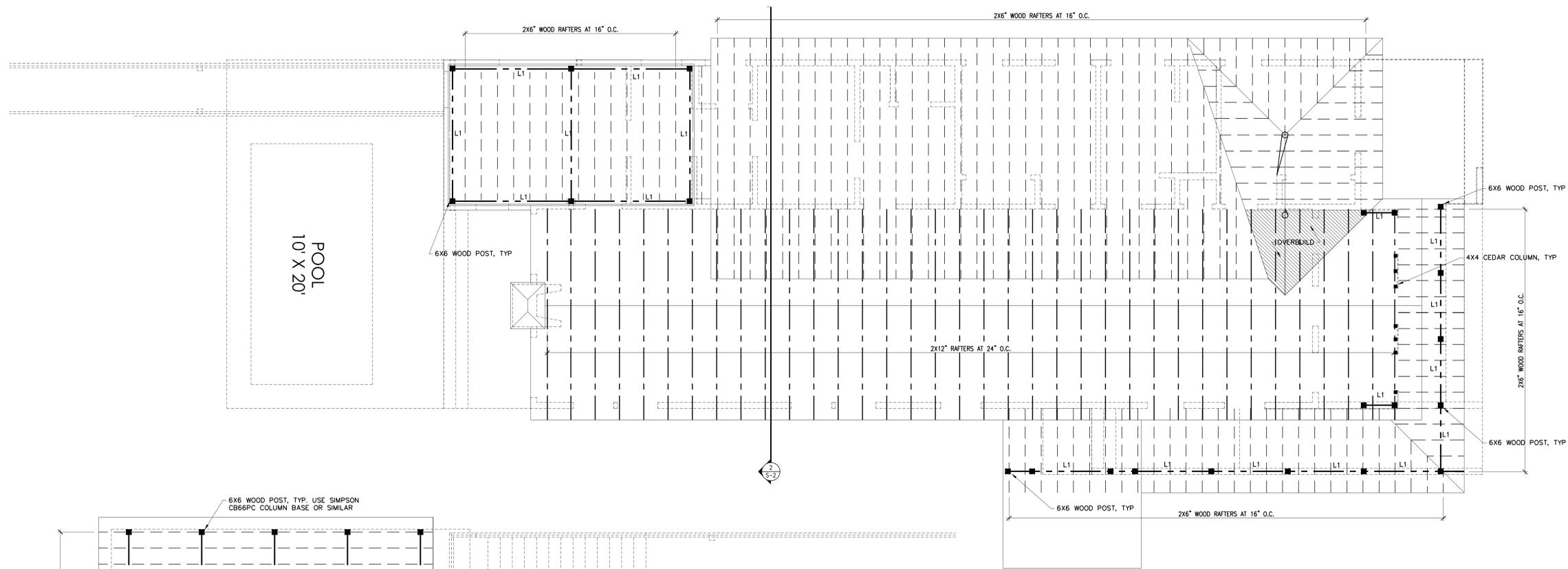
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SECOND FLOOR FRAMING

SHEET
S-4

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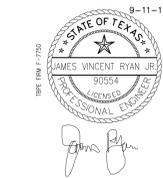
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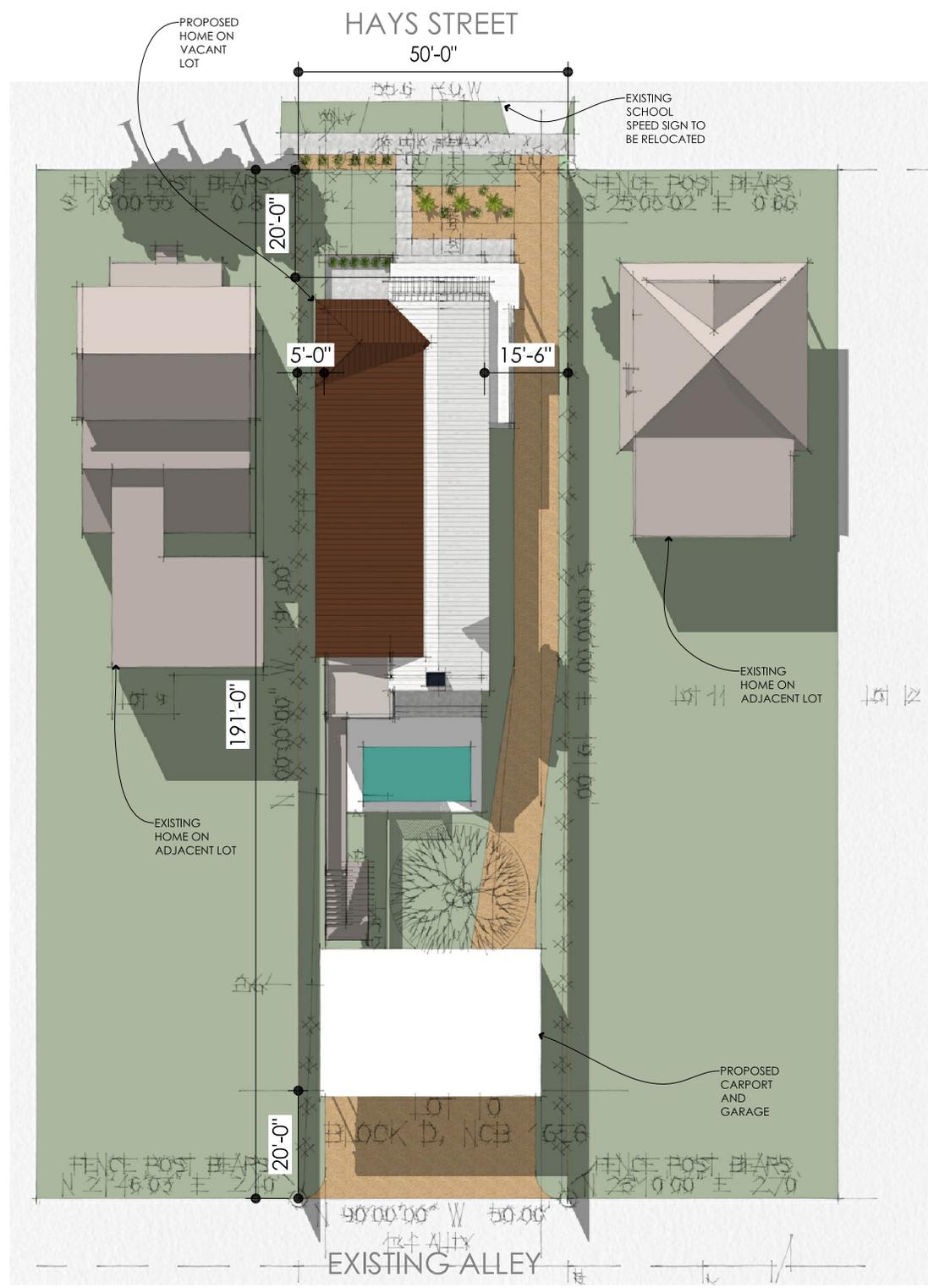
ROOF FRAMING PLAN

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 OF 5 SHEETS

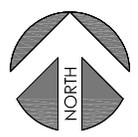


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Big Documents



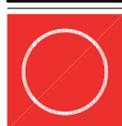
EXISTING LOT PHOTOS



1

Proposed Site Plan

Scale: 1:30



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820 Hays St. Residence
820 Hays St.
San Antonio, TX 78202
PROJECT NO: 2017011
DATE: 03.31.2017

SHEET
Dwg 1
1 OF 7 SHEETS

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"NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION"

UNDER THE AUTHORIZATION OF:

ALONZO C. ALSTON, RA
2 0 6 7 1



- PREFINISHED METAL ROOFING SYSTEM
- GALVALUME METAL ROOF WITH EXPOSED TONGUE AND GROOVE PAINTED DECK
- PAINTED WOOD PORCH
- PAINTED HARDIE SIDING
- CORTEN STEEL PLANTER



VIEW OF NORTH FACING ELEVATION

Color Selection



Color Selection

- 2X6 PAINTED NATURALLY ROT RESISTANT WOOD
- PAINTED PORTLAND CEMENT PLASTER
- 1X PAINTED TRIM



VIEW OF EAST FACING ELEVATION

Color Selection

2 Building Elevations
N.T.S.

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- PREFINISHED METAL ROOFING SYSTEM
- GALVALUME METAL ROOF WITH EXPOSED TONGUE AND GROOVE PAINTED DECK
- PAINTED WOOD PORCH
- PAINTED HARDIE SIDING
- CORTEN STEEL PLANTER

VIEW OF WEST FACING ELEVATION

Color Selection



- PPG PAINT
- PAINTED HARDIE TRIM
- PAINTED HARDIE SIDING
- PREFINISHED GARAGE DOOR TO MATCH SIDING

VIEW OF SOUTH FACING GARAGE ELEVATION

Color Selection

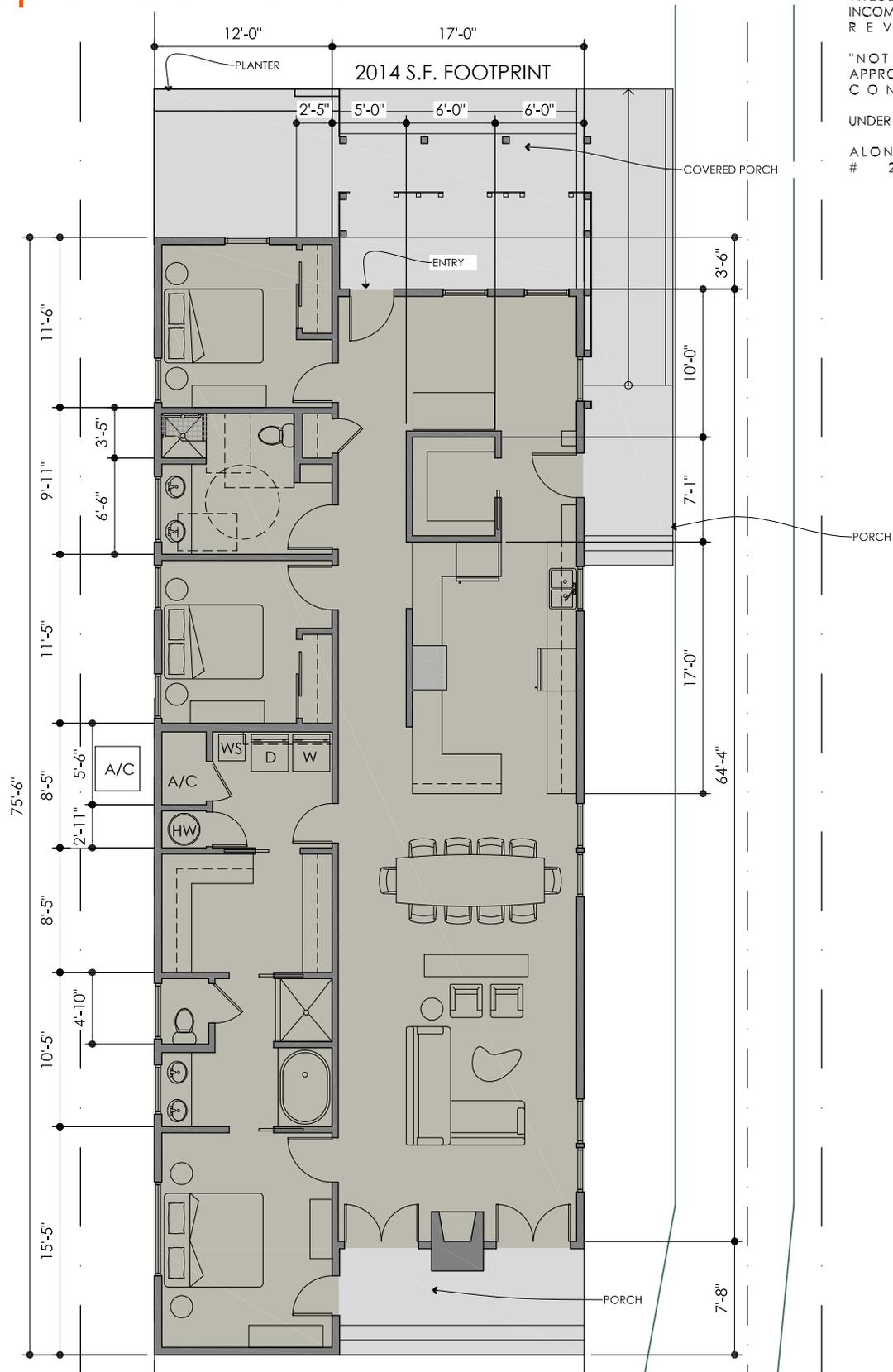
2 Building Elevations
N.T.S.

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4

Proposed Floor Plan

Scale: 3/32" = 1'-0"

The proposed design and construction features and specifications of the building improvements are as follows:

- A. Building Location: Located at 820 Hays Street SATX 78202.
- B. Architecture: Single Family Residence
- C. Existing Structure: No existing structure currently on site.
- D. Roof: Prefinished Galvalume Roofing and TPO at roof deck.
- E. Exterior Cladding: Painted Hardie plank 4" exposure and painted portland cement plaster. porch to be constructed of painted naturally rot resistant wood.
- F. Doors: Exterior doors shall be painted wood with exception to the rear doors, they are scheduled to be painted hollow metal.
- G. Fencing: 1x6 Cedar
- H. Selected Paint Colors: Colors are chosen to recede the new construction and allow the existing historic structures become a more prominent feature along the block. See Following Page.
- I. Signage: No new signage, existing pole mounted school sign to be relocated by property owner with authorization from Transportation and Capital Improvements.
- J. Pavement: Concrete sidewalks and decomposed granite driveway are planned.

5

Proposed Specifications



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Dwg 5

5 OF 7 SHEETS



Cement Plaster Finish



Hardie Siding



Galvalume Roofing



Paint Color Selections



Corten Steel Planter



Cedar Fence



MEDIUM BRONZE* ★
Prefinished Roofing

6

Proposed Materials and Finishes



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6 OF 7 SHEETS



9

Existing Surrounding Structures

N.T.S.



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