

HISTORIC AND DESIGN REVIEW COMMISSION

October 07, 2015

Agenda Item No: 16

HDRC CASE NO: 2015-392
COMMON NAME: 400 S Alamo St
LEGAL DESCRIPTION: NCB 13814 BLK 3 LOT PT OF 12 ARB 12K 2014-NEW ACCT PER SPLIT PER DEED 16485/61 EX 12/18/13
ZONING: D H RIO-3
CITY COUNCIL DIST.: 1
DISTRICT: Hemisfair Historic District
APPLICANT: Gary Boyd/City of San Antonio
TYPE OF WORK: Final approval of a temporary parking lot
REQUEST:

Applicant is requesting a Certificate of Appropriateness for a temporary parking lot located at 400 S Alamo Street, located directly north of the Magik Theatre. The lot will be bounded by S Alamo, New E Nueva, an emergency access road and the Magik Theatre. The applicant has noted that none of the existing trees will be removed and that additional trees will be planted. This will be a paid parking lot and will be operated by the City's Parking Division.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

3. Landscape Design

D. TREES

i. Preservation—Preserve and protect from damage existing mature trees and heritage trees. See UDC Section 35-523 (Tree Preservation) for specific requirements.

7. Off-Street Parking

A. LOCATION

i. Preferred location—Place parking areas for non-residential and mixed-use structures at the rear of the site, behind primary structures to hide them from the public right-of-way. On corner lots, place parking areas behind the primary structure and set them back as far as possible from the side streets. Parking areas to the side of the primary structure are acceptable when location behind the structure is not feasible. See UDC Section 35-310 for district-specific standards.

ii. Front—Do not add off-street parking areas within the front yard setback as to not disrupt the continuity of the streetscape.

iii. Access—Design off-street parking areas to be accessed from alleys or secondary streets rather than from principal streets whenever possible.

B. DESIGN

i. Screening—Screen off-street parking areas with a landscape buffer, wall, or ornamental fence two to four feet high—or a combination of these methods. Landscape buffers are preferred due to their ability to absorb carbon dioxide. See UDC Section 35-510 for buffer requirements.

ii. Materials—Use permeable parking surfaces when possible to reduce run-off and flooding. See UDC Section 35-526(j) for specific standards.

8. Americans with Disabilities Act (ADA) Compliance

C. DESIGN

iii. Curb cuts—Install new ADA curb cuts on historic sidewalks to be consistent with the existing sidewalk color and texture while minimizing damage to the historical sidewalk.

FINDINGS:

- a. The applicant has proposed to construct a temporary parking lot at 400 S Alamo to provide automobile parking adjacent to the new Yanaguana Garden Park and Hemisfair Park. The applicant has noted that this temporary parking lot will exist until the property is redeveloped.
- b. The site currently features numerous existing trees all of which the applicant has proposed to preserve in addition to trees that the applicant has proposed to plant. This is consistent with Guidelines for Site Elements 3.D.i
- c. According to the Guidelines for Site Elements 7.A.i. the preferred location for off street parking is at the rear of the site behind primary structures. While there is no primary historic structure located on this site, there are two historic structures neighboring the proposed parking area, both of which staff find will not be negatively impacted by the proposed temporary parking lot.
- d. The required buffering and screening of off street parking is noted in both the UDC Section 35-510 and the Guidelines for Site Elements 7.B.i. The applicant has proposed to buffer and screen the proposed parking lot not only from the public right of way at S Alamo, but also from the neighboring historic structures. This is consistent with the Guidelines and the UDC.
- e. The applicant has proposed a permeable paving surface consisting of a grid system that allows for gravel or decomposed granite to be installed. This is consistent with the Guidelines for Site Elements 7.B.ii. In addition to this, the applicant has provided information regarding site lighting, landscaping, irrigation and handicap parking. This is consistent with the Guidelines.
- f. The property is adjacent to the La Villita National Register of Historic Places District and the location of the Spanish Colonial Quartel. Moreover, it is within the site boundaries of previously recorded archaeological site 41BX584 and in close proximity to previously recorded archaeological sites 41BX585 and 41BX677. Therefore, archaeological investigations shall be required for the project area.

RECOMMENDATION:

Staff recommends approval based on findings a through f with the stipulation that the applicant notify staff of the final filling materials for the paving grid system and that an archaeological investigation is required.

Staff finds that a temporary parking lot is appropriate as long as needed; however, staff finds that a two year time frame for a Certificate of Appropriateness is appropriate. If parking is needed after two years from the date of permit issuance, staff recommends the applicant reapply for parking at this location.

CASE MANAGER:

Edward Hall





Flex Viewer

Powered by ArcGIS Server

Printed: Sep 30, 2015

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Proposed Magik Theater Temporary Parking Lot at 400 S. Alamo Street

As there is a current pressing need for vehicular parking adjacent to the Magik Theatre and the new Yanaguana Garden park development, Hemisfair Park Area Redevelopment Corporation proposes to develop a temporary surface parking lot in the open space directly north of the Magik Theatre.

This lot will be bounded by South Alamo on the west, the New East Nueva Street on the north, an emergency access road on the east and Magik Theatre to the south.

The parking lot will be developed so that none of the existing trees are removed and additional trees will be added to provide more shade.

The paving will be bid as a manufactured pervious material similar to a product called True Grid and an alternate bid for asphalt paving. A sample of True Grid has been delivered to HDRC.

The lot will be lighted, landscaped, have adequate handicap and compact car designated parking.

This will be a paid parking lot and will be operated by the City's Parking Division.



Temporary Magik Theatre Parking Lot – View across South Alamo looking east



Proposed Temporary Magik Theatre Parking Lot – View across South Alamo looking east



Proposed Temporary Magik Theatre Parking Lot – View across South Alamo looking northeast



Proposed Temporary Magik Theatre Parking Lot – View of current use – Contractor’s Parking



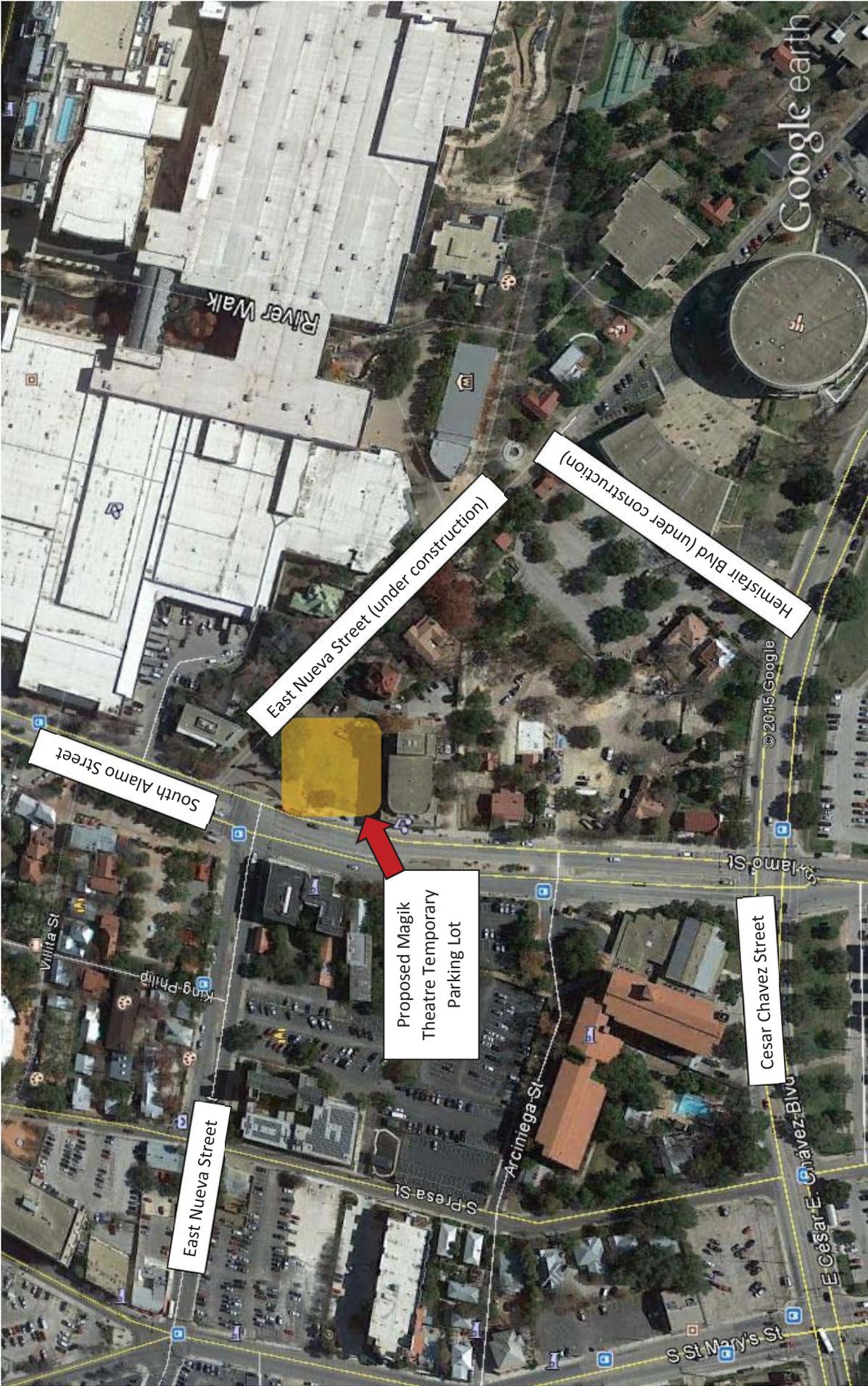
Proposed Temporary Magik Theatre Parking Lot – View of current use – Contractor’s Parking



Proposed Temporary Magik Theatre Parking Lot – View of new EAST Nueva under construction



Proposed Temporary Magik Theatre Parking Lot on left – View westward of East Nueva under construction



East Nueva Street (under construction)

Hemifair Blvd (under construction)

South Alamo Street

Proposed Magik Theatre Temporary Parking Lot

Cesar Chavez Street

East Nueva Street

E César E. Chávez Blvd

Google earth

© 2015 Google

Magik Theatre North Parking Lot - 58 Spaces

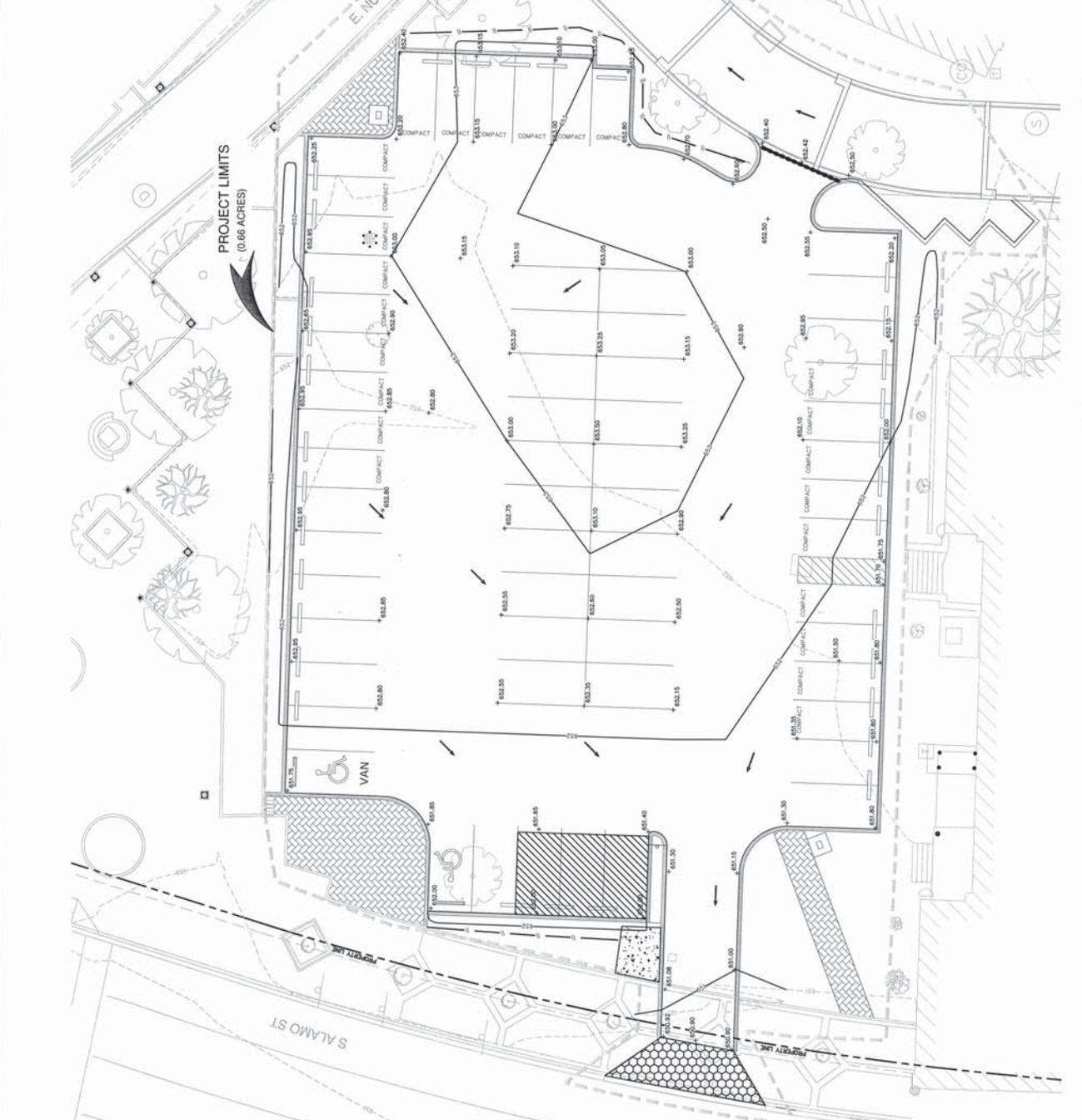
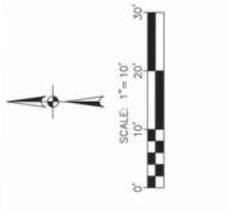


HEMISFAIR PARKING LOT
 SAN ANTONIO, TEXAS
SWPPP PLAN

2000 NW LOOP 410 • SAN ANTONIO, TEXAS 78213
 TEXAS BOARD OF PROFESSIONAL LAND SURVEYORS, REGISTRATION # 419
Pape-Dawson ENGINEERS
 REG. NO. 212,275,000
 REG. EXPIRES 09/30/2018



NO.	REVISION	DATE



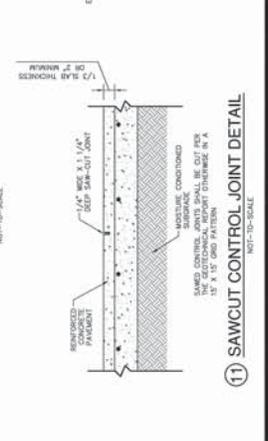
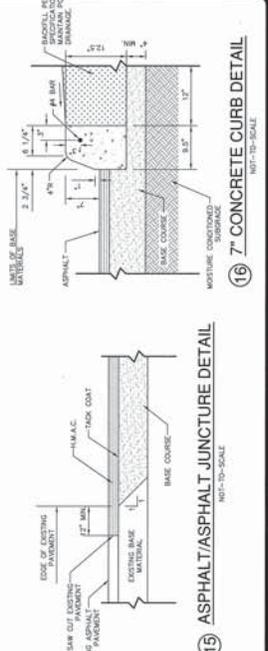
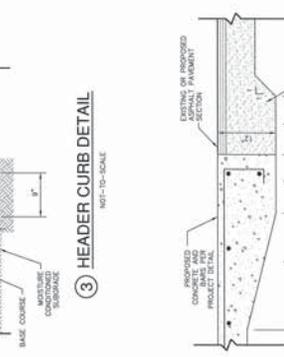
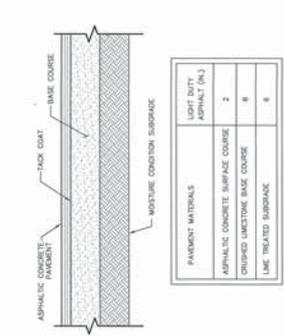
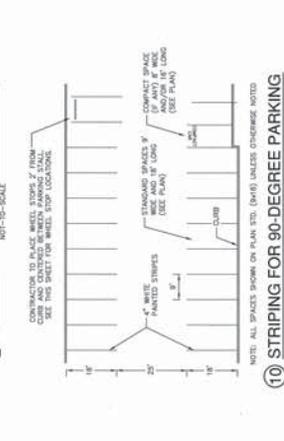
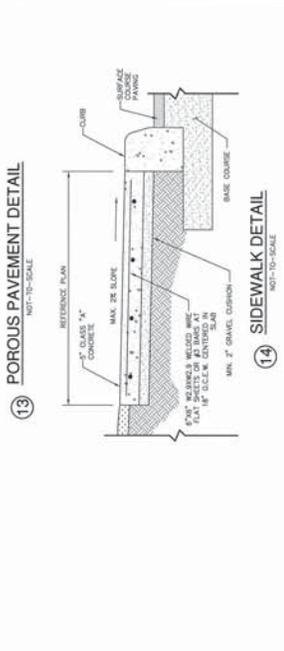
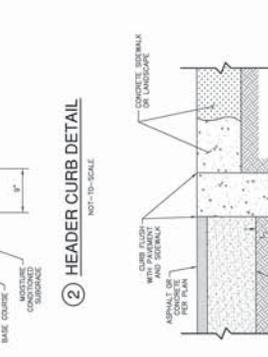
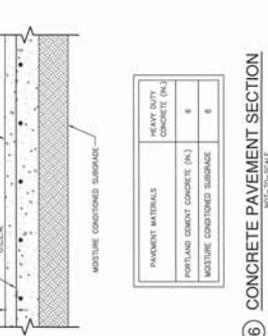
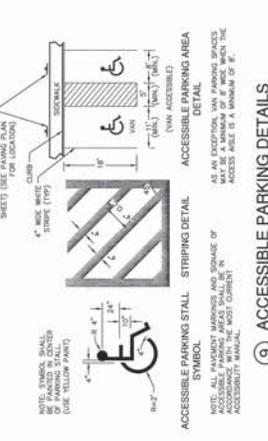
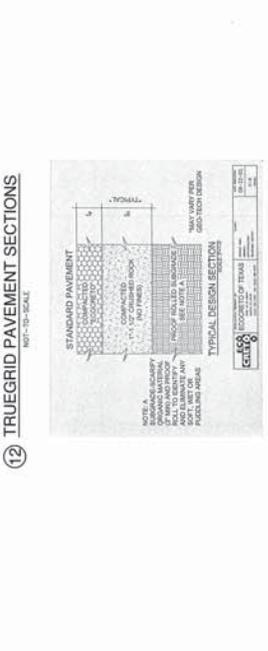
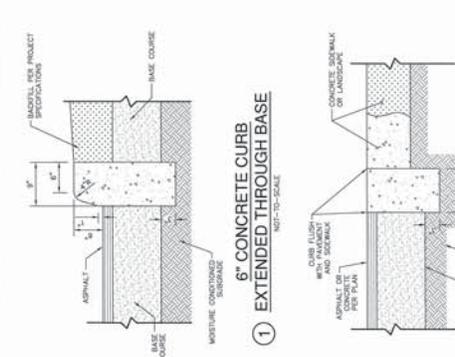
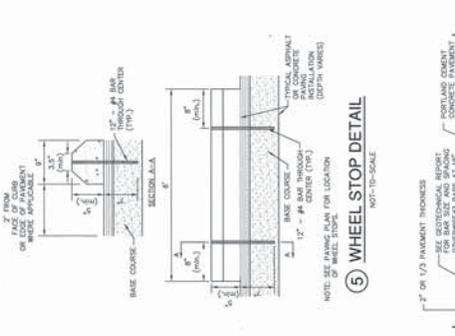
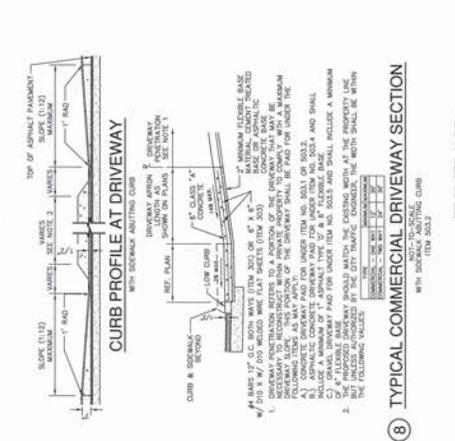
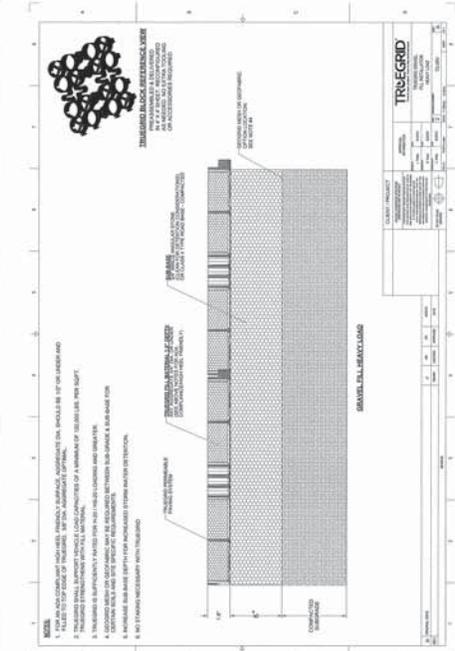
LEGEND

- PROPERTY LINE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- FLOW ARROWS
- FLOW ARROWS (EXISTING GRADES)
- FLOW ARROWS (PROPOSED GRADES)
- STABILIZED CONSTRUCTION (TO BE FIELD LOCATED)
- UNSTABILIZED CONSTRUCTION (TO BE FIELD LOCATED)
- CONSTRUCTION STAGING AREA (TO BE FIELD LOCATED)
- SILT FENCE
- PROJECT LIMITS
- GRAVEL FILTER BAGS
- INLET PROTECTION
- ROAD MARK

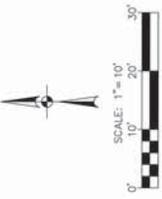
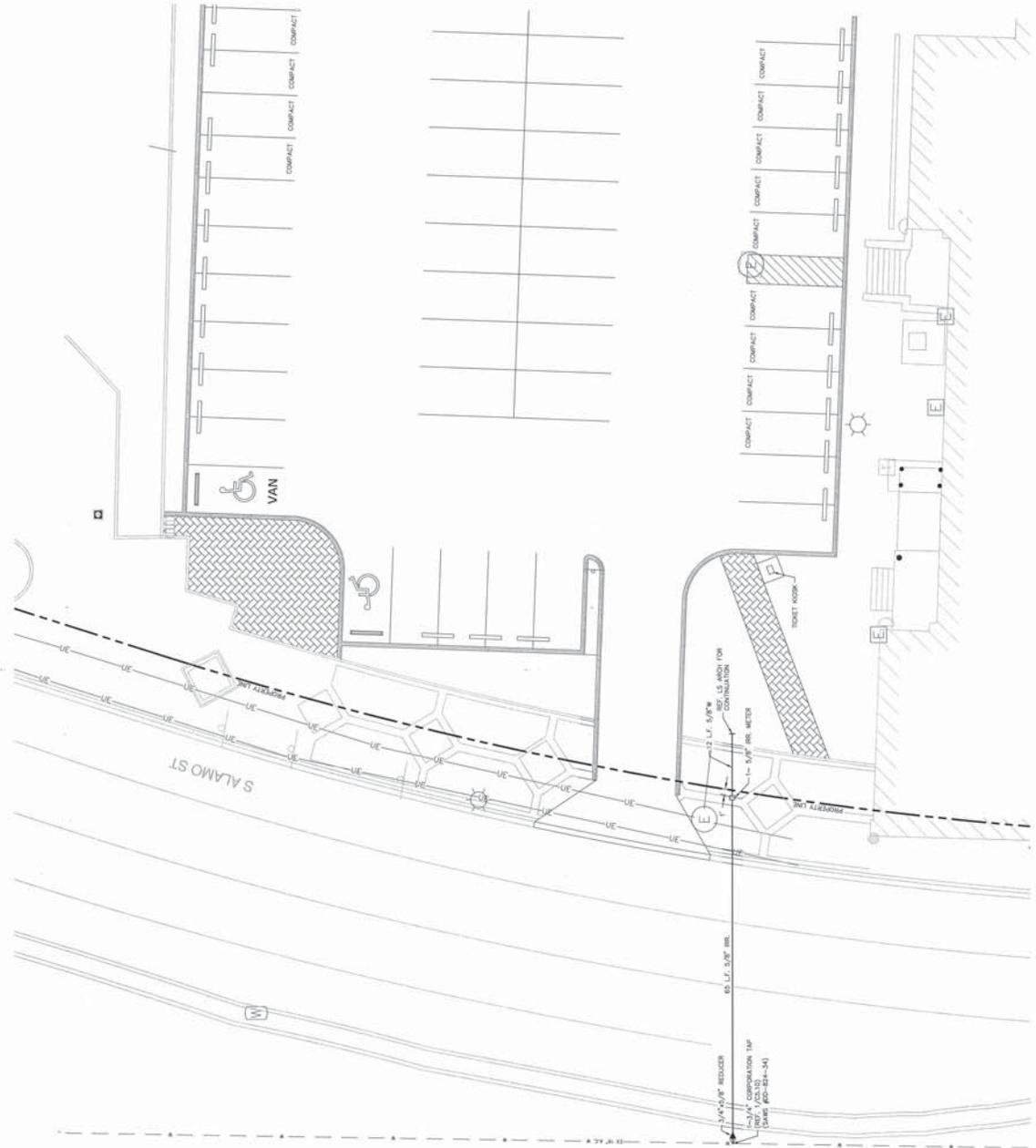
GENERAL NOTES

1. THIS SWPPP PLAN IS BASED ON THE FIELD SURVEY, PHOTOGRAPHS, AND RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND MAKE ANY NECESSARY ADJUSTMENTS TO THIS PLAN.
2. CONSTRUCTION ENTRANCE/EXIT LOCATION, CONCRETE WASH-OUT PIT LOCATION, AND STAGING AREA SHALL BE DETERMINED IN THE FIELD.
3. STORM WATER POLLUTION PREVENTION CONTROLS MAY NEED TO BE MODIFIED OR ADDED TO THIS PLAN TO ACCOMMODATE ANY CHANGES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ENGINEER OF ANY SUCH CHANGES.
4. ALL STORM WATER POLLUTION PREVENTION CONTROLS ARE TO BE MAINTAINED AND IN WORKING CONDITION AT ALL TIMES.
5. STORM WATER POLLUTION PREVENTION CONTROLS SHALL BE INSPECTED AND APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
6. ALL STORM WATER POLLUTION PREVENTION CONTROLS SHALL BE CONSTRUCTED WITHIN THE SITE BOUNDARIES AND SHALL BE CONSTRUCTED WITHIN THE SITE BOUNDARIES AND SHALL BE CONSTRUCTED WITHIN THE SITE BOUNDARIES.
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TRENCH EXCAVATION SAFETY PROTECTION:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF TRENCH EXCAVATION SAFETY PROTECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF TRENCH EXCAVATION SAFETY PROTECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF TRENCH EXCAVATION SAFETY PROTECTION.



UTILITY NOTES:

1. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS PLAN SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION AND THE STANDARD SPECIFICATIONS FOR UTILITY CONSTRUCTION (LATEST EDITION).
2. THE LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACCORDING ALL PERMITS, TESTS, APPROVALS, AND ADJUSTMENTS REQUIRED TO COMPLETE CONSTRUCTION OF ALL UTILITIES AND STRUCTURES SHOWN ON THESE PLANS.
4. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UNDERGROUND UTILITIES AND DRAINAGE SYSTEMS WHETHER SHOWN ON THE PLANS OR NOT.
5. ALL UTILITIES SHALL BE INSTALLED PRIOR TO PAVEMENT CONSTRUCTION.
6. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES AND DRAINAGE SYSTEMS WHETHER SHOWN ON THE PLANS OR NOT.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES AND DRAINAGE SYSTEMS WHETHER SHOWN ON THE PLANS OR NOT.
8. POLYETHYLENE GLASS REINFORCED (PGR) SEWER PIPE SHALL BE 24" FITTINGS AND 30" FITTINGS COMPATIBLE WITH 24" AND 30" FITTINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES AND DRAINAGE SYSTEMS WHETHER SHOWN ON THE PLANS OR NOT.
9. SANITARY SEWER PIPE AT ALL WATER MAIN AND SERVICE CROSSINGS SHALL BE 18" DIA. AND SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION AND THE STANDARD SPECIFICATIONS FOR UTILITY CONSTRUCTION (LATEST EDITION).
10. HYDRAUNT, PLUGS, TEES, AND BODGES. SEE DETAIL ON SHEET 101 FOR SPECIFIC CONNECTIONS.
11. ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION AND THE STANDARD SPECIFICATIONS FOR UTILITY CONSTRUCTION (LATEST EDITION).
12. ALL GAS MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION AND THE STANDARD SPECIFICATIONS FOR UTILITY CONSTRUCTION (LATEST EDITION).
13. ALL WATER LINES TO BE INSTALLED A MINIMUM OF 12" ABOVE SANITARY SEWER LINES (MEASURED FROM BOTTOM OF WATER LINE TO TOP OF SANITARY SEWER LINE).
14. CONTRACTOR IS RESPONSIBLE FOR BOTH VERTICAL AND HORIZONTAL CONTROL.
15. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS MATERIALS OFFSITE.
16. ALL DEBRIS AND OTHER OBJECTIONABLE MATERIALS SHALL BE DISPOSED OF OFFSITE BY CONTRACTOR.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES AND DRAINAGE SYSTEMS WHETHER SHOWN ON THE PLANS OR NOT.
18. LENGTHS OF PIPE ARE APPROXIMATE ON ARCHITECT'S SET ONLY.
19. CONTRACTOR/TESTING SHALL BE PERFORMED AFTER EACH SEQUENCE.
20. CONTRACTOR SHALL SET TOPS OF CLEANOUTS, VALVE BOXES, ETC. AT PAYMENT ELEVATION.
21. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION AND THE STANDARD SPECIFICATIONS FOR UTILITY CONSTRUCTION (LATEST EDITION).
22. ALL UTILITY CONNECTIONS TO BUILDINGS SHALL BE COORDINATED WITH THE ARCHITECT AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES AND DRAINAGE SYSTEMS WHETHER SHOWN ON THE PLANS OR NOT.
23. DEPTH OF BURY FOR ALL PIPING SHALL BE A MINIMUM OF 4' UNLESS NOTED OTHERWISE.
24. REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.

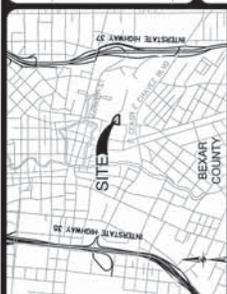
NO.	REVISION	DATE



Pape-Dawson ENGINEERS
 2000 N. LOOP 410 #101 SAN ANTONIO, TEXAS 78217 PHONE: 210.225.9010 FAX: 210.225.9010
 TEXAS BOARD OF PROFESSIONAL ENGINEERS, REGISTRATION # 278

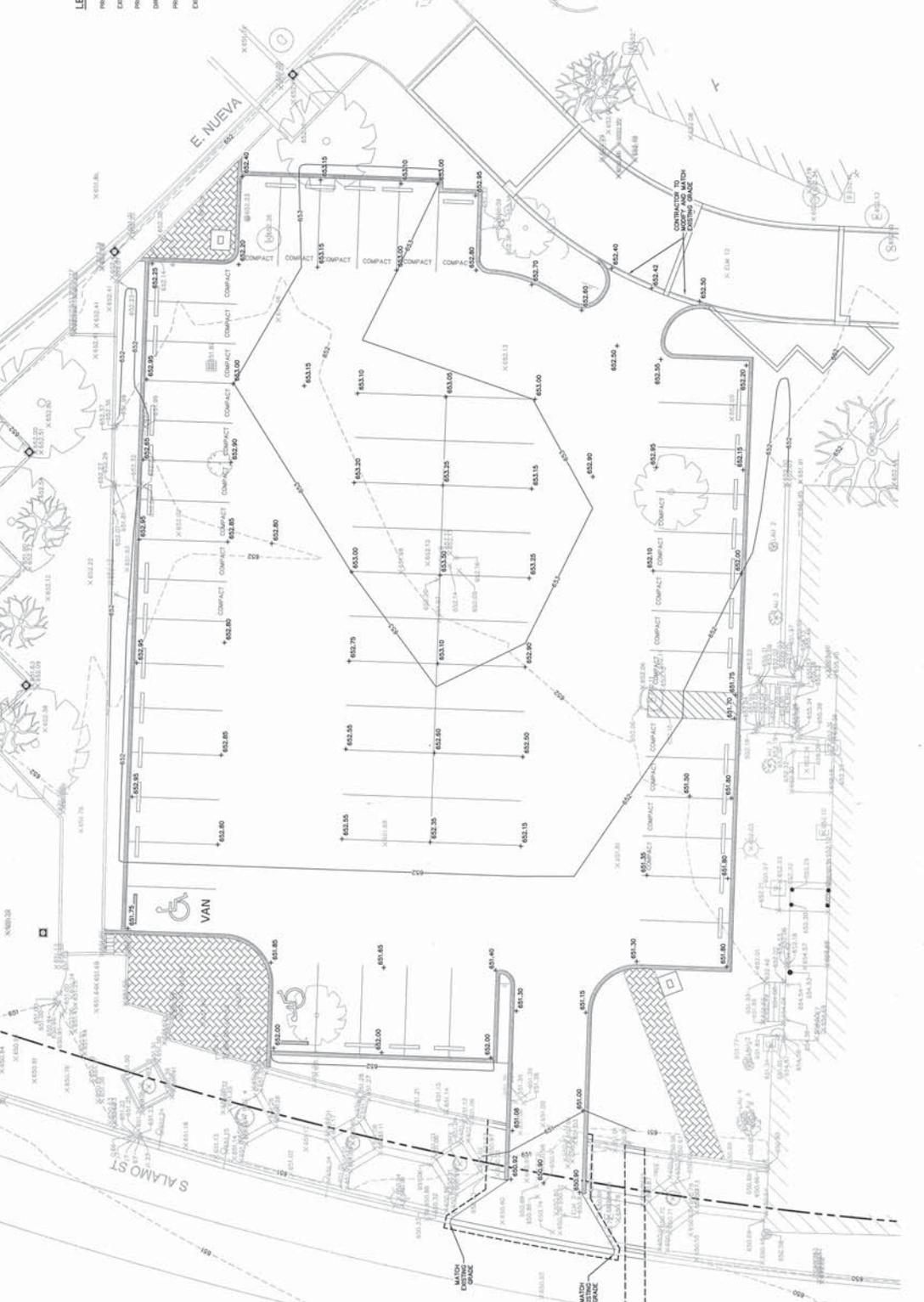
HEMISFAIR PARKING LOT
 SAN ANTONIO, TEXAS
 UTILITY PLAN

PLAT NO. _____
 JOB NO. 1945-15
 DATE 07/27/15
 REVISION: 00
 CHECKED: J.L. DRAW, J.E.
 SHEET **C5.00**



GRADING NOTES:

1. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS GRADING PLAN SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL REPORT SHALL CONFORM TO ALL APPLICABLE CITY OR COUNTY ORDINANCES AND SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
2. SITE PREPARATION, GRADING, EXCAVATION AND FILL SHALL BE IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT AND SPECIFICATIONS.
3. ALL SELECT FILL MATERIAL PROVIDED SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER AND SHALL BE SHOWN ON THE GRADING PLAN. ALL EXISTING AND PROPOSED CONTOURS SHOWN ON THIS GRADING PLAN REFLECT PROPOSED GRADES. THE THICKNESS OF PAVING BASE, SURFACE ELEVATION, CURBS AND SIDEWALKS SHALL BE SHOWN ON ALL PERMITS.
4. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR OMISSIONS IN THE GRADING PLAN IMMEDIATELY UPON RECEIPT OF THE GRADING PLAN. THE CONTRACTOR SHALL VERIFY THE SUFFICIENCY OF ALL EXISTING AND PROPOSED CONTOURS, GRADES, AND DIMENSIONS BEFORE COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR THIS PROJECT.
5. THE CONTRACTOR SHALL VERIFY THE SUFFICIENCY OF ALL EXISTING AND PROPOSED CONTOURS, GRADES, AND DIMENSIONS BEFORE COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR THIS PROJECT.
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9. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S PLAN, IF APPLICABLE.
10. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS (USE OF SAFETY SIGNS, FLAGMEN, CONE TRAFFIC CONTROL, ETC.) TO MAINTAIN ADJACENT TRAFFIC FLOW AND SAFETY. CONSTRUCTION SHALL IMMEDIATELY REMOVE SLIPPERIES WHICH MARKS OFFSITE OR ADJACENT TO THE PROJECT. (SEE SUPPLEMENTAL SPECIFICATIONS BOOK).
11. THE CONTRACTOR SHALL OBTAIN GRADES SHOWN HEREON WITHIN 15' OF PROPOSED PAVEMENT AREAS. IT IS NOTED THAT THE MINIMUM GRADE IN ALL PROPOSED AREAS SHALL BE A MINIMUM OF 3% AND A MINIMUM OF 2% IN ALL OTHER AREAS.
12. THE CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING SITE AND PROPOSED IMPROVEMENTS.
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16. THE CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING SITE AND PROPOSED IMPROVEMENTS.
17. POSITIVE DRAINAGE SHALL BE MAINTAINED THROUGHOUT THE SCOPE OF THE PROJECT. DRAINAGE SHALL BE MAINTAINED THROUGHOUT THE SCOPE OF THE PROJECT. DRAINAGE SHALL BE MAINTAINED THROUGHOUT THE SCOPE OF THE PROJECT.
18. THE CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING SITE AND PROPOSED IMPROVEMENTS.
19. NO WORK SHALL BE PERFORMED IN A PUBLIC RIGHT-OF-WAY WITHOUT A PERMIT.



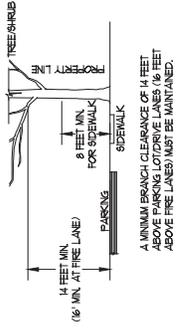
* SITE GRADED FOR BALANCE WITH NO FILL OR CUT CONDITIONS EXCEPT FROM PLANS AND ADJACENT GRADING CANNOT BE MET.

Tree Inventory Table:

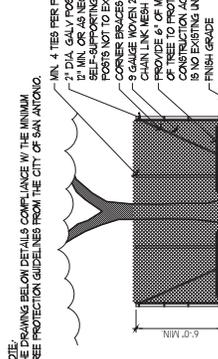
NOTE: THIS TABLE IS SOLELY INTENDED FOR COSA STAFF TO DESIGNATE TREES THAT DO NOT MEET THE ROOT PROTECTION ZONE CRITERIA. IT IS NOT INTENDED TO BE USED BY THE CONTRACTOR TO DESIGNATE THE REMOVAL OF TREES. PLEASE REFERENCE THE PLAN FOR TREE DISPOSITION.

Tree #	Species	Understory Species* 8.0" - 11.5"		Significant Tree 6" - 23.5"		Significant Tree** 10.0" - 23.5"		Heritage 3:1		Heritage 1:1		Additional Inches for Mitigation ***
		Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved	
4005	Red Oak											3
4007	Red Oak											3
4008	Live Oak		12									3
4009	Red Oak			6								3
4010	Live Oak											4
4011	Live Oak											4
4012	Mountain Laurel											2
4013	Mountain Laurel											2
4014	Mountain Laurel											2
4015	Mountain Laurel											3
4016	Mountain Laurel											3
4017	Live Oak		15									2
4021	Live Oak				12							
4024	Live Oak				20							
4028	Live Oak	5	0	33	32	0	0	0	0	0	0	31
4029	Live Oak	5	0	33	32	0	0	0	0	0	0	31
Sub. Tot. Inches=			5		65							
Total inches by category=			0%		46%							
Preservation percentage=			2		4							
Mitigation required (Commercial) =			-35									
Total Mitigation (inches)												

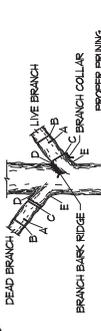
No category to fall below 10% preservation.
 Preserved: Tree to remain that meets root protection zone requirements described in section 35-523 of the LOC.
 Mitigation 1:1 for significant trees below minimum preservation requirements, 3:1 for heritage trees below 100% preservation.
 * Small species: Conditia, Redbud, Tx. Mountain Laurel, Tx. Persimmon, Hawthorn, Possumhaw - these are mitigated at 1:1 for Heritage Trees
 ** Understory species: Live Oak, Mountain Laurel, Dogwood, Magnolia - these are mitigated at 1:1 for Heritage Trees
 *** Mitigation Trees: Spruce-fir, Redwood, Cedar, Juniper, Cypress, and other species that are not listed for mitigation (inches) are metered inches from mitigation trees



1 DETAIL: TREE BRANCH CLEARANCE
 SCALE: N.T.S.



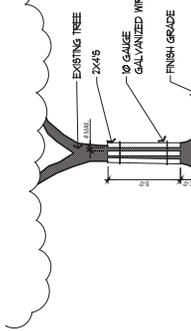
2 DETAIL: TREE PROTECTION
 SCALE: 1/4" = 1'-0"



NOTE: DO NOT CUT FROM TO E
 WHEN THE BRANCH FALLS.
 B. SECOND CUT - TO REDUCE THE WEIGHT OF BRANCH.
 C. BRANCH ROBBERS - MUST BE PROPERLY PLACED.
 D. BRANCH ROBBERS - MUST PROTECT BRANCH ROBBERS WHICH ARE SITE FOR DECAY.

3 DETAIL: BRANCH PRUNING
 SCALE: N.T.S.

NOTE:
 1. PROTECTIVE LUMBER SHALL NOT BE DIRECTLY NAILED TO THE TREE.
 2. 2X4S SHALL BE HELD SECURELY IN PLACE WITH 10 GAUGE WIRE WRAPPED OVER THE LUMBER AND AROUND THE TREE AT MIN. OF 2 LOCATIONS.
 3. THE GAP BETWEEN THE BOARDS IS TO BE 4 INCHES OR LESS.
 4. BRANCHES SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES WHEN THERE IS NO EXISTING UNDERSTORY OR TURF.



4 DETAIL: 2X4 TREE PROTECTION
 SCALE: 1/4" = 1'-0"

NO.	REVISION	DATE



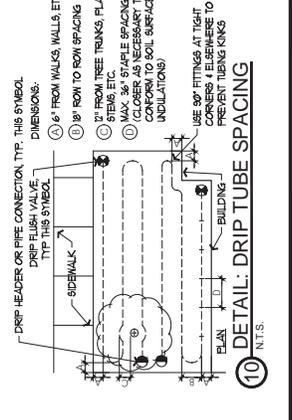
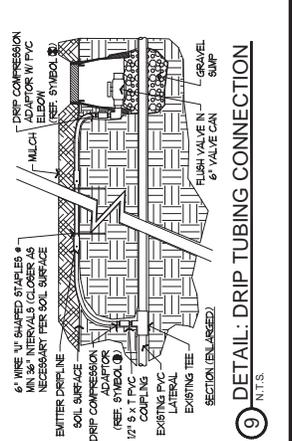
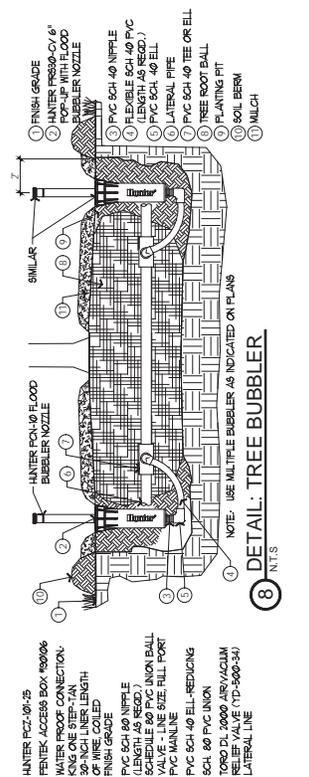
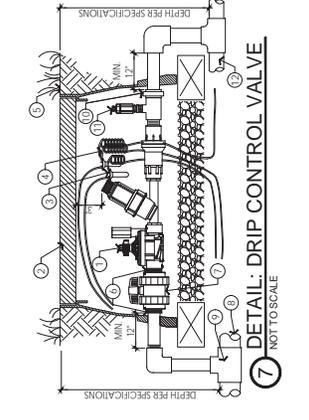
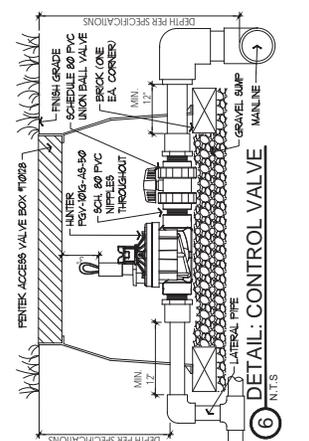
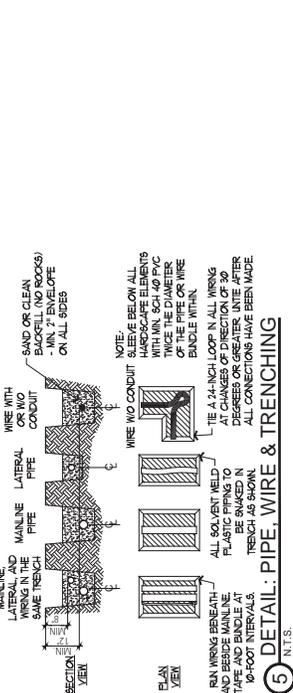
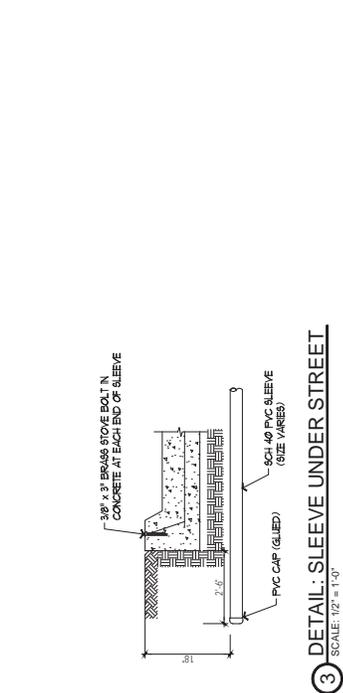
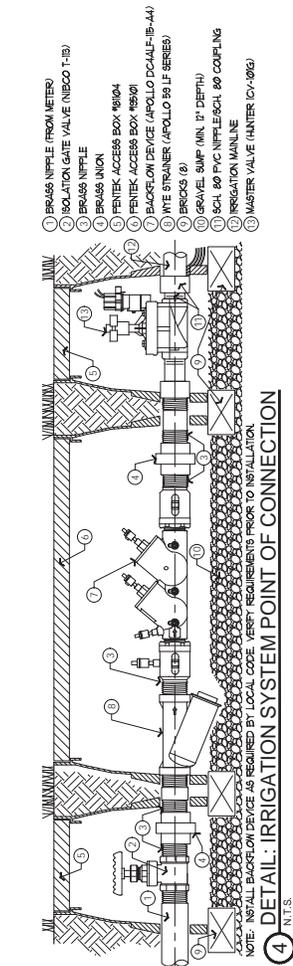
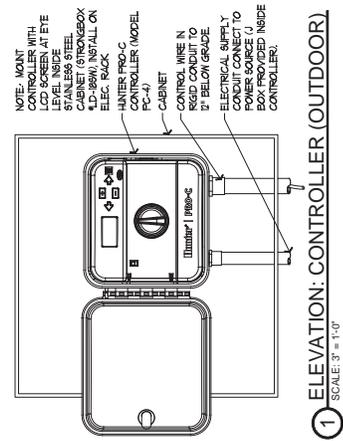
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HEMISFAIR PARKING LOT
 SAN ANTONIO, TEXAS
 TREE PRESERVATION PLAN



PLANT NO. -
 APP NO. 7645-15
 DATE JULY 2018
 DESIGNED -
 CHECKED BY - DRAWN_VS
 SHEET L1.2

NO.	REVISION	DATE



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