

HISTORIC AND DESIGN REVIEW COMMISSION

March 01, 2017

HDRC CASE NO: 2017-025
ADDRESS: 2018 AVENUE B
LEGAL DESCRIPTION: NCB 6294 (WITTIG OFFICE FURNITURE), LOT 45
ZONING: RIO-1
CITY COUNCIL DIST.: 1
APPLICANT: Jacob Wittig
OWNER: HCIST, LP
TYPE OF WORK: Exterior modifications, window restoration and installation of a new ADA entry
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Demolish the existing concrete loading docks and install an aluminum storefront windows on the west elevation.
2. Install a new concrete porch and a recessed entrance on the west elevation.
3. Restore the existing metal building canopy on the west façade.
4. Restore the steel casement windows on the west facade, install solar window film and install canopies above each window.
5. Remove the large cabinet sign on the south elevation and repair the façade.
6. Repair the primary building entrance on the east façade and install doors that meet ADA requirements.
7. Restore each steel casement window on the south facade, install solar window film and install canopies above each window.
8. Restore all steel casement windows on each facade.
9. Remove the fire escape on the north façade.
10. Increase the height of the existing elevator chase.

APPLICABLE CITATIONS:

UDC Section 35-610. – Alterations, Restoration, Rehabilitation and New Construction

(a) In considering whether to recommend approval or disapproval of an application for a certificate to alter, restore, rehabilitate, or add to a building, object, site or structure designated a historic landmark or located in a historic district, the historic and design review commission shall be guided by the Secretary of the Interior's Standards and Guidelines for Archeology and Historic Preservation and provisions adopted by city council as provided in this article. The historic and design review commission shall also utilize the Historic Design Guidelines as adopted by the city council, and any specific design guidelines adopted pursuant to the Unified Development Code and this article. If conflicting provisions of this chapter and city council approved guidelines have been approved, the city manager or the city manager's designee shall reconcile the conflict if possible so that effect may be given to each. If the conflict is irreconcilable, this chapter shall prevail. Applications shall be reviewed for consistency with the historic or district specific design guidelines adopted by city council. The application shall be reviewed for conformance to the general rules and principles contained in the guidelines. Applications should be approved if in general conformance with the guidelines but denial of an application by the city manager or the city manager's designee may be based on any inconsistency or nonconformance with the approved guidelines. Non-public interior spaces are exempt from this section. The only interior spaces to be considered for review, and therefore not exempt, are those publicly owned spaces that are, or were, accessible to the public (e.g., lobbies, corridors, rotundas, meeting halls, courtrooms), and those spaces, both public and privately owned, that are individually designated and are important to the public because of any significant historical, architectural, cultural or ceremonial value.

UDC Section 35-676. – Alteration, Restoration and Rehabilitation

In considering whether to recommend approval or disapproval of an application for a certificate to alter, restore, rehabilitate, or add to a building, object, site or structure, the historic and design review commission shall be guided by the National Park Service Guidelines in addition to any specific design guidelines included in this subdivision.

- (a) Every reasonable effort shall be made to adapt the property in a manner which requires minimal alteration of the building, structure, object, or site and its environment.
- (b) The distinguishing original qualities or character of a building, structure, object, or site and its environment, shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided when possible.
- (c) All buildings, structures, objects, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance are prohibited.
- (d) Changes that may have taken place in the course of time are evidence of the history and development of a building, structure, object, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
- (e) Distinctive stylistic features or examples of skilled craftsmanship, which characterize a building, structure, object, or site, shall be kept where possible.
- (f) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should reflect the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
- (g) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building's materials shall not be permitted.
- (h) Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.
- (i) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.
- (j) Wherever possible, new additions or alterations to buildings, structures, objects, or sites shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building, structure, object, or site would be unimpaired.

UDC Section 35-674. – Building Design Principles

(e) Facade Composition. Traditionally, many commercial and multi-family buildings in the core of San Antonio have had facade designs that are organized into three (3) distinct segments: First, a "base" exists, which establishes a scale at the street level; second a "mid-section," or shaft is used, which may include several floors. Finally a "cap" finishes the composition. The cap may take the form of an ornamental roof form or decorative molding and may also include the top floors of the building. This organization helps to give a sense of scale to a building and its use should be encouraged. In order to maintain the sense of scale, buildings should have the same setback as surrounding buildings so as to maintain the street-wall pattern, if clearly established.

In contrast, the traditional treatment of facades along the riverside has been more modest. This treatment is largely a result of the fact that the riverside was a utilitarian edge and was not oriented to the public. Today, even though orienting buildings to the river is a high priority objective, it is appropriate that these river-oriented facades be simpler in character than those facing the street.

(1) Street Facade. Buildings that are taller than the street-wall (sixty (60) feet) shall be articulated at the stop of the street wall or stepped back in order to maintain the rhythm of the street wall. Buildings should be composed to include a base, a middle and a cap.

A. High rise buildings, more than one hundred (100) feet tall, shall terminate with a distinctive top or cap. This can be accomplished by:

- i. Reducing the bulk of the top twenty (20) percent of the building by ten (10) percent.
- ii. By stepping back the top twenty (20) percent of the building.
- iii. Changing the material of the cap.

B. Roof forms shall be used to conceal all mechanical equipment and to add architectural interest to the structure.

C. Roof surfaces should include strategies to reduce heat island effects such as use of green roofs, photo voltaic panels, and/or the use of roof materials with high solar reflectivity.

(2) Fenestration. Windows help provide a human scale and so shall be proportioned accordingly.

D. Curtain wall systems shall be designed with modulating features such as projecting horizontal and/or vertical mullions.

(3) Entrances. Entrances shall be easy to find, be a special feature of the building, and be appropriately scaled.

A. Entrances shall be the most prominent on the street side and less prominent on the river side.

B. Entrances shall be placed so as to be highly visible.

C. The scale of the entrance is determined by the prominence of the function and or the amount of use.

D. Entrances shall have a change in material and/or wall plane.

E. Entrances should not use excessive storefront systems.

(g) Awnings, Canopies and Arcades. (See Figure 674-2) The tradition of sheltering sidewalks with awnings, canopies and arcades on commercial and multi-family buildings is well established in San Antonio and is a practice that should be continued. They offer shade from the hot summer sun and shelter from rainstorms, thereby facilitating pedestrian activity. They also establish a sense of scale for a building, especially at the ground level. Awnings and canopies are appropriate locations for signage. Awnings with signage shall comply with any master signage plan on file with the historic preservation officer for the property. Awnings and canopies installed at street level within the public right-of-way require licensing with the city's capital improvements management services (CIMS) department. Canopies, balconies and awnings installed at river level within the public right-of-way require licensing with the city's downtown operations department.

(1) If awnings, arcades and canopies are to be used they should accentuate the character-defining features of a building.

A. The awning, arcade or canopy shall be located in relationship to the openings of a building. That is, if there are a series of awnings or canopies, they shall be located at the window or door openings. However awnings, canopies and arcades may extend the length of building to provide shade at the first floor for the pedestrian.

B. Awnings, arcades and canopies shall be mounted to highlight architectural features such as moldings that may be found above the storefront.

C. They should match the shape of the opening.

D. Simple shed shapes are appropriate for rectangular openings.

E. Odd shapes and bubble awnings are prohibited except where the shape of an opening requires a bubble awning, or historic precedent shows they have been previously used on the building.

F. Canopies, awnings and arcades shall not conflict with the building's proportions or with the shape of the openings that the awning or canopy covers.

G. Historic canopies shall be repaired or replaced with in-kind materials.

(2) Materials and Color.

A. Awnings and canopies may be constructed of metal, wood or fabric. Certain vinyl is allowed if it has the appearance of natural fiber as approved by the HDRC.

B. Awning color shall coordinate with the building. Natural and earth tone colors are encouraged. Fluorescent colors are not allowed. When used for signage it is appropriate to choose a dark color for the canopy and use light lettering for signage.

(3) Incorporating lighting into the design of a canopy is appropriate.

A. Lights that illuminate the pedestrian way beneath the awning are appropriate.

B. Lights that illuminate the storefront are appropriate.

C. Internally illuminated awnings that glow are prohibited.

FINDINGS:

- a. The structure at 2018 Avenue E was constructed circa 1948 and features industrial architectural elements including loading docks, industrial related façade openings, entrance canopies and a simple, stucco façade. The applicant has proposed exterior modifications that in general preserve the existing, original architectural openings and façade elements. The portion of the structure that immediately addresses Broadway was constructed at a later date and is not shown on the 1951 Sanborn map. The applicant received conceptual approval for the above scope of work the exception of request item #10 on February 1, 2017, with stipulations that including installing solar film that would not be dark in nature to modify the appearance of the existing window panes and that additional information regarding the storefront system be provided to staff.
- b. DEMOLITION OF LOADING DOCKS – On the west façade addressing Avenue E, the applicant has proposed to

remove the existing loading docks and install a new storefront system. The applicant has proposed to maintain the existing façade openings and infill them with aluminum storefront systems. Staff finds the retention of the existing openings appropriate. The applicant should provide staff with specifics of the storefront system when returning for final approval.

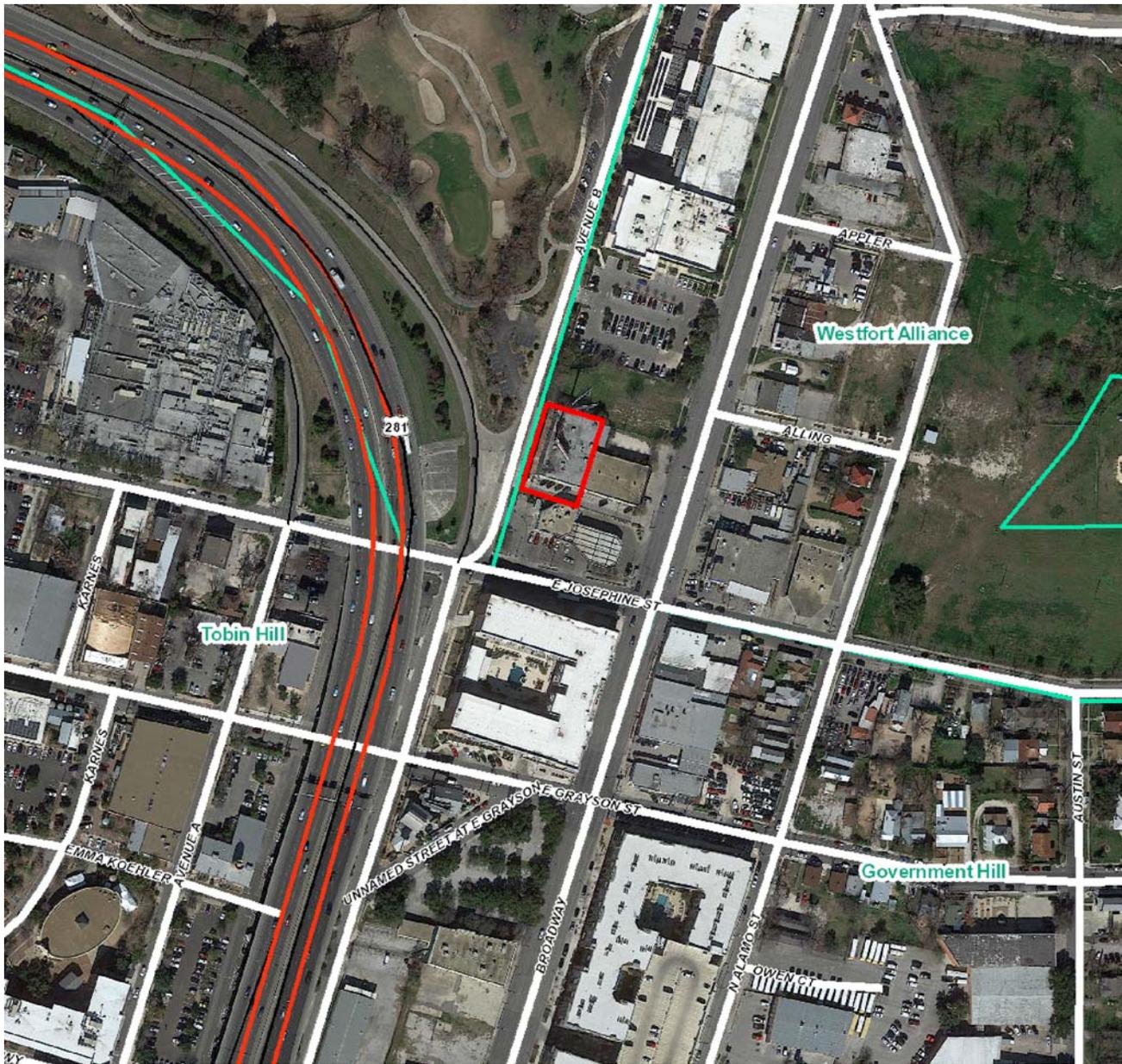
- c. CONCRETE PORCH – Also on the west façade, the applicant has proposed to construct a board form concrete wall and entrance steps. Staff finds this installation appropriate and in keeping with the UDC Section 35-674. This proposed entrance addition can be distinguished from the structure’s original footprint and form.
- d. CANOPY RESTORATION – The west façade currently features an entrance canopy that appears to be original to the structure. The applicant has proposed to restore this canopy and install a standing seam metal roof to match the roofing material currently on the canopy. Staff finds this appropriate and consistent with the UDC Section 35-676.
- e. WINDOW REPAIR – The applicant has proposed to repair all existing steel windows and install a solar window film on each. Staff finds the repair of the windows and the installation of solar window film appropriate; however, the applicant should provide additional information regarding the tint of the proposed window film at final approval. The applicant has noted that the proposed film will be lighter in shade than the current film.
- f. WINDOW CANOPIES – On the south and west facades, the applicant has proposed to install canopies above each window to act as a solar shade. Staff finds the installation of the proposed canopies appropriate. The applicant has provided a detail of the proposed canopies which will differ in profile from the original building canopies. The applicant’s installation is consistent with the UDC Section 35-676 and 35-674.
- g. ENTRANCE MODIFICATION – The south façade currently features an entrance in which the applicant has proposed to remove the existing door and install a new ADA compliant door and sidelight. The applicant has noted that the existing opening size will be maintained. Staff finds this appropriate.
- h. REMOVAL OF SIGNAGE – The applicant has proposed to remove the existing cabinet sign on the south elevation and repair the façade beneath. Staff finds this appropriate.
- i. REMOVAL OF FIRE ESCAPE – The applicant has proposed to remove an existing fire escape on the north façade. The fire escape is internal to the site. Staff finds this removal appropriate.
- j. ELEVATOR CHASE – The applicant has proposed upgrades to the existing elevator which will result in the increase in height of the existing elevator tower. This increase in height will be seen from the public right of way at Avenue B. Staff finds that the elevator chase should feature a color and material texture that complements those of the existing structure.

RECOMMENDATION:

Staff recommends approval of items #1 through #10 based on findings a through j.

CASE MANAGER:

Edward Hall



N



Flex Viewer

Powered by ArcGIS Server

Printed: Jan 20, 2017

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WITTIGS OFFICE INTERIORS

Red sign on the fence with illegible text.



2018 Avenue B

TNT / Tacos and Tequila

Avenue B

Avenue B

Avenue B

Broadway St

Broadway St

Broadway St

Appler St

Alling St

N Alamo St

Alling St

N Alamo St

E Josephine St

368

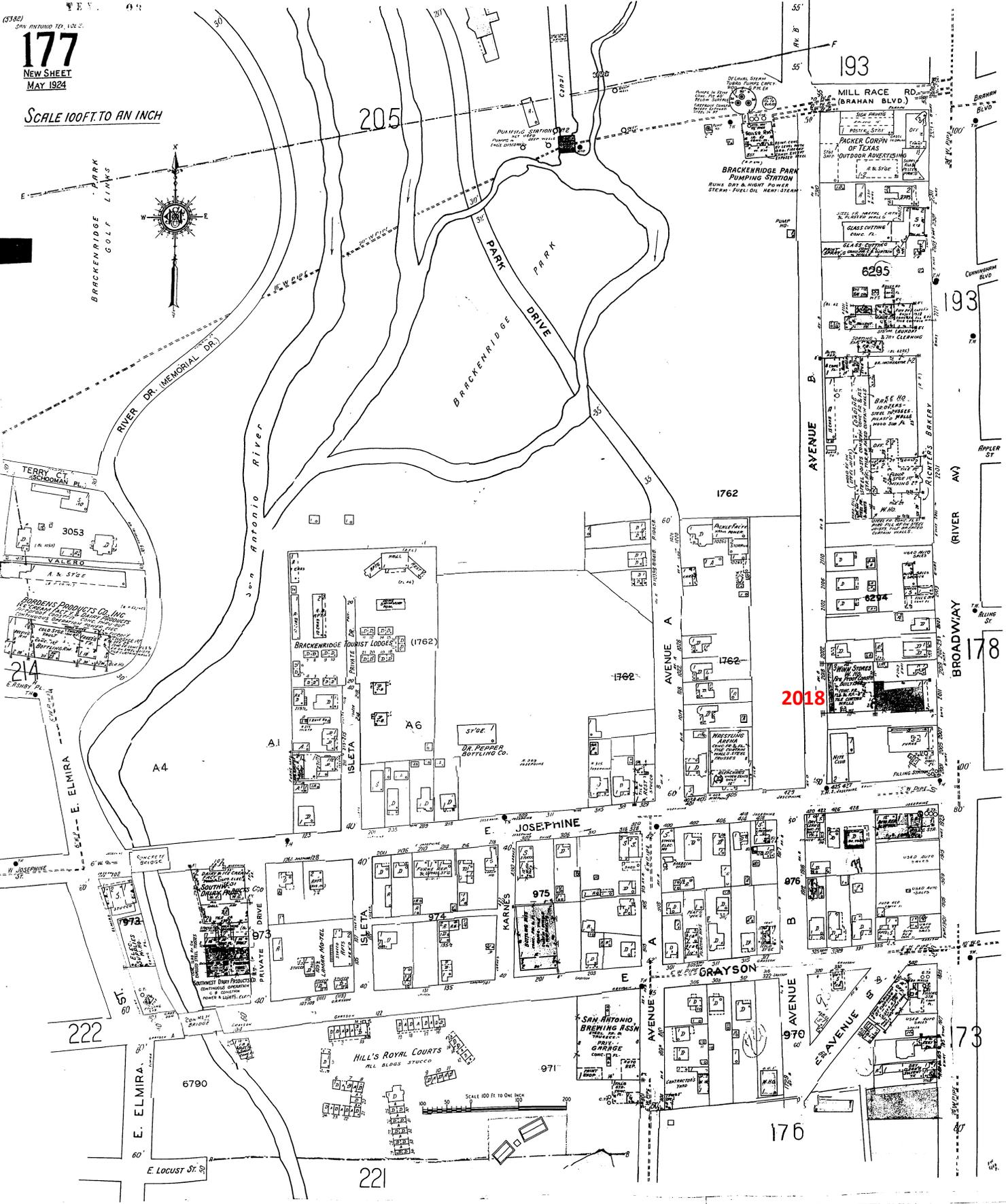
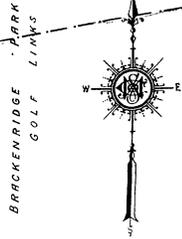
231

368

368

231

SCALE 100 FT. TO AN INCH



2018

SCALE 100 FT. TO ONE INCH



PARTIAL WEST ELEVATION



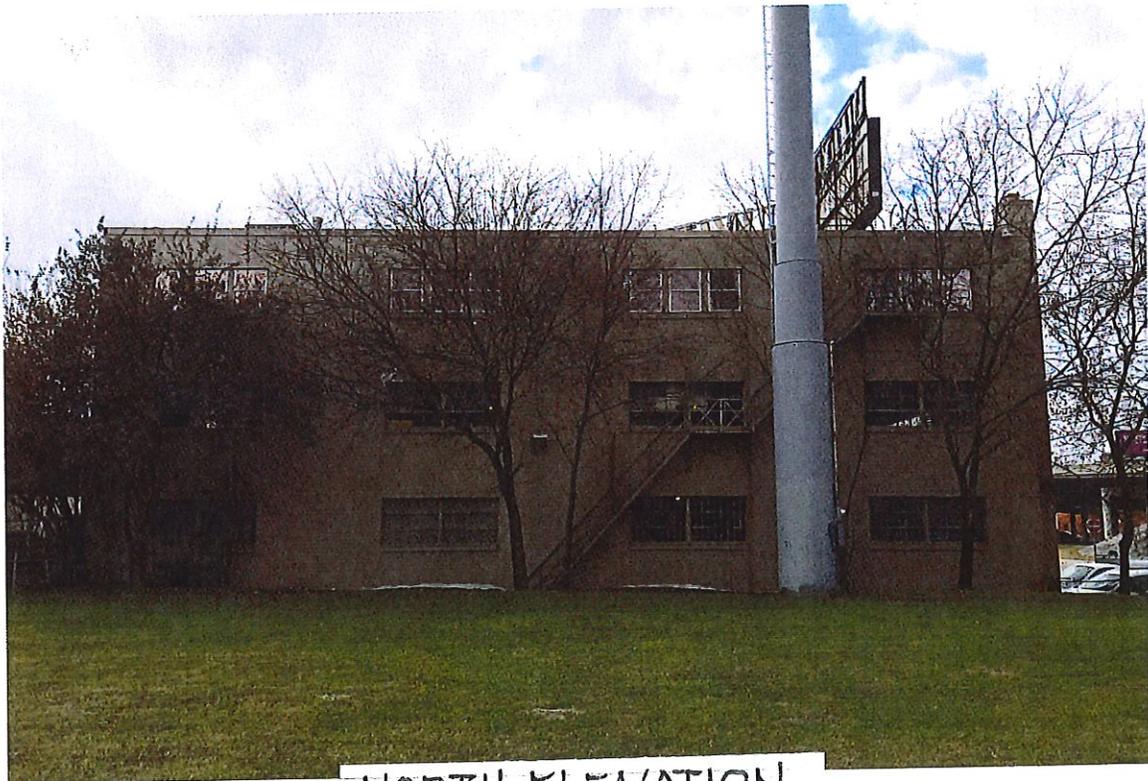
WEST ELEVATION



SOUTH ELEVATION



PARTIAL SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION

The Wittig's property at 2013 Broadway has been replatted into two separate entities—2013 Broadway, a one-story addition onto the original building and 2018 Avenue B, the original 3 story building on the site. This project involves the renovation of the original building into offices for Wittigs Office Interiors on the third floor and lease space on floors one and two. The 2013 Broadway side of the property is being leased to a separate tenant and is not a part of this project.

Renovation/Restoration of the Exterior of 2018 Avenue B

West (Avenue B) Elevation of the Building:

1. The existing concrete docks will be demolished. The north overhead door opening will be enclosed with aluminum storefront windows.
2. A new concrete porch with concrete steps and board formed concrete walls will be added to provide an entrance to the building. Aluminum storefront sidelights and doors will be recessed in the two overhead door openings. Stuccoed fin walls from the existing exterior wall to the new storefront assembly will match the exterior stucco finish.
3. The existing awning over the entire length of the west side of the building will remain. It will be restored, refurbished and reroofed with galvalume standing seam metal roofing.
4. The four steel casement windows on the west façade will be refurbished and the glass clad with an efficient solar film. An awning will be placed over each of the windows, projecting out 3'-0", framed with aluminum sections, and roofed with galvalume standing seam metal roofing.

South Elevation of the Building:

1. The large illuminated Wittigs sign at the top of the elevation will be removed. All wiring, cabling, conduits, lighting, vent piping on the side of the building will be removed. The stuccoed wall will be patched to match adjacent surfaces.
2. The main entrance to the original building was on the east side of this façade. This entry will be restored and the paired nonaccessible doors replaced with an aluminum storefront sidelight and door to meet ADA requirements.
3. All power comes into the building on the west end of this façade. Currently each floor interior is served by electrical panels which will be in the protected stairway when the stairway is enclosed. Therefore, the electrical panels will be relocated to the opposite side of the elevator as indicated on the floor plan and the south elevation. Conduits which serve the current panels will have to be extended to the other side of the elevator along the exterior wall; other conduits will have to be added to supplement the existing power currently supplied to the building. Care will be taken to make this as unobtrusive as possible.

- 4 The four long steel casement windows on the south façade will be refurbished and the glass clad with an efficient solar film. An awning will be placed over each of the windows, projecting out 3'-0", framed with aluminum sections, and roofed with galvalume standing seam metal roofing. All other windows will be restored and clad with film as well.

North Elevation:

1. The existing fire escape on the north facade will be removed and the wall patched and repaired.
2. The windows will be restored/repared and a film applied.

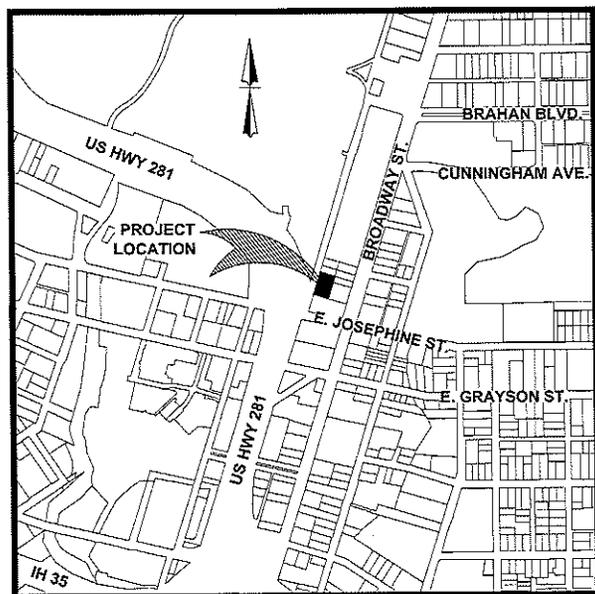
East Elevation:

1. The two windows on this façade will be restored/repared and a film applied.

(The covered structure is not a part of this project, but will be included in the tenant's project.)

WITTIG OFFICE FURNITURE SITE IMPROVEMENTS

2018 AVENUE B SAN ANTONIO, TEXAS 78215



LOCATION MAP
NOT TO SCALE

INDEX	
DESCRIPTION	SHEET NO.
COVER SHEET	C1.0
EXISTING CONDITIONS SHEET	C1.1
OVERALL SITE PLAN	C2.0
CIVIL DETAIL SHEET	C2.1
GRADING PLAN	C3.0
EROSION CONTROL PLAN	C4.0
EROSION CONTROL DETAIL SHEET	C4.1

DEVELOPER / OWNER:
MARK WITTIG
2018 AVENUE B
SAN ANTONIO, TEXAS 78215



KFW
ENGINEERS + SURVEYING
2017 Frederic Drive, Suite 200
San Antonio, Texas 78211
Professional Seal No. 15122258



WITTIG OFFICE FURNITURE SITE IMPROVEMENTS
2018 AVENUE B SAN ANTONIO, TEXAS 78215
COVER SHEET

PLAT NUMBER: 160222

JOB NO. 26-23-01
DATE: FEBRUARY 2017
DRAWING NO. 2017-02-01

SHEET NUMBER:

C1.0

LEGAL DESCRIPTION
 BEING A TRACT OF CERTAIN TRACT OF LAND, ESTABLISHING LOTS 45 AND 46, N.C.B. 0264 IN THE CITY OF SAN ANTONIO, TEXAS AND BEING ALL OF THAT CERTAIN TRACT OF LAND AS COMPREHENSIVE TO A MAP OF RECORD IN BOOKING 1074, PAGE 107 OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS.

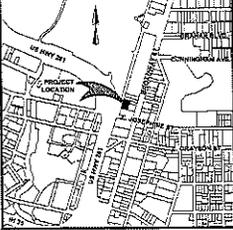
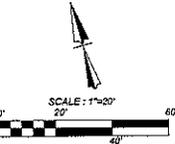
BENCHMARKS
 BM 11: X IN SQUARE ON TOP OF CONCRETE MEDIAN IN THE MIDDLE OF AVENUE B AND WEST OF THE NORTH CORNER OF THE SUBJECT TRACT.

COORDINATION NOTE
 1. CONTACT THE TIME WARRIOR (CALL) TO COORDINATE CABLE TV SERVICE. (1419)4468.
 2. CONFIRM REQUIREMENTS AND COORDINATE WITH OPS (CITY PUBLIC SERVICES) FOR INSPECTIONS AND IDENTIFY RISERS FOR PRIMARY AND SECONDARY ELECTRICAL SERVICES. (1616)6236.
 3. CONTACT AT&T TO COORDINATE TELEPHONE SERVICE. 1428-448-7828.
 4. CONTRACTOR TO COORDINATE WITH OPS (CITY PUBLIC SERVICES) TO PLAN GAS SERVICE. (216)2528.
 5. CONTRACTOR TO COORDINATE WITH SANIS (SAN ANTONIO WATER SYSTEM) TO PLAN WATER AND SANITARY SEWER SERVICES. (214)274-7777.
 6. CONTRACTOR SHALL CONTACT 1428-000-7228 A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

PROPOSED KEY NOTES

- 1 TYPICAL PARKING SPACES AND STRIPES (SEE DETAIL 202.1)
- 2 CONCRETE/ ASPHALT JUNCTURE (SEE DETAIL 202.1)
- 3 ASPHALT/ ASPHALT JUNCTURE (SEE DETAIL 202.1)
- 4 HANDICAP PARKING SYMBOL (SEE DETAIL 402.1)
- 5 HANDICAP SIGN (SEE DETAIL 302.1)
- 6 CROSS HATCH STRIPING (SEE DETAIL 602.1)
- 7 CROSSLWALK (SEE DETAIL 702.1)
- 8 WHEEL STOP (SEE DETAIL 802.1)

NOTICE: THE CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO WATER, SEWER, TELEPHONE AND POWER UTILITIES. SITE LOCATIONS, EXISTING ELECTRICAL, PRIMARY ELECTRICAL, DISTANCE, MESSAGES, PROTECTION FACILITIES, AND GAS LINES, AND UTILITY CONNECTIONS THAT ARE TO BE CONSTRUCTED TO THE PROJECTS ARE SHOWN AS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE UNLESS THE UTILITIES SHOWN ON THESE PLANS ARE NOT.

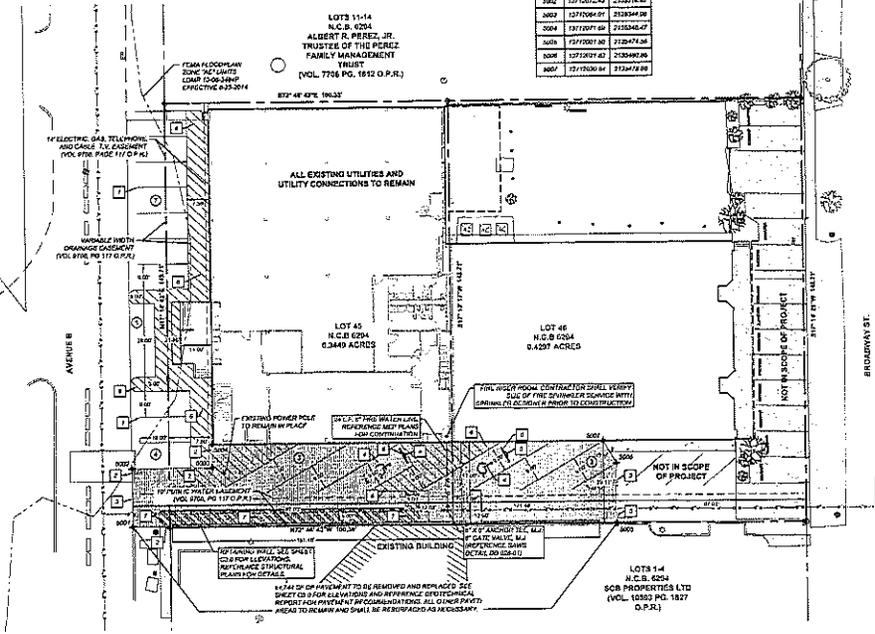


LOCATION MAP
 NOT TO SCALE

LEGEND

PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
EXISTING CONCRETE	▒
EXISTING CURB	---
EXISTING SIGN	---
PROPOSED CONCRETE	▒
PROPOSED RETAINING WALL	---
PARKING STALL COUNT	3
EXISTING RETAINING WALL	---
EXISTING FENCE LINE	---
SITE BENCHMARK	+
SEE DESCRIPTION THIS SHEET	---
EXISTING 8" WATER LINE	---
EXISTING 6" WATER LINE	---
PROPOSED 6" WATER LINE	---

Point #	Northing	Easting
1001	1227062.81	2128150.01
1002	1227062.43	2128156.43
1003	1227066.07	2128244.98
1004	1227067.60	2128245.07
1005	1227069.00	2128247.00
1006	1227071.42	2128246.00
1007	1227070.00	2128247.00



NOTICE:
 ALL WALLS MUST BE STRUCTURALLY DESIGNED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FULL DESIGN OF ALL RETAINING WALLS WITHIN THIS PROJECT. THE WALL DESIGNS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF TEXAS AND SUBMITTED AS A SHOP DRAWING.

KFW
 ENGINEERS & SURVEYING
 301 EAST BROADWAY, SUITE 1100
 SAN ANTONIO, TEXAS 78205
 TEL: 214-341-1234 FAX: 214-341-1235

DATE	
REVISION/ISSUE	
NO.	

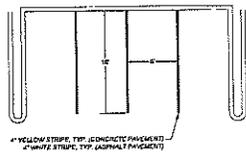


WITIG OFFICE FURNITURE SITE IMPROVEMENTS
 2018 AVENUE B SAN ANTONIO, TEXAS 78215
 OVERALL SITE PLAN

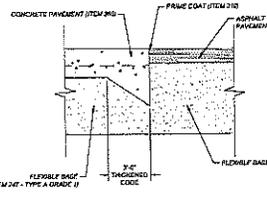
PLAT NUMBER: 16052
 JOB NO: 286-250
 DATE: FEBRUARY 2017
 DRAWN: WIG CHECKED: ST
 SHEET NUMBER:

C2.0

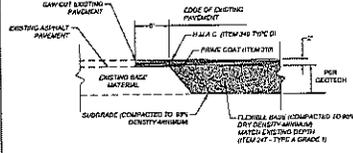
DATE: 02/14/17, 11:35 AM, USER: WIG, PLOT: 0, SHEET: 2 OF 2, FILE: C:\PROJECTS\2018 AVENUE B SAN ANTONIO, TEXAS 78215\OVERALL SITE PLAN.dwg



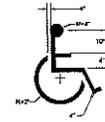
1. TYPICAL PARKING SPACES AND PARKING STRIPES
NOT-TO-SCALE



2. CONCRETE / ASPHALT PAVEMENT JUNCTURE
NOT-TO-SCALE

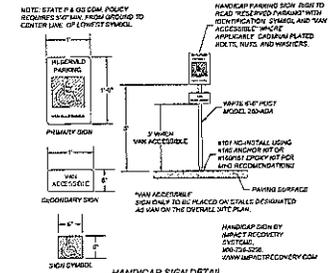


3. ASPHALT / ASPHALT PAVEMENT JUNCTURE
NOT-TO-SCALE

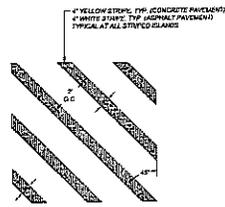


NOTE:
SYMBOL SHALL BE PAINTED
IN CENTER OF PARKING SPOT
WITH 4" YELLOW STRIPES, TOP (CONCRETE PAVEMENT)
OR 4" WHITE STRIPES, TOP (ASPHALT PAVEMENT)

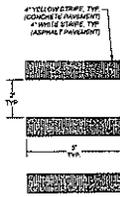
4. HANDICAP PARKING SYMBOL DETAIL
NOT-TO-SCALE



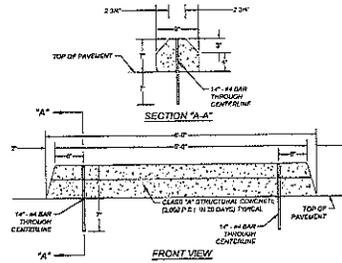
5. HANDICAP SIGN DETAIL
NOT-TO-SCALE



6. CROSS HATCH STRIPING DETAIL
NOT-TO-SCALE



7. CROSSWALK DETAIL
NOT-TO-SCALE



8. WHEELSTOP DETAIL
NOT-TO-SCALE

NOT USED

KFW
ENGINEERS & SURVEYORS
3401 PARKWAY, SUITE 100, SAN ANTONIO, TEXAS 78211
TEL: 214-343-1111 • FAX: 214-343-1122

DATE	
REVISION/ISSUE	
NO.	

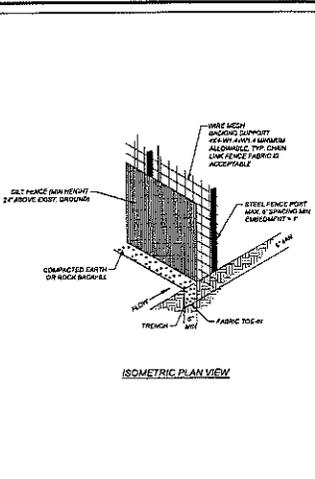


WITIG OFFICE FURNITURE SITE IMPROVEMENTS
2018 AVENUE B SAN ANTONIO, TEXAS 78215
CIVIL DETAIL SHEET

PLAT NUMBER: 16632
JOB NO. 20-23-01
DATE: 10/20/2017
DRAWN BY: J. WITIG
CHECKED BY: J. WITIG
SHEET NUMBER:

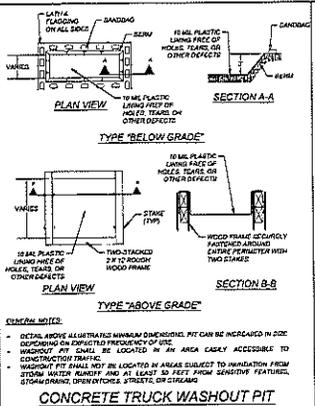
C2.1

DATE: JAN. 31, 2017, 4:30pm, TWP. 33S, R. 12E, S. 24N, DIST. 103, COUNTY: DALLAS, SHEET 531201-013

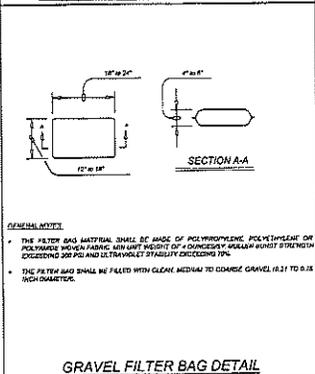


ISOMETRIC PLAN VIEW

SILT FENCE



CONCRETE TRUCK WASHOUT PIT

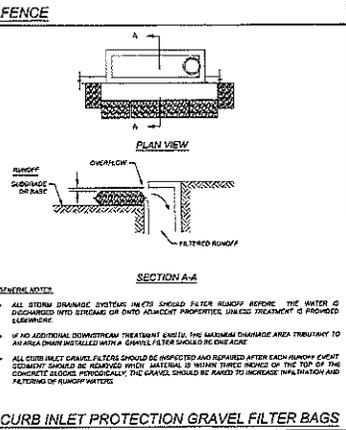


GRAVEL FILTER BAG DETAIL

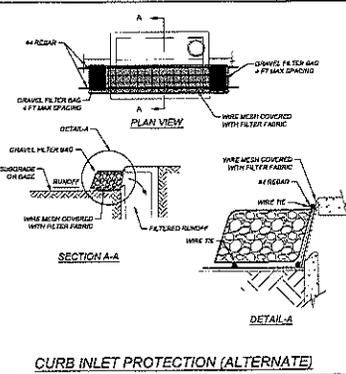
MATERIALS:
 (1) FABRIC SHALL BE MADE OF POLYPROPYLENE, POLYETHYLENE OR POLYESTER WITH A TENSILE STRENGTH OF 100 LBS PER YD. THE FABRIC SHALL BE 24 INCHES HIGH WITH A MINIMUM UNIT WEIGHT OF 1.5 OUNCES PER SQUARE YARD. THE FABRIC SHALL BE MADE OF POLYPROPYLENE, POLYETHYLENE OR POLYESTER WITH A TENSILE STRENGTH OF 100 LBS PER YD. THE FABRIC SHALL BE 24 INCHES HIGH WITH A MINIMUM UNIT WEIGHT OF 1.5 OUNCES PER SQUARE YARD. THE FABRIC SHALL BE MADE OF POLYPROPYLENE, POLYETHYLENE OR POLYESTER WITH A TENSILE STRENGTH OF 100 LBS PER YD. THE FABRIC SHALL BE 24 INCHES HIGH WITH A MINIMUM UNIT WEIGHT OF 1.5 OUNCES PER SQUARE YARD.

INSTALLATION:
 (1) THE FABRIC SHALL BE INSTALLED ON A SLOPE THAT IS NOT STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL. THE FABRIC SHALL BE INSTALLED ON A SLOPE THAT IS NOT STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL. THE FABRIC SHALL BE INSTALLED ON A SLOPE THAT IS NOT STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL. THE FABRIC SHALL BE INSTALLED ON A SLOPE THAT IS NOT STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL.

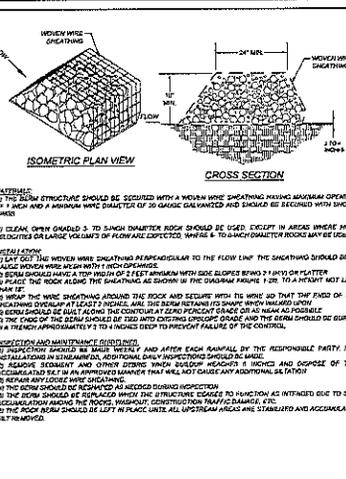
MAINTENANCE:
 (1) THE FABRIC SHALL BE MAINTAINED IN GOOD CONDITION AT ALL TIMES. THE FABRIC SHALL BE MAINTAINED IN GOOD CONDITION AT ALL TIMES. THE FABRIC SHALL BE MAINTAINED IN GOOD CONDITION AT ALL TIMES. THE FABRIC SHALL BE MAINTAINED IN GOOD CONDITION AT ALL TIMES.



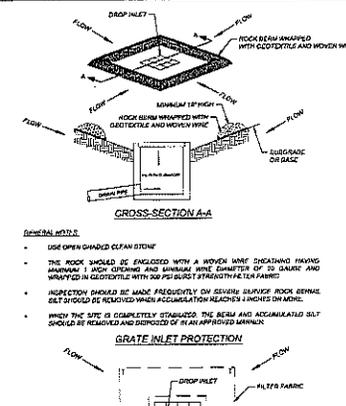
CURB INLET PROTECTION GRAVEL FILTER BAGS



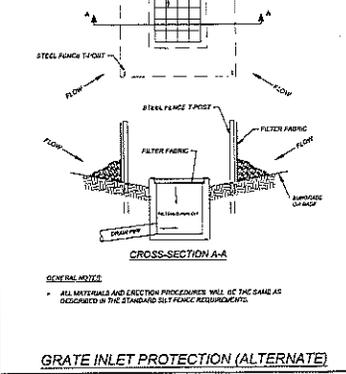
CURB INLET PROTECTION (ALTERNATE)



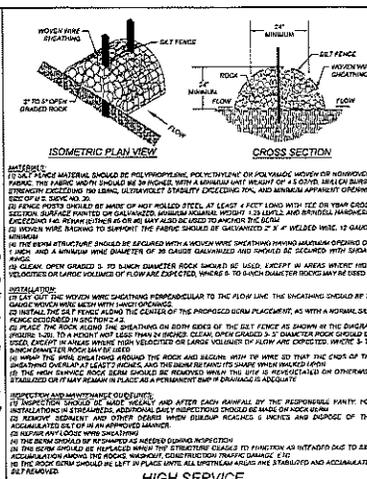
ROCK BERM



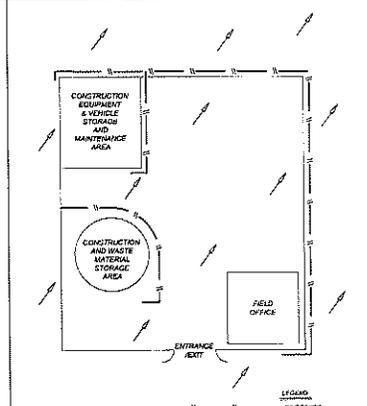
GRATE INLET PROTECTION



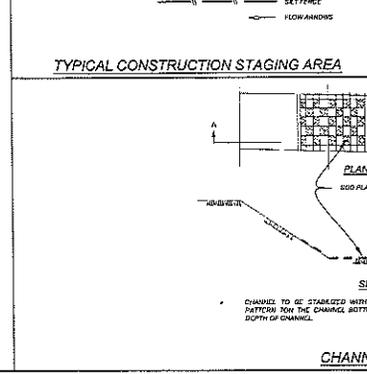
GRATE INLET PROTECTION (ALTERNATE)



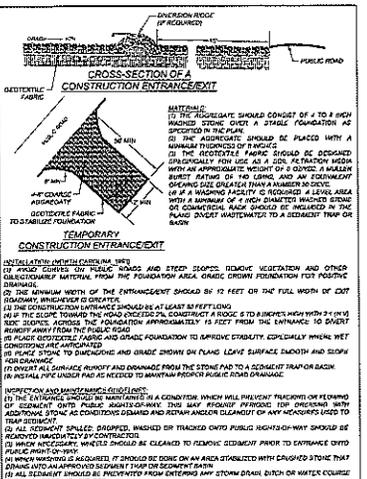
HIGH SERVICE ROCK BERM



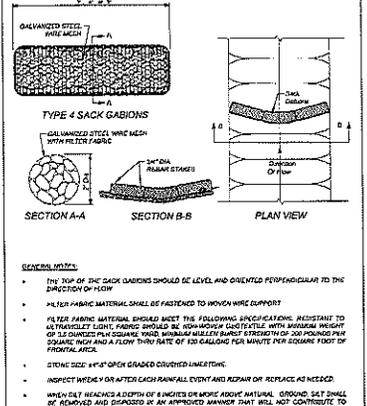
TYPICAL CONSTRUCTION STAGING AREA



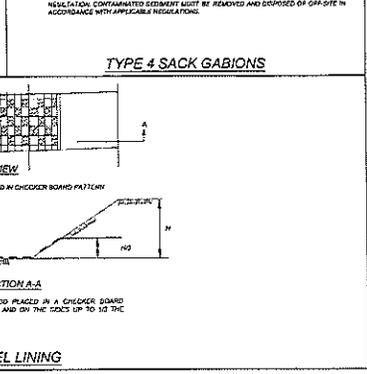
CHANNEL LINING



STABILIZED CONSTRUCTION ENTRANCE/EXIT



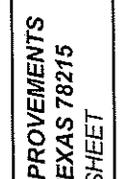
TYPICAL CONSTRUCTION STAGING AREA



CHANNEL LINING

K&W
 SURVEYING
 ENGINEERS & ARCHITECTS
 2018 AVENUE B SAN ANTONIO, TEXAS 78215
 TEL: 214.223.1111 FAX: 214.223.1112

NO.	REVISION/ISSUE	DATE



WITTIG OFFICE FURNITURE SITE IMPROVEMENTS
 2018 AVENUE B SAN ANTONIO, TEXAS 78215
 EROSION CONTROL DETAIL SHEET

PLAT NUMBER: 508522
 JOB NO: 2452307
 DATE: FEBRUARY 2017
 DRAWN: M. CHESTNUT
 SHEET NUMBER: **C4.1**

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT HAS BEEN TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN IMPROPERLY ALIGNED. ALL RIGHTS ARE RESERVED BY THE ORIGINAL AUTHOR, DONOR, AND/OR CREATOR.

WITTIGS OFFICE INTERIORS

2018 AVENUE B, SAN ANTONIO, TX 78215



GENERAL NOTES & INSTRUCTIONS

- GOVERNING CODE FOR THIS PROJECT SHALL BE CITY OF SAN ANTONIO - 2006 CODE AND APPLICABLE PORTIONS OF THE 2015 IRC.
- GENERAL CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CITY AND STATE CODES AND ORDINANCES.
- GENERAL CONTRACTOR / SUB CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE PROCEEDING WITH WORK, AND SHALL NOTIFY TENANT / OWNER / ARCHITECT OF ANY AND ALL DISCREPANCIES.
- MECHANICAL AND ELECTRICAL SYSTEMS SHALL COMPLY WITH ALL APPLICABLE CITY AND STATE CODES AND ORDINANCES.
- GENERAL CONTRACTOR SHALL BE COMPLETELY FAMILIARIZED WITH ALL ARCHITECTURAL, MECHANICAL, AND ELECTRICAL PORTIONS OF WORK, AND SHALL PROVIDE ALL NECESSARY ORDINANCES AND PERMITS REQUIRED FOR SUCH PORTIONS OF THE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL CONTRACT. GENERAL CONTRACTOR SHALL COOPERATE FULLY WITH ALL TRADES.
- GENERAL CONTRACTOR / SUB CONTRACTORS SHALL NOT BE ALLOW ANY DEBRIS TO ACCUMULATE IN STRUCTURE OR ON THE GROUNDS. ALL WASTE AND DISPOSE OF AS CONTRACTORS EXPENSE. AT COMPLETION OF THE JOB ALL SURFACES SHALL BE LEFT CLEAN AND THE WORK AREA LEFT TIDY AND CLEAR.
- ALL EXITS TO BE OPERATIVE FROM CHECKOUT WITHOUT USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- PLUMBING, MECHANICAL, AND ELECTRICAL WORK SHALL BE COMPLETED PRIOR TO THE START OF FINISH WORK.
- GENERAL CONTRACTOR / SUB CONTRACTORS SHALL PROTECT FROM DAMAGE THOSE IDENTIFIED PORTIONS OF THE BUILDING NOT IN CONTRACT. ALLOW NO LEAKS IN EXISTING STRUCTURE, CONTROL SPILLS, AND DO NOT PROTECT AREAS OF THE BUILDING NOT IN CONTRACT.

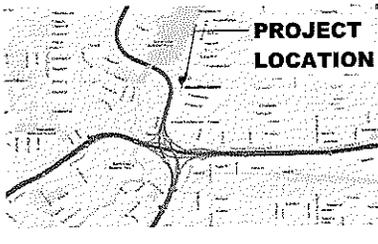
GENERAL CONTRACTOR INSTRUCTIONS:

- GENERAL CONDITIONS:
 - GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, AIA DOCUMENT A201, DATED AUGUST, 1997, SHALL GOVERN ALL WORK PERFORMED UNDER THIS CONTRACT. ALL REQUESTS FOR CLARIFICATION OF THESE DRAWINGS SHALL BE DIRECTED TO THE ARCHITECT.
 - TO OWNER / TENANT / ARCHITECT AND ALL APPROVALS AND DISTRIBUTIONS TO CONTRACTOR SHALL BE ISSUED THROUGH OWNER / TENANT / ARCHITECT IN THE FORM OF WRITTEN ORDERS, CLARIFICATIONS, DRAWINGS AND PERMIT CORRESPONDENCE.
 - CLAIMS FOR ADDITIONAL COSTS: IF THE CONTRACTOR WISHES TO MAKE A CLAIM FOR AN INCREASE IN THE CONTRACT SUM HE SHALL ADVISE OWNER / TENANT IN WRITTEN NOTICE (HEREOF) WITHIN 10 DAYS AFTER THE OCCURRENCE OF THE EVENT GIVING RISE TO SUCH CLAIM. THIS NOTICE SHALL BE GIVEN BY THE CONTRACTOR BEFORE PROCEEDING TO DISPUTE THE WORK, EXCEPT IN EMERGENCIES ENDANGERING LIFE OR PROPERTY. IN WHICH CASE THE CONTRACTOR SHALL PROCEED IN ACCORDANCE WITH GENERAL INSTRUCTION NOTE 14. ANY CHANGE IN THE CONTRACT SUM RESULTING FROM SUCH CLAIM SHALL BE AUTHORIZED BY WRITTEN CHANGE ORDER ONLY.
 - SUBSTITUTIONS - DEFENDING MATERIALS: NO SUBSTITUTIONS WILL BE CONSIDERED UNLESS WRITTEN REQUEST IS SUBMITTED TO OWNER WITHIN TEN (10) DAYS FROM AWARD OF CONTRACT. EACH SUCH REQUEST SHALL INCLUDE A COMPLETE DESCRIPTION OF THE PROPOSED SUBSTITUTE NAME OF THE

- MATERIAL OR EQUIP. FOR WHICH IT IS TO BE SUBSTITUTED, DRAWINGS, SPECIFICATIONS, OR TREATMENT IS NECESSARY FOR A COMPLETE EVALUATION. ALL APPROVALS SHALL BE GIVEN IN WRITING BY OWNER. CONTRACTOR SHALL NOTIFY OWNER WITHIN TEN (10) DAYS FROM AWARD OF CONTRACT. IN WRITING THE NAMES OF ALL SUBCONTRACTORS AND CERTIFY THAT ALL MATERIAL AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THE PROJECT DATES HAVE BEEN ORDERED WITH THE PROPOSED DELIVERY DATES COORDINATED WITH THE PROJECT'S SCHEDULE. SCHEDULE SURETY NOTIFICATION SHALL LIST EXPECTATIONS, INCLUDING THE CASE TO REQUEST FOR SUBSTITUTE.
- PROGRESS SCHEDULE: THE CONTRACTOR SHALL INCLUDE IN THEIR BID AN ESTIMATED PROGRESS SCHEDULE OF WORK.
- PROTECTION - PERSONS AND PROPERTY: THE CONTRACTOR SHALL TAKE THE REASONABLE PRECAUTIONS FOR THE SAFETY OF, AND SHALL PROVIDE ALL REASONABLE PROTECTION TO PREVENT DAMAGE, DELAY OR LOSS TO EMPLOYEES ON THE JOB AND ALL OTHER PERSONS WHO MAY BE AFFECTED THEREBY. ALL COMPLETED WORK, MATERIALS AND EQUIPMENT TO BE INCORPORATED THEREIN SHALL BE KEPT AT THE SITE OR ADJACENT THERETO. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, AND REGULATIONS OF ANY PUBLIC AGENCY HAVING JURISDICTION IN ANY EMERGENCY AFFECTING THE SAFETY OF PERSONS OR PROPERTY. THE CONTRACTOR SHALL NOT AT ANY TIME PREVENTED DAMAGE, DELAY OR LOSS.
- COMPLETION: WHEN CONTRACTORS WORK IN NEARBY COMPLETION, CONTRACTOR SHALL NOTIFY OWNER ACCORDINGLY IN WRITING. UPON COMPLETION, TENANT AND CONTRACTOR SHALL PREPARE A FINAL "PUNCH LIST" OUTLINING INCOMPLETE OR DEFECTIVE WORK. THE PROJECT SHALL NOT BE CONSIDERED COMPLETE UNTIL ALL ITEMS ON THE PUNCH LIST HAVE BEEN COMPLETED OR RESOLVED TO OWNER'S / TENANT'S SATISFACTION.
- WORK SCHEDULING: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE EXISTING SLAB TYPE AND CONDITIONS PRIOR TO ANY CORE DRILLING OR CUTTING. DEBRIS OF THE SLAB SHALL BE REMOVED PRIOR TO ANY CUTTING OR DRILLING. THE KEY IS TO BE DELIVERED TO THE BUILDING DEPARTMENT FOR REVIEW. COORDINATE WITH OWNER LOCATION AND EXTENT OF STRUCTURAL WORKS AND REPAIRS, AS WELL AS OTHER BUILDING SYSTEMS THAT MAY BE AFFECTED BY CUTTING OPERATION. MAKE ANY REPAIRS RESULTING FROM FAILURE TO COORDINATE AS A PART OF THE AWARD OF THIS CONTRACT.
- BY EXECUTING THE CONTRACT THE CONTRACTOR REPRESENTS THAT HE HAS VISITED THE SITE, FAMILIARIZED HIMSELF WITH LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED, AND CORRELATED HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, AND SHALL, AT ONCE REPORT TO THE ARCHITECT ANY ERROR, OMISSIONS, OR CONFLICTS HE MAY DISCOVER.
- MECHANICAL, ELECTRICAL, PLUMBING, FIRE ALARM SYSTEMS AND FIRE AND SAFETY SHALL BE AS ENGINEERED BY BUILDING CONSULTING ENGINEER OR GENERAL CONTRACTORS SUBCONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES.
- THE CONTRACTOR SHALL PERFORM ALL WORK, AND SUPPLY ALL MATERIALS AND EQUIPMENT IN FULL ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND LAWS OF THE CITY OF SAN ANTONIO, TEXAS AND AS REQUIRED FOR FULL AND COMPLETE CONSTRUCTION AS SPECIFIED IN THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL APPLIANCES UNLESS OTHERWISE NOTED.
- THE OWNER IS RESPONSIBLE FOR THE COORDINATION OF TELEPHONE AND COMPUTER CABLE INSTALLATION AND RELATED COSTS, AND SHALL INSURE THAT IT IS INSTALLED AS PER APPLICABLE CODES.
- PROVIDE SHOP DRAWINGS OF ALL WELDWORK FOR APPROVAL BY ARCHITECT.

- MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE AND SAFETY SHALL BE ENGINEERED BY BUILDING CONSULTING ENGINEER OR GENERAL CONTRACTORS SUBCONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES.
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LOCATION MAP



PROJECT LOCATION

PROJECT SUMMARY

GROSS BLDG SF: 25334 SF
 BLDG CONST. TYPE: ICB
 SPRINKLERED: YES
 FIRE ALARM: YES
 OCCUPANT LOAD: REFER TO LIFE SAFETY PLANS FOR EACH FLOOR

ACCESSIBILITY ISSUES

THE TEXAS DEPARTMENT OF LICENSING AND REGULATION (TDLR) DEFINES THIS PROJECT AS A **NEW OFFICE BUILDING** AS AN ALTERATION UNDER THE TEXAS ACCESSIBILITY STANDARDS (TAS). THE TDLR HAS JURISDICTION OVER THIS PROJECT AND WILL PERFORM A FIELD INSPECTION OF THE COMPLETED CONSTRUCTION FOR COMPLIANCE TO THE TAS.

THESE CONSTRUCTION DOCUMENTS FOR NEW WORK MEET OR EXCEED THE REQUIREMENTS OF THE CURRENT STATE REQUIREMENTS FOR AN "ADDITIONAL PROVISION" - THE SCOPE OF OUR SERVICES IS LIMITED TO THE TENANT SPACE ONLY. NOTE: EXISTING CONDITIONS BEYOND THE SCOPE OF THE CONTRACT WILL ALSO BE REVIEWED BY THE TDLR. ANY CHANGES REQUIRED BY THE TDLR FOR EXISTING CONDITIONS ARE THE RESPONSIBILITY OF THE OWNER AND WILL BE ADDRESSED BY CHANGE ORDER AS AN ADDITIONAL SERVICE. NEW WORK SHALL BE IN COMPLIANCE WITH TAS.

ANY NEW CONSTRUCTION PERFORMED TO BE NON-COMPLIANT WITH OUR CONTRACT DOCUMENTS DURING THE STATES FIELD INSPECTION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE CORRECTED AS REQUIRED.

PROJECT TEAM

OWNER	ARCHITECT
MARK WITTIGS 200 BRADSHAW ST. SAN ANTONIO, TX 78205 210-270-0100 CONTACT: MARK WITTIGS	INSTE ARCHITECTS, INC. 1033 BRADSHAW SAN ANTONIO, TEXAS 78215 210-224-4181 (PHONE) 210-224-4181 (TEXT) CONTACT: MIKE SCHAEFER
CIVIL ENGINEER	STRUCTURAL ENGINEER
KPM ENGINEERS & SURVEYORS 3821 FRENDSHIP HWY 1050 SAN ANTONIO, TX 78217 210-478-8444 CONTACT: JEFF KOCKORIS	PERKINS ENGINEERING 4204 GULFVIEW PARK SAN ANTONIO, TX 78244 210-480-4120 CONTACT: SHAWN MONDOR

SHEET INDEX

Sheet List	
Sheet Number	Sheet Name
AD	Cover Sheet
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AD.2	Life Safety Plans
AD.3	Life Safety Plans
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AD.2	Level 2 - New Construction
AD.3	Level 3 - New Construction
AD.1	Level 1 - Finish Plan
AD.2	Level 2 - Finish Plan
AD.3	Level 3 - Finish Plan
AD.1	Level 1 - Ref. Cfg. Plan
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AD.3	Level 3 - Ref. Cfg. Plan
AD.1	Level 1 - Finish Plan
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AD.1	R.R. Plans / Elevations
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AD.3	Details
AD.1	Exterior Elevations
AD.2	Interior Details
AD.3	Int. Elev. Elev.

WITTIGS OFFICE BUILDING
 2018 AVENUE B
 SAN ANTONIO, TX 78215

DRAWN BY: DP

DATE: 2.10.21

REVISED:



SHEET TITLE: Cover Sheet

SHEET: A0

CODE ANALYSIS - LEVEL 1

GROSS AREA LEVEL: 5,175 SF
 AREA OF ADJAC: 5,455 SF
 NUMBER OF EXITS REQUIRED: 2
 NUMBER OF EXITS PROVIDED: 2
 SPC/NALIZED: YES
 OCCUPANCY TYPE: B
 BUILDING CONSTRUCTION TYPE: IIB

MAXIMUM ALLOWABLE TRAVEL DISTANCE: 300'-0"
 MAXIMUM ALLOWABLE COMMON PATH OF TRAVEL: 100'-0"
 (DUE TO INSTALLATION OF AUTOMATIC SPRINKLER SYSTEM)
 MAXIMUM COMMON PATH OF TRAVEL PER PLAN: 85'-11"

MAXIMUM ALLOWABLE DEAD END CORRIDOR DIST: 50'-0"
 (DUE TO INSTALLATION OF AUTOMATIC SPRINKLER SYSTEM)
 LONGEST DEAD END CORRIDOR: 49'-4"

OCCUPANT LOAD:
 BUILDING LOBBY: 101 & 102: 1743 SF / 1 & 251 PERSONS
 BUILDING CONFERENCE ROOM 105: 317 SF / 18 & 18 PERSONS
 REMAINDER OF SPACE: 1415 SF / 100 & 10 PERSONS
 TOTAL OCCUPANTS: 251 PERSONS

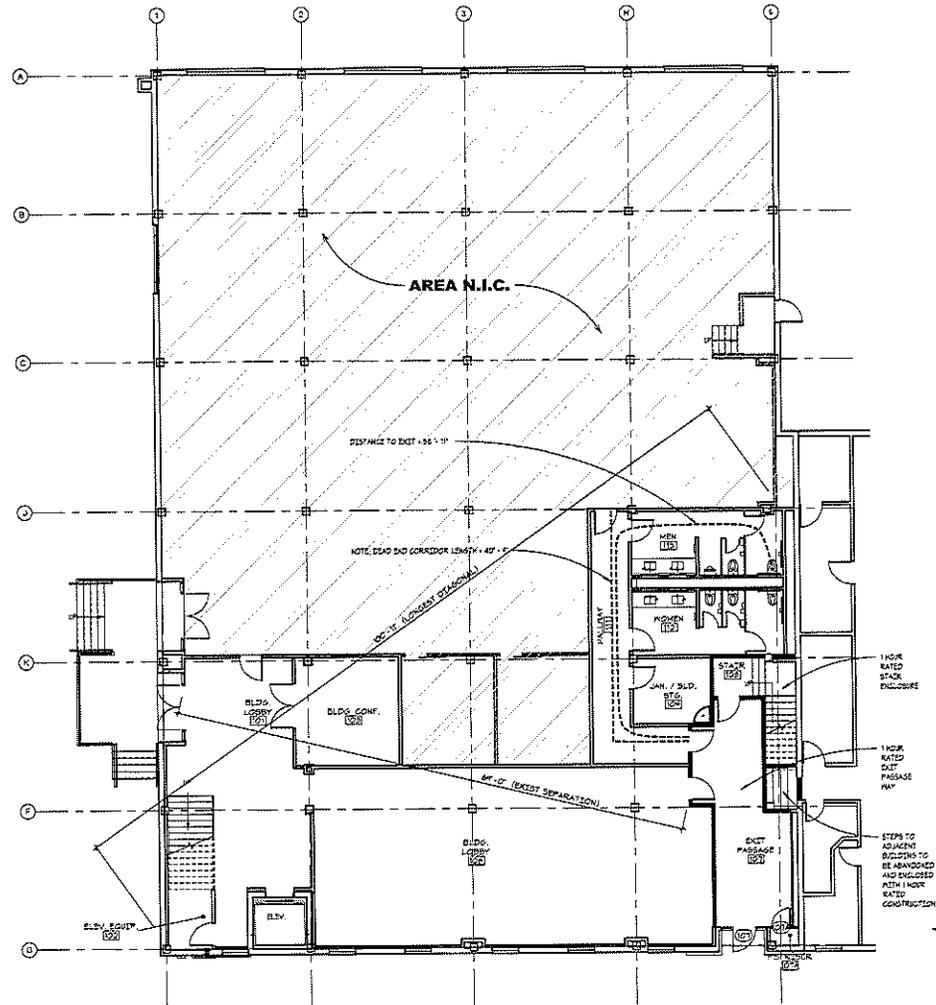
MAXIMUM ALLOWABLE CORRIDOR WIDTH: 251 OCCUPANTS & 2 & 9'-4"
 CORRIDOR WIDTH PROVIDED: 6'-0"

MAXIMUM VOT REQUIRED FLASHING FEATURES:
 OCCUPANT LOAD: 251 PERSONS
 WATER CLOSETS REQUIRED: 103 MALE / 115 FEMALE
 TOTAL WATER CLOSETS REQUIRED:
 MEN: 2 (2 PROVIDED) / 1 (MINIMUM)
 WOMEN: 3 (3 PROVIDED)

LAVATORIES REQUIRED:
 MEN: 1 (2 PROVIDED)
 WOMEN: 1 (2 PROVIDED)

DRINKING FOUNTAINS REQUIRED: 1 (1 PROVIDED)

SERVICE SINKS REQUIRED: 1 (1 PROVIDED)



1 Level 1 - Life Safety Plan
 1/8" = 1'-0"



WITTIGS ARCHITECTURE, INC.
 ARCHITECTS
 REGISTERED PROFESSIONAL ARCHITECTS

Wittigs Office Building
 2018 Avenue B
 San Antonio, TX 78215

DRAWN BY: DP
 DATE: 2.10.11
 REVISED:



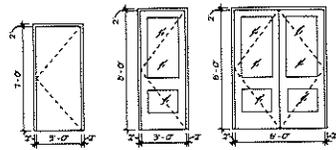
2.10.11
 SHEET TITLE:
 Life Safety Plans
 SHEET:

A0.1

Wall Legend

- EXISTING WALL TO REMAIN.
- EXISTING CONSTRUCTION TO BE REMOVED.
- A NEW FLOOR TO DECK PARTITION (NON-RATED) REFER TO WALL DETAILS.
- B NEW 1 HOUR RATED WALL PARTITION REFER TO WALL DETAILS.
- C NEW 0.45H PARTITION, 1 HOUR RATED MESH/M AT STACKWELLS REFER TO WALL DETAILS.
- D NEW DEMOUNTABLE WALL PARTITION PROVIDED AND INSTALLED BY OWNER, S.C. TO PROVIDE FUR-DOWN AT TOP OF WALL TO EXTEND FROM THE AFF TO DECK ABOVE, REFER TO WALL DETAILS.
- E FUR OFF EXISTING EXTERIOR WALL REFER TO WALL DETAILS.
- F NEW 0.50H PARTITION, REFER TO WALL DETAILS.

Door Types - Level 1



A/B C CC

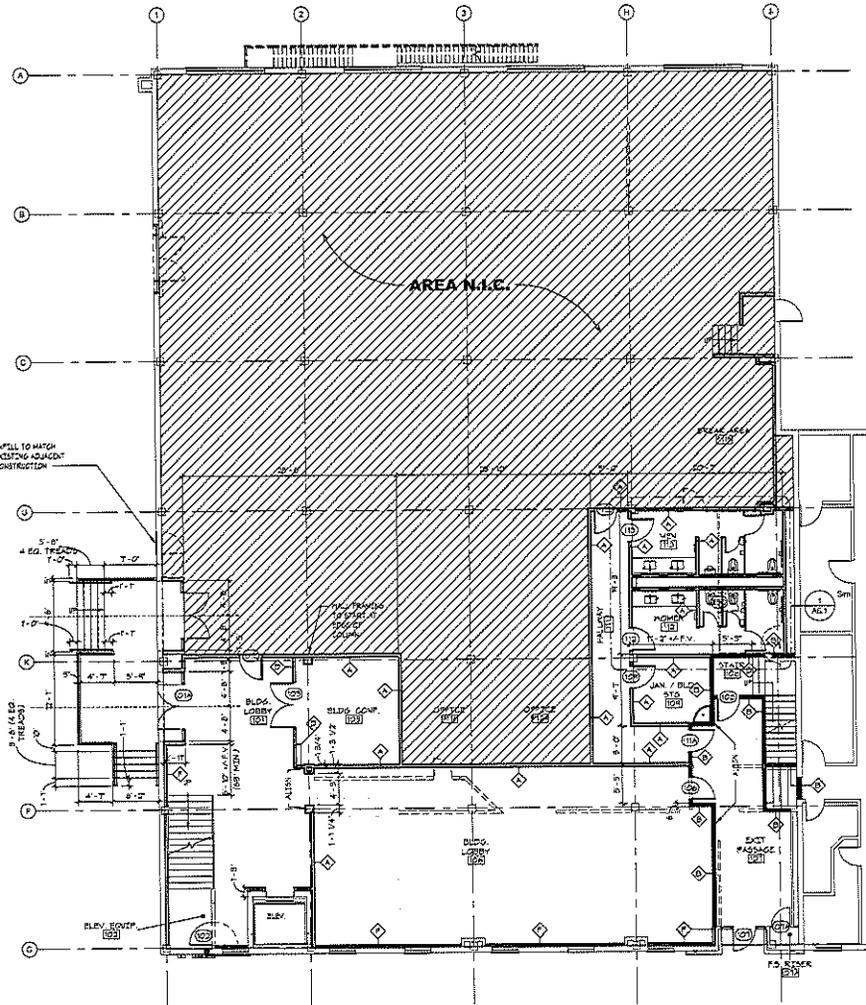
Door & Hardware Legend

UNLESS NOTED OTHERWISE ALL INTERIOR HARDWARE IS TO BE LEVER TYPE, SOLANGE AL, SIZES "UPPER" WITH HAND BATCH GROUND FINISH, PROVIDE FLOOR MOUNTED STOPS AT ALL DOORS.

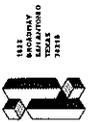
- P PASSAGE SET
- SL STORAGE ROOM LOCK
- CL CLASSROOM LOCK
- DL OFFICE LOCK
- FF FIBR / FIBL
- DF DECORATIVE FILL OF OWNER
- G CLOSER IS SECOND HDL. S&S273
- SI ENTRANCE LOCK
- FS PANIC BAR

Door Schedule - Level 1

Type Mark	Mark	Width	Height	Thickness	Finish	Door Use	Frame Height	Frame Material	Frame Type	Comments
101A	CC	6'-0"	8'-0"	0'-1 1/4"	SLAB/ALUM	SL, FB, C	8'-0" T-11 1/2"	CLK. AND ALUM	STOREFRONT	
101C	JA	3'-0"	7'-0"	0'-1 3/4"	S.G. WOOD / PAINTED	L, G	8'-0" T-9"	PAINTED HM.	FULLY WELDED	
102	C	6'-0"	7'-0"	0'-1 3/4"	PAINTED HM.	B	8'-4" T-9"	PAINTED HM.	FULLY WELDED	NO MIN. RATED DOOR AND FRAME
103	DD	6'-0"	7'-0"	0'-1 3/4"	S.G. WOOD / PAINTED	SP, L, C	8'-4" T-9"	PAINTED HM.	FULLY WELDED	NO MIN. RATED DOOR AND FRAME
104	B	6'-0"	7'-0"	0'-1 3/4"	PAINTED HM.	P, FB, C	8'-4" T-9"	PAINTED HM.	FULLY WELDED	
107	C	3'-0" 1/4"	8'-1 1/2"	N/A	HM, PAINTED	PL, FB, C	8'-4" T-9"	PAINTED HM.	FULLY WELDED	NO MIN. RATED DOOR AND FRAME
108	B	6'-0"	7'-0"	0'-1 3/4"	PAINTED HM.	P, FB, C	8'-4" T-9"	PAINTED HM.	FULLY WELDED	
104	A	3'-0"	7'-0"	0'-1 3/4"	S.G. WOOD / PAINTED	L, G	8'-4" T-9"	PAINTED HM.	FULLY WELDED	NO MIN. RATED DOOR AND FRAME
111A	B	6'-0"	7'-0"	0'-1 3/4"	PAINTED HM.	P, FB, C	8'-4" T-9"	PAINTED HM.	FULLY WELDED	
111B	A	3'-0"	7'-0"	0'-1 3/4"	S.G. WOOD / PAINTED	L, G	8'-4" T-9"	PAINTED HM.	FULLY WELDED	
112	C	6'-0"	7'-0"	0'-1 3/4"	S.G. WOOD / PAINTED	PP, C	8'-4" T-9"	PAINTED HM.	FULLY WELDED	
113	A	3'-0"	7'-0"	0'-1 3/4"	S.G. WOOD / PAINTED	PP, C	8'-4" T-9"	PAINTED HM.	FULLY WELDED	



1 Level 1 - Construction Plan
1/8" = 1'-0"



I N S I T
Architects
INC.
1911 SAN ANTONIO ARCHITECTS INC.

Wittigs Office Building
2018 Avenue B
San Antonio, TX 78215

DRAWN BY: **DF**

DATE: **2.10.11**

REVISED:



2.10.11

SHEET TITLE:

Level 1 - New Construction

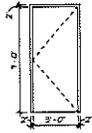
SHEET:

A2.1

Wall Legend

- EXISTING WALL TO REMAIN.
- EXISTING CONSTRUCTION TO BE REMOVED.
- ===== NEW MUDGIR TO DECK PARTITION (NON-RATED) REFER TO WALL DETAILS.
- ===== NEW 1 HOUR RATED WALL PARTITION. REFER TO WALL DETAILS.
- ===== NEW 2' GUN PARTITION. 1 HOUR RATED HORIZON AT STACKWELLS. REFER TO WALL DETAILS.
- ===== NEW DEMOUNTABLE WALL PARTITION PROVIDED AND DETAILED BY OWNER. O.C. TO PROVIDE RAIN-GUARD AT TOP OF WALL TO EXTEND FROM 1/4" AFF TO DECK ABOVE. REFER TO WALL DETAILS.
- ===== REMOVE EXISTING EXTERIOR WALL. REFER TO WALL DETAILS.
- ===== NEW 8' STUD PARTITION. REFER TO WALL DETAILS.

Door Types - Level 2

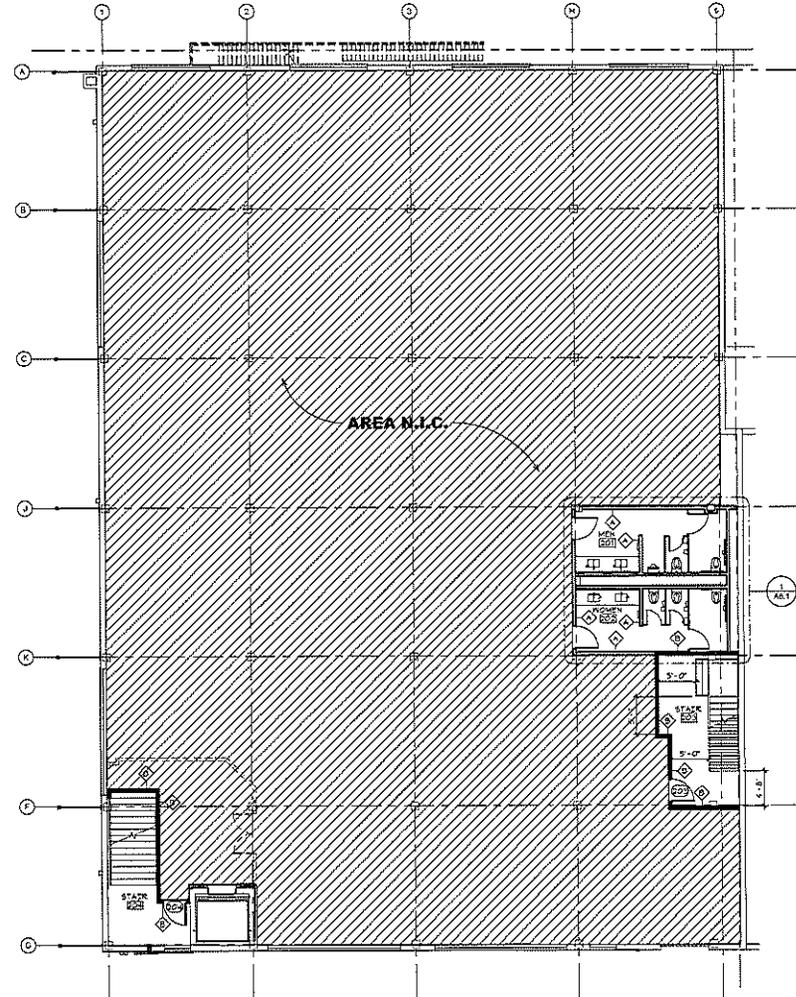


A/B

Door Schedule- Level 2											
MARK	TYPE	WIDE	HEIGHT	THICKNESS	FINISH	DOOR	FRAME	FRAME HEIGHT	FRAME MATERIAL	FRAME TYPE	COMMENTS
DD1 A	1	3'-0"	7'-0"	1 1/2"	B.S. MGGD / PAINTED	PP, C	EL, PB, C	7'-0"	PAINTED H.M.	FULLY WELDED	
DD2 A	1	3'-0"	7'-0"	1 1/2"	B.S. MGGD / PAINTED	PP, C	EL, PB, C	7'-0"	PAINTED H.M.	FULLY WELDED	
DD3 A	1	3'-0"	7'-0"	1 1/2"	PAINTED H.M.	EL, PB, C	EL, PB, C	7'-0"	PAINTED H.M.	FULLY WELDED	NO MIN. RATED DOOR AND FRAME
DD4 A	1	3'-0"	7'-0"	1 1/2"	PAINTED H.M.	EL, PB, C	EL, PB, C	7'-0"	PAINTED H.M.	FULLY WELDED	NO MIN. RATED DOOR AND FRAME

Door & Hardware Legend

- UNLESS NOTED OTHERWISE ALL INTERIOR HARDWARE IS TO BE LEVER TYPE, SIGNAGE AS SHOWN UNLESS NOTED. 1/2" RATED GARDEN/FINISH. PROVIDE FLOOR MOUNTED STOPS AT ALL DOORS.
- P PASSAGE SET
 - SL STORAGE ROOM LOCK
 - EL CLASSROOM LOCK
 - OL OFFICE LOCK
 - PP PUSH / PULL
 - DP DECORATIVE PULL BY OWNER
 - C CLOSER IS SECOND HMR. SNEEZY
 - EL ENTRANCE LOCK
 - PB PANIC BAR



1 Level 2 - Construction Plan
1/8" = 1'-0"



I N S I T U T E
 I N S I T U T E
 A e s t h e t i c s
 R E S I D E N T I A L A R C H I T E C T U R E

Wittigs Office Building
 2018 Avenue B
 San Antonio, TX 78215

DRAWN BY: **DF**
 DATE: **2.10.17**
 REVISED:



SHEET TITLE:
 Level 2 - New Construction
 SHEET:

A2.2

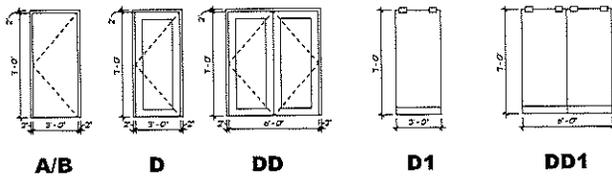
Wall Legend

- EXISTING WALL TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- NEW FLOOR TO DECK PARTITION (NON-RATED) REFER TO WALL DETAILS
- NEW 1 HOUR RATED WALL PARTITION. REFER TO WALL DETAILS
- NEW 0' 0" PARTITION. 1 HOUR RATED HORIZONTAL AT STAIRWELLS. REFER TO WALL DETAILS
- NEW DEMOUNTABLE WALL PARTITION PROVIDED AND INSTALLED BY OWNER, E.G. TO PROVIDE PARADOX AT TOP OF WALL TO EXTEND FROM T-6 AFF TO DECK ABOVE. REFER TO WALL DETAILS.
- NEW 0' 0" PARTITION. REFER TO WALL DETAILS.
- NEW 1/2" STUD PARTITION. REFER TO WALL DETAILS.

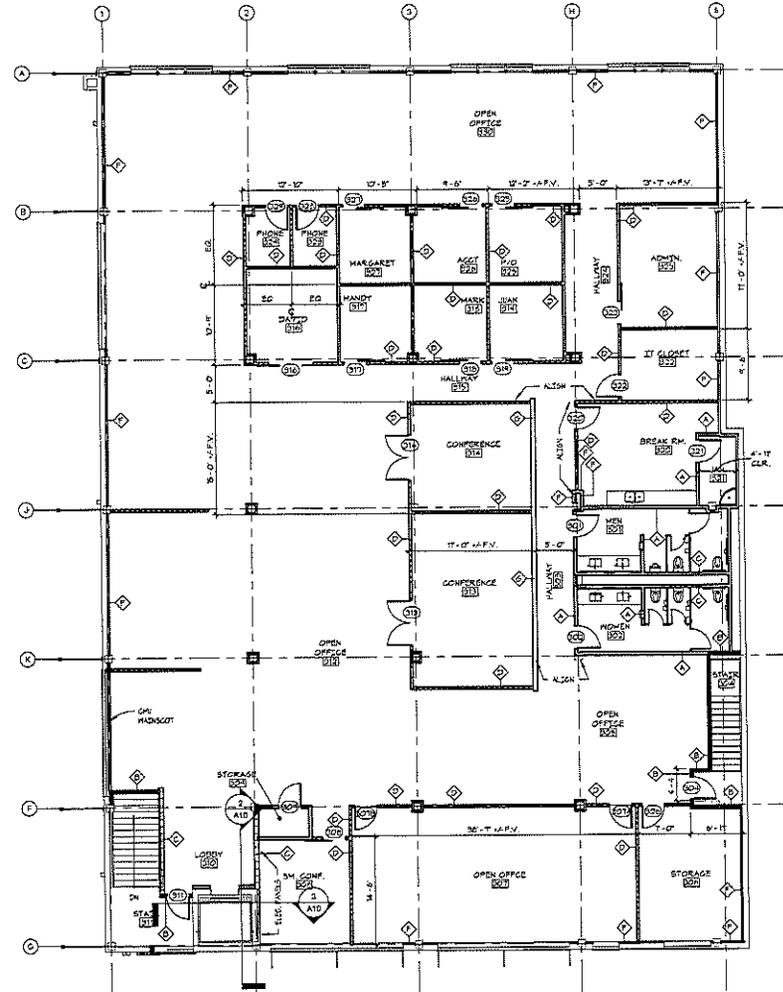
Door & Hardware Legend

- UNLESS NOTED OTHERWISE ALL INTERIOR HARDWARE IS TO BE LEVER TYPE, SOLID AL. SERIES (LHPTER-NIT) NON-SWITCH OPERATING FINISH. PROVIDE FLOOR MOUNTED STOPS AT ALL DOORS.
- P PASSAGE SET
 - SL ENTRANCE LOCK
 - SLC STORAGE ROOM LOCK
 - PS PANIC BAR
 - GL GLASS ROOM LOCK
 - OL OFFICE LOCK
 - PP PUSH / PULL
 - DD DECORATIVE WALL BY OWNER
 - G GLOSER (5 SECOND MIN. SLEEP)

Door Types - LEVEL 3



Door Schedule - Level 3										
Mark	Type	Width	Height	Thickness	Finish	Door	Frame	Frame	Frame	Comments
						Model	Profile	Height	Material	Notes
501	A	3'-0"	7'-0"	0'-1 3/4"	S.G. WOOD / PAINTED	PP, G	3'-4"	7'-2"	PAINTED H.M.	FULLY WELDED
502	A	3'-0"	7'-0"	0'-1 3/4"	S.G. WOOD / PAINTED	PP, G	3'-4"	7'-2"	PAINTED H.M.	FULLY WELDED
504	A	3'-0"	7'-0"	0'-1 3/4"	PAINTED H.M.	EL, PS, G	3'-4"	7'-2"	PAINTED H.M.	FULLY WELDED
507A	A	3'-0"	7'-0"	0'-1 3/4"		L	3'-4"	7'-2"		DOOR AND FRAME BY OWNER
507B	D	3'-0"	7'-0"	0'-1 3/4"		P	3'-4"	7'-2"		DOOR AND FRAME BY OWNER
507C	D	3'-0"	7'-0"	0'-1 3/4"		P	3'-4"	7'-2"		DOOR AND FRAME BY OWNER
507D	DD	3'-0"	7'-0"	0'-1 3/4"		PP	3'-4"	7'-2"		DOOR AND FRAME BY OWNER
508	A	3'-0"	7'-0"	0'-1 3/4"	S.G. WOOD / PAINTED	L, PS, G	3'-4"	7'-2"	PAINTED H.M.	FULLY WELDED
509	A	3'-0"	7'-0"	0'-1 3/4"	S.G. WOOD / PAINTED	L, PS, G	3'-4"	7'-2"	PAINTED H.M.	FULLY WELDED
511	B	3'-0"	7'-0"	0'-1 3/4"	PAINTED H.M.	G	3'-4"	7'-2"		NO MIN. RATED DOOR AND FRAME
513	DD	3'-0"	7'-0"	0'-1 3/4"		PP	3'-4"	7'-2"		DOOR AND FRAME BY OWNER
514	DD	3'-0"	7'-0"	0'-1 3/4"		PP	3'-4"	7'-2"		DOOR AND FRAME BY OWNER
516	DD1	3'-0"	7'-0"	0'-1 3/4"		PP, PD	3'-4"	7'-2"		DOOR AND FRAME BY OWNER
517	D1	3'-0"	7'-0"	0'-1 3/4"		PP	3'-4"	7'-2"		DOOR AND FRAME BY OWNER
518	D1	3'-0"	7'-0"	0'-1 3/4"		PP	3'-4"	7'-2"		DOOR AND FRAME BY OWNER
519	D1	3'-0"	7'-0"	0'-1 3/4"		PP	3'-4"	7'-2"		DOOR AND FRAME BY OWNER
520	D	3'-0"	7'-0"	0'-1 3/4"		P	3'-4"	7'-2"		DOOR AND FRAME BY OWNER
521	A	3'-0"	7'-0"	0'-1 3/4"	S.G. WOOD / PAINTED	L	3'-4"	7'-2"	PAINTED H.M.	FULLY WELDED
522	D	3'-0"	7'-0"	0'-1 3/4"		L	3'-4"	7'-2"		DOOR AND FRAME BY OWNER
523	D1	3'-0"	7'-0"	0'-1 3/4"		PP	3'-4"	7'-2"		DOOR AND FRAME BY OWNER
525	D1	3'-0"	7'-0"	0'-1 3/4"		PP	3'-4"	7'-2"		DOOR AND FRAME BY OWNER
526	D1	3'-0"	7'-0"	0'-1 3/4"		PP	3'-4"	7'-2"		DOOR AND FRAME BY OWNER
527	D1	3'-0"	7'-0"	0'-1 3/4"		PP	3'-4"	7'-2"		DOOR AND FRAME BY OWNER
529	D	3'-0"	7'-0"	0'-1 3/4"		P	3'-4"	7'-2"		DOOR AND FRAME BY OWNER
530	D	3'-0"	7'-0"	0'-1 3/4"		P	3'-4"	7'-2"		DOOR AND FRAME BY OWNER



1 Level 3 - Construction Plan
1/8" = 1'-0"



WITTIGS OFFICE BUILDING
ARCHITECTS
AND ENGINEERS, INC.
REGISTERED ARCHITECTS
REGISTERED PROFESSIONAL ENGINEERS

Wittigs Office Building
2018 Avenue B
San Antonio, TX 78215

DRAWN BY: DP

DATE: 2.10.17

REVISED:



2.10.17

SHEET TITLE:

Level 3 - New Construction

SHEET:

A2.3

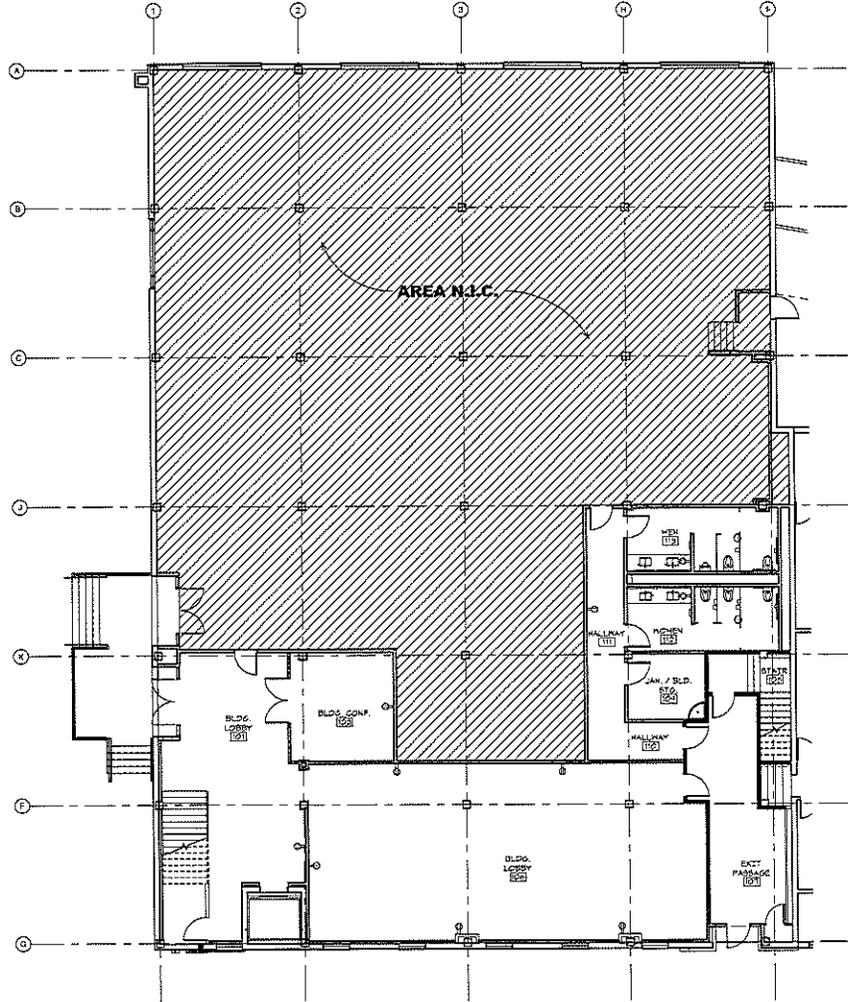
**POWER PLAN / REF. CLG.
PLAN GENERAL NOTES**

1. MECHANICAL, ELECTRICAL, PLUMBING, AND ALL BUILDING SYSTEMS SHALL BE PROVIDED BY GENERAL CONTRACTORS. SUBCONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES. CONTRACTOR TO COORDINATE LOCATIONS OF ALL DEVICES AND TERMINALS WITH ARCHITECT PRIOR TO RUSH-IN AND INSTALLATION.
2. MODIFY ALL BUILDING SYSTEMS AS REQUIRED FOR NEW PULL CONFIGURATIONS. PROVIDE ALL REQUIRED SCHED 500MS, SCHED 500 LIGHTS, FIRE EXTINGUISHERS, AND ALL OTHER ITEMS REQUIRED TO MEET ALL APPLICABLE CODES. ALL SYSTEMS ARE TO BE TIED INTO BUILDING SYSTEMS AS REQUIRED.
3. MODIFY EXISTING HVAC SYSTEM AS REQUIRED DUE TO NEW PULL CONFIGURATIONS AND LIGHTING CONFIGURATIONS.
4. PROVIDE TEST AND BALANCE OF THE HVAC SYSTEM AFTER CONSTRUCTION IS COMPLETE.
5. IT IS THE RESPONSIBILITY OF THE G.C. TO IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND FIELD OBSERVATIONS TO THE ARCHITECT.
6. EXISTING ELECTRICAL DEVICES ARE NOT INDICATED. CONTRACTOR SHALL REMOVE ALL EXISTING DEVICES AND ASSOCIATED CONDUIT BACK TO SOURCE OR BRANCH POINT. PROVIDE NEW ELECTRICAL DEVICES AS INDICATED ON POWER PLAN.

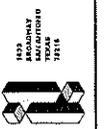
POWER PLAN LEGEND

- 120V DUPLEX OUTLET MOUNTED AT 18" AFF UNLESS NOTED OTHERWISE.
- 20 AMP DESIGNATED DUPLEX OUTLET MOUNTED AT 18" AFF UNLESS NOTED OTHERWISE.
- 20 AMP DESIGNATED QUAD OUTLET MOUNTED AT 18" AFF UNLESS NOTED OTHERWISE.
- NEW PULL MOUNTED JUNCTION BOX FOR HARDWARE CONNECTION TO OWNER'S SYSTEMS. VERIFY WIRING AND AMPERAGE WITH OWNER CONNECTION BY O.C.S. ELECTRICIAN.
- NEW FLUSH FLOOR JUNCTION BOX FOR HARDWARE CONNECTION TO OWNER'S SYSTEMS. VERIFY WIRING AND AMPERAGE WITH OWNER CONNECTION BY O.C.S. ELECTRICIAN. ALSO PROVIDE FOR VOICEDATA CABLEING RING IN SEPARATE CONDUIT.
- NEW FLUSH FLOOR OUTLET BY KIRKHOFF, 1/2" DIA. EVOLUTION SERIES OR EQUIV.
- NEW VOICE/DATA OUTLET MOUNTED AT 18" AFF UNLESS NOTED OTHERWISE. PROVIDE 1" DIA. CONDUIT, 5/8" O.D. AGAINST STRUCTURE ABOVE. PROVIDE BRISING AND PULL STRING.
- NEW MULTI VOICE/DATA OUTLET FOR CONNECTION TO OWNER'S SYSTEMS. VERIFY WIRING AND AMPERAGE WITH OWNER CONNECTION BY O.C.S. ELECTRICIAN. VERIFY QUANTITY OF HORIZONTALS TO SERVE. SIZE CONDUIT AS REQUIRED. STUB OUT CONDUIT AGAINST STRUCTURE ABOVE. PROVIDE BRISING AND PULL STRING.

NOTE: MOUNT OUTLETS ABOVE CEILING TOPS HORIZONTALLY. DEVICES AND PLATE COLOUR TO BE SELECTED. ARCHITECT SHALL SELECT FROM FULL RANGE OF AVAILABLE COLORS.



1 Level 1 - Power Plan
1/8" = 1'-0"



**I H S
CONSULTING
ARCHITECTS, INC.**
REGISTERED PROFESSIONAL ARCHITECTS

Wittigs Office Building
2018 Avenue B
San Antonio, TX 78215

DRAWN BY: **DF**
DATE: **2.10.11**
REVISED:

Handwritten signature
REGISTERED PROFESSIONAL ARCHITECT
STATE OF TEXAS
2.10.11

SHEET TITLE:
Level 1 - Power Plan
SHEET:

A3.1

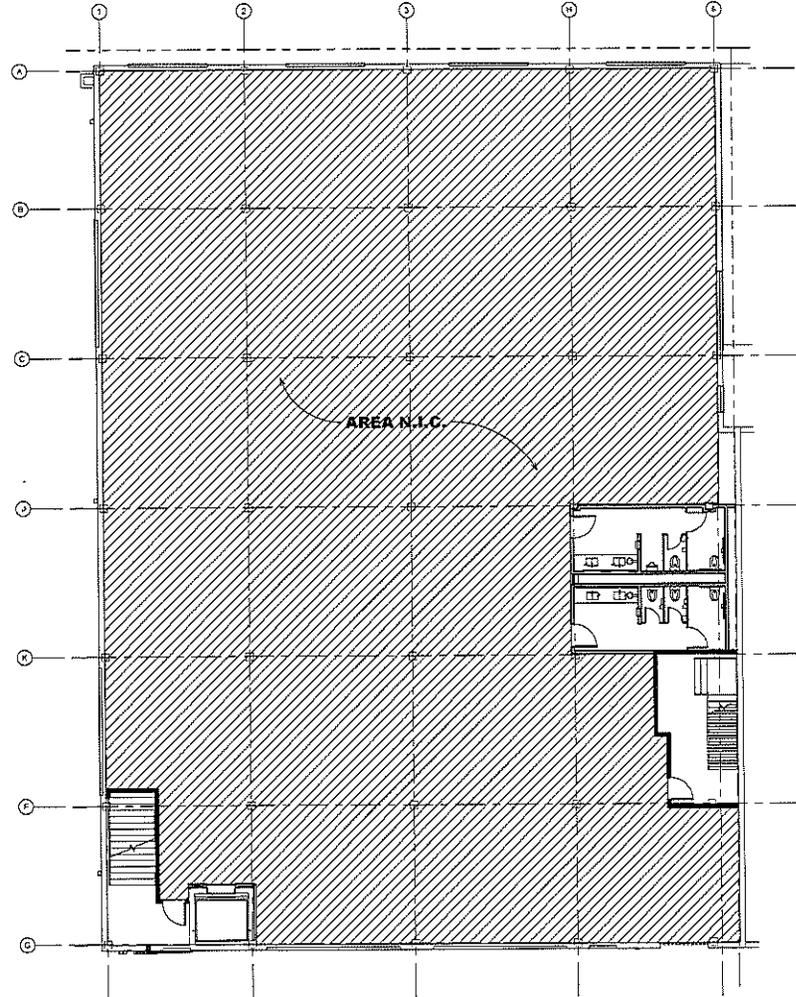
**POWER PLAN / REF. CLG.
PLAN GENERAL NOTES**

1. MECHANICAL, ELECTRICAL, PLUMBING, AND ALL BUILDING SYSTEMS SHALL BE ENGINEERED BY GENERAL CONTRACTOR'S SUBCONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES. CONTRACTOR TO COORDINATE LOCATIONS OF ALL DEVICES AND TERMINALS WITH ARCHITECT FROM TO ROOMS AND INSTALLATION.
2. MODIFY ALL BUILDING SYSTEMS AS REQUIRED FOR NON HALL CONFIGURATION. PROVIDE ALL REQUIRED TEST LEADS, EMERGENCY LIGHTS, FIRE EXTINGUISHERS, AND ALL OTHER ITEMS REQUIRED TO MEET ALL APPLICABLE CODES. ALL SYSTEMS ARE TO BE TIED INTO BUILDING SYSTEMS AS REQUIRED.
3. MODIFY EXISTING WING SYSTEM AS REQUIRED DUE TO NON HALL CONFIGURATION AND LIGHTING CONFIGURATIONS.
4. PROVIDE TEST AND BALANCE OF THE HVAC SYSTEM AFTER CONSTRUCTION IS COMPLETE.
5. IT IS THE RESPONSIBILITY OF THE O.G. TO IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND FIELD OBSERVATIONS TO THE ARCHITECT.
6. EXISTING ELECTRICAL DEVICES ARE NOT INDICATED. CONTRACTOR SHALL REMOVE ALL EXISTING DEVICES AND ASSOCIATED CONDUIT BACK TO SOURCE OR BRANCH POINT. PROVIDE NON ELECTRICAL DEVICES AS INDICATED ON POWER PLAN.

POWER PLAN LEGEND

- NON DUPLEX OUTLET MOUNTED AT 10' AFF UNLESS NOTED OTHERWISE.
- NON 20 AMP DEDICATED DUPLEX OUTLET MOUNTED AT 10' AFF UNLESS NOTED OTHERWISE.
- NON 20 AMP DEDICATED QUAD OUTLET MOUNTED AT 10' AFF UNLESS NOTED OTHERWISE.
- NON HALL MOUNTED JUNCTION BOX FOR WARDMORE CONNECTION TO OWNERS SYSTEMS. VERIFY WIRING AND AMPERAGE WITH OWNER. CONNECTION BY E.C.S. ELECTRICIAN.
- NON FLOOR MOUNTED JUNCTION BOX FOR WARDMORE CONNECTION TO OWNERS SYSTEMS. VERIFY WIRING AND AMPERAGE WITH OWNER. CONNECTION BY E.C.S. ELECTRICIAN. ALSO PROVIDE FOR VOICE/DATA CABLEING RIMS IN WARDMORE CONDUIT.
- NON VOICE/DATA OUTLET BY UNDERFLOOR, 6" DEIA. EVOLUTION BOXES OR EOLB.
- NON VOICE/DATA OUTLET MOUNTED AT 10' AFF UNLESS NOTED OTHERWISE. PROVIDE 1" DEIA CONDUIT. STUB OUT AGAINST STRUCTURE ABOVE. PROVIDE BUSHING AND PULL STRONG.
- NON WULTS VOICE/DATA OUTLET FOR CONNECTION TO OWNERS SYSTEMS. VERIFY WIRING AND AMPERAGE WITH OWNER. CONNECTION BY E.C.S. ELECTRICIAN. ALSO PROVIDE FOR VOICE/DATA CABLEING RIMS IN WARDMORE CONDUIT.

NOTE: MOUNT OUTLETS ABOVE CONDUIT TOPS HORIZONTALLY.
DEVICE AND RATE COLOR IS TO BE SELECTED. ARCHITECT SHALL SELECT FROM FULL RANGE OF AVAILABLE COLORS.



1 Level 2 - Power Plan
1/8" = 1'-0"



WITTIGS ARCHITECTURE, INC.
REGISTERED ARCHITECTS
SINCE 1978

Wittigs Office Building
2048 Avenue B
San Antonio, TX 78215

DRAWN BY: DP
DATE: 2.10.11
REVISED:



2.10.11
SHEET TITLE:
Level 2 - Power Plan
SHEET:

A3.2

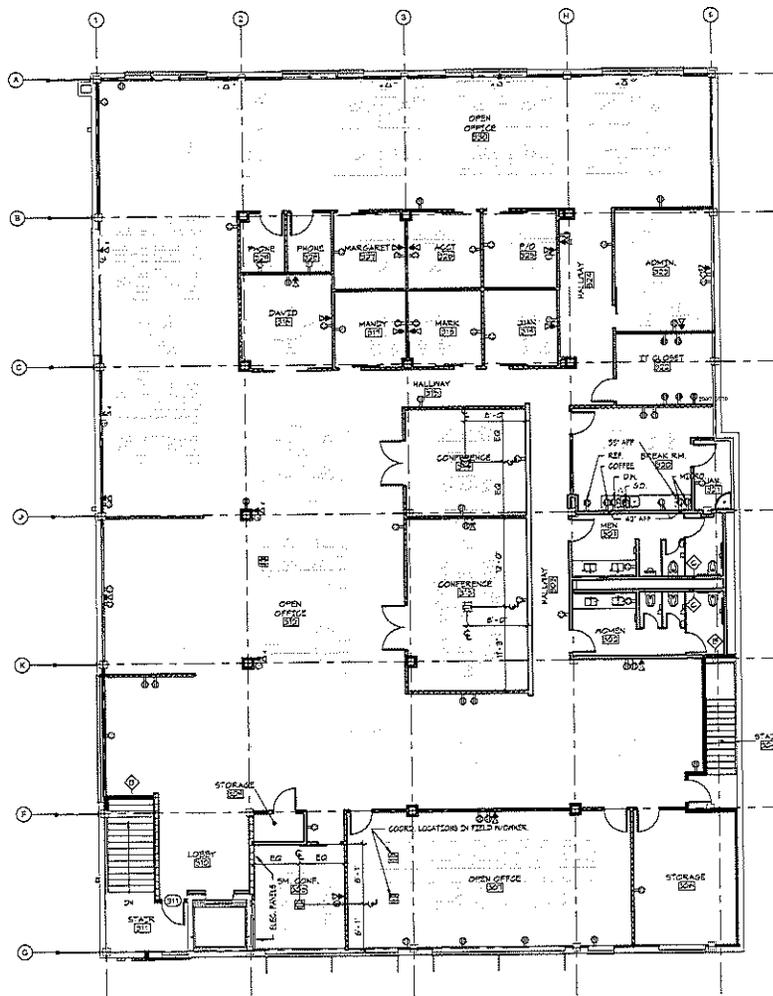
**POWER PLAN / REF. CLG.
PLAN GENERAL NOTES**

1. MECHANICAL, ELECTRICAL, PLUMBING, AND ALL BUILDING SYSTEMS SHALL BE COORDINATED BY THE GENERAL CONTRACTOR'S SUBCONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES. CONTRACTOR TO COORDINATE LOCATIONS OF ALL SERVICES AND THEREAFTER WITH ARCHITECT PRIOR TO RUSH-IN AND INSTALLATION.
2. NOTIFY ALL BUILDING SYSTEMS AS REQUIRED FOR NEW WALL CONSTRUCTION. PROVIDE ALL REQUIRED OUT LEAK, EMERGENCY LIGHTS, FIRE EXTINGUISHERS, AND ALL OTHER ITEMS REQUIRED TO MEET ALL APPLICABLE CODES. ALL SYSTEMS ARE TO BE TIED INTO BUILDING SYSTEMS AS REQUIRED.
3. NOTIFY BUILDING HVAC SYSTEM AS REQUIRED DUE TO NEW WALL CONSTRUCTION AND LIGHTING CONSTRUCTION.
4. PROVIDE TEST AND BALANCE OF THE HVAC SYSTEM AFTER CONSTRUCTION IS COMPLETE.
5. IT IS THE RESPONSIBILITY OF THE P.C. TO IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND FIELD OBSERVATIONS TO THE ARCHITECT.
6. EXISTING ELECTRICAL DEVICES ARE NOT INDICATED. CONTRACTOR SHALL REMOVE ALL EXISTING DEVICES AND ASSOCIATED CONDUIT BACK TO SOURCE OR BRANCH POINT. PROVIDE NEW ELECTRICAL DEVICES AS INDICATED ON POWER PLAN.

POWER PLAN LEGEND

- NEW DUPLEX OUTLET MOUNTED AT 18" AFF UNLESS NOTED OTHERWISE.
- NEW 20 AMP DEDICATED DUPLEX OUTLET MOUNTED AT 18" AFF UNLESS NOTED OTHERWISE.
- NEW 20 AMP DEDICATED QUAD OUTLET MOUNTED AT 18" AFF UNLESS NOTED OTHERWISE.
- NEW WALL MOUNTED JUNCTION BOX FOR HARDWARE CONNECTION TO OWNERS SYSTEMS FURNITURE, VERIFY WIRING AND AMPERAGE WITH OWNER. CONNECTION BY 6/25 ELEC. PERSON.
- NEW FLOOR JUNCTION BOX FOR HARDWARE CONNECTION TO OWNERS SYSTEMS FURNITURE, VERIFY WIRING AND AMPERAGE WITH OWNER. CONNECTION BY 6/25 ELEC. PERSON. ALSO PROVIDE FOR VOICE DATA CABLES RUN IN SEPARATE CONDUIT.
- NEW FLOOR FLOOR OUTLET BY NOSEHOLD, 1" DIA. EVOLEXION SERIES OR EQUAL.
- NEW VOICE/DATA OUTLET MOUNTED AT 18" AFF UNLESS NOTED OTHERWISE. PROVIDE 1" DIA. CONDUIT, STUB OUT ABOVE STRUCTURE ABOVE FLOOR FINISH AND PULL STRONG.
- NEW MULTI-VOICE/DATA OUTLET FOR CONNECTION TO OWNERS SYSTEMS FURNITURE. MINIMUM QUANTITY OF WORKSTATIONS TO SERVE. SIZE CONDUIT AS REQUIRED. STUB OUT CONDUIT ABOVE STRUCTURE ABOVE. PROVIDE FINISH AND PULL STRONG.

NOTE: ROOM OUTLETS ABOVE CONCRETE TOPS. HORIZONTALITY DEVICE AND PLATE COVER TO BE SELECTED. ARCHITECT SHALL SELECT FROM FULL RANGE OF AVAILABLE COVERS.



1 Level 3 - Power Plan
1/8" = 1'-0"



Wittigs Office Building
2018 Avenue B
San Antonio, TX 78215

DRAWN BY: DJF
DATE: 2-19-17
REVISED:



SHEET TITLE:
Level 3 - Power Plan
SHEET:

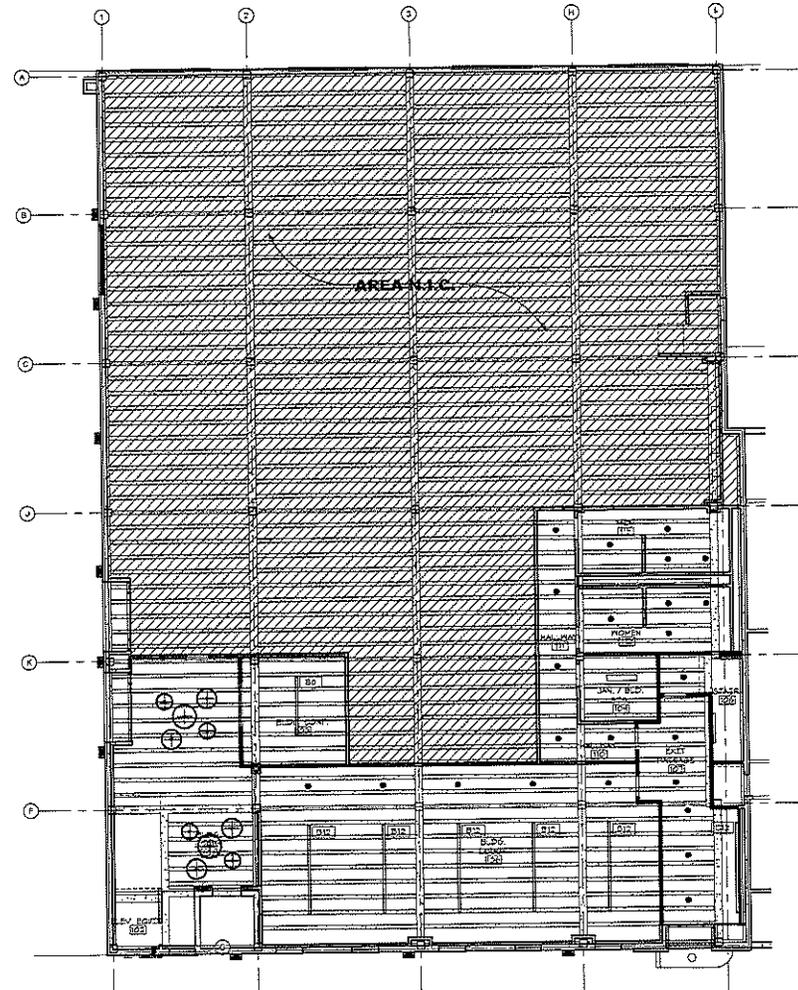
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REFLECTED CEILING PLAN LEGEND

- — NEW CYLINDER LIGHT BY GOTTWART ARCHITECTURAL LIGHTING, EVO CPL 30/20 AND PC 13
- NEW SUSPENDED LIGHT FIXTURE BY FENELITE HP-4-CD-4FT-0-4-0-20
- NEW SUSPENDED LIGHT FIXTURE BY FENELITE HP-4-CD-6FT-0-5-0-20
- NEW SUSPENDED LIGHT FIXTURE BY FENELITE HP-4-CD-10FT-0-5-0-20
- NEW SUSPENDED LIGHT FIXTURE BY LITHONIX LIGHTING LTD L465000LM 151 110V/1 400 80 CRI
- ⊕ — NEW SUSPENDED DREW PENDANT LIGHT FIXTURE PROVIDED AND INSTALLED BY OWNER. CIZES VARY, S.C. TO PROVIDE JUNCTION BOX AS REQUIRED. CONFORM VOLTAGE WITH OWNER.
- NEW TRACK LIGHT FIXTURE PROVIDED AND INSTALLED BY OWNER, O.C. TO PROVIDE JUNCTION BOX AS REQUIRED. CONFORM VOLTAGE WITH OWNER.
- ⊕ — NEW 1/2" LIGHT DIMBLE MOTOR SENSOR SWITCH, MOUNT AT 42" AFF. 6/80 SWITCH MORE MORE THAN ONE SIZES.
- ⊕ — NEW 1/2" LIGHT DIMBLE HALL SWITCH, MOUNT AT 42" AFF. 6/80 SWITCH MORE MORE THAN ONE SIZES.

ALL NEW LIGHTING AS INDICATED IS TO COMPLY WITH THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE AND SHALL BE CONTROLLED VIA MOTOR SENSOR SWITCHES AS INDICATED.

ALL CEILING MOUNTED DEVICES SHALL BE NEW. ALL FIRE ALARM DEVICES SHALL BE PHOTO OR GROUPS.



1 Level 1 - Ref. Clg. Plan
1/8" = 1'-0"



I N J Architects, Inc.
INTERNATIONAL ARCHITECTS
REGISTERED ARCHITECTS

Wittigs Office Building B
2018 Avenue B
San Antonio, TX 78215

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DATE: 2/10/17
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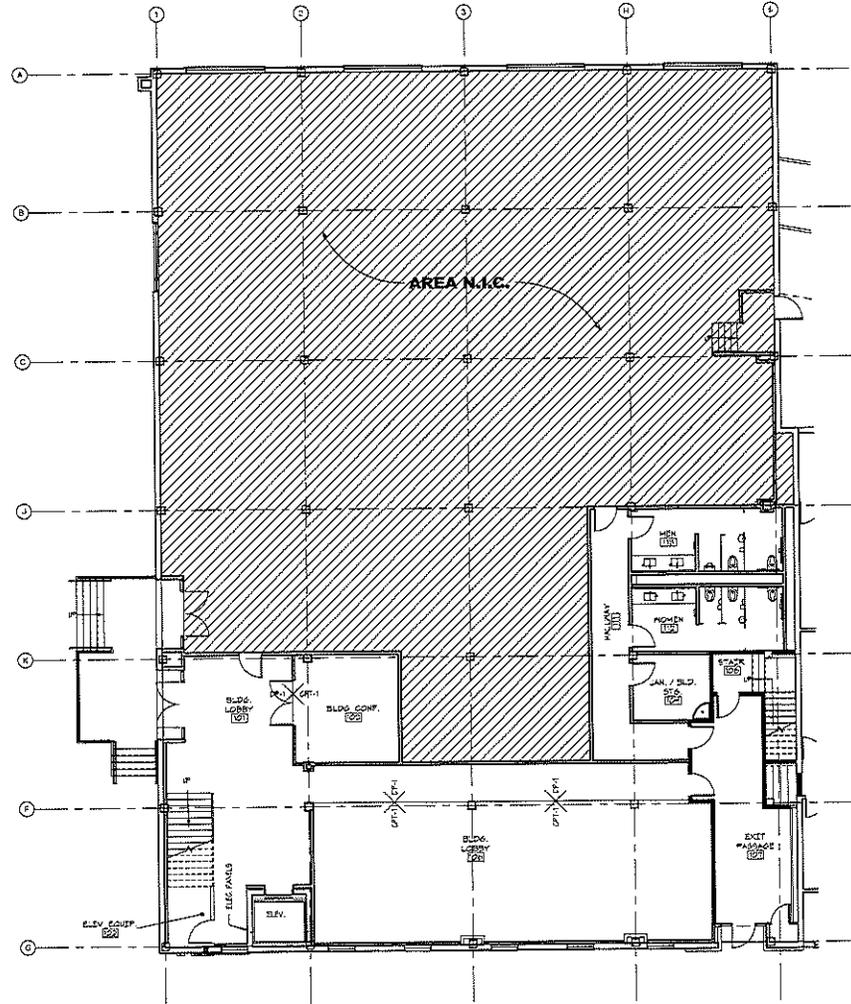
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Level 1 - Ref. Clg. Plan
SHEET:

A4.1

FINISH LEGEND

FLOORING	WALLS/CEILING
DF-1 EXISTING CONCRETE TO REMAIN, DIAMOND POLISH TO MATCH LEVEL 2	FR-1 FIBER GLASS REINFORCED PANELS BY MARLITE, COLOR TO BE DETERMINED
DF-1 EXISTING DIAMOND POLISHED CONCRETE FLOORING TO REMAIN	PL-1 PLASTIC LAMINATE TO BE SELECTED (SCHEDULE)
DF-1 NEW CARPET TILE TO BE SELECTED, PROVIDE ALLOWANCE OF 1/8" MIN. INSTALLATION	DS-2 ENGINEERED STONE TO BE SELECTED, PROVIDE ALLOWANCE FOR 1/4" DIA. TIE RODS & EMBEDDING (CONCRETE TOPS WHERE INDICATED)
BASE	CEILING
KB-1 NEW 4" HIGH RUBBER GYPSUM BASE BY KOPPE OR EQUAL, COLOR IS TO BE SELECTED	CC EXPOSED STRUCTURE
ST-1 RUBBER STRIPS COVERS BY KOPPE OR EQUAL, COLOR IS TO BE SELECTED	
WALLS	
ALL WALLS ARE TO RECEIVE 1 PRIMER COAT & 2 COATS INTERLOCK LATEX EMULSION EGGSHELL FINISH, PROVIDE SAMPLES IN PLACE A MINIMUM OF 1 WEEK PRIOR TO PAINTING FOR ARCHITECT'S APPROVAL. ARCHITECT REMOVES THE RIGHT TO MODIFY PAINT COLORS AT THAT TIME. DO NOT TINT FINAL PAINT UNTIL APPROVAL OR REVISED PAINT SPECIFICATION IS RECEIVED FROM ARCHITECT'S.	
PT-1 PAINT TO BE SELECTED	
PT-2 PAINT TO BE SELECTED (SILL, FRAMES AND DOORS)	
PT-3 PAINT TO BE SELECTED (ADJACENT WALLS)	
PT-4 PAINT TO BE SELECTED (ADJACENT WALLS)	

Room Finish Schedule - Level 1										
Number	Name	Floor Finish	Base Finish	Walls	Base	Soles	Walls	Ceiling Finish	Ceiling Top	Comments
101	BLDG. LOBBY	DF-1	KB-1	PT-1	PT-1	PT-1	PT-1	C-C		
102	ELEV. ESC/STP.	DF-1	KB-1	PT-1	PT-1	PT-1	PT-1	C-C		
103	BLDG. CONF.	DF-1	KB-1	PT-1	PT-1	PT-1	PT-1	C-C		
104	BLDG. SCOPY	DF-1	KB-1	PT-1	PT-1	PT-1	PT-1	C-C		
105	EXIT PASSAGE	DF-1	KB-1	PT-1	PT-1	PT-1	PT-1	C-C		
106A	ELEV. RESSER	DF-1	KB-1	PT-1	PT-1	PT-1	PT-1	C-C		
106B	STAIR	DF-1	KB-1	PT-1	PT-1	PT-1	PT-1	C-C		
107	JAN. / BLD. DTG.	DF-1	KB-1	PT-1	PT-1	PT-1	PT-1	C-C		
110	HALLWAY	DF-1	KB-1	PT-1	PT-1	PT-1	PT-1	C-C		
111	HALLWAY	DF-1	KB-1	PT-1	PT-1	PT-1	PT-1	C-C		
112	WOMEN	DF-1	KB-1	PT-1	PT-1	PT-1	PT-1	C-C	SB-1	
113	MEN	DF-1	KB-1	PT-1	PT-1	PT-1	PT-1	C-C	SB-1	



1 Level 1 - Finish Plan
1/8" = 1'-0"

1022
PROGRESSIVE
ARCHITECTS
P.C.
13520
SAN ANTONIO, TEXAS 78240

INTERNATIONAL
ARCHITECTS
P.C.
13520
SAN ANTONIO, TEXAS 78240

Wittigs Office Building
2018 Avenue B
San Antonio, TX 78245

DRAWN BY:	DP
DATE:	2.10.07
REVISED:	
SHEET TITLE:	Level 1 - Finish Plan
SHEET:	

A5.1

FINISH LEGEND

CERAMICS

CT-1 NEW CERAMIC TILE TO BE SELECTED. CONTACT DERRIE RYAN (210-722-0490) WITH CROSSVILLE TILE FOR PRICING.
 CT-2 NEW CERAMIC TILE TO BE SELECTED. CONTACT DERRIE RYAN (210-722-0490) WITH CROSSVILLE TILE FOR PRICING.
 GROUT COLORS ARE TO BE SELECTED. GROUT JOINTS SHALL BE THE MINIMUM HEIGHT ALLOWABLE BY MANUFACTURER. GROUT SHALL BE WATER CLEANABLE EPDM. PROVIDE UNDER INSTALLATION MEMBRANE & WATER RESISTANT MEMBRANE COMPLIANT WITH ANSI A118.10

BASE

CTB-1 NEW CERAMIC TILE BASE. CONTACT DERRIE RYAN (210-722-0490) WITH CROSSVILLE TILE FOR PRICING.
 GROUT COLORS ARE TO BE SELECTED. GROUT JOINTS SHALL BE THE MINIMUM HEIGHT ALLOWABLE BY MANUFACTURER. GROUT SHALL BE WATER CLEANABLE EPDM.

WALLS

ALL WALLS ARE TO RECEIVE 1 PRIMER COAT (3 COATS) INTERIOR LATEX EMULSION, FEASIBLY POOR. PROVIDE SAMPLES TO PLACE A HOLDING OF 1 WEEK PRIOR TO PAINTING FOR ARCHITECT'S APPROVAL. ARCHITECT RESERVES THE RIGHT TO MODIFY PAINT COLORS AT THAT TIME SO THAT THE FINAL PAINT UNTIL APPROVAL OR REVISED PAINT SPECIFICATION IS RECEIVED FROM ARCHITECT.

PT-1: PAINT TO BE SELECTED.
 PT-2: PAINT TO BE SELECTED. (N.M. FINISH)

VLC-1 TYPE II VINYL WALLCOVERING TO BE SELECTED. CONTACT PRICER LUNA (210-544-4241) WITH TRENDS FOR PRICING. (PLEASE AS ALTERNATE #1)

CON-1 NEW CERAMIC TILE TO BE SELECTED. CONTACT DERRIE RYAN (210-722-0490) WITH CROSSVILLE TILE FOR PRICING.

CON-2 NEW CERAMIC TILE TO BE SELECTED. CONTACT DERRIE RYAN (210-722-0490) WITH CROSSVILLE TILE FOR PRICING.

GROUT COLORS ARE TO BE SELECTED. GROUT JOINTS SHALL BE THE MINIMUM HEIGHT ALLOWABLE BY MANUFACTURER. GROUT SHALL BE WATER CLEANABLE EPDM.

CEILING

CS-1 ENGINEERED STONE TO BE SELECTED. PROVIDE ALLOWANCE FOR 3/4" DIA. PEGS. GRADE 4 SILESTONE. (CONTACT TOPS MORE SPECIFIED)

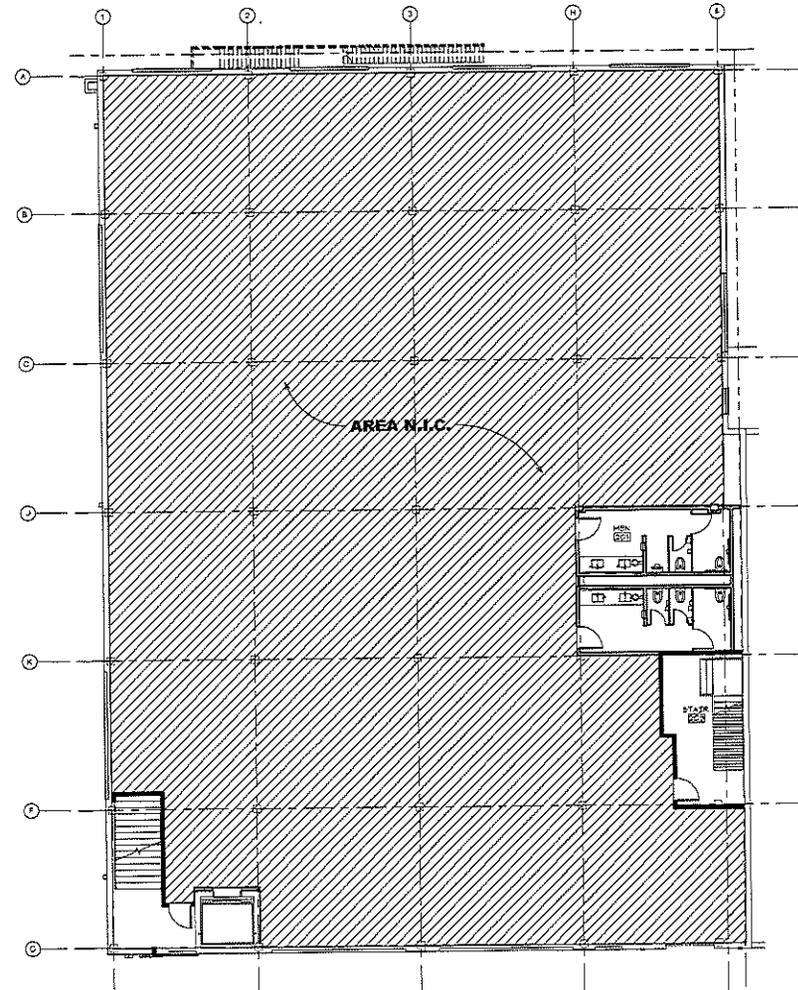
MERCANTILE EQUIPMENT

TE-1 NEW FLOOR MOUNTED BRUSHED STAINLESS STEEL TOILET PARTITIONS BY METRAK. PROVIDE SUBMITTAL OF HARDWARE FOR REVIEW PRIOR TO ORDERING.

CEILING

EO-0 EXPOSED STRUCTURE.

Room Finish Schedule - Level 2										
Number	Name	Floor Finish	Base Finish	North	East	South	West	Ceiling Finish	Counter Top	Comments
001	MEN	CT-12	CTB-1	PT-1	PT-1	CEAT-1/2	PT-1	EO-0	SS-1	
002	WOMEN	CT-12	CTB-1	CEAT-1/2	PT-1	PT-1	PT-1	EO-0	SS-1	
003	STAIR	DP-1	RB-1/ST-1	PT-1	PT-1	PT-1	PT-1	EO-0		
004	STAIR	DP-1	RB-1/ST-1	PT-1	PT-1	PT-1	PT-1	EO-0		



1 Level 2 - Finish Plan
 1/8" = 1'-0"

1822 BROADWAY
 SUITE 200
 HOUSTON
 TEXAS
 77058

INTERNATIONAL ARCHITECTS
 (INC.)
 REGISTERED ARCHITECTS
 TEXAS

Wittigs Office Building
 2018 Avenue B
 San Antonio, TX 78215

DRAWN BY: DP
 DATE: 2.10.11
 REVISED:



2.10.11
 SHEET TITLE:
 Level 2 - Finish Plan
 SHEET:

A5.2

Keynote Legend	
Key Value	Keynote Text
1	PROVIDE POWER FOR LIGHTED MIRRORS AS SHOWN REFER TO ELEVATIONS.
2	PROVIDE POWER FOR BOTTLE FILLER AS SHOWN.

POWER PLAN / REF. CLG. PLAN GENERAL NOTES

- MECHANICAL, ELECTRICAL, PLUMBING, AND ALL BUILDING SYSTEMS SHALL BE ENGINEERED BY THE GENERAL CONTRACTOR'S SUBCONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES. CONTRACTOR TO DETERMINE LOCATIONS OF ALL DEVICES AND THERMOSTATS WITH ARCHITECT PRIOR TO ROUGH-IN AND INSTALLATION.
- MODIFY ALL BUILDING SYSTEMS AS REQUIRED FOR NEW HALL CONFIGURATIONS. PROVIDE ALL REQUIRED DUCT SIZES, EMERGENCY LIGHTS, FIRE EXTINGUISHERS, AND ALL OTHER ITEMS REQUIRED TO MEET ALL APPLICABLE CODES. ALL SYSTEMS ARE TO BE TIED INTO BUILDING SYSTEMS AS REQUIRED.
- MODIFY EXISTING HVAC SYSTEM AS REQUIRED DUE TO NEW HALL CONFIGURATIONS AND LIGHTING CONFIGURATIONS.
- PROVIDE TEST AND BALANCE OF THE HVAC SYSTEM AFTER CONSTRUCTION IS COMPLETE.
- IT IS THE RESPONSIBILITY OF THE R.G. TO IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND FIELD OBSERVATIONS TO THE ARCHITECT.
- EXISTING ELECTRICAL DEVICES ARE NOT DESIGNATED. CONTRACTOR SHALL REMOVE ALL EXISTING DEVICES AND ASSOCIATED CONDUIT BACK TO SOURCE OR BRANCH POINT. PROVIDE NEW ELECTRICAL DEVICES AS DESIGNATED ON POWER PLAN.

POWER PLAN LEGEND

- NEW DUPLEX OUTLET MOUNTED AT 12" AFF UNLESS NOTED OTHERWISE.
- NEW 20 AMP DESIGNATED DUPLEX OUTLET MOUNTED AT 12" AFF UNLESS NOTED OTHERWISE.
- NEW 20 AMP DESIGNATED QUAD OUTLET MOUNTED AT 12" AFF UNLESS NOTED OTHERWISE.
- NEW WALL MOUNTED JUNCTION BOX FOR HARDWARE CONNECTION TO OWNER'S SYSTEMS INCLUDING VOICE/FLOOR AND AMPERAGE WITH OWNER. CONNECTION BY E.C.S. ELECTRICAL.
- NEW FLUSH FLOOR JUNCTION BOX FOR HARDWARE CONNECTION TO OWNER'S SYSTEMS INCLUDING VOICE/FLOOR AND AMPERAGE WITH OWNER. CONNECTION BY E.C.S. ELECTRICAL. ALSO PROVIDE FOR VOICE/DATA CABLES RAN IN SEPARATE CONDUIT.
- NEW FLUSH FLOOR OUTLET BY POREHOLD, 4" DIA. EVOLUTION SERIES OR EQUAL.
- NEW VOICE/DATA OUTLET MOUNTED AT 12" AFF UNLESS NOTED OTHERWISE. PROVIDE 1" DIA. CONDUIT. STRIP SET AGAINST STRUCTURE ABOVE. PROVIDE BUSHING AND FILL STRING.
- NEW MULTI-VOICE/DATA OUTLET FOR CONNECTION TO OWNER'S SYSTEMS INCLUDING NUMERICAL QUANTITY OF INSTANTATIONS TO SERVE. SIZE CONDUIT AS REQUIRED. STRIP OUT CONDUIT HARDY STRUCTURE ABOVE. PROVIDE BUSHING AND FILL STRING.

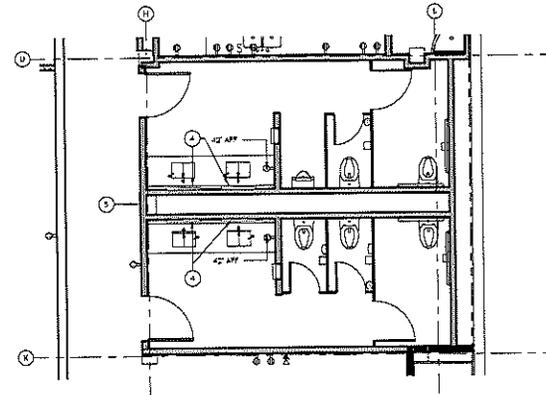
NOTE: MOUNT OUTLETS ABOVE CONTROLS HORIZONTALLY.
DEVICE AND LABEL COLOR IS TO BE SELECTED. ARCHITECT SHALL SELECT FROM FULL RANGE OF AVAILABLE COLORS.

REFLECTED CEILING PLAN LEGEND

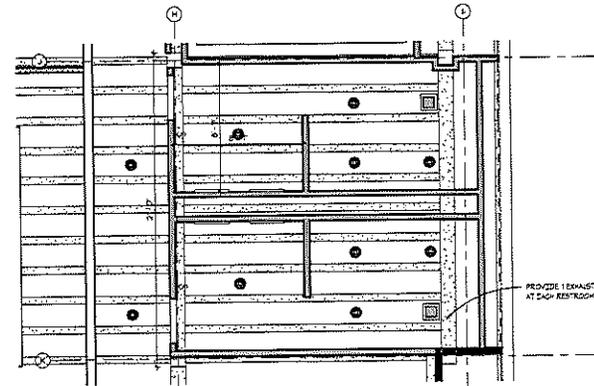
- NEW SUSPENDED LED PENDANT LIGHT FEATURE TO BE SELECTED.
- NEW MOTION SENSOR SWITCH BY LIGHT, SENSORSWITCH WGA PBT

ALL NEW LIGHTING AS INDICATED IS TO COMPLY WITH THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE AND SHALL BE CONTROLLED VIA MOTION SENSOR SWITCHES AS INDICATED.

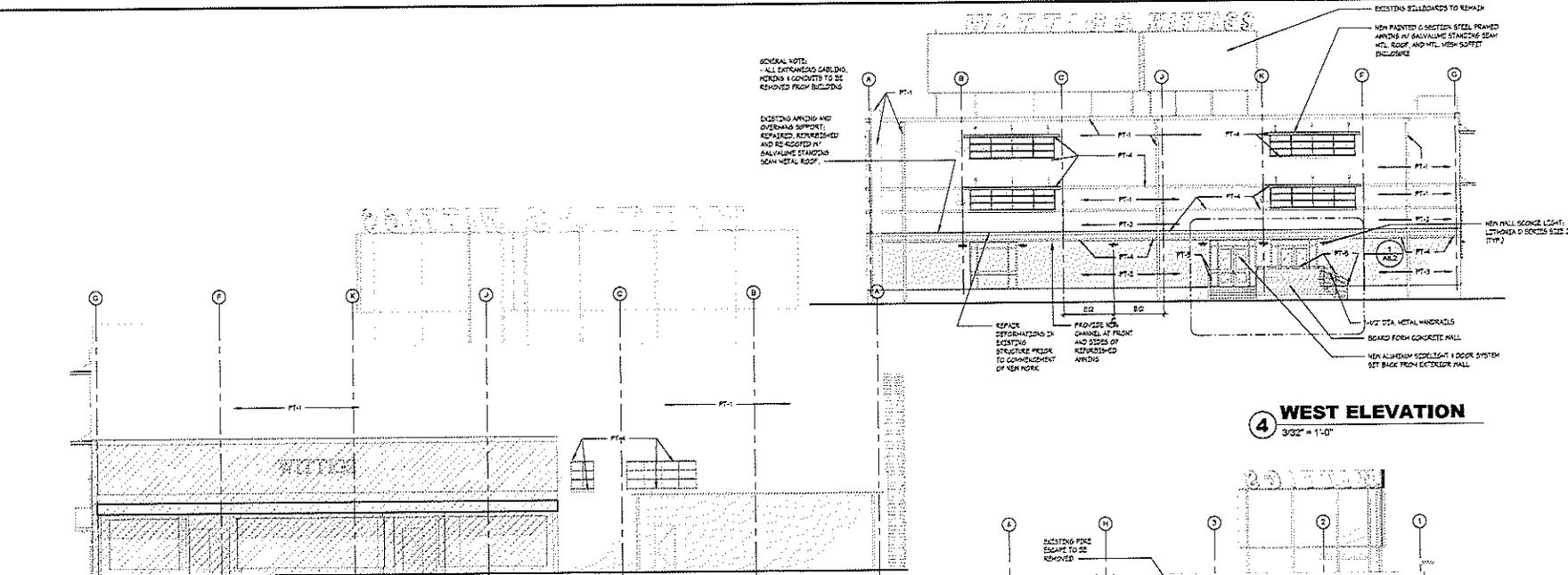
ALL CEILING MOUNTED DEVICES WITHIN AREA OF WORK SHALL BE NEW.



2 Power Plan @ Level 3 Restrooms
1/4" = 1'-0"

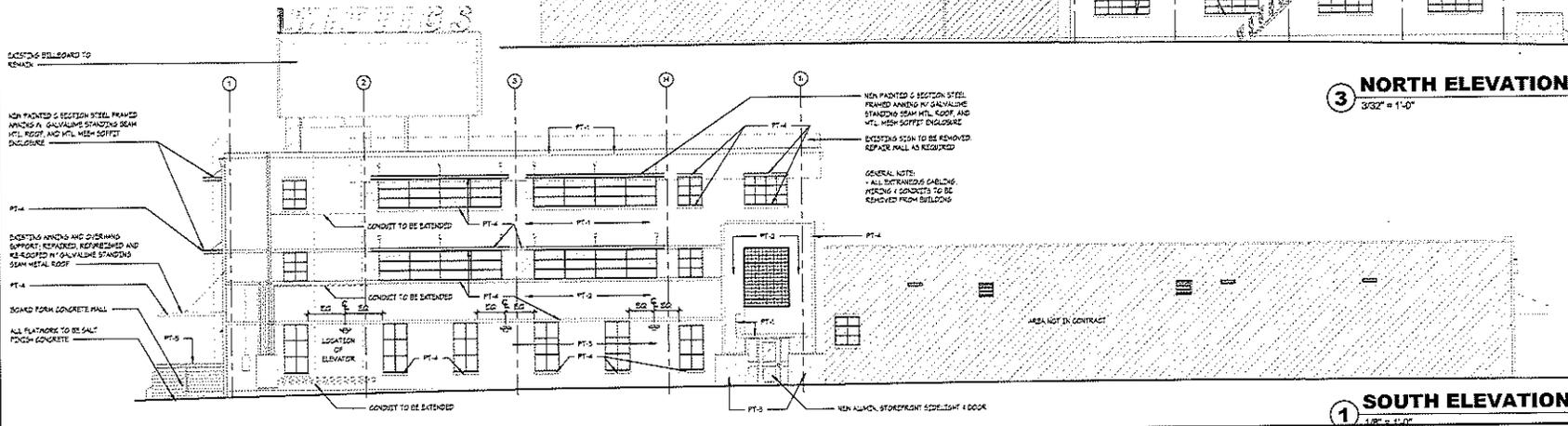


1 Ref. Clg. Plan @ Level 3 Restrooms
1/4" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"

4 WEST ELEVATION
3/32" = 1'-0"



3 NORTH ELEVATION
3/32" = 1'-0"

1 SOUTH ELEVATION
1/8" = 1'-0"

GENERAL NOTE:
- ALL EXPOSED CABLING,
PIPING & CONDUITS TO BE
REMOVED FROM BUILDING

EXISTING ARCHING AND
OVERHANG SUPPORTS
REPAIRED, RENOVATED
AND RE-ROOFED BY
GALVALUME STANDING
SEAM METAL ROOF.

REPAIR
DEFORMATIONS IN
EXISTING
STRUCTURE PRIOR
TO CONSTRUCTION
OF NEW WORK.

PROVIDE NEW
CHANNEL AT FRONT
AND SIDES OF
RENOVATED
ARCHING.

EXISTING SILLBOARDS TO REMAIN
NON PAINTED C SECTION STEEL FRAMED
ARCHING BY GALVALUME STANDING SEAM
METAL ROOF AND METAL MESH SUFFIT
ENCLOSURE

NEW HALL SOURCE LIGHT
FITTING @ LEVEL 2 (1112)

1/2" DIA. METAL HANGERS
BOARDED FORM CONCRETE HALL
NEW ALUMINUM SILLING - 4 DOOR SYSTEM
SET BACK FROM EXTERIOR HALL

EXISTING SILLBOARDS TO
REMAIN

NON PAINTED C SECTION STEEL FRAMED
ARCHING BY GALVALUME STANDING SEAM
METAL ROOF AND METAL MESH SUFFIT
ENCLOSURE

EXISTING ARCHING AND
OVERHANG
SUPPORTS REPAIRED, RENOVATED
AND RE-ROOFED BY GALVALUME STANDING
SEAM METAL ROOF

BOARD FORM CONCRETE HALL
ALL FLOORS TO BE CAST
FINISH CONCRETE

NEW PAINTED C SECTION STEEL
FRAMED ARCHING BY GALVALUME
STANDING SEAM METAL ROOF AND
METAL MESH SUFFIT ENCLOSURE

EXISTING STON TO BE REMOVED
REPAIR WALL AS REQUIRED

GENERAL NOTE:
- ALL EXPOSED CABLING,
PIPING & CONDUITS TO BE
REMOVED FROM BUILDING

NEW ALUMINUM SILLING - 4 DOOR

1111 BROADWAY
HOUSTON
TEXAS
77002

INSIGHT
ARCHITECTS
INC.

REGISTERED ARCHITECTS
STATE OF TEXAS

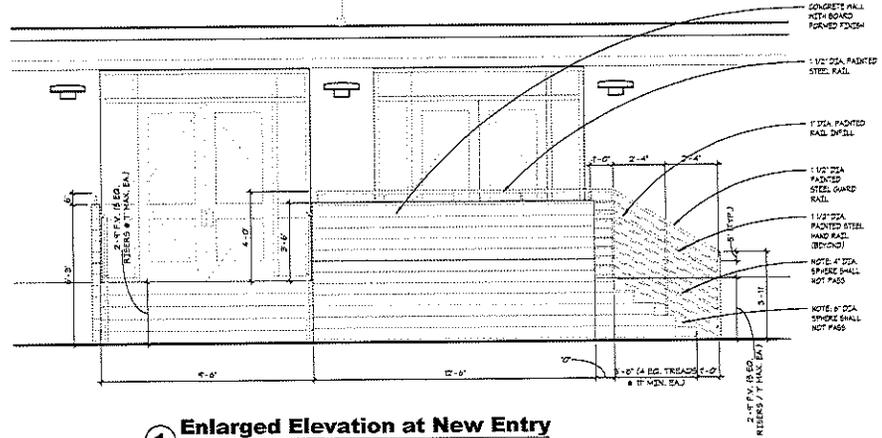
Wittigs Office Building
201B Avenue B
San Antonio, TX 78215

DRAWN BY: *TP*
DATE: 2.10.11
REVISED:

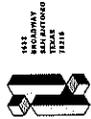


SHEET TITLE:
Exterior Elevations

SHEET:
A8.1



① **Enlarged Elevation at New Entry**
 3/8" = 1'-0"



1415 BROADWAY
 HOUSTON
 TEXAS
 77002

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REGISTERED ARCHITECTS
 STATE OF TEXAS

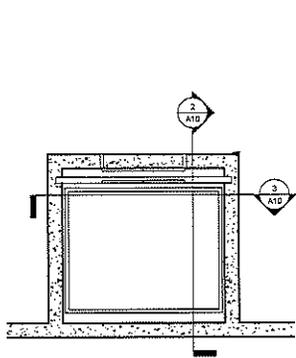
Wittigs Office Building
 2018 Avenue B
 San Antonio, TX 78215

DRAWN BY:	DR
DATE:	2.10.17
REVISED:	

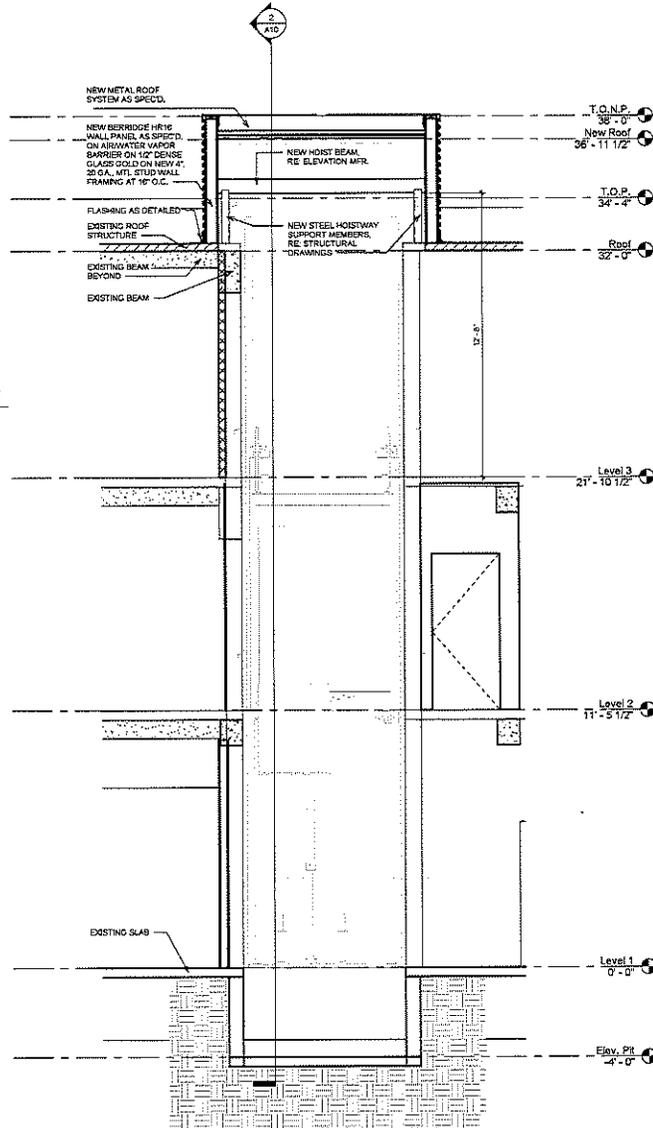


2.10.17
 SHEET TITLE:
 Ent. Exc. Elev.

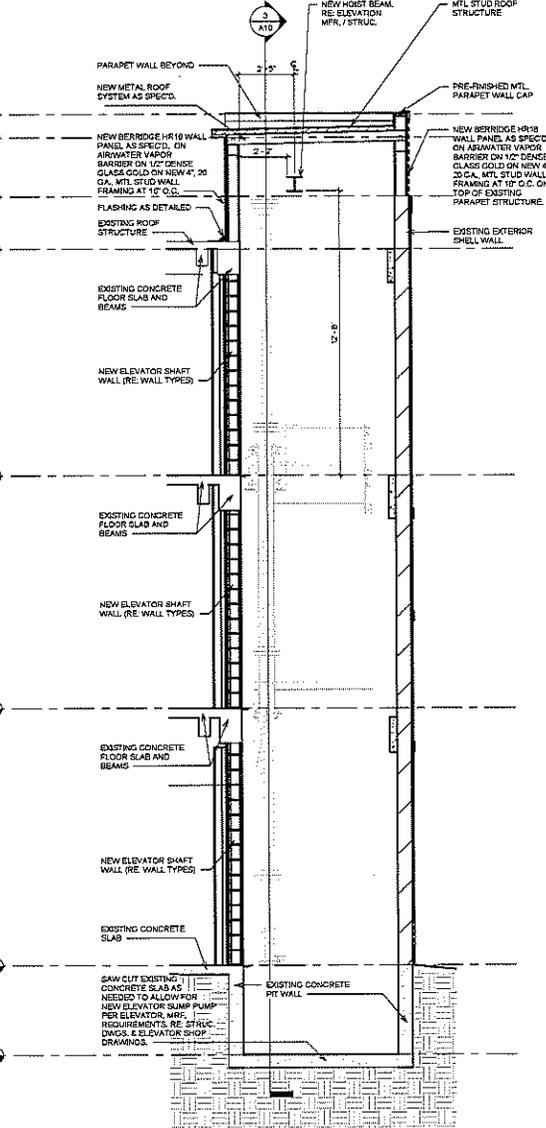
SHEET:
A8.2



1 Enlarged Plan @ Elev. Hoistway
3/8" = 1'-0"



3 Elevator Section BB
3/8" = 1'-0"



3 Elevator Section AA
3/8" = 1'-0"



I N S I TIVE
ARCHITECTS
P.C.
10000 W. MARSH CANYON
DRIVE
DALLAS, TEXAS 75243

Wittigs Office Building
2048 Avenue B
San Antonio, TX 78215

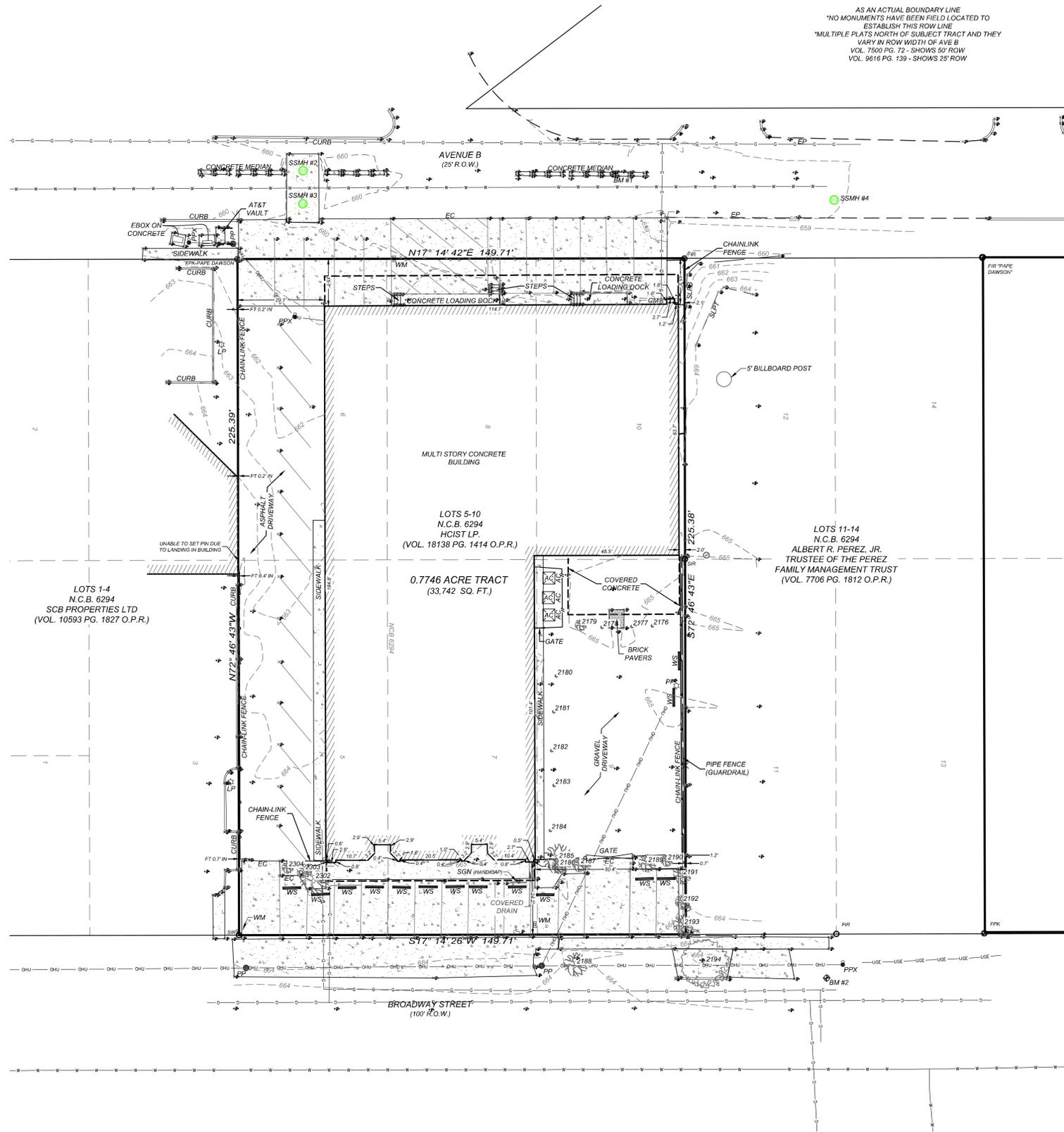
DRAWN BY: DF
DATE: 2.10.17
REVISED:



2.10.17
SHEET TITLE:
Elevator Details
SHEET:

A10

AS AN ACTUAL BOUNDARY LINE
NO MONUMENTS HAVE BEEN FIELD LOCATED TO
ESTABLISH THIS ROW LINE
MULTIPLE PLATS NORTH OF SUBJECT TRACT AND THEY
VARY IN ROW WIDTH OF AVE B
VOL. 7500 PG. 72 - SHOWS 50' ROW
VOL. 9616 PG. 139 - SHOWS 25' ROW

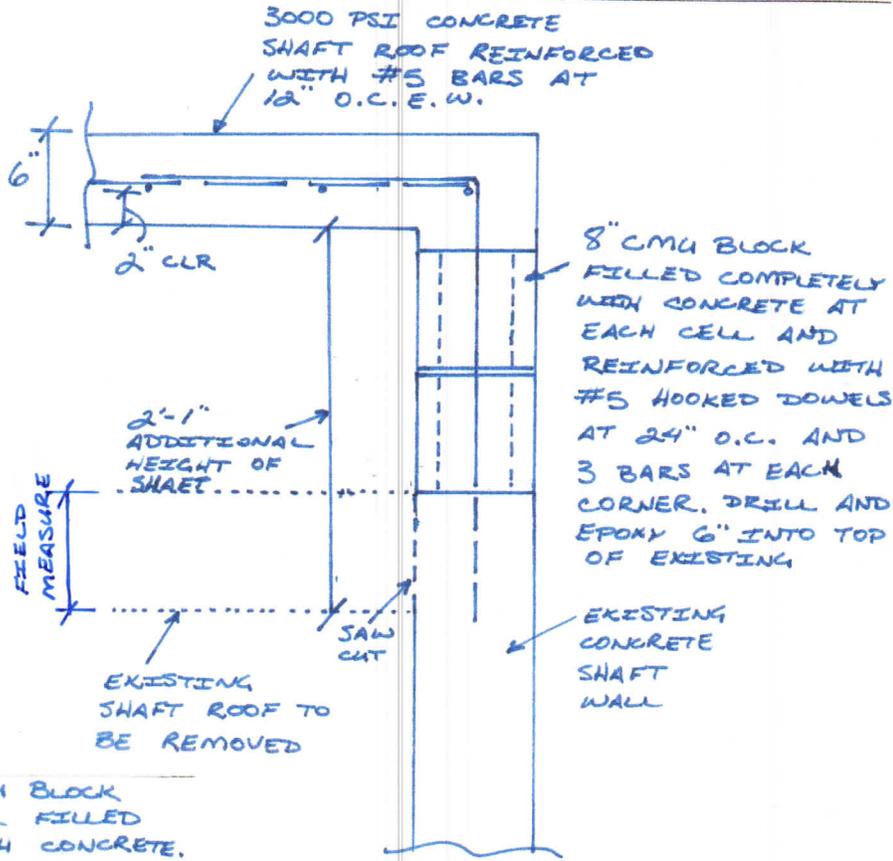


The existing 6-inch-high and 8 ft by 6 ft rooftop elevator shaft penetration made of cement block will be extended by 25 inches to allow for the installation of a new ADA compliant and passenger safe elevator. There is currently a non-ADA compliant and non-passenger-safe freight elevator that serves the upper 2 floors of the 3 floor building. Due to it not being ADA-compliant and not safe for passengers, the upper two floors of the three floor building are not presently occupiable per building code. This prevents 2/3rds of the building (amounting to 20,000 sq ft) from being occupied by new businesses seeking to lease space. The short extension of 25 inches to provide the necessary clearance to meet the elevator code requirements will allow for the new passenger elevator that will in turn allow for the occupancy of the upper two floors by new businesses.

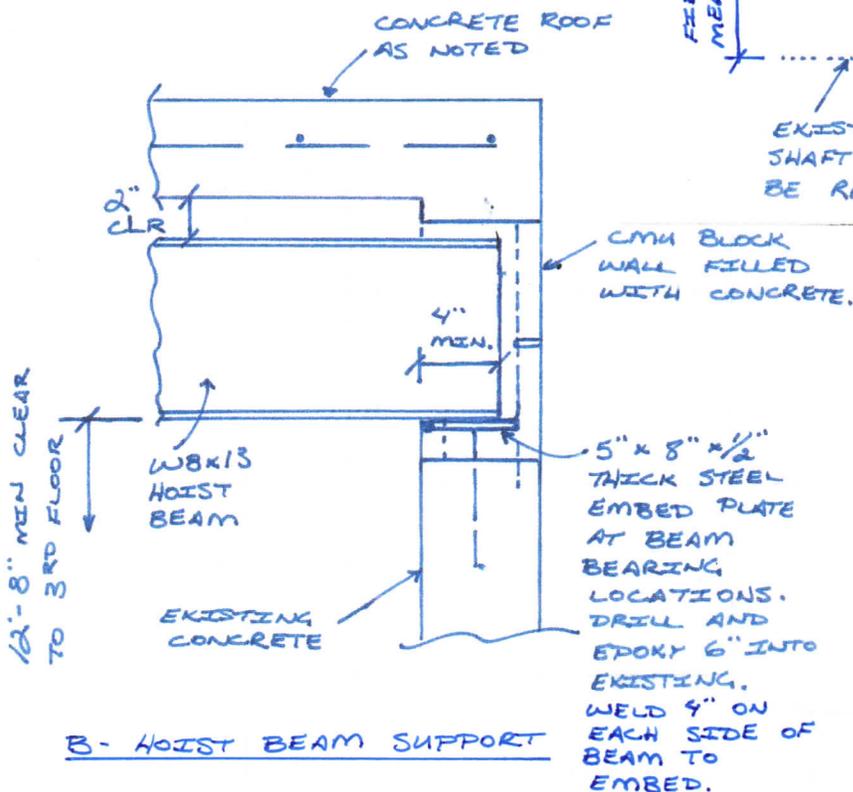
The 25-inch extension will be made of the same cement block that constitutes the existing shaft (see attached spec sheet from engineer). The overall dimensions (6 ft by 8 ft) of the penetration will not change. The extension is adjacent to a one-foot high parapet wall facing south. Only about 19 inches or less of the extended shaft penetration will be visible from a small portion of Avenue B. The extension will be painted the same color as the parapet wall so that the extension blends in with the parapet wall. To further beautify the property, we will also soon be removing a 70 ft long commercial sign along the south facing parapet wall of the building next to the elevator shaft extension. We will also be painting the exterior walls of the building in a paint scheme that is currently being reviewed by the HDRC.

STRUCTURAL DESIGN CRITERIA:

- CONCRETE: 3000 PSI @ 28 DAYS
- REBAR: GRADE 60 STEEL
- CMU BLOCK: 1500 PSI BLOCK
- ELEVATOR: SCHINDLER 330A HYDRAULIC ELEVATOR
 - HOIST BEAM JOINT LOAD AT CENTER = 7500#

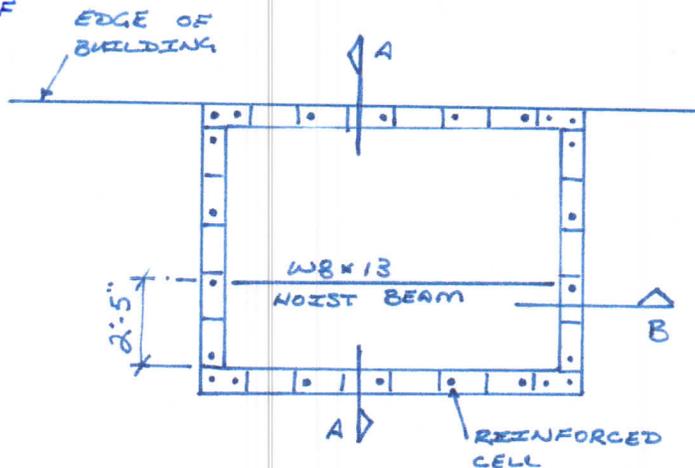


A - ELEVATOR SHAFT EXTENSION (TYPICAL)



B - HOIST BEAM SUPPORT

* FILL ALL CMU BLOCK CELLS WITH CONCRETE WHEN ROOF IS POURED.



ELEVATOR SHAFT EXTENSION PLAN



BEICKER CONSULTANTS, LLC

STRUCTURAL / CONSTRUCTION ENGINEERS

B	CLIENT	PROJECT	JOB NO.	DATE
	TEXAS PROFESSIONAL CONTRACTORS	WITTIGS - ELEVATOR SHAFT EXTENSION	16515-0	1/31/17
			SCALE	SHEET
			NTS	51.1



Location of Penetration





Avenue B

2013 Broadway Street

Wittigs Office Interiors

Frost Bank ATM

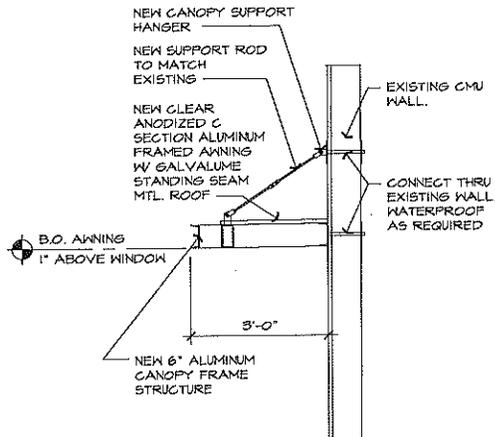




WITTIG'S BUILDING

Specification/Documentation of all materials:

Awnings/upper floors:	Awning structure to be clear anodized C channel aluminum frame with galvalume standing seam roof panels. Awnings supported with cables from above.
Concrete walls:	Concrete walls of Avenue B porch to be form board concrete.
Stucco exterior walls:	All existing exterior stucco walls to be refurbished as required after all demolition and painted.
Windows:	Existing steel casement windows will be refurbished as required; new windows will match existing.
Aluminum Doors and Storefront Framing System:	<p>Two paired doors and one single swing door to be Kawneer 500 Wide Stile Entrance Doors, 3'-0" x 8'-0", anodized black aluminum finish. Paneline exit device with style "CPN" pull on exterior of door. Paneline EL interior device to be compatible with electrified access control; dogging lock is typical.</p> <p>Framing system to be Kawneer standard storefront system, 2" x 4 ½" section with center glass, anodized black aluminum finish, compatible with Kawneer entrance doors. Side lights to have fixed panels to match Paneline exit device in doors.</p>
Glass Glazing Film	<p>Enerlogic 35 Film, with a 76% Total Solar Energy rejection. This film has some reflectivity, but is not overtly evident when installed and does not substantially darken the windows.</p> <p>Alternate Film: Huper Optik C30, with a 63% total solar energy rejection. This film has less reflectivity than the Enerlogic.</p>

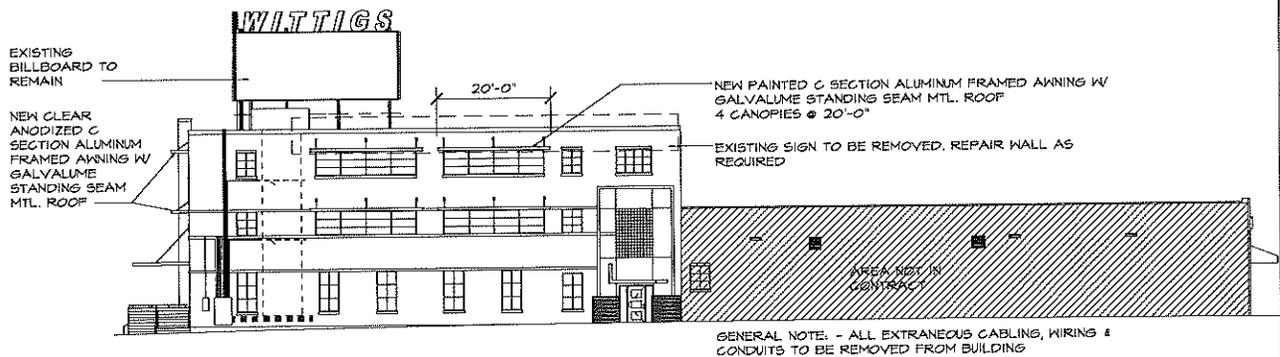


3

UPPER CANOPY DETAIL

DD1

SCALE: 1/4"=1'-0"

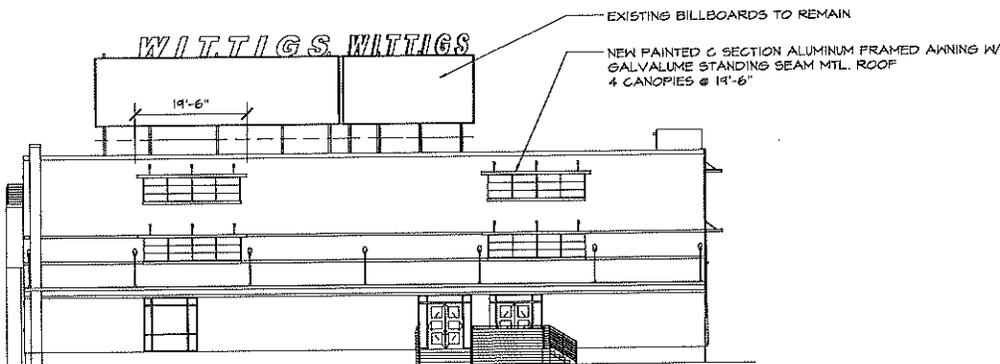


2

SOUTH ELEVATION

DD1

SCALE: 1/32"=1'-0"



1

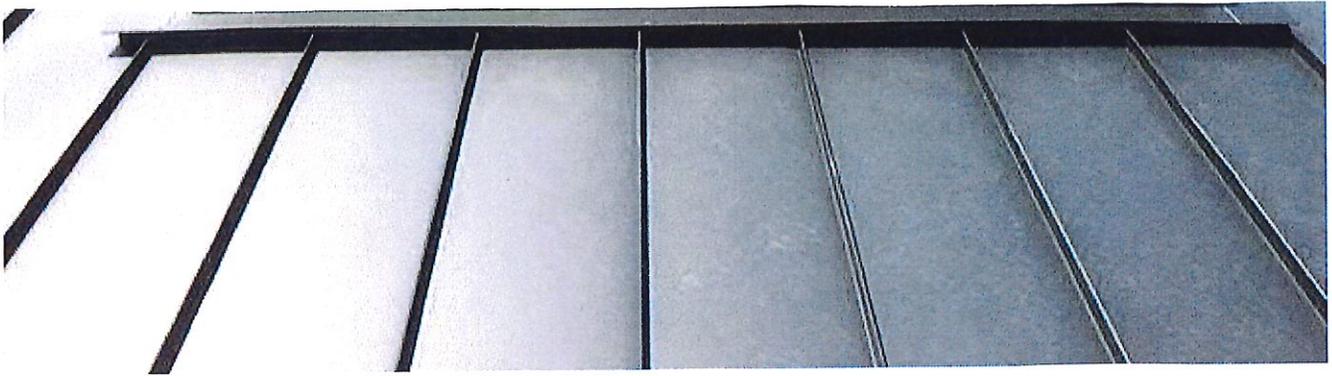
WEST ELEVATION

DD1

SCALE: 1/32"=1'-0"



WITTIG'S
2018 AVENUE B



GALVALUME STANDING SEAM ROOFING ON GYNNINGS



FORM BOARD CONCRETE

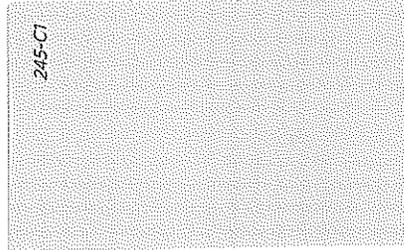
WITTIG'S BUILDING

Specification/Documentation of all materials:

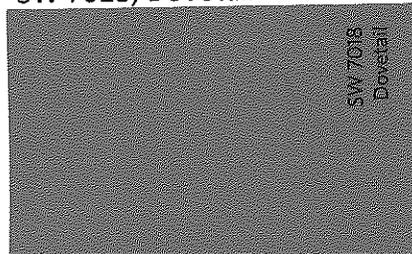
EXTERIOR PAINTS:

Satin finish on stucco; semigloss on metals.

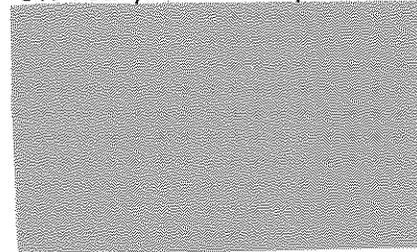
Paint Colors: Paint 1 SW 7043, Worldly Gray Wall surfaces.



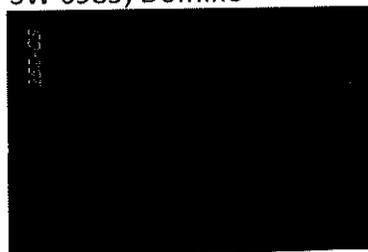
Paint 2 SW 7018, Dovetail Wall surfaces.



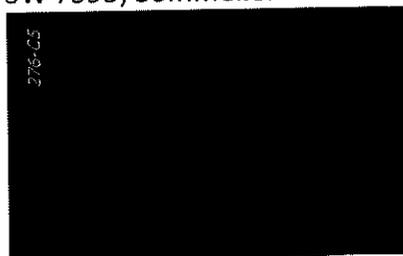
Paint 3 SW 7017, Dorian Gray Wall surfaces.



Paint 4 SW 6989, Domino Accent bands, window sills.
Ground floor awning structure.



Paint 5 SW 7595, Sommelier Porch and step railings.



190, 350 and 500 Standard Entrances

Single Source
Packages
Generate Versatile
First Impressions



Garland Special Events Center, Garland, TX
Architect: HKS, Inc., Dallas, TX
Glazing Contractor: B & B Glass, Inc., Dallas, TX

Tough yet attractive, the clean lines of Kawneer's Standard Entrances are designed as a single-source package of door, door frame and hardware that is easily adaptable to custom requirements. Designed to complement new or remodel construction, modern or traditional architecture, they are engineered, constructed and tested to make good first impressions while withstanding the rigors of constant use by occupants and visitors.

Performance

To resist both lever arm and torsion forces that constantly act on any door, all three entrances feature welded corner construction with Sigma deep penetration and fillet welds plus mechanical fastenings at each corner – a total of 16 welds per door. Each door corner comes with a Limited Lifetime Warranty, good for the life of the door under normal use operation. It is transferable from building owner to owner and is in addition to the standard two-year warranty covering material and workmanship of each Kawneer Door.



1. Thermoplastic elastomer weatherstrip in blade-stop of frame jambs, header or transom bar.
2. Integral polymeric fin is attached to adjustable astragal creating an air barrier between pairs of doors.
3. Optional surface-applied bottom weatherstrip with flexible blade gasket. Extruded raised lip on threshold to provide a continuous contact surface for bottom weatherstrip.
4. Standard 1/4" beveled glass stops sheet water and dirt off without leaving residue.
5. Available in all finishes offered by Kawneer.

The 190 Narrow Stile Entrance

- Is engineered for moderate traffic in applications such as stores, offices and apartment buildings
- Vertical stile measures 2-1/8"; top rail 2-1/4" and bottom rail 3-7/8"
- Results in a slim look that meets virtually all construction requirements

The 350 Medium Stile Entrance

- Provides extra strength for applications such as schools, institutions and other high traffic applications
- Vertical stiles and top rails measure 3-1/2"
- Bottom rail measures 6-1/2" for extra durability

The 500 Wide Stile Entrance

- Creates a monumental visual statement for applications such as banks, libraries and public buildings
- Vertical stiles and top rail are 5"; bottom rail measures 6-1/2"
- Results in superior strength for buildings experiencing heavy traffic conditions

Economy

Kawneer's Sealair® bulb neoprene weatherstripping forms a positive seal around the door frame and provides a substantial reduction in air infiltration, resulting in improved comfort and economies in heating and cooling costs. The system is wear and temperature-resistant and replaces conventional weathering. Bottom weatherstrip at the interior contains a flexible blade gasket to meet and contact the threshold, enhancing the air and water infiltration performance characteristics.

For the Finishing Touch

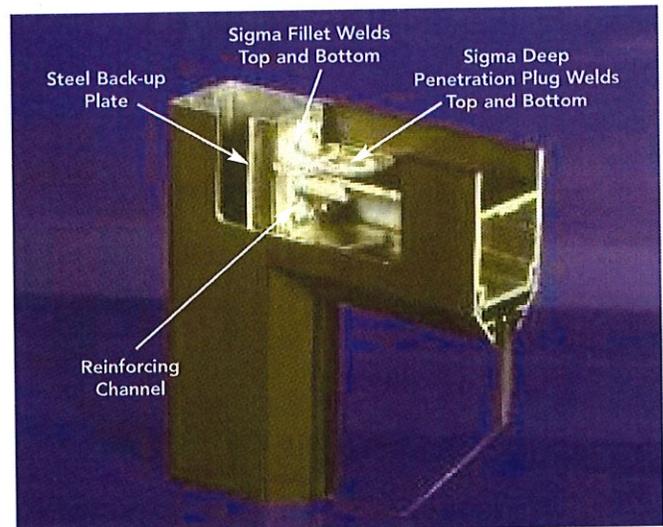
Permanodic® Anodized finishes are available in Class I and Class II in seven different colors.

Painted Finishes, including fluoropolymer that meet or exceed AAMA 2605, are offered in many standard choices and an unlimited number of specially-designed colors.

Solvent-free powder coatings add the "green" element with high performance, durability and scratch resistance that meet the standards of AAMA 2604.

General

- Heights vary to 10'; widths range from approximately 3' to 4'
- Door frame face widths range to a maximum of 4", while depths range to 6"
- Door operation is single or double-acting with maximum security locks or Touch Bar Panics standard
- Architect's Classic one inch round, bent bar push/pull hardware is available in various finishes and sizes
- Infills range from under 1/4" to more than 1"



Kawneer Company, Inc.
Technology Park / Atlanta
555 Guthridge Court
Norcross, GA 30092

kawneer.com
770 . 449 . 5555

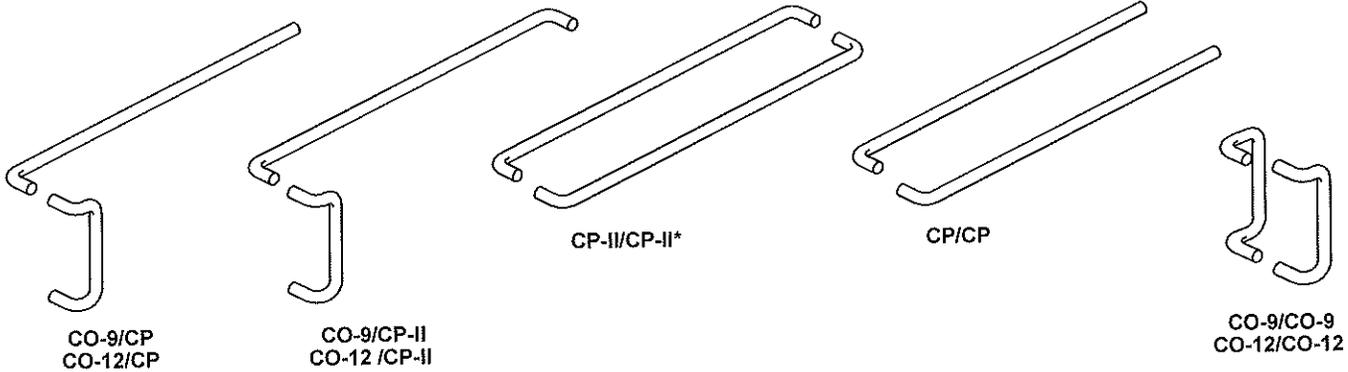
KAWNEER
AN ALCOA COMPANY



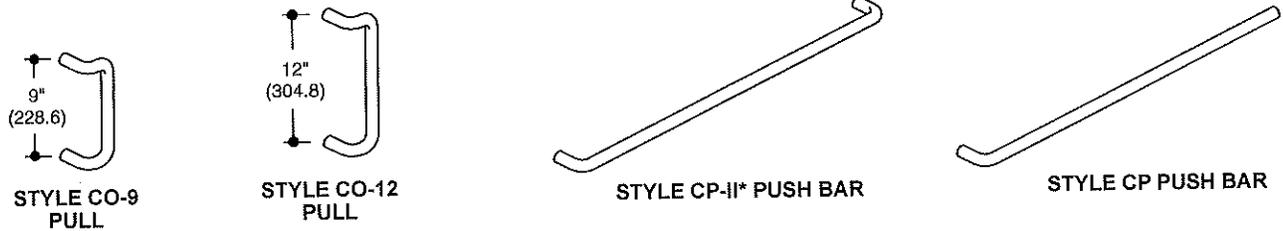
REFER TO HARDWARE SECTION FOR COMPLETE HARDWARE INFORMATION.

ARCHITECTS CLASSIC (PUSH PULL SETS)

SINGLE ACTING DOORS USE A PULL HANDLE AND PUSH BAR AS STANDARD
 DOUBLE ACTING DOORS USE CP PUSH BARS BACK TO BACK AS STANDARD.



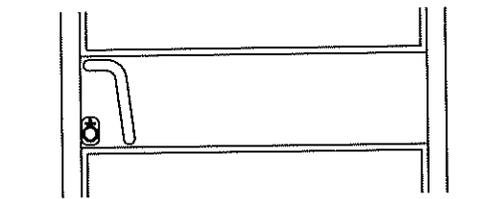
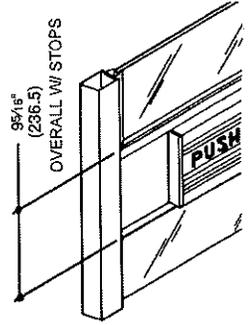
ARCHITECTS CLASSIC (COMPONENTS)



* CP-II PUSH BAR IS NOT TO BE USED FOR BACK TO BACK MOUNTING ON D/A DOORS.

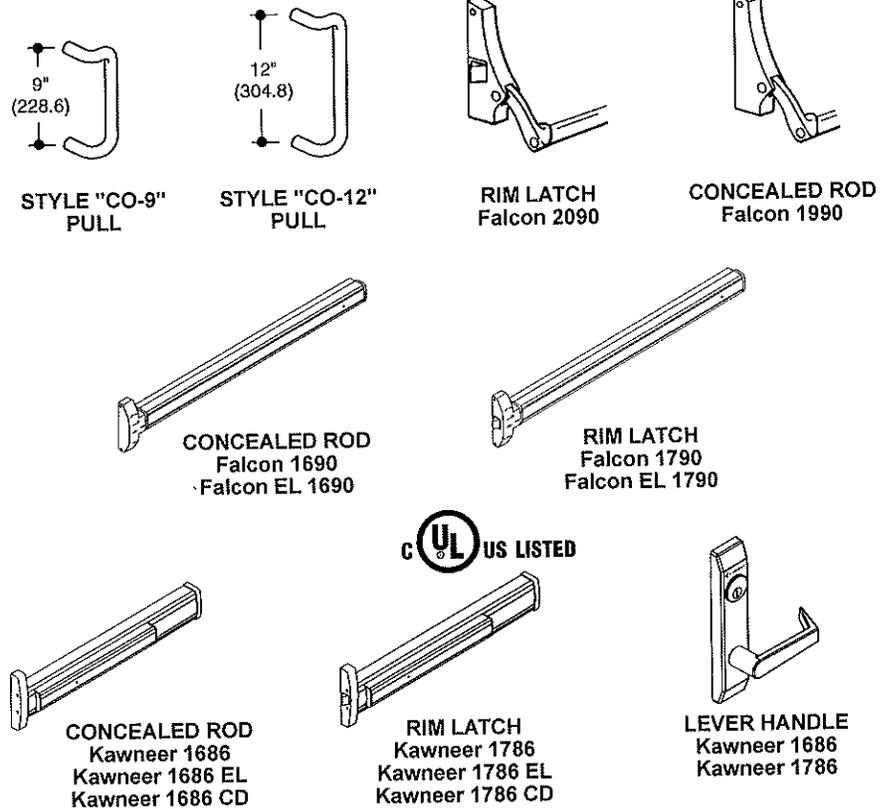
EXIT DEVICES

KAWNEER PANELINE™ / PANELINE™ EL



EXTERIOR VIEW OF 190 DOOR (350/500 SIMILAR)
 "CPN" PULL AND OPTIONAL CYLINDER GUARD SHOWN.
 SEE PAGE 13 AND 14 FOR COMPLETE
 PANELINE™ INFORMATION

EXIT DEVICES AND PULLS



Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
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The Paneline™ concealed rod exit device for 190, 350 and 500 doors will accommodate variations in stile width and door width as shown in the following illustrations. Sidelites adjacent to Paneline™ equipped doors not requiring exit devices may be fitted with fixed panels as detailed below to match the general appearance of the Paneline™ cross rail.

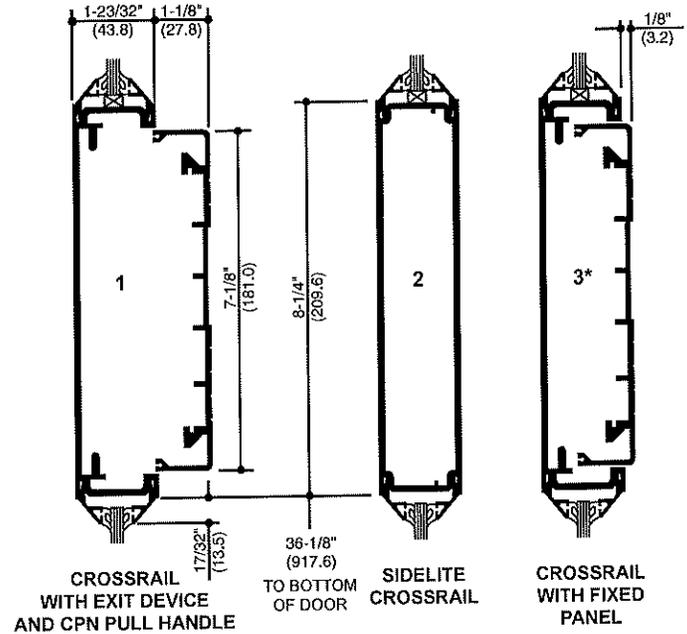
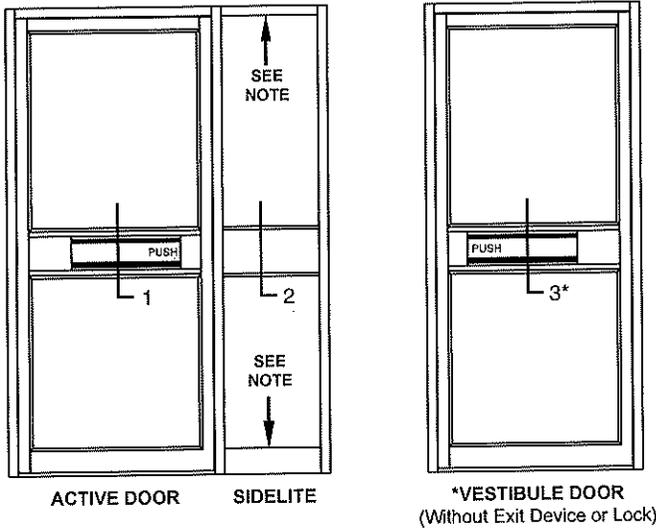
The Optional Paneline™ EL device is designed for electrified access control and is compatible with most key pad and card reader systems.

See Hardware Section for complete description of Paneline™ hardware, including finish of units.

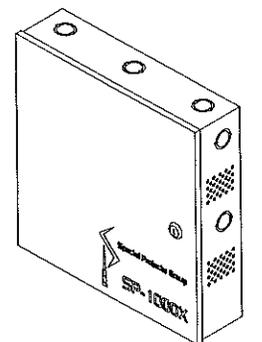
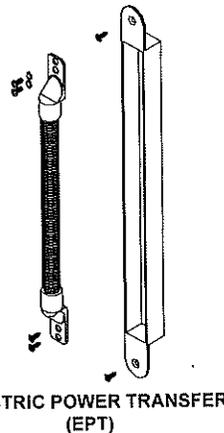
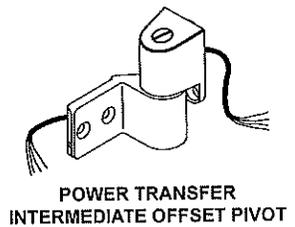
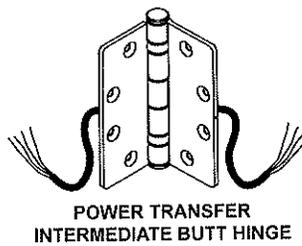
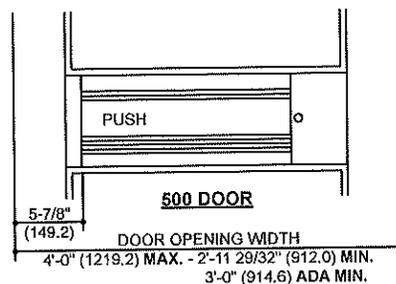
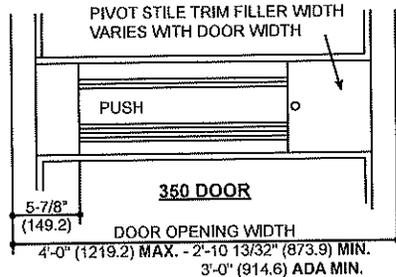
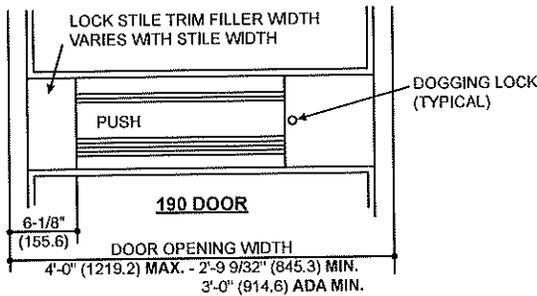
Paneline™ uses mortise cylinder in lieu of the normal rim-type. Dummy Paneline™ units are not for use with any type of lock.

INTERIOR ELEVATIONS

NOTE: Sidelites must be stop glazed above and below rail.



PANELINE™ EL COMPONENTS



Laws and building codes governing the use of exit doors in glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

Kawneer reserves the right to change configuration without prior notice when it is deemed necessary for product improvement.
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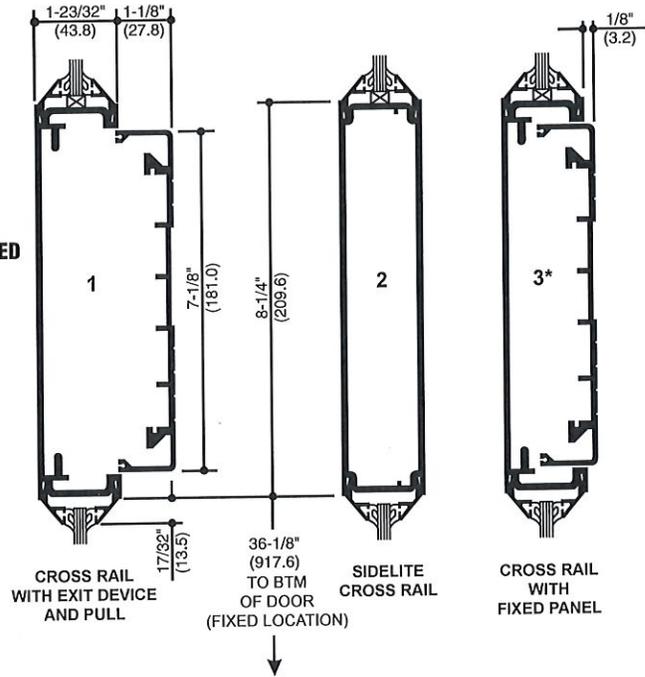
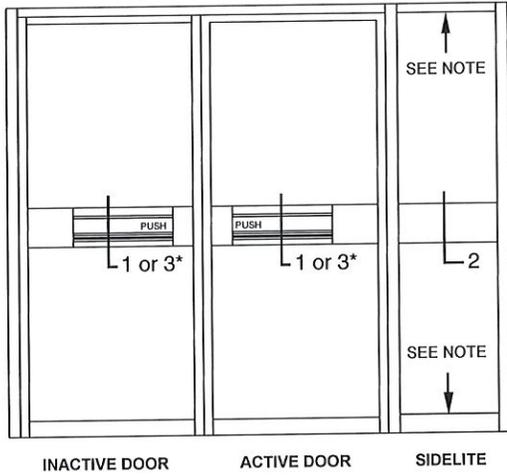
Sidelites adjacent to Paneline™ equipped doors not requiring exit devices may be fitted with fixed panels as detailed below to match the general appearance of the Paneline™ cross rail.

See **Hardware Section** for complete description of Paneline™ hardware, including finish of units.

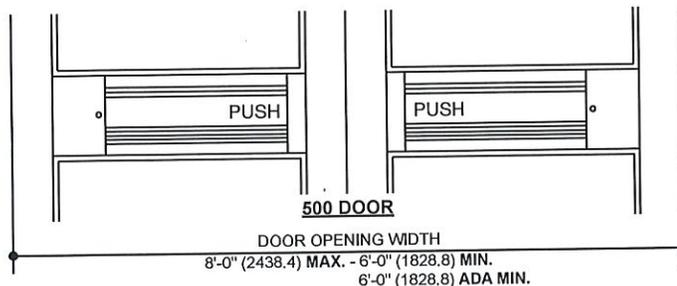
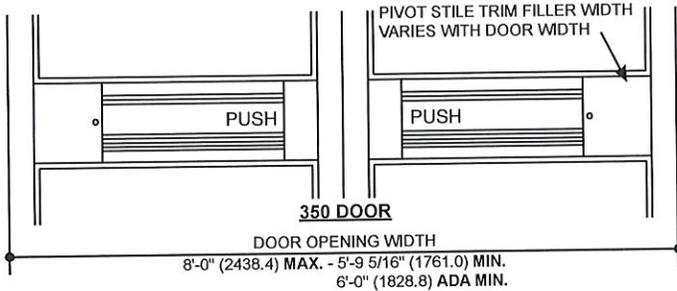
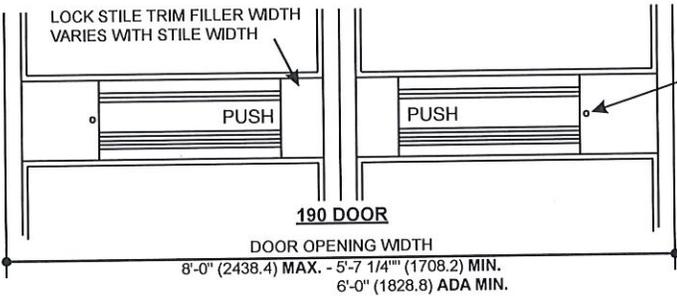
Paneline™ uses mortise cylinder in lieu of the normal rim-type.
 Dummy Paneline™ units should not use any type of lock.

INTERIOR ELEVATION

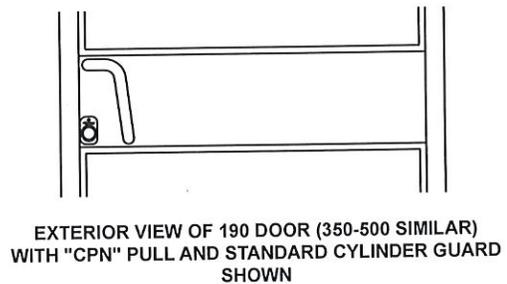
NOTE: Sidelites must be stop glazed above and below rail.



* ALTERNATE CROSSRAIL FOR VESTIBULE DOORS
 (Without Exit Device or Lock)



STYLE "CPN" PULL ON EXTERIOR OF DOOR



Vertical text on the right edge: Laws and building and safety codes governing the design and use of glazed entrance, window, and curtain wall products vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

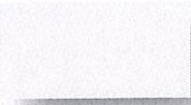
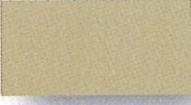
Vertical text on the right edge: Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
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Kawneer Anodize finishes

Kawneer gives you a wide variety of anodized finishes with attractive alternatives. The benefit of a durable, anodized finish is married to the beauty of some very dynamic and exciting colors.

At the start of every design, there's a choice of how you want to finish. Contact your Kawneer sales rep for the information on these and other finishes available from Kawneer.

	KAWNEER FINISH NO.	COLOR	ALUMINUM ASSOCIATION SPECIFICATION	OTHER COMMENTS
	#14	CLEAR	AA-M10C21A41 / AA-M45C22A41	Architectural Class I (.7 mils minimum)
	#17	CLEAR	AA-M10C21A31	Architectural Class II (.4 mils minimum)
	#18	CHAMPAGNE	AA-M10C21A44	Architectural Class I (.7 mils minimum)
	#26	LIGHT BRONZE	AA-M10C21A44	Architectural Class I (.7 mils minimum)
	#28	MEDIUM BRONZE	AA-M10C21A44	Architectural Class I (.7 mils minimum)
	#40	DARK BRONZE	AA-M10C21A44 / AA-M45C22A44	Architectural Class I (.7 mils minimum)
	#29	BLACK	AA-M10C21A44	Architectural Class I (.7 mils minimum)



ENERLOGIC 35

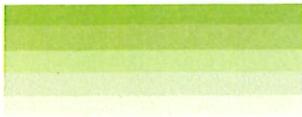


INTERIOR SIDE

BENEFITS

- A patented, low-e film directs solar and radiant heat back to its source for substantial energy savings.
- Provides a perfect balance of energy efficiency, comfort, and cost savings – all year long.
- Upgrades the annual insulating performance of single-pane windows to that of double-pane windows and double-pane to triple-pane.*
- Achieves 5-15% savings on year-round commercial building energy costs.
- Usually offers faster payback than other energy efficiency measures such as replacing windows or heating and cooling system upgrades.
- Compatible with high efficiency lighting (low iridescence).
- Manufacturer's warranty (see an authorized dealer for details).

*Based on an average of insulating values for NFRC Winter and Summer conditions.



ENERLOGIC 35



EXTERIOR SIDE

Performance Data

		% Visible Light Transmittance	% Total Solar Energy Rejected	Solar Heat Gain Coefficient	Winter Median U-Value*	Summer U-Value*	Glare Reduction	Ultraviolet Rejected	Total Solar Transmittance	Total Solar Reflectance	Total Solar Absorptance	Visible Light Reflectance: Exterior	Visible Light Reflectance: Interior	Shading Coefficient	Emissivity	Light to Solar Heat Gain Ratio	Solar Heat Reduction
Residential	1/8" (3mm) Single Pane Clear Glass Plus EnerLogic 35	33%	76%	.24	.60	.43	63%	99%	19%	49%	32%	48%	30%	.28	.07	1.38	72%
	1/8" (3mm) Dual Pane Clear Glass Plus EnerLogic 35	30%	70%	.30	.34	.30	63%	99%	17%	43%	40%	48%	29%	.35	.07	1.00	60%
Commercial	1/4" (6mm) Single Pane Clear Glass Plus EnerLogic 35	31%	76%	.24	.59	.42	65%	99%	18%	42%	40%	46%	28%	.28	.07	1.29	70%
	1/4" (6mm) Dual Pane Clear Glass Plus EnerLogic 35	29%	70%	.30	.33	.30	63%	99%	15%	34%	51%	45%	29%	.36	.07	.97	56%

All solar properties have been measured in accordance with NFRC standards. For the most current data please go to www.enerlogicfilm.com.

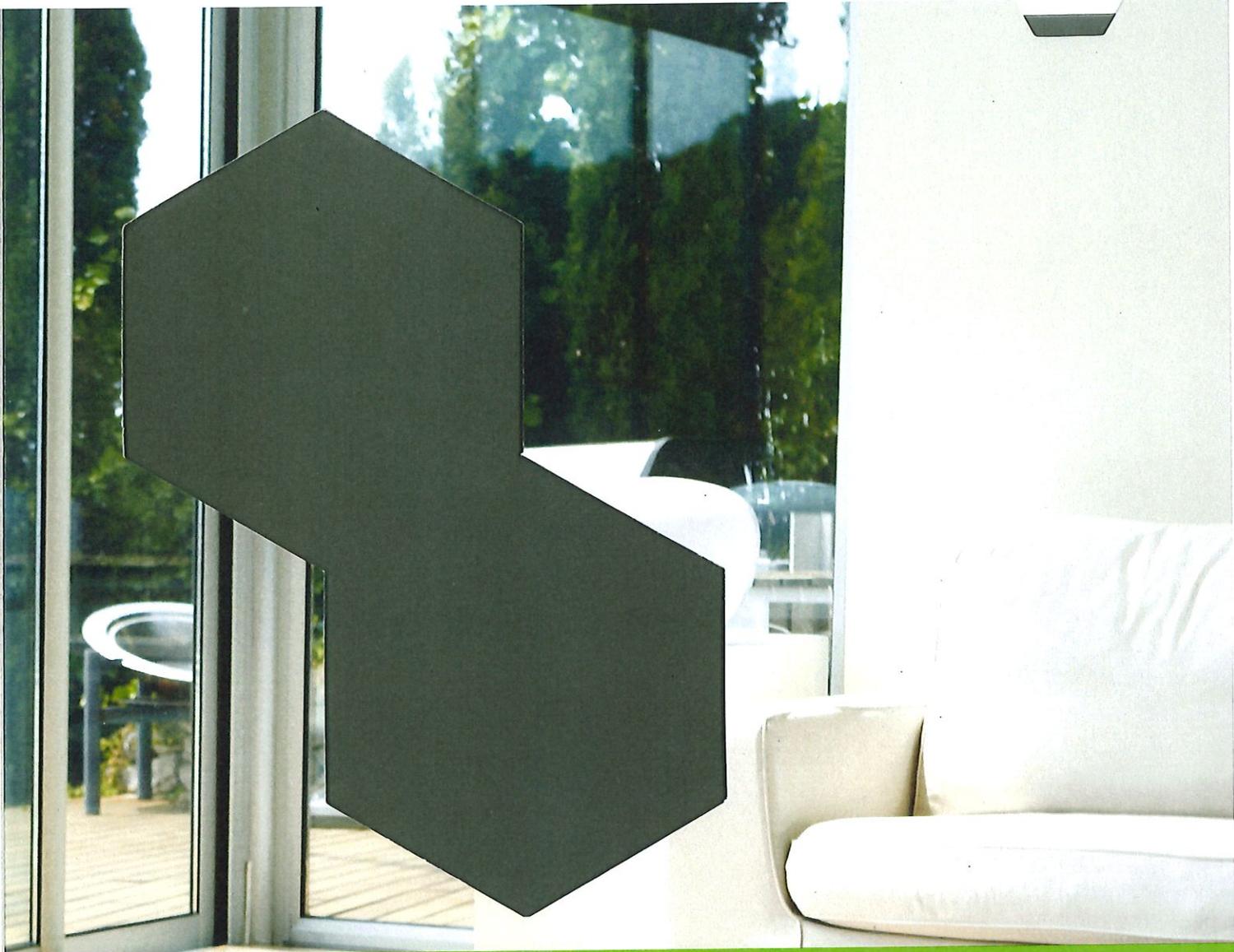
RECOMMENDED APPLICATIONS

Commercial Offices
Schools and Universities

Government Buildings
Health Care

Retail Spaces
Homes

*Based on an average of insulating values for NFRC Winter and Summer conditions.



C30

HÜPER OPTIK™

FEATURES

- World's first patented nano-ceramic technology
- Superb durability - resistance to seashore (high-salt) environment
- High total solar energy rejection
- Reduces demetallization or discoloration
- High ultraviolet rejection - greater than 99%
- 100% dye-free and 100% metal-free
- Natural tone with low reflectivity
- Scratch-resistant hardcoat

BENEFITS:

- Residential limited lifetime & commercial fifteen-year limited product warranty
- Cutting-edge technology with remarkable heat rejection performance
- Increases comfort - cooler interior
- Reduces glare and fading of interior upholstery
- Saves energy by reducing electricity consumption
- Protects against sun-related skin problems - SPF>200
- Enhances safety with improved glass shatter resistance
- Enhances overall aesthetics with a soft natural tone

FHSPE-C30



Powered by
**Meister
Keramische
Technologie**



HÜPER OPTIK™

CERAMIC 30

SPECIFICATIONS

	Single Pane	Double Pane
Visible Light Transmission	30%	29%
Visible Light Reflectance	11%	12%
Shading Coefficient	0.43	0.56
Solar Heat Gain Coefficient	0.37	0.49
Infrared Rejection	86%	86%
UV Light Rejection	99%	99%
Total Solar Energy Rejected	63%	51%
Glare Reduction	62%	64%
U-value	1.04	0.47

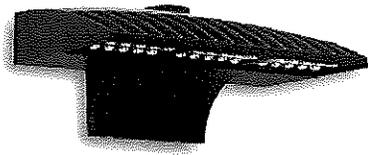
HUPEROPTIKUSA.COM



d-series
LED Wall Luminaires

Stylish LED wall-mounted luminaires
designed for long life, energy savings
and customized performance.

best value
in lighting.®



D-Series Size 2 LED Wall Luminaire



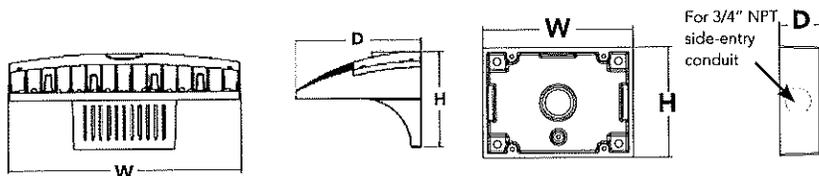
d²series

Specifications Luminaire

Width: 18-1/2" (47.0 cm) **Weight:** 21 lbs (9.5 kg)
Depth: 10" (25.4 cm)
Height: 7-5/8" (19.4 cm)

Back Box (BBW)

Width: 5-1/2" (14.0 cm) **BBW Weight:** 1 lbs (0.5 kg)
Depth: 1-1/2" (3.8 cm)
Height: 4" (10.2 cm)



Catalog
Number

Notes

Type

For more information, please refer to the product literature or visit our website.

Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 76% in energy savings over comparable 400W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information

EXAMPLE: DSXW2 LED 30C 700 40K T3M MVOLT DDBTXD

DSXW2 LED

Series	LEDs	Drive Current	Color Temperature	Distribution	Voltage	Mounting	Control Options
DSXW2 LED	20C 20 LEDs (two engines)	350 350 mA 530 530 mA	30K 3000 K 40K 4000 K	T2S Type II Short T2M Type II Medium	MVOLT ¹ 120 ¹	Shipped included (blank) Surface mounting bracket	Shipped installed PE Photoelectric cell, button type ⁴ PER NEMA twist-lock receptacle only (no controls) DMG 0-10V dimming driver (no controls) DCR Dimmable and controllable via ROAM® (no controls) ⁵ PIRH 180° motion/ambient light sensor, 15-30' mtg ht ⁶
	30C 30 LEDs (three engines)	700 700 mA 1000 1000 mA (1 A)	50K 5000 K AMBPC Amber phosphor converted	T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium ASYDF Asymmetric diffuse	208 ¹ 240 ¹ 277 ¹ 347 ² 480 ²		
						Shipped separately³ BBW Surface-mounted back box (for conduit entry)	PIRH1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1ft ² PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1ft ²

Other Options

Finish (required)

Shipped installed

SF Single fuse (120, 277, 347V)⁸
 DF Double fuse (208, 240, 480V)⁸
 HS House-side shield³
 SPD Separate surge protection⁹

Shipped separately⁹

BSW Bird-deterrent spikes
 WG Wire guard
 VG Vandal guard

DDBXD Dark bronze
 DBLXD Black
 DNAXD Natural aluminum
 DWHXD White

DSSXD Sandstone
 DDBTXD Textured dark bronze
 DBLBXD Textured black
 DNATXD Textured natural aluminum

DWHGXD Textured white
 DSSTXD Textured sandstone

Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹⁰
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ¹⁰
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ¹⁰
DSHORT 5BK U	Shorting cap ¹¹
DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXW2WG U	Wire guard accessory
DSXW2VG U	Vandal guard accessory
DSXW2BBW DDBXD U	Back box accessory (specify finish)

NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options), or photocontrol (PE option).
- Available with 30 LED/700mA options only (DSXW2 LED 30C 700). DMG option not available.
- Also available as a separate accessory; see Accessories information.
- Photocontrol (PE) requires 120, 208, 240 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- Specifies a ROAM® enabled luminaire with 0-10V dimming capability; PER option required. Not available with 347V, 480V or PIRH. Additional hardware and services required for ROAM® deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roomservices.net.
- Specifies the Sensor Switch SBGR-6-ODP control; see Outdoor Control Technical Guide for details. Includes ambient light sensor. Not available with "PE" option (button type photocell) or DCR. Dimming driver standard.
- PIR and PIR1FC3V specify the Sensor Switch SBGR-16-ODP control; PIRH and PIRH1FC3V specify the Sensor Switch SBGR-6-ODP control; see Motion Sensor Guide for details. Dimming driver standard. Not available with PER5 or PER7. Ambient sensor disabled when ordered with DCR. Separate on/off required.
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- See the electrical section on page 2 for more details.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item.

