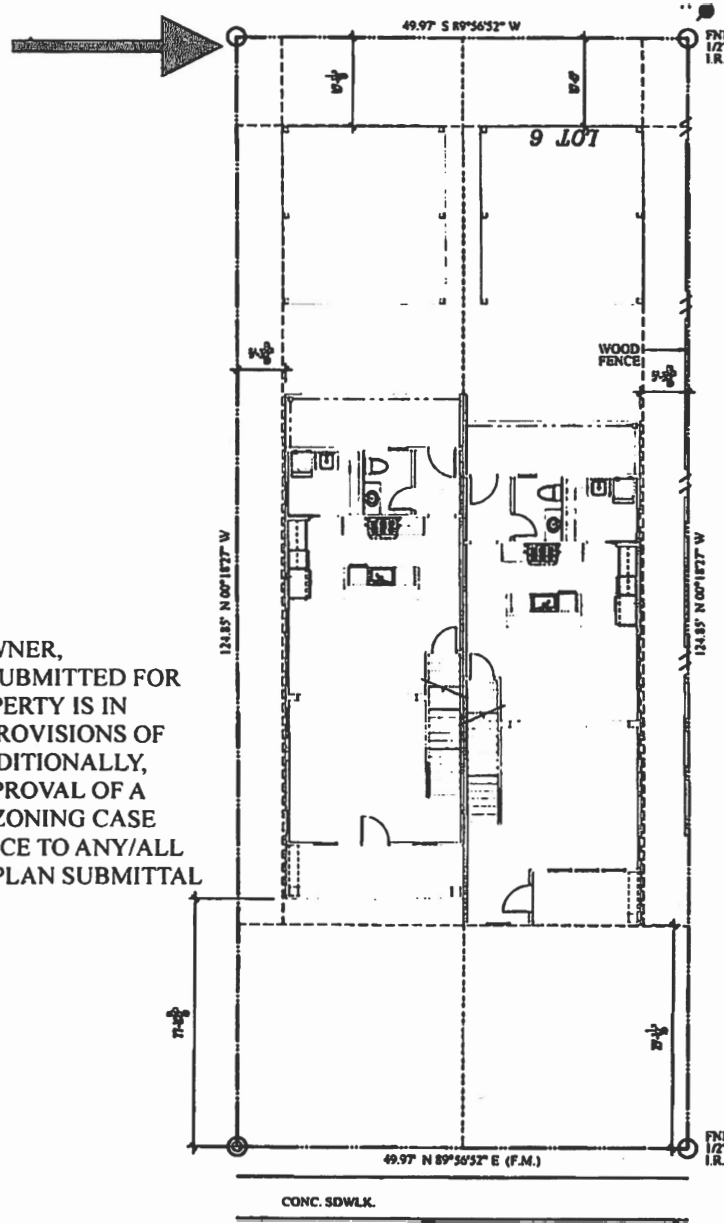


**Z-2019-10700053**

PARKING IN REAR FROM ALLEY TO CARPORT FOR EACH UNIT



SITE PLAN FOR: 1132 W. MISTLETOE

REQUEST ZONING FROM R-6 TO IDZ-1 FOR 2 RESIDENTAL DWELLING UNITS

- \* TOTAL ACRES: 0.1425 OR 6,250 SF
- \* LOTS: 6 & 7
- \* AREA OF OPEN SPACE: 3,440 SF
- \* DIMENSIONS OF DUPLEX FOOTPRINT: 38FT X 55 FT
- \* DIMENSIONS OF EACH UNIT: 19 X 55
- \* TOTAL SQ FT OF EACH UNIT: 1,734 SF
- \* TOTAL SQ FT OF 2 CARPORTS: 720 SF
- \* PARKING IN REAR FROM ALLEY TO CARPORTS
- \* FRONT SETBACKS: 27 FT & 25FT

I, MICHAEL A. PEREZ, THE PROPERTY OWNER, ACKNOWLEDGE THAT THIS SITE PLAN SUBMITTED FOR THE PURPOSES OF REZONING THIS PROPERTY IS IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF THE UNIFIED DEVELOPMENT CODE. ADDITIONALLY, I UNDERSTAND THAT CITY COUNCIL APPROVAL OF A SITE PLAN IN CONJUNCTION WITH A REZONING CASE DOES NOT RELIEVE ME FROM ADHERENCE TO ANY/ALL CITY-ADOPTED CODES AT THE TIME OF PLAN SUBMITTAL FOR BUILDING PERMITS.

**SITE PLAN**  
SCALE: 1/8"=1'-0"  
**LOTS-6 & 7**  
**BLOCK-38**  
**N.C.B.-1847**  
**1132 W MISTLETOE AVE.**

**MISTLETOE AVE.**  
(80' R.O.W.-PER PLAT)  
(A.K.A. W. MISTLETOE AVE.)

CURB