

HISTORIC AND DESIGN REVIEW COMMISSION

November 06, 2019

HDRC CASE NO: 2019-604
ADDRESS: 3222 SHIMMERING DAWN
LEGAL DESCRIPTION: NCB 17634 BLK 15 LOT 901 (NORTH SAN ANTONIO HILLS UT-1)
ZONING: R-20
CITY COUNCIL DIST.: 6
APPLICANT: Justin Sherwood/Open Air Studios
OWNER: CITY OF SAN ANTONIO
TYPE OF WORK: Construction of a public park
APPLICATION RECEIVED: October 14, 2019
60-DAY REVIEW: December 13, 2019
CASE MANAGER: Rachel Rettaliata
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to: construct a new public park which will include (1) off-street parallel parking, (2) site lighting for user safety, (3) an ADA port-a-potty facility, (4) bike rack parking, (5) a shade pavilion, (6) new side walk access to various amenities.

APPLICABLE CITATIONS:

UDC Sec. 35-641. - Design Considerations for Historic and Design Review Commission Recommendations.

In reviewing an application, the historic and design review commission shall be aware of the importance of attempting to find a way to meet the current needs of the City of San Antonio, lessee or licensee of public property. The historic and design review commission shall also recognize the importance of recommending approval of plans that will be reasonable to implement. The best urban design standards possible can and should be employed with public property including buildings and facilities, parks and open spaces, and the public right-of-way. Design and construction on public property should employ such standards because the use of public monies for design and construction is a public trust. Public commitment to quality design should encourage better design by the private sector. Finally, using such design standards for public property improves the identity and the quality of life of the surrounding neighborhoods.

UDC Sec 35-642. – New Construction of Buildings and Facilities:

In considering whether to recommend approval or disapproval of a certificate, the historic and design review commission shall be guided by the following design considerations. These are not intended to restrict imagination, innovation or variety, but rather to assist in focusing on design principles, which can result in creative solutions that will enhance the city and its neighborhoods. Good and original design solutions that meet the individual requirements of a specific site or neighborhood are encouraged and welcomed.

(a) Site and Setting.

(1) Building sites should be planned to take into consideration existing natural climatic and topographical features. The intrusive leveling of the site should be avoided. Climatic factors such as sun, wind, and temperature should become an integral part of the design to encourage design of site-specific facilities which reinforces the individual identity of a neighborhood and promotes energy efficient facilities.

(2) Special consideration should be given to maintain existing urban design characteristics, such as setbacks, building heights, streetscapes, pedestrian movement, and traffic flow. Building placement should enhance or create focal points and views. Continuity of scale and orientation shall be emphasized.

(3) Accessibility from streets should be designed to accommodate safe pedestrian movement as well as vehicular traffic. Where possible, parking areas should be screened from view from the public right-of-way by attractive fences, berms, plantings or other means.

(4) Historically significant aspects of the site shall be identified and if possible incorporated into the site design. Historic relationships between buildings, such as plazas or open spaces, boulevards or axial relationships should be maintained.

(b) Building Design.

(1) Buildings for the public should maintain the highest quality standards of design integrity. They should elicit a pride of ownership for all citizens. Public buildings should reflect the unique and diverse character of San Antonio

and should be responsive to the time and place in which they were constructed.

(2) Buildings shall be in scale with their adjoining surroundings and shall be in harmonious conformance to the identifying quality and characteristics of the neighborhood. They shall be compatible in design, style and materials. Reproductions of styles and designs from a different time period are not encouraged, consistent with the secretary of the interior's standards. Major horizontal and vertical elements in adjoining sites should be respected.

(3) Materials shall be suitable to the type of building and design in which they are used. They shall be durable and easily maintained. Materials and designs at pedestrian level shall be at human scale, that is they shall be designed to be understood and appreciated by someone on foot. Materials should be selected that respect the historic character of the surrounding area in texture, size and color.

(4) Building components such as doors, windows, overhangs, awnings, roof shapes and decorative elements shall all be designed to contribute to the proportions and scale of their surrounding context. Established mass/void relationships shall be maintained. Patterns and rhythms in the streetscape shall be continued.

(5) Colors shall be harmonious with the surrounding environment, but should not be dull. Choice of color should reflect the local and regional character. Nearby historic colors shall be respected.

(6) Mechanical equipment or other utility hardware should be screened from public view with materials compatible with the building design. Where possible, rooftop mechanical equipment should be screened, even from above. Where feasible, overhead utilities should also be underground or attractively screened. Exterior lighting shall be an integral part of the design. Interior lighting shall be controlled so that the spillover lighting onto public walkways is not annoying to pedestrians.

(7) Signs which are out of keeping with the character of the environment in question should not be used.

Excessive size and inappropriate placement on buildings results in visual clutter. Signs should be designed to relate harmoniously to exterior building materials and colors. Signs should express a simple clear message with wording kept to a minimum.

(8) Auxiliary design. The site should take into account the compatibility of landscaping, parking facilities, utility and service areas, walkways and appurtenances. These should be designed with the overall environment in mind and should be in visual keeping with related buildings, structures and places.

FINDINGS:

- a. The property located at 3222 Shimmering Dawn is a newly proposed park to be named North Hills Park, located in the North San Antonio Hills neighborhood, northwest of the city. The project was funded by the 2017 Bond Program.
- b. PARKING – The applicant has proposed to install off-street parallel parking along Shimmering Dawn. Staff finds the proposal generally consistent with the UDC.
- c. LIGHTING – The applicant has proposed to install pedestrian lighting along new pathways within the park and at the proposed pavilion area. Staff finds the proposal consistent with the UDC.
- d. RESTROOM FACILITY – The applicant has proposed to install a new ADA port-a-potty facility. The facility will be located near Shimmering Dawn, beside the parallel parking area. Staff finds the proposal consistent with the UDC.
- e. PARK AMENITIES – The applicant has proposed to install several park amenities, including concrete picnic tables, trash receptacles, bike racks, and grilling stations. Staff finds the proposal generally consistent with the UDC Sec. 35-642 (b).
- f. PAVILION – The applicant has proposed to construct a new shade pavilion to be used for community gatherings. The pavilion will be a basic gable structure constructed from steel with steel roof panels. Staff finds the proposal generally consistent with the UDC.
- g. SIDEWALKS AND PAVING – The applicant has proposed to install new sidewalks and paving within the park. Materials include medium broom finished concrete sidewalk and medium broom finished concrete slab. Staff finds the proposal generally consistent with the UDC.
- h. ARCHAEOLOGY – The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology.

RECOMMENDATION:

Staff recommends final approval based on findings a through h with the following stipulations:

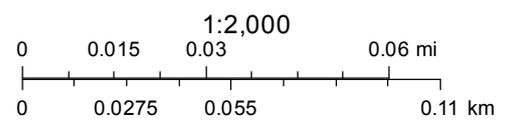
- i. ARCHAEOLOGY – The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology.

City of San Antonio One Stop

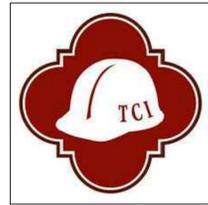


October 15, 2019

— User drawn lines



CoSA



CITY OF SAN ANTONIO

NORTH HILLS PARK

3222 SHIMMERING DAWN
SAN ANTONIO, TEXAS



CITY MANAGER

ERIK WALSH

INTERIM DIRECTOR OF TCI

RAZI HOSSEINI, P.E.

INTERIM DIRECTOR OF PARKS AND RECREATION

HOMER GARCIA

PROJECT MANAGER

MARK WITTLINGER

PH. # 210-207-2874

PRIME CONSULTANT

OPEN AIR STUDIOS, LLC
LANDSCAPE ARCHITECT

PH. # 210-908-6736

CIVIL ENGINEER

KIMLEY-HORN & ASSOC.

PH. # 210-321-3435

MEP ENGINEER

CNG ENGINEERING

PH. # 210-224-8841

DATE OF ISSUE: 10/XX/2019

PROJECT NUMBER

23-01689

FUNDING

2017 BOND PROGRAM

CITY COUNCIL

MAYOR

RON NIRENBERG

COUNCIL

ROBERTO TREVINO	DISTRICT 1
JADA ANDREWS-SULLIVAN	DISTRICT 2
REBECCA VIAGRAN	DISTRICT 3
DR. ADRIANA ROCHA GARCIA	DISTRICT 4
SHIRLEY GONZALES	DISTRICT 5
MELISSA CABELLO HAVRDA	DISTRICT 6
ANA SANDOVAL	DISTRICT 7
MANNY PELAEZ	DISTRICT 8
JOHN COURAGE	DISTRICT 9
CLAYTON PERRY	DISTRICT 10

SHEET INDEX

LANDSCAPE ARCHITECTURE

- TP.01 TREE PRESERVATION PLAN
- TP.02 TREE PRESERVATION DETAILS
- D1.01 DEMOLITION PLAN
- ES.01 E.P.I.C. SHEET
- L1.01 MATERIALS PLAN
- L1.02 LAYOUT PLAN
- L1.03 LAYOUT PLAN
- L2.01 SITE DETAILS
- L2.02 SITE DETAILS
- L2.03 SITE DETAILS
- L3.01 GRADING PLAN

CIVIL ENGINEER

- C1.0 CIVIL SITE PLAN
- C1.1 CIVIL DETAILS

MECHANICAL / ELECTRICAL / PLUMBING

- E0.00 ELECTRICAL SYMBOLS & ABBREVIATIONS
- E1.00 ELECTRICAL SITE PLAN
- E2.00 ELECTRICAL RISER DIAGRAMS, DETAILS, AND SCHEDULES
- E3.00 ELECTRICAL LIGHTING PHOTOMETRICS

OUR MISSION: THROUGH INNOVATION AND DEDICATION, WE BUILD AND
MAINTAIN SAN ANTONIO'S INFRASTRUCTURE

TRANSPORTATION AND CAPITAL IMPROVEMENTS DEPARTMENT

MUNICIPAL PLAZA BUILDING 114 W. COMMERCE SAN ANTONIO, TX 78238 PH # 210-207-8413 FAX # 210-207-2197

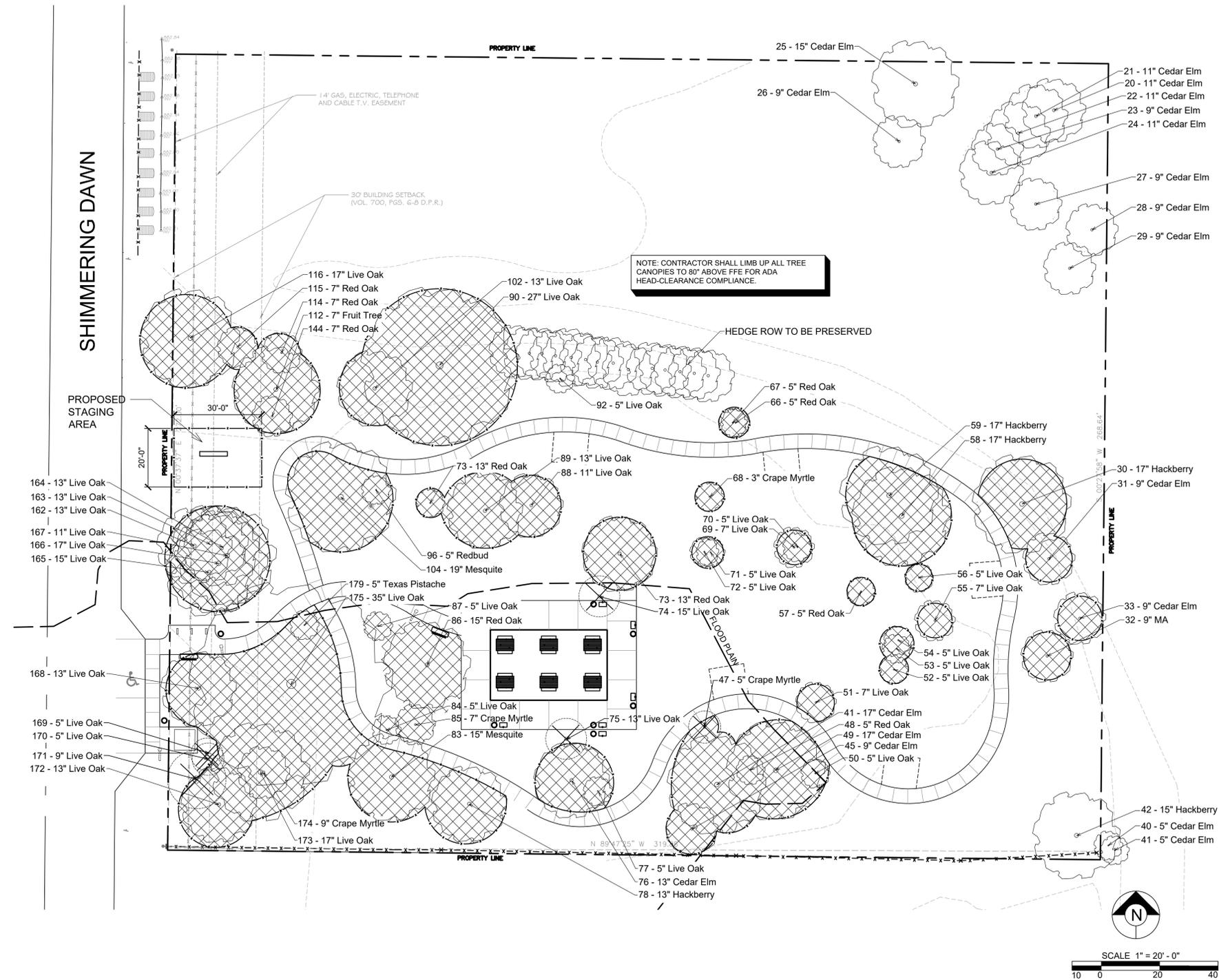
"Although it is not the responsibility of the City to provide sets of drawings and/or specifications to the successful Contractor for the construction of this project, the City may provide extra or returned sets that are available, if any from the bidding process. All other sets as deemed required by the Contractor, for the purposes of construction of this project, shall be obtained and paid by the Contractor."

TREE PROTECTION NOTES

- ROOT PRUNING
 - Prune roots within root zone areas of trees using hand-digging techniques.
 - Cut roots measuring one inch (1") in diameter or larger using sharpened pruning shears or pruning saw to make a clean, smooth-cut surface. Do not chop roots.
 - Large roots measuring three inches (3") in diameter and larger shall be cut using a sharpened saw.
 - Cut roots flush with edge of soil to limit root exposure.
 - Apply appropriate, non-toxic pruning paint labeled for horticultural use immediately to all wounds on trees.
- Route underground utility lines around tree root zone areas where possible.
- Where excavation is required within root zones, hand excavate and tunnel under or around roots to minimize damage and to preserve roots measuring one inch (1") in diameter and larger.
- Where excavation is unavoidable within root zone areas, proper tree root pruning techniques shall be used.
- Do not allow exposed roots to dry out before permanent backfill is in place.
- Maintain existing natural grade within the dripline of trees.
- Solid fill within root zone areas shall be free of harmful chemicals and adequate for supporting healthy root growth.
- Where existing grade around trees is below proposed finish grade place up to a maximum of three inches (3") of clean bank sand in a single layer to make the transition to new grade. Do not compact. Hand grade to required elevation. Large surface roots (that were exposed prior to construction) shall remain exposed.
- Contractor to receive written authorization from the landscape architect prior to initiation of any construction activity and/or tree preservation activities that take place within the tree preservation zone.
- There shall not be storage of any materials, equipment, soil etc. under dripline of existing trees.
- If construction activity is to occur close to any trees not identified for protection, contractor is responsible to install additional protection fencing if required.
- All sidewalks installed under tree's dripline to be hand dug. Landscape architect to approve location prior to digging, etc.
- If hand grading is required within dripline, no fill should be added. Contractor to have approval from certified arborist before grading areas under tree dripline.
- Refer to civil drawings for all existing and proposed utilities, rights of ways, and easements.
- Refer to tree preservation specifications for pruning of existing trees where vehicular traffic or construction conflicts with existing tree canopy.
- Contractor to stake tree protection fencing for landscape architect approval. Contact landscape architect 48 hours prior to installation.
- Contractor to supply on-site certified arborist to supervise all tree protection, re-location, pruning, fertilizing, etc. work.
- All preserved trees to have tree protection fencing placed around trees at radius equal to 6" per diameter inch (1") of trunk of tree.
- All wounds to the trunk, limbs, and root system of oak trees in the city that expose sapwood shall be painted within thirty minutes of the wound being created with asphaltic or exterior oil or latex based paint.

LEGEND

	EXISTING TREE TO BE PRESERVED
	EXISTING TREE TO BE REMOVED
	HARDWOOD MULCH
	TREE PROTECTION FENCE



NORTH SA HILLS PARK																	
Tag #	Species	Tree Code	Size (inches)	Heritage (Y/N)	Save	Exempt Code	Understory Species* 5.0" +		Significant Tree 6" - 23.5"		Significant Tree** 10.0" - 23.5"		Heritage 3:1		Heritage 1:1		Notes
							Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved	
20	CEDAR ELM	S1	11		PRESERVED					11							
21	CEDAR ELM	S1	11		PRESERVED					11							
22	CEDAR ELM	S1	11		PRESERVED					11							
23	CEDAR ELM	S1	9		PRESERVED					9							
24	CEDAR ELM	S1	11		PRESERVED					11							
25	CEDAR ELM	S1	15		PRESERVED					15							
26	CEDAR ELM	S1	9		PRESERVED					9							
27	CEDAR ELM	S1	9		PRESERVED					9							
28	CEDAR ELM	S1	9		PRESERVED					9							
29	CEDAR ELM	S1	9		PRESERVED					9							
30	HACKBERRY	S2	17		PRESERVED						17						
31	CEDAR ELM	S1	9		PRESERVED					9							
32	LIVE OAK	S1	9		PRESERVED					9							
33	CEDAR ELM	S1	9		PRESERVED					9							
41	CEDAR ELM	S1	17		PRESERVED					17							
42	HACKBERRY	S2	15		PRESERVED						15						
45	CEDAR ELM	S1	9		PRESERVED					9							
47	GRAPE MYRTLE	U	5		REMOVED		5										
49	CEDAR ELM	S1	17		PRESERVED					17							
51	LIVE OAK	S1	7		PRESERVED					7							
58	HACKBERRY	S2	17		PRESERVED						17						
59	HACKBERRY	S2	17		PRESERVED						17						
69	LIVE OAK	S1	7		PRESERVED					7							
73	RED OAK	S1	13		PRESERVED					13							
74	LIVE OAK	S1	15		REMOVED				15								
75	LIVE OAK	S1	13		REMOVED				13								
76	CEDAR ELM	S1	13		PRESERVED					13							
78	HACKBERRY	S2	13		PRESERVED						13						
83	MESQUITE	S2	15		PRESERVED						15						
85	GRAPE MYRTLE	U	7		PRESERVED		7										
86	RED OAK	S1	15		PRESERVED					15							
88	LIVE OAK	S1	11		PRESERVED					11							
89	LIVE OAK	S1	13		PRESERVED					13							
90	LIVE OAK	S1	27	Y	PRESERVED							27					
96	REDBUD	U	5		PRESERVED		5										
102	LIVE OAK	S1	13		PRESERVED					13							
104	MESQUITE	S2	19		PRESERVED						19						
112	FRUIT TREE	NV	7		PRESERVED												
114	RED OAK	S1	7		PRESERVED					7							
115	RED OAK	S1	7		PRESERVED					7							
116	LIVE OAK	S1	17.0		PRESERVED					17							
144	RED OAK	S1	7		PRESERVED					7							
162	LIVE OAK	S1	13.0		PRESERVED					13							
163	LIVE OAK	S1	13		PRESERVED					13							
164	LIVE OAK	S1	13		PRESERVED					13							
165	LIVE OAK	S1	15		PRESERVED					15							
166	LIVE OAK	S1	17		PRESERVED					17							
167	LIVE OAK	S1	11		PRESERVED					11							
168	LIVE OAK	S1	13		PRESERVED					13							
171	LIVE OAK	S1	9		REMOVED				9								
172	LIVE OAK	S1	13		PRESERVED					13							
173	LIVE OAK	S1	17		PRESERVED					17							
174	GRAPE MYRTLE	U	9		PRESERVED		9										
175	LIVE OAK	S1	35	Y	PRESERVED												
Sub. Tot. Inches=							5	21	37	429	0	113	0	62	0	0	0
Total inches by category=								26		466		113		62			
Preservation percentage=							81%		Significant	94%		Heritage Preservation	100%				
Mitigation required (Commercial) =							-11		Commercial (inches)	-310		Heritage Mitigation (inches)	0				
Mitigation required (Residential) =							-12		Residential (inches)	-339							
Exemption Codes												Additional Inches Preserved for Mitigation	0				
1 - Tree is located in ROW																	
2 - Tree located off property																	
3 - Tree is located within easement												Additional Inches Needed to meet Mitigation Requirements	-321				

* Small species: Condalia, Redbud, Tx. Mountain Laurel, Tx. Persimmon, Hawthorn, Possumhaw - mitigated at 1:1 for Heritage
 ** Ashe Juniper, Huisache, Mesquite, Arizona Ash, Hackberry protected at 10" dbh and mitigated at 1:1 for Heritage
 *** Mitigation Trees: Unprotected-sized trees to be used for mitigation calculations; subtract inches from mitigation owed

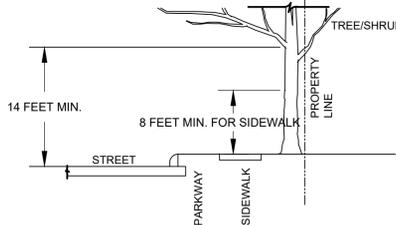
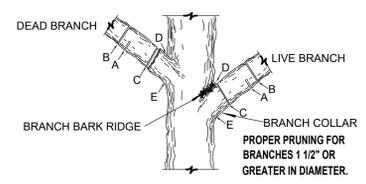


FIGURE No.2:
A MINIMUM BRANCH CLEARANCE OF 14 FEET ABOVE STREET ELEVATION MUST BE MAINTAINED FROM THE PROPERTY LINE TO THE CURB LINE AS PRESCRIBED BY PROJECT MANAGER.

5 BRANCH CLEARANCE DETAIL
NOT TO SCALE

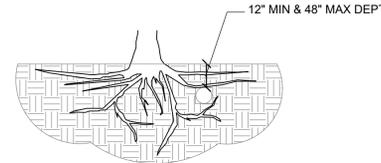


NOTE: DO NOT CUT FROM D TO E.
 A. FIRST CUT-TO PREVENT THE BARK FROM BEING PEELED WHEN THE BRANCH FALLS
 B. SECOND CUT-TO REDUCE THE WEIGHT OF BRANCH.
 C. FINAL CUT-ALLOW FOR HEALING COLLAR BUT NO STUBS
 D. BRANCH RIDGES-INDENT PROPERLY BRANCH RIDGES WHICH ARE SITE FOR DECAY.
 FOR OAKS ONLY: PAINT ALL WOUNDS OR CUTS WITH PRUNING PAINT WITHIN 20 MIN TO PREVENT THE SPREAD OF OAK WILT.

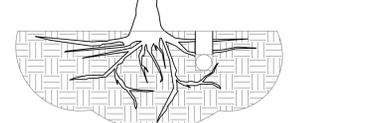
4 BRANCH PRUNING DETAIL
NOT TO SCALE

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ARBORIST.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.

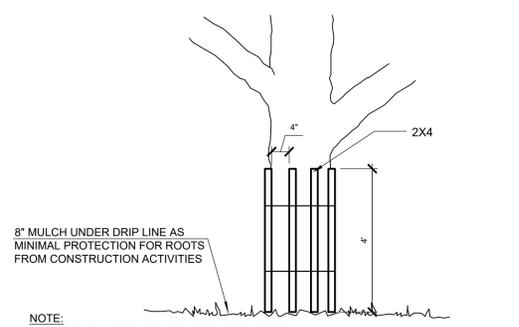


TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

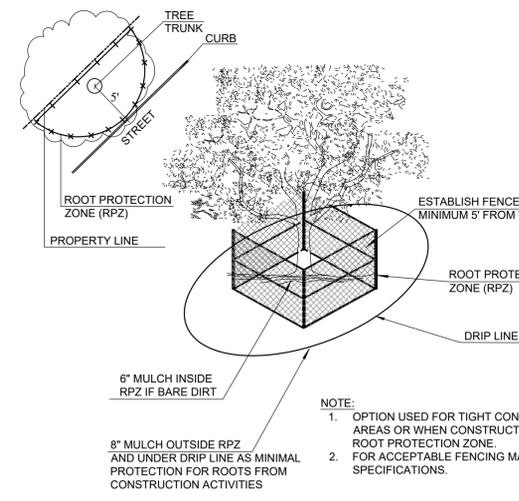
3 BORING THRU TREE ROOT ZONE
NOT TO SCALE



NOTE:
 1. OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
 2. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

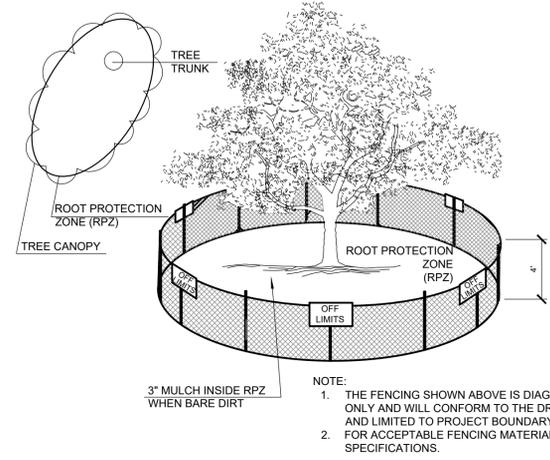
NOTE:
 WRAP TREE TRUNK WITH 2"x4" STUDS AND ROPE OR BAND IN PLACE AS NEEDED TO PROTECT TREES IN WORK AREAS.

2D LEVEL II B FENCE PROTECTION
NOT TO SCALE



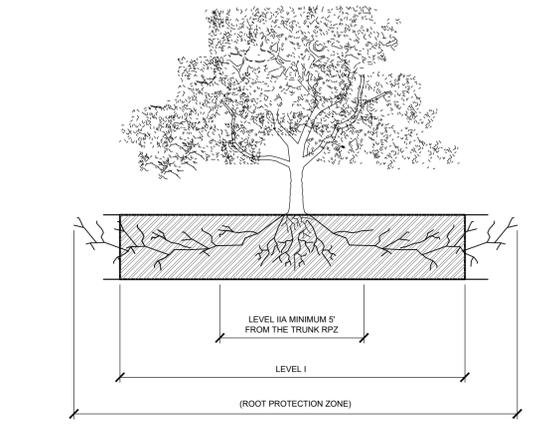
NOTE:
 1. OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
 2. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

2C LEVEL II A FENCE PROTECTION
NOT TO SCALE



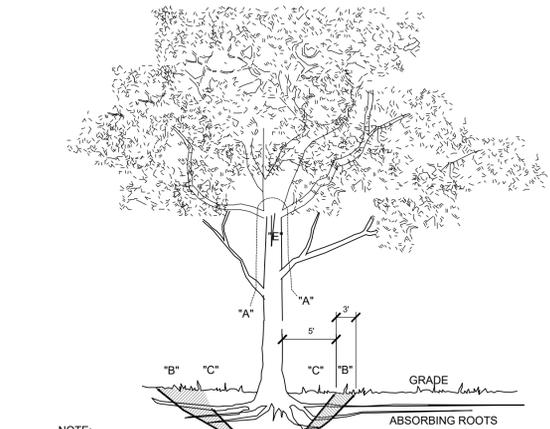
NOTE:
 1. THE FENCING SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND LIMITED TO PROJECT BOUNDARY.
 2. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

2B LEVEL I & FENCE PROTECTION
NOT TO SCALE



ROOT PROTECTION ZONE-THE ROOT PROTECTION ZONE IS A CIRCULAR AREA AROUND A TREE THAT IS BASED ON THE DIAMETER OF THE TREE. EACH 1 INCH DIAMETER OF THE TREE EQUALS 6 INCH RADIUS FOR ROOT PROTECTION ZONE.

2A LEVEL I & FENCE PROTECTION ELEVATION
NOT TO SCALE



NOTE:
 A* REMOVE BULKY TREE PARTS "SHRED" AND/OR HAUL SEPARATELY.
 B* BEGIN EXCAVATION APPROX. 8' FROM THE TRUNK - CUT THRU ANCHOR ROOTS AT AN ANGLE - 3' TO 4' DEEP
 C* USING TREE TRUNK AS A LEVER PUSH AT POINT "E" TO REMOVE TREE BOLE AND LARGE FEEDER ROOTS (4" TO 10" IN DIAM.)
 D* BACKFILL HOLE AND CLEAN UP.

1 TREE REMOVAL DIAGRAM
NOT TO SCALE

INTERIM REVIEW ONLY

Document incomplete; Not intended for permit, bidding or construction.

DATE: 10-10-2019
LANDSCAPE ARCHITECT: MATTHEW MOCZYGMBA
REGISTRATION: 2484

PROJECT #: CSA20171
DESIGNED BY: JS
DRAWN BY: JS/MP
REVIEWED BY: MM

ISSUED: XX XXX. 2018

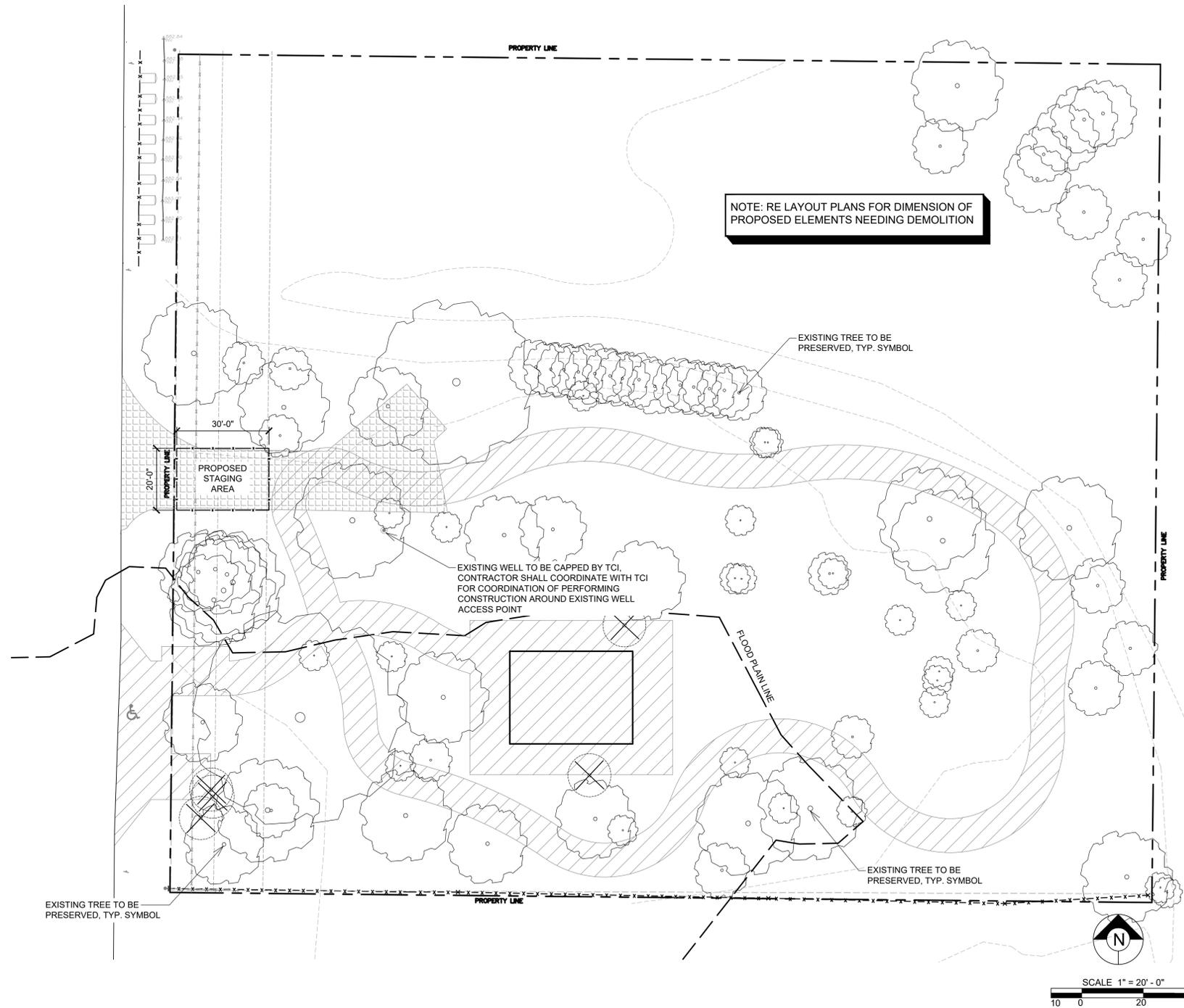
SHEET TITLE:
DEMOLITION
PLAN

SHEET NUMBER:
D1.01

HATCH LEGEND	
	EXISTING GRADE AND UNDERGROWTH REMOVAL
	EXISTING DRIVEWAY REMOVAL

DEMOLITION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH THE SPECIFICATIONS AND ALL SUBMITTAL REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE LANDSCAPE ARCHITECT FOR SITE INSPECTIONS AS SPECIFIED IN THE SPECIFICATIONS. FAILURE TO NOTIFY THE LANDSCAPE ARCHITECT DOES NOT RELIEVE THE CONTRACTOR FROM INSPECTION APPROVAL AND WILL REQUIRE THE CONTRACTOR TO INSTALL WORK AS REQUIRED FOR APPROVAL BY THE LANDSCAPE ARCHITECT AND AT THE COST OF THE CONTRACTOR.
- CONTRACTOR SHALL COORDINATE CONSTRUCTION PHASING AND STAGING AREA LOCATION (IF NEEDED) WITH THE OWNER. CONTRACTOR SHALL INSTALL A CONSTRUCTION FENCE AROUND PROPOSED SITE WORK AREAS WHERE APPROPRIATE AND IS RESPONSIBLE FOR THE SAFETY & SECURITY OF ALL ACTIVITIES AROUND THE CONSTRUCTION SITE. CONSTRUCTION FENCING SHALL MEET ALL CITY, STATE, AND FEDERAL GUIDELINES. RE: CIVIL ENGINEER PLANS FOR EROSION CONTROL, STAGING AREA (IF NEEDED), AND STABILIZED CONSTRUCTION ENTRANCE FOR THE SITE.
- DURING THE SITE DEMOLITION PROCESS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ADJACENT SITE ITEMS, EXISTING SITE STRUCTURES, EXISTING PAVING, AND EXISTING SITE UTILITIES UNLESS NOTED OTHERWISE ON PLANS. THE CONTRACTOR IS REQUIRED BY LAW TO NOTIFY TEXAS ONE CALL (800-245-4545) 72 HOURS PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES WHETHER OR NOT TEXAS ONE CALL IS NOTIFIED. ALL REMOVED MATERIAL FROM SITE SHALL BE HAULED-OFF AND DISPOSED OF ACCORDINGLY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS AS REQUIRED TO ACCOMPLISH ALL CONSTRUCTION OPERATIONS. ALL PIPING, CONDUIT, SLEEVES, ETC. SHALL BE SET IN PLACE PRIOR TO INSTALLATION OF CONSTRUCTION ITEMS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL ITEMS AS CALLED OUT PER THE PLAN AND THEIR TRANSPORT OFF-SITE.
- CONTRACTOR SHALL REFER TO TREE PRESERVATION PLANS FOR ALL PROTECTED TREES ON SITE, AND FOR TREE PROTECTION DETAILS. TREE PROTECTION METHODS AND FENCING MUST BE IN PLACE PRIOR TO START OF DEMOLITION.
- CONTRACTOR SHALL REFER TO M.E.P PLANS FOR ALL ELECTRICAL DEMOLITION WORK ON SITE.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE AND CONTACT LANDSCAPE ARCHITECT FOR DIRECTION IF DISCREPANCIES ARE FOUND WITHIN THE FIELD.
- ALL EXISTING IMPROVEMENTS, MATERIALS, UTILITIES, AND PLANT MATERIAL TO REMAIN WITHIN NEW CONSTRUCTION AREA SHALL BE PROPERLY AND ADEQUATELY PROTECTED FROM DAMAGE DURING DEMOLITION OPERATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESTORE TO THE ORIGINAL CONDITION OF THESE EXISTING ITEMS THAT ARE DAMAGED OR DISTURBED IN ANY WAY.
- CONTRACTOR SHALL ENSURE THAT ALL AREAS DISTURBED OUTSIDE INDICATED LIMITS OF CONSTRUCTION SHALL BE FINE GRADED TO MATCH EXISTING AND BROADCAST COMMON BERMUDA SEED OVER DISTURBED AREAS FOR RE-VEGETATION.
- STREETS AND ADJACENT PROPERTY SHALL BE PROTECTED THROUGHOUT THE WORK AS REQUIRED BY LOCAL CODES AND REGULATIONS.
- REFER TO STATE/CITY STANDARD PLANS AND SPECIFICATIONS WHERE APPLICABLE.
- DURING DEMOLITION OPERATIONS, EVERY EFFORT SHALL BE MADE TO CONTROL DUST PER CITY REQUIREMENTS.
- THE ENTIRE DEMOLITION AREA SHALL BE GRUBBED. GRUBBING SHALL INCLUDE ALL STUMPS AND ROOT SYSTEMS OF REMOVED PLANT MATERIAL AND ANY OTHER DELETERIOUS ITEMS. GRUBBING SHALL BE TO THE DEPTHS AS REQUIRED TO REMOVE THESE ITEMS.
- CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS AND FORMS PRIOR TO INSTALLATION OF PROPOSED ELEMENTS.





LANDSCAPE ARCHITECTURE
 PLANNING
 URBAN DESIGN
 2722 W. BITTERS RD, STE #114
 SAN ANTONIO, TX 78248
 P: 210-908-6736
 WWW.GOOPENAIR.COM

PROJECT:
 NORTH SA HILLS
 PARK

OWNER:
 CITY OF SAN ANTONIO

LOCATION:
 SAN ANTONIO, TEXAS

INTERIM REVIEW ONLY
 Document incomplete; Not intended for
 permit, bidding or construction.
 DATE: 10-10-2019
 LANDSCAPE
 ARCHITECT: MATTHEW MOCZYGENBA
 REGISTRATION: 2484

PROJECT #: CSA20171
 DESIGNED BY: JS
 DRAWN BY: JS/MP
 REVIEWED BY: MM
 ISSUED: XX XXX. 2018

SHEET TITLE:
 EPIC SHEET

SHEET NUMBER:
 ES.01

I. STORMWATER POLLUTION PREVENTION-CLEAN WATER ACT SECTION 402

Texas Pollutant Discharge Elimination System (TPDES) TXR 150000: Stormwater Discharge Permit or Construction General Permit (CGP) required for projects with 1 or more acres disturbed soil. Projects with any disturbed soil must protect for erosion and sedimentation in accordance with Item 540.

No Action Required Required Action

Action No.

- Prevent stormwater pollution by controlling erosion and sedimentation in accordance with TPDES Permit TXR 150000.
- Comply with the Storm Water Pollution Prevention Plan (SW3P) and revise when necessary to control pollution or required by the Engineer.
- Post Construction Site Notice (CSN) with SW3P information on or near the site, accessible to the public and Texas Commission on Environmental Quality (TCEQ), Environmental Protection Agency (EPA) or other inspectors.
- When Contractor project specific locations (PSL's) increase disturbed soil area to 5 acres or more, Contractor shall submit Notice of Intent (NOI) to TCEQ and the COSA Inspector.
- NOI required: Yes No

Note: If amount of soil disturbance changes, permit requirements may change.

II. WORK IN OR NEAR STREAMS, WATERBODIES AND WETLANDS CLEAN WATER ACT SECTIONS 401 AND 404

US Army Corps of Engineers (USACE) Permit required for filling, dredging, excavating or other work in any potential USACE jurisdictional water, such as, rivers, creeks, streams, or wetlands.

The Contractor shall adhere to all of the terms and conditions associated with the following permit(s):

- No Permit Required
- Nationwide Permit (NWP) 14 - Pre-construction Notice (PCN) not Required
- Nationwide Permit 14 - PCN Required
- Individual 404 Permit Required
- Other Nationwide Permit Required: NWP# _____

Required Actions: List waters of the US permit applies to, location in project and check Best Management Practices (BMPs) planned to control erosion, sedimentation and post-project total suspended solids (TSS).

-
-
-
-

401 Best Management Practices: (Not applicable if no USACE permit)

Erosion	Sedimentation	Post-Construction TSS
<input type="checkbox"/> Temporary Vegetation	<input type="checkbox"/> Silt Fence	<input type="checkbox"/> Vegetative Filter Strips
<input type="checkbox"/> Blankets/Matting	<input type="checkbox"/> Rock Berm	<input type="checkbox"/> Retention/Irrigation Systems
<input type="checkbox"/> Mulch	<input type="checkbox"/> Triangular Filter Dike	<input type="checkbox"/> Extended Detention Basin
<input type="checkbox"/> Sodding	<input type="checkbox"/> Sand Bag Berm	<input type="checkbox"/> Constructed Wetlands
<input type="checkbox"/> Interceptor Swale	<input type="checkbox"/> Straw Bale Dike	<input type="checkbox"/> Wet Basin
<input type="checkbox"/> Diversion Dike	<input type="checkbox"/> Brush Berms	<input type="checkbox"/> Erosion Control Compost
<input type="checkbox"/> Erosion Control Compost	<input type="checkbox"/> Erosion Control Compost	<input type="checkbox"/> Mulch Filter Berm and Socks
<input type="checkbox"/> Mulch Filter Berm and Socks	<input type="checkbox"/> Mulch Filter Berm and Socks	<input type="checkbox"/> Compost Filter Berm and Socks
<input type="checkbox"/> Compost Filter Berm and Socks	<input type="checkbox"/> Compost Filter Berm and Socks	<input type="checkbox"/> Vegetation Lined Ditches
	<input type="checkbox"/> Stone Outlet Sediment Traps	<input type="checkbox"/> Sand Filter Systems
	<input type="checkbox"/> Sediment Basins	<input type="checkbox"/> Sedimentation Chambers
		<input type="checkbox"/> Grassy Swales

III. CULTURAL RESOURCES

Cultural resources fall under the Antiquities Code of Texas and/or the National Historic Preservation Act, as amended in 1966. If a previously unidentified archeological site is encountered during construction work, activities should be immediately stopped in the vicinity and the City Archeologist (210-207-7306) notified and/or the SHPO.

No Action Required Required Action

Action No.

-
-
-
-

IV. VEGETATION RESOURCES

Preserve native vegetation to the extent practical. Contractor must adhere to Construction Specification Requirements Specs 162,164, 192, 193, 506, 730, 751, 752 in order to comply with requirements for invasive species, beneficial landscaping, and tree/brush removal commitments.

No Action Required Required Action

Action No.

- Ensure that a tree permit is in place for this project, if required.
- Follow the tree preservation/mitigation plan provided in the design plan set. If there are any questions or concerns, please contact the City Arborist at 210-207-0278, before any work begins.

V. FEDERAL LISTED, PROPOSED THREATENED, ENDANGERED SPECIES, CRITICAL HABITAT, STATE LISTED SPECIES, CANDIDATE SPECIES AND MIGRATORY BIRDS.

No Action Required Required Action

Action No.

- MIGRATORY BIRD NESTS:** Schedule construction activities as needed to meet the following requirements:
 - Do not remove or destroy any active migratory bird nests (nests containing eggs and/or flightless birds) at any time of year. If there are any active nests, they shall not be removed until the nests become inactive.
 - On/in structures, if there are any active nests, they shall not be removed until all nests become inactive. After inactive nests are removed and/or before nest activity begins, deterrent materials may be applied to the structures to prevent future nest building.
- Deterrent material should be placed (and maintained) after October 1 or before February 15.
- The preferred nesting season for migratory birds is from February 15 through October 1. When practicable, schedule construction operations outside of the preferred nesting season.

If any of the listed species are observed, cease work in the immediate area, do not disturb species or habitat and contact the COSA Inspector immediately. The work may not remove active nests from bridges and other structures during nesting season of the birds associated with the nests. If caves or sinkholes are discovered, cease work in the immediated area, and contact the COSA Inspector immediately.

VI. HAZARDOUS MATERIALS OR CONTAMINATION ISSUES

General (applies to all projects):
 Comply with the Hazard Communication Act (the Act) for personnel who will be working with hazardous materials by conducting safety meetings prior to beginning construction and making workers aware of potential hazards in the workplace. Ensure that all workers are provided with personal protective equipment appropriate for any hazardous materials used.

Obtain and keep on-site Material Safety Data Sheets (MSDS) for all hazardous products used on the project, which may include, but are not limited to the following categories: Paints, acids, solvents, asphalt products, chemical additives, fuels and concrete curing compounds or additives. Provide protected storage, off bare ground and covered, for products which may be hazardous. Maintain product labelling as required by the Act.

Maintain an adequate supply of on-site spill response materials, as indicated in the MSDS. In the event of a spill, take actions to mitigate the spill as indicated in the MSDS, in accordance with safe work practices, and contact the COSA Inspector immediately. The Contractor shall be responsible for the proper containment and cleanup of all product spills.

Contact the COSA Inspector if any of the following are detected:

- * Dead or distressed vegetation (not identified as normal)
- * Trash piles, drums, canister, barrels, etc.
- * Undesirable smells or odors
- * Evidence of leaching or seepage of substances

Hazardous Materials or Contamination Issues Specific to this Project:

No Action Required Required Action

Action No.

-
-
-

Does the project involve the demolition of a span bridge?

Yes No (No further action required)

If "Yes", a pre-demolition notification must be submitted to the Texas Department of State Health Services. The contractor shall contact the Project Engineer 25 calendar days prior to the demolition of the bridges(s) on the project to assist with the notification.

VII. OTHER ENVIRONMENTAL ISSUES

(includes regional issues such as Edwards Aquifer District, etc.)

No Action Required Required Action

Action No.

-
-
-

North Hills Park (2017 Bond)
 September 2019

**ENVIRONMENTAL_PERMITS,
 ISSUES_AND_COMMITMENTS**

EPIC

FILE: epic.2015-10-09 SAT.dgn	DN: COSA	CK: COSA	DW: LG	CK: JS
© TxDOT NOVEMBER 2018	CONT	SECT	JOB	HIGHWAY
REVISIONS				
	DIST	COUNTY	SHEET NO.	

DISCLAIMER: The use of this standard is governed by the "Texas Engineering Practice Act". No warranty of any kind is made by TxDOT for any purpose whatsoever. TxDOT assumes no responsibility for the conversion of this standard to other formats or for incorrect results or damages resulting from its use.



LANDSCAPE ARCHITECTURE
 PLANNING
 URBAN DESIGN
 2722 W. BITTERS RD, STE #114
 SAN ANTONIO, TX 78248
 P: 210-908-6736
 WWW.GOPENAIR.COM

PROJECT:
 NORTH SA HILLS
 PARK

OWNER:
 CITY OF SAN ANTONIO

LOCATION:
 SAN ANTONIO, TEXAS

INTERIM REVIEW ONLY

Document incomplete; Not intended for permit, bidding or construction.

DATE: 10-10-2019
 LANDSCAPE ARCHITECT: MATTHEW MOCZYGEMBA
 REGISTRATION: 2484

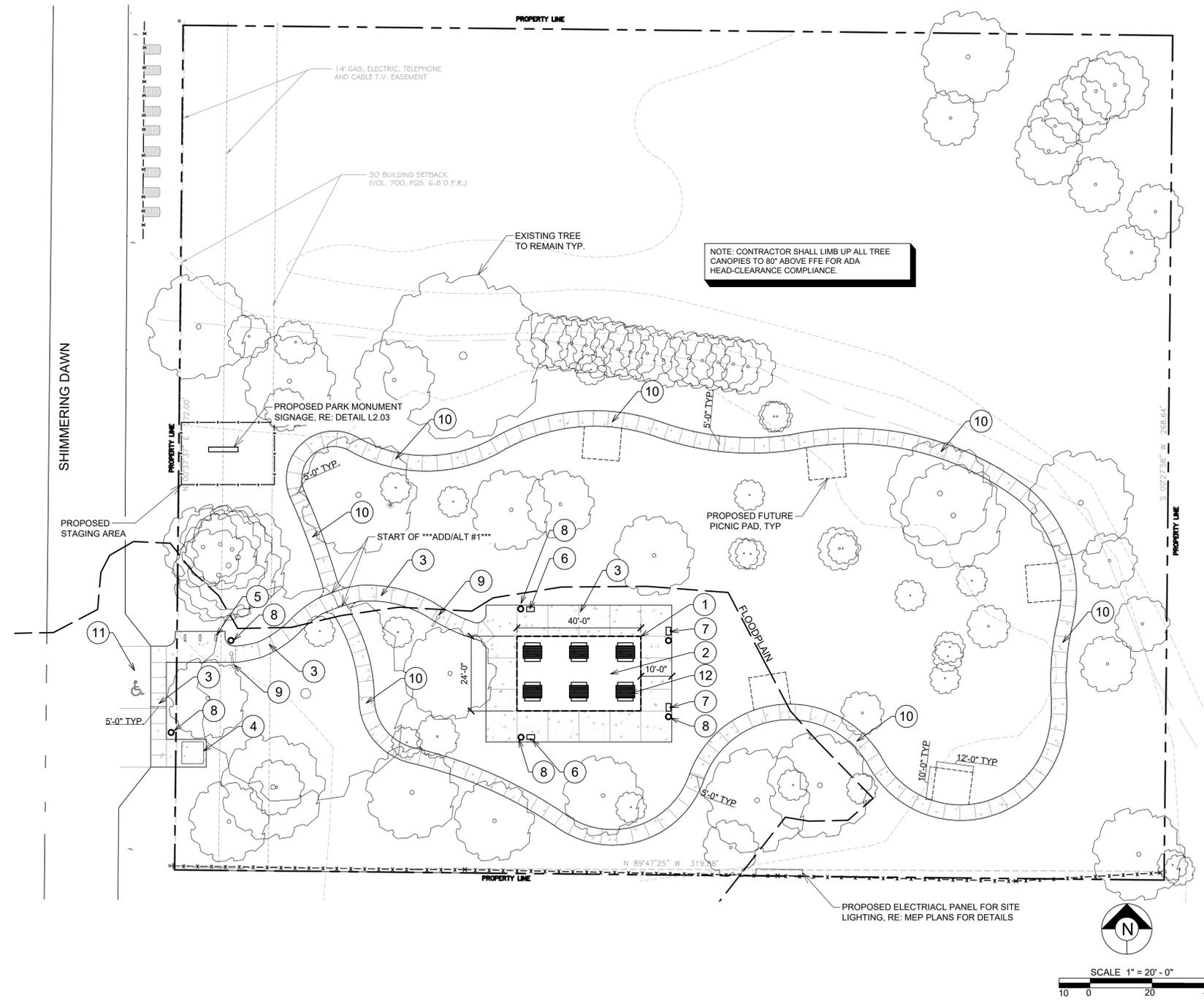
PROJECT #: CSA20171
 DESIGNED BY: JS
 DRAWN BY: JS/MP
 REVIEWED BY: MM

ISSUED: XX XXX. 2018

SHEET TITLE:
 MATERIALS
 PLAN

SHEET NUMBER:
 L1.01

MATERIALS LEGEND	
1.	24'x40' BASIC GABLE STRUCTURE BY COVERWORX, MODEL GA-2440-SW-10. RE: DETAIL L2.02
2.	5" THICK MEDIUM BROOM FINISH CONCRETE SLAB WITH 12" TURN DOWN AT EDGE, RE: DETAIL L2.01
3.	5'-0" WIDE MEDIUM BROOM FINISHED CONCRETE SIDEWALK, 4" THICK. RE: DETAIL L2.01
4.	CITY STANDARD ADA ACCESSIBLE PORT-A-POTTY. RE: DETAILS L2.03
5.	SURFACE MOUNTED PARK-IT 2-BIKE RACK, RE DETAIL L2.02
6.	CITY STANDARD GRILLING STATION. RE DETAIL L2.01
7.	CITY STANDARD DOUBLE GRILLING STATION. RE DETAIL XX
8.	CITY STANDARD TRASH RECEPTACLE. RE DETAIL L2.01
9.	LINE VOLTAGE LED PARK LIGHTING, RE: MEP PLANS FOR DETAILS
10.	***ADD/ALT #1*** 5'-0" WIDE MEDIUM BROOM FINISHED CONCRETE SIDEWALK, 4" THICK. RE: DETAIL L2.01
11.	***ADD/ALT #2*** PARALLEL PARKING SPACES, RE: CIVIL DRAWINGS FOR DETAILS.
12.	***ADD/ALT #3*** CITY STANDARD CAST IN PLACE CONCRETE PICNIC TABLE. RE: DETAIL L2.02





LANDSCAPE ARCHITECTURE
 PLANNING
 URBAN DESIGN
 2722 W. BITTERS RD, STE #114
 SAN ANTONIO, TX 78248
 P: 210-908-6736
 WWW.GOOPENAIR.COM

PROJECT:
 NORTH SA HILLS
 PARK

OWNER:
 CITY OF SAN ANTONIO

LOCATION:
 SAN ANTONIO, TEXAS

INTERIM REVIEW ONLY

Document incomplete; Not intended for permit, bidding or construction.

DATE: 10-10-2019
 LANDSCAPE ARCHITECT: MATTHEW MOCZYGEMBA
 REGISTRATION: 2484

PROJECT #: CSA20171
 DESIGNED BY: JS
 DRAWN BY: JS/MP
 REVIEWED BY: MM

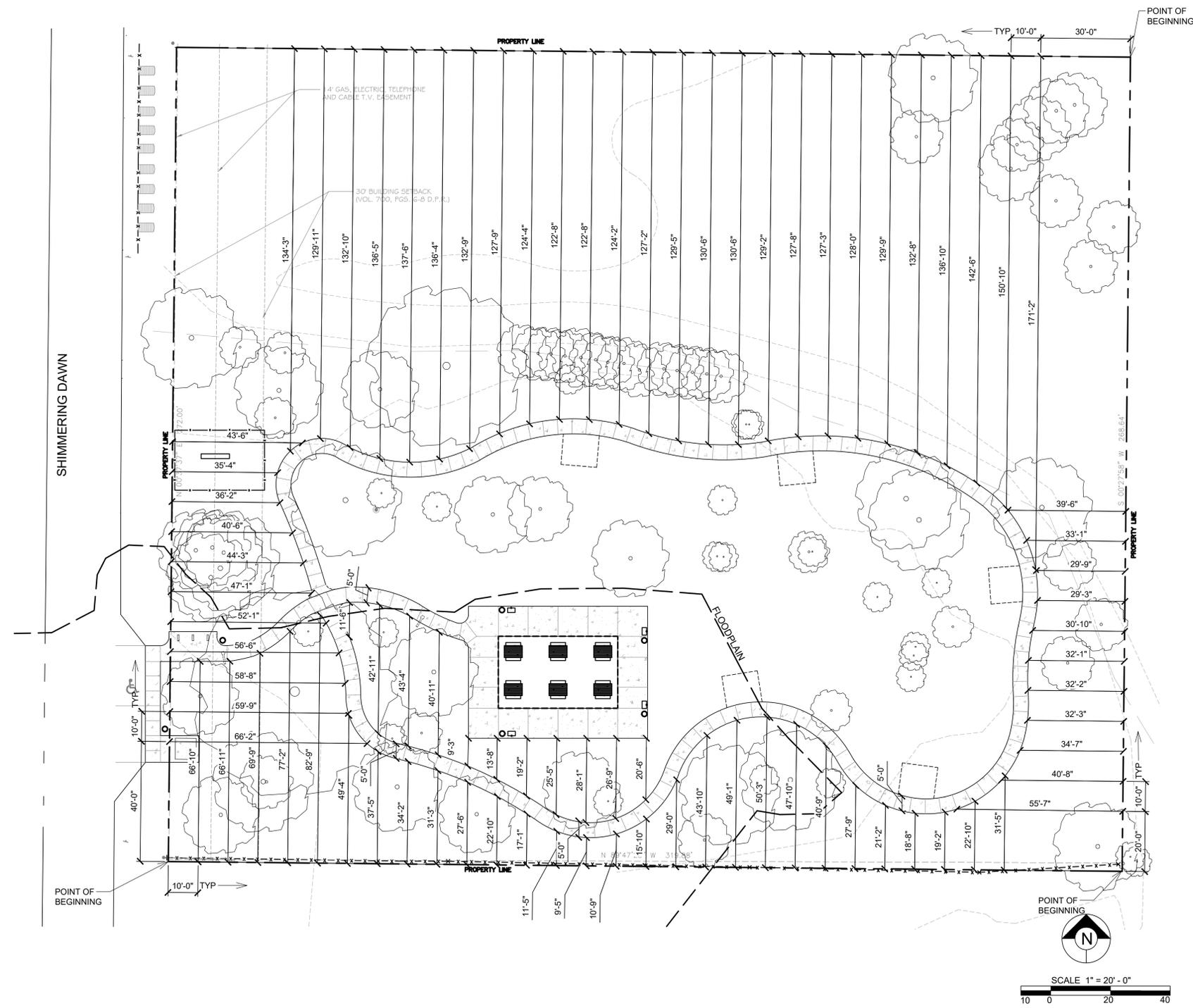
ISSUED: XX XXX. 2018

SHEET TITLE:
 LAYOUT PLAN
 TRAIL

SHEET NUMBER:
 L1.02

LAYOUT NOTES

1. ALL BASELINE AND DIMENSION LINES ARE PARALLEL AND PERPENDICULAR TO EXISTING HARDSCAPE AND VERTICAL ELEMENTS ON SITE. CONTACT LANDSCAPE ARCHITECT IF ANY DISCREPANCIES OCCUR.
2. CONTRACTOR TO LAYOUT AND CLEARLY MARK ALL ELEMENTS FOR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO PLACING FORMS. CONTACT LANDSCAPE ARCHITECT 5 DAYS PRIOR TO PLACING FORMS FOR REVIEW.
3. CONTRACTOR TO VERIFY EXISTING IRRIGATION VALVE LOCATIONS IN FIELD PRIOR TO INSTALLING LANDSCAPE AND CONTACT LANDSCAPE ARCHITECT IF ANY DISCREPANCIES OCCUR.



INTERIM REVIEW ONLY

Document incomplete; Not intended for permit, bidding or construction.

DATE: 10-10-2019
LANDSCAPE ARCHITECT: MATTHEW MOCZYGMBA
REGISTRATION: 2484

PROJECT #: CSA20171
DESIGNED BY: JS
DRAWN BY: JS/MP
REVIEWED BY: MM

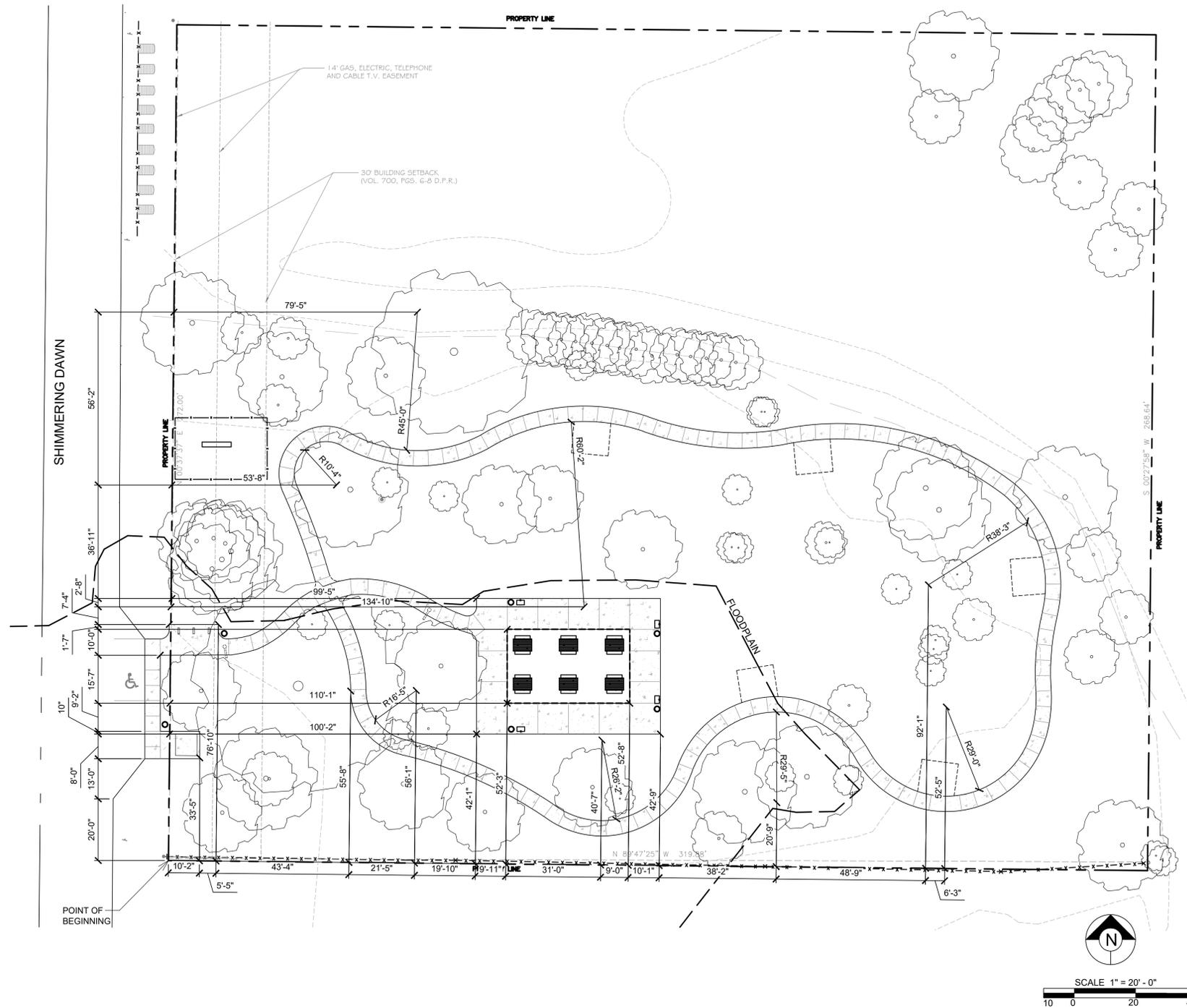
ISSUED: XX XXX. 2018

SHEET TITLE:
LAYOUT PLAN
PAVILLION
AND RADIUS

SHEET NUMBER:
L1.03

LAYOUT NOTES

1. ALL BASELINE AND DIMENSION LINES ARE PARALLEL AND PERPENDICULAR TO EXISTING HARDSCAPE AND VERTICAL ELEMENTS ON SITE. CONTACT LANDSCAPE ARCHITECT IF ANY DISCREPANCIES OCCUR.
2. CONTRACTOR TO LAYOUT AND CLEARLY MARK ALL ELEMENTS FOR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO PLACING FORMS. CONTACT LANDSCAPE ARCHITECT 5 DAYS PRIOR TO PLACING FORMS FOR REVIEW.
3. CONTRACTOR TO VERIFY EXISTING IRRIGATION VALVE LOCATIONS IN FIELD PRIOR TO INSTALLING LANDSCAPE AND CONTACT LANDSCAPE ARCHITECT IF ANY DISCREPANCIES OCCUR.



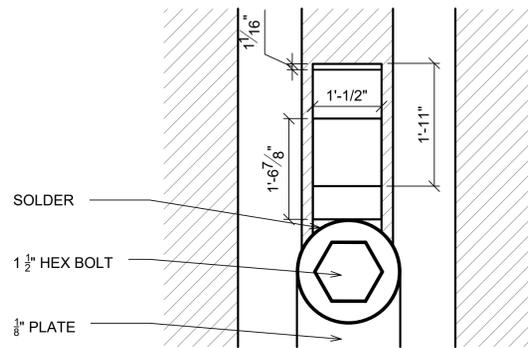
INTERIM REVIEW ONLY

Document incomplete; Not intended for permit, bidding or construction.
DATE: 10-10-2019
LANDSCAPE ARCHITECT: MATTHEW MOCZYGENBA
REGISTRATION: 2484

PROJECT #: CSA20171
DESIGNED BY: JS
DRAWN BY: JS/MP
REVIEWED BY: MM
ISSUED: XX XXX, 2018

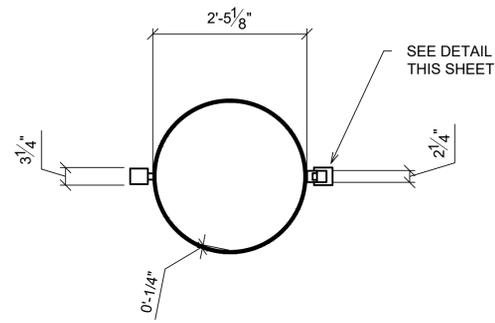
GENERAL NOTES

- SHOP DRAWINGS SIGNED AND SEALED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF TEXAS. TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION ON ANY STRUCTURE OR SITE ITEM. REINFORCEMENT SHOWN IS FOR GRAPHICAL REPRESENTATION ONLY AND SHALL NOT BE CONSTRUCTED AS PART OF ANY GRADE BEAMS, PIERS, CAPS, SEAT WALLS, CONNECTIONS, ETC. SHOP DRAWINGS SHALL INDICATE ALL MEMBERS, CONNECTIONS, WELDS, FASTENINGS, MATERIALS, WIND LOADING CAPACITY, ETC. PRIOR TO FABRICATION AND INSTALLATION.
- ALL CONCRETE SAWCUTS TO BE A MIN. WIDTH OF 1/2" AND A MIN. DEPTH OF 1/2".
- CONTRACTOR SHALL SUPPLY SHOP DRAWINGS FOR ALL ORNAMENTAL IRON AND CHAINLINK FENCING PROPOSED ON SITE TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- METAL FABRICATION, PREPARATION, AND COATINGS
 - ALL METAL COMPONENTS TO BE STEEL WITH PRIMER COATING OR ALUMINUM AS INDICATED.
 - SUBMIT SPECIFICATIONS ON ALUMINUM AND STEEL GRADE AND QUALITY FOR APPROVAL.
 - WELDS TO BE CONTINUOUS AND NEAT. GRIND SMOOTH AND FLUSH. GRIND INSIDE CORNERS TO SMOOTH ROUNDED FORM.
 - PREPARATION: BLAST AND GRIND/WIRE BRUSH TO REMOVE ALL MILL SCALE AND SURFACE FLAKING, AND AS RECOMMENDED BY PRIMER MANUFACTURER.
- COATING APPLICATION: PRIMER - SHOP APPLY BY SPRAY APPLICATOR ONE SMOOTH 5-10 MIL (DRY) COAT OF SHERWIN-WILLIAMS MACROPOXY 646 FAST CURE EPOXY UNIVERSAL PRIMER (NO MORE THAN 10 MIL THICK). CURE TIME AS RECOMMENDED BY MANUFACTURER. SUBMIT PRIMER / INTERMEDIATE / TOPCOAT SYSTEM FOR APPROVAL.
 - INTERMEDIATE - SHOP APPLY BY SPRAY APPLICATION ONE SMOOTH 2-4 MIL COAT (DRY) OF SHERWIN WILLIAMS COROTHANE II POLYURETHANE OR APPROVED EQUAL. CURE TIME AS RECOMMENDED BY MANUFACTURER.
 - TOP COAT - SHOP APPLY BY SPRAY APPLICATOR ONE SMOOTH 2-4 MIL COAT OF SHERWIN-WILLIAMS COROTHANE II POLYURETHANE (GLOSS FLAT FINISH) OR APPROVED EQUAL. CURE TIME AS RECOMMENDED BY MANUFACTURER.
 - TOUCH UP - TOUCH UP WITH POLYURETHANE TOP COAT ON SITE TO ACHIEVE SMOOTH FINISH IF REQUIRED. DUE TO MINOR DAMAGE TO COATING DURING INSTALLATION, RE-PRIME AND RE-PAINT INTERMEDIATE COAT PER MANUFACTURE'S RECOMMENDATIONS IF BARE METAL IS EXPOSED.
 - COLOR - TO BE SELECTED BY CONSULTANT. SUBMIT PAINTED METAL SAMPLES FOR APPROVAL.



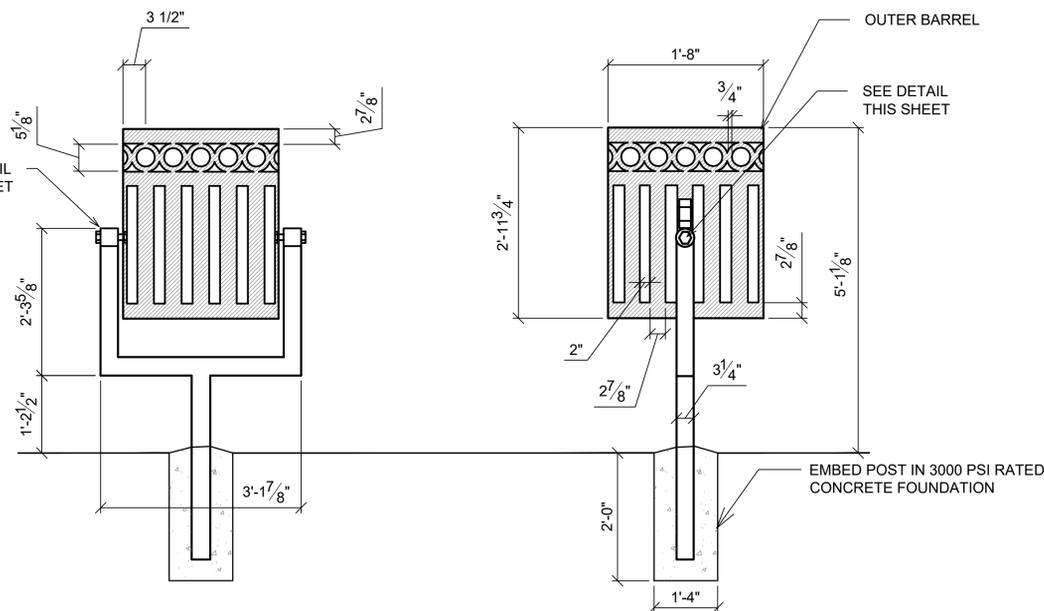
6 TRASH RECEPTICAL PLAN VIEW

SCALE: 3/4" = 1'-0"



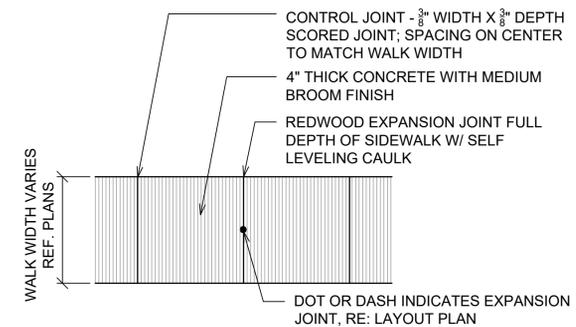
5 TRASH RECEPTICAL ELEVATION

SCALE: 3/4" = 1'-0"



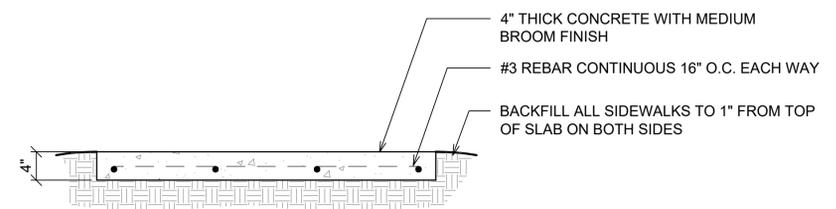
3 SIDEWALK FINISH

SCALE: 1/4" = 1'-0"



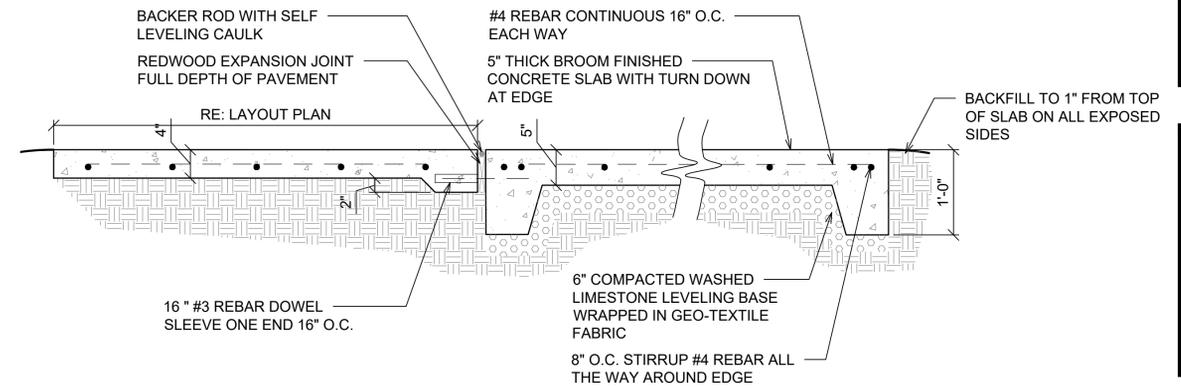
2 TYPICAL SIDEWALK

SCALE: 1" = 1'-0"



1 CONTROL JOINT/EXPANSION JOINT

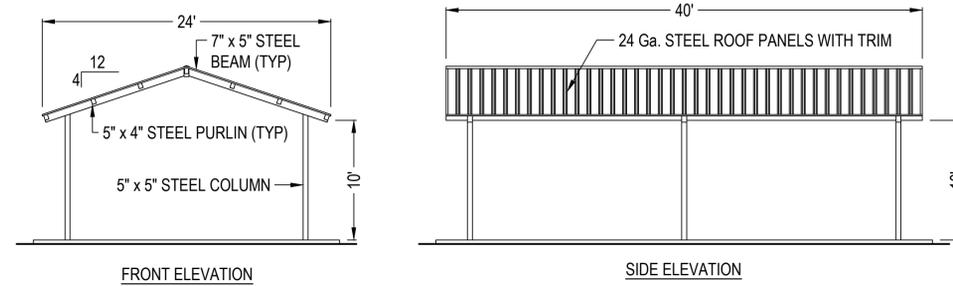
SCALE: 1" = 1'-0"



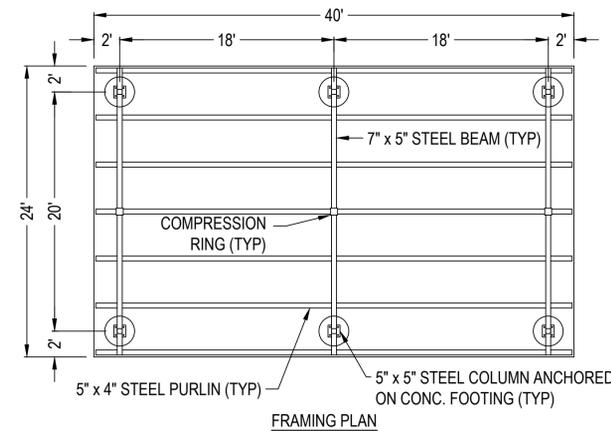
4 SIDEWALK TO SLAB CONTROL JOINT/EXPANSION JOINT

SCALE: 1" = 1'-0"

ELEVATION



NOTE: CONTRACTOR SHALL INCLUDE SIGNED AND SEALED STRUCTURAL ENGINEER DRAWINGS FROM COVERWORK WITHIN BID AND SUPPLY SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION. CONTACT DEBRA FINCH W/ PAUL E. ALLAN CO. AT 214-697-1320

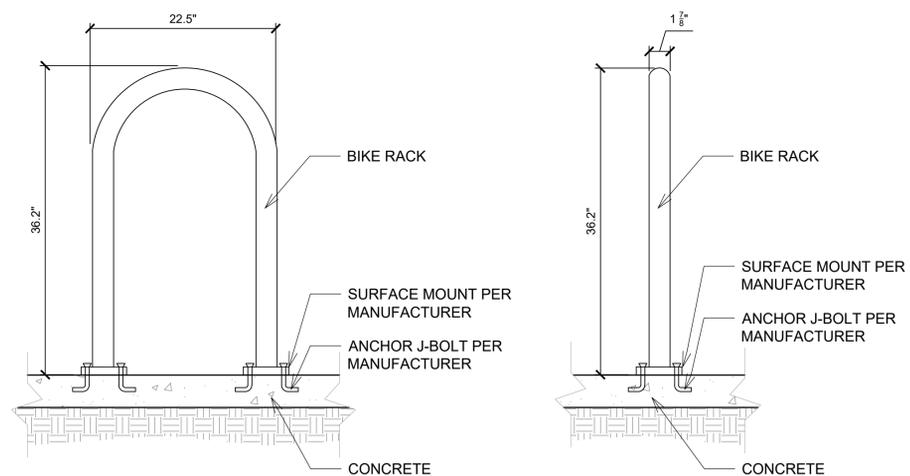


- SELECT DESIRED COLOR:
- | | | | |
|---|---------------------------------------|--------------------------------------|---|
| <input type="checkbox"/> WHITE | <input type="checkbox"/> ROMAN BLUE | <input type="checkbox"/> CHARCOAL | <input type="checkbox"/> TERRATONE |
| <input type="checkbox"/> CLAY | <input type="checkbox"/> SURREY BEIGE | <input type="checkbox"/> TUDOR BROWN | <input type="checkbox"/> EVERGREEN |
| <input type="checkbox"/> IVORY | <input type="checkbox"/> ASH GREY | <input type="checkbox"/> MATTE BLACK | <input type="checkbox"/> BRANDYWINE |
| <input type="checkbox"/> PATRICIAN BRONZE | <input type="checkbox"/> LIGHT STONE | <input type="checkbox"/> AUTUMN RED | <input type="checkbox"/> HARTFORD GREEN |

- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.
 3. DO NOT SCALE DRAWING.
 4. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info REFERENCE NUMBER 4168-31.

6 BASIC GABLE STRUCTURE

NTS

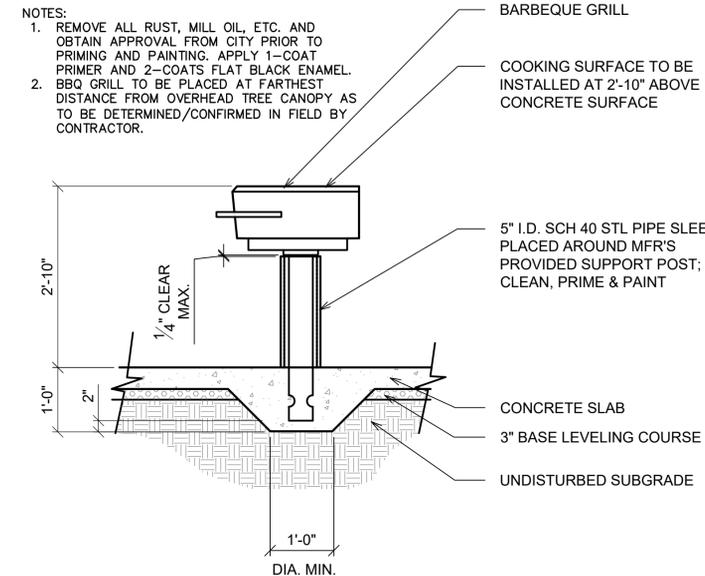


5 PARK-IT 2 BIKE RACK, SURFACE MOUNT

NTS

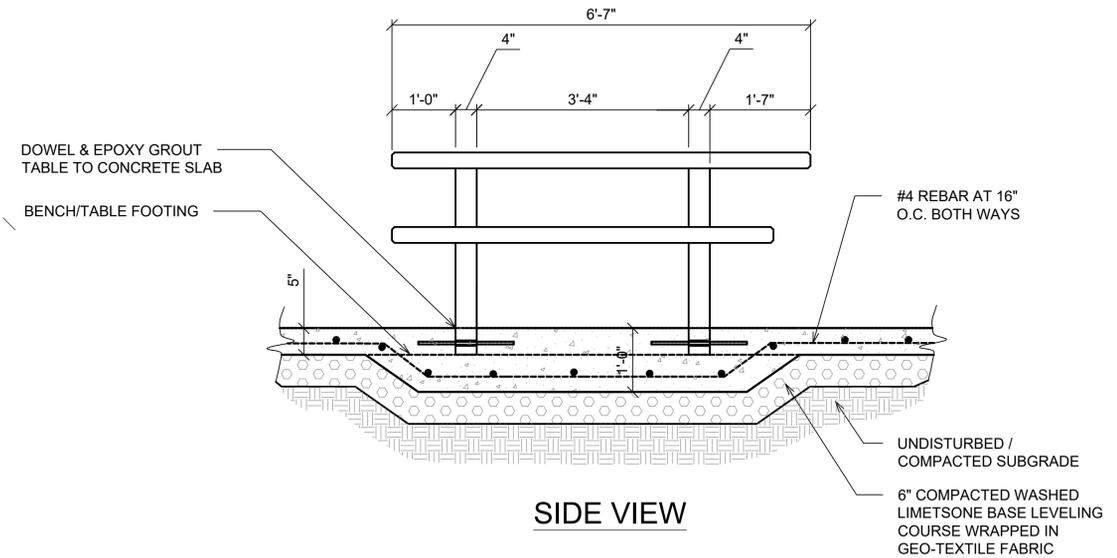
4 PARK-IT 2 BIKE RACK, SIDE VIEW

NTS



3 CITY STANDARD GRILLING STATION

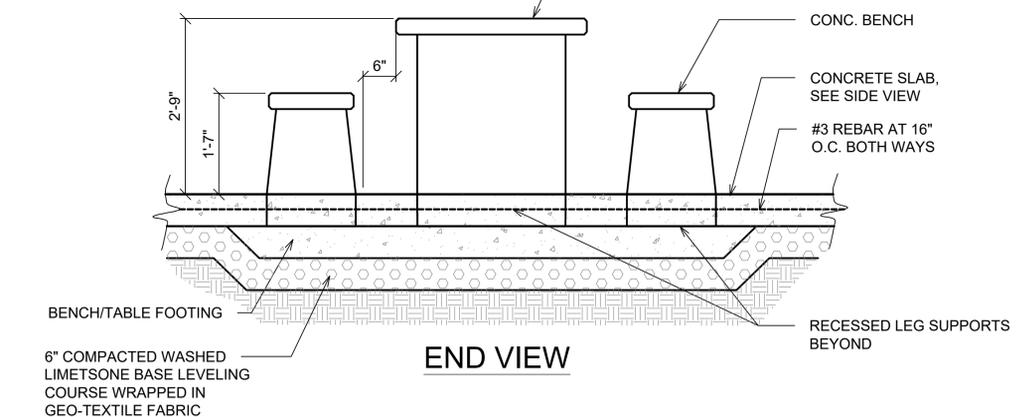
SCALE: 3/4" = 1'-0"



2 CITY STANDARD CAST IN PLACE CONCRETE PICNIC TABLE

SCALE: 3/4" = 1'-0"

CONC. PRECAST BENCH AND TABLE AVAILABLE FROM MACON CONC. PRODUCTS, 210/732-8591, PYRAMID STONE CO. 210/533-3511 OR APPROVED EQUAL



1 CITY STANDARD CAST IN PLACE CONCRETE PICNIC TABLE

SCALE: 3/4" = 1'-0"



LANDSCAPE ARCHITECTURE
PLANNING
URBAN DESIGN
2722 W. BITTERS RD, STE #114
SAN ANTONIO, TX 78248
P: 210-908-6736
WWW.GOOPENAIR.COM

PROJECT:
NORTH SA HILLS
PARK

OWNER:
CITY OF SAN ANTONIO

LOCATION:
SAN ANTONIO, TEXAS

INTERIM REVIEW ONLY

Document incomplete; Not intended for permit, bidding or construction.
DATE: 10-10-2019
LANDSCAPE ARCHITECT: MATTHEW MOCZYGENBA
REGISTRATION: 2484

PROJECT #: CSA20171
DESIGNED BY: JS
DRAWN BY: JS/MP
REVIEWED BY: MM

ISSUED: XX XXX, 2018

SHEET TITLE:
GENERAL SITE
DETAILS

SHEET NUMBER:
L2.02

INTERIM REVIEW ONLY

Document incomplete; Not intended for permit, bidding or construction.

DATE: 10-10-2019
 LANDSCAPE ARCHITECT: MATTHEW MOCZYGEMBA
 REGISTRATION: 2484

PROJECT #: CSA20171
 DESIGNED BY: JS
 DRAWN BY: JS/MP
 REVIEWED BY: MM

ISSUED: XX XXX, 2018

SHEET TITLE:
 GRADING
 PLAN

SHEET NUMBER:
 L3.01

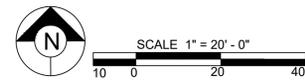
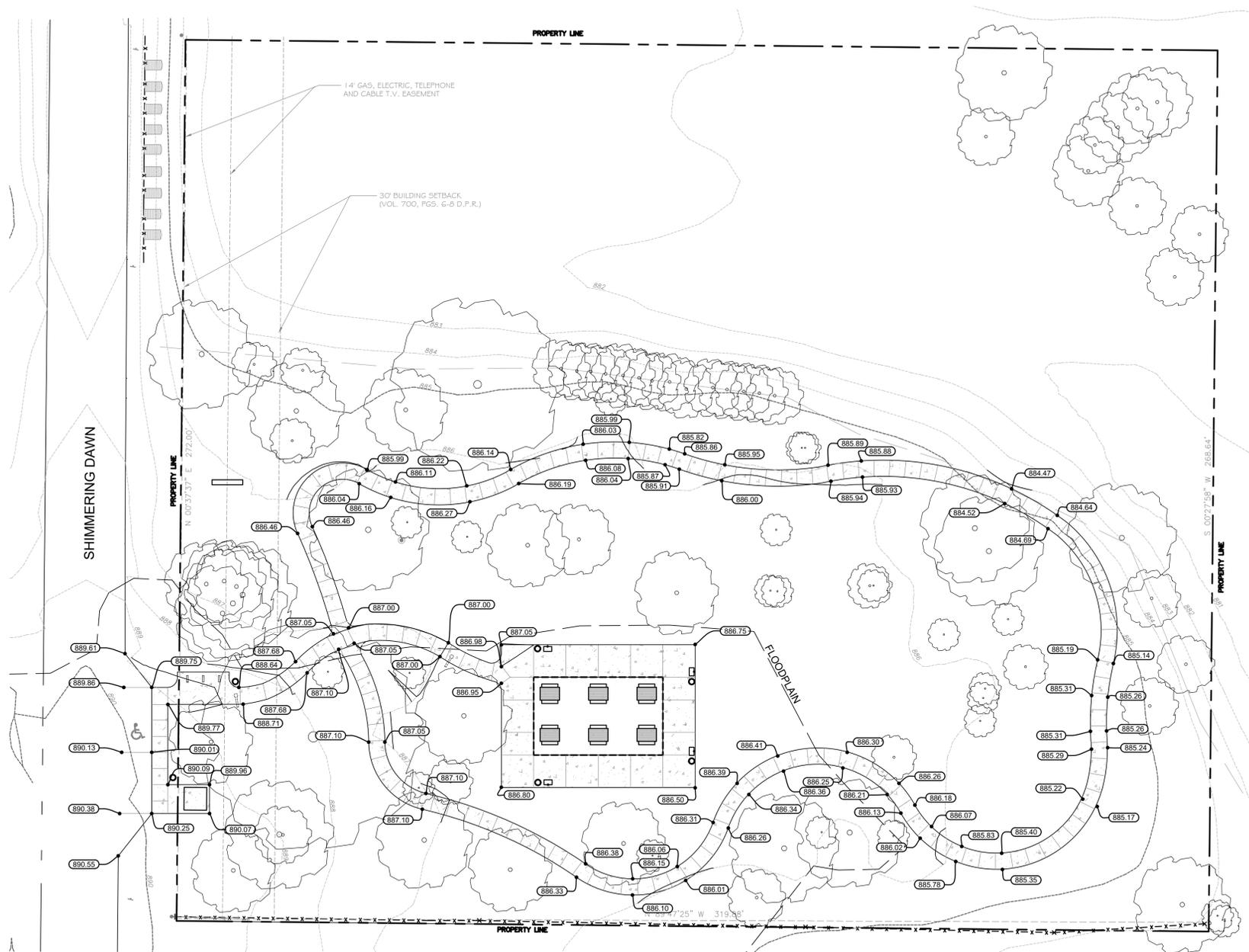
GRADING NOTES

- ALL AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE FINE GRADED TO ACHIEVE POSITIVE DRAINAGE. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IN WRITING FOR CLARIFICATION AND PROCESS IF ANY AREA WITHIN CONSTRUCTION LIMITS DOES NOT ACHIEVE PROPER DRAINAGE.
- ALL PROPOSED GRADES INDICATED ARE FINISHED GRADES. THE PROPOSED PAVING IS SHOWN TO FINISHED GRADE AND THE CONTRACTOR IS RESPONSIBLE FOR EXCAVATIONS AND IMPROVEMENTS AS PART OF THE OVERALL MASS GRADING.
- ALL LANDFORMS AND SWALES SHALL BE GRADED TO BE A SMOOTH, FLOWING, ROUNDED SURFACE PROVIDING POSITIVE DRAINAGE AND VISUAL LAND FORM CONTINUITY.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL CLEARED BRUSH, DEBRIS, ETC, FROM THE LIMITS OF CONSTRUCTION, DISPOSE OF MATERIALS OFF SITE.
- EXISTING TREES THAT ARE IDENTIFIED ON THE DRAWINGS TO BE PRESERVED SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. CONSTRUCTION EQUIPMENT SHALL NOT OPERATE, PARK, OR BE STOPPED UNDER THE CANOPIES OF EXISTING TREES.
- WHEN CLEARING FOR GRADING, THE CONTRACTOR SHALL COORDINATE TREE PRESERVATION WITH THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE.
- GRADING FOR ALL IMPROVEMENTS SHALL OCCUR AS DIRECTED BY THE LANDSCAPE ARCHITECT WITH THE FOLLOWING GUIDELINES:
 - ALL WALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% IN THE DIRECTION OF THE DOWNHILL SIDE.
 - THE LONGITUDINAL SLOPE OF ALL WALKS AND/OR TRAILS SHALL BE NO GREATER THAN 4.9%, UNLESS OTHERWISE NOTED.
 - ALL GRADES SHALL BE FURNISHED TO A SMOOTH, FLOWING CONTOUR; MAINTAINING EXISTING FLOW PATTERNS, UNLESS DIRECTED OTHERWISE.
- REFER TO LAYOUT SHEETS FOR ALL LAYOUT INFORMATION.
- REFER TO CIVIL ENGINEERING SHEETS FOR STORM WATER DRAINAGE AND UTILITY INFORMATION.
- CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND MARKING OF ALL EXISTING UNDERGROUND OR ABOVE GROUND UTILITIES WITHIN THE PROJECT AREA.

GRADING LEGEND

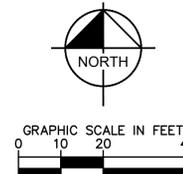
	PROPOSED FINISHED GRADE
	EXISTING CONTOUR
	PROPOSED CONTOUR

NOTE:
 PROPOSED CONTOURS REPRESENT 1' FOOT CONTOURS AND ARE SHOWN TO PROVIDE APPROXIMATE GRADING LIMITS





Know what's below.
Call before you dig.

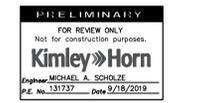


LANDSCAPE ARCHITECTURE
PLANNING
URBAN DESIGN
2310 N. LOOP 1604, STE #22
SAN ANTONIO, TX 78232
P: 210-908-6736
WWW.GOOPENAIR.COM

PROJECT:
NORTH HILLS PARK

OWNER:
CITY OF SAN ANTONIO
TRAFFIC AND CAPITAL
IMPROVEMENTS

LOCATION:
3222 SHIMMERING DAWN
SAN ANTONIO, TEXAS



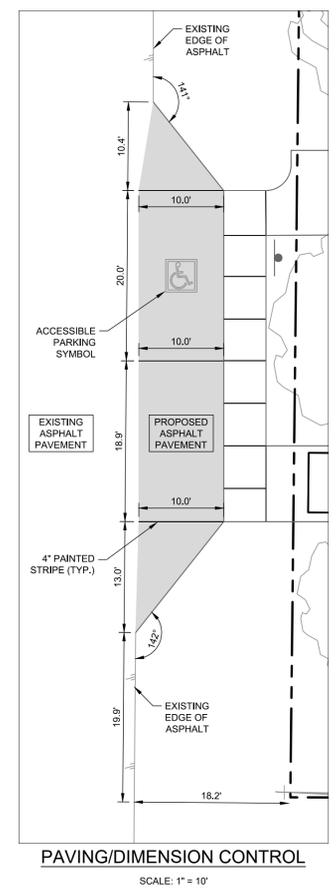
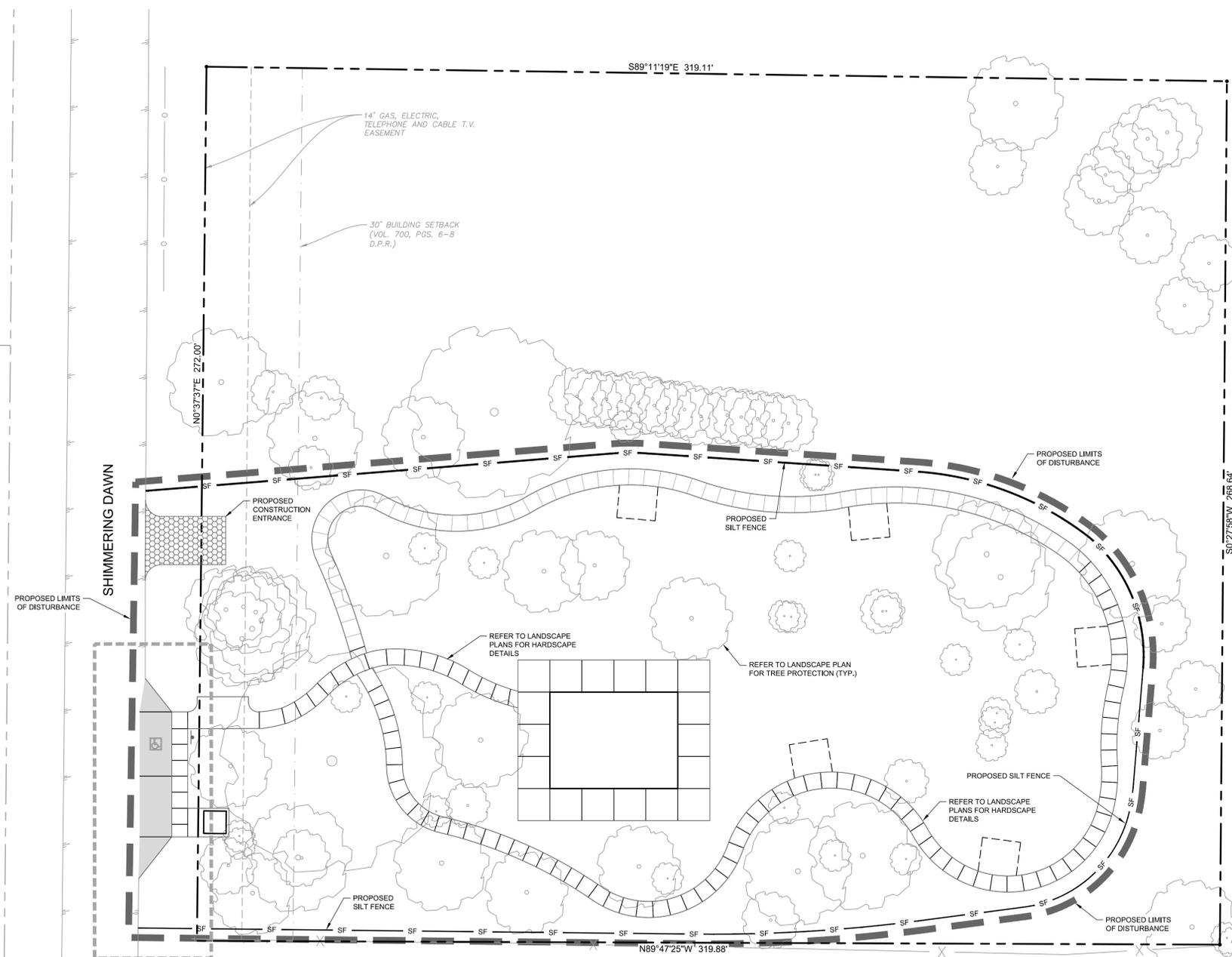
PROJECT #:
DESIGNED BY: MAS
DRAWN BY: NRS
REVIEWED BY: MAS

ISSUED: 9/19/2019



SHEET TITLE:
CIVIL
SITE
PLAN

SHEET NUMBER:
C1.0



- GENERAL EROSION CONTROL NOTES:
1. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL EROSION CONTROL AND WATER QUALITY REQUIREMENTS, LAWS, AND ORDINANCES THAT APPLY TO THE CONSTRUCTION SITE LAND DISTURBANCE.
2. CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE "TCEQ GENERAL PERMIT TO DISCHARGE UNDER THE TEXAS POLLUTANT DISCHARGE ELIMINATION SYSTEM (TAR 15000)".
3. EROSION CONTROL DEVICES SHOWN ON THE EROSION CONTROL PLAN FOR THE PROJECT SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE.
4. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT.
5. CONTRACTOR IS SOLELY RESPONSIBLE FOR INSTALLATION, IMPLEMENTATION, MAINTENANCE, AND EFFECTIVENESS OF ALL EROSION CONTROL DEVICES. BEST MANAGEMENT PRACTICES (BMPs) AND FOR UPDATING THE EROSION CONTROL PLAN DURING CONSTRUCTION AS FIELD CONDITIONS CHANGE.
6. CONTRACTOR SHALL DOCUMENT THE DATES OF INSTALLATION, MAINTENANCE OR MODIFICATION, AND REMOVAL FOR EACH BMP EMPLOYED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IF APPLICABLE.
7. AS STORM SEWER INLETS ARE INSTALLED ON-SITE, TEMPORARY EROSION CONTROL DEVICES SHALL BE INSTALLED AT EACH INLET PER APPROVED DETAILS.
8. THE EROSION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL THE AREA IT PROTECTS HAS BEEN PERMANENTLY STABILIZED.
9. CONTRACTOR SHALL PROVIDE ADEQUATE EROSION CONTROL DEVICES NEEDED DUE TO PROJECT PHASING.
10. CONTRACTOR SHALL OBSERVE THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES AND MAKE FIELD ADJUSTMENTS AND MODIFICATIONS AS NEEDED TO PREVENT SEDIMENT FROM LEAVING THE SITE. IF THE EROSION CONTROL DEVICES DO NOT EFFECTIVELY CONTROL EROSION AND SEDIMENTATION FROM WASHING OFF THE SITE, THEN THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
11. OFF-SITE SOIL BORROW, SPOIL, AND STORAGE AREAS (IF APPLICABLE) ARE CONSIDERED AS PART OF THE PROJECT SITE AND MUST ALSO COMPLY WITH THE EROSION CONTROL REQUIREMENTS FOR THIS PROJECT. THIS INCLUDES THE INSTALLATION OF BMPs TO CONTROL EROSION AND SEDIMENTATION AND THE ESTABLISHMENT OF PERMANENT GROUND COVER ON DISTURBED AREAS PRIOR TO FINAL APPROVAL OF THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR MODIFYING THE SWPPP EROSION CONTROL PLAN TO INCLUDE BMPs FOR ANY OFF-SITE THAT ARE NOT ANTICIPATED OR SHOWN ON THE EROSION CONTROL PLAN.
12. ALL STAGING, STOCKPILES, SPOIL, AND STORAGE SHALL BE LOCATED SUCH THAT THEY WILL NOT ADVERSELY AFFECT STORM WATER QUALITY. PROTECTIVE MEASURES SHALL BE PROVIDED IF NEEDED TO ACCOMPLISH THIS REQUIREMENT, SUCH AS COVERING OR ENCIRCLING THE AREA WITH AN APPROPRIATE BARRIER.
13. CONTRACTORS SHALL INSPECT ALL EROSION CONTROL DEVICES, BMPs, DISTURBED AREAS, AND VEHICLE ENTRY AND EXIT AREAS WEEKLY AND WITHIN 24 HOURS OF ALL RAINFALL EVENTS OF 0.5 INCHES OR GREATER, AND KEEP A RECORD OF THIS INSPECTION IN THE SWPPP BOOKLET IF APPLICABLE, TO VERIFY THAT THE DEVICES AND EROSION CONTROL PLAN ARE FUNCTIONING PROPERLY.
14. CONTRACTOR SHALL CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE AT ALL PRIMARY POINTS OF ACCESS IN ACCORDANCE WITH CITY SPECIFICATIONS. CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION TRAFFIC USES THE STABILIZED ENTRANCE AT ALL TIMES FOR ALL INGRESS/EGRESS.
15. SITE ENTRY AND EXITS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING AND FLOWING OF SEDIMENT AND DIRT ONTO OFF-SITE ROADWAYS. ALL SEDIMENT AND DIRT FROM THE SITE THAT IS DEPOSITED ONTO AN OFF-SITE ROADWAY SHALL BE REMOVED IMMEDIATELY.
16. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL SILT AND DEBRIS FROM THE AFFECTED OFF-SITE ROADWAYS THAT ARE A RESULT OF THE CONSTRUCTION, AS REQUESTED BY OWNER AND CITY. AT A MINIMUM, THIS SHOULD OCCUR ONCE PER DAY FOR THE OFF-SITE ROADWAYS.
17. WHEN WASHING OF VEHICLES IS REQUIRED TO REMOVE SEDIMENT PRIOR TO EXITING THE SITE, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP BMP.
18. CONTRACTOR SHALL INSTALL A TEMPORARY SEDIMENT BASIN FOR ANY ON-SITE DRAINAGE AREAS THAT ARE GREATER THAN 10 ACRES PER TCEQ AND CITY STANDARDS. IF NO ENGINEERING DESIGN HAS BEEN PROVIDED FOR A SEDIMENTATION BASIN ON THESE PLANS, THEN THE CONTRACTOR SHALL ARRANGE FOR AN APPROPRIATE DESIGN TO BE PROVIDED.
19. ALL FINES IMPOSED FOR SEDIMENT OR DIRT DISCHARGED FROM THE SITE SHALL BE PAID BY THE RESPONSIBLE CONTRACTOR.
20. WHEN SEDIMENT OR DIRT HAS CLOGGED THE CONSTRUCTION ENTRANCE VOID SPACES BETWEEN STONES OR DIRT IS BEING TRACKED ONTO A ROADWAY, THE AGGREGATE PAD MUST BE WASHED DOWN OR REPLACED. RUNOFF FROM THE WASH-DOWN OPERATION SHALL NOT BE ALLOWED TO DRAIN DIRECTLY OFF SITE WITHOUT FIRST FLOWING THROUGH ANOTHER BMP TO CONTROL SEDIMENTATION. PERIODIC RE-GRADING OR NEW STONE MAY BE REQUIRED TO MAINTAIN THE EFFECTIVENESS OF THE CONSTRUCTION ENTRANCE.
21. TEMPORARY SEEDING OR OTHER APPROVED STABILIZATION SHALL BE INITIATED WITHIN 14 DAYS OF THE LAST DISTURBANCE OF ANY AREA, UNLESS ADDITIONAL CONSTRUCTION IN THE AREA IS EXPECTED WITHIN 21 DAYS OF THE LAST DISTURBANCE.
22. CONTRACTOR SHALL FOLLOW GOOD HOUSEKEEPING PRACTICES DURING CONSTRUCTION, ALWAYS CLEANING UP DIRT, LOOSE MATERIAL, AND TRASH AS CONSTRUCTION PROGRESSES.
23. UPON COMPLETION OF FINE GRADING, ALL SURFACES OF DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED. STABILIZATION IS ACHIEVED WHEN THE AREA IS EITHER COVERED BY PERMANENT IMPERVIOUS STRUCTURES, SUCH AS BUILDINGS, SIDEWALK, PAVEMENT, OR A UNIFORM PERENNIAL VEGETATIVE COVER.
24. AT THE CONCLUSION OF THE PROJECT, ALL INLETS, DRAIN PIPE, CHANNELS, DRAINAGEWAYS AND BORROW DITCHES AFFECTED BY THE CONSTRUCTION SHALL BE DREGDED, AND THE SEDIMENT GENERATED BY THE PROJECT SHALL BE REMOVED AND DISPOSED IN ACCORDANCE WITH APPLICABLE REGULATIONS.

CAUTION!!
MANY EXISTING UNDERGROUND UTILITIES EXIST IN THE AREA. THE UTILITIES SHOWN ON THIS PLAN ARE FROM COSA SURVEY AND AVAILABLE PLANS ONLY. THE INFORMATION IS VERY UNLIKELY TO BE COMPLETE OR PRECISE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES SHOWN OR NOT SHOWN PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO UTILITIES DUE TO DAMAGE DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

- NOTES
1. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
2. REFER TO LANDSCAPE ARCHITECT'S PLANS FOR DIMENSIONS AND DETAIL OF HARDSCAPE.
3. ALL CONSTRUCTION SPECIFICATIONS WITHIN CITY RIGHT-OF-WAY AND EASEMENTS SHALL COMPLY WITH CITY OF SAN ANTONIO STANDARDS. PRIOR APPROVAL TO USE ANY NON-STANDARD MATERIAL IS REQUIRED.
4. THE NATURE OF THIS SITE'S CONSTRUCTION CONSISTS OF:
A. CLEARING AND GRUBBING
B. PAVEMENT MODIFICATIONS
C. CONCRETE HARDSCAPE CONSTRUCTION
D. FINAL GRADING AND STABILIZATION
5. THE SUBSURFACE CONDITIONS ON-SITE CONSIST OF _____ AS PER THE GEOTECHNICAL REPORT PROVIDED BY _____, DATED _____, REPORT NO. _____.
6. STORM WATER ON-SITE WILL LEAVE THE SITE VIA SHEET FLOW.
7. POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURES INCLUDE STABILIZATION BY PERMANENT PAVING, OR LANDSCAPING.
8. PER FIRM MAPS 48029C0356, DATED SEPTEMBER 29, 2010, THE SITE IS PARTIALLY LOCATED WITHIN A FEMA DESIGNATED FLOODPLAIN.

SITE DATA table with columns for area type, square feet, and square feet.

EROSION CONTROL SCHEDULE AND SEQUENCE table with columns for activity and timing.

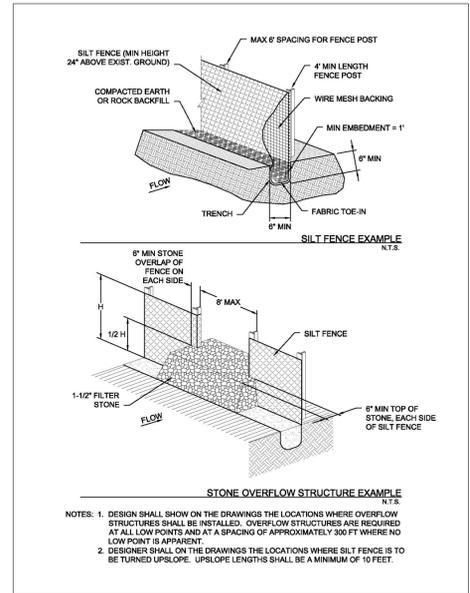


Figure 3.28 Schematics of Silt Fence

Silt Fence Revised 04/10 CC-147

SILT FENCE DETAIL

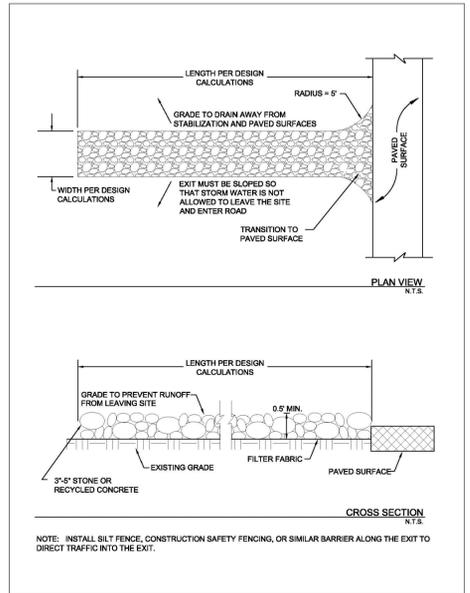


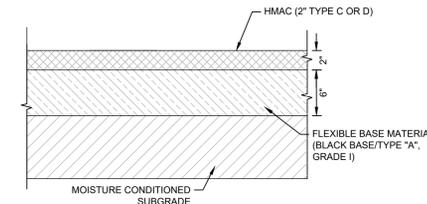
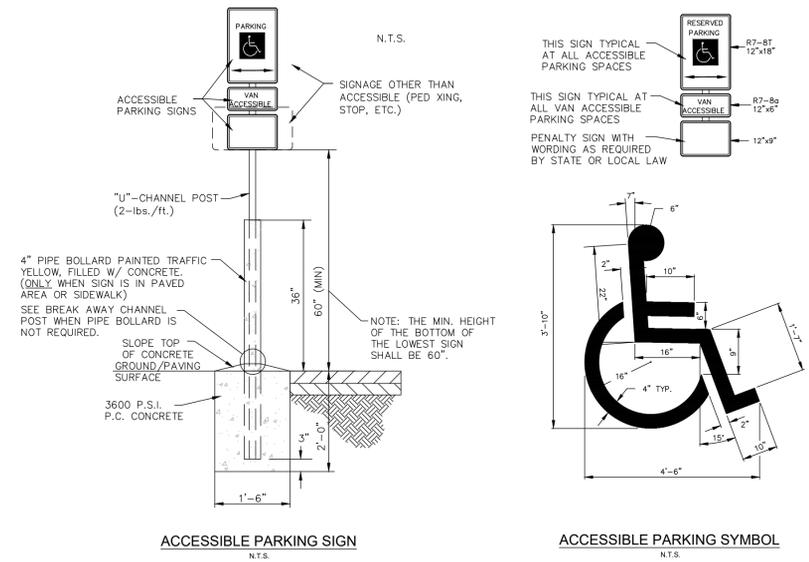
Figure 3.29 Schematics of Stabilized Construction Exit

Stabilized Construction Exit Revised 04/10 CC-151

CONSTRUCTION ENTRANCE DETAIL

Table 3.9 Minimum Exit Dimensions

Disturbed Area	Min. Width of Exit	Min. Length of Exit
< 1 Acre	15 feet	20 feet
≥ 1 Acre but < 5 Acres	25 feet	50 feet
≥ 5 Acres	30 feet	50 feet



- PAVING SECTION NOTES:
1. PRIOR TO PLACING ANY FILL, ANY VEGETATION, LOOSE TOPSOIL, AND ANY OTHERWISE UNSUITABLE MATERIALS SHOULD BE REMOVED FROM THE NEW PAVEMENT AREAS. AFTER STRIPPING, THE SUBGRADE SHOULD BE PROOF-ROLLED WHERE POSSIBLE TO AID IN LOCATING LOOSE OR SOFT AREAS. PROOF-ROLLING CAN BE PERFORMED WITH A 15-TON ROLLER OF FULLY LOADED DUMP TRUCK.
 2. THE ASPHALTIC CONCRETE SURFACE COURSE SHOULD BE PLANT MIXED, HOT LAID TYPE C OR D SURFACE.
 3. THE ASPHALTIC BASE COURSE SHOULD BE PLANT MIXED, HOT LAID TYPE A OR B.

PRELIMINARY FLEXIBLE PAVEMENT SECTION N.T.S.

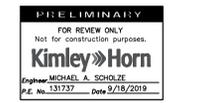


LANDSCAPE ARCHITECTURE
PLANNING
URBAN DESIGN
2310 N. LOOP 1604, STE #22
SAN ANTONIO, TX 78232
P: 210-908-6736
WWW.GOOPENAIR.COM

PROJECT:
NORTH HILLS PARK

OWNER:
CITY OF SAN ANTONIO
TRAFFIC AND CAPITAL
IMPROVEMENTS

LOCATION:
3222 SHIMMERING DAWN
SAN ANTONIO, TEXAS



PROJECT #:
DESIGNED BY: MAS
DRAWN BY: NRS
REVIEWED BY: MAS
ISSUED: 9/19/2019



SHEET TITLE:

CIVIL
DETAILS

SHEET NUMBER:

C1.1

ELECTRICAL SYMBOLS & ABBREVIATIONS

[SOME SYMBOLS MAY NOT BE USED ON THIS PROJECT]



PROJECT:
NORTH HILLS PARK

OWNER:
CITY OF SAN ANTONIO
TRAFFIC AND CAPITAL
IMPROVEMENTS

LOCATION:
3222 SHIMMERING DAWN ST.
SAN ANTONIO, TX 78253

INTERIM REVIEW ONLY
 Document Incomplete: Not intended for permit, bidding or construction.
 Engineer: DOUGLAS W. SCHULZE
 P.E. Reg. No.: 80707
 Company Name: CNG ENGINEERING, PLLC
 Com. Reg. No.: F-7964
 Date: 09-25-19

PROJECT #:
DESIGNED BY:
DRAWN BY:
REVIEWED BY:

ISSUED:

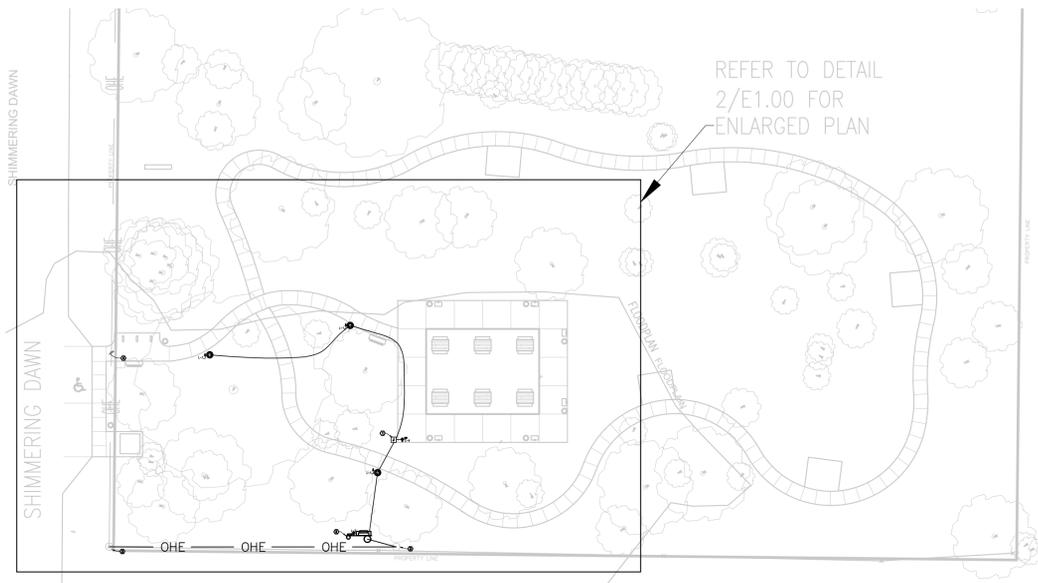
SHEET TITLE:

ELECTRICAL SYMBOLS AND ABBREVIATIONS

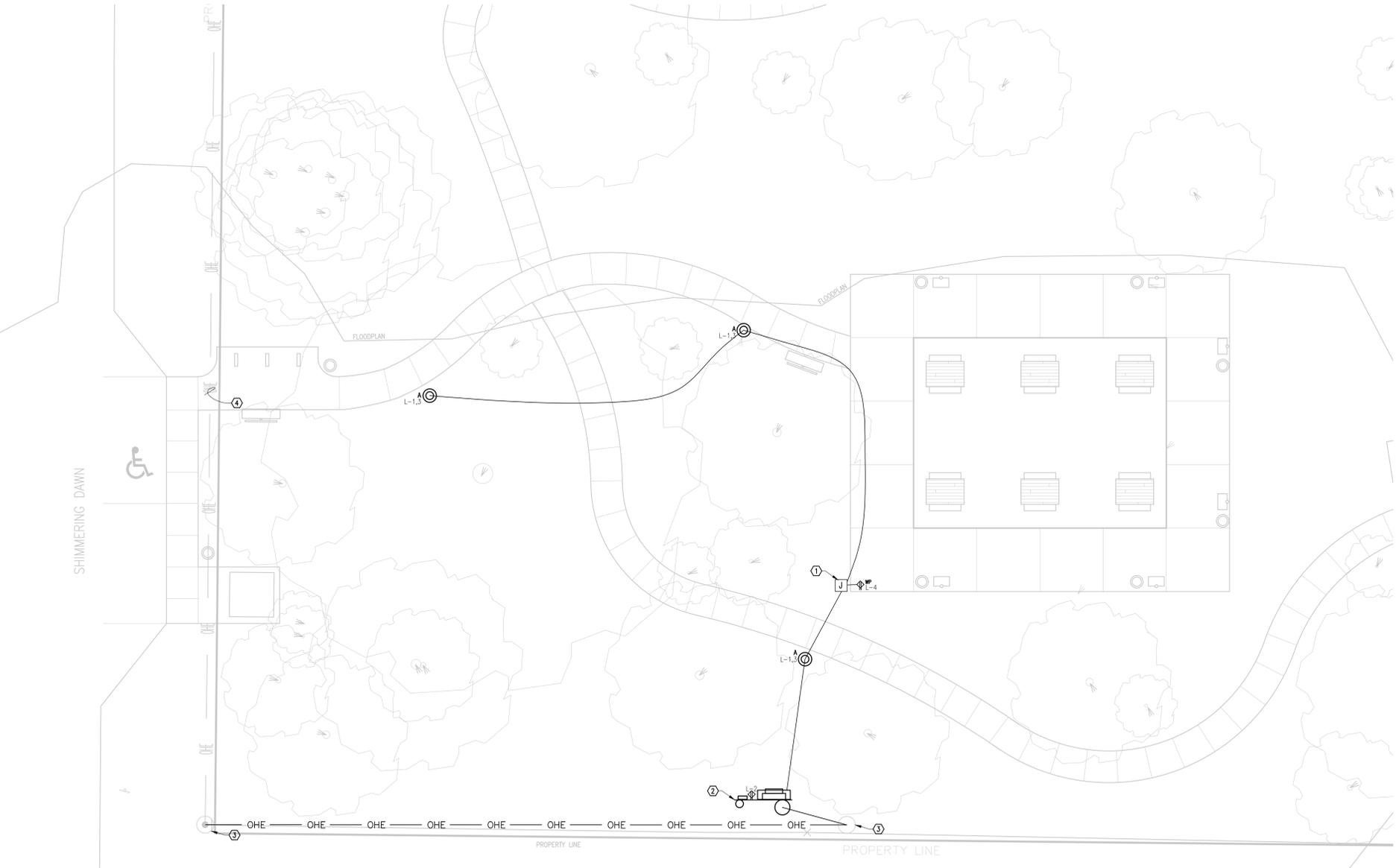
SHEET NUMBER:

E0.00

SYMBOL	DESCRIPTION	ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION	GENERAL NOTES	LIGHTING GENERAL NOTES		
GENERAL									
	JUNCTION BOX, IN-GRADE PULLBOX	A	AMPERE(S)	IC	INTERCOM	1. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND REVIEW ALL RELATED DRAWINGS AND SPECIFICATIONS PRIOR TO BID. 2. THE DRAWINGS ARE DIAGRAMMATICAL. CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND DETERMINE CONDUIT ROUTING AND EXACT LOCATIONS OF EQUIPMENT AND DEVICES. NOTIFY THE ARCHITECT/ENGINEER IF THE APPROXIMATE CONDUIT ROUTING SHOWN ON PLANS IS NOT FEASIBLE. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY CONFLICTS PRIOR TO ROUGH-IN. 3. LOCATIONS OF DEVICES ARE DIAGRAMMATICAL. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY CONFLICTS PRIOR TO ROUGH-IN. 4. REFERENCE EQUIPMENT CONNECTION SCHEDULE FOR REQUIREMENTS AND ADDITIONAL INFORMATION OF TAGGED EQUIPMENT SHOWN ON PLAN. 5. LOCATIONS OF MECHANICAL EQUIPMENT TO BE COORDINATED WITH MECHANICAL DRAWINGS FOR EXACT LOCATIONS AND QUANTITY. 6. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT ISSUE OF THE NATIONAL ELECTRIC CODE AND ALL APPLICABLE LOCAL CODES. ALL WORK SHALL MATCH THE EXISTING BUILDING'S ELECTRICAL INSTALLATION. ALL SYSTEMS SHALL BE INSTALLED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH APPLICABLE STANDARDS AND SPECIFICATIONS APPROVED BY ALL AUTHORITIES HAVING JURISDICTION. 7. PROVIDE A TYPED PANEL DIRECTORY FOR EACH NEW OR MODIFIED ELECTRICAL PANEL. DIRECTORY SHALL IDENTIFY THE CIRCUIT NUMBER, DEVICES SERVED, AND LOCATION OF DEVICES BY ROOM NUMBER. FILE COPY OF DIRECTORIES WITH THE OWNER'S REPRESENTATIVE WHEN WORK IS COMPLETED, AND PROVIDE COPIES WITH THE OWNER'S MANUALS. 8. INDICATED SPARE AND/OR SPACES IN ALL EQUIPMENT ON THE ELECTRICAL ONE-LINE DIAGRAM AND IN THE PANEL SCHEDULES ARE THE MINIMUM NUMBER REQUIRED FOR THIS PROJECT. 9. PROVIDE UL CLASS A GROUND FAULT INTERRUPTER CIRCUIT PROTECTIVE DEVICES ON ALL CONSTRUCTION RECEPTACLE CIRCUITS, OUTSIDE RECEPTACLE CIRCUITS, AND ON ALL OTHER CIRCUITS REQUIRED OR RECOMMENDED IN THE NATIONAL ELECTRIC CODE. 10. ALL FUSES/CIRCUIT BREAKERS IN PANELS, DISCONNECT SWITCHES, MOTOR STARTERS, ETC., SERVING MOTORS AND EQUIPMENT SHALL BE SIZED AS RECOMMENDED BY THE MANUFACTURER OF THE PARTICULAR LOAD DEVICE SERVED. COORDINATE WITH OTHER TRACES AS REQUIRED.	1. CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND SPACING OF LIGHTING FIXTURES. FIXTURE QUANTITIES ARE INDICATED ON ELECTRICAL AND ARCHITECTURAL DRAWINGS. IF FIXTURE QUANTITIES ARE NOT EQUAL AMONG DISCIPLINES, CONTRACTOR SHALL REFER TO THE GREATER OF THE TWO FOR BIDDING. THE DESIGN TEAM SHALL BE CONTACTED FOR FINAL COORDINATION. 2. PROVIDE LIGHTING CONTROL SYSTEM WITH ALL NECESSARY ACCESSORIES FOR A COMPLETE INSTALLATION. LIGHTING CONTROL SYSTEM SHALL INCLUDE ASTRONOMICAL TIME-CLOCK SYSTEM, HOUSEKEEPING OVERRIDE 'ON' SWITCH CONTROL, AND PHOTOCCELL OVERRIDE 'OFF'. 3. REFERENCE LIGHTING FIXTURE SCHEDULE FOR ADDITIONAL FIXTURE INFORMATION.		
LIGHTING CONTROL PANELBOARDS (26 09 26)									
	FEEDTHROUGH LIGHTING CONTROL PANELBOARD, SURFACE MOUNTED (SEE E7 SERIES FOR PANEL SCHEDULES)	ABV	ABOVE	ID	INSIDE DIAMETER				
PANELBOARDS (26 24 16)									
	208Y/120V PANELBOARD, SURFACE MOUNTED (SEE E7 SERIES FOR PANEL SCHEDULES)	AC	ABOVE COUNTER	IMC	INTERMEDIATE STEEL CONDUIT				
INTERIOR & EXTERIOR LIGHTING (26 51 00 & 26 56 00)									
	CIRCULAR POST TOP POLE LIGHT	A/C	AIR CONDITIONING	IN	INCHES				
RACEWAYS (26 05 33)									
	OVERHEAD UTILITY LINE	AIC	AMPERE INTERRUPTING CAPACITY	INC	INCANDESCENT				
	UNDERGROUND UTILITY LINE	AFF	ABOVE FINISHED FLOOR	IG	ISOLATED GROUND				
	EXISTING OVERHEAD UTILITY LINE	AFG	ABOVE FINISHED GRADE	JB	JUNCTION BOX				
	EXISTING UNDERGROUND UTILITY LINE	AHU	AIR HANDLING UNIT	KV	KILOVOLT				
	UNDERGROUND CIRCUIT POWER LINES	ATS	AUTOMATIC TRANSFER SWITCH	KVA	KILOVOLT AMPERE				
	BRANCH CIRCUIT HOMERUN, WITH PANEL AND BREAKER POSITION INDICATED. SMALL TICK(S) = PHASE CONDUCTORS, LARGE TICK = NEUTRAL CONDUCTOR AND LARGE TICK WITH CIRCLE = GROUND CONDUCTOR.	BFF	BELOW FINISHED FLOOR	KVAC	KILOVOLT AMPERE CAPACITIVE				
WIRING DEVICES (26 27 26)									
	GFCI, DUPLEX RECEPTACLE - 20A, 125V, 3W, NEMA 5-20R (WP = NEMA 3R WHILE IN USE)	BLDG	BUILDING	KVAR	KILOVOLT AMPERE REACTIVE				
REFERENCE SYMBOLS									
	CIRCUIT END EXTENSION	C	CONDUIT	KW	KILOWATT				
	KEYED NOTE TAG, HEXAGON	CB	CIRCUIT BREAKER	KWH	KILOWATT HOUR				
	DEMOLITION KEYED NOTE TAG, ROUND	CCTV	CLOSED CIRCUIT TELEVISION	LB	POUND				
	ADDENDUM, ASI, ASR, PR TAG	CKT	CIRCUIT	M	MANHOLE				
	EQUIPMENT TAG	COND	CONDUCTOR	MAX	MAXIMUM				
	ENLARGED PLAN, DETAIL TAG	CPU	CENTRAL PROCESSING UNIT	MCC	MOTOR CONTROL CENTER				
	ELEVATION TAG	DIA	DIAMETER	MECH	MECHANICAL				
	SECTION TAG	DIST	DISTRIBUTION	MEP	MECHANICAL, ELECTRICAL & PLUMBING				
		DN	DOWN	MH	MOUNTING HEIGHT				
		DWGS	DRAWINGS	MIN	MINIMUM				
		EC	EMPTY CONDUIT	MLO	MAIN LUGS ONLY				
		EDF	ELECTRIC DRINKING FOUNTAIN	MTG	MOUNTING				
		EF	EXHAUST FAN	NA	NOT APPLICABLE				
		EMT	ELEC. METALLIC TUBING	NC	NORMALLY CLOSED				
		EQMT	EQUIPMENT	NF	NON FUSED				
		EWC	ELECTRIC WATER COOLER	NO	NORMALLY OPEN				
		EXH	EXHAUST	N.T.S.	NOT-TO-SCALE				
		EXTG	EXISTING	OC	ON CENTER				
		F/A	FIRE ALARM	OH	OVERHEAD				
		FC	FOOT CANDLES	P	POLE				
		FCU	FAN COIL UNIT	PA	PUBLIC ADDRESS				
		FLEX	FLEXIBLE METAL CONDUIT	PB	PUSH BUTTON				
		FLUOR	FLUORESCENT	PBX	PRIVATE BUILDING EXCHANGE				
		FN	FULL NEUTRAL	PC	PULL CHAIN				
		FT	FEET, FOOT	PEC	PHOTO CELL				
		GALV	GALVANIZED	PNL	PANELBOARD				
		GFCI	GROUND FAULT CIRCUIT INTERRUPTER	PSI	POUNDS PER SQUARE INCH				
		GFI	GROUND FAULT INTERRUPTER	PVC	POLY VINYL CHLORIDE CONDUIT				
		GND	GROUND	PWR	POWER				
		HID	HIGH INTENSITY DISCHARGE	RGS	RIGID GALVANIZED STEEL CONDUIT				
		HP	HORSE POWER	RMC	RIGID METAL CONDUIT				
		HOA	HAND OFF AUTOMATIC	SC	SPLIT CIRCUIT				
		HPS	HIGH PRESSURE SODIUM	SN	SOLID NEUTRAL				
		HVAC	HEATING/VENTILATING/AIR CONDITIONING	SQFT	SQUARE FEET, FOOT				
		HZ	HERTZ	SW	SWITCH				
				SWBD	SWITCHBOARD				
				TC	TIME CLOCK				
				TELE	TELEPHONE				
				TSTAT	THERMOSTAT				
				TV	TELEVISION				
				TYP.	TYPICAL				
				UH	UNIT HEATER				
				UEP	UNDERGROUND ELECTRIC PRIMARY				
				UES	UNDERGROUND ELECTRIC SECONDARY				
				UEB	UNDERGROUND ELECTRIC BRANCH CIRCUIT				
				U.N.O.	UNLESS NOTED OTHERWISE				
				V	VOLT(S)				
				VP	VAPOR PROOF				
				W	WIRE				
				WP	WEATHERPROOF				
				XFMR	TRANSFORMER				
				XPD	TRANSPONDER				
				Z	IMPEDENCE				
				1P	ONE POLE				
				2P	TWO POLE				
				3P	THREE POLE				
				Ø	PHASE				



1 OVERALL SITE PLAN
SCALE: N.T.S.



2 ENLARGED SITE PLAN
SCALE: 1:10

KEYED NOTES: (THIS SHEET ONLY)

1. LOCATION OF MEDIUM DUTY PULL BOXES. EXACT LOCATION AND CONDUIT ROUTING TO BE DETERMINED IN FIELD, REF. 2/E2.00 FOR ADDITIONAL INFORMATION.
2. LOCATION OF ELECTRICAL SERVICE ENTRANCE, REF. 1/E2.00 FOR ADDITIONAL INFORMATION.
3. APPROXIMATE LOCATION OF EXISTING CPS ENERGY UTILITY POLE. EXACT LOCATION TO BE FIELD VERIFIED.
4. EXISTING OVERHEAD CPS ELECTRICAL LINES.
5. PROVIDE ABOVE-GRADE LANDSCAPING RECEPTACLE. REFER TO DETAIL 3/E.2.00 FOR DETAILS.

GENERAL NOTES: (THIS SHEET ONLY)

- A. REFER TO LIGHTING FIXTURE SCHEDULE ON SHEET E2.00 FOR ADDITIONAL INFORMATION.
- B. PHOTO CELL INPUT SHALL PROVIDE ON/OFF CONTROL FOR LIGHTING CIRCUITED THROUGH TIME CLOCK.
- C. ALL LIGHTING CIRCUITS SHALL HAVE ELECTRICAL FEEDERS SIZED AT (2) #8 CU. & (1) #8 GND. CU. IN 1" SCHEDULE 40 PVC CONDUIT.
- D. REFER TO DETAILS 4/E2.00 AND 5/E2.00 FOR TRENCHING DETAILS.



PROJECT:
NORTH HILLS PARK

OWNER:
CITY OF SAN ANTONIO
TRAFFIC AND CAPITAL
IMPROVEMENTS

LOCATION:
3222 SHIMMERING DAWN ST.
SAN ANTONIO, TX 78253

INTERIM REVIEW ONLY
Document Incomplete: Not intended for permit, bidding or construction.
Engineer: DOUGLAS W. SCHULZE
P.E. Reg. No.: 80707
Company Name: CNG ENGINEERING, PLLC.
Com. Reg. No.: F-7964
Date: 09-25-19

PROJECT #:
DESIGNED BY:
DRAWN BY:
REVIEWED BY:

ISSUED:

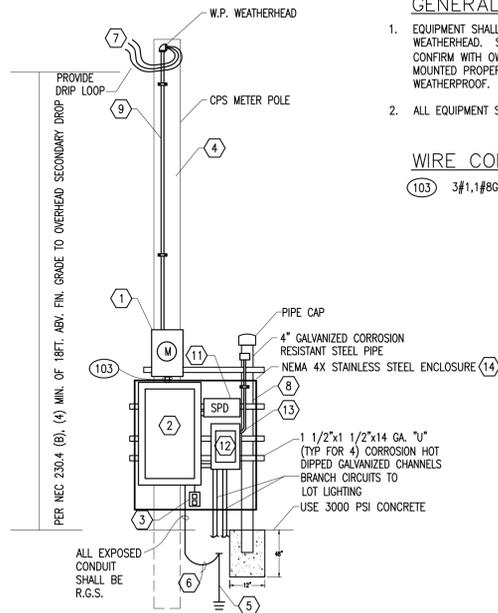
SHEET TITLE:
ELECTRICAL
SITE PLAN

SHEET NUMBER:
E1.00



KEYED NOTES: (DETAIL 1 ONLY)

- CPS ENERGY SELF-CONTAINED METER. PROVIDED BY CPSE ENERGY, INSTALLED BY THE CONTRACTOR.
- ELECTRICAL PANEL 'L'. CONNECT CIRCUIT THROUGH NEW LIGHTING CONTACTORS FOR CONTROL. BOND GROUND AND NEUTRAL AT THIS LOCATION ONLY. REF. PANELBOARD SCHEDULE FOR PANELBOARD SPECIFICATION.
- RECEPTACLE MOUNTED 24" ABOVE FIN. GRADE IN A W.P. JUNCTION BOX WITH "IN-USE" COVER. CONNECT TO BRANCH CIRCUIT L-5.
- PROVIDE PHOTOCELL FOR CONTROL OF LIGHTING EQUAL TO A ACUITY CAT. NO. PCELL2W0.
- PROVIDE 5/8" x 8' LONG COPPER CLAD GROUND ROD.
- 1#2 GND. IN 3/4"C. PROVIDE EXOTHERMIC CONNECTION BETWEEN GROUNDING ELECTRODE AND GROUND ROD.
- NEW SERVICE RISER. SERVICE ENTRANCE CONDUCTORS TO EXTEND A MINIMUM OF 24" OUTSIDE OF SERVICE HEAD FOR CONNECTION TO CPSE AERIAL SECONDARY SERVICE. SERVICE DROP, CONNECTORS AND ANCHORAGE TO BE FURNISHED AND INSTALLED BY CPSE ENERGY WHEN THE SERVICE IS INSTALLED.
- SERVICE EQUIPMENT RACK TO BE FURNISHED AND INSTALLED BY THE CONTRACTOR. CONDUITS TO BE SUPPORTED BY BRACING AS REQUIRED.
- PROVIDE THREE (3) #1 AWG IN 2" RIGID GALVANIZED CONDUIT.
- NOT USED
- SUPPLY A COMMERCIAL GRADE SURGE PROTECTION DEVICE WITH NEUTRAL AND GROUND WIRES. INSTALL ARRESTOR DELTA MODEL #LA302RG LIGHTING PROTECTOR WITH NEUTRAL AND GROUND OR APPROVED EQUAL.
- PROVIDE A DIGITAL, ASTRONOMICAL TIMECLOCK EQUAL TO A TORK DOLC200A-NC, UPC 82213. THE TIMECLOCK SHALL CONTAIN 2 CHANNELS, A PHOTOSENSOR INPUT, AND ALLOW 120-277V LINE VOLTAGE SUPPLY.
- 3/4"C. - 2#10 CU & 1#10 GND.
- INSTALL ELECTRICAL PANEL, SPD DEVICE, LIGHTING CONTROL AND GFCI RECEPTACLE INSIDE NEMA 4X, STAINLESS STEEL ENCLOSURE. PROVIDE WITH PADLOCK ACCESSORIES.



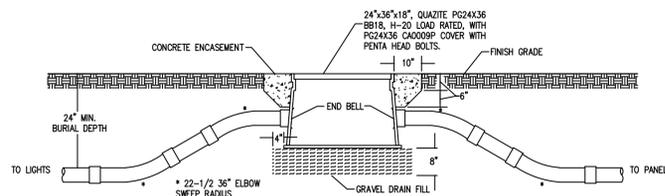
1 RISER DIAGRAM
SCALE: N.T.S.

GENERAL NOTES: (DETAIL 1 ONLY)

- EQUIPMENT SHALL BE MOUNTED ON NEW 30 FOOT WOODEN POLE WITH WEATHERHEAD. SEE SHEET E1.00 FOR INSTALLATION LOCATION, AND CONFIRM WITH OWNER/ARCHITECT. ENSURE THAT EQUIPMENT IS MOUNTED PROPERLY PER NEC 2017, AND THAT ALL CONNECTIONS ARE WEATHERPROOF.
- ALL EQUIPMENT SHALL BE INSTALLED PER CPSE REQUIREMENTS.

WIRE CONNECTION SCHEDULE: (DETAIL 1 ONLY)

(103) 3#1,1#8GND, 2"C



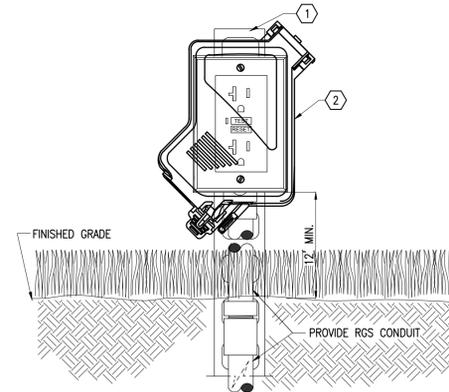
2 ELECTRICAL PULL BOX DETAIL
SCALE: N.T.S.

GENERAL NOTES: (DETAIL 3 ONLY)

- PROVIDE REQUIRED BRACING FOR RECEPTACLE AND UNISTRUT MOUNTING.
- UNIT SHALL BE PAINTED TO MATCH LANDSCAPE.
- PROVIDE DIE-CAST ALUMINUM WHILE-IN-USE COVER EQUAL TO INTERMATIC WP1250MXD.

KEYED NOTES: (DETAIL 3 ONLY)

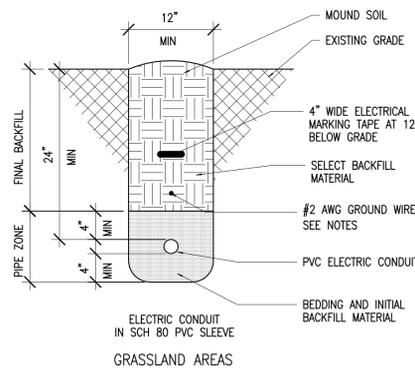
- 1-1/4" X 1-1/4" GALVANIZED STEEL CHANNEL. (TYPICAL)
- ONE(1) WEATHERPROOF J-BOX WITH A 20-AMP GFI RECEPTACLE. PROVIDE A "WHILE-IN-USE" COVER.
- POLE SUPPORT FOR STEEL PLATE PROJECTOR MOUNT AS PROVIDED BY ARCHITECT DESIGNS.
- COORDINATE INSTALLATION WITH ARCHITECT PLANS AND LANDSCAPING TO MATCH HEIGHT OF STONE BENCH.



3 LANDSCAPE RECEPTACLE DETAIL
NOT TO SCALE

ANALYSIS OF PROJECTED ELECTRICAL LOAD					
North Hills Park					
3/6/2015					
BUILDING AREA: - SF					
SERVICE VOLTAGE: 240/120V, 1PH., 3W					
LOAD DESCRIPTION		DEMAND FACTOR	NOTES	CONNECTED LOAD, KVA	NEC LOAD, AMPERES
GENERAL PURPOSE RECEPTACLES		1.00	2	0.4	2
EXTERIOR LIGHTING EQUIPMENT		1.25		0.4	2
		1.00		-	-
CONNECTED NEW LOADS SUBTOTAL				1	4
NET SUBTOTAL OF EXISTING, DEMO, AND NEW LOADS				1	4
LOAD GROWTH ALLOWANCE PERCENTAGE INDICATED IS BASED ON 25% OF MAIN CIRCUIT BREAKER SIZE				6	25
TOTAL				7	29
SERVICE ENTRANCE DESIGN (TRANSFORMER/ MAIN PANEL)				30	125

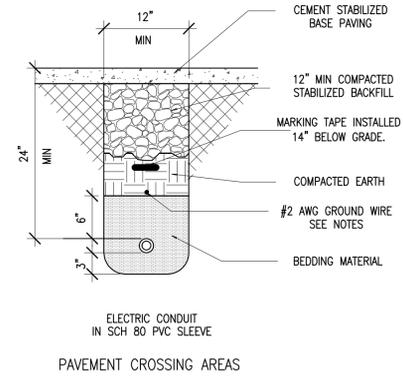
NOTES: 1 EXISTING DEMAND LOAD DETERMINED IN ACCORDANCE WITH NEC 220.87
2 DIVERSIFIED PER NEC 220.14



4 TRENCHING DETAIL GRASSLAND AREAS
NOT TO SCALE

TRENCHING NOTES (DETAIL 4 AND 5 ONLY):

- AT EACH ELECTRICAL SERVICE POINT, INSTALL A #8 AWG COPPER WIRE IN ONE CONTINUOUS LENGTH TO A POINT APPROXIMATELY 100" FROM THE SERVICE POINT IN ONE OF THE NEW TRENCHES INSTALLED FROM THE SERVICE POINT. INSTALL THIS WIRE AT THE TOP OF THE SECOND AND/OR LAYER OF THE BACKFILL. DO NOT BOND THIS WIRE UP INTO ANY COMPACTED POWER OUTLETS. THIS WIRE WILL ONLY BE CONNECTED TO THE NEW GROUND ROD AT EACH SERVICE LOCATION. THE PURPOSE OF THIS WIRE IS TO PROVIDE A LOW RESISTANCE GROUND PATH IN ADDITION TO THE GROUND ROD.
- WHERE MORE THAN ONE CONDUIT IS INSTALLED IN A TRENCH, THE CONDUITS SHALL BE SEPARATED BY A MINIMUM OF 2" OF BEDDING AND TRENCH WIDTH SHALL BE ADJUSTED AS NECESSARY TO ACCOMMODATE MULTIPLE CONDUITS. IF THE CONDUITS ARE STAPLED VERTICALLY, THEY SHALL BE SEPARATED BY A MINIMUM OF 4" OF BEDDING MATERIAL AND THE TRENCH DEPTH SHALL BE ADJUSTED ACCORDINGLY TO MAINTAIN THE DEPTH TO TOP OF CONDUIT SHOWN ON THESE DETAILS.



5 TRENCHING DETAIL PAVEMENT CROSSING AREAS
NOT TO SCALE

PANELBOARD 'L'											
PROJECT :		North Hills Park		MAIN CIRCUIT BREAKER :		100A		ENCLOSURE :		NEMA 1	
PROJECT # :		0031-19		MAIN LUGS ONLY :				MOUNTING :		SURFACE	
LOCATION :		Service Entrance Rack		BUSSING :		100A		OCP TYPES :		BOLT-ON	
NOTES :				VOLTAGE :		120/240V, 1-PH, 3-W		PROVIDE :		NEUTRAL BUS	
				INTERRUPTING :		22 KAIC RMS SYM		GROUND BUS		4	
CKT	AMPS	POLE	CIRCUIT DESCRIPTION	LOAD	TYPE	PH	TYPE	LOAD	CIRCUIT DESCRIPTION	AMPS	POLE
1	20	2	EXTERIOR LIGHTING	96	2	A	0	180	SERVICE RECEPTACLE	20	1
3				96	2	B	0	180	IN-GRADE RECEPTACLE	20	1
5	20	1	LIGHTING TIMECLOCK	200	2	A			SPARE	20	1
7	20	1	SPARE			B			SPARE	20	1
9	20	1	BUSSED SPACE			A			BUSSED SPACE	20	1
				PANEL VA	SUB FEED	FEED THRU	TOTAL CONN	TOTAL DEMAND VA	NOTES :	AMPS	
PHASE A				476	0	0	476	538		4	
PHASE B				276	0	0	276	312		3	
TOTAL				752	0	0	752	850		4	

LIGHTING FIXTURE SCHEDULE

TYPE	LAMPS	MOUNTING	MOUNT HEIGHT	VOLTS	WATTS	DESCRIPTION	MANUFACTURER AND CATALOG NO.
A	3000K LED 4382 LUMENS	POLE-MOUNTED	10' R	240	46	HEAVY DUTY, AREA, CUTOFF LUMINAIRE WITH CAST ALUMINUM HOUSING, AND TYPE 5 OPTICS. PROVIDE WITH INLINE FUSING AT EACH POLE. PROVIDE WITH INTEGRAL PHOTOCELL AND MOTION SENSOR CONTROL PROVIDE WITH 14' ALUMINUM POLE TO MATCH LUMINAIRE FINISH.	VISIONAIRE PD-LT-5-42LC-3-3K-UNV-AM-BZ-C1-H2-PC-120 -WSC-20 -VA107 MOUNTING ARM. VISIONAIRE 10' POLE RNTS-4R-7-14-9BC-S1-BZ-RBC

- Notes:
- ACCEPTABLE EQUIVALENT MANUFACTURERS MAY BE SUBMITTED TO BASIS OF DESIGN.
 - ALL POLES, FIXTURES, AND CROSSARMS EPA SHALL BE CONFIRMED BY THE MANUFACTURER AND REVIEWED IN SUBMITTAL PHASE.
 - FINISH COLOR OF POLES AND LUMINAIRES SHALL MATCH. PROVIDE DARK BRONZE COLOR UNLESS OTHERWISE DIRECTED BY ARCHITECT DURING SUBMITTAL.

CITY OF SAN ANTONIO - MILITARY OVERLAY DISTRICT COMPLIANCE STATEMENT	
PROJECT:	North Hills Park
PROJECT NO.:	0031-19
PROJECT TYPE:	New Construction
TYPE OF BUILDING:	N.A. (Park Walkway Lighting Only)
GROSS SQ. FT.:	N.A.
Compliance Statement	Persuant to the San Antonio Unified Development Code Section 235-339.04 - Military Overlay Districts : The project site location at 3222 Shimmering Dawn St San Antonio, TX 78253 is not located within any Military Overlay District areas and is not required to be in compliance with Military Overlay District requirements for exterior full cut-off and fully shielded lighting fixtures. Zoning, districts, and special conditions were confirmed with the One Stop Map provided by the City of San Antonio online at https://gis.sanantonio.gov/DSD/OneStop/index.html Although not required, exterior lighting will be full cut-off and fully shielded. The exterior lighting will be in compliance with the City of San Antonio Chapter 10 Code, Unified Development Code Section 35-392, NEC and IECC 2018 requirements.

PROJECT:
NORTH HILLS PARK

OWNER:
CITY OF SAN ANTONIO
TRAFFIC AND CAPITAL
IMPROVEMENTS

LOCATION:
3222 SHIMMERING DAWN ST.
SAN ANTONIO, TX 78253

INTERIM REVIEW ONLY
Document Incomplete: Not intended for permit, bidding or construction.
Engineer: DOUGLAS W. SCHULZE
P.E. Reg. No.: 80707
Company Name: CNG ENGINEERING, PLLC
Com. Reg. No.: F-7964
Date: 09-25-19

PROJECT #:
DESIGNED BY:
DRAWN BY:
REVIEWED BY:

ISSUED:

SHEET TITLE:

ELECTRICAL RISER DIAGRAM, DETAILS, AND SCHEDULES

SHEET NUMBER:

E2.00

