

HISTORIC AND DESIGN REVIEW COMMISSION

June 16, 2021

HDRC CASE NO: 2021-258
ADDRESS: 875 E ASHBY PLACE
LEGAL DESCRIPTION: NCB 3053 BLK LOT E 169.12 FT OF 13, W IRR 42.38 FT 14, P-100 (0.142 AC) & P-101 (0.3304 AC)
ZONING: IDZ-3, RIO-2
CITY COUNCIL DIST.: 1
APPLICANT: Luis Miguel Martinez
OWNER: 875 East Ashby Place, LP
TYPE OF WORK: Historic Tax Certification, Amendments to a previously approved design, exterior modifications
APPLICATION RECEIVED: May 19, 2021
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Edward Hall

REQUEST:

The applicant is requesting a Certificate of Appropriateness to amend a previously approved design regarding fenestration and façade arrangement at 875 E Ashby, commonly known as the Borden Building.

The applicant is requesting Historic Tax Certification for the property at 875 E Ashby, commonly known as the Borden Creamery Building.

APPLICABLE CITATIONS:

UDC Section 35-676 – Alteration, Restoration and Rehabilitation

In considering whether to recommend approval or disapproval of an application for a certificate to alter, restore, rehabilitate, or add to a building, object, site or structure, the historic and design review commission shall be guided by the National Park Service Guidelines in addition to any specific design guidelines included in this subdivision.

- (a) Every reasonable effort shall be made to adapt the property in a manner which requires minimal alteration of the building, structure, object, or site and its environment.
- (b) The distinguishing original qualities or character of a building, structure, object, or site and its environment, shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided when possible.
- (c) All buildings, structures, objects, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance are prohibited.
- (d) Changes that may have taken place in the course of time are evidence of the history and development of a building, structure, object, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
- (e) Distinctive stylistic features or examples of skilled craftsmanship, which characterize a building, structure, object, or site, shall be kept where possible.
- (f) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should reflect the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
- (g) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building's materials shall not be permitted.
- (h) Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.

- (i) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.
- (j) Wherever possible, new additions or alterations to buildings, structures, objects, or sites shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building, structure, object, or site would be unimpaired.

UDC Section 35-618. Tax Exemption Qualification.

(d) Certification.

(1) Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.

FINDINGS:

- a. The applicant is requesting a Certificate of Appropriateness to amend a previously approved design regarding fenestration and façade arrangement at 875 E Ashby, commonly known as the Borden Building.
- b. SOUTH ELEVATION BALCONIES – The applicant has proposed to remove two, existing steel windows to allow for open air access onto a proposed balcony above the first level. Generally, staff finds this modification to be appropriate provided that the width of the existing opening is maintained.
- c. EAST ELEVATION MODIFICATIONS – On the east elevation, the applicant has proposed to modify the size of previously approved window and door openings in regards to both width and height. Generally, staff finds the proposed modifications to be appropriate.
- d. WEST ELEVATION MODIFICATIONS – On the west elevation, the applicant has proposed the installation of a number of window and door profiles on the first level that differ from those that currently exist. Generally, staff finds the proposed amendment to be appropriate as the proposed openings differ in size and profile from original opening.
- e. NORTH ELEVATION MODIFICATIONS – On the north elevation, the applicant has proposed the installation of a number of window and door profiles on the first level that differ from those that currently exist. Generally, staff finds the proposed amendment to be appropriate as the proposed openings differ in size and profile from original opening.
- f. The applicant is requesting Historic Tax Certification for the property at 875 E Ashby, commonly known as the Borden Creamery Building. The historic structure was constructed in 1933 with additions being constructed in 1946, 1952, 1956, and 1963. The applicant is currently requesting historic designation under a separate application.
- g. Previously approved rehabilitative scopes of work include window repair and replacement, the removal of existing additions and repair and maintenance to the façade and roof.
- h. The applicant has met all the requirements for Historic Tax Certification outlined in UDC Section 35-618 and has provided evidence to that effect to the Historic Preservation Officer.

RECOMMENDATION:

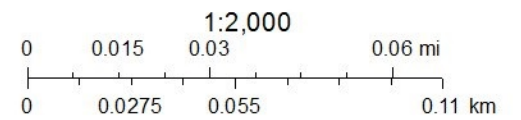
Staff recommends approval of items #1 and #2 based on findings a through h with the following stipulations:

- i. That all new windows and storefront systems feature dark colored frames and be installed in a manner that is consistent with existing, original windows.

City of San Antonio One Stop



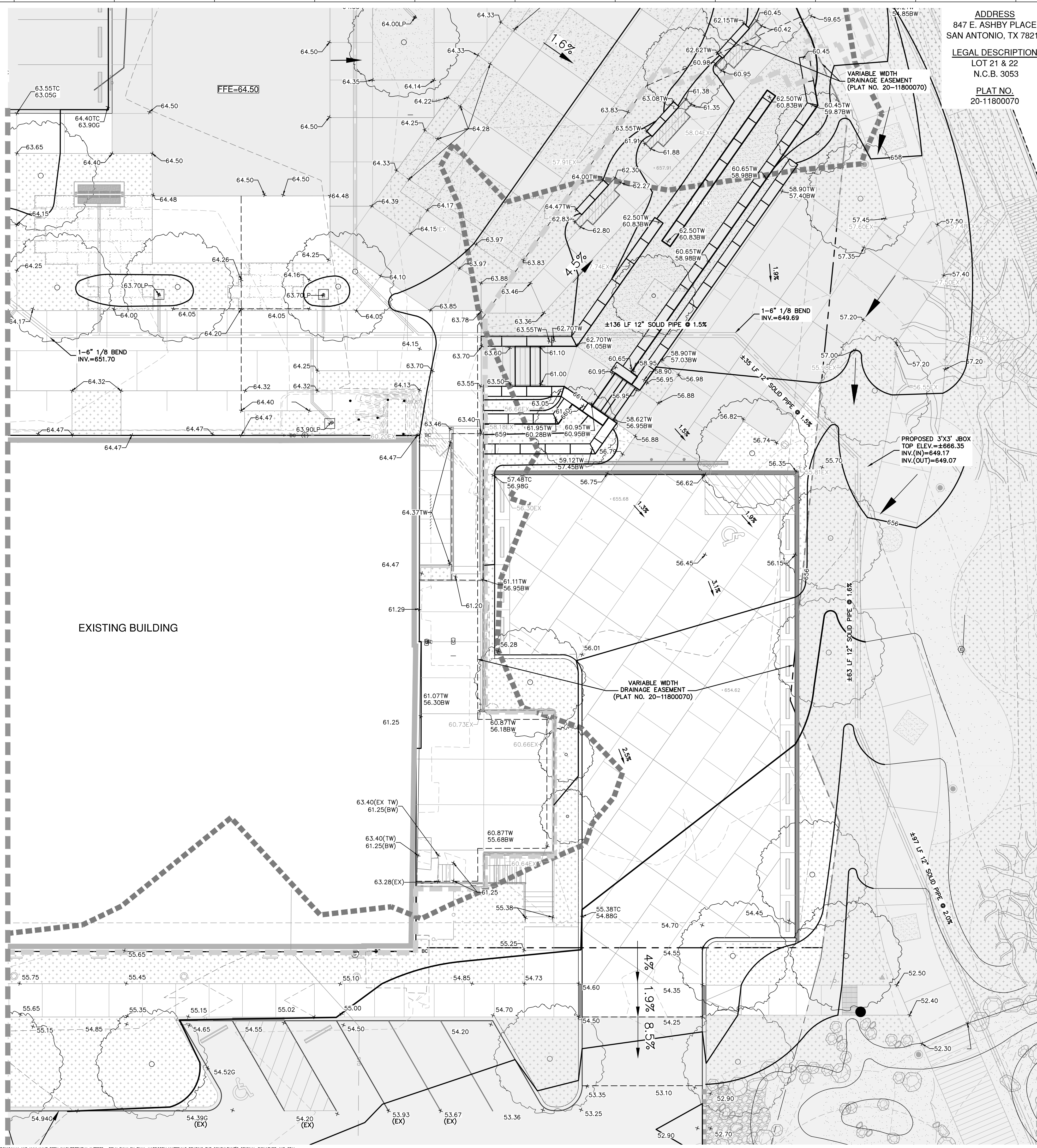
May 28, 2021



Date: Feb 15, 2021, 11:55am User ID: mstuckey
 File: P:\17192\30\Design\Civil\GR - 1179230_Office.dwg

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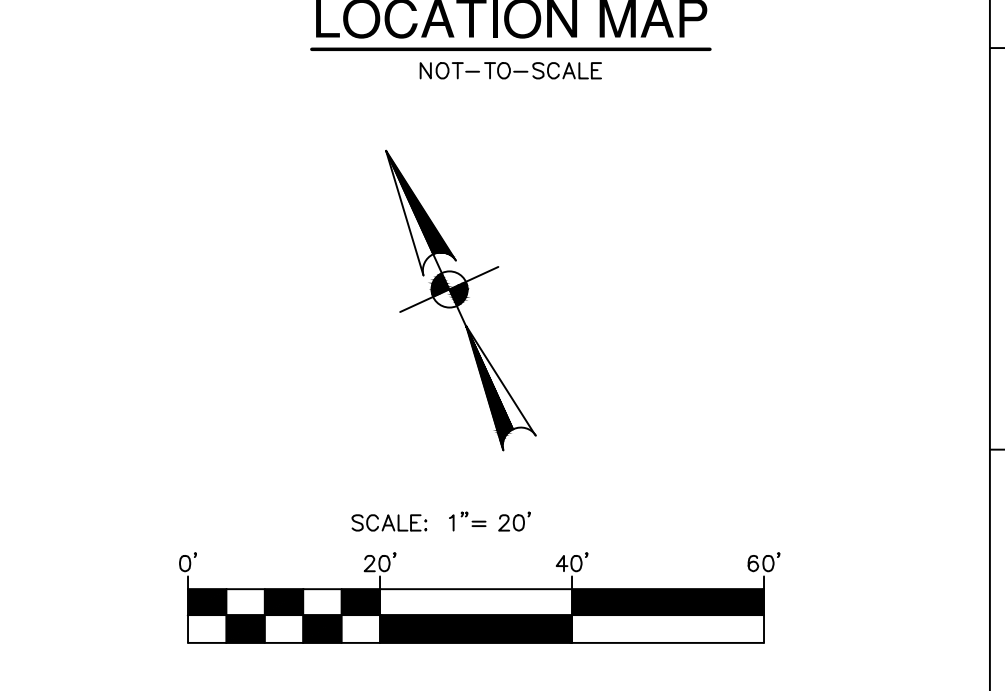
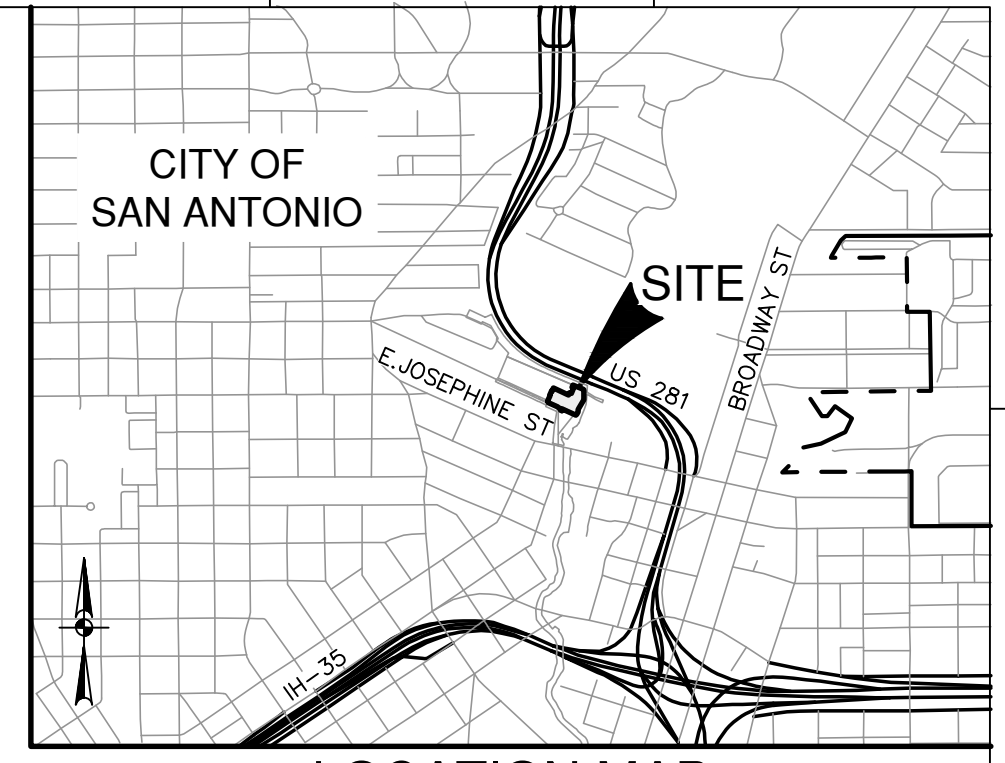
MATCH LINE A - (SEE SHEET C600)



ADDRESS
 847 E. ASHBY PLACE
 SAN ANTONIO, TX 78212

LEGAL DESCRIPTION
 LOT 21 & 22
 N.C.B. 3053

PLAT NO.
 20-11800070



LEGEND

- PROPOSED PROPERTY LINE
- EXISTING CURB
- PROPOSED STANDARD CURB
- PROPOSED HEADER CURB
- PROPOSED SAWTOOTH CURB
- EXISTING CONTOURS
- 5 FT CONTOUR
- 1 FT CONTOUR
- PROPOSED CONTOURS
- 5 FT CONTOUR
- 1 FT CONTOUR
- FLOODPLAIN
- DFIRM
- ATLAS 14-UD
- EXISTING SPOT ELEVATIONS
- PROPOSED SPOT ELEVATIONS
- EXISTING DIRECTIONAL FLOW ARROW
- PROPOSED DIRECTIONAL FLOW ARROW
- PROPOSED RETAINING WALL

NOTE:
 REFERENCE SHEET C001 FOR GENERAL CONSTRUCTION NOTES
 AND SHEETS C010-C020 FOR GENERAL CIVIL SPECIFICATIONS

SEPARATE CONTROL SHEET AVAILABLE UPON REQUEST

NOTE: PER UDC SECTION 35-506 (a)(1)(C)(2), ALL EXISTING AND PROPOSED SIDEWALK, CURB, RAMPS AND DRIVE APPROACHES, WHETHER ONSITE OR IN THE RIGHT-OF-WAY, SHALL COMPLY WITH TEXAS ACCESSIBILITY STANDARDS AND CURRENT CITY OF SAN ANTONIO DESIGN STANDARDS

NOTE: ALL RIGHT-OF-WAY IMPROVEMENTS TO BE INSPECTED AND ACCEPTED BY CITY OF SAN ANTONIO (COSA). ALL PAVEMENT MARKINGS IN RIGHT-OF-WAY TO BE HOT APPLIED THERMOPLASTIC PER COSA SPECIFICATION ITEM 535.

GOMEZ VAZQUEZ
 INTERNATIONAL

ARCHITECTURE | PLANNING | URBAN DESIGN
 210-404-9658 www.gvli.a

PAPE-DAWSON
 ENGINEERS

SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
 2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.8000
TXPE FIRM REGISTRATION #470 | TXPLS FIRM REGISTRATION #10028000

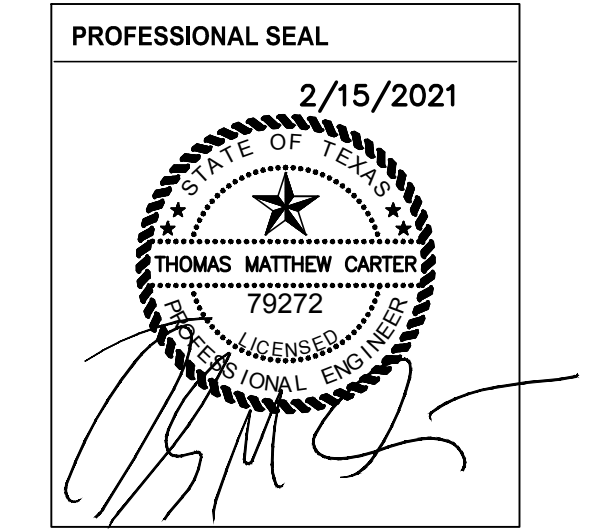
ISSUED SETS

Date	Description
2/15/2021	BIDDING SET

REVISIONS

No.	Date	Description
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BORDEN - OFFICE
 875 E Ashby Pl, San Antonio, TX
 78212



SHEET NAME

GRADING AND DRAINAGE PLAN (SHEET 2 OF 2)

PLAT NO.	20-11800070
CIVIL PROJECT NO.	11792-30
DESIGNER	M.S. CHECKED W.K.
DRAWN	T.R. DATE FEBRUARY 2021

SCALE As indicated

SHEET NUMBER

C610

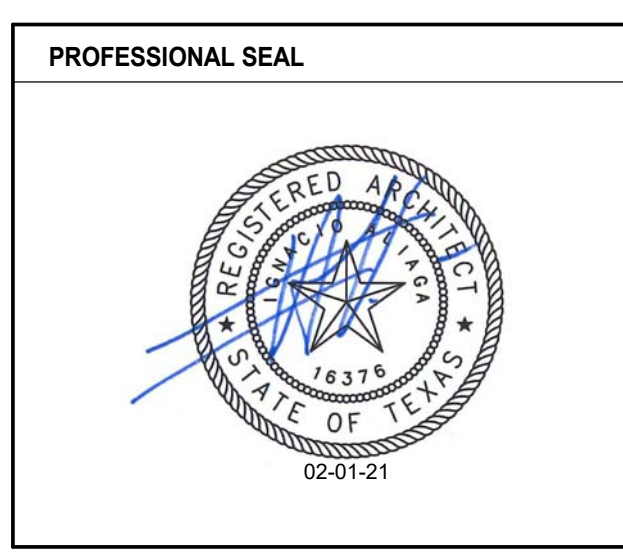
ISSUED SETS

Date	Description
09/15/20	PERMITTING SET

REVISIONS

No.	Date	Description
1	01/08/2021	BIDDING SET REV01
2	02/01/2021	BIDDING SET REV02
3	02/19/2021	BIDDING SET REV03

BORDEN- MIXED USE
847 E Ashby Place
San Antonio, TX 78212



SHEET NAME
SITE PLAN

Draftsman	GVI	Phase	DESIGN DEVELOPMENT
GVI Approval	GVI	Project No.	19135
Client Approval	AREA REAL ESTATE	File	A1.00.DWG
Date	02/19/21	Code	

SCALE As Indicated
SHEET NUMBER

A1.00

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1 SITE PLAN
SCALE: 1" = 20'-0"

GENERAL NOTES

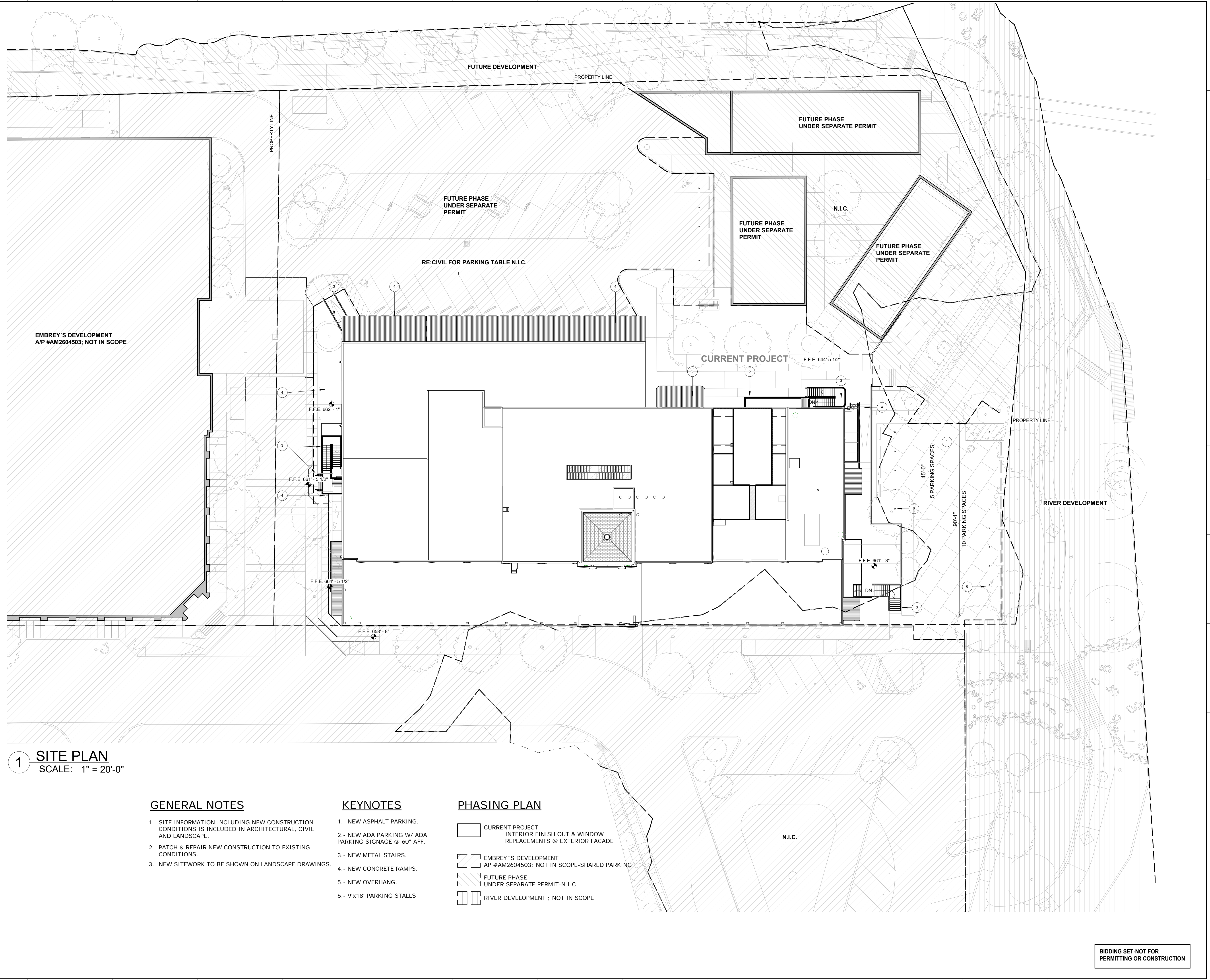
- SITE INFORMATION INCLUDING NEW CONSTRUCTION CONDITIONS IS INCLUDED IN ARCHITECTURAL, CIVIL AND LANDSCAPE.
- PATCH & REPAIR NEW CONSTRUCTION TO EXISTING CONDITIONS.
- NEW SITework TO BE SHOWN ON LANDSCAPE DRAWINGS.

KEYNOTES

- NEW ASPHALT PARKING.
- NEW ADA PARKING W/ ADA PARKING SIGNAGE @ 60" AFF.
- NEW METAL STAIRS.
- NEW CONCRETE RAMPS.
- NEW OVERHANG.
- 9'x18' PARKING STALLS

PHASING PLAN

- CURRENT PROJECT. INTERIOR FINISH OUT & WINDOW REPLACEMENTS @ EXTERIOR FACADE
- EMBREY'S DEVELOPMENT AP #AM2604503: NOT IN SCOPE-SHARED PARKING
- FUTURE PHASE UNDER SEPARATE PERMIT-N.I.C.
- RIVER DEVELOPMENT ; NOT IN SCOPE



BIDDING SET-NOT FOR PERMITTING OR CONSTRUCTION

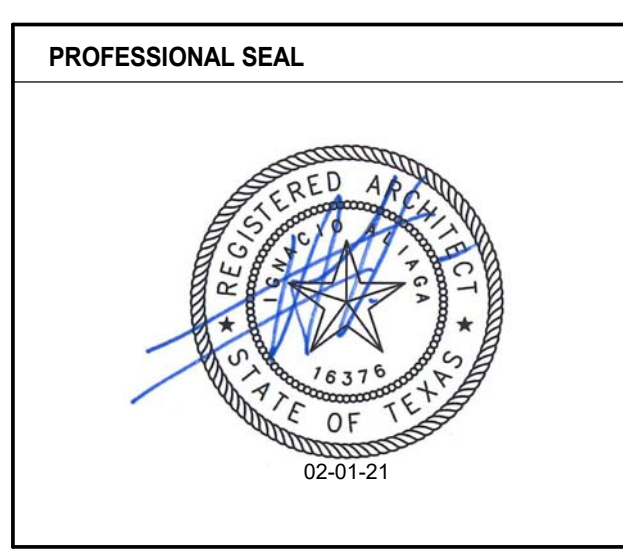
ISSUED SETS

Date	Description
09/15/20	PERMITTING SET

REVISIONS

No.	Date	Description
1	01/08/2021	BIDDING SET REV01
2	02/01/2021	BIDDING SET REV02
3	02/08/2021	CITY COMMENTS REV2
4	02/19/2021	BIDDING SET REV03

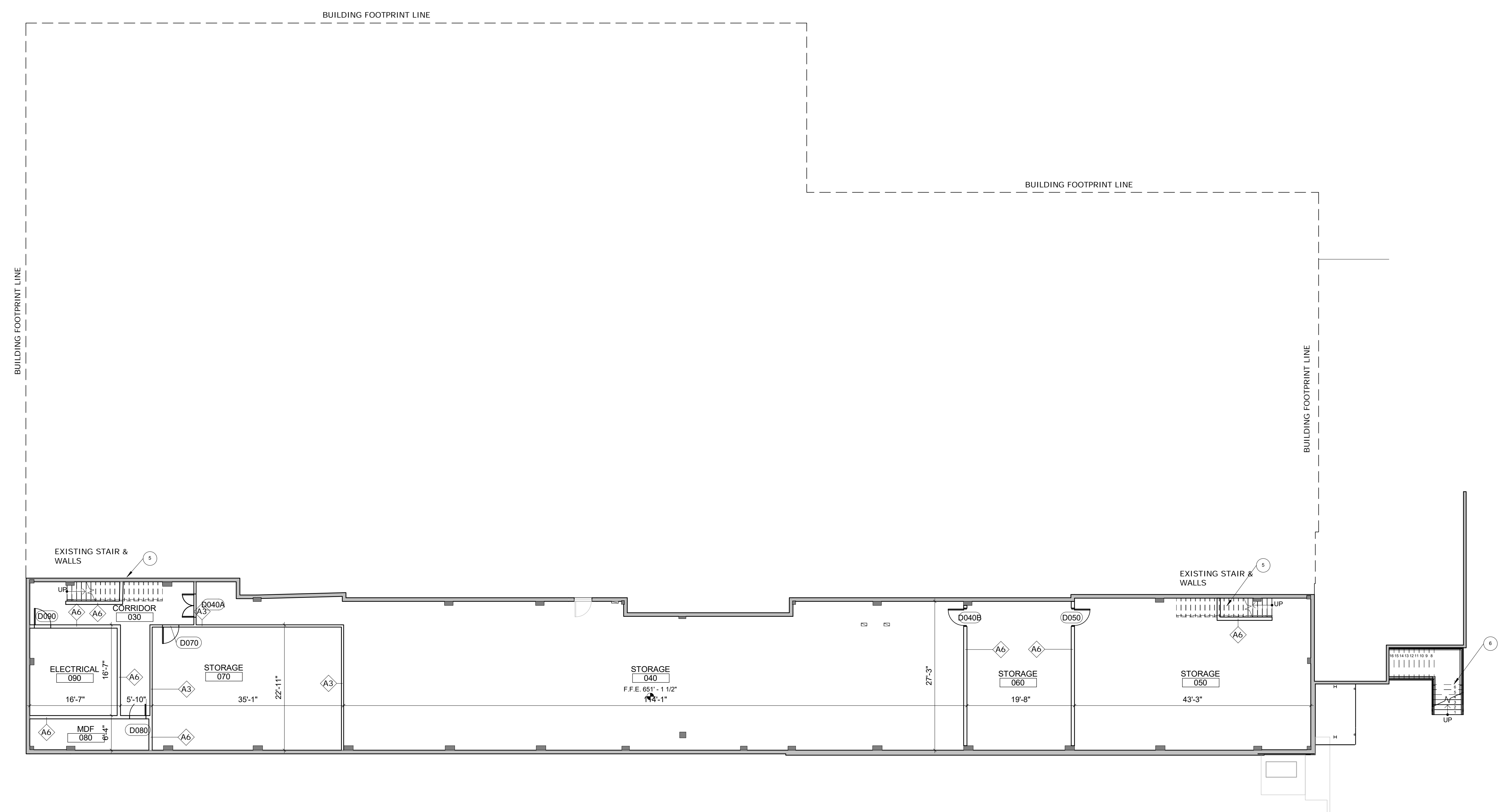
BORDEN- MIXED USE
847 E Ashby Place
San Antonio, TX 78212



SHEET NAME
BASEMENT FLOOR PLAN

Draftsman	GVI	Phase	DESIGN DEVELOPMENT
GVI Approval	GVI	Project No.	19135
Client Approval	AREA REAL ESTATE	File	A2.00.DWG
Date	02/19/21	Code	

SCALE As Indicated
SHEET NUMBER
A2.00



1 BASEMENT FLOOR PLAN
SCALE: 3/32" = 1'-0"

GENERAL NOTES

- CONTRACTOR TO NOTIFY ARCHITECT IF THERE ARE ANY DISCREPANCIES IN DIMENSIONS. DO NOT SCALE THE DRAWINGS.
- CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY UPON ANY DISCREPANCIES ON SITE.
- ROOFING PENETRATIONS NEED TO BE COORDINATED WITH MEP AND ROOFING AND FLASHED TO MEET "SMACNA" REQUIREMENTS.
- PROVIDE FLOOR/WALL/CEILING EXPANSION JOINT ASSEMBLIES, WHERE NEW CONSTRUCTION JOINTS ARE EXPOSED.
- INSTALL NEW MECHANICAL/ELECTRICAL/DATA AND CONTROL SYSTEMS IN A CONCEALED FASHION OR AS NOTED ON DOCUMENTS.
- ALL FURNITURE IS NOT IN CONTRACT AND SHOWN FOR COORDINATION PURPOSES ONLY.
- TO BE COORDINATED WITH LANDSCAPE ARCHITECT.

KEYNOTES

- SITE WORK, SHOWN IN GRAY, IS PART OF FUTURE DEVELOPMENT
- NEW ADA COMPLIANT EXTERIOR RAMPS RE: CIVIL
- EXISTING DOCK WITH NEW GUARDRAILS
- EXISTING ELEVATOR TO REMAIN
- EXISTING STAIRS TO REMAIN. PATCH & REPAIR AS REQUIRED
- NEW METAL STAIRS
- NEW CANOPY ABOVE, SHOWN AS DASHED
- EXISTING CANOPY ABOVE, SHOWN AS DASHED GRAY
- EXISTING COLUMNS TO REMAIN. PROTECT & REPAIR AS REQUIRED
- OUTSIDE ROOF IS NOT OPEN TO PUBLIC
- SKYLIGHT PROJECTION SHOWN AS DASHED FOR CLARITY (EXISTING)
- ELEVATOR SHAFT TO BE 1 HR. RATED
- RAISED FLOORING
- EXISTING LEVEL PARTITIONS & FINISHES TO REMAIN
- EXISTING EQUIPMENT
- NEW RAMP WITH GUARDRAILS
- HISTORICAL DOORS TO REMAIN. PATCH & REPAIR AS REQUIRED-SWING OUT.
- OPENING IN EXISTING WALL

NEW WALLS	
EXISTING WALLS	

BIDDING SET-NOT FOR PERMITTING OR CONSTRUCTION

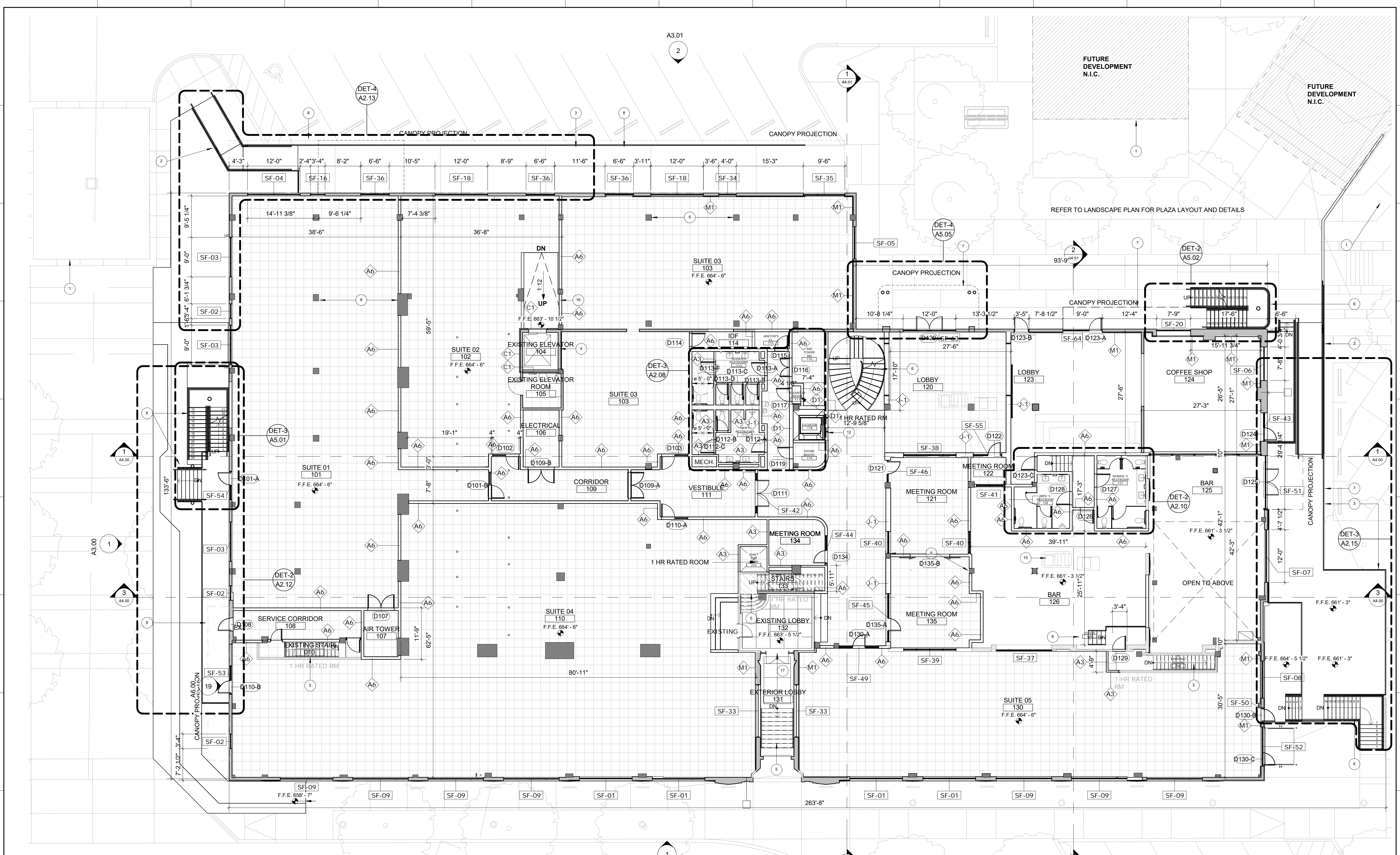
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ISSUED SETS

Date	Description
09/15/20	PERMITTING SET

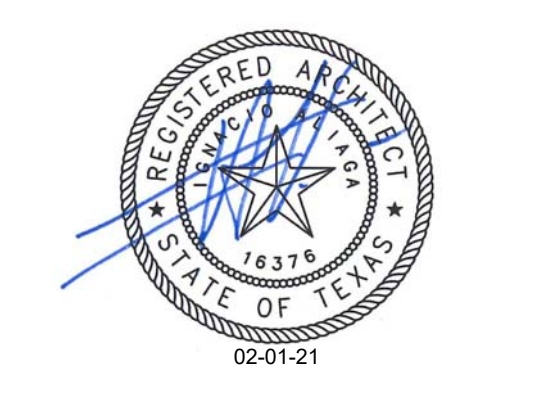
REVISIONS

No.	Date	Description
1	12/11/2020	CITY COMMENTS
2	01/08/2021	BIDDING SET REV01
3	02/01/2021	BIDDING SET REV02
4	02/19/2021	BIDDING SET REV03



BORDEN- MIXED USE
847 E Ashby Place
San Antonio, TX 78212

PROFESSIONAL SEAL



SHEET NAME
FIRST FLOOR PLAN

Draftsman	GVI	Phase	DESIGN DEVELOPMENT
GVI Approval	GVI	Project No.	19135
Client Approval	AREA REAL	File	A2.01.DWG
Date	ESTATE	Code	02/19/21

SCALE As indicated

SHEET NUMBER
A2.01

1 FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"

GENERAL NOTES

- CONTRACTOR TO NOTIFY ARCHITECT IF THERE ARE ANY DISCREPANCIES IN DIMENSIONS. DO NOT SCALE THE DRAWINGS.
- CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY UPON ANY DISCREPANCIES ON SITE.
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KEYNOTES

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- NEW ADA COMPLIANT EXTERIOR RAMPS RE: CIVIL
- EXISTING DOCK WITH NEW GUARDRAILS
- EXISTING ELEVATOR TO REMAIN
- EXISTING STAIRS TO REMAIN. PATCH & REPAIR AS REQUIRED
- NEW METAL STAIRS
- NEW CANOPY ABOVE, SHOWN AS DASHED
- EXISTING CANOPY ABOVE, SHOWN AS DASHED GRAY
- EXISTING COLUMNS TO REMAIN. PROTECT & REPAIR AS REQUIRED
- OUTSIDE ROOF IS NOT OPEN TO PUBLIC
- SKYLIGHT PROJECTION SHOWN AS DASHED FOR CLARITY (EXISTING)
- ELEVATOR SHAFT TO BE 1 HR. RATED
- RAISED FLOORING
- EXISTING LEVEL PARTITIONS & FINISHES TO REMAIN
- EXISTING EQUIPMENT
- NEW RAMP WITH GUARDRAILS
- HISTORICAL DOORS TO REMAIN. PATCH & REPAIR AS REQUIRED-SWING OUT.
- OPENING IN EXISTING WALL

NEW WALLS	
EXISTING WALLS	

BIDDING SET-NOT FOR PERMITTING OR CONSTRUCTION

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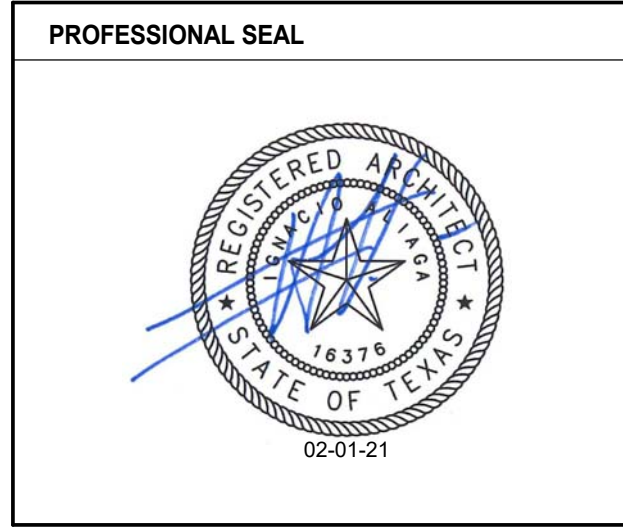
ISSUED SETS

Date	Description
09/15/20	PERMITTING SET

REVISIONS

No.	Date	Description
1	12/11/2020	CITY COMMENTS
2	02/08/2021	CITY COMMENTS REV2
3	02/19/2021	BIDDING SET REV03

BORDEN - MIXED USE
847 E Ashby Place
San Antonio, TX 78212

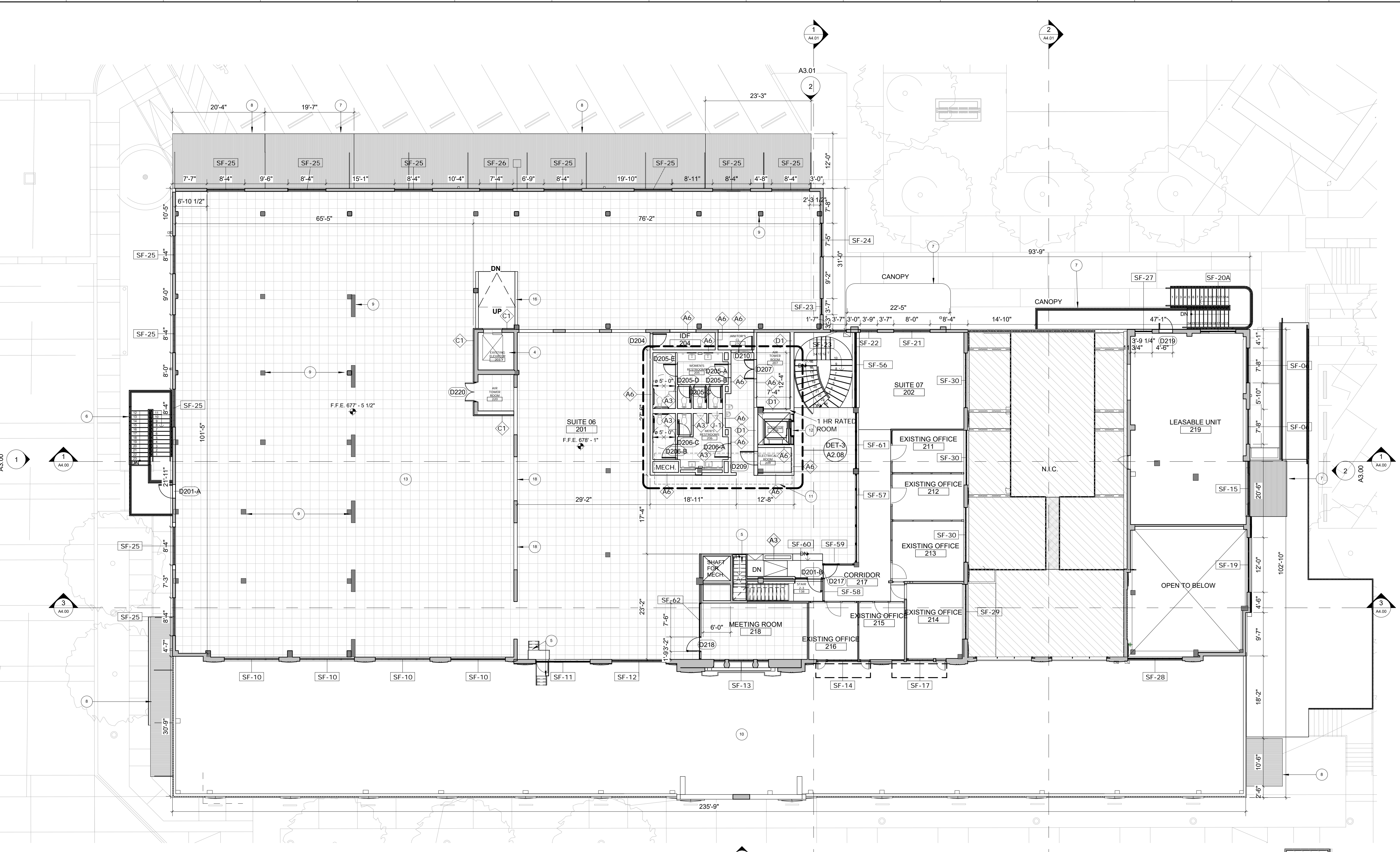


SHEET NAME
SECOND FLOOR PLAN

Draftsman	GVI	Phase	DESIGN DEVELOPMENT
CIVI Approval	GVI	Project No.	19135
Client Approval	AREA REAL ESTATE	File	A2.02.DWG
Date	02/19/21	Code	

SCALE As Indicated
SHEET NUMBER

A2.02



1 SECOND FLOOR PLAN
SCALE: 3/32" = 1'-0"

GENERAL NOTES

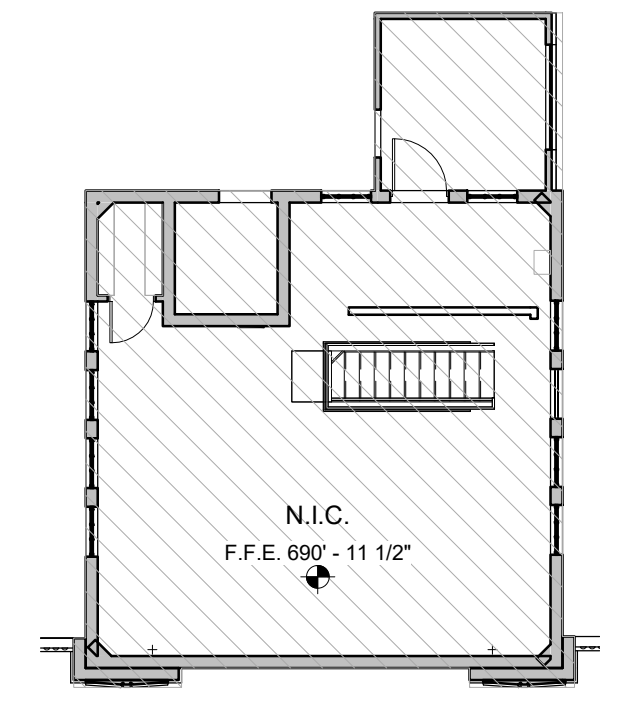
- CONTRACTOR TO NOTIFY ARCHITECT IF THERE ARE ANY DISCREPANCIES IN DIMENSIONS. DO NOT SCALE THE DRAWINGS.
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KEYNOTES

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- SKYLIGHT PROJECTION SHOWN AS DASHED FOR CLARITY (EXISTING)
- ELEVATOR SHAFT TO BE 1 HR. RATED
- RAISED FLOORING
- EXISTING LEVEL PARTITIONS & FINISHES TO REMAIN
- EXISTING EQUIPMENT
- NEW RAMP WITH GUARDRAILS
- HISTORICAL DOORS TO REMAIN. PATCH & REPAIR AS REQUIRED - SWING OUT.
- OPENING IN EXISTING WALL

NEW WALLS	
EXISTING WALLS	

2 MEZZANINE FLOOR PLAN
SCALE: 3/32" = 1'-0"



BIDDING SET-NOT FOR PERMITTING OR CONSTRUCTION

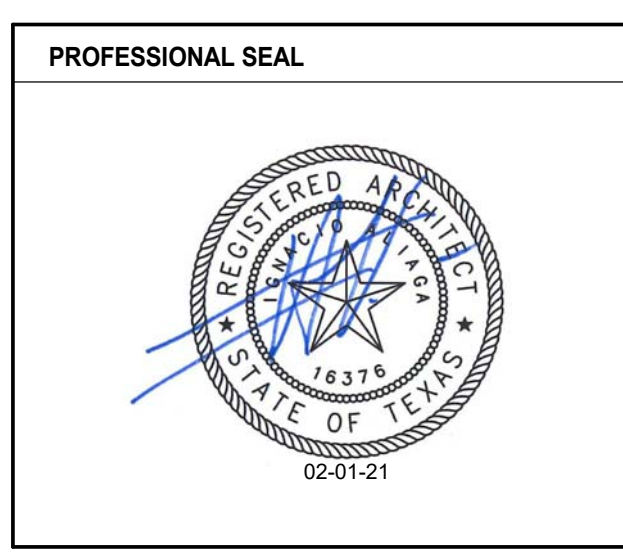
ISSUED SETS

Date	Description
09/15/20	PERMITTING SET

REVISIONS

No.	Date	Description
1	01/08/2021	BIDDING SET REV01
2	02/01/2021	BIDDING SET REV02
3	02/19/2021	BIDDING SET REV03

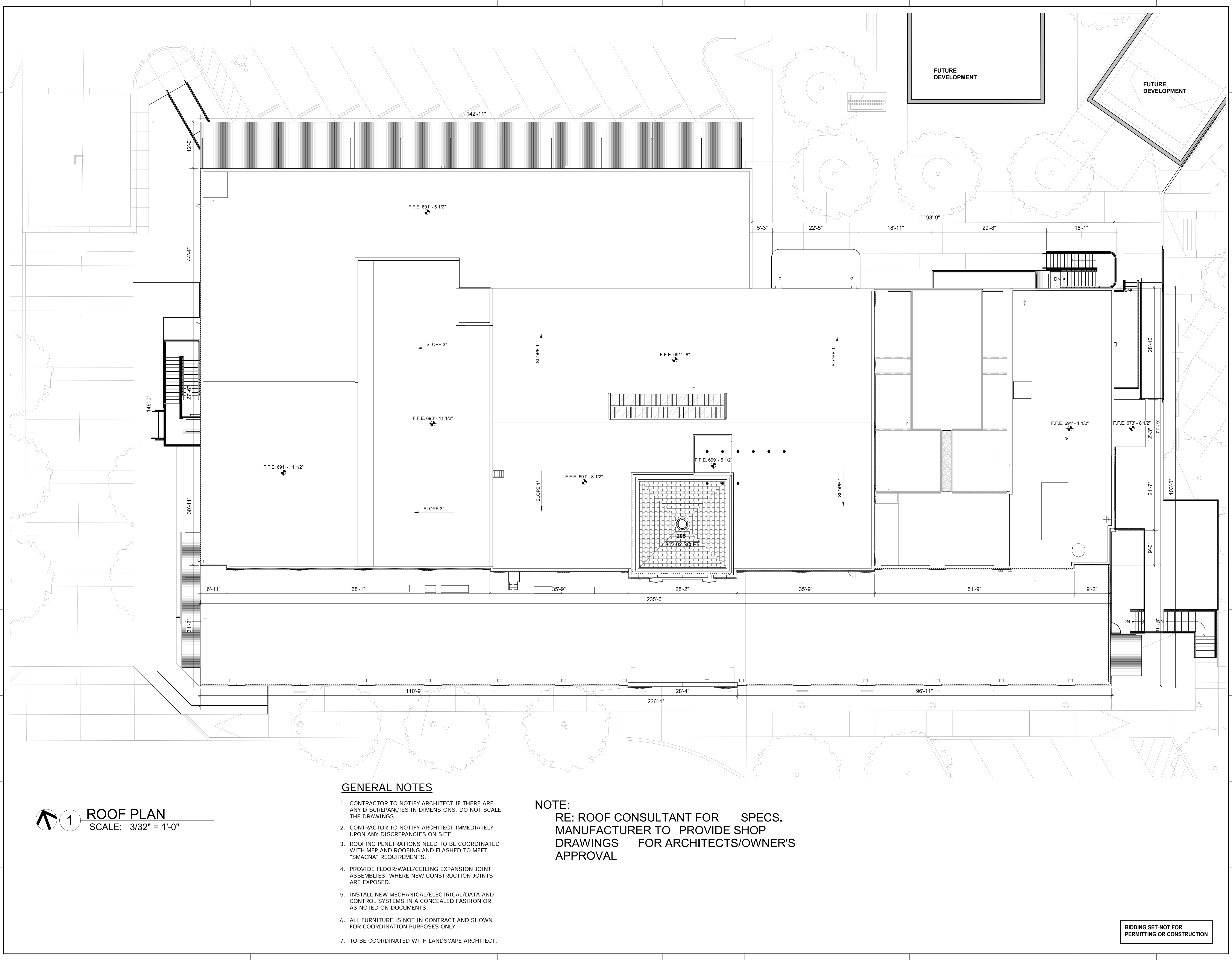
BORDEN - MIXED USE
847 E Ashby Place
San Antonio, TX 78212



SHEET NAME
ROOF FLOOR PLAN

Drawn by	GVI	Phase	DESIGN DEVELOPMENT
GVI Approval	GVI	Project No.	19135
Client Approval	AREA REAL ESTATE	File	A2.03.DWG
Date	02/19/21	Code	

SCALE As Indicated
SHEET NUMBER
A2.03



1 ROOF PLAN
SCALE: 3/32" = 1'-0"

GENERAL NOTES

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- TO BE COORDINATED WITH LANDSCAPE ARCHITECT.

NOTE:
RE: ROOF CONSULTANT FOR SPECS.
MANUFACTURER TO PROVIDE SHOP
DRAWINGS FOR ARCHITECTS/OWNER'S
APPROVAL

BIDDING SET-NOT FOR PERMITTING OR CONSTRUCTION

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ISSUED SETS

Date	Description
09/15/20	PERMITTING SET

REVISIONS

No.	Date	Description
01/08/21		BIDDING SET REV01
02/01/21		BIDDING SET REV02
02/19/21		BIDDING SET REV03

SCHEDULE				
TAG NO.	DESCRIPTION	MANUFACTURER	MODEL	REMARK
TA-1	TOILET	DURAVIT	216501	WHITE (020) FINISH
TA-2	MONOLITH BASIN	THE SPLASH LAB	THE MONOLITH 105	CUSTOM MADE WALL MOUNTED BASIN
TA-3	BATHROOM FAUCET	THE SPLASH LAB	SSL 882	BRASS FINISH
TA-4	TISSUE DISPENSER AND TRASH CAN COMBO	SOBRICK	8-35903 TrimLineSeries	STAINLESS STEEL
TA-5	STAINLESS STEEL FRAME MIRROR	CUSTOM MADE	6'-0"X3'-0"	BRASS FINISH FRAME
TA-6	URINAL	DURAVIT	052725	WHITE (020) FINISH
TA-7	SOAP DISPENSER	THE SPLASH LAB	SSL 470	BRASS FINISH
TA-8	TOILET PAPER DISPENSER	HOME RISES	Luxury double gold brushed brass toilet paper holder with seat	BRASS FINISH
TA-9	HAND DRYER	AMERICAN SPECIALTIES	turbo-tuff recessed 0135	STAINLESS STEEL
TA-10	GRAB BAR	KINGSTONE BRASS	#KGRB14247	BRASS FINISH
TA-11	DRINKING FOUNTAIN	ELKAY	ERO29K	STAINLESS STEEL
TA-12	CHANGING STATION	KOALA KARE	KB110-SSWM	STAINLESS STEEL
TA-13	DOOR PULL	EMTEK	EMTEK SELECT Cabinet Pull	160MM SATIN BRASS
TA-14	DOOR LOCK	ETSY	Vintage Handmade Brass Latch Lock	6MM ANTIQUE LOCK
TA-15	DOOR FOOT PULL	PRIMA DECORATIVE HARDWARE	Touch Free Foot Pull Door Opener Alum.	BRASS FINISH
TA-16	DOOR KNOB	EMTEK	Conical Knurled Knob	SATIN BRASS

WOOD DOORS (@ RESTROOM TOILET STALLS)
FLUSH SOLID CORE WOOD DOOR (2 1/2" X 7 1/2")
WOODEN MOLDINGS APPLICATIONS
FINISH: PAINTED
HARDWARE:
DOOR KNOB: MODEL: CONICAL KNURLED KNOB
MANUFACTURER: EMTK
COLOR: SATIN BRASS

DOOR LOCK:
MODEL: VACANT ENGAGED BRASS LOCK BOLT INDICATOR FOR BATHROOM TOILET DOOR
MANUFACTURER: ETSY
COLOR: SATIN BRASS

WOOD DOORS (@ RESTROOM ENTRANCE)
(EXISTING DOORS, PROVIDED BY OWNER, INSTALLED BY GC)
FLUSH SOLID CORE WOOD DOOR (3' X 7' 1/2")
WOODEN FRAME, APPLIED WOODEN MOLDINGS
FINISH: PAINTED
HARDWARE:
DOOR HANDLE: JASPER APPLIANCE PULL
COLOR: SATIN BRASS
MANUFACTURER: EMTK

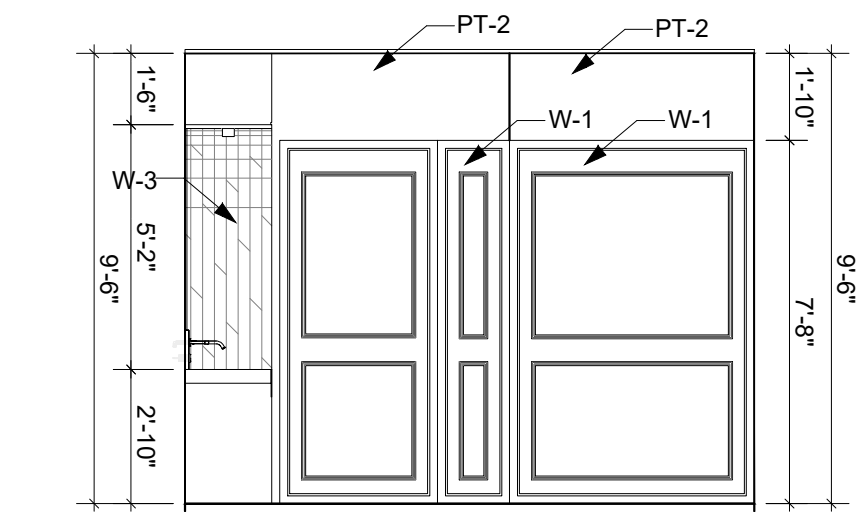
GLASS: RIBBED CUSTOM DECORATIVE ARCHITECTURAL GLASS

LIGHT FIXTURE SCHEDULE		
SYMBOL	DESCRIPTION	DESCRIPTION
⊕	Flush mount ceiling light	8" dia. x 6" H Painted white exterior; brass painted interior
○	Recessed downlight	LED recessed decorative ceiling luminaire, Brass finish
---	LED strip	Installed underneath arch frame
⊕	Wall sconce	Satin brass

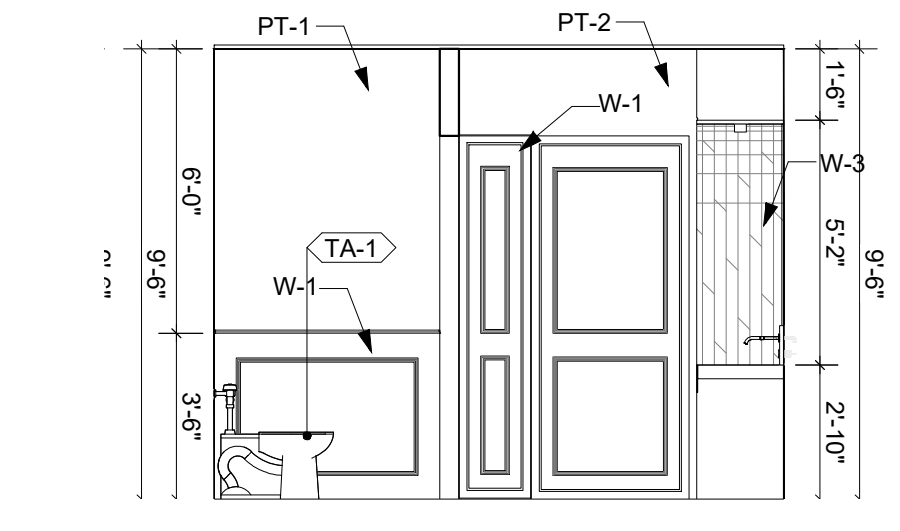
CEILING FINISH LEGEND	
	OPEN STRUCTURE
	TYPE 'X' GYPSUM FLAT- 5/8"

*LIGHT FIXTURES' COLOR OF LIGHT (KELVINS) / BRIGHTNESS (LUMENS) / ENERGY CONSUMPTION (WATTAGE) TO BE COORDINATED WITH OWNERSHIP

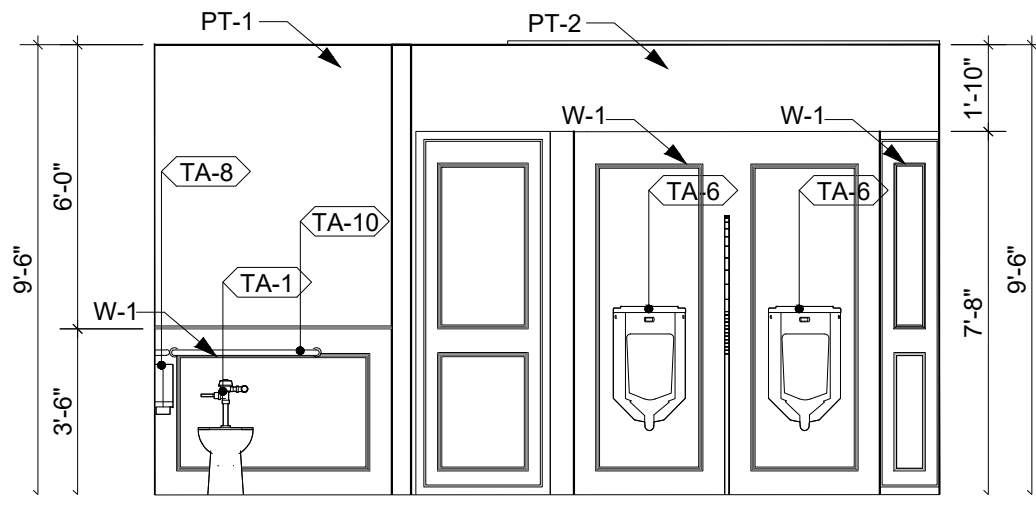
ROOM FINISH LEGEND	
	CERAMIC TILE CT-3: LOWES AMERICAN OLEAN GENUINE, STONE REFINED GRAY 11" x 14"
	WOOD VENEER W-3: PAINTED WOOD VENEER VANITY ARCH FRAME
	PAINT PT-1: SHERWIN WILLIAMS SW-7006 EXTRA WHITE WALLS
	PAINT PT-2: SHERWIN WILLIAMS SW-7064 GREY PASSIVE WALLS
	WOOD W-1: WOOD/MDF WAINSCOT MOLDINGS APPLIED ON DRYWALL, WHITE PAINTING (SW-7006), LEVEL 5.
	FLOOR RF-01: RAISED FLOOR MANUFACTURER: TATE FLOORS. COLOR: NEUTRAL



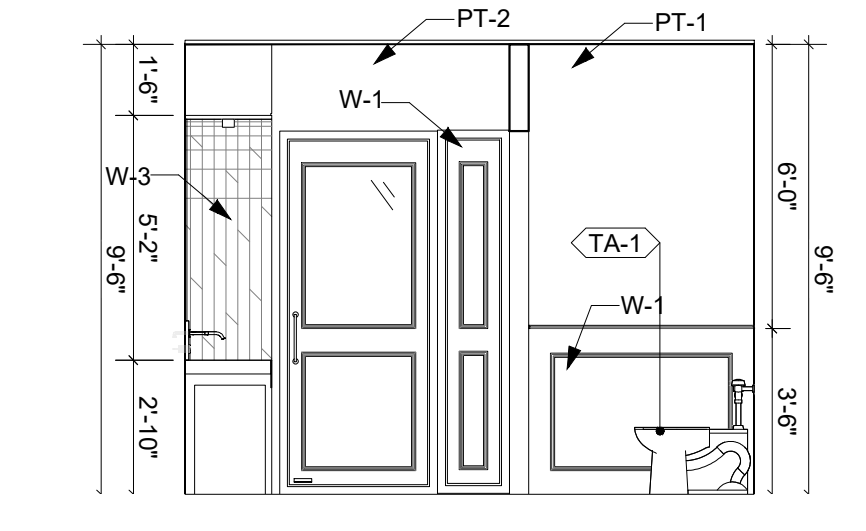
11 INT. ELEV. -MEN'S RESTROOMS
SCALE: 1/4" = 1'-0"



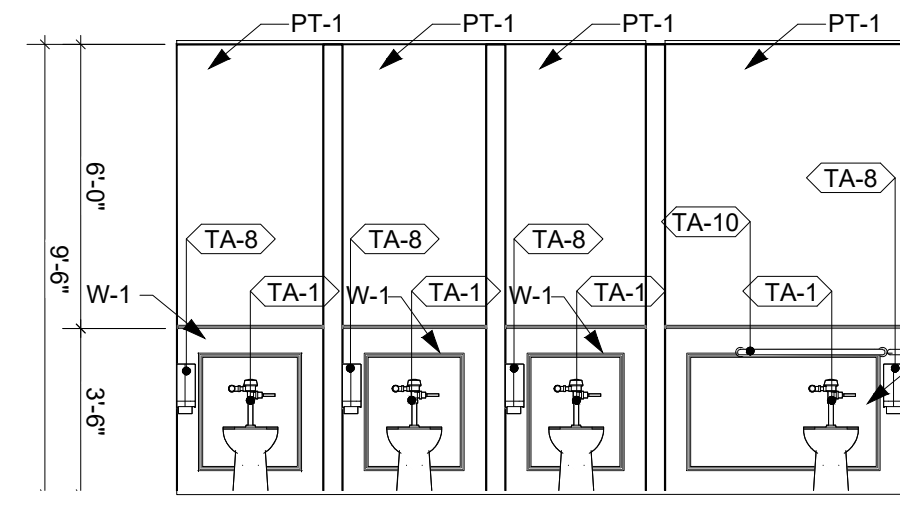
10 INT. ELEV. -WOMEN'S RESTROOMS
SCALE: 1/4" = 1'-0"



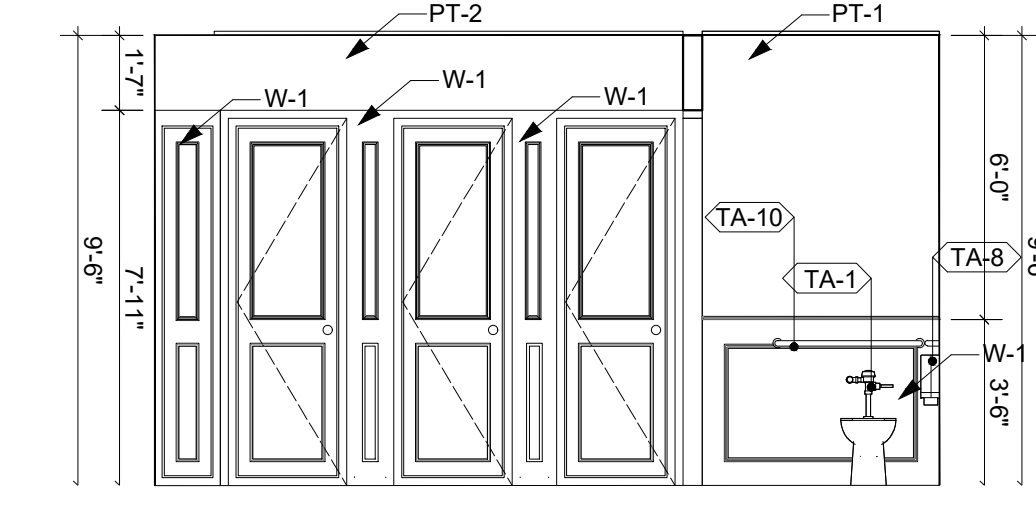
9 INT. ELEV. -TOILET PARTITIONS
SCALE: 1/4" = 1'-0"



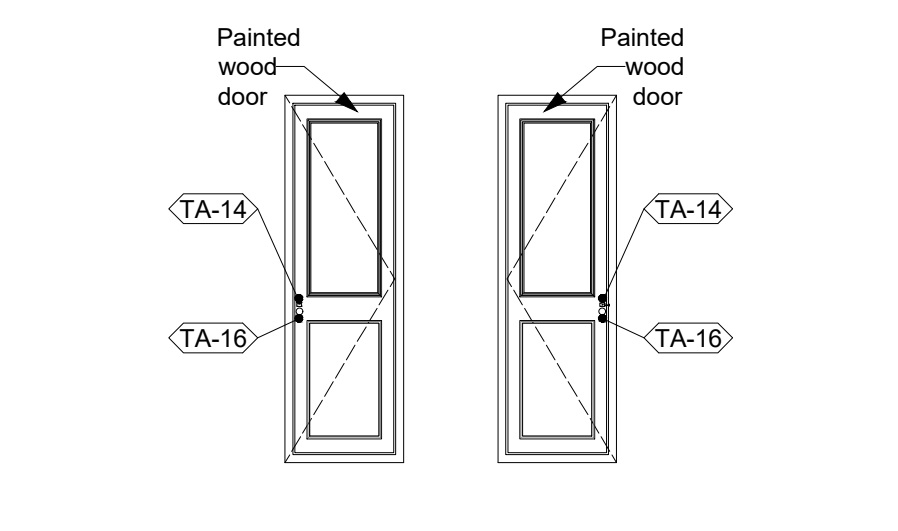
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SCALE: 1/4" = 1'-0"



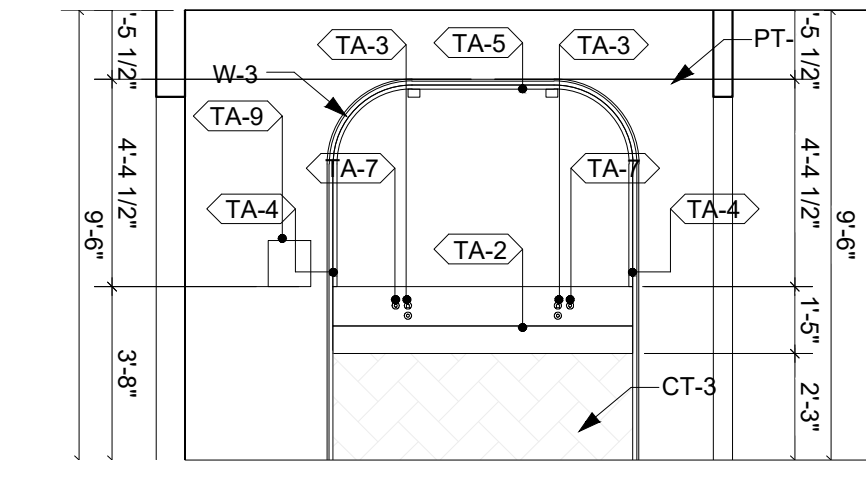
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SCALE: 1/4" = 1'-0"



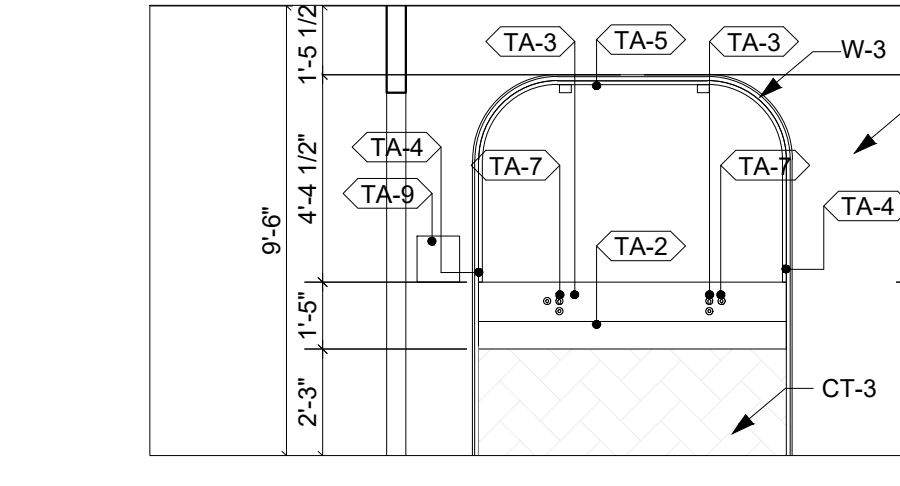
6 INT. ELEV. -WOMEN'S RESTROOMS
SCALE: 1/4" = 1'-0"



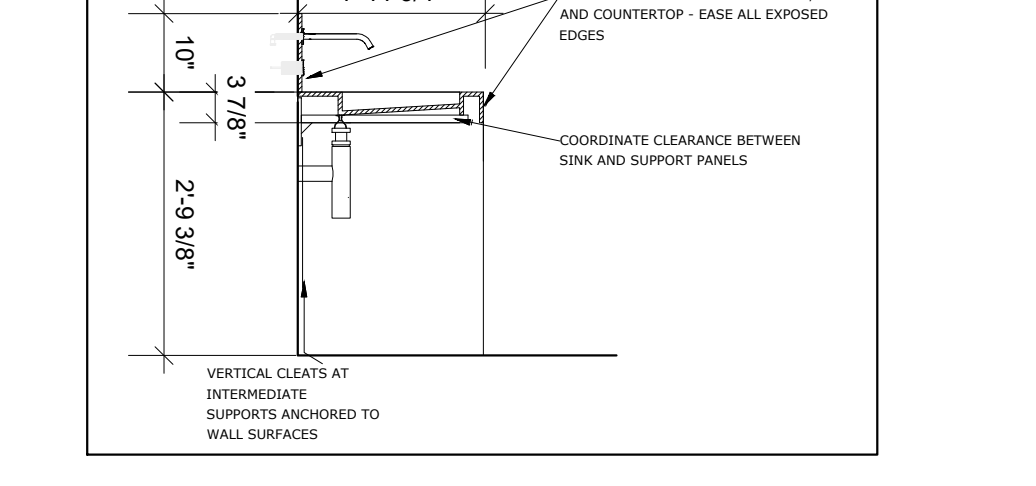
TOILET STALL DOOR ELEV.
SCALE: 1/4" = 1'-0"



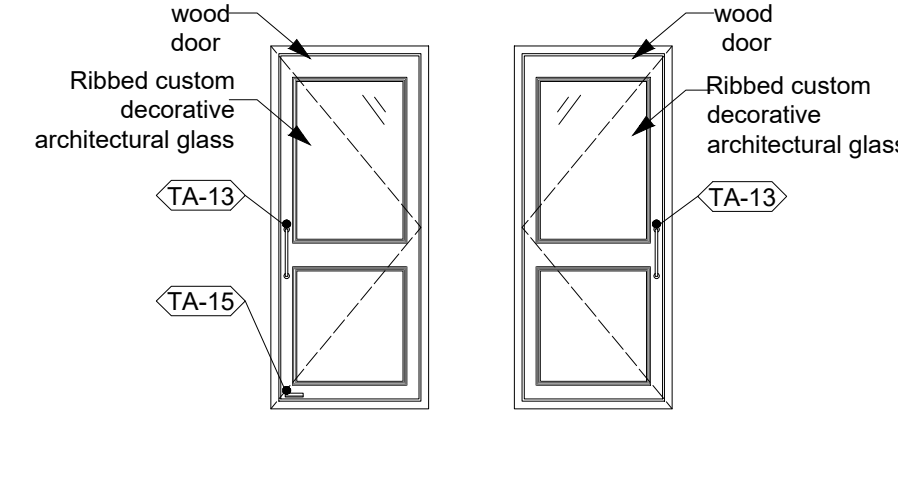
5 INT. ELEV. -MEN'S RESTROOMS
SCALE: 1/4" = 1'-0"



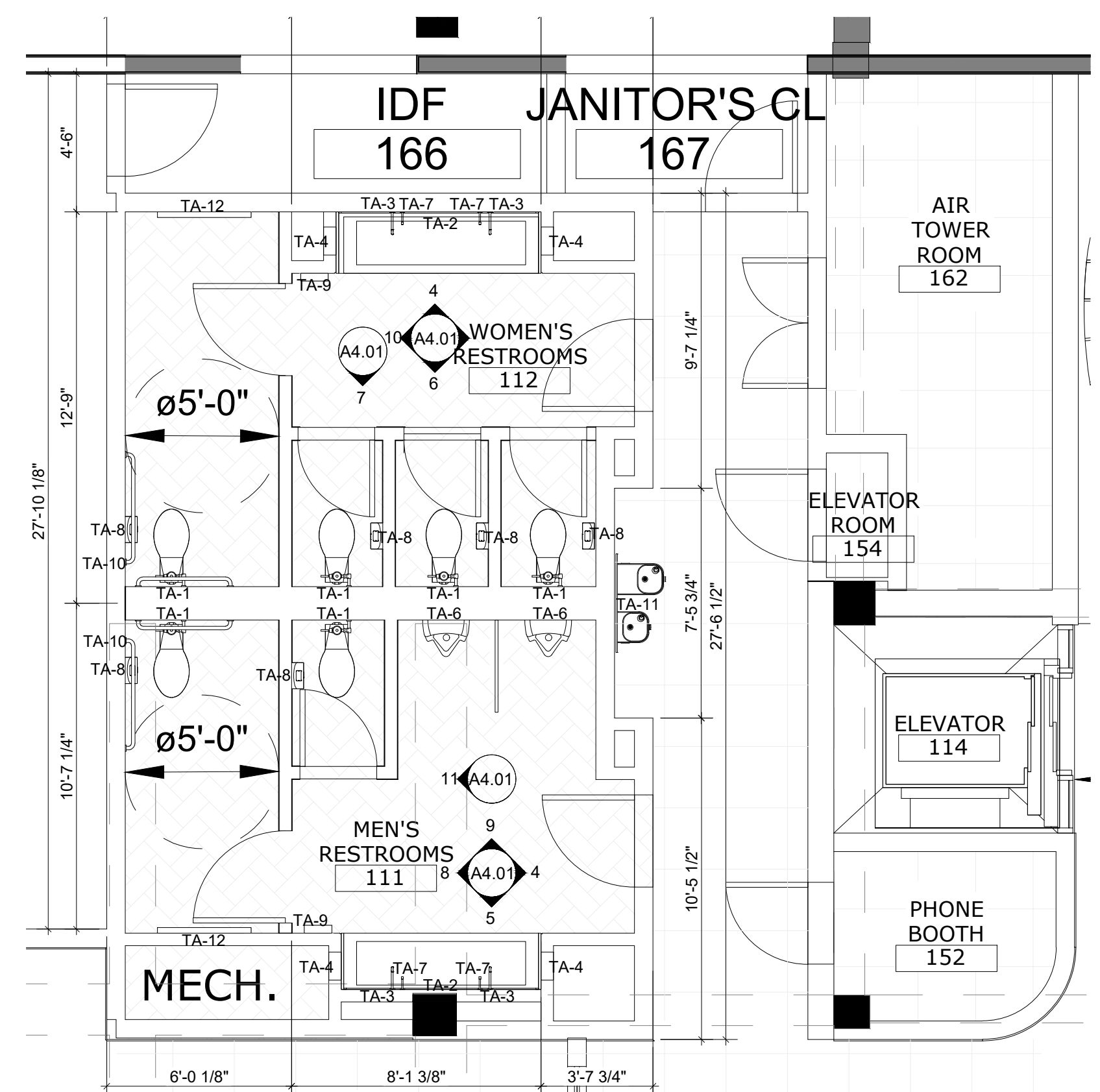
4 INT. ELEV. -WOMEN'S RESTROOMS
SCALE: 1/4" = 1'-0"



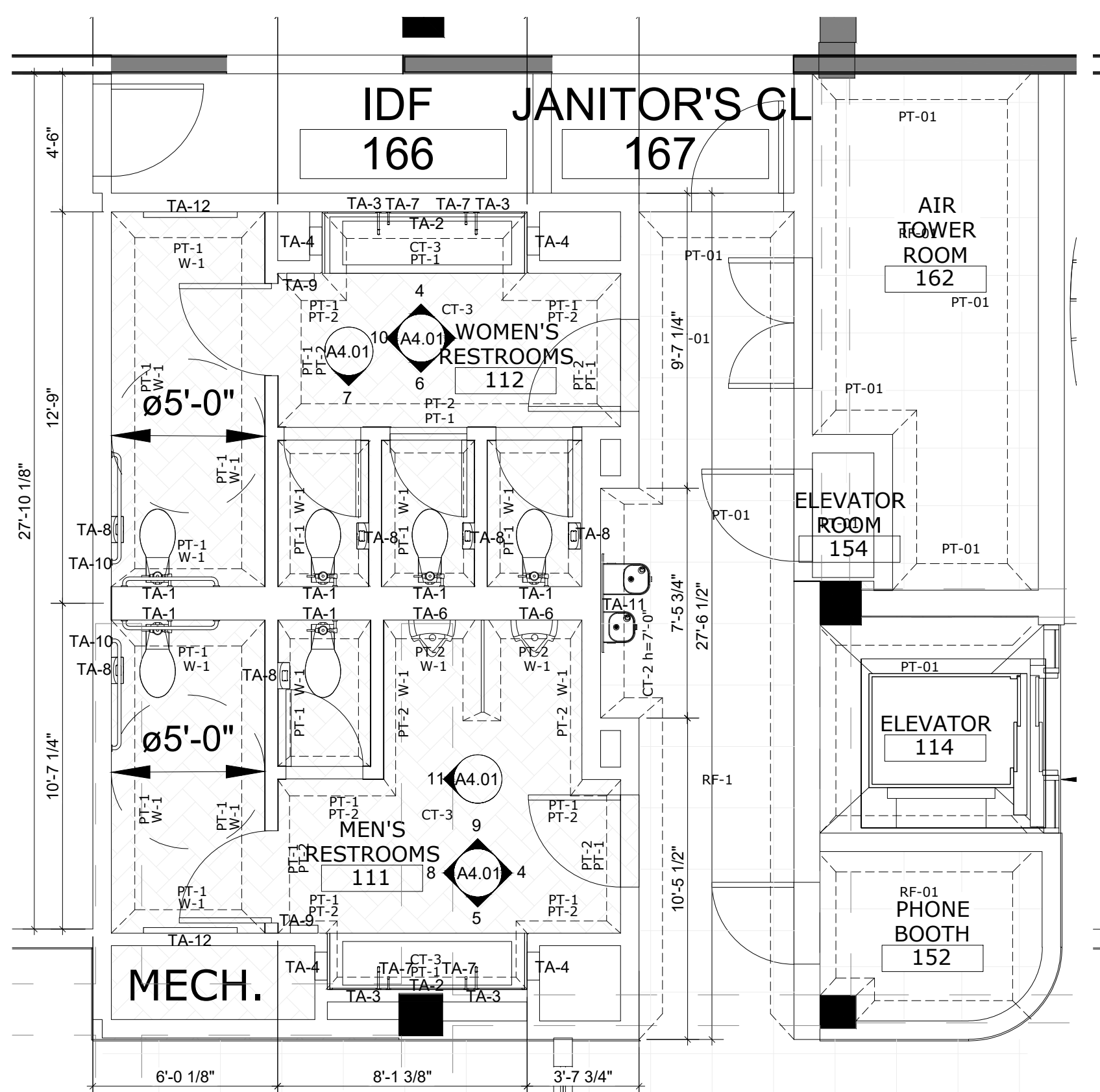
WALL MOUNTED BASIN SECTION
SCALE: 1/2" = 1'-0"



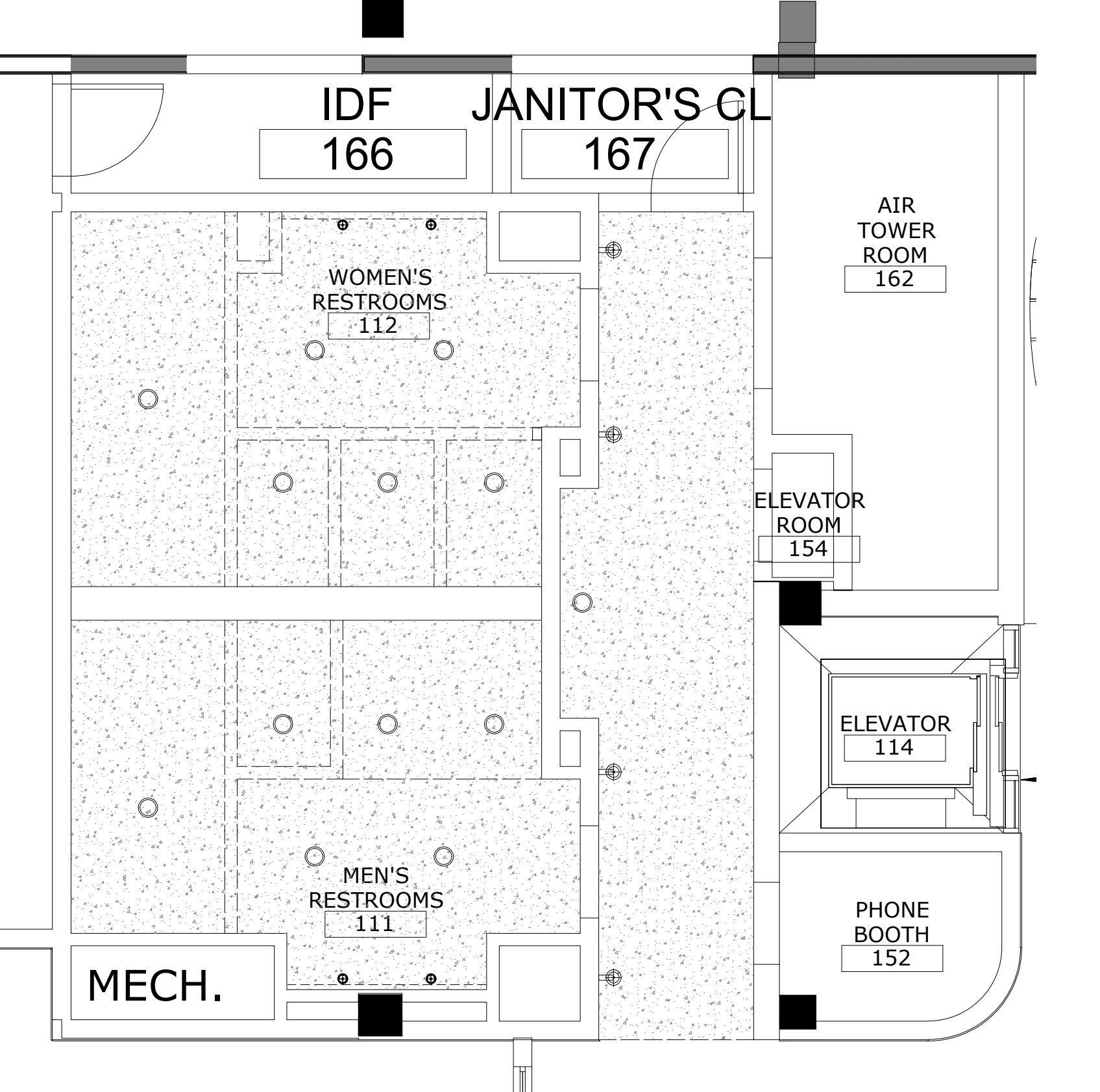
ENTRANCE DOOR ELEV.
SCALE: 1/4" = 1'-0"



3 RESTROOMS 1 FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 RESTROOMS 1 - FINISHES
SCALE: 1/4" = 1'-0"



1 RESTROOMS 1 - CEILING PLAN
SCALE: 1/4" = 1'-0"

PROFESSIONAL SEAL



SHEET NAME
RESTROOM ENLARGED
(FLOORPLAN
ELEVATIONS-
SECTIONS)

Draftsman	GVI	Phase	DESIGN
Development	GVI	Project No.	19135
Client Approval	AREA REAL ESTATE	File	A2.08.DWG
Date	02/19/21	Code	

SCALE: As Indicated

SHEET NUMBER
A2.08

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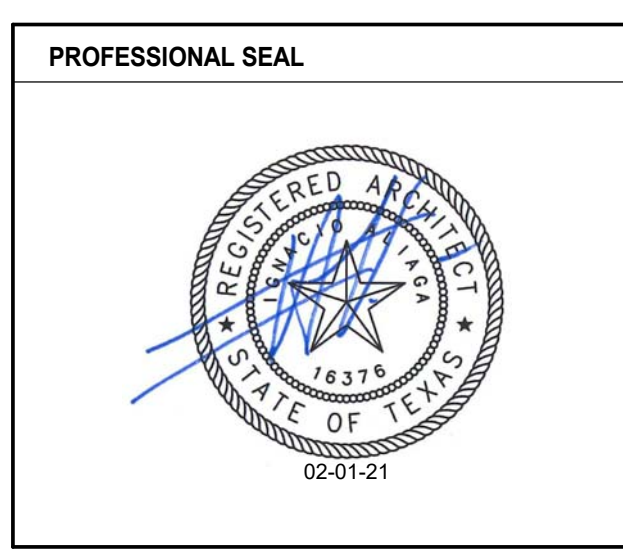
ISSUED SETS

Date	Description
09/15/20	PERMITTING SET

REVISIONS

No.	Date	Description
1	01/08/2021	BIDDING SET REV01
2	02/01/2021	BIDDING SET REV02
3	02/19/2021	BIDDING SET REV03

BORDEN - MIXED USE
847 E Ashby Place
San Antonio, TX 78212

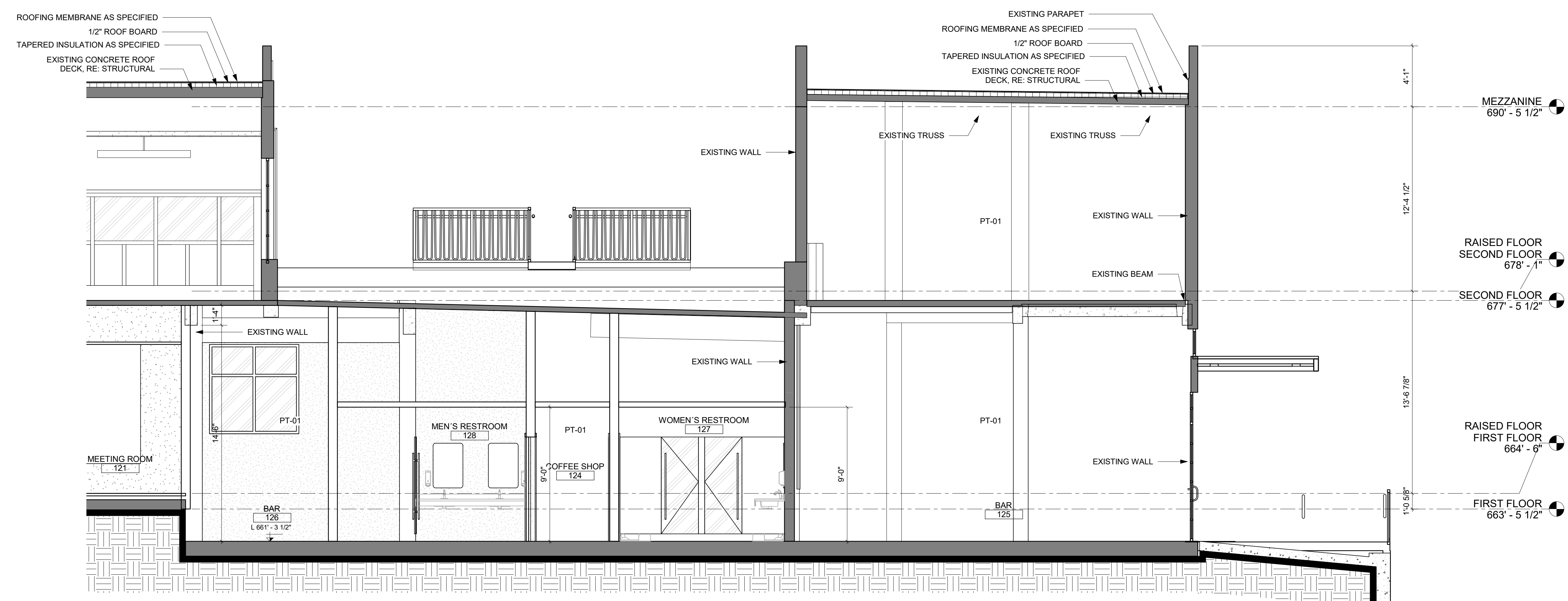


SHEET NAME
BAR ENLARGED

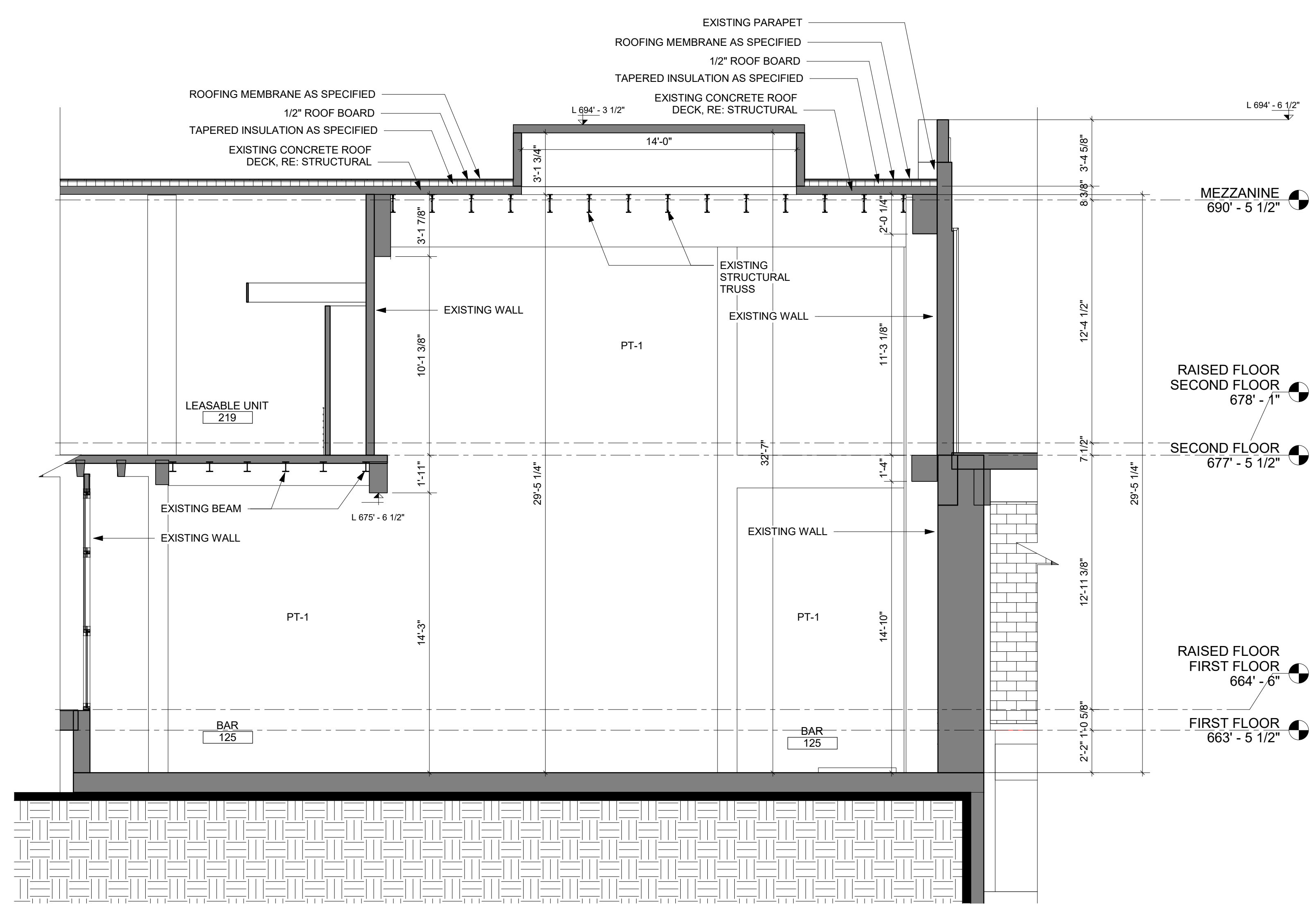
Drawn by	Phase	DESIGN
GVI	DEVELOPMENT	
GVI	Project No.	19135
AREA REAL ESTATE	File	A2.18.DWG
Date	Code	02/19/21

SCALE 1/4" = 1'-0"
SHEET NUMBER

A2.18



F1 SECTION 01 - BAR
SCALE: 1/4" = 1'-0"



A1 SECTION 02 - BAR
SCALE: 1/4" = 1'-0"

ROOM FINISH LEGEND

	PAINT
PT-1	SHERWIN WILLIAMS SW-7006 EXTRA WHITE WALLS

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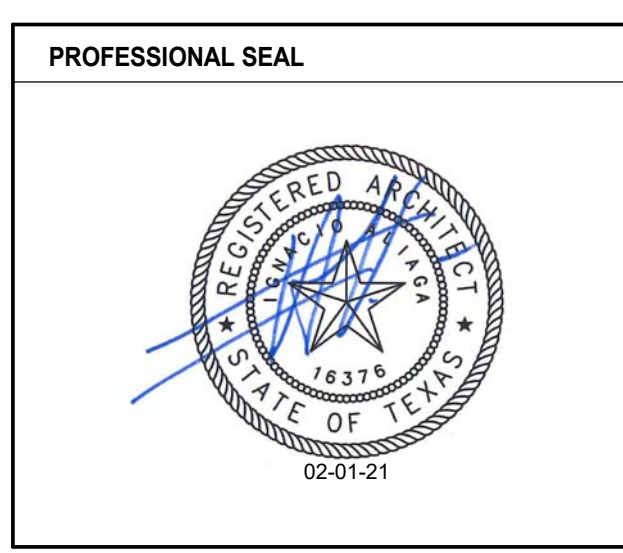
ISSUED SETS

Date	Description
09/15/20	PERMITTING SET

REVISIONS

No.	Date	Description
1	12/11/2020	CITY COMMENTS
2	01/09/2021	BIDDING SET REV01
3	02/01/2021	BIDDING SET REV02
4	02/19/2021	BIDDING SET REV03

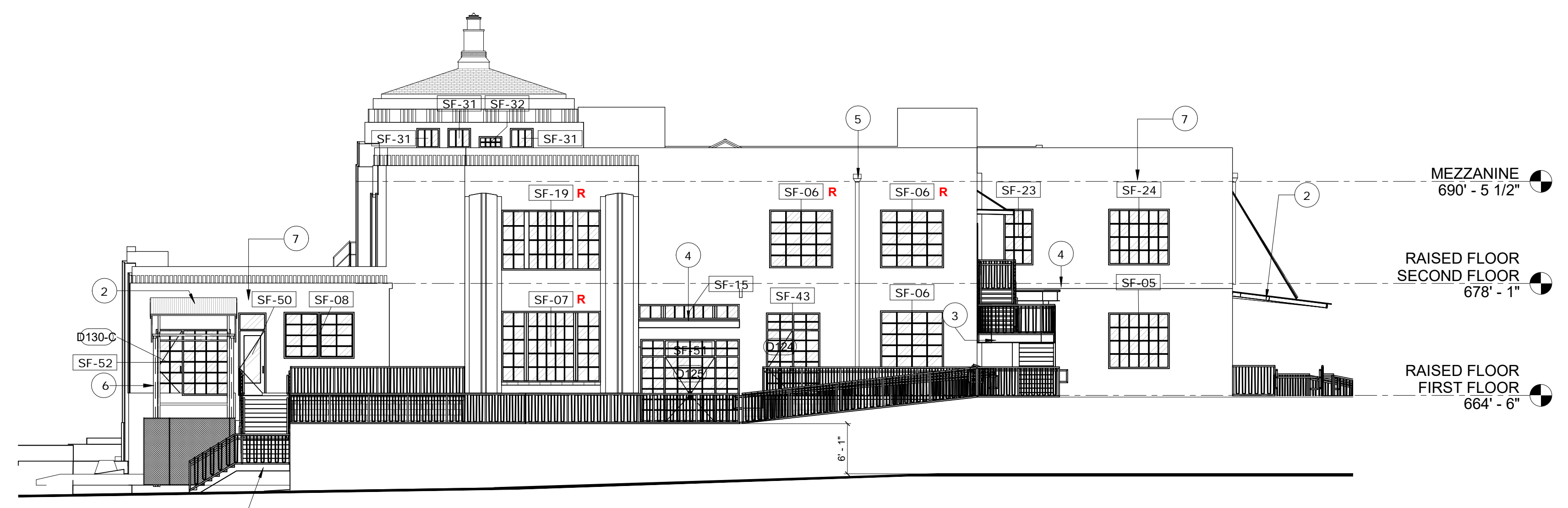
BORDEN - MIXED USE
847 E Ashby Place
San Antonio, TX 78212



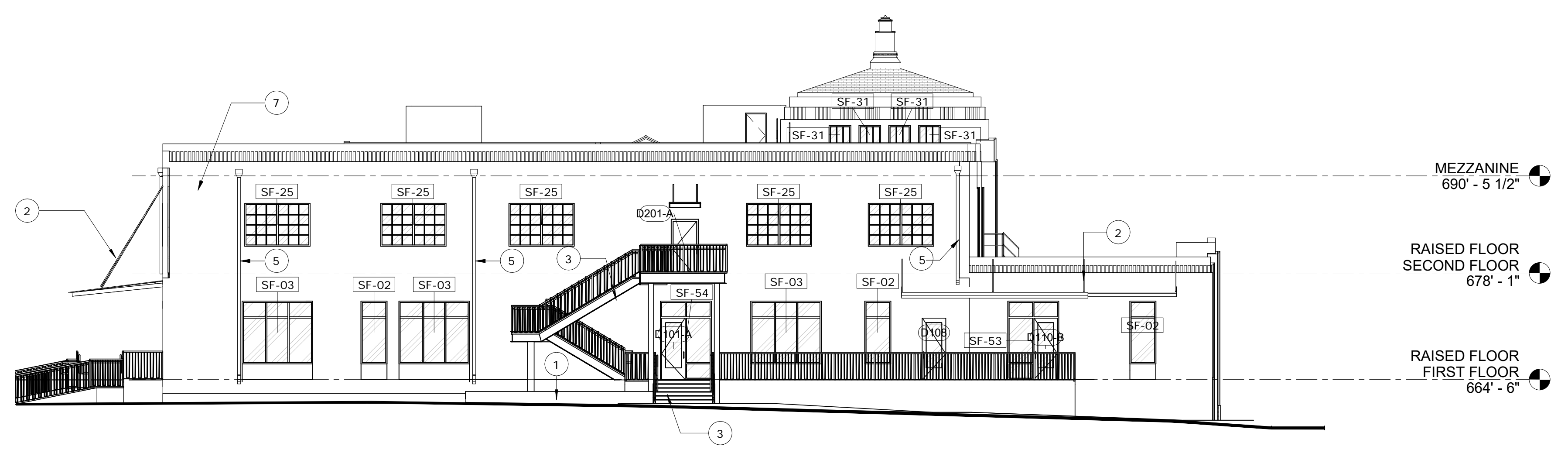
SHEET NAME
EXTERIOR ELEVATIONS

Draftsman	GVI	Phase	DESIGN DEVELOPMENT
GVI Approval	GVI	Project No.	19135
Client Approval	AREA REAL ESTATE	File	A3.00.DWG
Date	02/19/21	Code	

SCALE As Indicated
SHEET NUMBER
A3.00



2 ELEVATION EAST
SCALE: 3/32" = 1'-0"



1 ELEVATION WEST
SCALE: 3/32" = 1'-0"

GENERAL NOTES

- INSTALL ROOF SYSTEM COMPONENTS IN STRICT ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
- ALL FURNITURE IS NOT IN CONTRACT AND SHOWN FOR COORDINATION PURPOSES ONLY.
- PERIMETER JOINTS BETWEEN DISSIMILAR MATERIALS, PROVIDE MINIMUM 3/8" JOINT.
- NOTIFY ANY DISCREPANCIES WITH DEMOLITION PLANS
- CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY UPON ANY DISCREPANCIES IN DIMENSIONS.

KEYNOTES

- PLANTER, RE: LANDSCAPE
- EXISTING CANOPY, RE: STRUCTURAL
- NEW CANOPY, RE: STRUCTURAL
- NEW STAIRS, RE: DETAILS
- EXISTING DOWNSPOUT
- EXISTING LIFT TO REPAIR, PATCH & REPAIR AS REQUIRED
- EXISTING BUILDING TO BE PAINTED

WINDOW NOTES

EXISTING WINDOWS, RESTORE, SEE SPECS

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ISSUED SETS

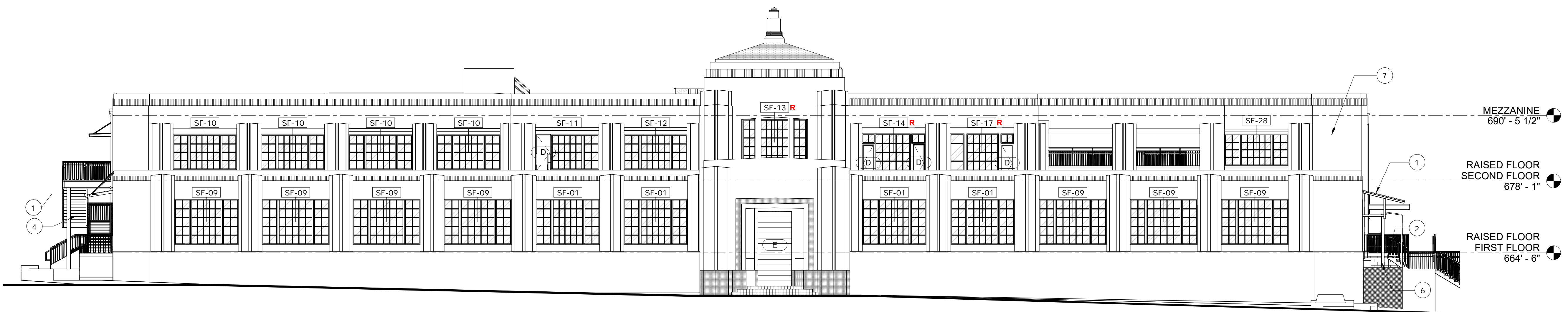
Date	Description
09/15/20	PERMITTING SET

REVISIONS

No.	Date	Description
1	01/08/2021	BIDDING SET REV01
2	02/01/2021	BIDDING SET REV02
3	02/19/2021	BIDDING SET REV03



2 ELEVATION NORTH
SCALE: 3/32" = 1'-0"



1 ELEVATION SOUTH
SCALE: 3/32" = 1'-0"

GENERAL NOTES

- INSTALL ROOF SYSTEM COMPONENTS IN STRICT ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
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- PERIMETER JOINTS BETWEEN DISSIMILAR MATERIALS, PROVIDE MINIMUM 3/8" JOINT.
- NOTIFY ANY DISCREPANCIES WITH DEMOLITION PLANS
- CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY UPON ANY DISCREPANCIES IN DIMENSIONS.

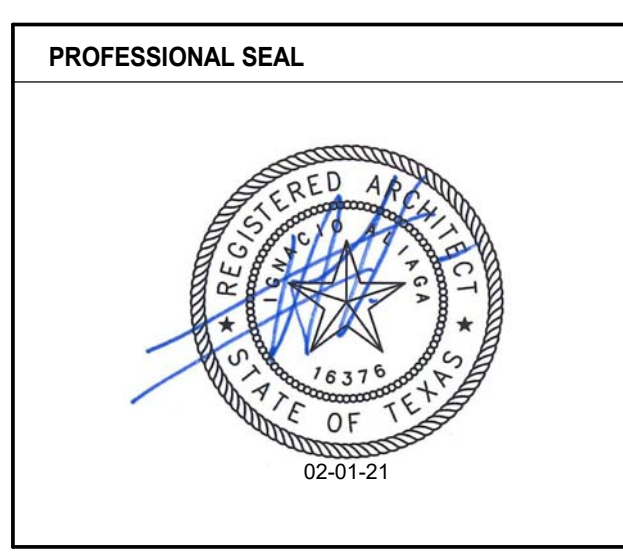
KEYNOTES

- PLANTER, RE: LANDSCAPE
- EXISTING CANOPY, RE: STRUCTURAL
- NEW CANOPY, RE: STRUCTURAL
- NEW STAIRS, RE: DETAILS
- EXISTING DOWNSPOUT
- EXISTING LIFT TO REPAIR, PATCH & REPAIR AS REQUIRED
- EXISTING BUILDING TO BE PAINTED

WINDOW NOTES

R EXISTING WINDOWS, RESTORE, SEE SPECS

BORDEN- MIXED USE
847 E Ashby Place
San Antonio, TX 78212



SHEET NAME
EXTERIOR ELEVATIONS

Drawnman	Phase	DESIGN DEVELOPMENT
GVI	GVI	Project No. 19135
Client Approval	AREA REAL ESTATE	Date 02/19/21
Date	Code	A3.01.DWG

SCALE As indicated

SHEET NUMBER
A3.01

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ISSUED SETS

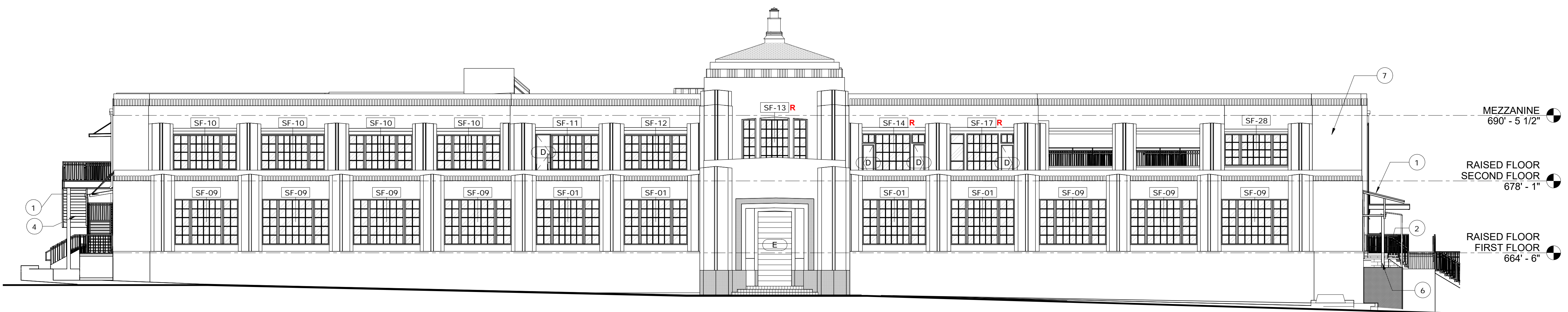
Date	Description
09/15/20	PERMITTING SET

REVISIONS

No.	Date	Description
1	01/08/2021	BIDDING SET REV01
2	02/01/2021	BIDDING SET REV02
3	02/19/2021	BIDDING SET REV03



2 ELEVATION NORTH
SCALE: 3/32" = 1'-0"



1 ELEVATION SOUTH
SCALE: 3/32" = 1'-0"

GENERAL NOTES

- INSTALL ROOF SYSTEM COMPONENTS IN STRICT ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
- ALL FURNITURE IS NOT IN CONTRACT AND SHOWN FOR COORDINATION PURPOSES ONLY.
- PERIMETER JOINTS BETWEEN DISSIMILAR MATERIALS, PROVIDE MINIMUM 3/8" JOINT.
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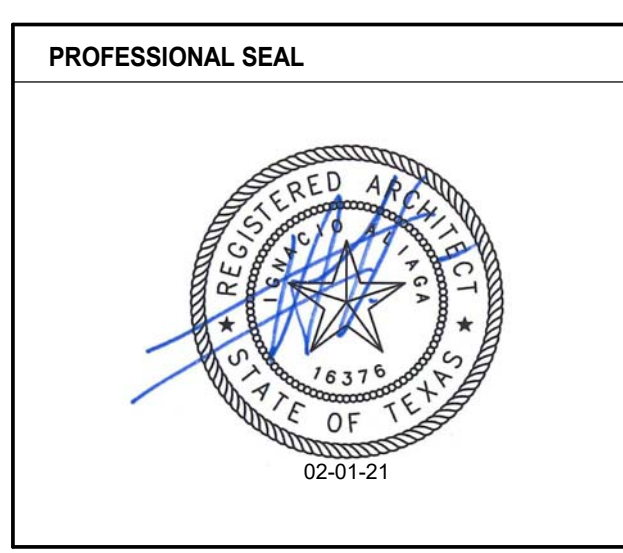
KEYNOTES

- PLANTER, RE: LANDSCAPE
- EXISTING CANOPY, RE: STRUCTURAL
- NEW CANOPY, RE: STRUCTURAL
- NEW STAIRS, RE: DETAILS
- EXISTING DOWNSPOUT
- EXISTING LIFT TO REPAIR, PATCH & REPAIR AS REQUIRED
- EXISTING BUILDING TO BE PAINTED

WINDOW NOTES

R EXISTING WINDOWS, RESTORE, SEE SPECS

BORDEN - MIXED USE
847 E Ashby Place
San Antonio, TX 78212



SHEET NAME
EXTERIOR ELEVATIONS

Drawnman	Phase	DESIGN DEVELOPMENT
GVI	GVI	Project No. 19135
Client Approval	AREA REAL ESTATE	Date 02/19/21
Date	Code	A3.01.DWG

SCALE As indicated

SHEET NUMBER
A3.01

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PREVIOUSLY APPROVED DESIGN DOCUMENTS

CREATIVE OFFICE ADAPTIVE REUSE

875 E Ashby Pl, San Antonio, TX

PROJECT DESCRIPTION

875 E Ashby Pl, San Antonio, TX

875 E. Ashby Pl. is an adaptive reuse project of an existing historic two-story building from the 1930's, which used to house the Borden Creamery facilities.

Neighboring the 815 E. Ashby multifamily project, this building will comprise 52,500 square feet of office space and around 5,500 square feet of events and retail spaces.

The reuse of the building will be mindful of its Art-Decó personality on the outside, but will provide for contemporary office spaces in its interior.

PHOTOS

875 E Ashby Pl, San Antonio, TX



SITE PLAN

875 E Ashby Pl, San Antonio, TX



LEGEND

- 1. PARK OPEN SPACE
- 2. BIKE RACKS
- 3. 10' MULTI-USE CONCRETE PATH
- 4. LID FEATURE
- 5. PEDESTRIAN BRIDGE
- 6. FOOD TRUCK COURT
- 7. COMMUNITY DOG PARK
- 8. PUBLIC ART
- 9. DOG PARK (LARGE DOGS)
- 10. DOG PARK (SMALL DOGS)

FLOOR PLANS

875 E Ashby Pl, San Antonio, TX

ISSUED SETS

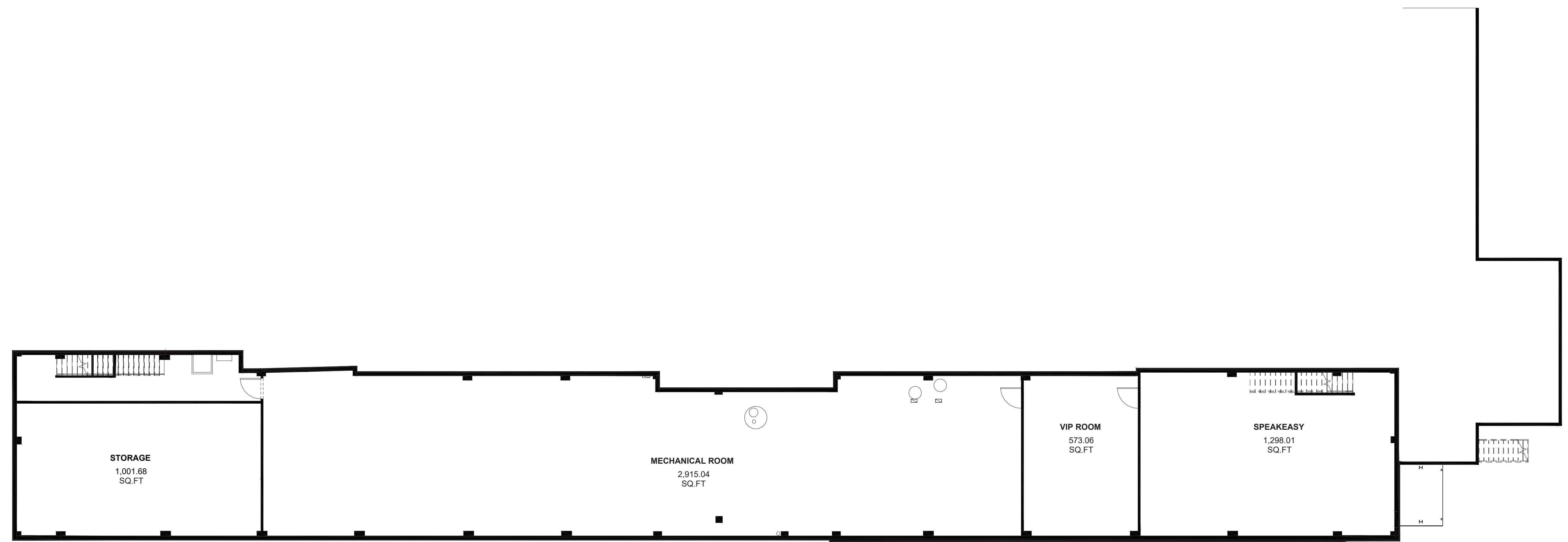
Date	Description

REVISIONS

No.	Date	Description
1	02-05-20	Revision 1

BORDEN- MIXED USE
875 E Ashby Pl, San Antonio, TX
78212

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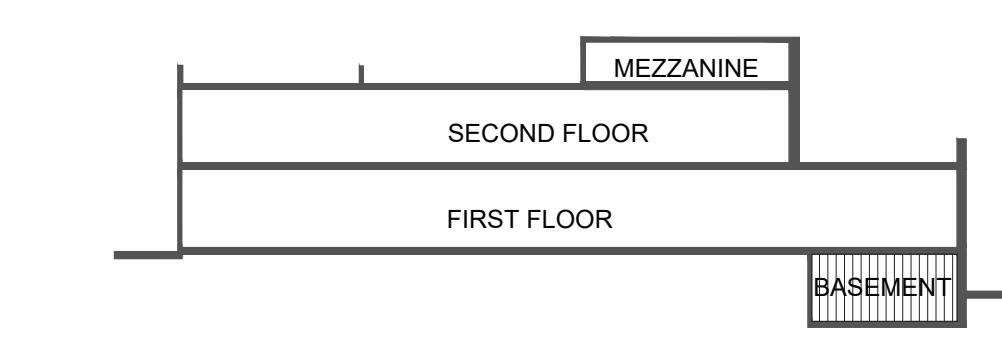
SHEET NAME
BASEMENT FLOOR PLAN

Draftsman	Author	Phase	DESIGN
GVI Approval	Checker	Project No.	19135
Client Approval	Approver	File	A101.DWG
Date	Code		

**PRELIMINARY
NOT FOR CONSTRUCTION**

SCALE As Indicated

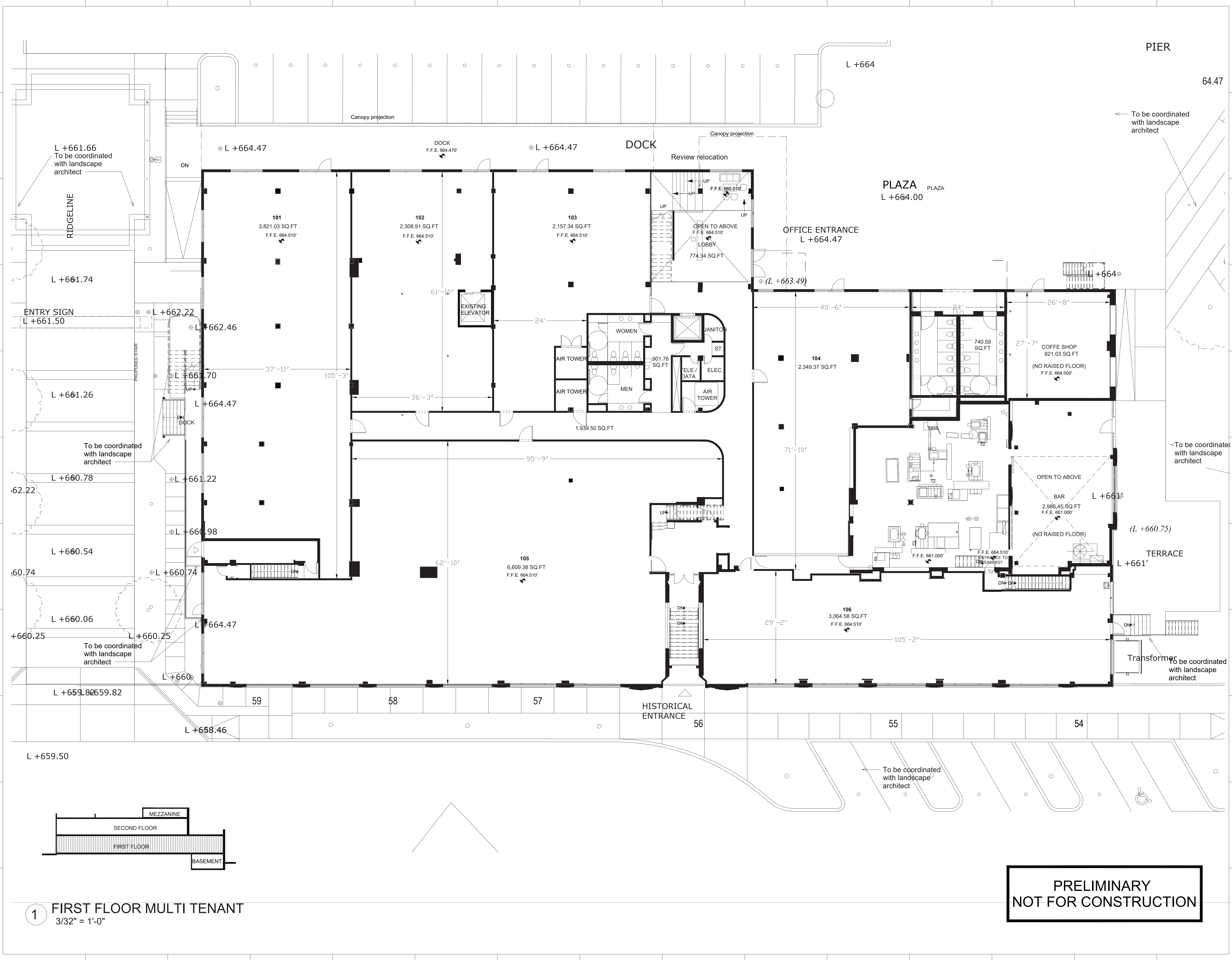
SHEET NUMBER
A101



1 BASEMENT PLAN
3/32" = 1'-0"

Date	Description

No.	Date	Description
1	02-05-20	Revision 1



BORDEN- MIXED USE
875 E Ashby Pl, San Antonio, TX
78212

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GOMEZ VAZQUEZ INTERNATIONAL

SHEET NAME
FIRST FLOOR MULTI TENANT

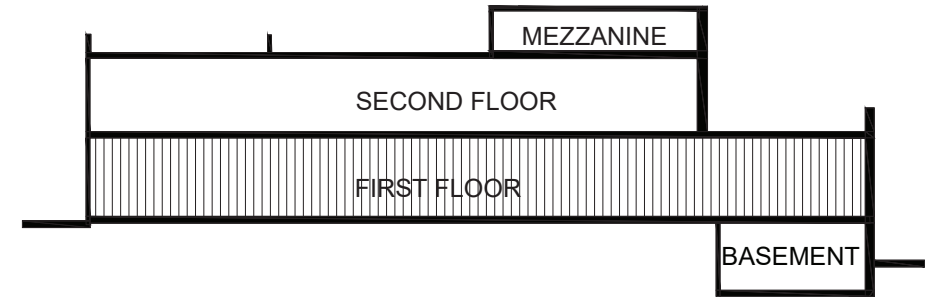
Drawnman	Author	Phase	DESIGN DEVELOPMENT

SCALE As indicated

SHEET NUMBER

PRELIMINARY
NOT FOR CONSTRUCTION

1 FIRST FLOOR MULTI TENANT
3/32" = 1'-0"



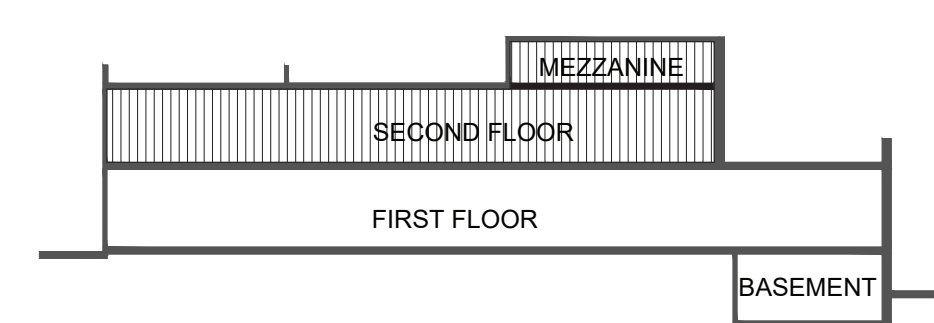
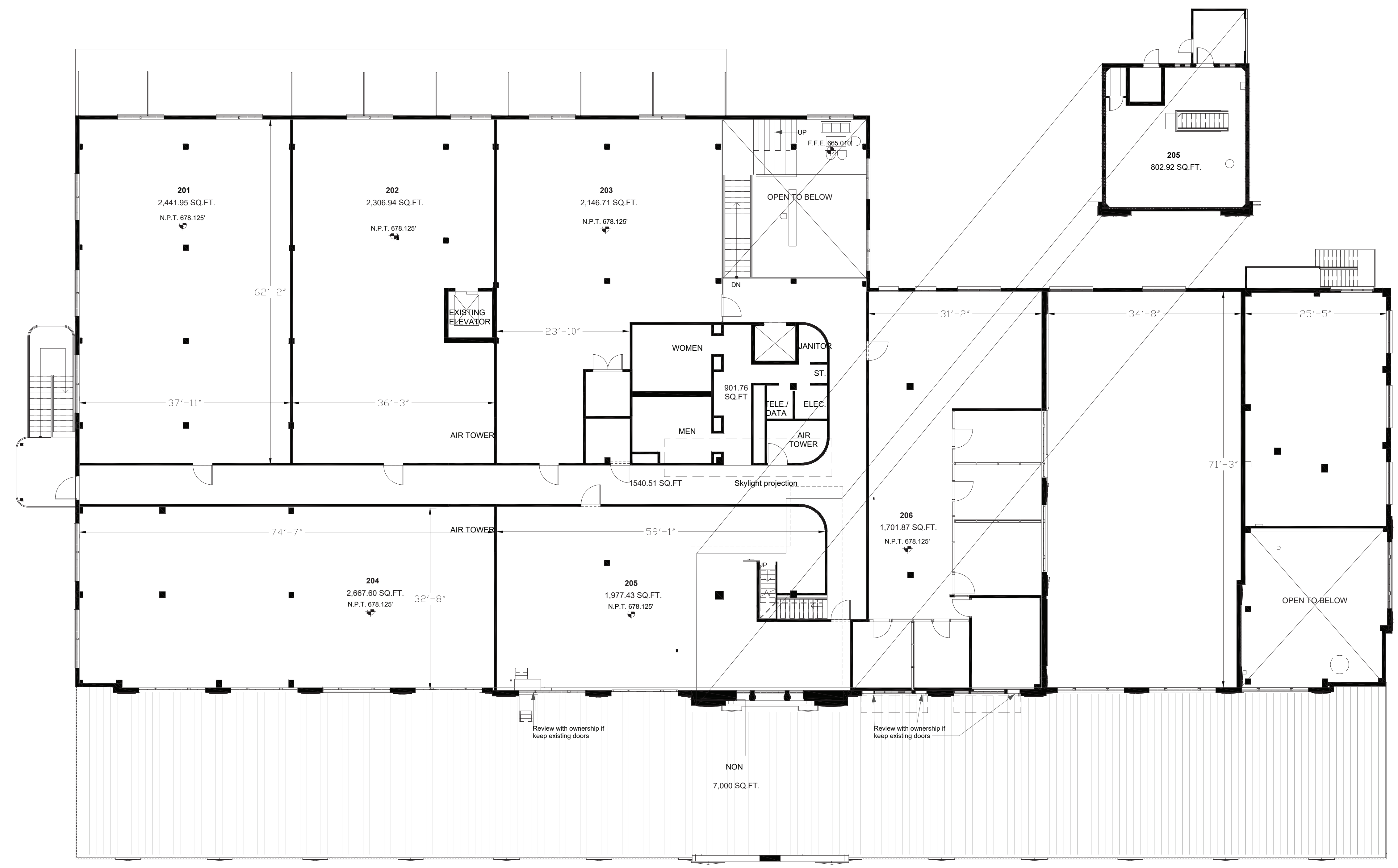
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ISSUED SETS

Date	Description

REVISIONS

No.	Date	Description
1	02-05-20	Revision 1



1 SECOND FLOOR MULTI TENANT
3/32" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

BORDEN- MIXED USE
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78212

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SHEET NAME
SECOND FLOOR MULTI TENANT

Drawnman	Author	Phase	DESIGN DEVELOPMENT
GVI Approval	Checker	Project No.	19135
Client Approval	Approver	File	A103.DWG
Date	Code		

SCALE As Indicated

SHEET NUMBER

A103

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ELEVATIONS

875 E Ashby Pl, San Antonio, TX



OFFICE AND MULTIFAMILY BUILDINGS VIEW



EAST ELEVATION



NORTH-EAST CORNER VIEW



OFFICE MAIN ENTRANCE VIEW



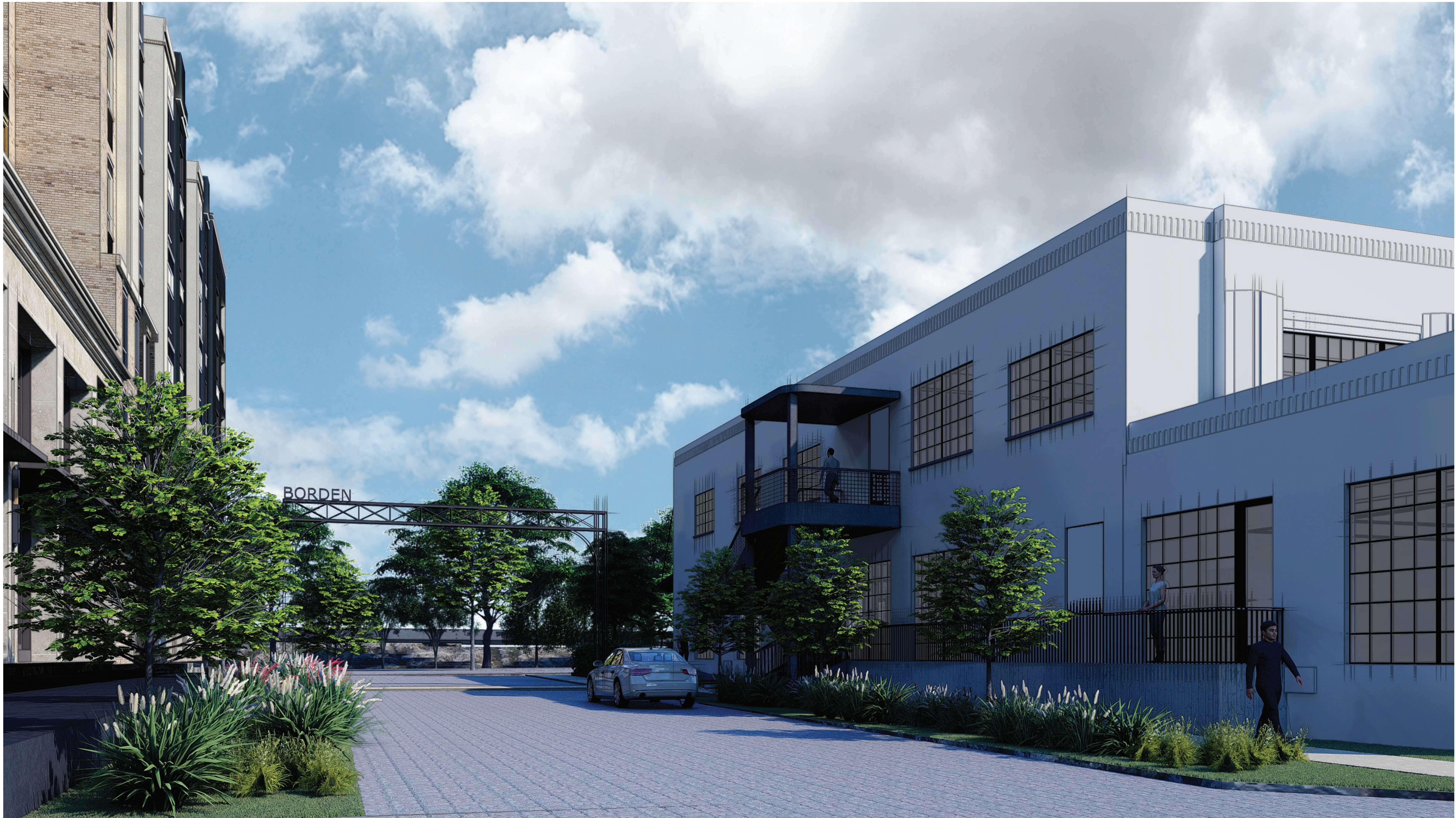
NORTH ELEVATION



NORTH-WEST CORNER VIEW

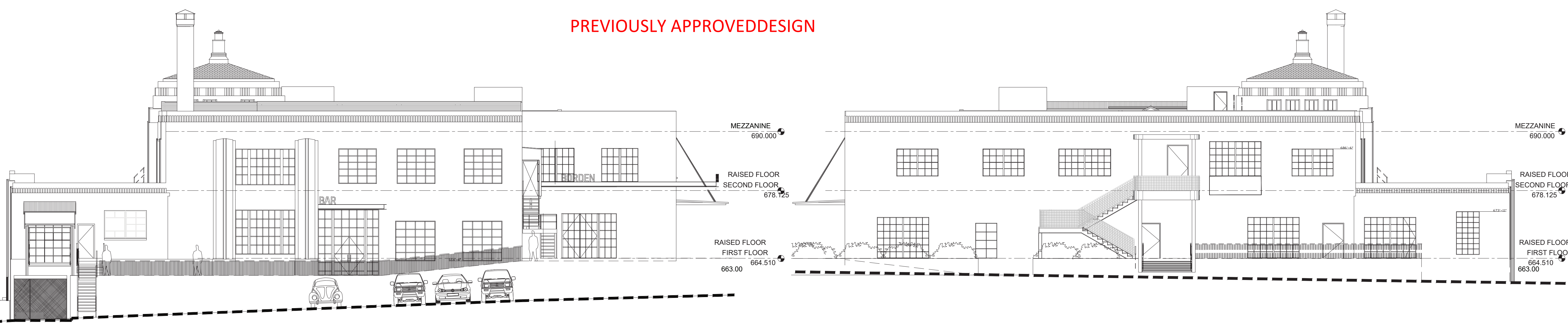


WEST ELEVATION



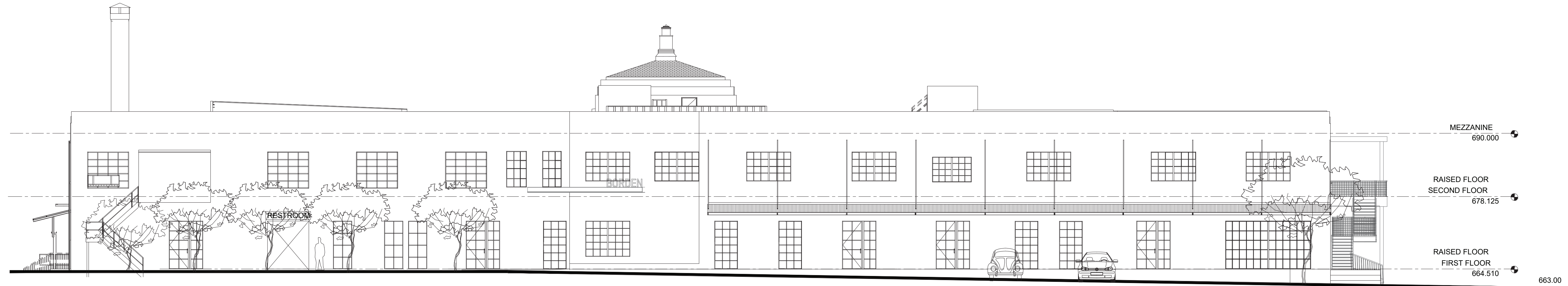
WEST ELEVATION/ENTRY DRIVE

PREVIOUSLY APPROVED DESIGN



1 EAST ELEVATION
3/32" = 1'-0"

2 WEST ELEVATION
3/32" = 1'-0"



3 NORTH ELEVATION
3/32" = 1'-0"



4 SOUTH ELEVATION
3/32" = 1'-0"

**PRELIMINARY
NOT FOR CONSTRUCTION**

**GOMEZ VAZQUEZ
INTERNATIONAL**

ARCHITECTURE | PLANNING | URBAN DESIGN

210-404-9658 www.gvi.la

ISSUED SETS

Date	Description

REVISIONS

No.	Date	Description
1	02-05-20	Revision 1

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SHEET NAME
ELEVATIONS

Draftsman	Author	Phase	DESIGN DEVELOPMENT
GVI Approval	Checker	Project No.	19135
Client Approval	Approver	File	A201.DWG
Date	Code		

SCALE As indicated

SHEET NUMBER
A201

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