HISTORIC AND DESIGN REVIEW COMMISSION June 16, 2021

HDRC CASE NO: 2021-258

ADDRESS: 875 E ASHBY PLACE

LEGAL DESCRIPTION: NCB 3053 BLK LOT E 169.12 FT OF 13, W IRR 42.38 FT 14, P-100 (0.142 AC)

& P-101 (0.3304 AC)

ZONING: IDZ-3. RIO-2

CITY COUNCIL DIST.: 1

APPLICANT: Luis Miguel Martinez

OWNER: 875 East Ashby Place, LP

TYPE OF WORK: Historic Tax Certification, Amendments to a previously approved design, exterior

modifications

APPLICATION RECEIVED: May 19, 2021

60-DAY REVIEW: Not applicable due to City Council Emergency Orders

CASE MANAGER: Edward Hall

REQUEST:

The applicant is requesting a Certificate of Appropriateness to amend a previously approved design regarding fenestration and façade arrangement at 875 E Ashby, commonly known as the Borden Building.

The applicant is requesting Historic Tax Certification for the property at 875 E Ashby, commonly known as the Borden Creamery Building.

APPLICABLE CITATIONS:

UDC Section 35-676 – Alteration, Restoration and Rehabilitation

In considering whether to recommend approval or disapproval of an application for a certificate to alter, restore, rehabilitate, or add to a building, object, site or structure, the historic and design review commission shall be guided by the National Park Service Guidelines in addition to any specific design guidelines included in this subdivision.

- (a) Every reasonable effort shall be made to adapt the property in a manner which requires minimal alteration of the building, structure, object, or site and its environment.
- (b) The distinguishing original qualities or character of a building, structure, object, or site and its environment, shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features shall be avoided when possible.
- (c) All buildings, structures, objects, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance are prohibited.
- (d) Changes that may have taken place in the course of time are evidence of the history and development of a building, structure, object, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
- (e) Distinctive stylistic features or examples of skilled craftsmanship, which characterize a building, structure, object, or site, shall be kept where possible.
- (f) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should reflect the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
- (g) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building's materials shall not be permitted.
- (h) Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.

- (i) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.
- (j) Wherever possible, new additions or alterations to buildings, structures, objects, or sites shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building, structure, object, or site would be unimpaired.

UDC Section 35-618. Tax Exemption Qualification.

(d)Certification.

(1)Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.

FINDINGS:

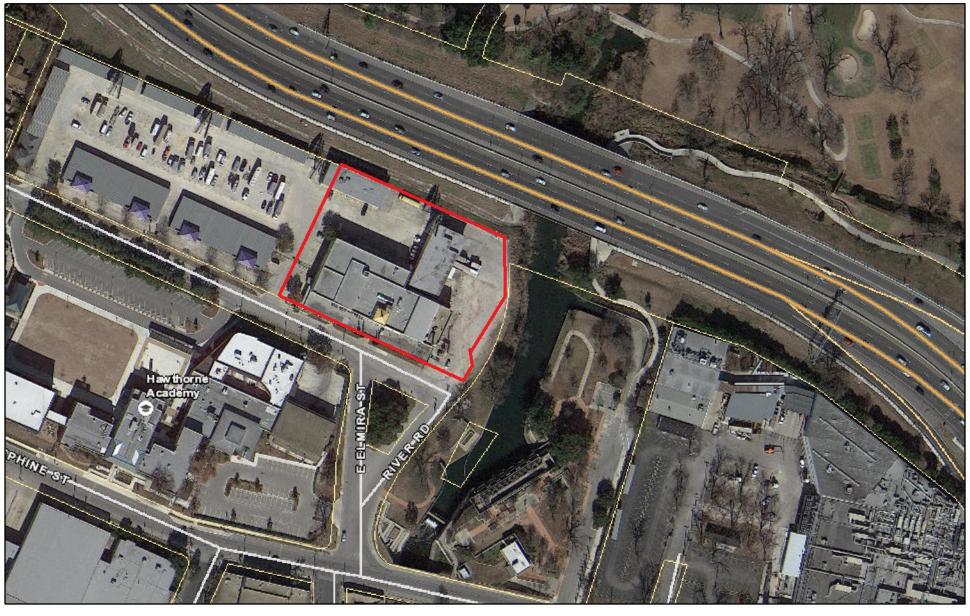
- a. The applicant is requesting a Certificate of Appropriateness to amend a previously approved design regarding fenestration and façade arrangement at 875 E Ashby, commonly known as the Borden Building.
- b. SOUTH ELEVATION BALCONIES The applicant has proposed to remove two, existing steel windows to allow for open air access onto a proposed balcony above the first level. Generally, staff finds this modification to be appropriate provided that the width of the existing opening is maintained.
- c. EAST ELEVATION MODIFICATIONS On the east elevation, the applicant has proposed to modify the size of previously approved window and door openings in regards to both width and height. Generally, staff finds the proposed modifications to be appropriate.
- d. WEST ELEVATION MODIFICATIONS On the west elevation, the applicant has proposed the installation of a number of window and door profiles on the first level that differ from those that currently exist. Generally, staff finds the proposed amendment to be appropriate as the proposed openings differ in size and profile from original opening.
- e. NORTH ELEVATION MODIFICATIONS On the north elevation, the applicant has proposed the installation of a number of window and door profiles on the first level that differ from those that currently exist. Generally, staff finds the proposed amendment to be appropriate as the proposed openings differ in size and profile from original opening.
- f. The applicant is requesting Historic Tax Certification for the property at 875 E Ashby, commonly known as the Borden Creamery Building. The historic structure was constructed in 1933 with additions being constructed in 1946, 1952, 1956, and 1963. The applicant is currently requesting historic designation under a separate application.
- g. Previously approved rehabilitative scopes of work include window repair and replacement, the removal of existing additions and repair and maintenance to the façade and roof.
- h. The applicant has met all the requirements for Historic Tax Certification outlined in UDC Section 35-618 and has provided evidence to that effect to the Historic Preservation Officer.

RECOMMENDATION:

Staff recommends approval of items #1 and #2 based on findings a through h with the following stipulations:

i. That all new windows and storefront systems feature dark colored frames and be installed in a manner that is consistent with existing, original windows.

City of San Antonio One Stop





BIDDING SET REVIEW DOCUMENTS THE CREAMERY OFFICE BUILDING

847 E ASHBY PLACE, SAN ANTONIO, TEXAS 78212-1020

LANDSCAPE

TREE PRESERVATION PLAN

LANDSCAPE ORDINANCE

LANDSCAPE DETAILS

PLANTING PLAN

PLANTING PLAN

IRRIGATION PLAN **IRRIGATION PLAN**

IRRIGATION PLAN

IRRIGATION DETAILS

GENERAL STRUCTURAL NOTES

SECOND FLOOR FRAMING PLAN

ENLARGED FOUNDATION/FRAMING

1st FLOOR FRAMING PLAN/ FOUNDATION

IRRIGATION PLAN IRRIGATION DETAILS

SITE PLAN

TYPICAL DETAILS

ROOF FRAMING PLAN

FOUNDATION DETAILS

FOUNDATION DETAILS

FRAMING DETAILS

FRAMING DETAILS

ELECTRICAL SITE

BASEMENT LIGHTING

1st FLOOR LIGHTING (WEST)

STRUCTURAL

PI ANS

ELECTRICAL

SITE PLAN

SITE PLAN

SITE PLAN SITE PLAN

SITE PLAN

TREE PRESERVATION PLAN

PLANTING PLAN & SCHEDULE

PLANTING PLAN & DETAILS

PLUMBING

MECHANICAL

SHEET INDEX

HVAC FLOOR PLANS

HVAC FLOOR PLANS

HVAC ROOF PLAN

P-2

PLUMBING FLOOR PLAN

PLUMBING FLOOR PLAN - ENLARGED

PLUMBING FLOOR PLAN - ENLARGED

PLUMBING SCHEDULE & DETAILS

MECHANICAL GENERAL NOTES AND

1st FLOOR MECHANICAL POWER (WEST)

1st FLOOR MECHANICAL POWER (EAST)

2nd FLOOR MECHANICAL POWER (WEST)

ROOF MECHANICAL POWER

2nd FLOOR MECHANICAL POWER (EAST)

OUTSIDE AIR CALCULATIONS

MECHANICAL SCHEDULES

CONTACT LIST

OWNER

AREA REAL ESTATE, LLC 1221 BROADWAY, STE. 104 SAN ANTONIO, TX 78215 (210) 417-4320

ARCHITECTURE

GOMEZ VAZQUEZ INTERNATIONAL IGNACIO ALIAGA, RA 14100 SAN PEDRO AVENUE. SUITE 101 SAN ANTONIO, TEXAS, 78232 (210) 404-9658

CIVIL ENGINEERING

WILL KROLL, PE PAPE-DAWSON ENGINEERS, INC. 2000 NW LOOP 410 SAN ANTONIO, TX 78213 (210) 375-9000

LANDSCAPING

BOBBY EICHHOLZ RIALTO STUDIOS 2425 BROADWAY, STE. 105 SAN ANTONIO, TX 78215 (210) 828-1155

FIRE PROTECTION

TEMPLE R. KENNEDY FIRE PROTECTION CONSULTING GROUP, LLC 339 SANDALWOOD LANE SAN ANTONIO, TX (210) 835-6300

DRAWING INDEX

GENERAL INFORMATION

G100	COVER SHEET AND DRAWING INDEX
G300	ADA DETAILS
G301	ADA DETAILS
G302	ADA DETAILS
LS-1.0	BASEMENT & LEVEL 1 LIFE SAFETY PLAN
LS-1.1	LEVEL 2 LIFE SAFETY PLAN

CIVII

C530

A7.00

A7.02

OIVIL	=
C001 C010	GENERAL CONSTRUCTION NOTES GENERAL CIVIL SPECIFICATIONS (1 OF 2)
C020	GENERAL CIVIL SPECIFICATIONS (2 OF 2)
C100	FIRE PROTECTION PLAN
C200	STORM WATER POLLUTION PREVENTION
	PLAN
C210	STORM WATER POLLUTION PREVENTION
	DETAILS (1 OF 2)
C220	STORM WATER POLLUTION PREVENTION
	DETAILS (2 OF 2)
C300	DEMOLITION PLAN
C400	DIMENSIONAL CONTROL PLAN
C410	PAVING DETAILS
C500	OVERALL UTILITY PLAN
C510	SANITARY SEWER LINE A PLAN AND

PROFILE STA: 1+00 TO 4+60

GRADING AND DRAINAGE PLAN

UTILITY DETAILS (1 OF 2)

UTILITY DETAILS (2 OF 2)

ARCHITECTURE

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A2.00	FIRST FLOOR PLAN
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A2.06	ENLARGED DRAWINGS - RESTROOMS @ TYPIC
A2.07	ENLARGED DRAWINGS - RESTROOMS @ FIRST
	FLOOR (WEST)
A2.08	ENLARGED DRAWINGS - DOCK (WEST FACADE)
A2.09	ENLARGED DRAWINGS - DOCK (NORTH FACADI
A2.10	ENLARGED DRAWINGS - DOCK (EAST FACADE)
A3.00	BUILDING ELEVATIONS
A3.01	BUILDING ELEVATIONS
A5.00	VERTICAL CIRCULATION - ELEVATOR
A5.01	VERTICAL CIRCULATION - STAIR 1
A5.02	VERTICAL CIRCULATION - STAIR 2
A6.00	DOOR ELEVATIONS & DETAILS
A6.01	DOOR SCHEDULE
A6.02	WINDOW ELEVATIONS & DETAILS

WALL TYPES

ROOM FINISH LEGEND

BASEMENT FLOOR FINISH FLOOR PLAN

FIRST FLOOR FINISH FLOOR PLAN

SECOND FLOOR FINISH FLOOR PLAN

L5.7

S1.01

S2.03

S2.11

S4.01

S4.02

E1.2	1st FLOOR LIGHTING (EAST)	EM2.
E1.3	2nd FLOOR LIGHTING (WEST)	EM2.
E1.4	2nd FLOOR LIGHTING (EAST)	
E1.6	ENLARGED PLANS STAIRWAYS	
E2.0	BASEMENT POWER	
E2.1	1st FLOOR POWER (WEST)	
E2.2	1st FLOOR POWER (EAST)	
E2.3	2nd FLOOR POWER (WEST)	
E2.4	2nd FLOOR POWER (EAST)	
E4.1	RISER DIAGRAM	
E5.1	SCHEDULES	
E5.2	SCHEDULES	
E5.3	SCHEDULES	
E5.4	SCHEDULES	
EC1.1	1st FLOOR LIGHTING CONTROLS (WEST
FC1 2	1st FLOOR LIGHTING CONTROLS (

CONSTRUCTION NOTES

1. ALL DIMENSIONS ARE FROM FINISH FACE OF WALL TO FINISH FACE OF WALL

2. PROVIDE SOLID WOOD BLOCKING AT ALL DRYWALLS BEHIND PLUMBING FIXTURES, ACCESS DOORS, HANDRAILS, GRAB BARS, WOOD SHELVING, ELECTRIC DRINKING FOUNTAINS, ETC. AS REQUIRED TO RIGIDLY ANCHOR EACH ITEM. CONTRACTOR SHALL VERIFY & COORDINATE BLOCKING ACCORDINGLY.

3. INCREASE WALL THICKNESS AS REQUIRED AT PLUMBING CHASES AND AT MECHANICAL & ELECTRICAL

4. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. CONTRACTOR SHALL NOTIFY THE ARCHITECT OR ENGINEER OF RECORD IMMEDIATELY IF SITE DIMENSIONS OR CONDITIONS DIFFER FROM THE INFORMATION SHOWN ON THIS SET OF DRAWINGS. WORK SHALL NOT PROCEED UNTIL SUCH DISCREPANCIES ARE RESOLVED.

5. ALL DIMENSIONS ARE BASED ON KNOWN EXISTING CONDITIONS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEYING ALL AREAS OF NEW CONSTRUCTION TO COORDINATE WITH THE DESIGNS AS INDICATED IN THESE DOCUMENTS.

6. ALL GYPSUM WALL BOARD EXTENDING BEYOND CEILING IS TO BE TAPED AND FLOATED IN ORDER TO REDUCE SOUND TRANSMISSION BETWEEN ROOMS.

7. ALL WOOD BLOCKING AND PLYWOOD USED INSIDE THE BUILDING SHALL BE PRESSURE-TREATED FIRE RETARDANT WOOD. ALL WOOD BLOCKING OUTSIDE THE BUILDING ENVELOPE SHALL BE WOLMANIZED. PROVIDE FIRE-RETARDANT TREATED WOOD BLOCKING WHERE REQUIRED TO SUPPORT

ANY ITEMS MOUNTED ON WALLS, INCLUDING SINKS, CASEWORK, HAND RAILS, ETC.

2nd FLOOR LIGHTING CONTROLS (EAST)

2nd FLOOR LIGHTING CONTROLS (WEST)

EM2.3

AND AS REQUIRED BY APPLICABLE BUILDING CODES. SEE MEP NOTES AND DRAWING FOR LOCATIONS.

A. CAULK BOTH SIDES OF ALL DOOR FRAMES, GLASS FRAMES, WINDOWS FRAMES, AND LOUVERS. B. COORDINATE BETWEEN DOOR DETAILS, WALL TYPES, AND WALL FINISHES FOR JAMB THICKNESS

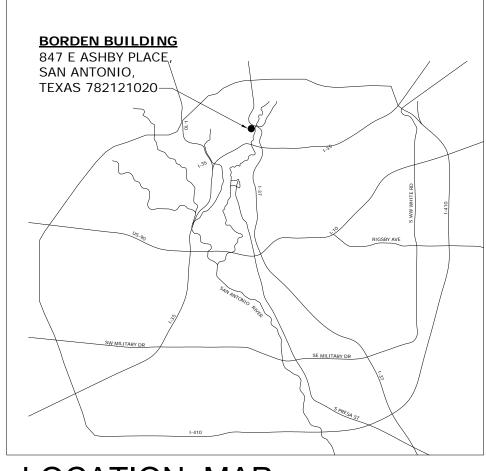
8. EXIT SIGN LOCATIONS SHALL BE VERIFIED WITH THE BUILDING INSPECTOR DURING CONSTRUCTION

C. PANIC HARDWARE IS REQUIRED AT ALL EXIT DOORS IN ACCORDANCE WITH LOCAL BUILDING CODES. SEE SPECIFICATIONS FOR ACTUAL HARDWARE DETAILS AND SPECIFICATIONS.

10. SEAL ALL OPENINGS THROUGH WALLS OF MECHANICAL ROOMS AND EXIT CORRIDORS INCLUDING BOTH SIDES OF COLUMNS, UNDER DECK CORRUGATIONS, PIPE CHASES, ETC. AS REQUIRED TO MAINTAIN FIRE RATING ASSEMBLY.

ALL INSULATION MATERIALS INCLUDING FACINGS, VAPOR BARRIERS, AND BREATHER PAPERS INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES. ROOF-CEILING ASSEMBLIES. WALLS. CRAWL SPACES, AND ATTICS SHALL HAVE A FLAME-SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DENSITY NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH U.B.C. STANDARD #42-2.

12. ALL MATERIALS, FIXTURES, AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.





-PARKING LOT -Mcallister freeway SAN ANTONIO RIVER —PROJECT∖ SITE



PROJECT DESCRIPTION

PROJECT DATA

OCCUPANCY CLASSIFICATIO	N:	MIXED USE
CONSTRUCTION TYPE: SPRINKLERED: FIRE ALARM:	EXISTII YES YES	(B-BUSINESS / ASSEMBLY A-2) NG TYPE IIB
EXISTING BUILDING AREAS BASEMENT AREA 1st FLOOR	6,476 28 143	SF SF

GENERAL NOTES

1. IN THE EVENT OF DISCREPANCIES BETWEEN THE DRAWINGS AND SPECIFICATIONS IN THIS SET OF DOCUMENTS, NOTIFY THE ARCHITECT OF RECORD IMMEDIATELY.

2. ARCHITECT OF RECORD SHALL NOT BE RESPONSIBLE OR HAVE CONTROL OVER THE ACTS OF OMISSION, MEANS OF CONSTRUCTION, METHODS, TECHNOLOGIES, SEQUENCES, OR PROCEDURES, NOR FOR THE SAFETY PRECAUTIONS AND PROGRAMS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSON PERFORMING WORK UNDER THIS CONTRACT.

3. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT ALL WORK IN THE FIELD IS DONE IN ACCORDANCE WITH ALL CURRENT APPLICABLE NATIONAL, STATE, AND LOCAL CODES, ORDINANCES AND REQUIREMENTS AS STATED BY ANY AND ALL GOVERNING AGENCIES, WHETHER OR NOT SAID CODES, ORDINANCES, REQUIREMENTS, ETC. ARE SPECIFICALLY SHOWN ON DRAWINGS AND/OR CALLED FOR IN THE SPECIFICATIONS.

4. CONSTRUCTION MATERIALS, ASSEMBLIES, AND PROCEDURES ARE TO COMPLY WITH ALL LOCALLY ADOPTED BUILDING CODES AND SUPPLEMENTARY ORDINANCES. IF A DISCREPANCY OCCURS BETWEEN SUCH LOCAL CODES AND INFORMATION PROVIDED ON THIS SET OF DRAWINGS, NOTIFY THE ARCHITECT OF RECORD FOR RESOLUTION PRIOR TO COMMENCEMENT OF WORK.

5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING AND SCHEDULING ALL AUTHORITIES HAVING JURISDICTION AS REQUIRED FOR INSPECTIONS, AND SHALL BE RESPONSIBLE FOR PAYING ALL INSPECTION FEES ASSOCIATED WITH THE WORK.

6. THE GENERAL CONTRACTOR SHALL APPLY FOR ALL BUILDING AND INSPECTION PERMITS WHICH INVOLVE DRAWING SUBMITTAL AND PROCESSING: BUILDING, ELECTRICAL, MECHANICAL, PLUMBING, FIRE, AND ENVIRONMENTAL HEALTH PERMITS. THE GENERAL CONTRACTOR SHALL PICK UP THESE PERMITS AND PAY FOR THE PERMIT FEES IN A TIMELY MANNER.

7. THE GENERAL CONTRACTOR SHALL PROVIDE BARRICADES AND SAFETY SIGNS AS REQUIRED BY OSHA REQUIREMENTS, AND CONTROLS OF ALL NEW AND MODIFIED AIR, WATER, AND ELECTRICAL SYSTEMS.

8. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ENTIRE CONSTRUCTION SITE CLEANLINESS. INCLUDING PROVISION OF A DEBRIS BOX WITH WEEKLY SERVICING, REMOVAL OF ALL CONTRACTOR / SUBCONTRACTOR REFUSE AND DEBRIS, AND SWEEPING OF THE ENTIRE YARD AREA AT THE COMPLETION OF THE WORK. UNLESS STATED OTHERWISE, ALL OTHER PROCEDURES, TESTING, MATERIALS AND EQUIPMENT SHOWN ON THE PLANS SHALL BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR.

9. THIS SET OF DRAWINGS SHALL NOT BE SCALED.

10. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF DAMAGE TO THE WORK OF OTHER TRADES CAUSED BY HIS OPERATIONS. THE NATURE OF SUCH REPAIR WORK MUST RECEIVE THE PRIOR APPROVAL OF THE COMPANY REPRESENTATIVE.

11. CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS AND FACILITIES TO REMAIN THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL REPAIR AND/OR REPLACE AT CONTRACTOR'S EXPENSE, ANY EXISTING ITEMS AND FACILITIES TO REMAIN THAT ARE DAMAGED BY CONTRACTORS OPERATIONS TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.

12. ANY CHANGES IN PLAN ARRANGEMENT OR DETAILING AND SPECIFIC INSTRUCTIONS FOR THE PROJECT WITHOUT PRIOR WRITTEN NOTIFICATION AND APPROVAL BY THE ENGINEER OF RECORD WILL VOID ANY OBLIGATIONS AND LIABILITIES SET FORTH BY THE OWNER AND THE ENGINEER OF RECORD.

13. IF ANY SUBSTITUTIONS ARE PROPOSED AND APPROVED FOR SPECIFIC MATERIAL OR EQUIPMENT, THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS WILL BE RESPONSIBLE FOR ALL COORDINATION INCLUDING HVAC, PLUMBING AND ELECTRICAL

14. ANY CONTRACTOR WHOSE WORK REQUIRES PENETRATION OF THE ROOFING SYSTEM SHALL COORDINATE W/ ROOFING CONTRACTOR TO INSURE ROOF WARRANTY. NOTE: ROOF, AT EXISTING BUILDING, IS NOT PART OF THIS CONSTRUCTION DOCUMENT SCOPE.

15. CONSTRUCTION SHALL COMPLY TO ALL ADA (AMERICAN DISABILITIES ACT) REQUIREMENTS AND GUIDELINES FOR BUILDING AND FACILITIES PER CURRENT CLEARANCES, ACCESSORIES, ETC.

16. ANY CONTRACTOR WHOSE WORK REQUIRES PENETRATION OR ATTACHMENT TO THE EXTERIOR FACADE SHALL FLASH, AND SEAL SUCH WORK TO ENSURE WALL SYSTEM WARRANTY.

APPLICABLE CODES AND STANDARDS:

2018 International Building Code, IBC
2018 INTERNATIONAL EXISTING BUILDING CODE, IEB
2018 INTERNATIONAL RESIDENTIAL CODE, IRC

2018 INTERNATIONAL MECHANICAL CODE, IMC 2018 INTERNATIONAL FUEL GAS CODE, IFGC

2017 NATIONAL ELECTRICAL CODE, NEC

(BASED ON THE 2018 INTERNATIONAL PROPERTY MAINTENANCE CODE

* ALL LOCAL AMENDMENTS ADOPTED BY THE CITY OF SAN ANTONIO

17. DOOR OPENING FORCE: THE MAXIMUM FORCE FOR PUSHING, OR PULLING OPEN A

THE FORCE SHALL BE APPLIED PARALLEL TO THE DOOR AT THE DOOR PULL OR A. EXTERIOR HINGED DOORS SHALL NOT EXCEED 8.5 LBF. LIGHT INCREASES IN

OPENING FORCE SHALL BE ALLOWED WHERE 8.5 LBS IS INSUFFICIENT TO COMPENSATE FOR AIR PRESSURE DIFFERENTIALS.

B. FIRE DOORS MAY BE ADJUSTED TO MEET THE MINIMUM OPENING FORCE ALLOWED BY THE GOVERNING AUTHORITY OR APPLICABLE BUILDING CODE.

19. CONTROLS AND OPERATING MECHANISMS

A. GENERAL ALL CONTROLS AND DEVICES HAVING MECHANICAL OR ELECTRICAL

B. HEIGHT: THE HIGHEST OPERABLE PART OF ALL CONTROLS, DISPENSERS, RECEIPT AND OTHER OPERABLE SHALL BE MOUNTED 12 INCHES (MIN) ABOVE THE FLOOR. C. OPERATION, CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER

20. PROVIDE WOOD BLOCKING AT ALL SCHEDULED WALL SHELVING, PLUMBING, FIXTURES, ACCESS DOORS, HANDRAILS AND GRAB BARS, ALL WOOD BLOCKING AND FURRING TO BE FIRE RETARDANT.

21. CONTRACTOR SHALL REFER TO ELECTRICAL DRAWINGS IN THESE DOCUMENTS FOR ALL WIRING AND CONNECTION SPECIFICATIONS, CIRCUITING, SWITCHING AND LIGHT FIXTURE RELOCATION.

22. REFER TO MECHANICAL DRAWINGS IN THESE DOCUMENTS FOR ALL INFORMATION

DUCTWORK, DIFFUSER LOCATIONS, THERMOSTAT LOCATIONS, FIRE DAMPERS, ETC.

2018 International Building Code, IBC	
2018 INTERNATIONAL EXISTING BUILDING COD	E, IE

2018 INTERNATIONAL FIRE CODE, IFC

2018 INTERNATIONAL ENERGY CONSERVATION CODE, IECC

2018 SAN ANTONIO PROPERTY MAINTENANCE CODE

18. SLIDING OR FOLDING DOORS

OPERATING MECHANISMS WHICH ARE EXPECTED TO BE OPERATED BY OCCUPANTS, VISITORS, OR OTHER USERS OF A BUILDING OR FACILITY, SHALL COMPLY WITH TEXAS DEPARTMENT OF LICENSING AND REGULATIONS (TDLR) FOR HEIGHT LIGHT SWITCHES. ALARM ACTIVATING UNITS, VENTILATORS LECTRICAL OUTLETS, ETC.

OR ANY OTHER ITEMS MECHANICALLY RELATED.

BIDDING SET-NOT FOR

PERMITTING OR CONSTRUCTION

SHEET NAME **COVER SHEET** AND DRAWING

MIXE

RD

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PROFESSIONAL SEAL

GOMEZ VAZQUEZ

INTERNATIONAL

ARCHITECTURE | PLANNING | URBAN DESIGN

Description PERMITTING SET

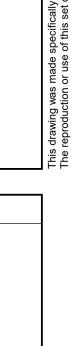
BIDDING SET REV01 BIDDING SET REV02 BIDDING SET REV03

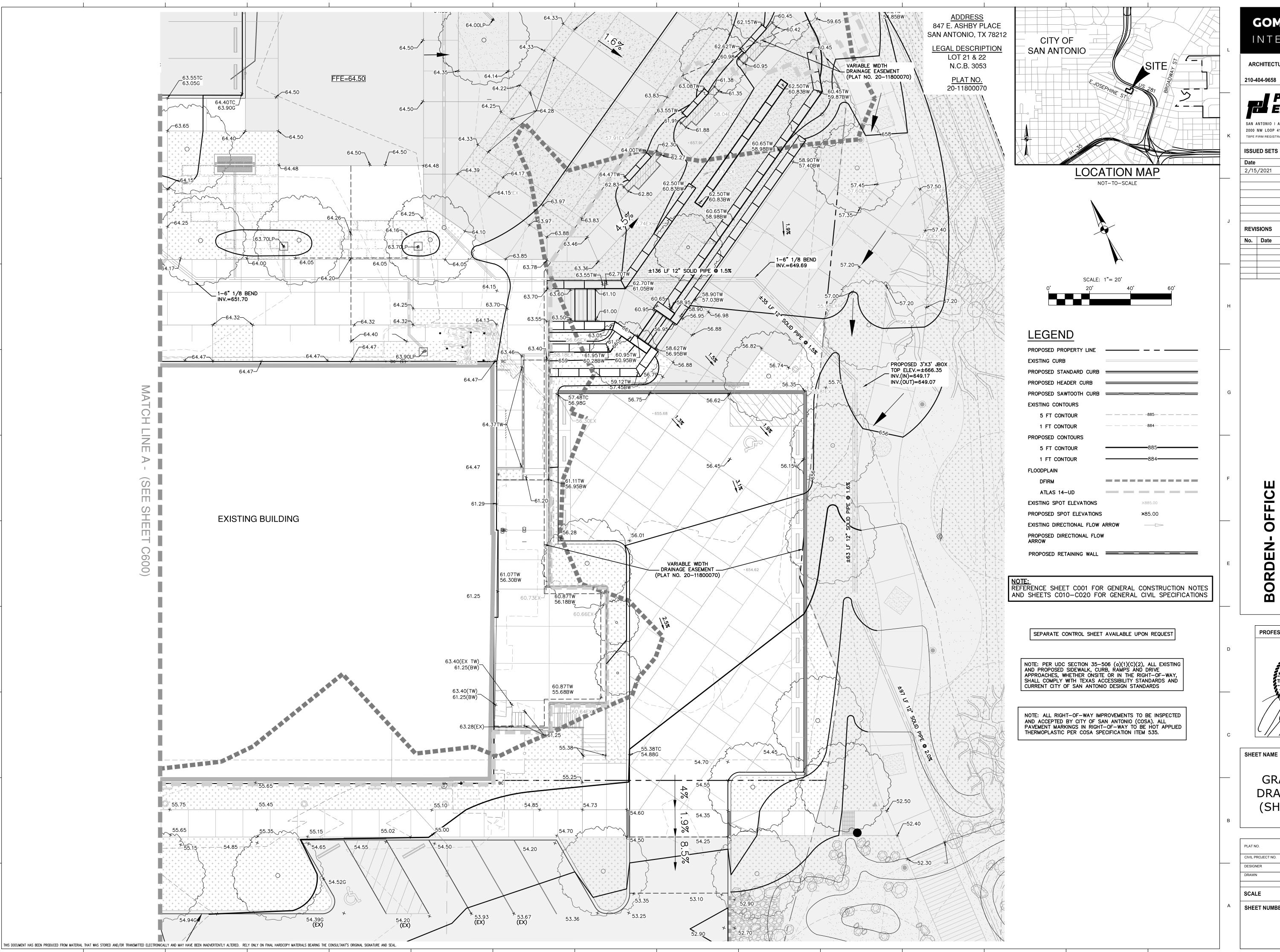
ISSUED SETS

www.gvi.archi

G100.DWG AREA REAL **SCALE** As indicated

SHEET NUMBER





GOMEZ VAZQUEZ INTERNATIONAL

ARCHITECTURE | PLANNING | URBAN DESIGN

PAPE-DAWSON ENGINEERS

SAN ANTONIO I AUSTIN I HOUSTON I FORT WORTH I DALLAS 2000 NW LOOP 410 I SAN ANTONIO, TX 78213 I 210.375.9000 TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10028800

www.gvi.la

ISSUED SETS

Description BIDDING SET

REVISIONS

Description

U U U 0 **BORDEN**-875 E Ashby 78212 Ashby

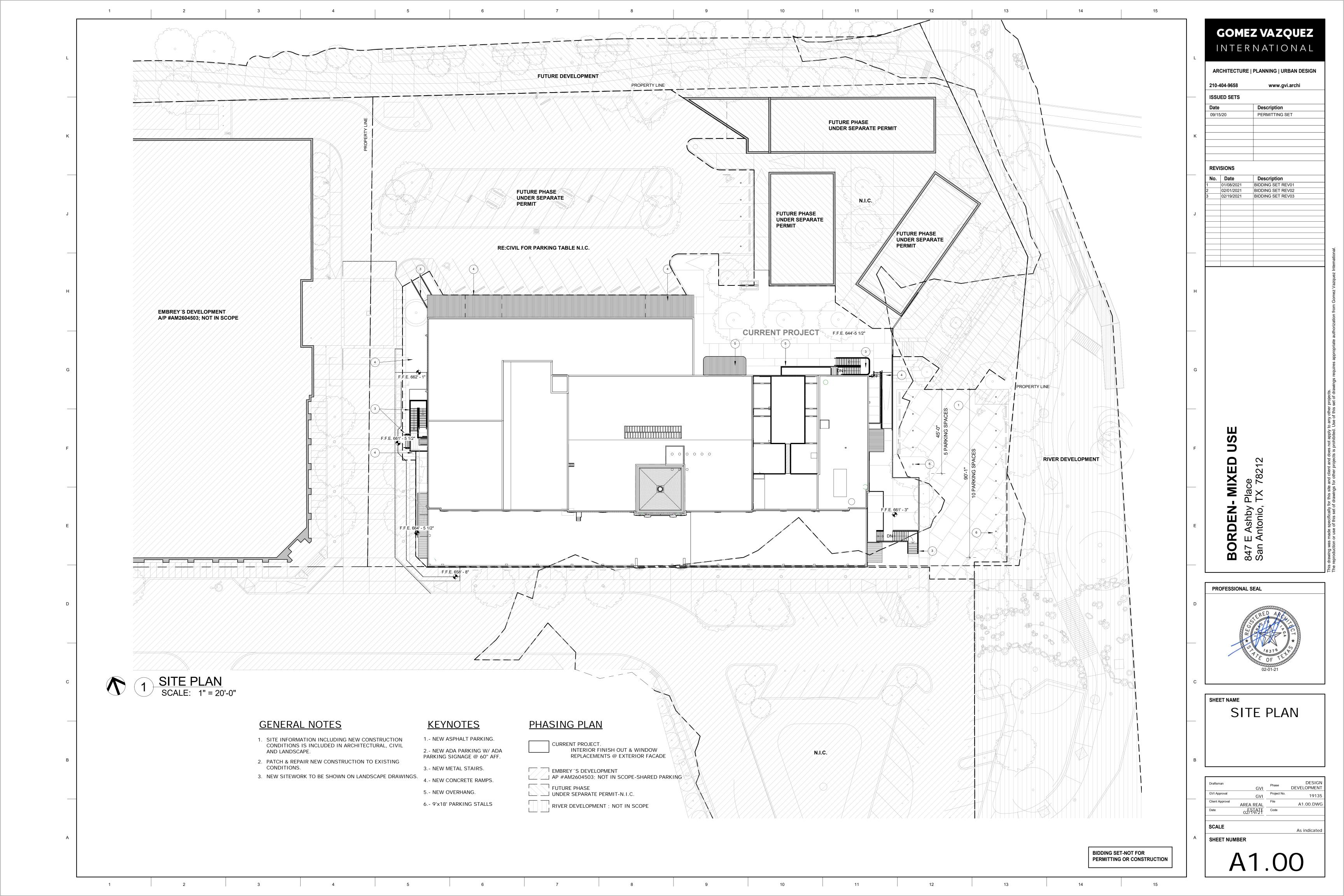
PROFESSIONAL SEAL 2/15/2021 HOMAS MATTHEW CARTE

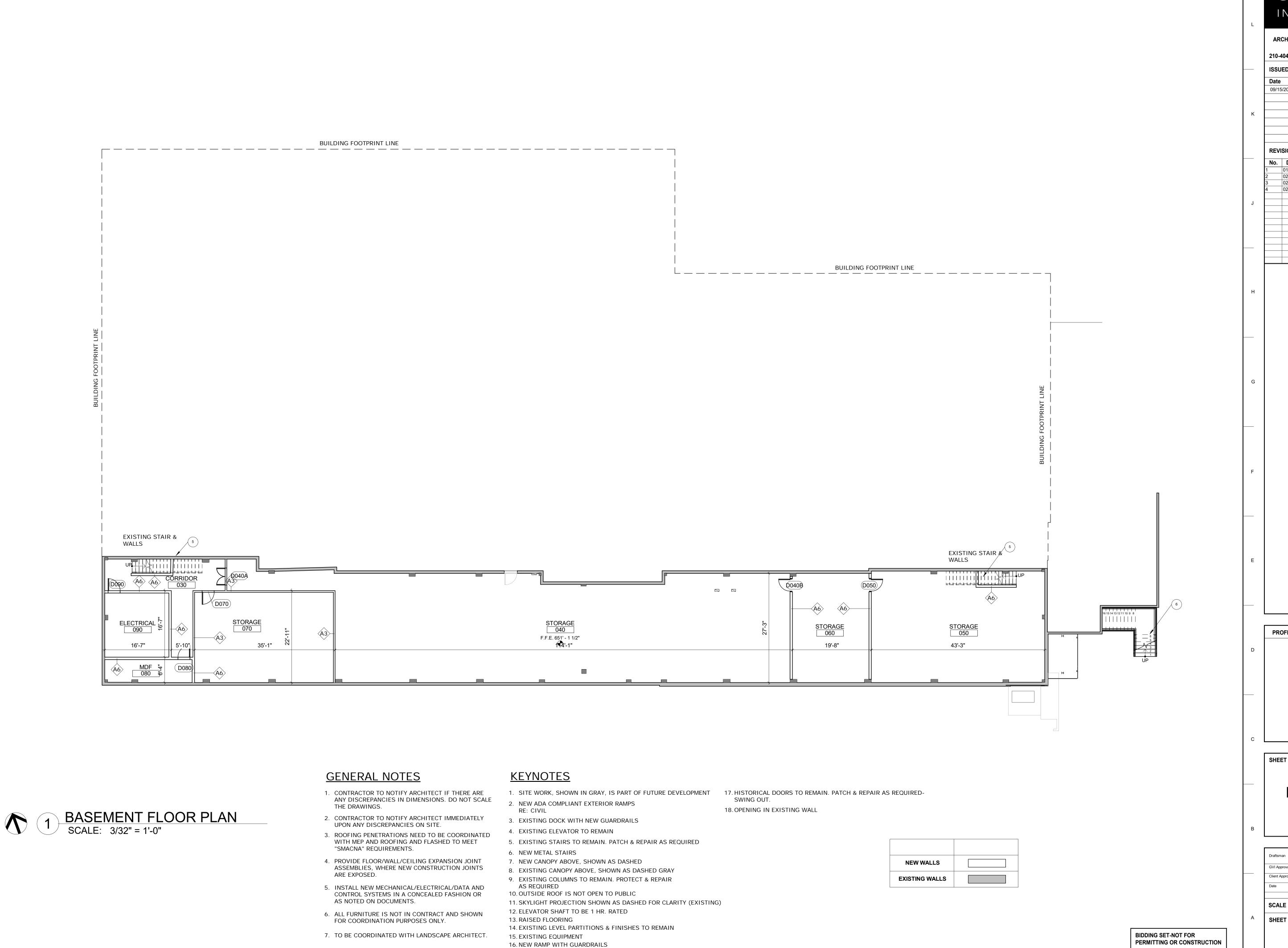
SHEET NAME

GRADING AND DRAINAGE PLAN (SHEET 2 OF 2)

CIVIL PROJECT NO FEBRUARY 2021 SCALE As indicated SHEET NUMBER

C610





GOMEZ VAZQUEZ INTERNATIONAL ARCHITECTURE | PLANNING | URBAN DESIGN www.gvi.archi **ISSUED SETS** Description 09/15/20 PERMITTING SET Description BIDDING SET REV01 01/08/2021 BIDDING SET REV02 02/01/2021 CITY COMMENTS REV2 02/08/2021 BIDDING SET REV03 02/19/2021 MIXE **BORDEN**-847 E Ashby San Antonio,

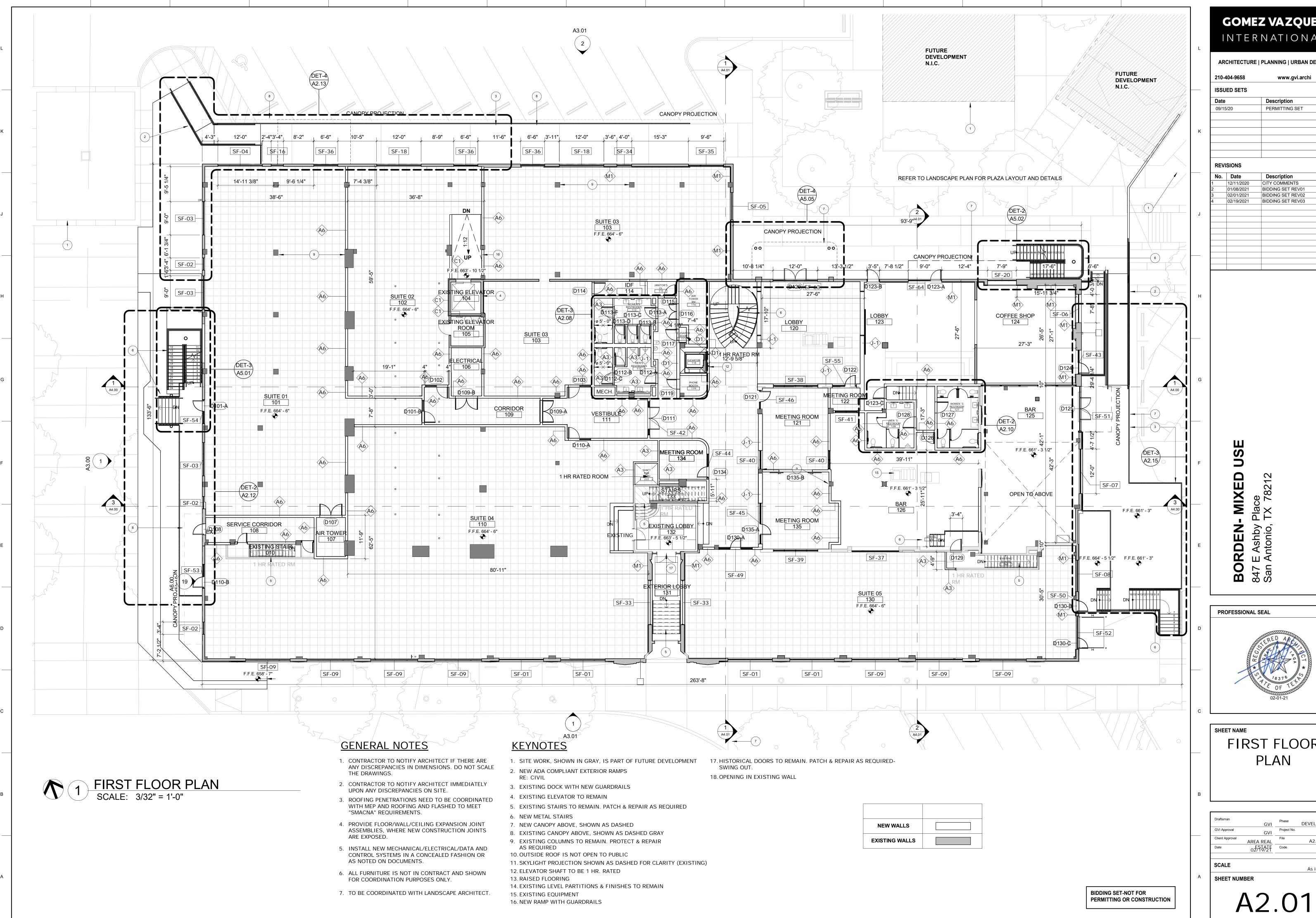


SHEET NAME

BASEMENT

FLOOR PLAN

			DECICN
Draftsman	GVI	Phase	DESIGN DEVELOPMENT
GVI Approval	GVI	Project No.	19135
Client Approval	AREA REAL	File	A2.00.DWG
Date	02/19/2F	Code	
SCALE			As indicated
SHEET NUM	/BER		
1			

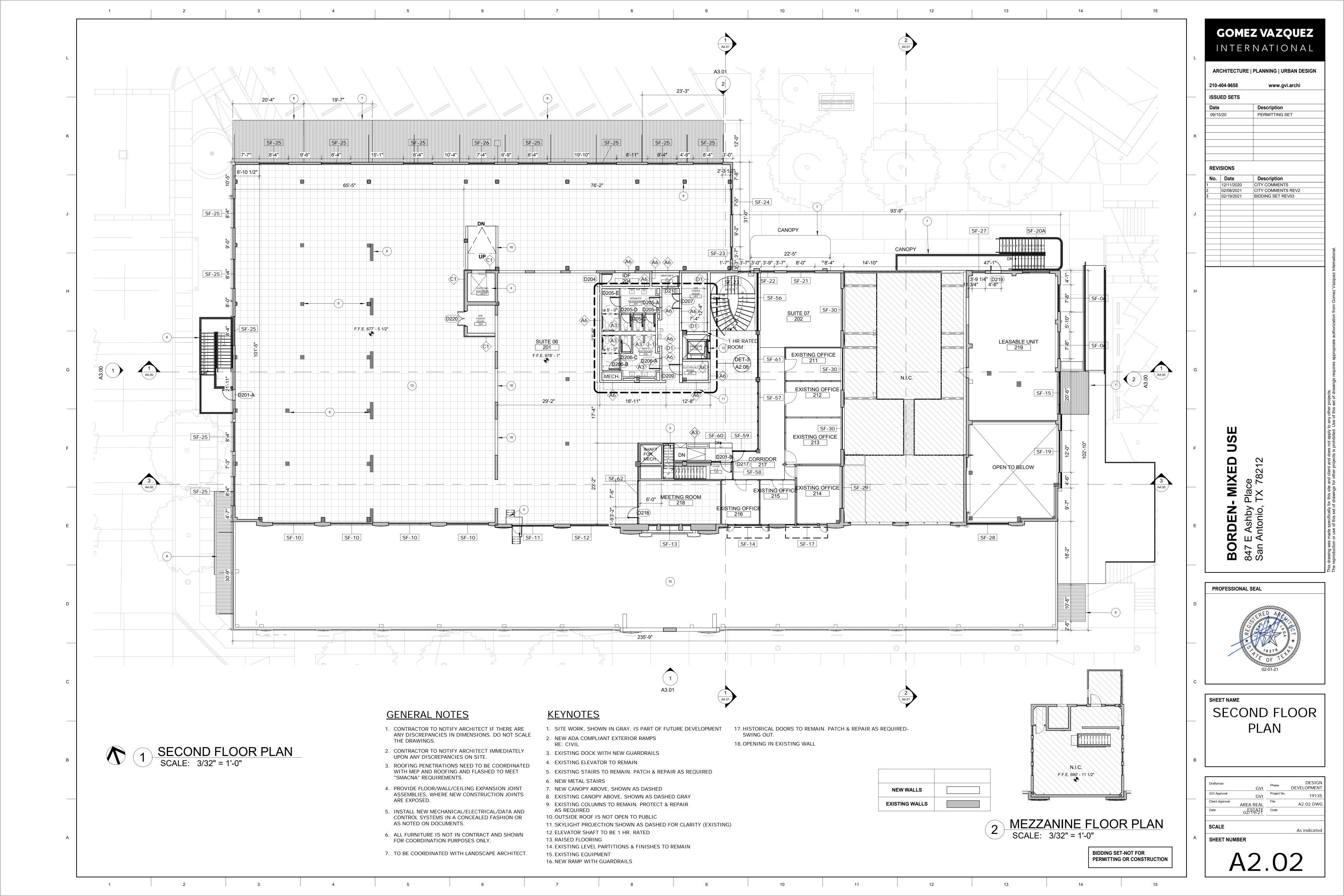


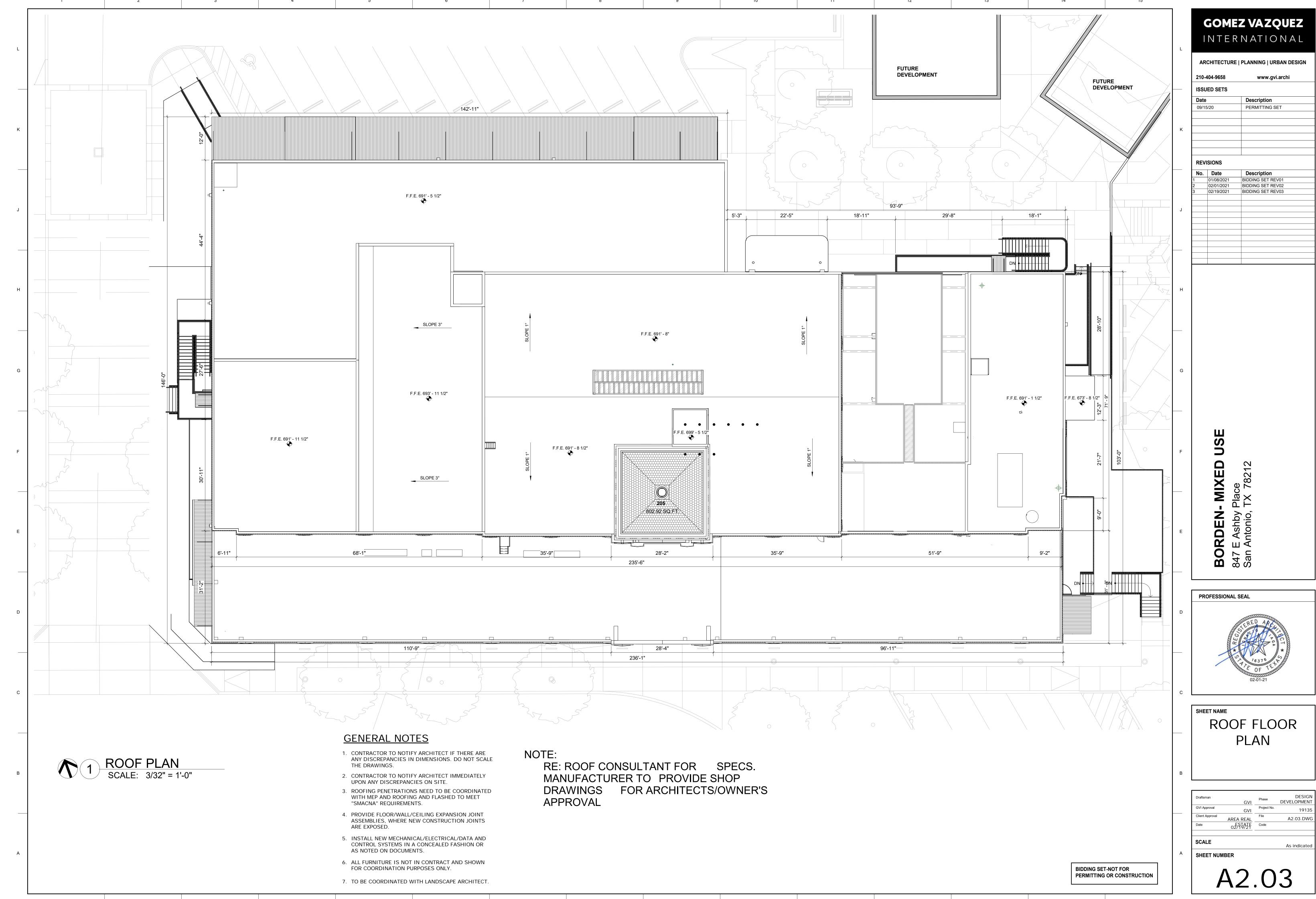
GOMEZ VAZQUEZ INTERNATIONAL ARCHITECTURE | PLANNING | URBAN DESIGN www.gvi.archi **ISSUED SETS** PERMITTING SET CITY COMMENTS BIDDING SET REV01 BIDDING SET REV02 BIDDING SET REV03 02/19/2021

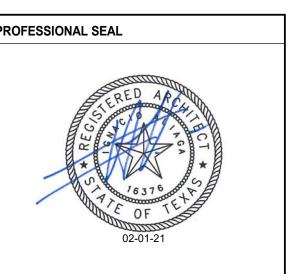
PROFESSIONAL SEAL

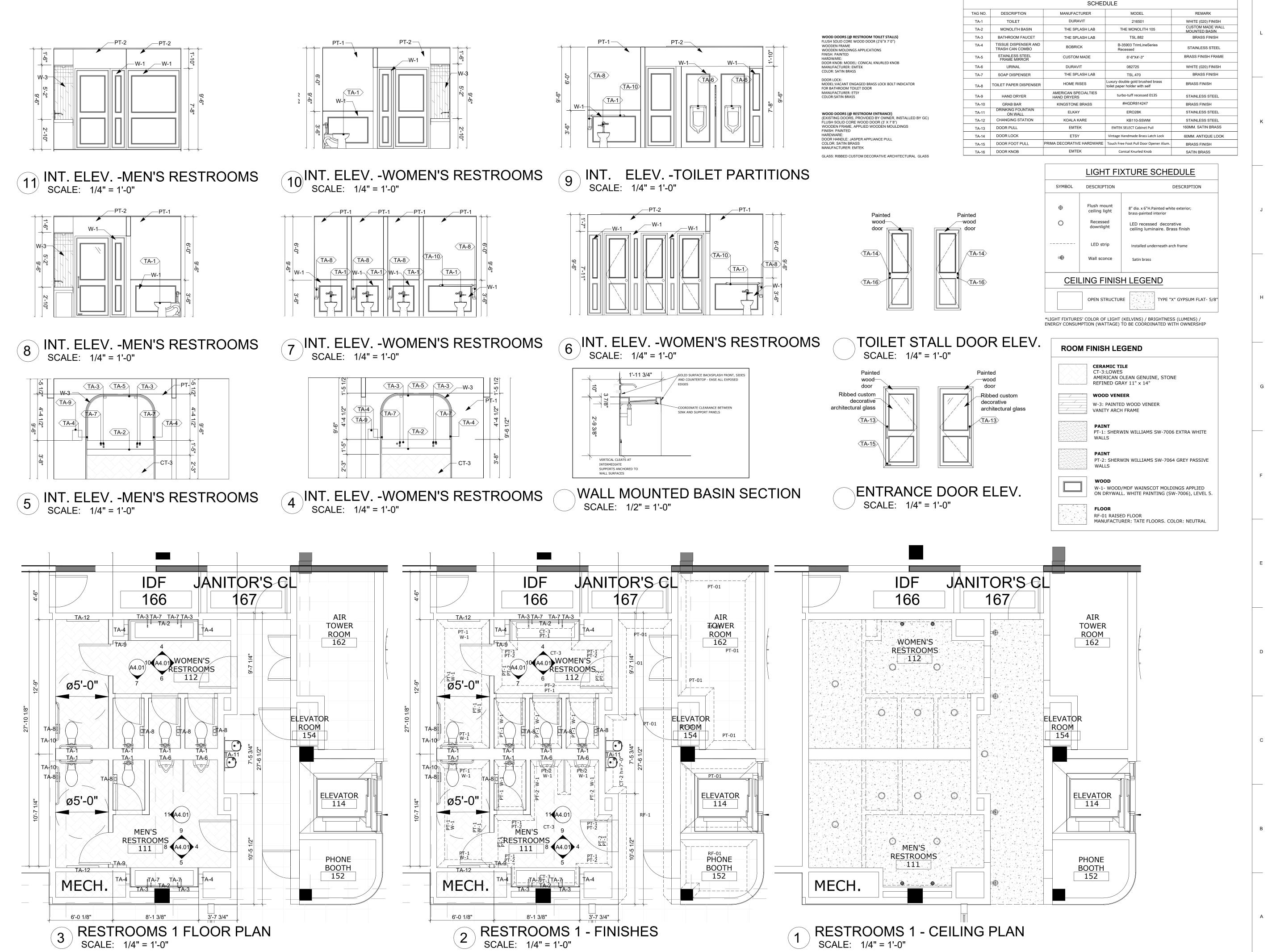
FIRST FLOOR **PLAN**

	١	\cap	1
SHEET NUM	MBER		
SCALE			As indicated
Date	02/95/27	Code	
Client Approval	AREA REAL	File	A2.01.DWG
GVI Approval	GVI	Project No.	19135
Draftsman	GVI	Phase	DESIGN DEVELOPMENT









GOMEZ VAZQUEZ INTERNATIONAL

ARCHITECTURE | PLANNING | URBAN DESIGN

www.gvi.archi **ISSUED SETS** Description 09/15/20 PERMITTING SET

REVISIONS

No. Date Description 01/08/21 BIDDING SET REV01 BIDDING SET REV02 02/19/21 BIDDING SET REV03

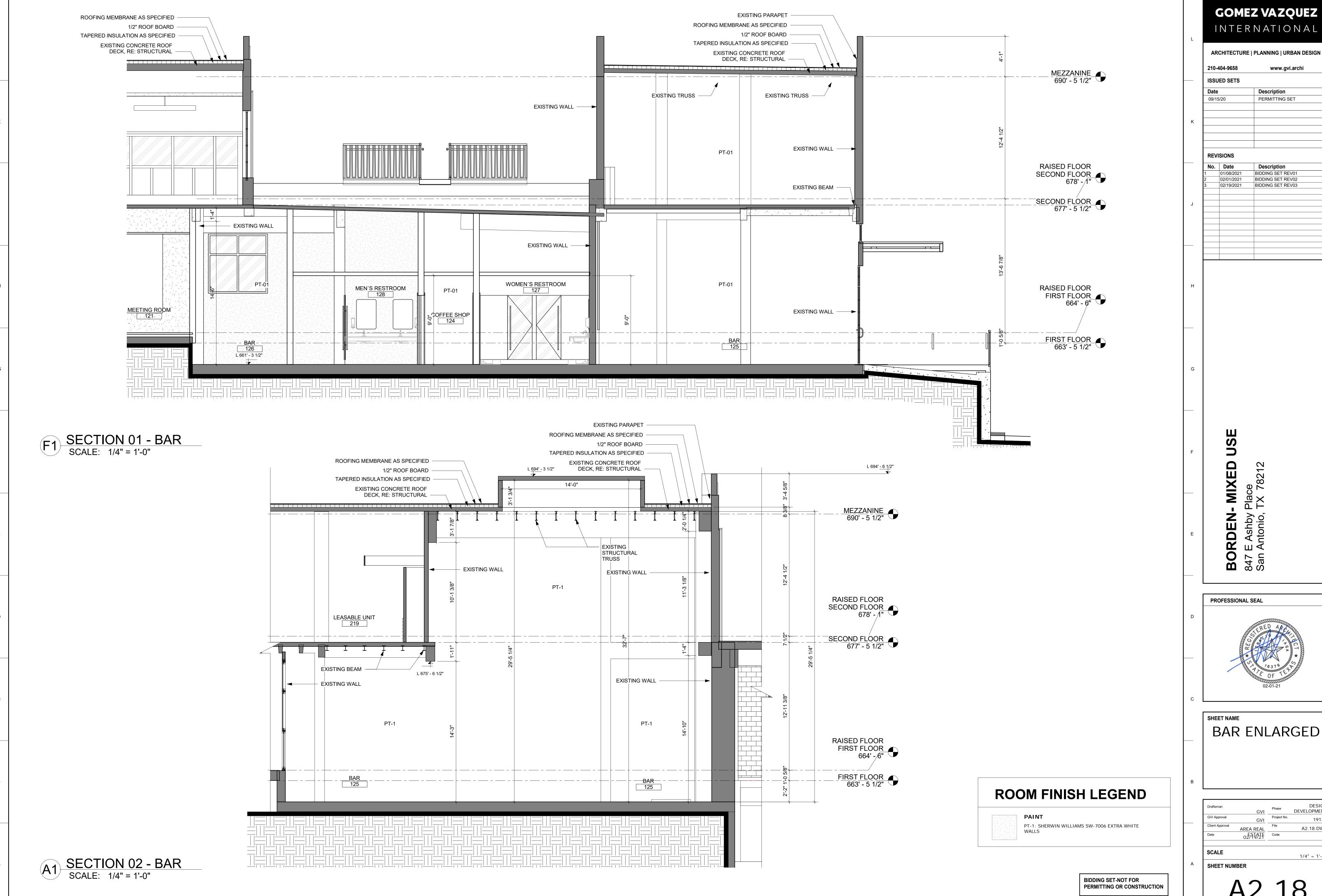


SHEET NAME **RESTROOM ENLARGED** (FLOORPLAN **ELEVATIONS-**SECTIONS)

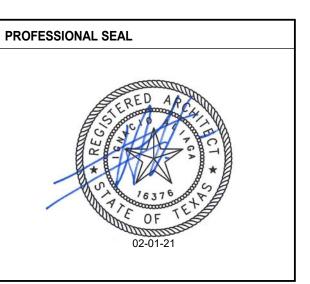
02/19/21

SHEET NUMBER

A2.08

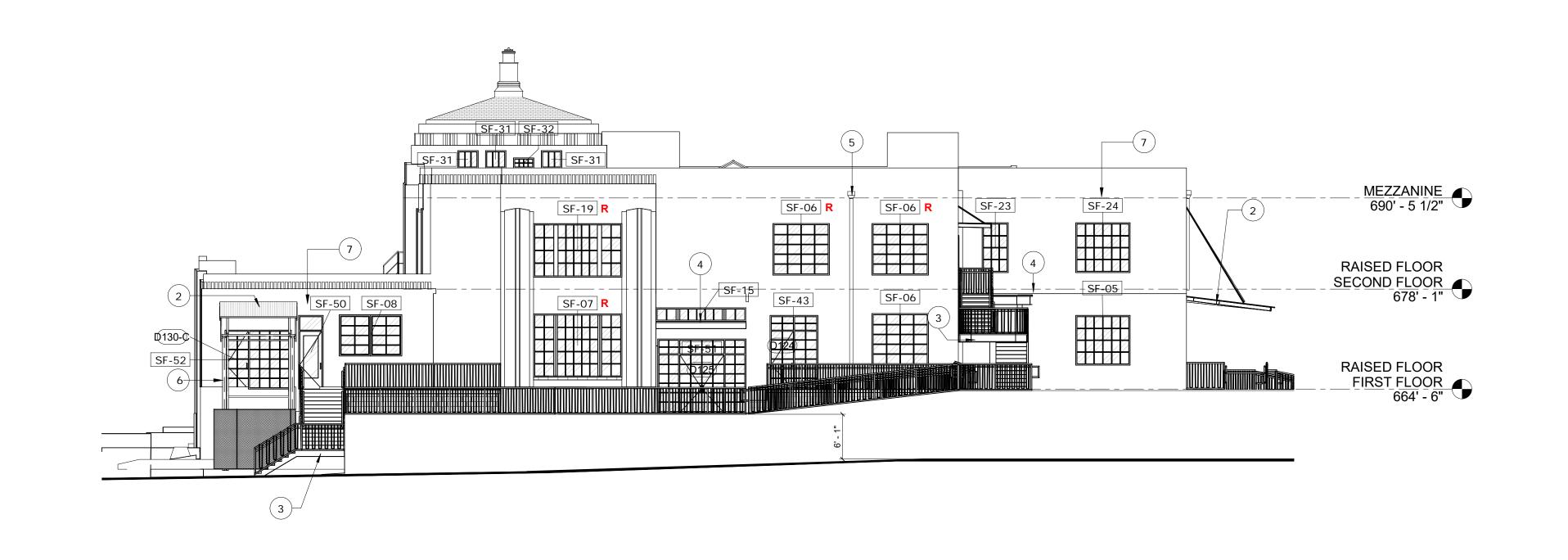


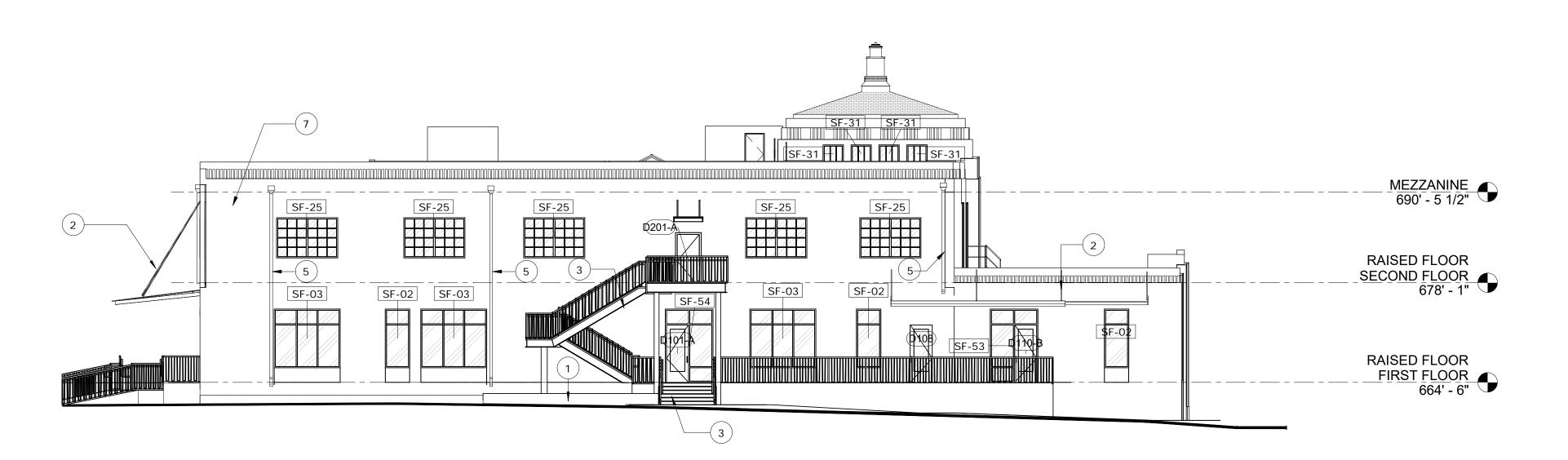
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BAR ENLARGED

1/4" = 1'-0





SCALE: 3/32" = 1'-0"

SCALE: 3/32" = 1'-0"

GENERAL NOTES

1. INSTALL ROOF SYSTEM COMPONENTS IN STRICT ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.

2. ALL FURNITURE IS NOT IN CONTRACT AND SHOWN FOR COORDINATION PURPOSES ONLY.

DISCREPANCIES IN DIMENSIONS.

- 3. PERIMETER JOINTS BETWEEN DISSIMILAR MATERIALS, PROVIDE
- MINIMUM 3/8" JOINT.
- 5. CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY UPON ANY

4. NOTIFY ANY DISCREPANCIES WITH DEMOLITION PLANS

KEYNOTES

- 1. PLANTER, RE: LANDSCAPE
- 2. EXISTING CANOPY, RE: STRUCTURAL
- 3. NEW CANOPY, RE: STRUCTURAL
- 4. NEW STAIRS, RE: DETAILS
- 5. EXISTING DOWNSPOUT
- 6. EXISTING LIFT TO REPAIR, PATCH & REPAIR
- AS REQUIRED
- 7. EXISTING BUILDING TO BE PAINTED

WINDOW NOTES

REXISTING WINDOWS,

RESTORE, SEE SPECS

SCALE SHEET NUMBER **BIDDING SET-NOT FOR** PERMITTING OR CONSTRUCTION

GOMEZ VAZQUEZ INTERNATIONAL ARCHITECTURE | PLANNING | URBAN DESIGN 210-404-9658 www.gvi.archi **ISSUED SETS** Date Description 09/15/20 PERMITTING SET **REVISIONS** Description
CITY COMMENTS BIDDING SET REV01 BIDDING SET REV02 01/08/2021 BIDDING SET REV03 02/19/2021 USE MIXE **BORDEN**-847 E Ashby San Antonio,

PROFESSIONAL SEAL

SHEET NAME **EXTERIOR ELEVATIONS**

A3.00.DWG As indicated



SCALE: 3/32" = 1'-0"



SCALE: 3/32" = 1'-0"

GENERAL NOTES

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ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.

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KEYNOTES

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WINDOW NOTES

REXISTING WINDOWS,

RESTORE, SEE SPECS

GOMEZ VAZQUEZ INTERNATIONAL ARCHITECTURE | PLANNING | URBAN DESIGN 210-404-9658 www.gvi.archi **ISSUED SETS** Date Description 09/15/20 PERMITTING SET **REVISIONS** BIDDING SET REV01 01/08/2021 BIDDING SET REV02 02/01/2021 BIDDING SET REV03

> USE MIXE **BORDEN**-847 E Ashby San Antonio,



SHEET NAME **EXTERIOR ELEVATIONS**

DEVELOPMENT A3.01.DWG **SCALE** As indicated SHEET NUMBER

BIDDING SET-NOT FOR PERMITTING OR CONSTRUCTION



SCALE: 3/32" = 1'-0"



SCALE: 3/32" = 1'-0"

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KEYNOTES

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WINDOW NOTES

REXISTING WINDOWS,

RESTORE, SEE SPECS

GOMEZ VAZQUEZ INTERNATIONAL ARCHITECTURE | PLANNING | URBAN DESIGN 210-404-9658 www.gvi.archi **ISSUED SETS** Date Description 09/15/20 PERMITTING SET **REVISIONS** BIDDING SET REV01 01/08/2021 BIDDING SET REV02 02/01/2021 BIDDING SET REV03

> USE MIXE **BORDEN**-847 E Ashby San Antonio,



SHEET NAME **EXTERIOR ELEVATIONS**

DEVELOPMENT A3.01.DWG **SCALE** As indicated SHEET NUMBER

BIDDING SET-NOT FOR PERMITTING OR CONSTRUCTION

CREATIVE OFFICE ADAPTIVE REUSE



PROJECT DESCRIPTION



875 E. Ashby Pl. is an adaptive reuse project of an existing historic two-story building from the 1930's, which used to house the Borden Creamery facilities.

Neighboring the 815 E. Ashby multifamily project, this building will comprise 52,500 square feet of office space and around 5,500 square feet of events and retail spaces.

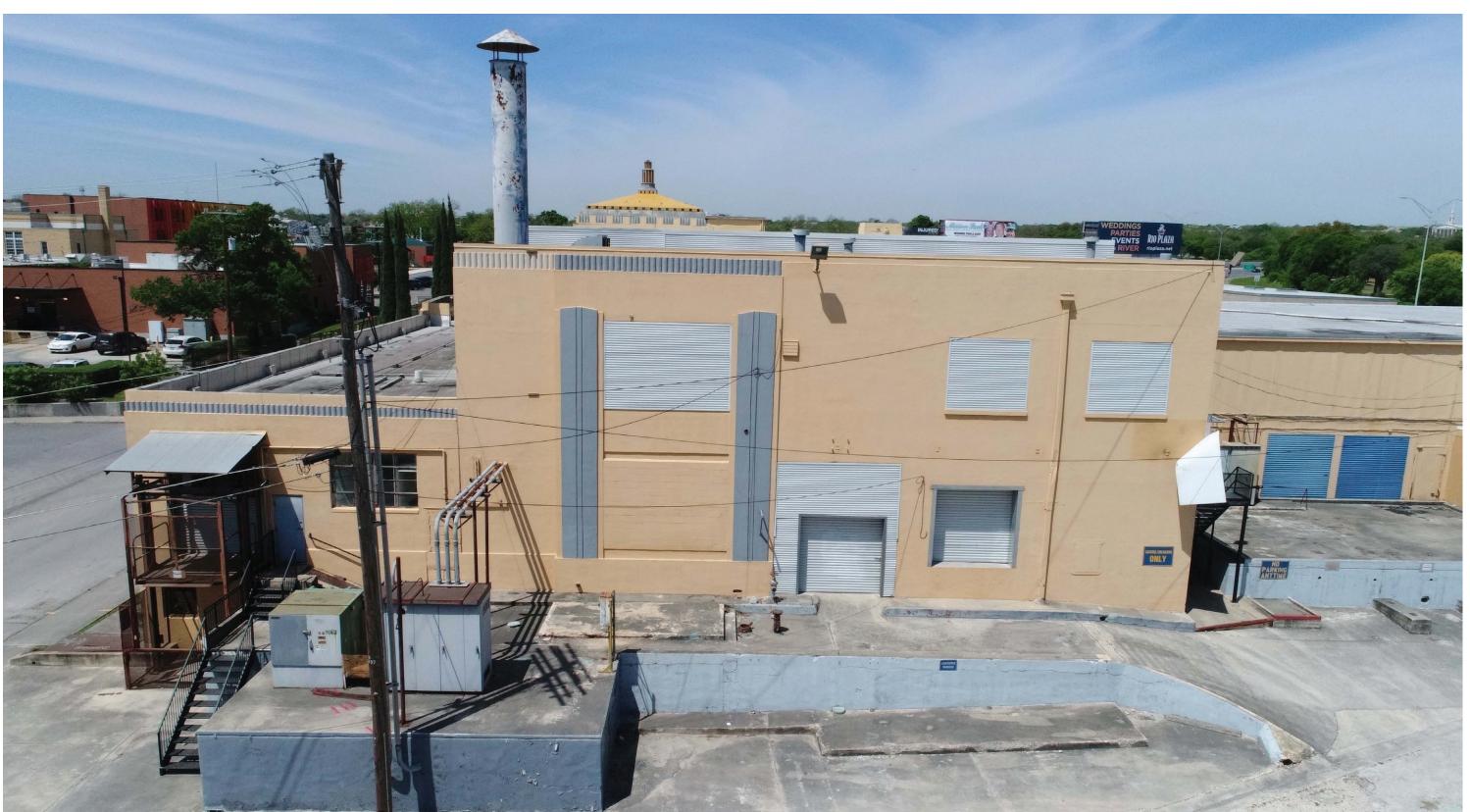
The reuse of the building will be mindful of its Art-Decó personality on the outside, but will provide for contemporary office spaces in its interior.



PHOTOS





















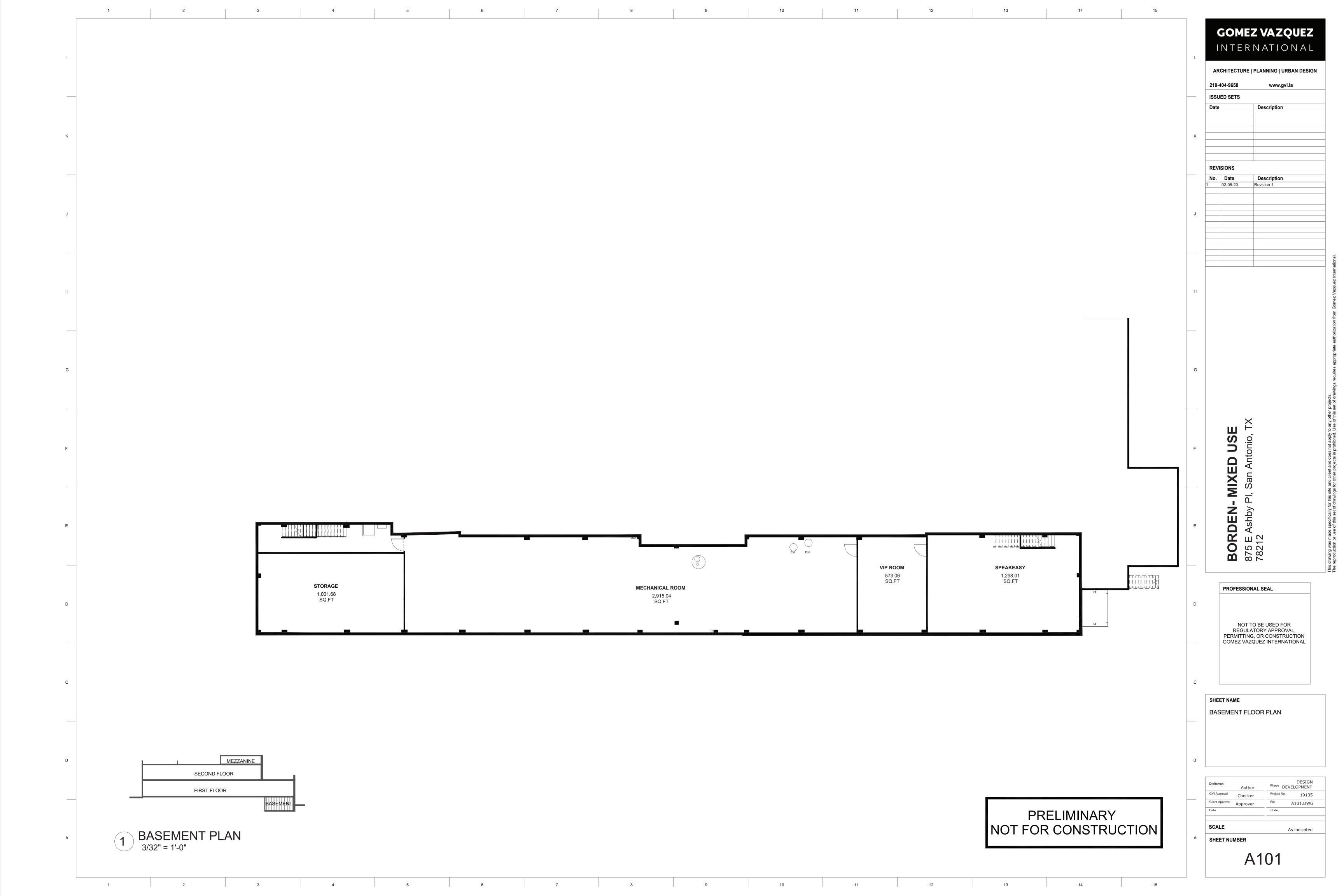
SITE PLAN

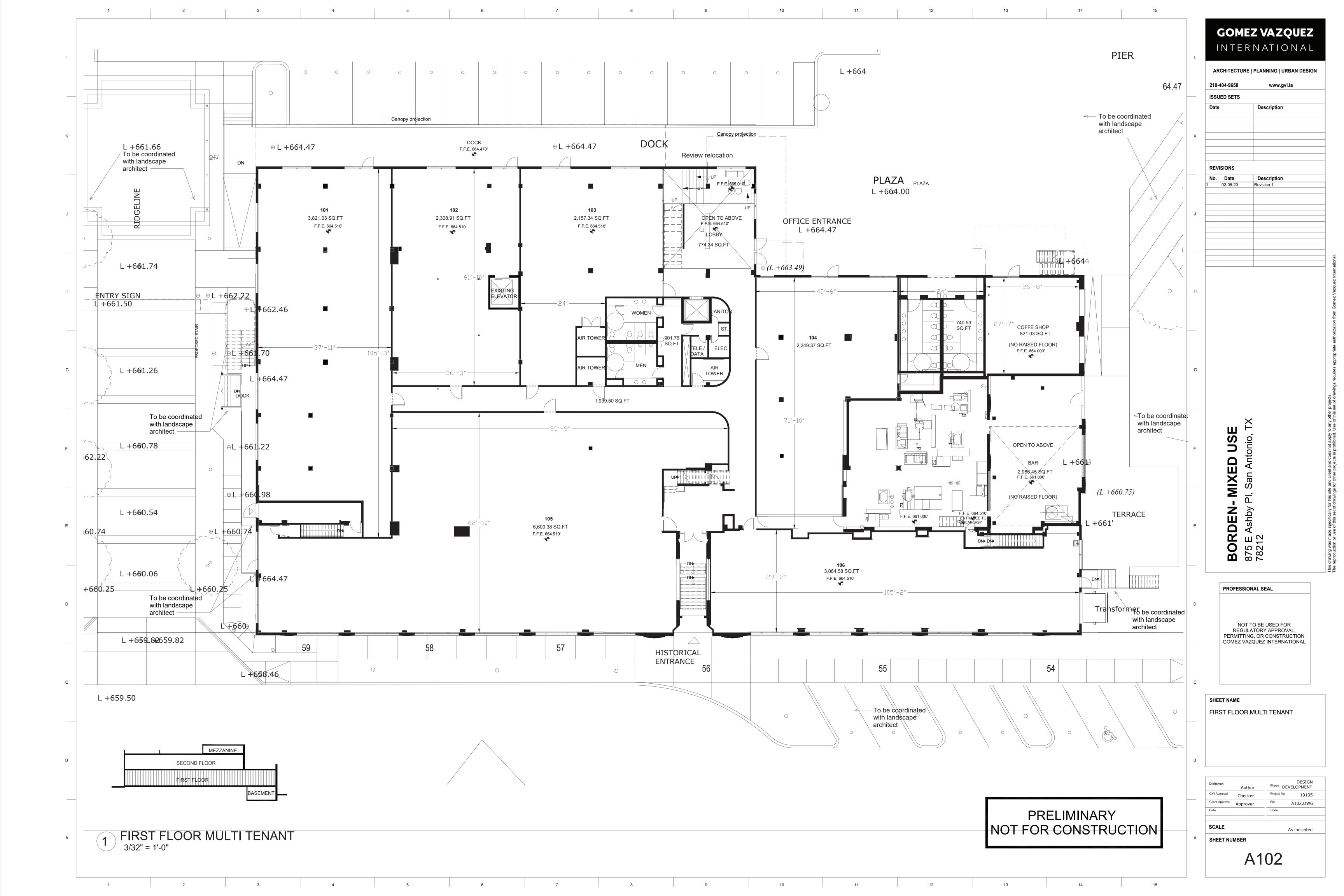


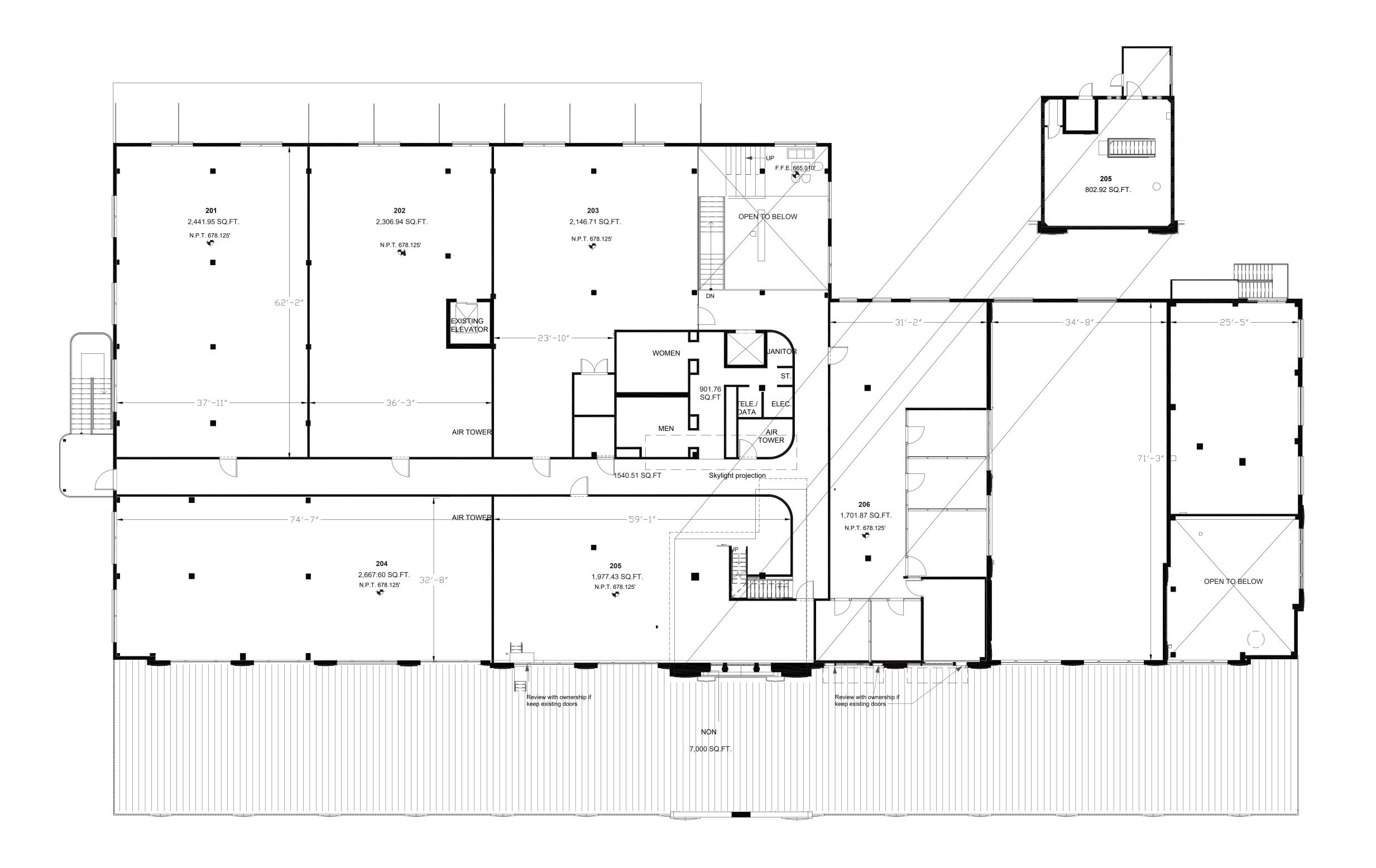


FLOOR PLANS









MEZZANINE
SECOND FLOOR
FIRST FLOOR
BASEMENT

1 SECOND FLOOR MULTI TENANT 3/32" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION

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	210-	404-9658	www.gvi.la	
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PROFESSIONAL SEAL	
NOT TO BE USED FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION GOMEZ VAZQUEZ INTERNATIONAL	

BORDEN- I 875 E Ashby PI 78212

SHEET NAME	
SECOND FLOOR MULTI TENANT	

	A1	03	
SHEET NU	MBER		
SCALE		As indicated	
Date		Code	
Client Approval	Approver	File	A103.DWG
GVI Approval	Checker	Project No.	19135
Draftsman	Author	Phase DEV	DESIGN ELOPMENT

ELEVATIONS













EAST ELEVATION





NORTH-EAST CORNER VIEW





OFFICE MAIN ENTRANCE VIEW





NORTH ELEVATION





NORTH-WEST CORNER VIEW

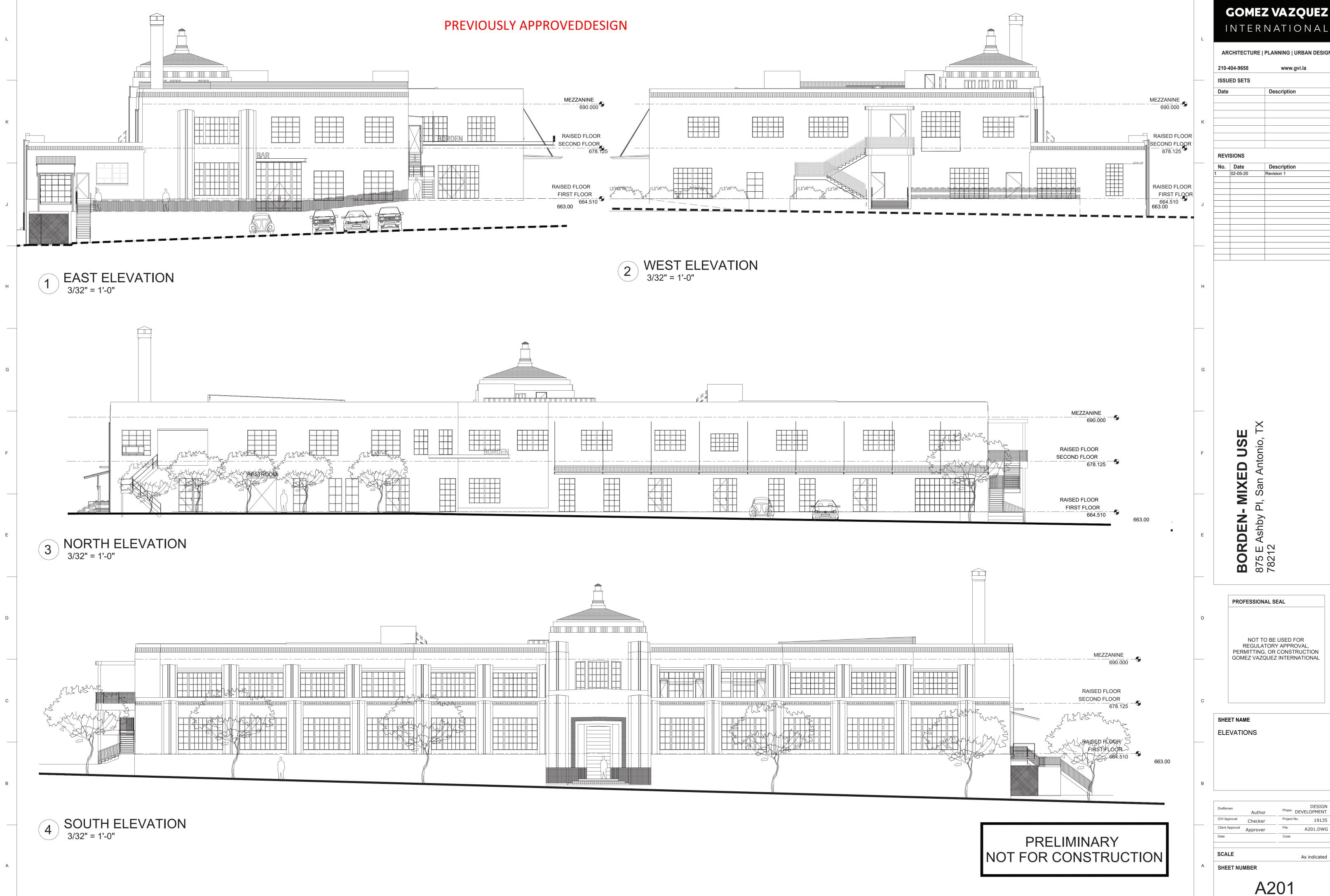












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