

HISTORIC AND DESIGN REVIEW COMMISSION

July 21, 2021

HDRC CASE NO: 2021-343
ADDRESS: 138 PRINCESS PASS
LEGAL DESCRIPTION: NCB 3094 BLK 10 LOT 3A
ZONING: R-4, H
CITY COUNCIL DIST.: 1
DISTRICT: Monte Vista Historic District
OWNER: Paula Kothmann Real Estate Oak Creek, LLC
TYPE OF WORK: Historic Tax Certification
APPLICATION RECEIVED: July 09, 2021
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Rachel Rettaliata

REQUEST:

The applicant is requesting Historic Tax Certification for the property at 138 Princess Pass.

APPLICABLE CITATIONS:

UDC Section 35-618. Tax Exemption Qualification.

(d) Certification.

(1) Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.

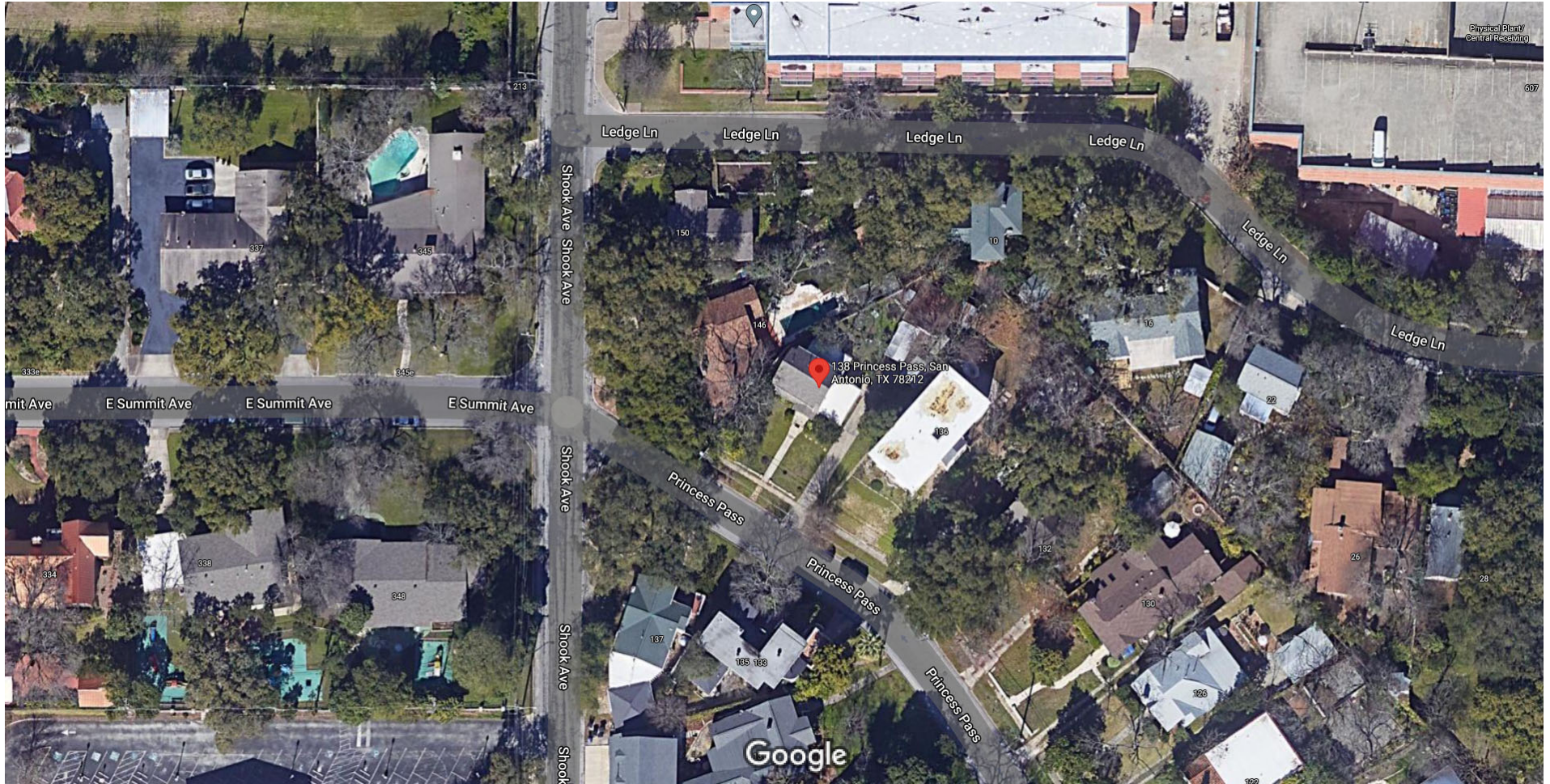
FINDINGS:

- a. The primary structure located at 138 Princess Pass is a 2-story, single-family residence constructed circa 1910. The home features a side gable composition shingle roof with a mansard detail at the second story, wood cladding, one-over-one wood windows, and a front gable front porch covering with gable end returns. The property is contributing to the Monte Vista Historic District. The applicant is requesting Historic Tax Certification.
- b. The scope of work includes a comprehensive interior remodel, foundation repair, wood repair and maintenance, repainting, and electrical upgrades. Certificates of Appropriateness are required for all exterior scopes of work.
- c. The applicant has met all the requirements for Historic Tax Certification outlined in UDC Section 35-618 and has provided evidence to that effect to the Historic Preservation Officer.

RECOMMENDATION:

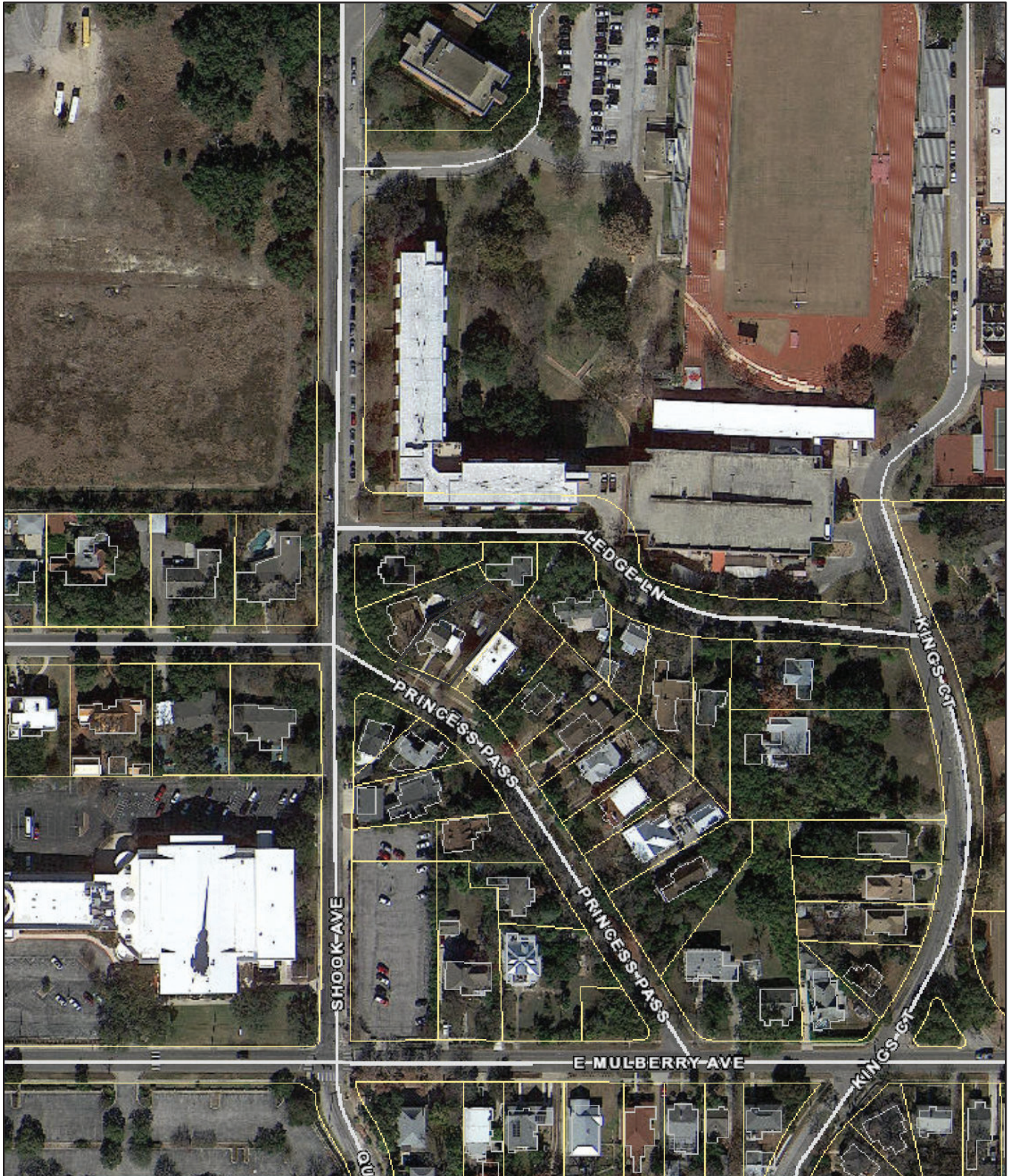
Staff recommends approval based on findings a through c.

Google Maps 138 Princess Pass



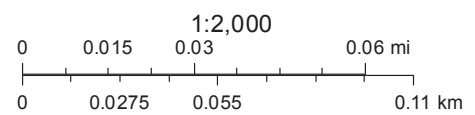
Map data ©2021, Map data ©2021 Google 20 ft

City of San Antonio One Stop



July 16, 2021

— User drawn lines























Historic Rehabilitation Application for
138 Princess Pass, San Antonio, Texas 78212
built ca. 1895
Monte Vista Historic District

Part 3:

Itemized list of expected work both interior and exterior

- I. Exterior
 - a. Replace and/or repair piers.
 - b. Level and reinforce slab foundation of the garage.
 - c. Treat for termites
 - d. Replace wood rot and paint (see *Cabrera Bid, attached*)
- II. Interior:
 - a. Remodel upstairs bathroom: replace heavy iron bathtub with a lighter tub; replace any materials damaged by water penetration; replace tile; grout and seal; check to ensure that the shower no longer leaks.
 - b. See *Cabrera Bid, attached* (all items except the exterior work)
 - c. Seal hole in attic to prevent pests.
 - d. Upgrade electric to meet current load demand (see *Electric Bid, attached*)

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Part 4:
Timeline

- I. Exterior
 - a. Replace and/or repair piers and beams. (July 2021)
 - b. Level and reinforce slab foundation of the garage. (July 2021)
 - c. Treat for termites (July 2021)
 - d. Replace wood rot and paint (see *Cabrera Bid, attached*) (August 2021)

- II. Interior:
 - a. Remodel upstairs bathroom: replace heavy iron bathtub with a lighter tub; replace any materials damaged by water penetration; replace tile; grout and seal; check to ensure that the shower no longer leaks. (August 2021)
 - b. See *Cabrera Bid, attached* (all items except the exterior work) (August 2021)
 - c. Seal hole in attic to prevent pests. (July 2021)
 - d. Upgrade electric to meet current load demand (see *Electric Bid, attached*) (August 2021)