

REPLAT & SUBDIVISION PLAT ESTABLISHING LUCCHESI VILLAGE (PUD)

BEING A 17.216 ACRE TRACT OF LAND, ESTABLISHING LOTS 2-29, 900-901, & 999, A PORTION OF LOT 1, BLOCK 28, OF INDEPENDENCE VILLAGE AT DOMINION, PHASE I, RECORDED IN VOLUME 9563, PAGES 132-137 OF THE DEED AND PLAT RECORDS OF BEAR COUNTY, TEXAS, AND A PORTION OF A 4.1426 ACRE TRACT AND A PORTION OF A 67.9416 ACRE TRACT, BOTH RECORDED IN VOLUME 18271, PAGE 2114 OF THE OFFICIAL PUBLIC RECORDS OF BEAR COUNTY, TEXAS, IN NEW CITY BLOCK 16385, IN THE CITY OF SAN ANTONIO, BEAR COUNTY, TEXAS.



SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS 2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000

DATE OF PREPARATION: September 12, 2017

PLAT NOTES APPLY TO EVERY PAGE OF THIS MULTIPLE PAGE PLAT

NOTE: SEE SHEET 9 OF 9 FOR CURVE AND LINE TABLE.

FINISHED FLOOR NOTE: RESIDENTIAL FINISHED FLOOR ELEVATIONS MUST BE A MINIMUM OF EIGHT INCHES ABOVE FINISHED ADJACENT GRADE.

LEGAL INSTRUMENT NOTE: A LEGAL INSTRUMENT ESTABLISHING A PLAN FOR THE USE AND PERMANENT MAINTENANCE OF THE COMMON AREAS/FACILITIES DESIGNATED ON THIS PLAT IS BEING RECORDED ON THE SAME DATE AS THIS PLAT.

- SURVEYOR'S NOTES: 1. PROPERTY CORNERS ARE MONUMENTED WITH CAP OR DISK MARKED "PAPE-DAWSON" UNLESS NOTED OTHERWISE. 2. COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (CORS 1996) FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE DISPLAYED IN GRID VALUES DERIVED FROM THE NGS COOPERATIVE CORNERS NETWORK. 3. DIMENSIONS SHOWN ARE SURFACE. 4. BEARINGS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (CORS 1996), FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.

STATE OF TEXAS COUNTY OF BEAR THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: ANTONIO BRUNET AGORA ASSETS LLC 8 DOMINION DRIVE, SUITE 107 SAN ANTONIO, TEXAS 78257 (210) 698-3000

STATE OF TEXAS COUNTY OF BEAR BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED ANTONIO BRUNET, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF ____, A.D. 20__.

NOTARY PUBLIC, BEAR COUNTY, TEXAS

THIS PLAT OF _____ LUCCHESI VILLAGE (PUD) _____ HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS. IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS, AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED. DATED THIS ____ DAY OF ____, A.D. 20__.

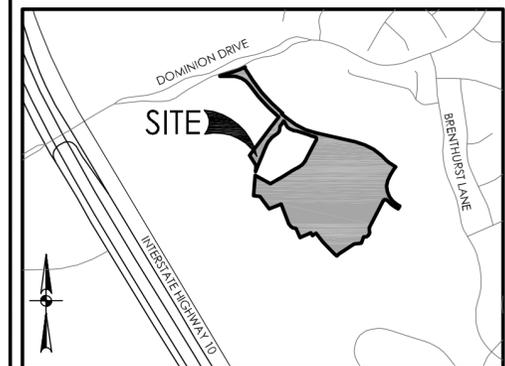
BY: _____ CHAIRMAN

BY: _____ SECRETARY

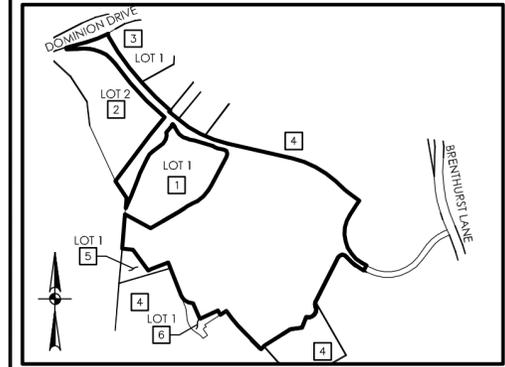
STATE OF TEXAS COUNTY OF BEAR I, _____, COUNTY CLERK OF BEAR COUNTY, DO HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN MY OFFICE, ON THE ____ DAY OF ____, A.D. 20__ AT ____ M. AND DULY RECORDED THE ____ DAY OF ____, A.D. 20__ AT ____ M. IN THE DEED AND PLAT RECORDS OF BEAR COUNTY, IN BOOK/ VOLUME ____ ON PAGE ____ IN TESTIMONY WHEREOF, WITNESS MY HAND AND OFFICIAL SEAL OF OFFICE, THIS ____ DAY OF ____, A.D. 20__.

COUNTY CLERK, BEAR COUNTY, TEXAS

BY: _____ DEPUTY



LOCATION MAP NOT-TO-SCALE



AREA BEING REPLATTED THROUGH PUBLIC HEARING WITH WRITTEN NOTIFICATION SCALE: 1"= 600'

17.216 ACRES BEING REPLATTED WAS PREVIOUSLY PLATTED AS LOT 1, BLOCK 28, NCB 16385 OF INDEPENDENCE VILLAGE AT DOMINION, PHASE I RECORDED IN VOLUME 9563, PAGES 132-137 OF THE DEED AND PLAT RECORDS OF BEAR COUNTY, TEXAS.

STATE OF TEXAS COUNTY OF BEAR

THE AREA BEING REPLATTED WAS PREVIOUSLY PLATTED ON PLAT #040210 INDEPENDENCE VILLAGE AT DOMINION, PHASE I, WHICH IS RECORDED IN VOLUME 9563, PAGES 132-137, COUNTY PLAT AND DEED RECORDS. THE SAN ANTONIO PLANNING COMMISSION AT ITS MEETING OF (DATE) HELD A PUBLIC HEARING WHICH INVOLVED NOTIFICATION ON THE PROPOSED REPLATTING OF THIS PROPERTY.

[I/WE], THE OWNER(S) OF THE PROPERTY SHOWN ON THIS REPLAT HEREBY CERTIFY THAT THIS REPLAT DOES NOT AMEND OR REMOVE ANY COVENANTS OR RESTRICTIONS.

OWNER/DEVELOPER: ANTONIO BRUNET AGORA ASSETS LLC 8 DOMINION DRIVE, SUITE 107 SAN ANTONIO, TEXAS 78257 (210) 698-3000

STATE OF TEXAS COUNTY OF BEAR

SWORN AND SUBSCRIBED BEFORE ME THIS THE ____ DAY OF ____, A.D. 20__.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES: _____.

PRIVATE STREET DESIGNATION NOTE: LOT 999, BLOCK 28, NCB 16385 ARE PRIVATE STREETS AND ARE DESIGNATED AS AN UNDERGROUND ELECTRIC, GAS, TELEPHONE CABLE TELEVISION, DRAINAGE, WATER, PEDESTRIAN, AND SANITARY SEWER EASEMENT.

IMPACT FEE NOTE: WATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET.

STATE OF TEXAS COUNTY OF BEAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

LICENSED PROFESSIONAL ENGINEER

STATE OF TEXAS COUNTY OF BEAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

REGISTERED PROFESSIONAL LAND SURVEYOR

C.P.S. NOTES: 1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC AND GAS SYSTEM (CITY PUBLIC SERVICE BOARD) IS HEREBY DEDICATED THE EASEMENTS AND RIGHTS-OF-WAY FOR ELECTRIC AND GAS DISTRIBUTION AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THE PLAT AS "ELECTRIC EASEMENT," "GAS EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," AND "TRANSFORMER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING POLES, HANGING OR BURNING WIRES, CABLES, CONDUITS, PIPELINES OR TRANSFORMERS, EACH WITH ITS NECESSARY APPURTENANCES, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANITOR'S ADJACENT LAND, THE RIGHT TO RELOCATE SAID FACILITIES WITHIN SAID EASEMENT AND RIGHT-OF-WAY AREAS, AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF SAID LINES OR APPURTENANCES THEREOF. IT IS AGREED AND UNDERSTOOD THAT NO BUILDINGS, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN SAID EASEMENT AREA. 2. ANY COST MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF C.P.S. EQUIPMENT, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATION. 3. THIS PLAT DOES NOT AFFECT EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED BELOW. 4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY REAR LOT UNDERGROUND ELECTRIC AND GAS FACILITIES. 5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC, GAS, TELEPHONE AND CABLE T.V. EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC, GAS, TELEPHONE AND CABLE T.V. FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) FOOT WIDE EASEMENTS.

SAWS HIGH PRESSURE NOTE: A PORTION OF THE TRACT IS BELOW THE GROUND ELEVATION OF 1215 FEET WHERE THE STATIC PRESSURE WILL NORMALLY EXCEED 80 PSI. AT ALL SUCH LOCATIONS, THE DEVELOPER OR BUILDER SHALL INSTALL AT EACH LOT, ON THE CUSTOMER'S SIDE OF THE METER, AN APPROVED TYPE PRESSURE REGULATOR IN CONFORMANCE WITH THE PLUMBING CODE OF THE CITY OF SAN ANTONIO.

DRAINAGE EASEMENT NOTE: NO STRUCTURE, FENCES, WALLS OR OTHER OBSTRUCTIONS THAT IMPEDE DRAINAGE SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT. NO LANDSCAPING OR OTHER TYPE OF MODIFICATIONS WHICH ALTER THE CROSS-SECTIONS OF THE DRAINAGE EASEMENT, AS APPROVED, SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE DIRECTOR OF PUBLIC WORKS. THE CITY OF SAN ANTONIO AND BEAR COUNTY SHALL HAVE THE RIGHT TO INGRESS AND EGRESS OVER THE GRANITOR'S ADJACENT PROPERTY TO REMOVE ANY IMPEDING OBSTRUCTIONS PLACED WITHIN THE LIMITS OF SAID DRAINAGE EASEMENTS, AND TO MAKE ANY MODIFICATIONS OR IMPROVEMENTS WITHIN SAID DRAINAGE EASEMENTS.

INGRESS & EGRESS (SEWER): THE SAN ANTONIO SEWER SYSTEM IS HEREBY GRANTED THE RIGHT OF INGRESS AND EGRESS ACROSS GRANITOR'S ADJACENT PROPERTY TO ACCESS THE WASTEWATER EASEMENT(S) SHOWN ON THIS PLAT.

INGRESS & EGRESS (WATER): THE SAN ANTONIO WATER SYSTEM IS HEREBY GRANTED THE RIGHT OF INGRESS AND EGRESS ACROSS GRANITOR'S ADJACENT PROPERTY TO ACCESS THE WATER EASEMENT(S) SHOWN ON THIS PLAT.

WASTEWATER EDU NOTE: THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDUs) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE AT THE SAN ANTONIO WATER SYSTEM UNDER THE PLAT NUMBER ISSUED BY THE DEVELOPMENT SERVICES DEPARTMENT.

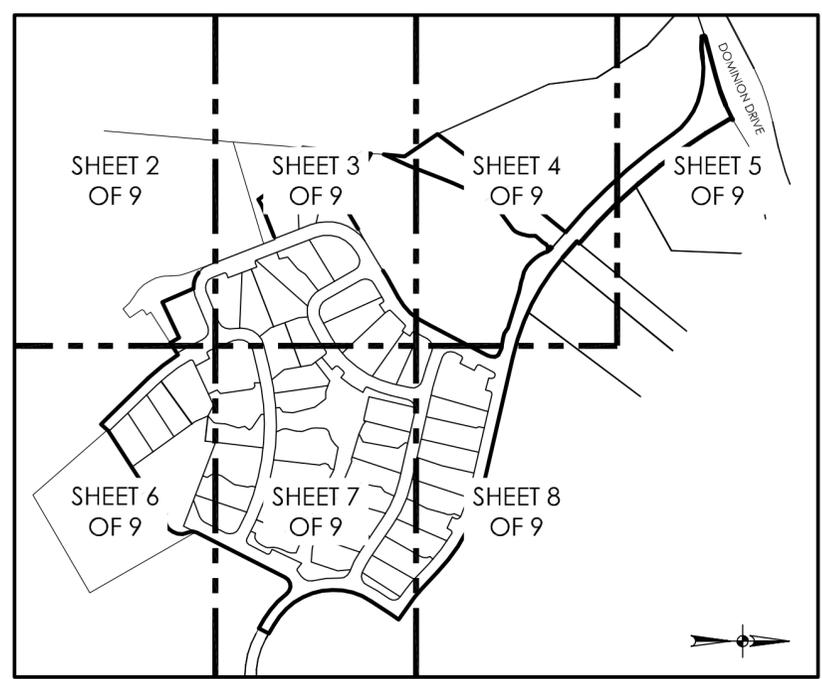
MAINTENANCE NOTE: THE MAINTENANCE OF PRIVATE STREETS, OPEN SPACE, GREENBELTS, PARKS, DRAINAGE EASEMENTS AND EASEMENTS OF ANY NATURE WITHIN DOMINION HILLS CONDOS SUBDIVISION SHALL BE THE RESPONSIBILITY OF THE DOMINION HILLS CONDOS HOMEOWNERS ASSOCIATION OR THEIR SUCCESSORS AND NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO OR BEAR COUNTY. TO INCLUDE BUT NOT LIMITED TO: (LOTS 903, BLOCK 50)

FLOOD ZONE NOTE: THE VARIABLE WIDTH DRAINAGE RIGHT-OF-WAY AND EASEMENTS WERE DELINEATED TO CONTAIN THE BOUNDARIES OF THE 1% ANNUAL CHANCE (100-YEAR) FLOOD ZONE ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) IN ACCORDANCE WITH DFIRM PANEL 48029C0115F, DATED SEPTEMBER 29, 2010, AND THE HIGHER OF 4% ANNUAL CHANCE (25-YEAR) ULTIMATE PLUS FREEBOARD OR THE 1% ANNUAL CHANCE (100-YEAR) ULTIMATE DEVELOPMENT CONDITION WATER SURFACE ELEVATION. CONSTRUCTION WITHIN THESE EASEMENTS IS PROHIBITED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE BEAR COUNTY OR CITY OF SAN ANTONIO FLOODPLAIN ADMINISTRATOR. BEAR COUNTY OR CITY OF SAN ANTONIO PUBLIC WORKS SHALL HAVE ACCESS TO THESE DRAINAGE EASEMENTS AS NECESSARY.

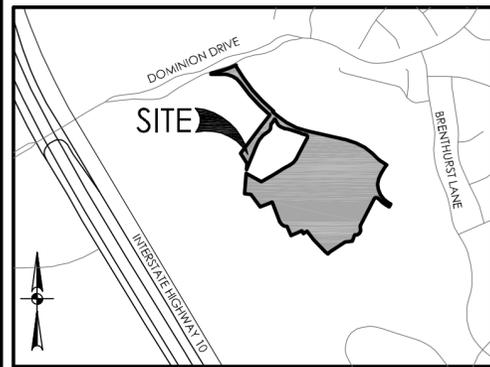
FEMA NOTE: LOT 901, BLOCK 28 LIE WITHIN THE FEMA 1% ANNUAL CHANCE (100 YEAR) FLOODPLAIN AS DEPICTED ON THE FEMA FLOOD INSURANCE RATE MAP OF BEAR COUNTY, TEXAS, MAP NO. 48029C0115F, DATED SEPTEMBER 29, 2010 AND BASED UPON A LETTER OF MAP REVISION (CLOMR) STUDY 33971 PREPARED BY PAPE-DAWSON ENGINEERS, INC. ELEVATION CERTIFICATES FOR HOMES CONSTRUCTED ON THESE LOTS SHALL BE SUBMITTED TO THE CITY OF SAN ANTONIO, AND BEAR COUNTY AND THE LOT OWNER MAY BE REQUIRED TO PURCHASE FLOOD INSURANCE.

FIRE FLOW DEMAND NOTE: IN AN EFFORT TO MEET THE CITY OF SAN ANTONIO'S FIRE FLOW REQUIREMENTS FOR THE PROPOSED RESIDENTIAL DEVELOPMENT, THE PUBLIC WATER MAIN SYSTEM HAS BEEN DESIGNED FOR A MINIMUM FIRE FLOW DEMAND OF 1750 GPM AT 25 PSI RESIDUAL PRESSURE. THE FIRE FLOW REQUIREMENTS FOR INDIVIDUAL STRUCTURES WILL BE REVIEWED DURING THE BUILDING PERMIT PROCESS IN ACCORDANCE WITH THE PROCEDURES SET FORTH BY THE CITY OF SAN ANTONIO DIRECTOR OF DEVELOPMENT SERVICES AND THE SAN ANTONIO FIRE DEPARTMENT FIRE MARSHAL.

LEGEND table with columns for symbols and descriptions. Includes symbols for block, county block, deed and plat records, easement, gas, electric, telephone and cable television, new city block, official public records, existing contours, FEMA 1% annual chance floodplain, and proposed 1% annual chance floodplain. Also includes symbols for volume page, iron rod, and electric easement.



INDEX MAP SCALE: 1"= 300'



LOCATION MAP
NOT-TO-SCALE

PLAT NUMBER 160543

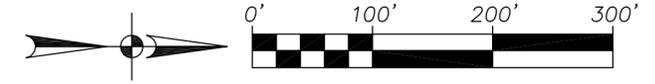
REPLAT & SUBDIVISION PLAT

ESTABLISHING

LUCCHESI VILLAGE (PUD)

BEING A 17.216 ACRE TRACT OF LAND, ESTABLISHING LOTS 2-29, 900-901, & 999, A PORTION OF LOT 1, BLOCK 28, OF INDEPENDENCE VILLAGE AT DOMINION, PHASE I, RECORDED IN VOLUME 9563, PAGES 132-137 OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS, AND A PORTION OF A 4.1426 ACRE TRACT AND A PORTION OF A 67.9416 ACRE TRACT, BOTH RECORDED IN VOLUME 18271, PAGE 2114 OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, IN NEW CITY BLOCK 16385, IN THE CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS.

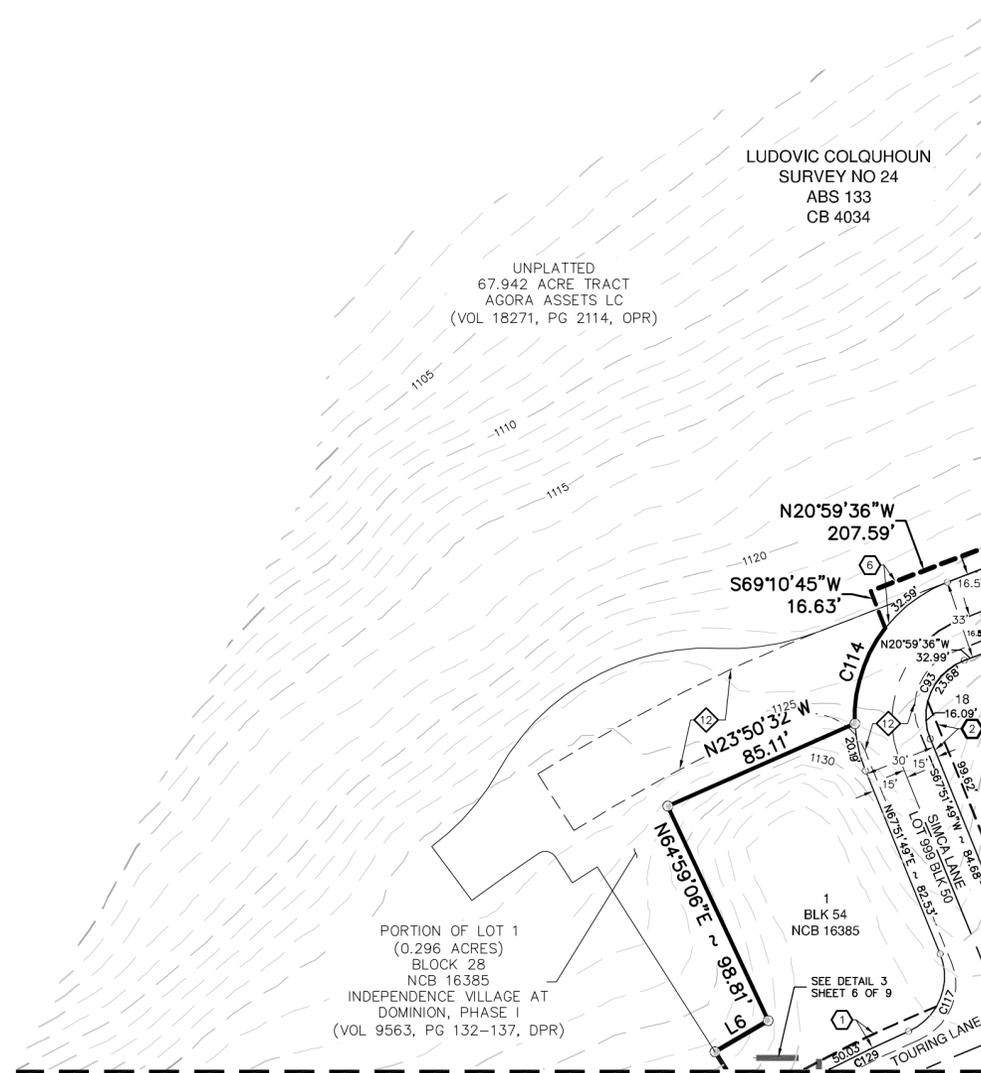
SCALE: 1" = 100'



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2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBPB FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10028800

DATE OF PREPARATION: September 12, 2017

NOTE:
SEE SHEET 9 OF 9 FOR
CURVE AND LINE TABLE.



MATCHLINE "A" - SEE SHEET 3 OF 9

MATCHLINE "D" - SEE SHEET 6 OF 9

IMPACT FEE NOTE:

WATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET.

WASTEWATER EDU NOTE:

THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDUs) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE AT THE SAN ANTONIO WATER SYSTEM UNDER THE PLAT NUMBER ISSUED BY THE DEVELOPMENT SERVICES DEPARTMENT.

C.P.S. NOTES:

1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC AND GAS SYSTEM (CITY PUBLIC SERVICE BOARD) IS HEREBY DEDICATED THE EASEMENTS AND RIGHTS-OF-WAY FOR ELECTRIC AND GAS DISTRIBUTION AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT", "GAS EASEMENT", "ANCHOR EASEMENT", "SERVICE EASEMENT", "OVERHANG EASEMENT", "UTILITY EASEMENT" AND "TRANSFORMER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND SERVICING POLES, HANDING OR BURNING WIRES, CABLES, CONDUITS, PIPES OR TRANSFORMERS, EACH WITH ITS NECESSARY APPURTENANCES, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LAND, THE RIGHT TO RELOCATE SAID FACILITIES WITHIN SAID EASEMENT AND RIGHT-OF-WAY AREAS, AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF SAID LINES OR APPURTENANCES THEREOF. IT IS AGREED AND UNDERSTOOD THAT NO BUILDINGS, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN SAID EASEMENT AREA.

2. ANY CPS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS EQUIPMENT, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATION.

3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED BELOW.

4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY REAR LOT UNDERGROUND ELECTRIC AND GAS FACILITIES.

5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC, GAS, TELEPHONE AND CABLE T.V. EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC, GAS, TELEPHONE AND CABLE T.V. FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) FOOT WIDE EASEMENTS.

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

LICENSED PROFESSIONAL ENGINEER

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

REGISTERED PROFESSIONAL LAND SURVEYOR

STATE OF TEXAS
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: ANTONIO BRUNET
AGORA ASSETS LC
8 DOMINION DRIVE, SUITE 107
SAN ANTONIO, TEXAS 78257
(210) 678-3000

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED ANTONIO BRUNET, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, A.D. 20____.

NOTARY PUBLIC, BEXAR COUNTY, TEXAS

THIS PLAT OF _____ LUCCHESI VILLAGE (PUD) _____ HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS. IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS; AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS _____ DAY OF _____, A.D. 20____.

BY: _____ CHAIRMAN

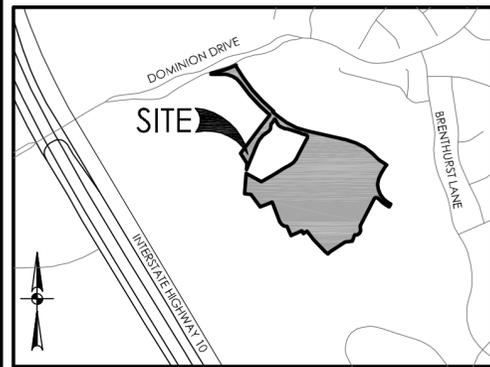
BY: _____ SECRETARY

STATE OF TEXAS
COUNTY OF BEXAR

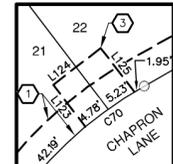
I, _____, COUNTY CLERK OF BEXAR COUNTY, DO HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN MY OFFICE, ON THE _____ DAY OF _____, A.D. 20____ AT _____ M. AND DULY RECORDED THE _____ DAY OF _____, A.D. 20____ AT _____ M. IN THE DEED AND PLAT RECORDS OF BEXAR COUNTY, IN BOOK/ VOLUME _____ ON PAGE _____ IN TESTIMONY WHEREOF, WITNESS MY HAND AND OFFICIAL SEAL OF OFFICE, THIS _____ DAY OF _____, A.D. 20____.

COUNTY CLERK, BEXAR COUNTY, TEXAS

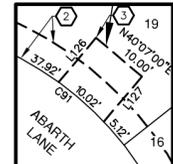
BY: _____, DEPUTY



LOCATION MAP
NOT-TO-SCALE



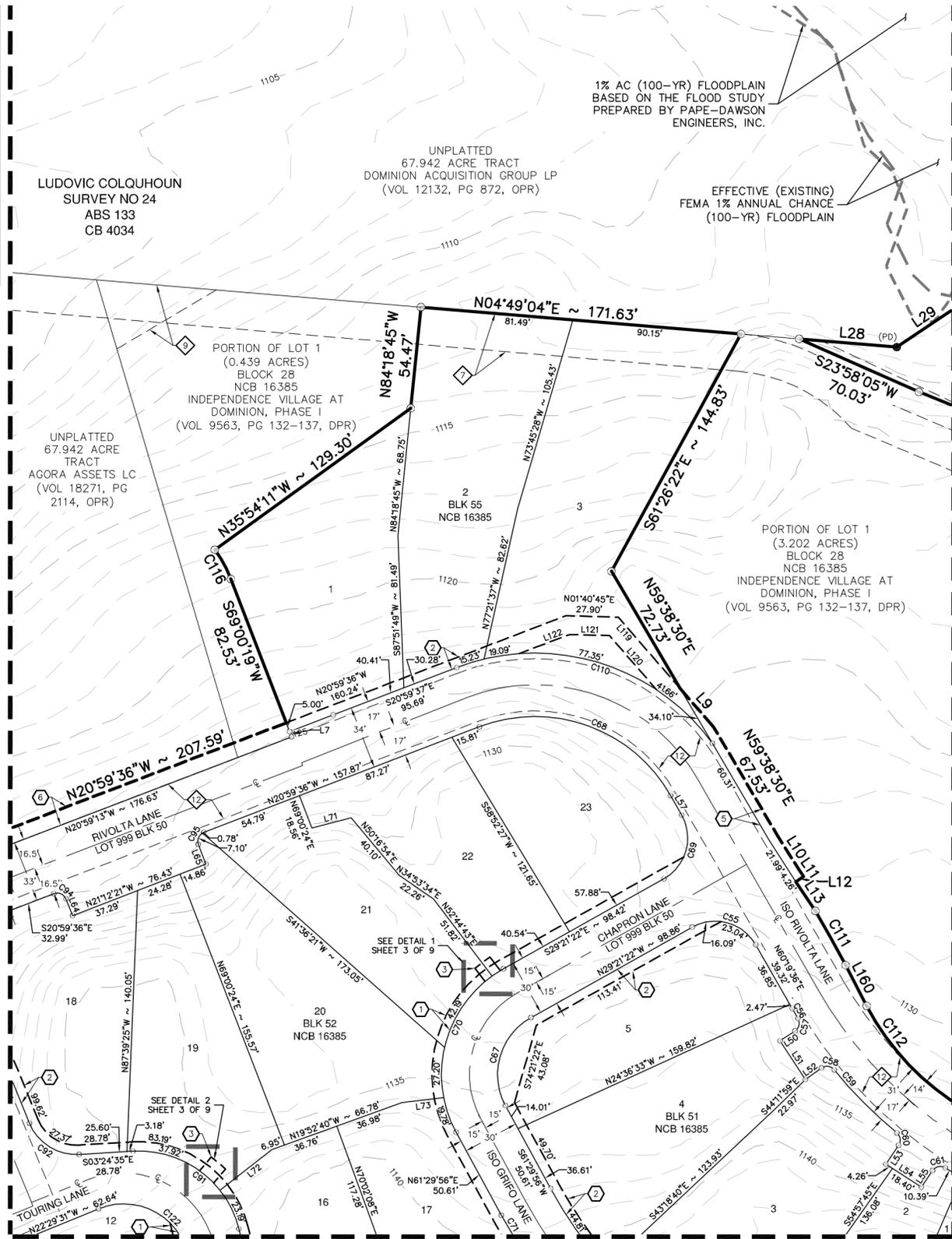
DETAIL 1
SCALE: 1"=20'



DETAIL 2
SCALE: 1"=20'

MATCHLINE "A" - SEE SHEET 2 OF 9

MATCHLINE "B" - SEE SHEET 4 OF 9



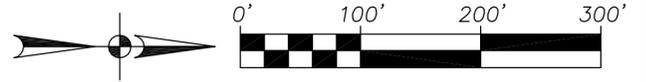
MATCHLINE "E" - SEE SHEET 7 OF 9

PLAT NUMBER 160543

REPLAT & SUBDIVISION PLAT
ESTABLISHING
LUCCHESI VILLAGE (PUD)

BEING A 17.216 ACRE TRACT OF LAND, ESTABLISHING LOTS 2-29, 900-901, & 999, A PORTION OF LOT 1, BLOCK 28, OF INDEPENDENCE VILLAGE AT DOMINION, PHASE I, RECORDED IN VOLUME 9563, PAGES 132-137 OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS, AND A PORTION OF A 4.1426 ACRE TRACT AND A PORTION OF A 67.9416 ACRE TRACT, BOTH RECORDED IN VOLUME 18271, PAGE 2114 OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, IN NEW CITY BLOCK 16385, IN THE CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS.

SCALE: 1"=100'



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DATE OF PREPARATION: September 12, 2017

NOTE:
SEE SHEET 9 OF 9 FOR
CURVE AND LINE TABLE.

IMPACT FEE NOTE:
WATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET.

WASTEWATER EDU NOTE:
THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDUs) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE AT THE SAN ANTONIO WATER SYSTEM UNDER THE PLAT NUMBER ISSUED BY THE DEVELOPMENT SERVICES DEPARTMENT.

C.P.S. NOTES:
1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC AND GAS SYSTEM (CITY PUBLIC SERVICE BOARD) IS HEREBY DEDICATED THE EASEMENTS AND RIGHTS-OF-WAY FOR ELECTRIC AND GAS DISTRIBUTION AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "GAS EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," AND "TRANSFORMER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND SETTING POLES, HANDING OR BURNING WIRES, CABLES, CONDUITS, PIPES OR TRANSFORMERS, EACH WITH ITS NECESSARY APPURTENANCES, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LAND, THE RIGHT TO RELOCATE SAID FACILITIES WITHIN SAID EASEMENT AND RIGHT-OF-WAY AREAS, AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENHANCE OR MAY INTERFERE WITH THE EFFICIENCY OF SAID LINES OR APPURTENANCES THEREON. IT IS AGREED AND UNDERSTOOD THAT NO BUILDINGS, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN SAID EASEMENT AREA.
2. ANY CPS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS EQUIPMENT, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATION.
3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED BELOW.
4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY REAR LOT UNDERGROUND ELECTRIC AND GAS FACILITIES.
5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC, GAS, TELEPHONE AND CABLE T.V. EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC, GAS, TELEPHONE AND CABLE T.V. FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) FOOT WIDE EASEMENTS.

STATE OF TEXAS
COUNTY OF BEXAR
I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

LICENSED PROFESSIONAL ENGINEER

STATE OF TEXAS
COUNTY OF BEXAR
I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

REGISTERED PROFESSIONAL LAND SURVEYOR

STATE OF TEXAS
COUNTY OF BEXAR
THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: ANTONIO BRUNET
AGORA ASSETS LC
8 DOMINION DRIVE, SUITE 107
SAN ANTONIO, TEXAS 78257
(210) 698-3000

STATE OF TEXAS
COUNTY OF BEXAR
BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED ANTONIO BRUNET, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, A.D. 20____.

NOTARY PUBLIC, BEXAR COUNTY, TEXAS

THIS PLAT OF _____ LUCCHESI VILLAGE (PUD) _____ HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS. IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS; AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS _____ DAY OF _____, A.D. 20____.

BY: _____ CHAIRMAN

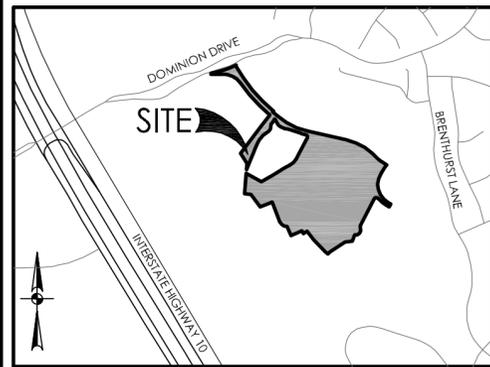
BY: _____ SECRETARY

STATE OF TEXAS
COUNTY OF BEXAR

I, _____, COUNTY CLERK OF BEXAR COUNTY, DO HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN MY OFFICE, ON THE _____ DAY OF _____, A.D. 20____ AT _____ M. AND DULY RECORDED THE _____ DAY OF _____, A.D. 20____ AT _____ M. IN THE DEED AND PLAT RECORDS OF BEXAR COUNTY, IN BOOK/ VOLUME _____ ON PAGE _____ IN TESTIMONY WHEREOF, WITNESS MY HAND AND OFFICIAL SEAL OF OFFICE, THIS _____ DAY OF _____, A.D. 20____.

COUNTY CLERK, BEXAR COUNTY, TEXAS

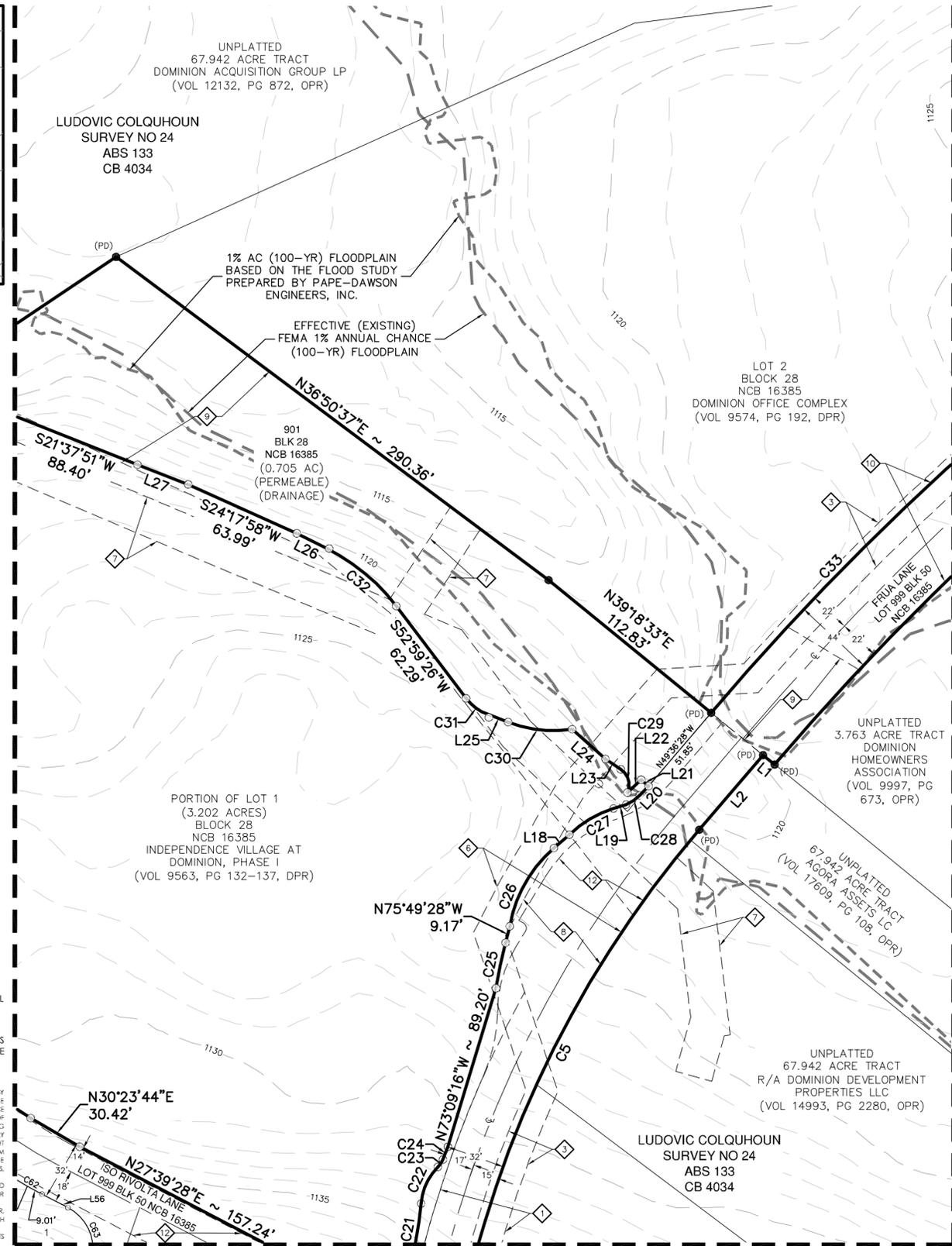
BY: _____ DEPUTY



LOCATION MAP
NOT-TO-SCALE

MATCHLINE "B" - SEE SHEET 3 OF 9

MATCHLINE "C" - SEE SHEET 5 OF 9

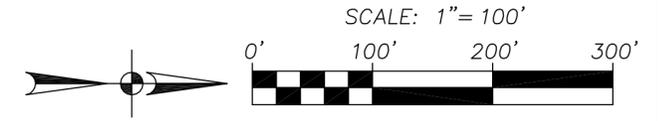


MATCHLINE "F" - SEE SHEET 8 OF 9

PLAT NUMBER 160543

REPLAT & SUBDIVISION PLAT
ESTABLISHING
LUCCHESI VILLAGE (PUD)

BEING A 17.216 ACRE TRACT OF LAND, ESTABLISHING LOTS 2-29, 900-901, & 999, A PORTION OF LOT 1, BLOCK 28, OF INDEPENDENCE VILLAGE AT DOMINION, PHASE I, RECORDED IN VOLUME 9563, PAGES 132-137 OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS, AND A PORTION OF A 4.1426 ACRE TRACT AND A PORTION OF A 67.9416 ACRE TRACT, BOTH RECORDED IN VOLUME 18271, PAGE 2114 OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, IN NEW CITY BLOCK 16385, IN THE CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS.



PAPE-DAWSON ENGINEERS

SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBP E FIRM REGISTRATION #470 | TBP E FIRM REGISTRATION #10028800

DATE OF PREPARATION: September 12, 2017

NOTE:
SEE SHEET 9 OF 9 FOR
CURVE AND LINE TABLE.

IMPACT FEE NOTE:
WATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET.

WASTEWATER EDU NOTE:
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C.P.S. NOTES:
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5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC, GAS TELEPHONE AND CABLE T.V. EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC, GAS, TELEPHONE AND CABLE T.V. FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) FOOT WIDE EASEMENTS.

STATE OF TEXAS
COUNTY OF BEXAR
I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

LICENSED PROFESSIONAL ENGINEER

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

REGISTERED PROFESSIONAL LAND SURVEYOR

STATE OF TEXAS
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: ANTONIO BRUNET
AGORA ASSETS LC
8 DOMINION DRIVE, SUITE 107
SAN ANTONIO, TEXAS 78257
(210) 678-3000

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED ANTONIO BRUNET, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, A.D. 20____.

NOTARY PUBLIC, BEXAR COUNTY, TEXAS

THIS PLAT OF _____ LUCCHESI VILLAGE (PUD) _____ HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS. IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS; AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS _____ DAY OF _____, A.D. 20____.

BY: _____ CHAIRMAN

BY: _____ SECRETARY

STATE OF TEXAS
COUNTY OF BEXAR

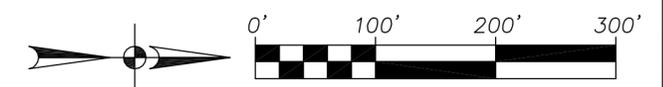
I, _____, COUNTY CLERK OF BEXAR COUNTY, DO HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN MY OFFICE, ON THE _____ DAY OF _____, A.D. 20____ AT _____ M. AND DULY RECORDED THE _____ DAY OF _____, A.D. 20____ AT _____ M. IN THE DEED AND PLAT RECORDS OF BEXAR COUNTY, IN BOOK/ VOLUME _____ ON PAGE _____ IN TESTIMONY WHEREOF, WITNESS MY HAND AND OFFICIAL SEAL OF OFFICE, THIS _____ DAY OF _____, A.D. 20____.

COUNTY CLERK, BEXAR COUNTY, TEXAS

REPLAT & SUBDIVISION PLAT
ESTABLISHING
LUCCHESI VILLAGE (PUD)

BEING A 17.216 ACRE TRACT OF LAND, ESTABLISHING LOTS 2-29, 900-901, & 999, A PORTION OF LOT 1, BLOCK 28, OF INDEPENDENCE VILLAGE AT DOMINION, PHASE I, RECORDED IN VOLUME 9563, PAGES 132-137 OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS, AND A PORTION OF A 4.1426 ACRE TRACT AND A PORTION OF A 67.9416 ACRE TRACT, BOTH RECORDED IN VOLUME 18271, PAGE 2114 OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, IN NEW CITY BLOCK 16385, IN THE CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS.

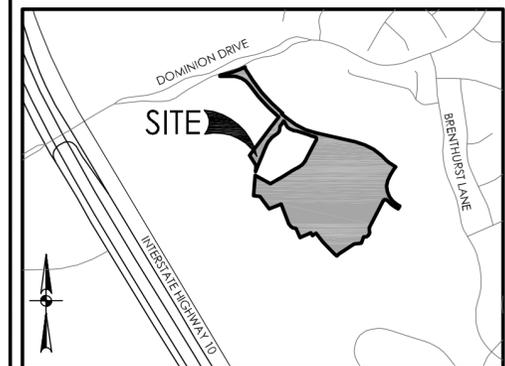
SCALE: 1" = 100'



SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBPB FIRM REGISTRATION #470 | TBPBS FIRM REGISTRATION #10028800

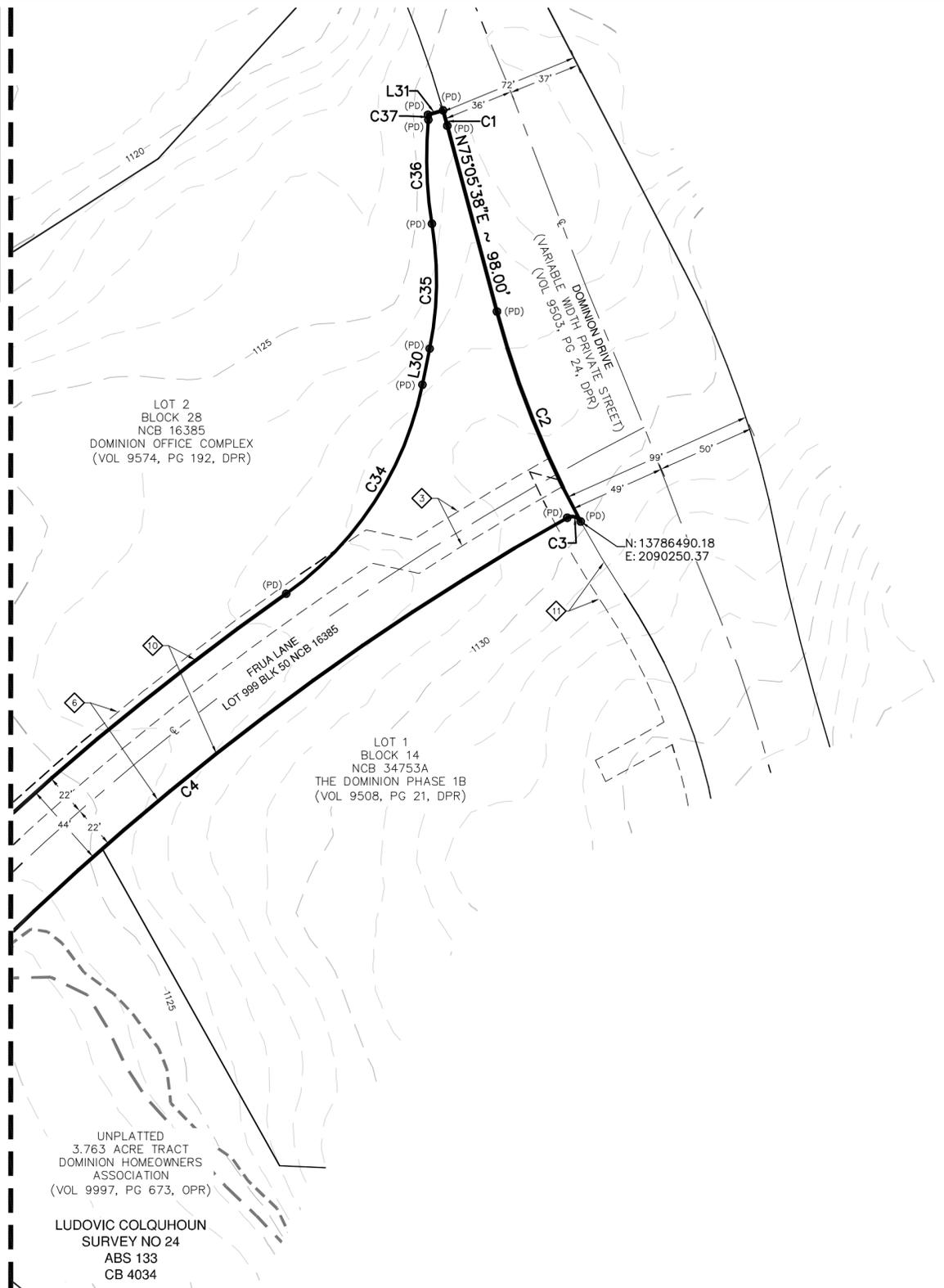
DATE OF PREPARATION: September 12, 2017

NOTE:
SEE SHEET 9 OF 9 FOR
CURVE AND LINE TABLE.



LOCATION MAP
NOT-TO-SCALE

MATCHLINE "C" - SEE SHEET 4 OF 9



IMPACT FEE NOTE:
WATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET.

WASTEWATER EDU NOTE:
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STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

LICENSED PROFESSIONAL ENGINEER

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

REGISTERED PROFESSIONAL LAND SURVEYOR

UNPLATTED
3.763 ACRE TRACT
DOMINION HOMEOWNERS
ASSOCIATION
(VOL 9997, PG 673, OPR)

LUDOVIC COLQUHOUN
SURVEY NO 24
ABS 133
CB 4034

LOT 2
BLOCK 28
NCB 16385
DOMINION OFFICE COMPLEX
(VOL 9574, PG 192, DPR)

LOT 1
BLOCK 14
NCB 34753A
THE DOMINION PHASE 1B
(VOL 9508, PG 21, DPR)

FRULA LANE
LOT 999 BLK 50 NCB 16385

STATE OF TEXAS
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: ANTONIO BRUNET
AGORA ASSETS LC
8 DOMINION DRIVE, SUITE 107
SAN ANTONIO, TEXAS 78257
(210) 678-3000

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED ANTONIO BRUNET, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, A.D. 20____.

NOTARY PUBLIC, BEXAR COUNTY, TEXAS

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DATED THIS _____ DAY OF _____, A.D. 20____.

BY: _____
CHAIRMAN

BY: _____
SECRETARY

STATE OF TEXAS
COUNTY OF BEXAR

I, _____, COUNTY CLERK OF BEXAR COUNTY, DO HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN MY OFFICE, ON THE _____ DAY OF _____, A.D. 20____ AT _____ M. AND DULY RECORDED THE _____ DAY OF _____, A.D. 20____ AT _____ M. IN THE DEED AND PLAT RECORDS OF BEXAR COUNTY, IN BOOK/ VOLUME _____ ON PAGE _____ IN TESTIMONY WHEREOF, WITNESS MY HAND AND OFFICIAL SEAL OF OFFICE, THIS _____ DAY OF _____, A.D. 20____.

COUNTY CLERK, BEXAR COUNTY, TEXAS

BY: _____, DEPUTY

MATCHLINE "D" - SEE SHEET 2 OF 9

PLAT NUMBER 160543

REPLAT & SUBDIVISION PLAT
ESTABLISHING
LUCCHESI VILLAGE (PUD)

BEING A 17.216 ACRE TRACT OF LAND, ESTABLISHING LOTS 2-29, 900-901, & 999, A PORTION OF LOT 1, BLOCK 28, OF INDEPENDENCE VILLAGE AT DOMINION, PHASE I, RECORDED IN VOLUME 9563, PAGES 132-137 OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS, AND A PORTION OF A 4.1426 ACRE TRACT AND A PORTION OF A 67.9416 ACRE TRACT, BOTH RECORDED IN VOLUME 18271, PAGE 2114 OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, IN NEW CITY BLOCK 16385, IN THE CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS.

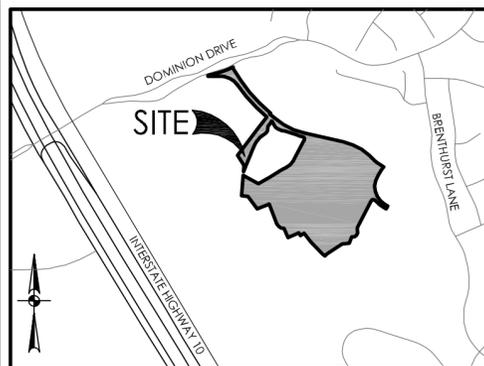
SCALE: 1" = 100'



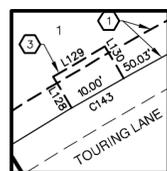
SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBE FIRM REGISTRATION #470 | TPLS FIRM REGISTRATION #10028800

DATE OF PREPARATION: September 12, 2017

NOTE:
SEE SHEET 9 OF 9 FOR
CURVE AND LINE TABLE.



LOCATION MAP
NOT-TO-SCALE



DETAIL 3
SCALE: 1" = 20'

UNPLATTED
67.942 ACRE TRACT
R/A DOMINION DEVELOPMENT PROPERTIES LLC
(VOL 15163, PG 2072, OPR)

LUDOVIC COLQUHOUN
SURVEY NO 24
ABS 133
CB 4034

UNPLATTED
43.146 ACRE TRACT
R/A DOMINION DEVELOPMENT PROPERTIES LLC
(VOL 15163, PG 2072, OPR)

BLK 53
NCB 16385

ZAGATO LANE
LOT 999 BLK 50

IMPACT FEE NOTE:

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WASTEWATER EDU NOTE:

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- ANY CPS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS EQUIPMENT, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATION.
- THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED BELOW.
- CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY REAR LOT UNDERGROUND ELECTRIC AND GAS FACILITIES.
- ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC, GAS TELEPHONE AND CABLE T.V. EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC, GAS, TELEPHONE AND CABLE T.V. FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) FOOT WIDE EASEMENTS.

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

LICENSED PROFESSIONAL ENGINEER

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

REGISTERED PROFESSIONAL LAND SURVEYOR

MATCHLINE "G" - SEE SHEET 7 OF 9

STATE OF TEXAS
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: ANTONIO BRUNET
AGORA ASSETS LC
8 DOMINION DRIVE, SUITE 107
SAN ANTONIO, TEXAS 78257
(210) 678-3000

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED ANTONIO BRUNET, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, A.D. 20____.

NOTARY PUBLIC, BEXAR COUNTY, TEXAS

THIS PLAT OF _____ LUCCHESI VILLAGE (PUD) _____ HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS. IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS; AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS _____ DAY OF _____, A.D. 20____.

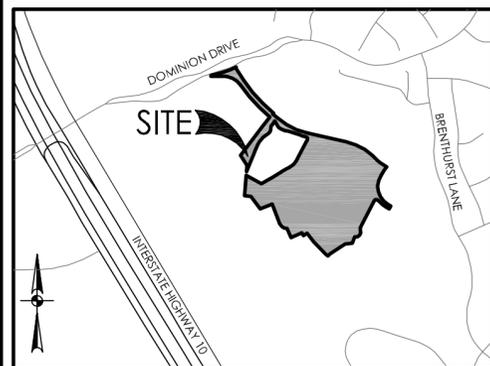
BY: _____ CHAIRMAN

BY: _____ SECRETARY

STATE OF TEXAS
COUNTY OF BEXAR

I, _____, COUNTY CLERK OF BEXAR COUNTY, DO HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN MY OFFICE, ON THE _____ DAY OF _____, A.D. 20____ AT _____ M. AND DULY RECORDED THE _____ DAY OF _____, A.D. 20____ AT _____ M. IN THE DEED AND PLAT RECORDS OF BEXAR COUNTY, IN BOOK/ VOLUME _____ ON PAGE _____ IN TESTIMONY WHEREOF, WITNESS MY HAND AND OFFICIAL SEAL OF OFFICE, THIS _____ DAY OF _____, A.D. 20____.

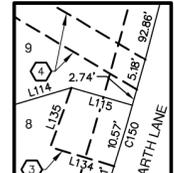
COUNTY CLERK, BEXAR COUNTY, TEXAS



LOCATION MAP
NOT-TO-SCALE



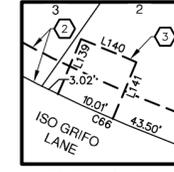
DETAIL 4
SCALE: 1" = 20'



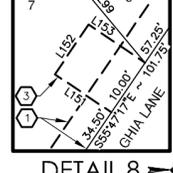
DETAIL 5
SCALE: 1" = 20'



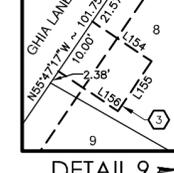
DETAIL 6
SCALE: 1" = 20'



DETAIL 7
SCALE: 1" = 20'



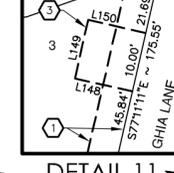
DETAIL 8
SCALE: 1" = 20'



DETAIL 9
SCALE: 1" = 20'



DETAIL 10
SCALE: 1" = 20'



DETAIL 11
SCALE: 1" = 20'

C.P.S. NOTES:
 1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC AND GAS SYSTEM (CITY PUBLIC SERVICE BOARD) IS HEREBY DEDICATED THE EASEMENTS AND RIGHT-OF-WAY FOR ELECTRIC AND GAS DISTRIBUTION AND SERVICE FACILITIES IN THE AREAS DISKIMATED ON THIS PLAT AS "ELECTRIC EASEMENT," "GAS EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," AND "TRANSFORMER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND SERVICING POLES, HANDING OR BURNING WIRES, CABLES, CONDUITS, PIPES OR TRANSFORMERS, EACH WITH ITS NECESSARY APPURTENANCES, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANITOR'S ADJACENT LAND, THE RIGHT TO RELOCATE SAID FACILITIES WITHIN SAID EASEMENT AND RIGHT-OF-WAY AREAS, AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENHANCE OR MAY INTERFERE WITH THE EFFICIENCY OF SAID LINES OR APPURTENANCES THEREOF. IT IS AGREED AND UNDERSTOOD THAT NO BUILDINGS, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN SAID EASEMENT AREA.
 2. ANY C.P.S. MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF C.P.S. EQUIPMENT, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATION.
 3. THIS PLAT DOES NOT AFFECT, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED BELOW.
 4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY REAR LOT UNDERGROUND ELECTRIC AND GAS FACILITIES.
 5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC, GAS, TELEPHONE AND CABLE T.V. EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC, GAS, TELEPHONE AND CABLE T.V. FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) FOOT WIDE EASEMENTS.

STATE OF TEXAS
 COUNTY OF BEXAR

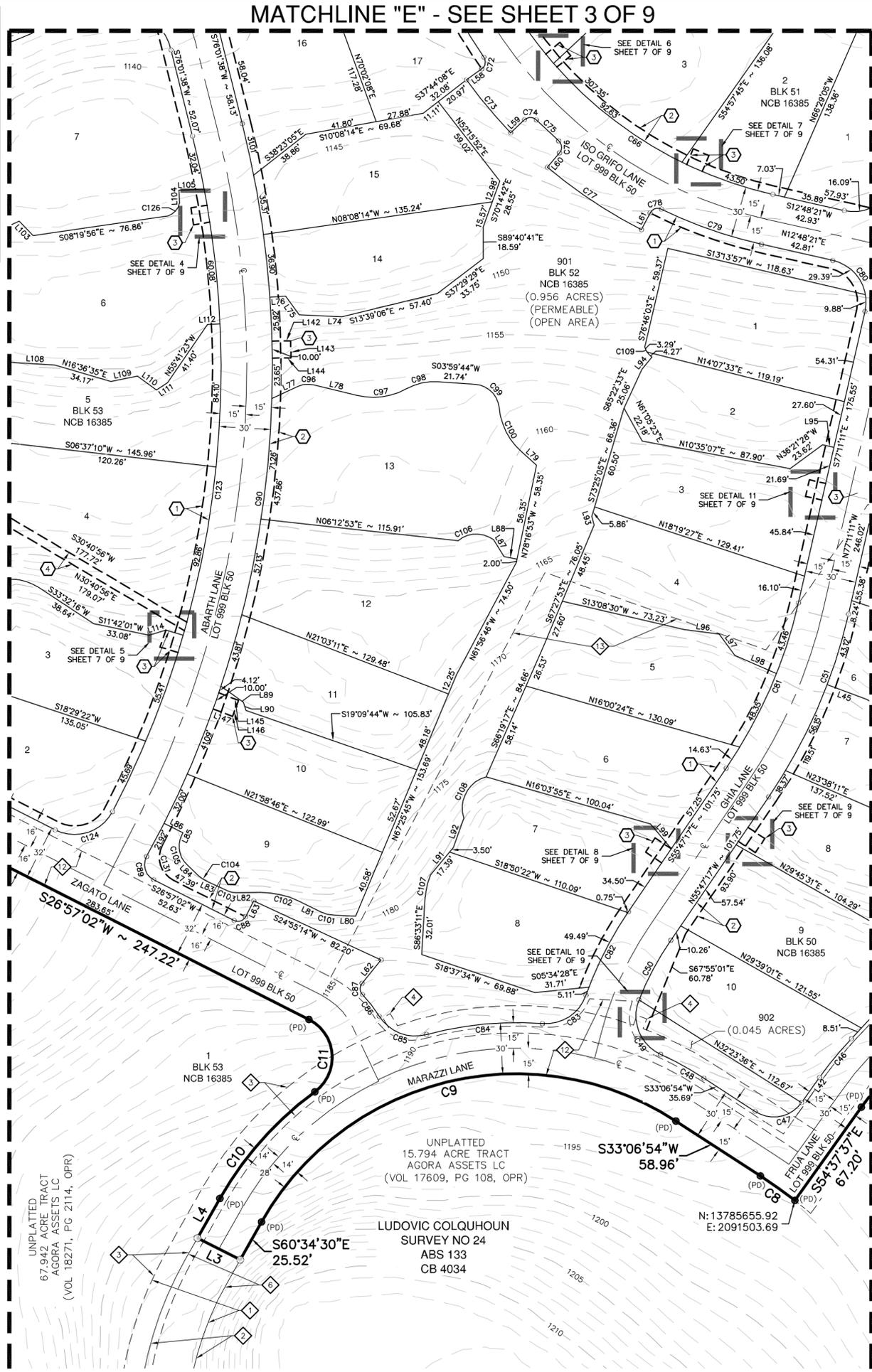
I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT, TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

 LICENSED PROFESSIONAL ENGINEER

STATE OF TEXAS
 COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

 REGISTERED PROFESSIONAL LAND SURVEYOR



MATCHLINE "G" - SEE SHEET 6 OF 9

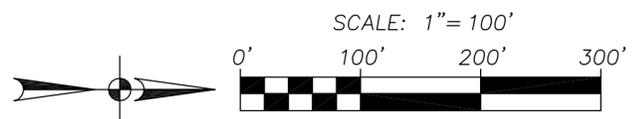
MATCHLINE "H" - SEE SHEET 8 OF 9

MATCHLINE "E" - SEE SHEET 3 OF 9

PLAT NUMBER 160543

REPLAT & SUBDIVISION PLAT
 ESTABLISHING
LUCCHESI VILLAGE (PUD)

BEING A 17.216 ACRE TRACT OF LAND, ESTABLISHING LOTS 2-29, 900-901, & 999, A PORTION OF LOT 1, BLOCK 28, OF INDEPENDENCE VILLAGE AT DOMINION, PHASE I, RECORDED IN VOLUME 9563, PAGES 132-137 OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS, AND A PORTION OF A 4.126 ACRE TRACT AND A PORTION OF A 67.9416 ACRE TRACT, BOTH RECORDED IN VOLUME 18271, PAGE 2114 OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, IN NEW CITY BLOCK 16385, IN THE CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS.



PAPE-DAWSON ENGINEERS

SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
 2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
 TBPB FIRM REGISTRATION #470 | TBPBS FIRM REGISTRATION #10028800

DATE OF PREPARATION: September 12, 2017

NOTE:
 SEE SHEET 9 OF 9 FOR
 CURVE AND LINE TABLE.

IMPACT FEE NOTE:
 WATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET.

WASTEWATER EDU NOTE:
 THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDUS) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE AT THE SAN ANTONIO WATER SYSTEM UNDER THE PLAT NUMBER ISSUED BY THE DEVELOPMENT SERVICES DEPARTMENT.

STATE OF TEXAS
 COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: ANTONIO BRUNET
 AGORA ASSETS LC
 8 DOMINION DRIVE, SUITE 107
 SAN ANTONIO, TEXAS 78257
 (210) 676-3000

STATE OF TEXAS
 COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED ANTONIO BRUNET, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, A.D. 20____.

 NOTARY PUBLIC, BEXAR COUNTY, TEXAS

THIS PLAT OF _____ LUCCHESI VILLAGE (PUD) _____ HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS. IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS; AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS _____ DAY OF _____, A.D. 20____.

BY: _____ CHAIRMAN

BY: _____ SECRETARY

STATE OF TEXAS
 COUNTY OF BEXAR

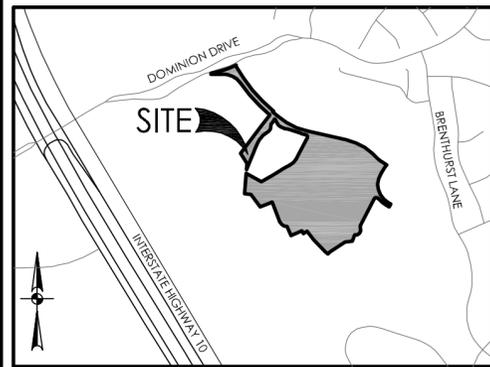
I, _____, COUNTY CLERK OF BEXAR COUNTY, DO HEREBY

CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN MY OFFICE, ON THE _____ DAY OF _____, A.D. 20____ AT _____ M., AND DULY RECORDED THE _____ DAY OF _____, A.D. 20____ AT _____ M. IN THE DEED AND PLAT RECORDS OF BEXAR COUNTY, IN BOOK/ VOLUME _____ ON PAGE _____ IN TESTIMONY WHEREOF, WITNESS MY HAND AND OFFICIAL SEAL OF OFFICE, THIS _____ DAY OF _____, A.D. 20____.

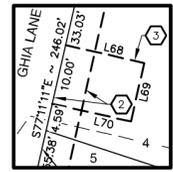
 COUNTY CLERK, BEXAR COUNTY, TEXAS

SHEET 7 OF 9 BY: _____ DEPUTY

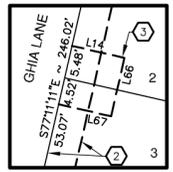
LUCCHESI VILLAGE (PUD) Civil Job No. 5845-99; Survey Job No. 9185-11 & 5845-99



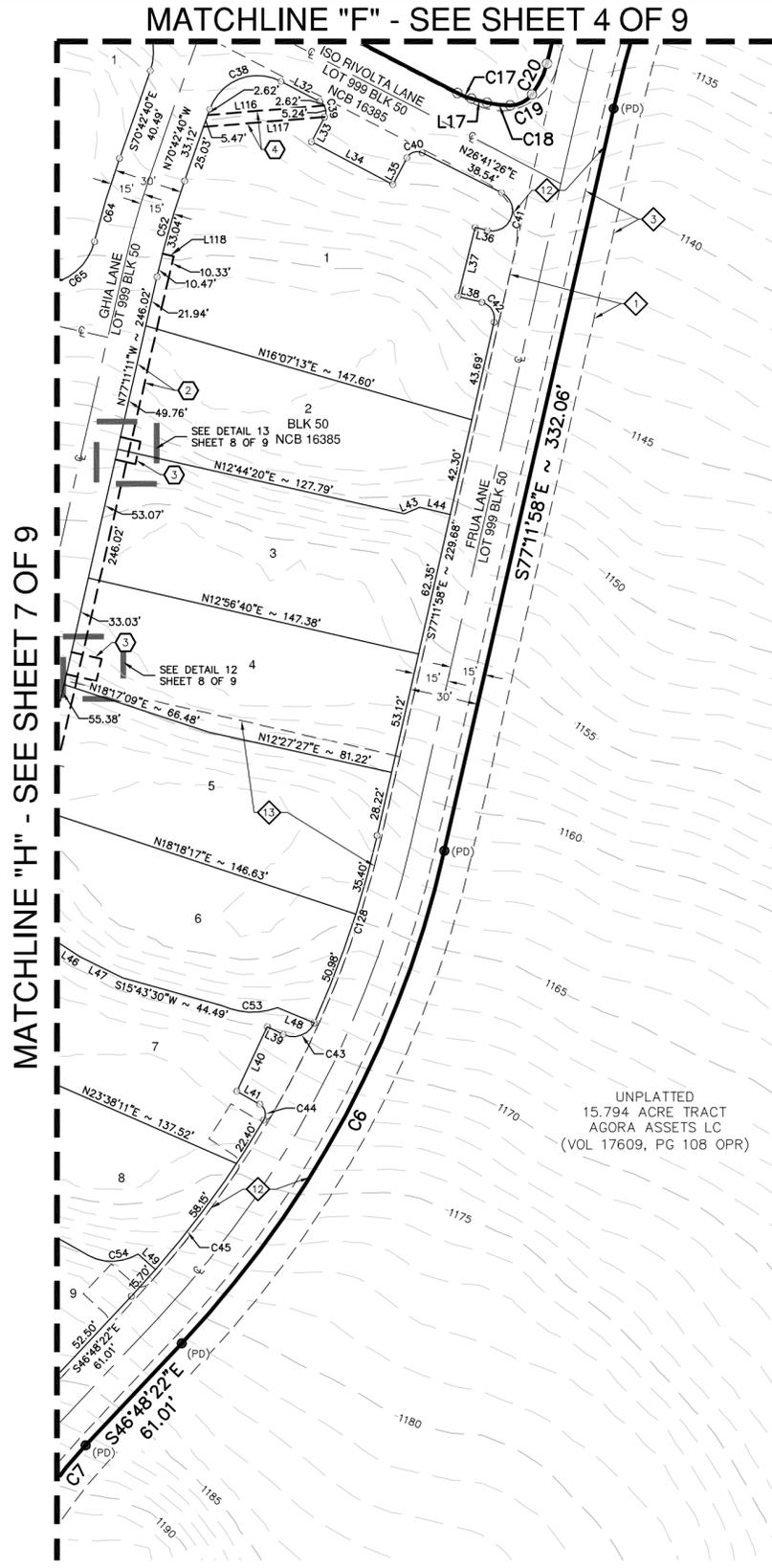
LOCATION MAP
NOT-TO-SCALE



DETAIL 12
SCALE: 1"=20'



DETAIL 13
SCALE: 1"=20'



MATCHLINE "H" - SEE SHEET 7 OF 9

MATCHLINE "F" - SEE SHEET 4 OF 9

UNPLATTED
15.794 ACRE TRACT
AGORA ASSETS LC
(VOL 17609, PG 108 OPR)

IMPACT FEE NOTE:
WATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET.

WASTEWATER EDU NOTE:
THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDUs) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE AT THE SAN ANTONIO WATER SYSTEM UNDER THE PLAT NUMBER ISSUED BY THE DEVELOPMENT SERVICES DEPARTMENT.

C.P.S. NOTES:
1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC AND GAS SYSTEM (CITY PUBLIC SERVICE BOARD) IS HEREBY DEDICATED THE EASEMENTS AND RIGHTS-OF-WAY FOR ELECTRIC AND GAS DISTRIBUTION AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "GAS EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," AND "TRANSFORMER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND SERVICING POLES, HANDING OR BURNING WIRES, CABLES, CONDUITS, PIPES OR TRANSFORMERS, EACH WITH ITS NECESSARY APPURTENANCES, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANITOR'S ADJACENT LAND, THE RIGHT TO RELOCATE SAID FACILITIES WITHIN SAID EASEMENT AND RIGHT-OF-WAY AREAS, AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF SAID LINES OR APPURTENANCES THEREON. IT IS AGREED AND UNDERSTOOD THAT NO BUILDINGS, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN SAID EASEMENT AREA.
2. ANY CPS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS EQUIPMENT, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATION.
3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED BELOW.
4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY REAR LOT UNDERGROUND ELECTRIC AND GAS FACILITIES.
5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC, GAS, TELEPHONE AND CABLE T.V. EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC, GAS, TELEPHONE AND CABLE T.V. FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) FOOT WIDE EASEMENTS.

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

LICENSED PROFESSIONAL ENGINEER

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

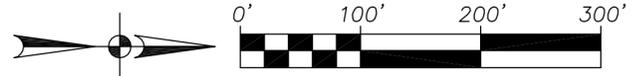
REGISTERED PROFESSIONAL LAND SURVEYOR

PLAT NUMBER 160543

REPLAT & SUBDIVISION PLAT
ESTABLISHING
LUCCHESI VILLAGE (PUD)

BEING A 17.216 ACRE TRACT OF LAND, ESTABLISHING LOTS 2-29, 900-901, & 999, A PORTION OF LOT 1, BLOCK 28, OF INDEPENDENCE VILLAGE AT DOMINION, PHASE I, RECORDED IN VOLUME 9563, PAGES 132-137 OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS, AND A PORTION OF A 4.1426 ACRE TRACT AND A PORTION OF A 67.9416 ACRE TRACT, BOTH RECORDED IN VOLUME 18271, PAGE 2114 OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, IN NEW CITY BLOCK 16385, IN THE CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS.

SCALE: 1"=100'



PAPE-DAWSON ENGINEERS

SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBPB FIRM REGISTRATION #470 | TBPBS FIRM REGISTRATION #10028800

DATE OF PREPARATION: September 12, 2017

NOTE:
SEE SHEET 9 OF 9 FOR
CURVE AND LINE TABLE.

STATE OF TEXAS
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: ANTONIO BRUNET
AGORA ASSETS LC
8 DOMINION DRIVE, SUITE 107
SAN ANTONIO, TEXAS 78257
(210) 698-3000

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED ANTONIO BRUNET, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, A.D. 20____.

NOTARY PUBLIC, BEXAR COUNTY, TEXAS

THIS PLAT OF _____ LUCCHESI VILLAGE (PUD) _____ HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS. IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS; AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS _____ DAY OF _____, A.D. 20____.

BY: _____ CHAIRMAN

BY: _____ SECRETARY

STATE OF TEXAS
COUNTY OF BEXAR

I, _____, COUNTY CLERK OF BEXAR COUNTY, DO HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN MY OFFICE, ON THE _____ DAY OF _____, A.D. 20____ AT _____ M. AND DULY RECORDED THE _____ DAY OF _____, A.D. 20____ AT _____ M. IN THE DEED AND PLAT RECORDS OF BEXAR COUNTY, IN BOOK/ VOLUME _____ ON PAGE _____ IN TESTIMONY WHEREOF, WITNESS MY HAND AND OFFICIAL SEAL OF OFFICE, THIS _____ DAY OF _____, A.D. 20____.

COUNTY CLERK, BEXAR COUNTY, TEXAS

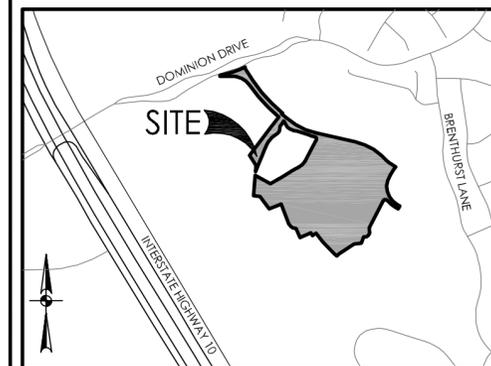
PLAT NUMBER 160543
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BEING A 17.216 ACRE TRACT OF LAND, ESTABLISHING LOTS 2-29, 900-901, & 999, A PORTION OF LOT 1, BLOCK 28, OF INDEPENDENCE VILLAGE AT DOMINION, PHASE I, RECORDED IN VOLUME 9563, PAGES 132-137 OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS, AND A PORTION OF A 4.1426 ACRE TRACT AND A PORTION OF A 67.9416 ACRE TRACT, BOTH RECORDED IN VOLUME 18271, PAGE 2114 OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS, IN NEW CITY BLOCK 16385, IN THE CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS.



PAPE-DAWSON ENGINEERS
 SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
 2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
 TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10028800

DATE OF PREPARATION: September 12, 2017



LOCATION MAP
 NOT-TO-SCALE

C.P.S. NOTES:
 1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC AND GAS SYSTEM (CITY PUBLIC SERVICE BOARD) IS HEREBY DEDICATED THE EASEMENTS AND RIGHTS-OF-WAY FOR ELECTRIC AND GAS DISTRIBUTION AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "GAS EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," AND "TRANSFORMER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING POLES, HANGERS OR BURNING WIRES, CABLES, CONDUITS, PIPES OR TRANSFORMERS, EACH WITH ITS NECESSARY APPURTENANCES, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTEE'S ADJACENT LAND, THE RIGHT TO RELOCATE SAID FACILITIES WITHIN SAID EASEMENT AND RIGHT-OF-WAY AREAS, AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF SAID LINES OR APPURTENANCES THEREON, IT IS AGREED AND UNDERSTOOD THAT NO BUILDINGS, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN SAID EASEMENT AREA.
 2. ANY CIP MONUMENTARY LOSS EXEMPTIONS OR MODIFICATIONS OF CIP EQUIPMENT, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATION.
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 4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY FEASIBLE (OT) UNDERGROUND ELECTRIC AND GAS FACILITIES.
 5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC, GAS TELEPHONE AND CABLE T.V. EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC, GAS, TELEPHONE AND CABLE T.V. FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) FOOT WIDE EASEMENTS.

CURVE TABLE					
CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C1	517.17'	000°53'56"	S74°38'39"W	8.11'	8.11'
C2	488.02'	013°34'31"	N68°18'22"E	115.36'	115.63'
C3	5.00'	091°05'35"	S15°58'19"W	7.14'	7.95'
C4	1400.00'	020°07'53"	S39°38'25"E	489.38'	491.90'
C5	586.00'	027°39'35"	S63°22'11"E	280.15'	282.89'
C6	464.00'	030°23'37"	N62°00'10"W	243.26'	246.14'
C7	186.00'	007°49'16"	S50°43'00"E	25.37'	25.39'
C8	286.00'	004°57'55"	S35°35'51"W	24.78'	24.78'
C9	171.00'	093°41'23"	S13°43'48"E	249.49'	279.62'
C10	198.95'	024°17'29"	N48°26'05"W	83.72'	84.35'
C17	30.00'	012°35'26"	N21°21'45"E	6.58'	6.59'
C18	40.00'	014°36'19"	S06°35'54"W	10.17'	10.20'
C19	12.00'	052°31'16"	N26°57'53"W	10.62'	11.00'
C20	40.00'	021°29'09"	N63°58'06"W	14.91'	15.00'
C21	160.00'	010°44'35"	N80°04'58"W	29.96'	30.00'
C22	32.00'	039°33'51"	N65°40'20"W	21.66'	22.10'
C23	15.00'	018°41'17"	N55°14'03"W	4.87'	4.89'
C24	49.00'	008°34'35"	N68°51'59"W	7.33'	7.33'
C25	326.00'	004°24'56"	S78°01'56"E	25.12'	25.12'
C26	72.00'	039°11'36"	N60°39'26"W	48.30'	49.25'
C27	60.00'	026°32'04"	N30°41'20"W	27.54'	27.79'
C28	21.00'	024°30'42"	N33°49'51"W	8.92'	8.98'
C29	10.00'	080°37'58"	S74°27'29"W	12.94'	14.07'
C30	68.00'	029°28'39"	S06°23'27"W	34.60'	34.98'
C31	25.00'	034°26'31"	S35°46'10"W	14.80'	15.03'
C32	108.00'	026°02'43"	S39°46'26"W	48.67'	49.09'
C33	1444.00'	014°27'40"	N42°30'20"W	363.49'	364.46'
C34	172.00'	043°22'58"	N56°57'59"W	127.14'	130.23'
C35	178.00'	020°37'29"	N88°58'12"W	63.73'	64.07'
C36	208.00'	014°39'33"	S88°02'50"W	53.07'	53.22'
C37	7.00'	021°10'52"	S84°47'11"W	2.57'	2.59'
C38	22.00'	098°21'57"	N21°31'41"W	33.30'	37.77'
C39	5.00'	090°03'40"	N72°41'07"E	7.07'	7.86'
C40	5.00'	088°51'08"	N17°44'08"W	7.00'	7.75'
C41	8.85'	167°15'26"	S69°40'51"E	17.59'	25.83'
C42	7.25'	088°51'10"	N58°22'27"E	10.15'	11.24'
C43	10.00'	091°21'05"	S20°07'14"E	14.31'	15.94'
C44	5.00'	090°40'04"	N75°09'17"E	7.11'	7.91'
C45	434.00'	012°42'20"	S53°09'31"E	96.04'	96.24'
C46	216.00'	007°49'16"	S50°43'00"E	29.46'	29.48'
C47	20.00'	087°44'31"	N10°45'21"W	27.72'	30.63'
C48	201.00'	008°15'33"	S28°59'07"W	28.95'	28.97'
C49	25.00'	087°02'35"	S68°22'38"W	34.43'	37.98'
C50	185.00'	012°18'48"	N61°56'41"W	39.68'	39.76'
C51	315.00'	021°23'54"	N66°29'14"W	116.96'	117.64'
C52	385.00'	006°28'31"	N73°56'55"W	43.49'	43.51'
C53	31.60'	045°25'59"	N02°26'45"E	24.41'	25.06'
C54	21.99'	058°35'35"	N01°51'09"W	21.52'	22.49'
C55	25.00'	089°40'58"	N15°29'07"E	35.26'	39.13'
C56	243.00'	001°27'06"	N59°36'03"E	6.16'	6.16'

STATE OF TEXAS
 COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

 LICENSED PROFESSIONAL ENGINEER

STATE OF TEXAS
 COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY: PAPE-DAWSON ENGINEERS, INC.

 REGISTERED PROFESSIONAL LAND SURVEYOR

CURVE TABLE					
CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C57	5.00'	088°07'23"	S77°03'48"E	6.95'	7.69'
C58	5.00'	086°32'20"	N07°39'56"E	6.85'	7.55'
C59	243.00'	011°14'41"	N45°18'45"E	47.61'	47.69'
C60	5.00'	084°12'44"	N81°47'46"E	6.71'	7.35'
C61	5.00'	088°36'57"	N12°09'21"W	6.99'	7.73'
C62	243.00'	004°34'22"	N29°51'56"E	19.39'	19.39'
C63	25.00'	081°42'35"	N68°26'03"E	32.71'	35.65'
C64	415.00'	005°14'03"	S73°19'41"E	37.90'	37.91'
C65	25.00'	088°45'04"	S31°34'10"E	34.97'	38.72'
C66	240.00'	048°41'35"	S37°09'09"W	197.88'	203.96'
C67	35.00'	089°08'42"	N73°55'43"W	49.13'	54.46'
C68	83.00'	081°38'14"	N19°49'31"E	108.51'	118.26'
C69	25.00'	090°18'56"	S74°30'50"E	35.45'	39.41'
C70	65.00'	089°08'42"	S73°55'43"E	91.24'	101.13'
C71	270.00'	006°07'11"	N58°26'21"E	28.83'	28.84'
C72	5.00'	088°57'30"	S80°08'30"E	7.01'	7.76'
C73	286.00'	008°06'30"	N50°16'59"E	40.44'	40.47'
C74	5.00'	088°57'30"	N00°42'29"E	7.01'	7.76'
C75	270.00'	003°49'17"	N43°16'36"E	18.00'	18.01'
C76	5.00'	088°57'30"	N85°50'42"E	7.01'	7.76'
C77	286.00'	013°17'20"	N33°40'47"E	66.18'	66.33'
C78	5.00'	088°57'30"	N18°29'08"W	7.01'	7.76'
C79	270.00'	013°11'15"	N19°23'59"E	62.01'	62.14'
C80	25.00'	090°00'28"	N57°48'35"E	35.36'	39.27'
C81	285.00'	021°23'54"	S66°29'14"E	105.82'	106.44'
C82	215.00'	014°45'06"	S63°09'50"E	55.20'	55.36'
C83	25.00'	074°53'41"	S33°05'33"E	30.40'	32.68'
C84	201.00'	019°29'27"	S05°23'26"E	68.05'	68.38'
C85	25.00'	073°13'31"	S21°28'35"W	29.82'	31.95'
C86	80.00'	011°22'12"	S52°24'15"W	15.85'	15.88'
C87	5.00'	082°10'29"	S87°48'23"W	6.57'	7.17'
C88	5.00'	090°00'00"	S18°02'58"E	7.07'	7.85'
C89	10.00'	091°50'33"	S72°52'19"W	14.37'	16.03'
C90	595.00'	042°45'58"	N82°35'24"W	433.87'	444.11'
C91	55.00'	079°26'13"	S36°18'31"W	70.29'	76.25'
C92	27.00'	071°09'18"	S32°10'04"W	31.42'	33.53'
C93	25.00'	091°08'35"	N66°33'53"W	35.71'	39.77'
C94	5.00'	089°12'37"	N23°36'43"E	7.02'	7.79'
C95	5.00'	090°15'07"	N66°07'09"W	7.09'	7.88'
C96	14.00'	038°34'08"	S05°35'20"E	9.25'	9.42'
C97	40.00'	042°33'46"	N07°35'09"W	29.04'	29.71'
C98	34.00'	032°51'46"	S12°26'08"E	19.23'	19.50'
C99	15.00'	080°39'55"	S44°19'41"W	19.42'	21.12'
C100	40.00'	042°53'01"	N63°13'08"E	29.24'	29.94'
C101	20.00'	023°16'31"	N14°35'27"E	8.07'	8.12'
C102	50.00'	026°51'20"	S12°48'03"W	23.22'	23.44'
C103	10.00'	025°05'11"	N11°54'59"E	4.34'	4.38'
C104	20.00'	018°57'42"	N33°56'25"E	6.59'	6.62'
C105	15.00'	073°15'42"	N80°03'07"E	17.90'	19.18'
C106	16.87'	076°11'23"	S01°30'28"E	20.82'	22.44'
C107	49.23'	017°47'50"	S77°48'03"E	15.23'	15.29'
C108	19.03'	092°19'11"	S61°40'02"E	27.46'	30.67'
C109	8.65'	050°05'48"	N54°32'03"E	7.32'	7.56'
C110	117.00'	075°04'58"	S16°32'53"W	142.58'	153.32'
C111	547.00'	003°29'08"	N60°56'25"E	33.27'	33.28'
C112	138.45'	032°05'42"	N46°26'35"E	76.54'	77.55'
C118	435.00'	014°09'40"	N37°01'08"W	107.24'	107.51'
C119	5.00'	094°58'52"	N17°33'08"E	7.37'	8.29'
C120	5.00'	091°03'40"	N68°49'59"W	7.14'	7.95'
C121	435.00'	000°48'39"	N22°53'50"W	6.16'	6.16'
C122	35.00'	098°31'08"	N26°46'03"E	53.04'	60.18'
C123	565.00'	041°23'45"	S83°16'30"E	399.39'	408.21'
C124	25.00'	089°31'39"	S17°48'48"E	35.21'	39.06'
C125	25.00'	042°47'30"	S48°20'47"W	18.24'	18.67'
C126	9.95'	078°00'57"	S40°44'54"E	12.52'	13.54'
C127	28.86'	078°42'43"	S05°49'06"E	36.60'	39.65'
C128	434.00'	011°24'11"	N71°29'53"W	86.23'	86.38'
C131	15.00'	090°52'50"	N72°23'27"E	21.38'	23.79'
C132	211.00'	000°33'26"	S20°52'47"W	2.05'	2.05'
C133	462.00'	003°14'47"	N45°43'21"W	26.17'	26.18'

LINE TABLE		
LINE #	BEARING	LENGTH
L1	S39°18'33"W	8.01'
L2	S49°32'23"E	52.84'
L3	S26°55'27"W	28.03'
L4	N60°34'30"W	26.74'
L9	N49°04'24"E	27.26'
L10	N57°43'21"E	21.84'
L11	N56°18'55"E	4.20'
L12	S33°41'05"E	5.00'
L13	N56°18'55"E	18.78'
L14	S12°48'49"W	8.93'
L17	N15°04'02"E	7.00'
L18	N41°03'38"W	11.03'
L19	N17°25'18"W	6.97'
L20	N46°05'12"W	6.92'
L21	S40°30'00"W	5.27'
L22	S42°47'12"E	10.12'
L23	S34°08'30"W	10.00'
L24	S41°51'51"W	24.01'
L25	S21°07'47"W	11.34'
L26	S26°45'05"W	17.90'
L27	S21°15'27"W	29.29'
L28	N04°49'04"E	52.39'
L29	N33°51'43"W	99.27'
L30	N78°39'28"W	18.75'
L31	N15°48'15"W	8.01'
L32	N27°39'17"E	19.01'
L33	S62°17'03"E	12.21'
L34	N27°42'57"E	39.93'
L35	N62°09'42"W	13.14'
L36	S13°56'52"W	5.49'
L37	S76°03'08"E	31.05'
L38	N13°56'52"E	10.72'
L39	S25°33'18"W	7.69'
L40	S64°46'22"E	31.06'
L41	N29°49'15"E	11.45'
L42	S54°37'37"E	18.06'
L43	N22°53'39"W	7.29'
L44	N12°48'02"E	13.65'
L45	S20°39'23"W	24.75'
L46	S32°51'43"W	12.37'
L47	S26°14'42"W	20.75'
L48	S22°39'39"W	17.30'
L49	N41°07'18"E	10.24'
L50	S33°00'06"E	9.59'
L51	N56°58'11"E	24.81'
L52	N35°36'15"W	10.61'
L53	S56°05'52"E	12.23'
L54	N32°58'11"E	22.66'
L55	N56°27'50"W	10.68'
L56	N27°34'46"E	15.69'
L57	N60°19'42"E	12