

## HISTORIC AND DESIGN REVIEW COMMISSION

April 05, 2017

**HDRC CASE NO:** 2017-140  
**ADDRESS:** 307/312 PEARL PKWY  
**LEGAL DESCRIPTION:** NCB 14164 (PEARL BREWERY DEV UT-2), BLOCK 1 LOT 906  
**ZONING:** IDZ RIO-2  
**CITY COUNCIL DIST.:** 1  
**APPLICANT:** Frank Janicek/Rio Perla Properties, LP  
**OWNER:** Frank Janicek/Rio Perla Properties, LP  
**TYPE OF WORK:** Signage  
**REQUEST:**

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Install one roof sign to feature .125 aluminum reverse channel letters. The proposed channel letters are to be forty-eight (48) inches in height and twelve (12) inches thick. Each letter will be free standing and will be lit from below by up lighting located behind the roof parapet.
2. Install hand painted signs on the structure's north façade on the eastern and western corners.

### APPLICABLE CITATIONS:

*UDC Section 35-678. – Signs and Billboards in the RIO.*

#### (a) General Provisions.

(1) This section governs all exterior signs and all interior signs hung within ten (10) feet of an exterior fenestration, or those signs intended to be read by exterior patrons.

A. All signage within an RIO district shall conform to all city codes and must have approval of the historic preservation officer prior to installation.

B. Permits must be obtained following approval of a certificate of appropriateness.

C. No sign shall be painted, constructed, erected, remodeled, refaced, relocated, expanded or otherwise altered until it has been approved and a permit has been obtained from the development services department in accordance with the provisions of this section and applicable city code.

D. Signs, visual displays or graphics shall advertise only the business on the premises unless otherwise allowed in this section.

(2) When reviewing applications for signage the historic preservation officer and the historic and design review commission shall consider the visual impact on nearby historic resources.

A. Signs should respect and respond to the environment and landmark or district character in which constructed.

B. Signs should respect and respond to the river improvement overlay districts character and the historic Riverwalk.

C. The content or advertising message carried by permitted signs shall pertain to the business located on the same premises as the sign or to any otherwise lawful noncommercial message that does not direct attention to a business operated for profit, or to a commodity or service for sale, provided that signs erected on buildings with multiple businesses within shall pertain to any such business within.

(3) For signs with changeable message panels, the changeable message area of the sign shall not exceed twenty-five (25) percent of the total sign area, except for gasoline price signs which shall not exceed seventy-five (75) percent of the total sign area. Electronic changeable message boards shall be prohibited.

(6) Special consideration should be given to the character of the sign itself proposed in the application, and whether the proposed sign has inherently historic characteristics which may fall outside of the guidelines presented below but which would contribute to the historic district, landmark or area for which it is being proposed. Additionally, when reviewing applications for signage the historic preservation officer and the historic and design review commission shall consider the visual impact on nearby historic resources.

(c) Standards for Sign Design and Placement. In considering whether to recommend approval or disapproval of an application to construct or alter signage on a building, object, site, or structure in a river improvement overlay district, review shall be guided by the following standards in addition to any specific design guidelines approved by city

council.

(1) Primary sign design considerations shall be identification and legibility. Size, scale, height, color and location of signs shall be harmonious with, and properly related to, the overall character of the district and structure. Sign materials shall be compatible with that of the building facade. Highly reflective materials that will be difficult to read are not permitted.

(3) All graphic elements shall reinforce the architectural integrity of any building. Signs shall not disfigure, damage, mar, alter, or conceal architectural features or details and shall be limited to sizes that are in scale with the architecture and the streetscape. Emblems and symbols of identification used as principal structural or architectural design elements on a facade shall not be included in the total allowable signage per facade per structure when approved. Review shall be guided by the building's proportion and scale when such elements are incorporated.

(4) Graphics and signage may be illuminated by indirect, internal, or bare-bulb sources, providing that glare is not produced; by indirect light sources concealed by a hood or diffuser; by internal illumination with standard opal glass or other translucent material or with an equal or smaller light transmission factor. All illumination shall be steady and stationary. Neon lighting shall be permitted when used as an integral architectural element or artwork appropriate to the site. For purposes of this subsection, "Glare" shall mean an illumination level of six (6) Lux or greater at the property boundary. If internal illumination is used, it shall be designed to be subordinate to the overall building composition. Light fixtures should reflect the design period of the building on which they are placed. The use of ambient light from storefront or streetlights is encouraged.

(d) Proportion of Signs. For all signage, signage width and height must be in proportion to the facade, respecting the size, scale and mass of the facade, building height, and rhythms and sizes of window and door openings. The building facade shall be considered as part of an overall sign program but the sign shall be subordinate to the overall building composition. Additionally, signs shall respect and respond to the character and/or period of the area in which they are being placed.

(e) Number and Size of Signs.

(1) Number and Size. The historic and design review commission shall be guided in its decisions by the total number of businesses or services per building and the percentage of visible storefront occupied by each business or service. Applicants may apply for up to three (3) signs total. Total signage for all applicants shall not exceed fifty (50) square feet unless additional signs and/or additional total footage is approved. Additional square footage may be approved provided that the additional signage is in conformity with, and does not interfere with, the pedestrian experience on the Riverwalk. The additional square footage shall be based upon the size and scope of the site. Signs should reflect the type and speed of traffic they are meant to attract. Signs designed for pedestrians and drivers of slow moving cars should not be the same size as signs designed for highway traffic.

(2) Sign Area. The sign area shall be determined in the following manner:

A. Sign Areas. The area of a sign shall be computed on the actual area of the sign. Sign area shall be calculated as the area within a parallelogram, triangle, circle, semicircle or other regular geometric figure including all letters, figures, graphics or other elements of the sign, together with the framework or background of the sign. The supporting framework of the sign shall not be included in determining sign area unless such supporting framework forms an integral part of the sign display, as determined by the historic preservation officer. If the sign is located on a decorative fence or wall, when such fence or wall otherwise meets these or other ordinances or regulations and is clearly incidental to the display itself, the fence or wall shall not be included in the sign area. In the cases of signs with more than one (1) sign face, including but not restricted to double-faced signs, back-to-back signs, overhanging signs, and projecting signs, each side of the sign shall be included in total allowable signage area.

(k) Prohibited Signs. The following signs are prohibited:

(1) Billboards, junior billboards, portable signs, and advertising benches;

(2) Any sign placed upon a building, object, site, or structure in any manner so as to disfigure, damage, or conceal any window opening, door, or significant architectural feature or detail of any building;

(3) Any sign or sign spinner which advertises commercial off-premises businesses, products, activities, services, or events unless otherwise allowed in this article;

(4) Any sign which does not identify a business or service within the river improvement overlay district unless otherwise allowed in this article;

(5) Any non-contributing sign which is abandoned or damaged beyond fifty (50) percent of its replacement value,

including parts of old or unused signs. All remnants such as supports, brackets and braces must also be removed;

(6) Any attachment to an already affixed sign which does not meet the provisions of the City Code;

(7) Roof mounted signs, except in the cases of landmark signs or unless approved in accordance with standards set forth in subsections (b) and (c) of this section. Contributing roof mounted signs may be resurfaced with an approved certificate of appropriateness. The square footage of roof mounted signs shall be included in the total allowable signage for the building;

(8) Pole signs;

(9) Digital displays, digital and/or LED lighted signs, not to include LED light sources that do not meet the definition of a sign, with or without rotating, flashing lettering, icons or images.

Except as provided below:

A. A public transportation agency may incorporate transit information signage into transit shelters, utilizing LED or digital technology, provided the signage is contained within or under the transit shelter, and is limited to five (5) square feet of signage area, and one (1) sign per thirty (30) linear feet of pedestrian shelter.

B. A public transportation agency may incorporate transit information signage into a monument sign at transit stops, utilizing LED or digital technology, provided it is limited to five (5) square feet of signage area.

C. A public transportation agency may incorporate transit information signage into a monument sign at transit facilities (other than transit stops), utilizing LED or digital technology, provided it is limited to seven (7) square feet of signage area.

D. The historic preservation officer may impose additional restrictions on illumination to ensure that the character of signs are harmonious with the character of the structures on which they are to be placed and designated landmarks or districts in the area, provided that such restrictions are reasonably related to other conforming signs and conforming structures in the area, do not unreasonably restrict the amount of signage allowed by this section, and are in keeping with the intent of this section. Among other things, consideration shall be given to the location and illumination of the sign in relation to the surrounding buildings, the use of appropriate materials, the size and style of lettering and graphics, and the type of lighting proposed.

(10) Revolving signs or signs with a moving component.

(11) Any sandwich board which conflicts with the Americans with Disabilities Act, or which disrupts or interferes with pedestrian or other traffic.

(12) Any sign that obscures a sign display by a public authority for the purpose of giving instructions or directions or other public information.

(13) Any sign which consists of pennants, ribbons, spinners or other similar moving devices.

(14) Any sign, except official notices and advertisements, which is nailed, tacked, posted or in any other manner attached to any utility pole or structure or supporting wire, cable, or pipe; or to any tree on any street or sidewalk or to public property of any description.

(15) Moored balloons, wind jammers or other floating or inflated signs that are tethered to the ground or to a structure.

(16) Any permanent or temporary sign affixed to, painted on, or placed in or upon any parked vehicle, parked trailer or other parked device capable of being towed, which is parked so as to advertise the business to the passing motorist or pedestrian; and whose primary purpose is to provide additional on-site signage or is to serve the function of an outdoor advertising sign. Excluded from this are vehicles or equipment that are in operating condition, currently registered and licensed to operate on public streets with a valid inspection sticker, and actively used in the daily function of the business to which such signs relate; vehicles/equipment engaged in active construction projects; vehicles or equipment offered for rent to the general public and stored on-premises and otherwise allowed under applicable city ordinance.

Notwithstanding the above, signs designated as a contributing sign or structure by the historic preservation officer shall not be prohibited unless or until such designation is revoked.

## **FINDINGS:**

- a. The applicant has proposed to install one roof sign to feature .125 aluminum reverse channel letters. The proposed channel letters are to be forty-eight (48) inches in height and twelve (12) inches thick. Each letter will be free standing and will be lit from below by up lighting located behind the roof parapet. The proposed roof signage will

be located on the north façade and will face north. The proposed signage installation is consistent with the UDC Section 35-678 in regards to location, materials and lighting. Additionally, the proposed signage is consistent with the Pearl Brewery Signage Guidelines.

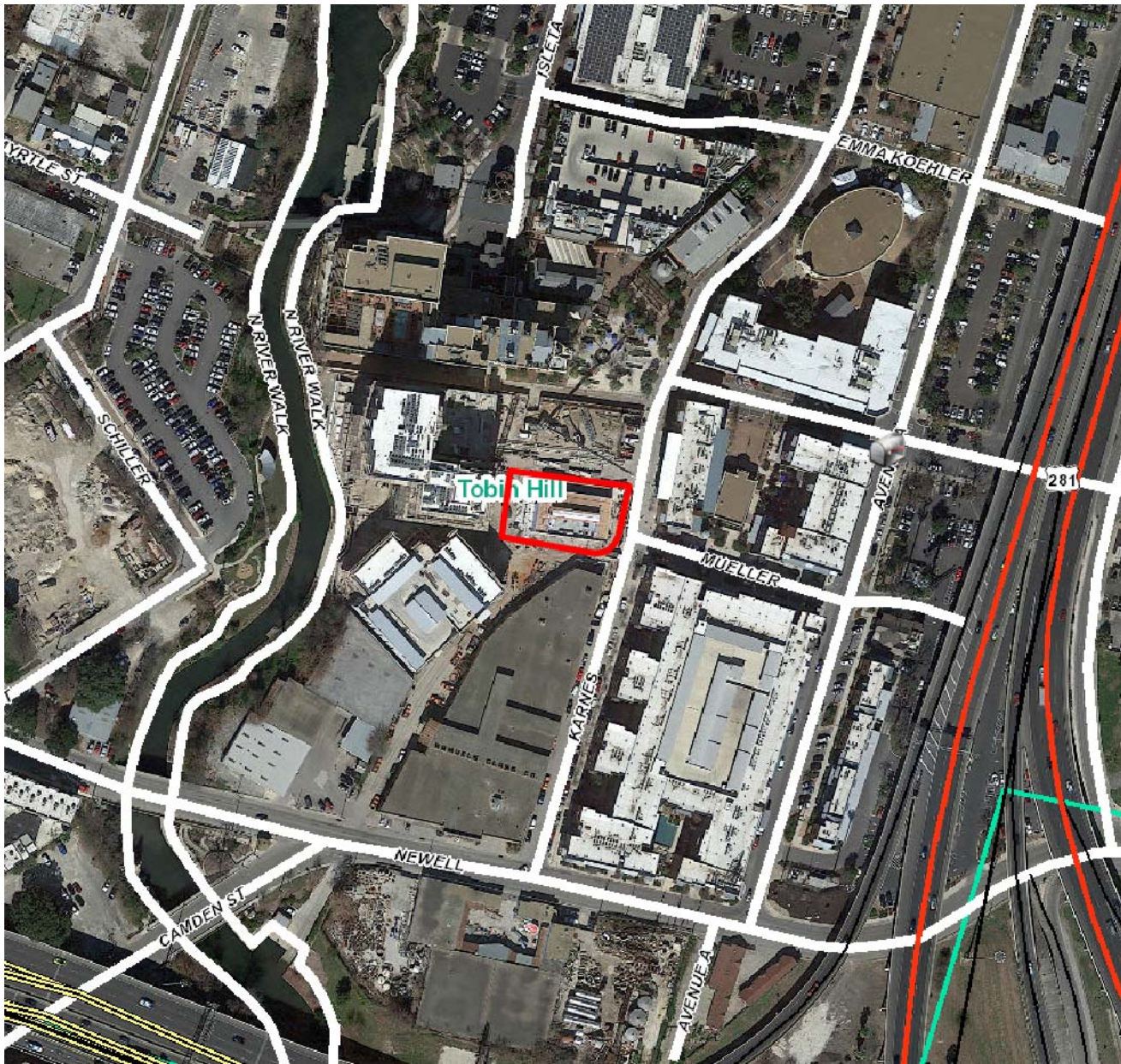
- b. On the north façade, the applicant has proposed to hand paint signs on the structure's north façade on the eastern and western corners. The applicant has noted that each hand painted sign is to feature two components, both measuring thirty-four (34) inches in width and both featuring components measuring both eight-six (86) and thirty-two (32) inches in height. Per the Pearl Brewery Signage Guidelines, a preferred style for signage at the Pearl is hand painted. Staff finds the proposed signage appropriate and consistent with the UDC.

**RECOMMENDATION:**

Staff recommends approval based on findings a and b as submitted.

**CASE MANAGER:**

Edward Hall



N



## Flex Viewer

Powered by ArcGIS Server

Printed: Mar 20, 2017

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CITY of SAN ANTONIO  
NOTICE of HEARING

HISTORIC & DESIGN  
REVIEW COMMISSION



ADDRESS: 557/304 PEARL HWY

REQUEST: SIGNAGE

HEARING DATE: APRIL 5 2017 Time: 3:00 PM

FOR MORE INFORMATION CONTACT  
(210) 207-0035

ALL HDRC MEETINGS TAKE PLACE AT 1901 S. ALAMO



North Façade



East Façade





South Façade



West Façade

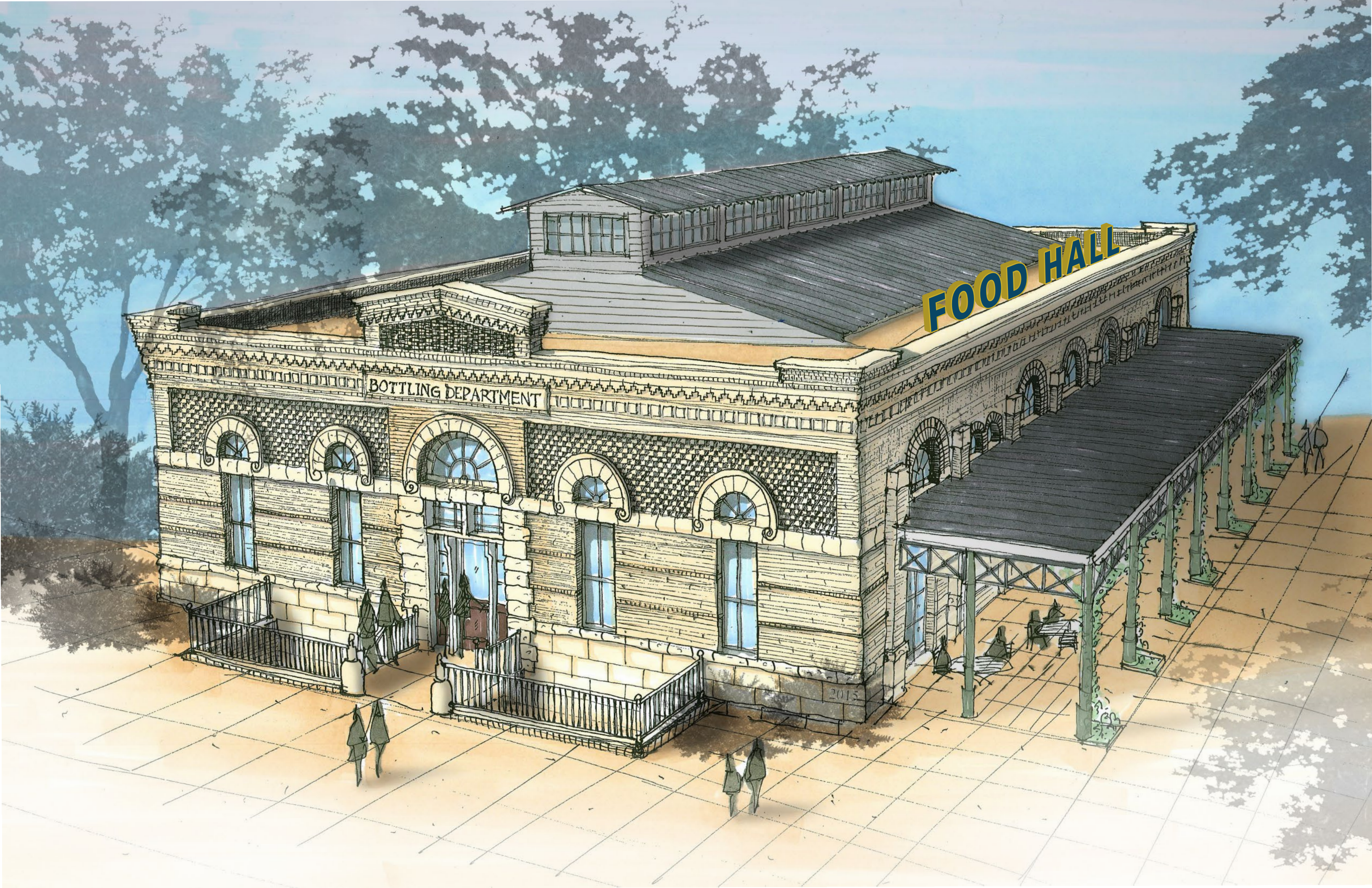
# ROOF TOP SIGN | North Facade

.125 aluminum non-illuminated reverse channel letters. Each letter is 48" tall and 12" thick. Each letter will be freestanding and will be lit from below with up-lighting that is hidden below the parapet on the building.



# FOOD HALL





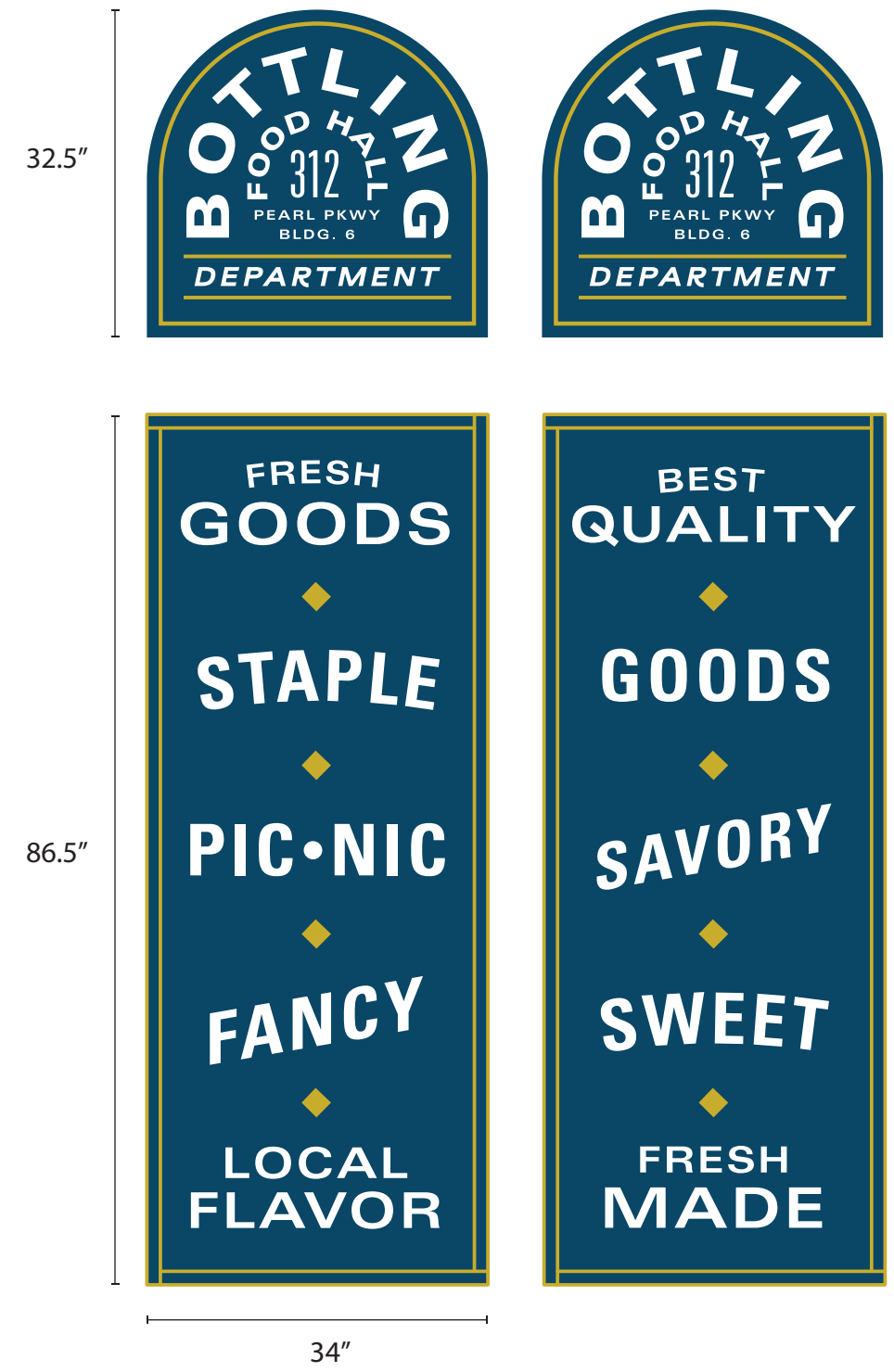
BOTTLING DEPARTMENT

FOOD HALL

2015

# HAND PAINTED SIGNS | North Facade

Hand painted 'ghost signs' to be applied on eastern and western corners of the north facade of the building.



\*DIMENSIONS ARE APPROXIMATE

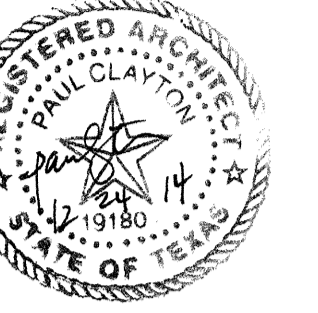
GENERAL NOTES:

1. ALL SITE, LANDSCAPING, AND CIVIL INFORMATION IS FOR REFERENCE ONLY, AND NOT PART OF THIS PROJECT'S SCOPE OF WORK.
2. ALL SPOT ELEVATIONS FOR GRADES ARE APPROXIMATE. COORDINATE WITH CIVIL DRAWINGS FROM THE CELLARS PROJECT.

Architects  
Clayton&Little

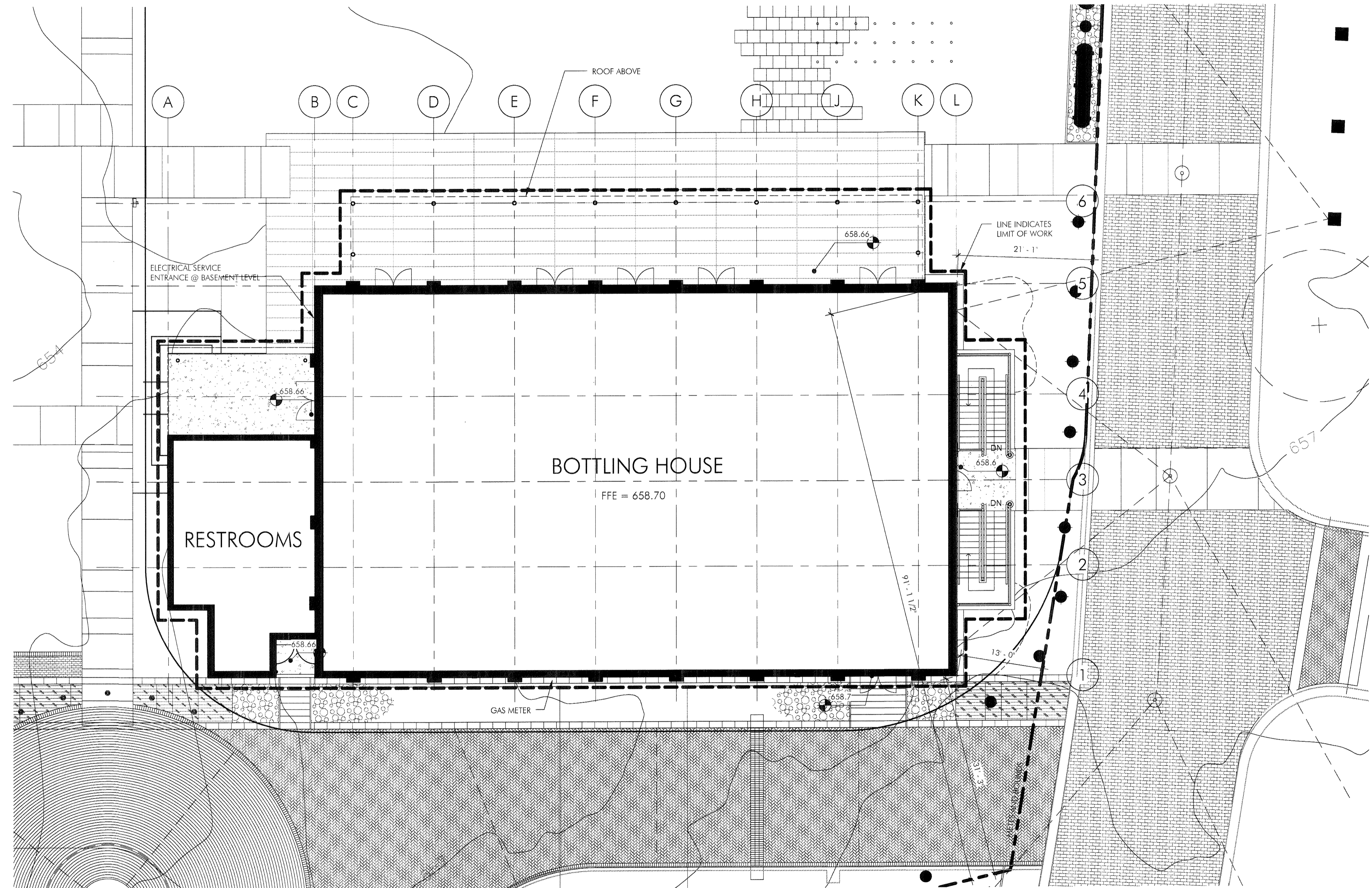
1001 East 8th Street  
Austin, Texas 78702  
512.477.1727

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FIELD INSPECTION REQUIRED

Prior to performing any bidding, new construction, and/or repairs, general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.



1 SITE PLAN  
1" = 10'-0"

PEARL BOTTLING HOUSE

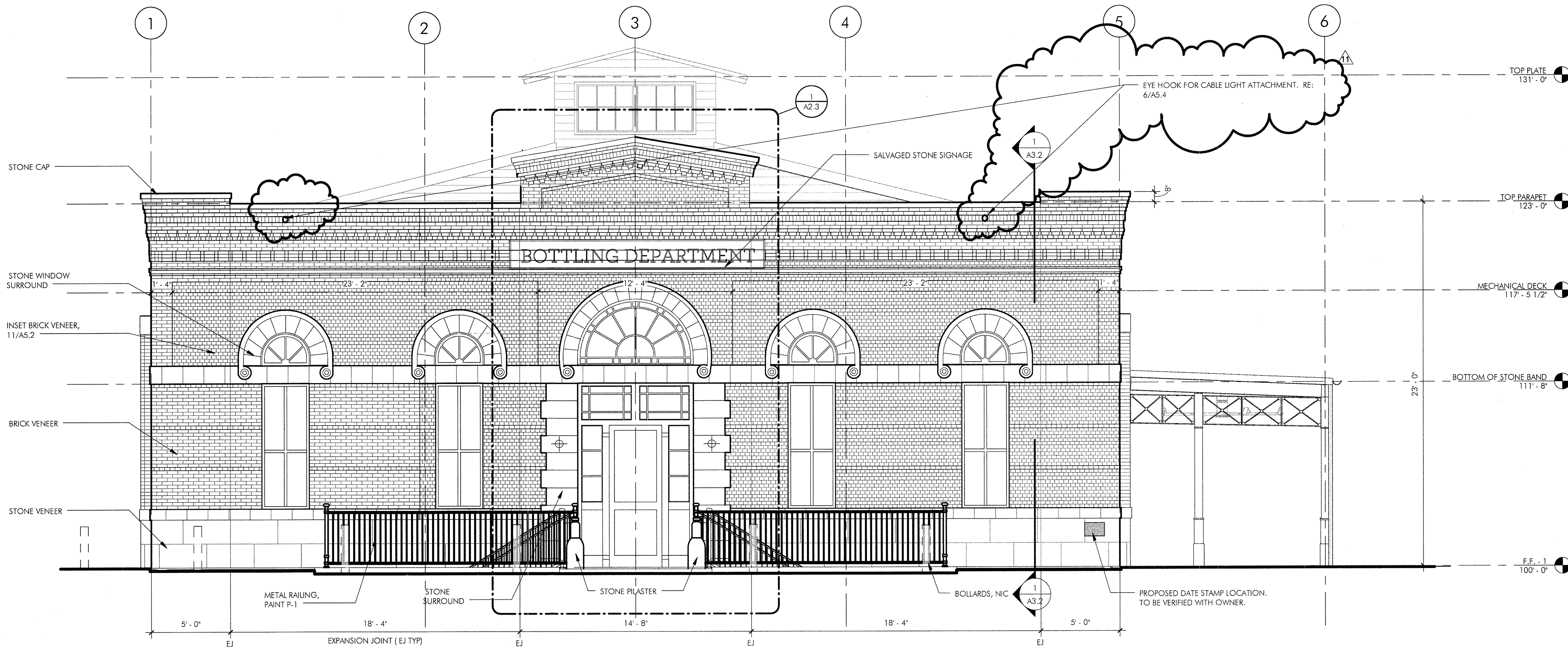
312 Pearl Parkway, Building 6, San Antonio TX

DATE	ISSUED FOR
12.05.14	PERMIT
12.24.14	FOR CONSTRUCTION

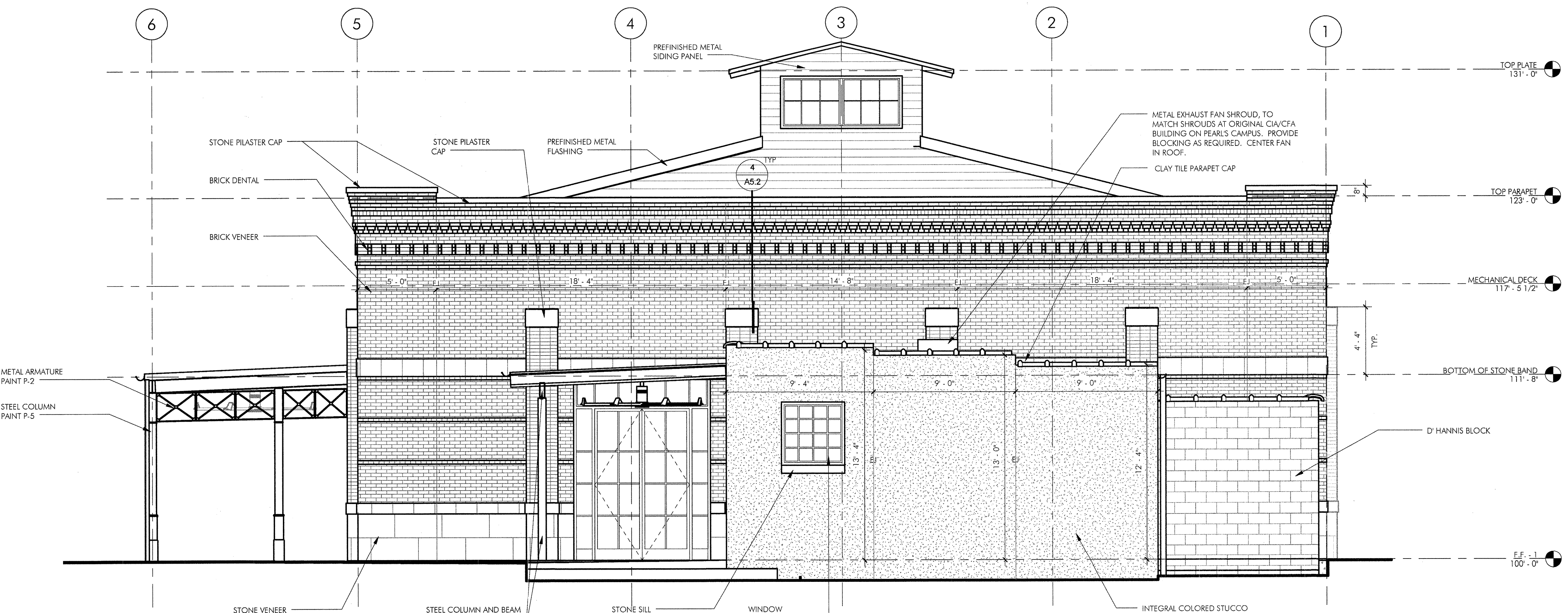
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PROJECT NUMBER: 1417

SITE PLAN

A1.0



**2 EAST ELEVATION**  
1/4" = 1'-0"



**1 WEST ELEVATION**  
1/4" = 1'-0"

- GENERAL NOTES:**
1. THE GC TO VERIFY QUANTITIES OF OWNER PROVIDED SALVAGED BRICK AND STONE PRIOR TO BIDDING. THE GC IS TO PROVIDE PRICING FOR "NEW" MASONRY TO MATCH OWNERS SALVAGED MASONRY WHERE THERE IS NOT AN ADEQUATE AMOUNT OF OWNER PROVIDED BRICK/STONE.
  2. THE GC IS TO VERIFY MOUNTING HEIGHTS FOR ALL WALL SCONCES WITH OWNER/ARCHITECT IN FIELD PRIOR TO INSTALLATION. UNLESS NOTED OTHERWISE.
  3. ALL DOWNSPOUTS TO TIE INTO STORM DRAIN LINES BELOW GRADE.
  4. ALL EXPOSED CONDUITS ARE TO BE LOCATED AND LAID OUT WITH OWNER/ARCHITECT IN FIELD PRIOR TO PLACEMENT AND INSTALLATION.

Architects  
**Clayton & Little**  
1001 East 8th Street  
Austin, Texas 78702  
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**PEARL BOTTLING HOUSE**  
312 Pearl Parkway, Building 6, San Antonio TX

DATE	ISSUED FOR
12.24.14	FOR CONSTRUCTION
01.29.15	ADDENDUM #3
01.29.15	ADDENDUM #4
03.30.15	PR #1
04.02.15	PR #3
04.08.15	PR #4
04.08.15	ASI #4
05.21.15	PR #8

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EXTERIOR ELEVATIONS

**A2.0**

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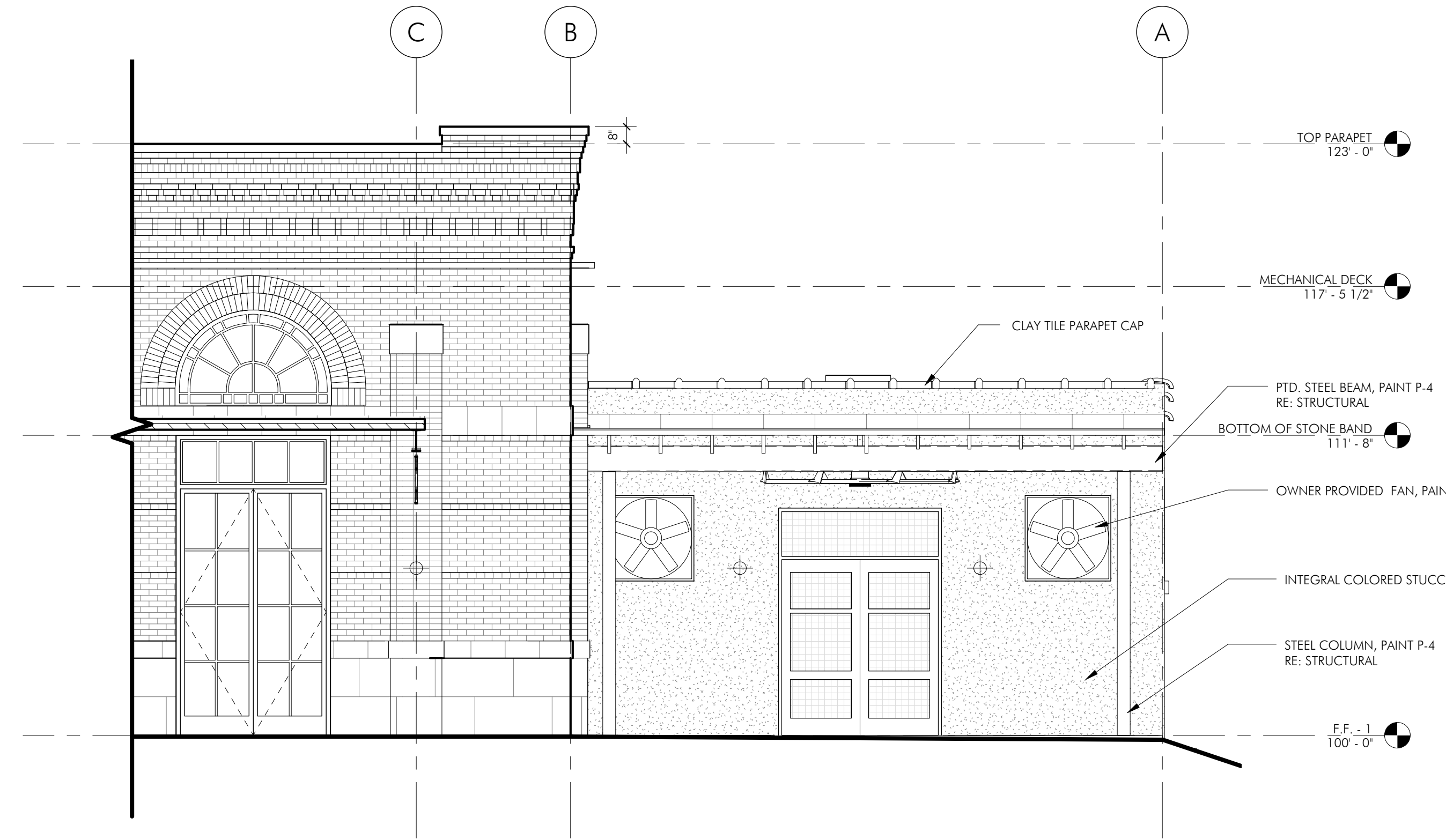


**FIELD INSPECTION REQUIRED**

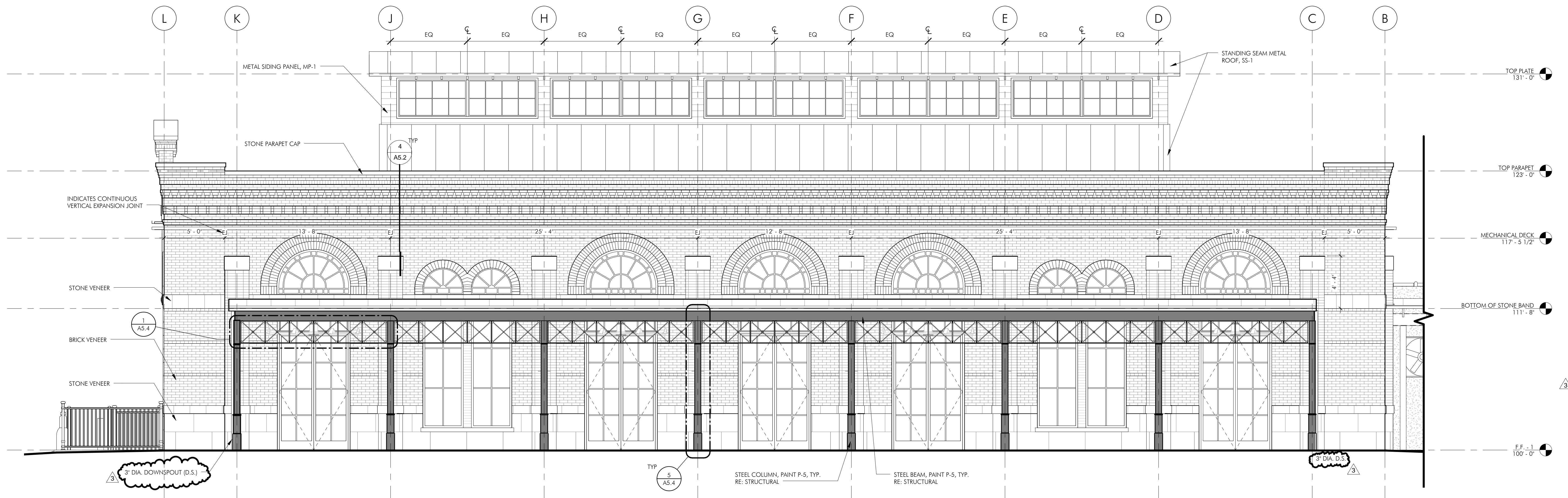
Prior to performing any bidding, new construction, and/or repairs, general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.

**GENERAL NOTES:**

1. THE GC TO VERIFY QUANTITIES OF OWNER PROVIDED SALVAGED BRICK AND STONE PRIOR TO BIDDING. THE GC IS TO PROVIDE PRICING FOR NEW MASONRY TO MATCH OWNERS SALVAGED MASONRY WHERE THERE IS NOT AN ADEQUATE AMOUNT OF OWNER PROVIDED BRICK/STONE.
2. THE GC IS TO VERIFY MOUNTING HEIGHTS FOR ALL WALL SCONCES WITH OWNER/ARCHITECT IN FIELD PRIOR TO INSTALLATION. UNLESS NOTED OTHERWISE.
3. ALL DOWNSPOUTS TO TIE INTO STORM DRAIN LINES BELOW GRADE.
4. ALL EXPOSED CONDUITS ARE TO BE LOCATED AND LAID OUT WITH OWNER/ARCHITECT IN FIELD PRIOR TO PLACEMENT AND INSTALLATION.



**2 NORTH ELEVATION - RESTROOMS**  
1/4" = 1'-0"



**1 NORTH ELEVATION**  
1/4" = 1'-0"

**PEARL BOTTLING HOUSE**

312 Pearl Parkway, Building 6, San Antonio TX

DATE	ISSUED FOR
12.05.14	PERMIT
12.24.14	FOR CONSTRUCTION
01.19.15	ADDENDUM #2
01.29.15	ADDENDUM #3

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EXTERIOR ELEVATIONS

**A2.1**

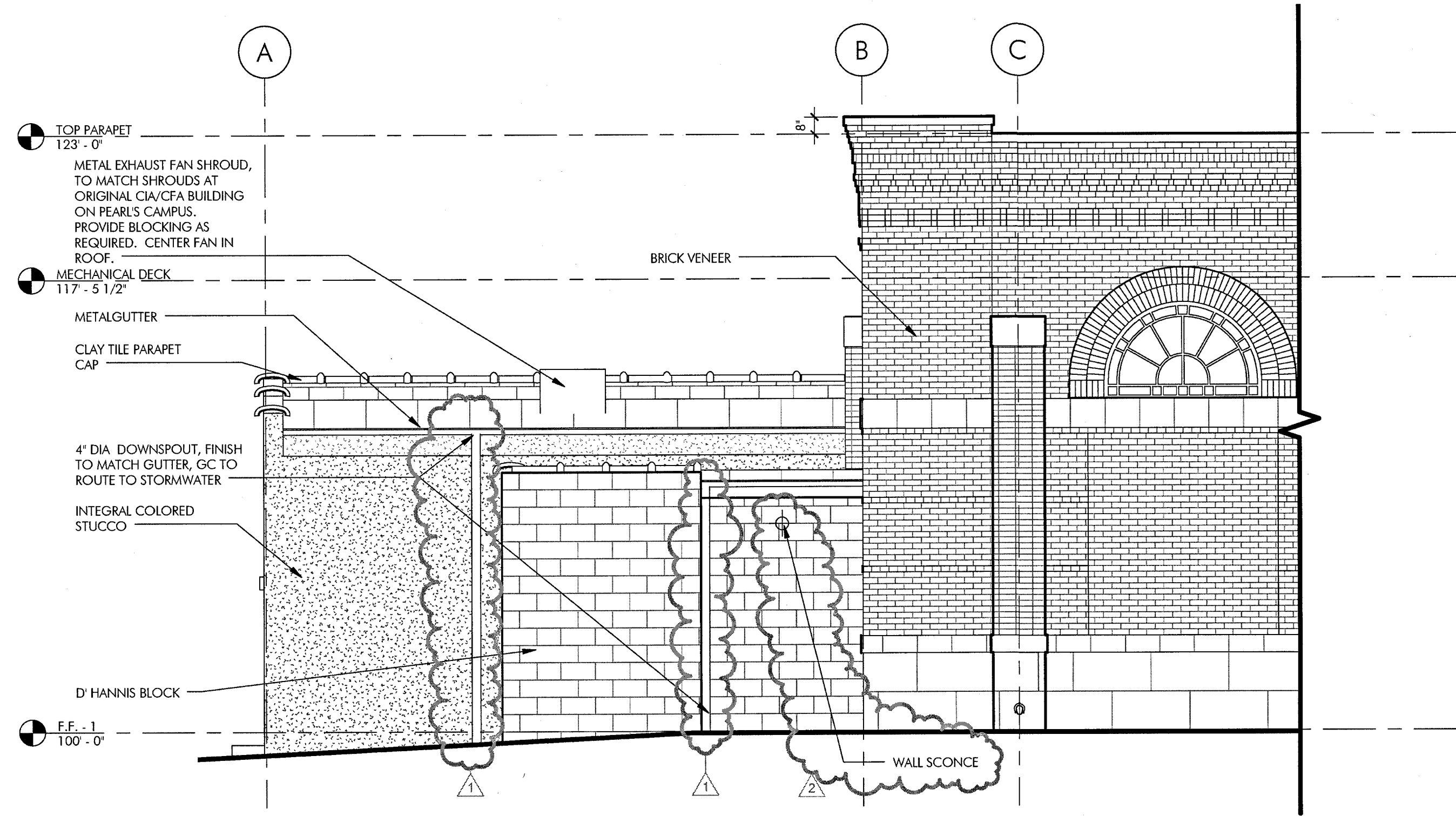


**FIELD INSPECTION REQUIRED**

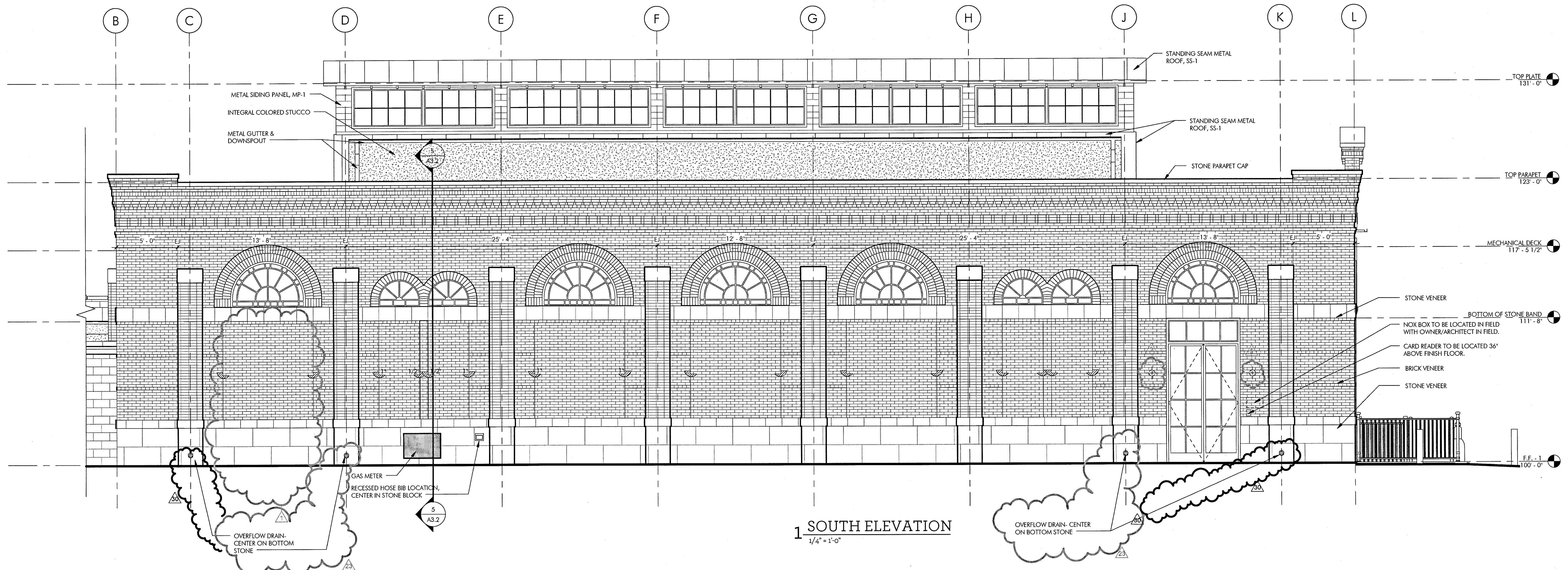
Prior to performing any bidding, new construction, and/or repairs, general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.

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**2 SOUTH ELEVATION - RESTROOMS**  
1/4" = 1'-0"



**1 SOUTH ELEVATION**  
1/4" = 1'-0"

**PEARL BOTTLING HOUSE**

312 Pearl Parkway, Building 6, San Antonio TX

DATE	ISSUED FOR
05.04.15	PR #14
05.05.15	PR #15
05.11.15	PR #17
06.15.15	PR #19
06.17.15	PR #20
07.2.15	PR #21
07.20.15	PR #25
08.17.15	PR #26

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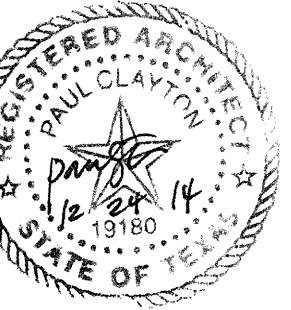
EXTERIOR ELEVATIONS

**A2.2**

Architects  
Clayton & Little

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Austin, Texas 78702  
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FIELD INSPECTION REQUIRED

Prior to performing any bidding, new construction, and/or repairs, general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.

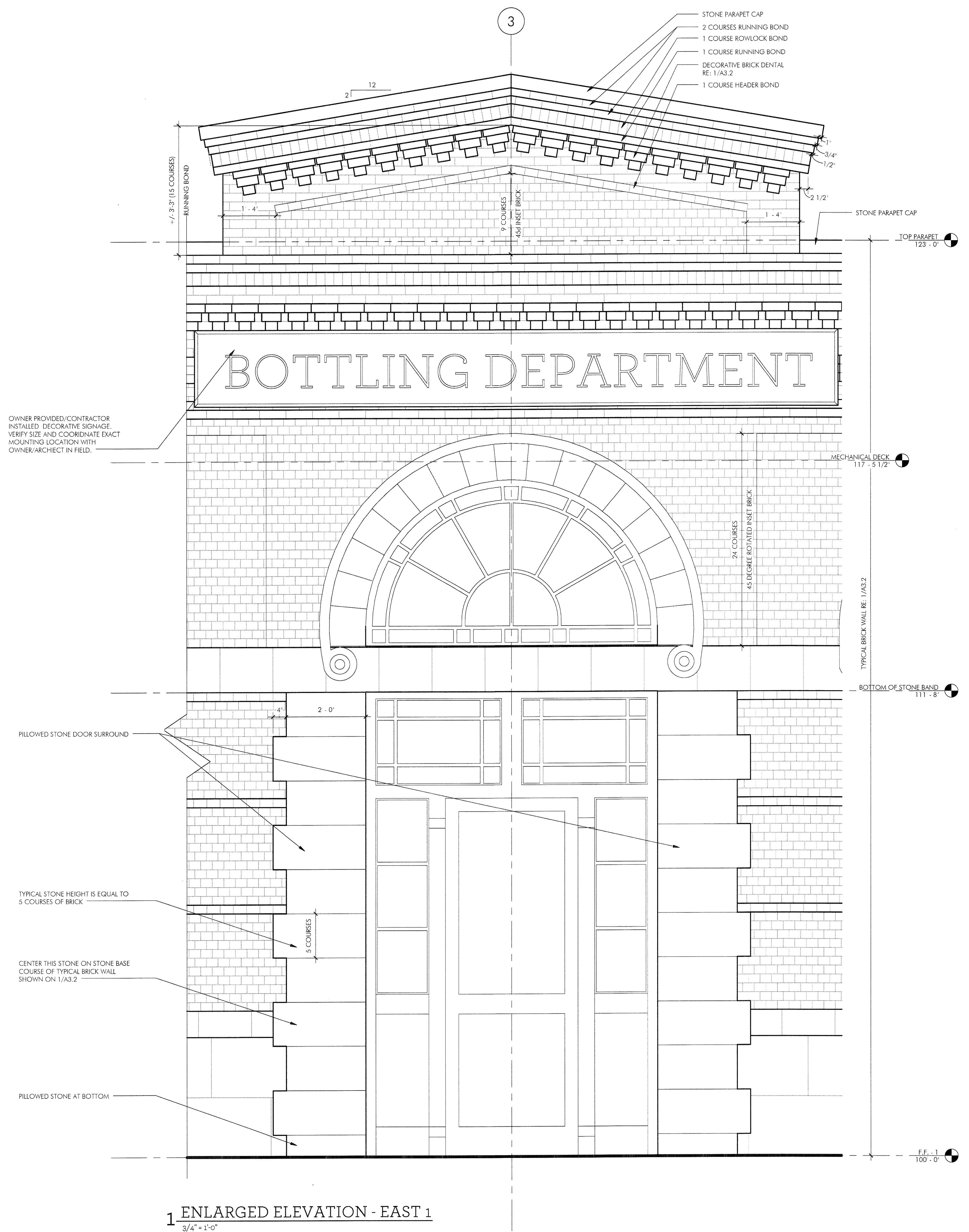
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DATE	ISSUED FOR
12.05.14	PERMIT
12.24.14	FOR CONSTRUCTION

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PROJECT NUMBER: 1417

ENLARGED ELEVATIONS

**A2.3**



**1 ENLARGED ELEVATION - EAST 1**  
3/4" = 1'-0"

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD FOR METAL STUD WALLS OR FACE OF BLOCK/BRICK FOR STRUCTURAL CLAY TILE/BRICK, U.N.O.
2. VERIFY MOUNTING HEIGHTS AND LOCATIONS OF ALL FIRE DETECTION SYSTEMS WITH OWNER/ARCHITECT PRIOR TO INSTALLATION.
3. VERIFY MOUNTING HEIGHT FOR ALL WALL SCONCES WITH OWNER/ARCHITECT IN FIELD PRIOR TO INSTALLATION, UNLESS NOTED OTHERWISE.
4. FEC - 1; LARSEN'S MODEL FS-2409-SR, STAINLESS STEEL FINISH. TOP OF CABINET SHOULD BE MOUNTED AT 60" A.F.F. ALL ANCHORAGE TO BE IN MASONRY GROUT AND NOT BRICK. VERIFY LOCATION OF FEC WITH ARCHITECT PRIOR TO INSTALLATION.
5. FLOORS WITH FLOOR DRAINS SHALL SLOPE A MINIMUM 1/8"/FT TO THE FLOOR DRAIN. COORDINATE FLOOR SLOPES WITH ALREADY INSTALLED FLOOR DRAINS/SINKS.
6. ALL EXPOSED CONDUITS ARE TO BE LOCATED AND LAID OUT WITH OWNER/ARCHITECT IN FIELD PRIOR TO PLACEMENT AND INSTALLATION.
7. CORNER GUARDS ARE TO BE INSTALLED AT ALL OUTSIDE CORNERS OF GYPSUM BOARD WALLS UP TO A HEIGHT OF 5'-0", RE: 8/A5.0.
8. RE: A6.0 FOR TYPICAL WALL PARTITION TYPES AND DETAILS.
9. FOR SCHEDULES RE: A6.0.
10. ALL RESTROOMS TO HAVE FORCED AIR VENTILATION TO THE OUTSIDE.
11. NEW WORK AT EXISTING CONDITIONS SHALL ALIGN WITH AND MATCH EXISTING WORK EXCEPT WHERE OTHERWISE DIMENSIONED OR DETAILED.
12. DOORS TO BE LOCATED AT 4" FROM EDGE OF STUD WALL UNLESS NOTED OTHERWISE.
13. GC TO PROTECT ALL PENETRATIONS IN RATED WALLS. ANY PENETRATIONS MUST BE REPAIRED/CONSTRUCTED TO MAINTAIN FIRE RATING OF EXISTING RATED WALL.
14. GC TO PROVIDE CHALK LINE WALL LAYOUT ON EXISTING SLAB FOR OWNERSHIP/ARCHITECT FINAL APPROVAL PRIOR TO FRAMING WALLS.

DRAWING LEGEND

	EXISTING CONSTRUCTION TO REMAIN		DASHED LINE INDICATING LIMITS OF CONSTRUCTION
	EXISTING 1 HR RATED WALL		#0000 SUITE NUMBER
	NEW CONSTRUCTION		PERMITTED UNDER MASTER BUILDING PERMIT
	TILE		NO HATCH PERMITTED UNDER SUPPORT BUILDING PERMIT: DISH ROOM, HALL 1, RESTROOM, W.I.C., DRY STORAGE, MECHANICAL PLATFORM, LOCKER ROOM, CLO., JANITOR, OFFICE, ELEC. CLO.
	INSULATED FLOOR PANELS PER MANUFACTURER		
	EXISTING		

Architects  
Clayton & Little

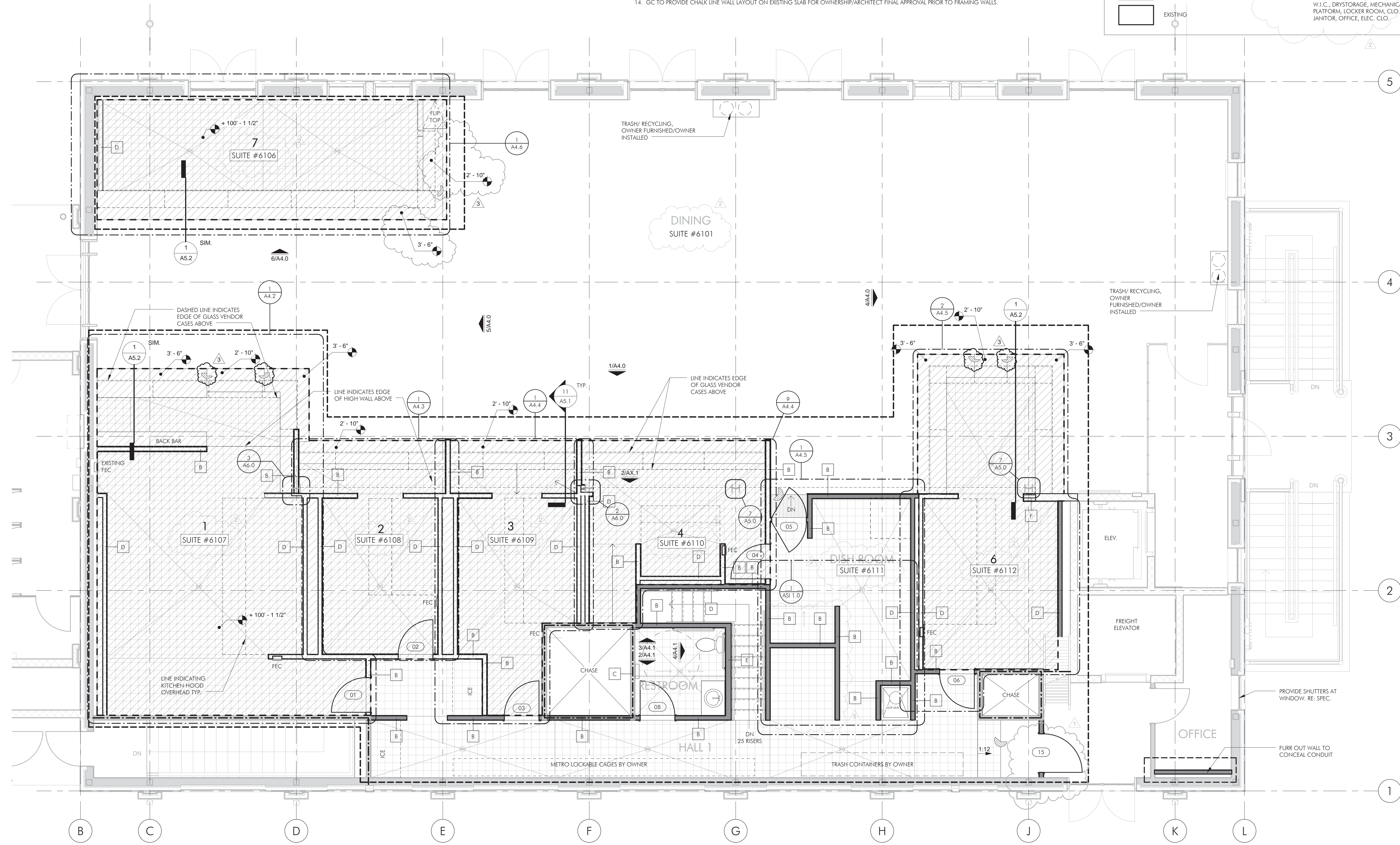
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FIELD INSPECTION REQUIRED

Prior to performing any bidding, new construction, and/or repairs, general contractor shall visit the site, inspect all existing conditions, and report any discrepancies to the architect.



PEARL FOOD HALL

312 Pearl Parkway, Suite 6101, San Antonio TX 78215

DATE	ISSUED FOR
7.08.16	PERMIT SET
8.19.16	PERMIT COMMENTS #1
9.23.16	PERMIT COMMENTS #2
11.03.16	PR #1

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PROJECT NUMBER: 1526

FIRST FLOOR PLAN

1 FIRST FLOOR PLAN  
1/4" = 1'-0"

A1.1

11/3/2016 4:16:27 PM