

HISTORIC AND DESIGN REVIEW COMMISSION

March 17, 2021

HDRC CASE NO: 2021-091
ADDRESS: 362 E HUISACHE AVE
LEGAL DESCRIPTION: NCB 3088 BLK 4 LOT 15
ZONING: MF-33, H
CITY COUNCIL DIST.: 1
DISTRICT: Monte Vista Historic District
APPLICANT: Marc Franco/Trinity Foundation and Construction
OWNER: Josh Wild/Trinity foundation and construction
TYPE OF WORK: Addition and rear deck, porch modifications
APPLICATION RECEIVED: February 12, 2021
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Huy Pham

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Remove the front roof overhang to install a new shed roof porch
2. Replace the non-original front door with a new window
3. Construct a 504 square feet rear addition with a 120 square feet wood deck.

APPLICABLE CITATIONS:

6. Architectural Features: Doors, Windows, and Screens

2. *Guidelines for Exterior Maintenance and Alterations*

A. MAINTENANCE (PRESERVATION)

- i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.
- ii. *New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.
- iii. *Glazed area*—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.
- iv. *Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.

7. Architectural Features: Porches, Balconies, and Porte-Cocheres

A. MAINTENANCE (PRESERVATION)

- i. *Existing porches, balconies, and porte-cocheres*—Preserve porches, balconies, and porte-cocheres. Do not add new porches, balconies, or porte-cocheres where not historically present.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- iv. *Adding elements*—Design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance.
- v. *Reconstruction*—Reconstruct porches, balconies, and porte-cocheres based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the building and historic patterns.

3. Guidelines for Additions

1. Massing and Form of Residential Additions

A. GENERAL

- i. *Minimize visual impact*—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.
- ii. *Historic context*—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.
- iii. *Similar roof form*—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. *Transitions between old and new*—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

B. SCALE, MASSING, AND FORM

- i. *Subordinate to principal facade*—Design residential additions, including porches and balconies, to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- ii. *Rooftop additions*—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.
- iii. *Dormers*—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.
- iv. *Footprint*—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.
- v. *Height*—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

3. Materials and Textures

A. COMPLEMENTARY MATERIALS

- i. *Complementary materials*—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.
- ii. *Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alternations and Maintenance section for additional specifications regarding metal roofs.
- iii. *Other roofing materials*—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

B. INAPPROPRIATE MATERIALS

- i. *Imitation or synthetic materials*—Do not use imitation or synthetic materials, such as vinyl siding, brick or simulated stone veneer, plastic, or other materials not compatible with the architectural style and materials of the original structure.

C. REUSE OF HISTORIC MATERIALS

- i. *Salvage*—Salvage and reuse historic materials, where possible, that will be covered or removed as a result of an addition.

4. Architectural Details

A. GENERAL

- i. *Historic context*—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.
- ii. *Architectural details*—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.
- iii. *Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

Standard Specifications for Windows in Additions and New Construction

- GENERAL: New windows on additions should relate to the windows of the primary historic structure in terms of materiality and overall appearance. Windows used in new construction should be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. While no material is expressly prohibited by the Historic Design Guidelines, a high-quality wood or aluminum-clad wood window product often meets the Guidelines with the stipulations listed below. Whole window systems should match the size of historic windows on property unless otherwise approved.
- SIZE: Windows should feature traditional dimensions and proportions as found within the district.
- SASH: Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- DEPTH: There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness.
- TRIM: Window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail. Window track components such as jamb liners must be painted to match the window trim or concealed by a wood window screen set within the opening.
- GLAZING: Windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature real exterior muntins.
- COLOR: Wood windows should feature a painted finished. If a clad product is approved, white or metallic manufacturer's color is not allowed, and color selection must be presented to staff.
- INSTALLATION: Wood windows should be supplied in a block frame and exclude nailing fins. Window opening sizes should not be altered to accommodate stock sizes prior to approval.
- FINAL APPROVAL: If the proposed window does not meet the aforementioned stipulations, then the applicant must submit updated window specifications to staff for review, prior to purchase and installation. For more assistance, the applicant may request the window supplier to coordinate with staff directly for verification.

Standard Specifications for Original Wood Window Replacement

- SCOPE OF REPAIR: When individual elements such as sills, muntins, rails, sashes, or glazing has deteriorated, every effort should be made to repair or reconstruct that individual element prior to consideration of wholesale replacement. For instance, applicant should replace individual sashes within the window system in lieu of full replacement with a new window unit.
- MISSING OR PREVIOUSLY-REPLACED WINDOWS: Where original windows are found to be missing or previously-replaced with a nonconforming window product by a previous owner, an alternative material to wood may be considered when the proposed replacement product is more consistent with the Historic Design Guidelines in terms of overall appearance. Such determination shall be made on a case-by-case basis by OHP and/or the HDRC. Whole window systems should match the size of historic windows on property unless otherwise approved.
- MATERIAL: If full window replacement is approved, the new windows must feature primed and painted wood exterior finish. Clad, composition, or non-wood options are not allowed unless explicitly approved by the commission.
- SASH: Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- DEPTH: There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness.
- TRIM: Original trim details and sills should be retained or repaired in kind. If approved, new window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail. Window track components such as jamb liners must be painted to match the window trim or concealed by a wood window screen set within the opening.
- GLAZING: Replacement windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature real exterior muntins.
- COLOR: Replacement windows should feature a painted finished. If a clad product is approved, white or metallic manufacturer's color is not allowed, and color selection must be presented to staff.
- INSTALLATION: Replacement windows should be supplied in a block frame and exclude nailing fins. Window opening sizes should not be altered to accommodate stock sizes prior to approval.
- FINAL APPROVAL: If the proposed window does not meet the aforementioned stipulations, then the applicant must submit updated window specifications to staff for review, prior to purchase and installation. For more assistance, the applicant may request the window supplier to coordinate with staff directly for verification.

FINDINGS:

- a. The primary historic structure 362 E Huisache was constructed circa 1925, first appears on the 1951 Sanborn map, and contributes to the Monte Vista Historic District. The one-story single-family structure features Tudor Revival influence, namely the front tapered stucco chimney, as well as dominant jerkinhead roof, exposed rafter tails, one-over-one sash windows throughout.
- b. COMPLIANCE – On a site visit conducted January 11, 2021, staff found a number of work items had begun prior to approval including roof over hang removal, foundation framing for a rear addition, and areas of siding and trim removal. Upon coordination with property owner, a number of in-kind items were submitted and administrative approved, while the remaining items were escalated to be reviewed at the next available HDRC hearing.
- c. FRONT PORCH – The applicant has proposed to modify the front façade including replacement the front-most door with windows and installing a covered porch. In comparing the existing floorplan with the 1951 Sanborn map, staff finds that the northeast front corner massing, including the front-most window is not original to the structure and was a later front addition the structure. Per the Guidelines for Exterior Maintenance and Alterations 7.B.v. applicant should reconstruct porches, balconies, and porte-cocheres based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the building and historic patterns. Staff finds that the front porch overhang should be restored to its previous condition based on photographic evidence, rather than introduce furthering the nonconforming front porch addition. Staff finds that replacement of the non-original door with a comparable front window is appropriate if the window adheres to the *Standard Specifications for Window Replacement*. The proposed vinyl window with faux divided lights does not adhere to the specifications.
- d. ADDITION – The applicant has proposed to construct a 504 square feet rear addition with a 120 square feet wood deck with wood lap siding, composition shingle roofing and matching roof form.
- e. ADDITION VISUAL IMPACT & CONTEXT – Per the Guidelines for Additions 1.A.i., applicants should site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. Staff finds the proposed addition set to the rear and extruding from existing elongated forms appropriate.
- f. ADDITION ROOF FORM – Per the Guidelines for Additions 1.A.iii., applicants should utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions. Staff finds the proposed extruding of the existing hipped roof toward the rear for the addition appropriate.
- g. ADDITION TRANSITION – Per the Guidelines for Additions 1.A.iv., applicants should utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms. Staff finds that a vertical trim pieces should be incorporated the side elevations between new and old forms.
- h. ADDITION FOOTPRINT – Per the Guidelines for Additions 1.B.iv., the building footprint should respond to the size of the lot; an appropriate yard to building ratio should be maintained for consistency within historic districts; and residential additions should not be so large as to double the existing building footprint, regardless of lot size. Staff finds the proposed 504 square foot addition is appropriate in relation to the 1670 square foot structure.
- i. ADDITION HEIGHT – Per the Guidelines for Additions 1.B.v., generally, the height of new additions should be consistent with the height of the existing structure; the maximum height of new additions should be determined by examining the line-of-sight or visibility from the street; and the addition height should never be so contrasting as to overwhelm or distract from the existing structure. Staff finds that matching the existing maximum ridge height appropriate.
- j. ADDITION MATERIALS – Per the Guidelines for Additions 3.A.i., applicant should use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible; any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure. The applicant has proposed to use matching composition shingle roof and wood siding. Staff find that the wood siding should match or relate the primary historic structure.
- k. ADDITIONAL ARCHITECTURAL DETAILS – Per the Guidelines for Additions 4.A.i., applicants should incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure.
- l. ADDITION FENESTRATION & WINDOWS – The applicant has proposed to feature a number of one-over-one sash windows and horizontal sliding windows, which are both found on the historic structure and is appropriate if they are matching existing opening sizes. Additionally, staff finds that a number of existing windows on the primary historic structure are not depicted in the elevation drawings. Per the Historic Design Guidelines for Exterior Maintenance and Alterations 6.A.iii., applicants should preserve historic windows. Staff finds that no existing windows and opening on the side elevations should be removed or altered without review and approval.

4. DECK – The applicant has proposed to install a 120 square foot deck, centered to the rear of the proposed addition. Staff finds the proposed rear deck is not visible from the front right-of-way and is typically eligible for administrative approval but is dependent on the approval of the proposed rear addition.
5. GRADE CHANGE & FRONT STEPS – Per the submitted drawings, the front porch features a 2-foot tall foundation skirting and new front steps to the front door. Staff finds that no changes in grade is requested nor appropriate, at this time.

RECOMMENDATION:

Staff does not recommend approval of item 1. Front porch modification. The front porch should be restored to its previous configuration rather than furthering the nonconforming front porch addition.

Staff recommends approval of item 2. Replacement of the non-original front door with a new window with the stipulation:

- i. That the new front window(s) adheres to the Standard Specifications for Windows in New Construction and Additions. While no material is expressly prohibited by the Historic Design Guidelines, a high-quality wood or aluminum-clad wood window product often meets the Guidelines with the standard stipulation. If the proposed window does not meet the aforementioned stipulations, then the applicant must submit updated window specifications to staff for review, prior to purchase and installation. The proposed vinyl window with faux divided lights does not adhere to the specifications.

Staff recommends approval of item 3. Rear addition with wood deck with the following stipulations:

- ii. That a vertical trim piece should be incorporated the side elevations between new and old forms
- iii. That the wood siding profile should match or relate the primary historic structure
- iv. That the new addition windows adheres to the Standard Specifications for Windows in New Construction and Additions. While no material is expressly prohibited by the Historic Design Guidelines, a high-quality wood or aluminum-clad wood window product often meets the Guidelines with the standard stipulation. If the proposed window does not meet the aforementioned stipulations, then the applicant must submit updated window specifications to staff for review, prior to purchase and installation. The proposed vinyl window with faux divided lights does not adhere to the specifications.

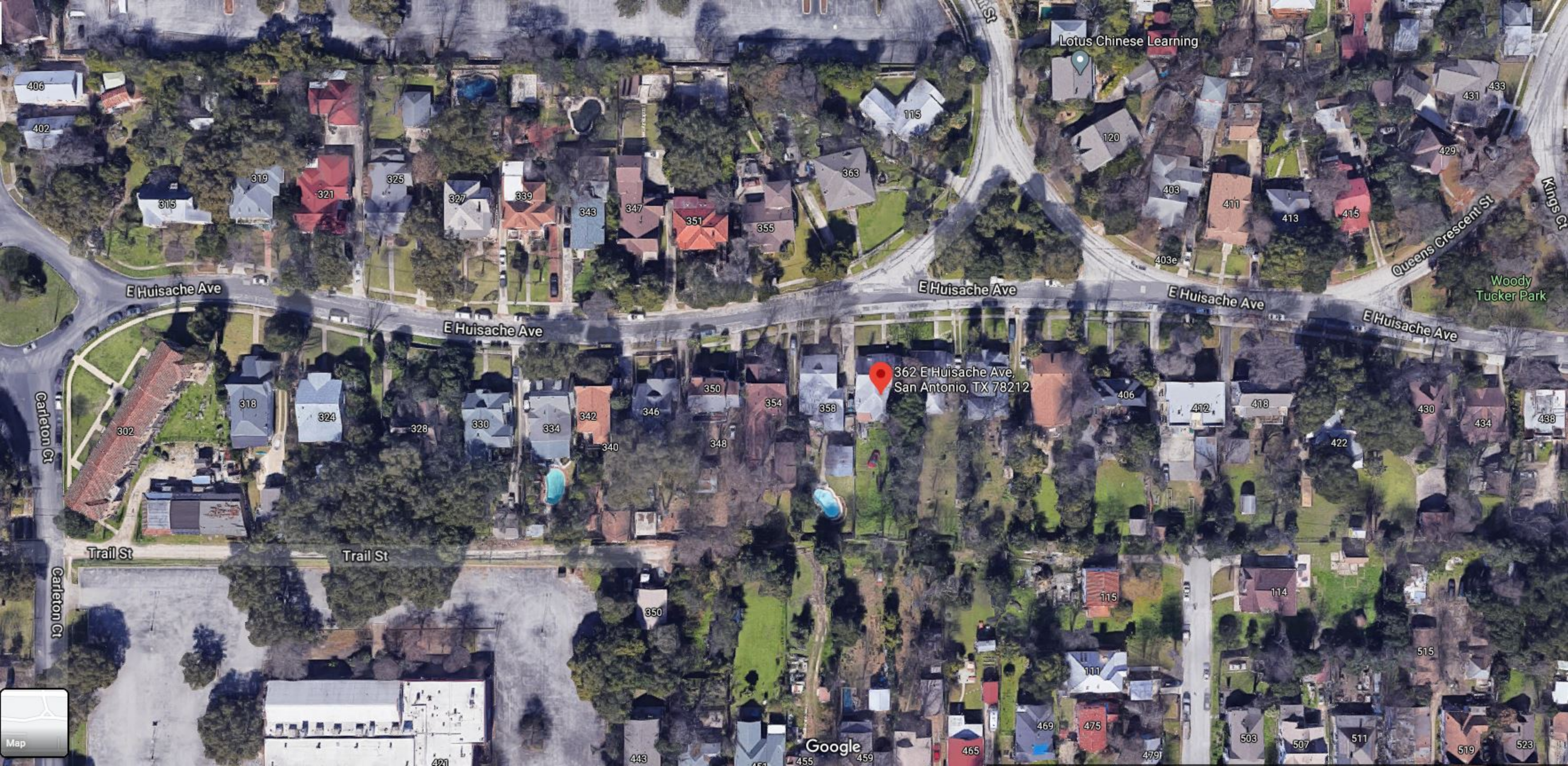
Additionally, staff stipulates that the applicant addresses the discrepancies in the submitted elevation drawings prior to the issuance of a Certificate of Appropriateness:

- v. That no existing window openings on the side elevations of the primary historic structure are being removed or altered, unless formally requested and approved.
- vi. That no front façade grade changes or front doorsteps are installed, unless formally requested and approved.

1:1,000

0 0.0075 0.015 0.03 mi

0 0.0125 0.025 0.05 km



Lotus Chinese Learning

E Huisache Ave

E Huisache Ave

E Huisache Ave

E Huisache Ave

E Huisache Ave

Woody Tucker Park

362 E Huisache Ave,
San Antonio, TX 78212

Google







362 E Huisache Ave
San Antonio, Texas

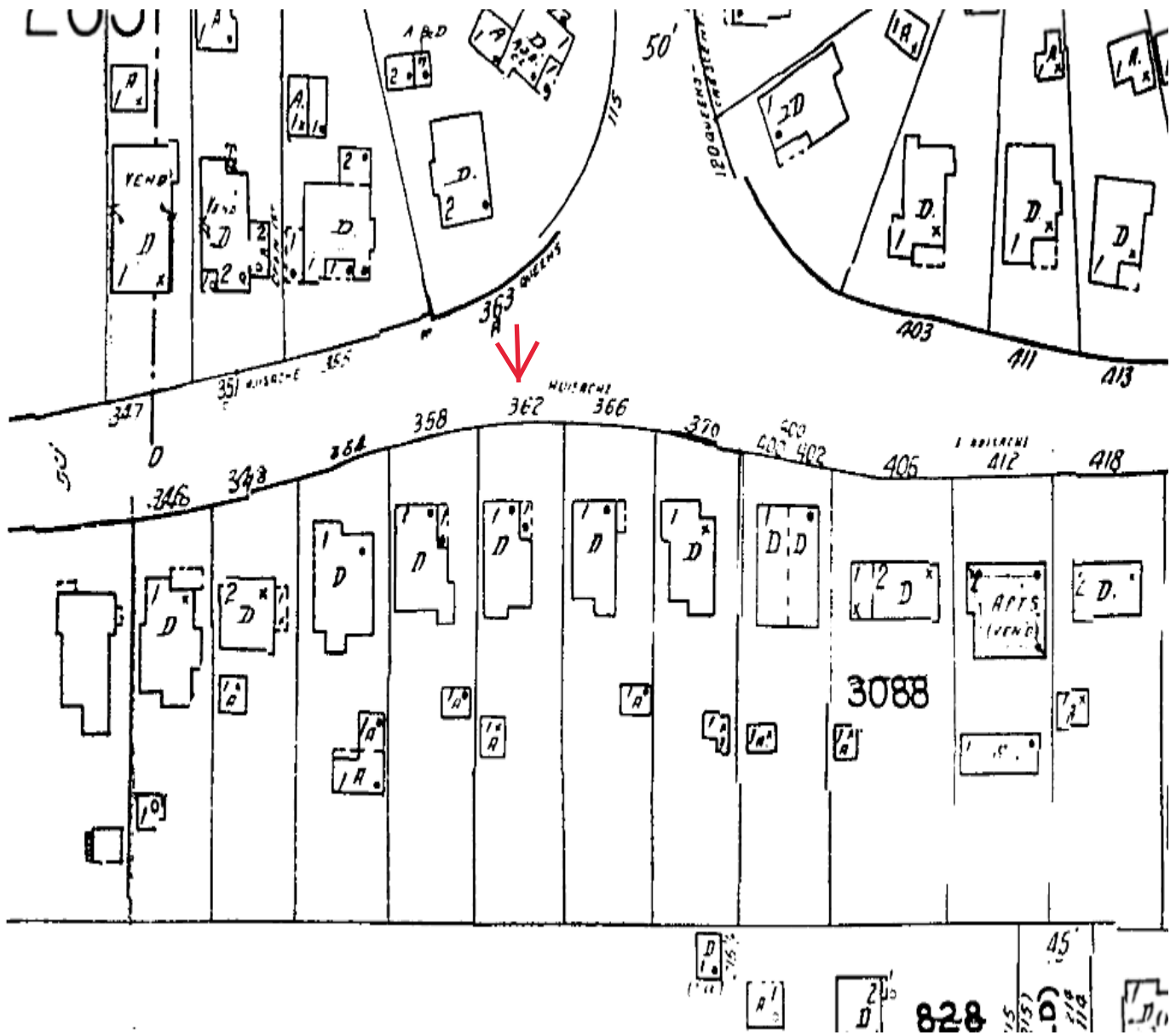
Google

Street View

362 E Huisache Ave
San Antonio, Texas

Summer Moon Coffee

NOLA Brunch & Beignets



LAND SURVEYORS, LLC.

Alamo

Westar

FIRM REGISTRATION NO.

10111700

PHONE (210) 372-9500 FAX (210) 372-9999

P.O. BOX 1645 BOERNE, TEXAS 78006

G.F. NO. 20200626

JOB NO. 103851

DRAWN BY: AMS



LEGEND

- △ = CALCULATED POINT
- = FND 1/2" IRON ROD
- = RECORD INFORMATION
- = BUILDING SETBACK
- = CONTROLLING MONUMENT
- = FIRE HYDRANT
- = WOOD FENCE
- = CHAIN LINK FENCE
- = ELECTRIC METER
- = GAS METER
- = WATER METER

FLOOD ZONE INTERPRETATION: IT IS THE RESPONSIBILITY OF ANY INTERESTED PERSONS TO VERIFY THE ACCURACY OF FEMA FLOOD ZONE DESIGNATION OF THIS PROPERTY WITH FEMA AND STATE AND LOCAL OFFICIALS, AND TO DETERMINE THE EFFECT THAT SUCH DESIGNATION MAY HAVE REGARDING THE INTENDED USE OF THE PROPERTY. The property made the subject of this survey appears to be included in a FEMA Flood Insurance Rate Map (FIRM), identified as Community No. 48029C, Panel No. 0403H, which is Dated 06/19/2020. By scaling from that FIRM, it appears that all or a portion of the property may be in Flood Zone(s) X.

Because this is a boundary survey, the surveyor did not take any actions to determine the Flood Zone status of the surveyed property other than FIRM, as described above. THIS SURVEYOR DOES NOT CERTIFY THE ACCURACY OF THIS INTERPRETATION OF THE FLOOD ZONES, which may not agree with the interpretations of FEMA or State or local officials, and which may not agree with the tract's actual conditions. More information concerning FEMA's Special Flood Hazard Areas and Zones may be found at <https://msc.fema.gov/portal>.



DATE: 01/28/2021

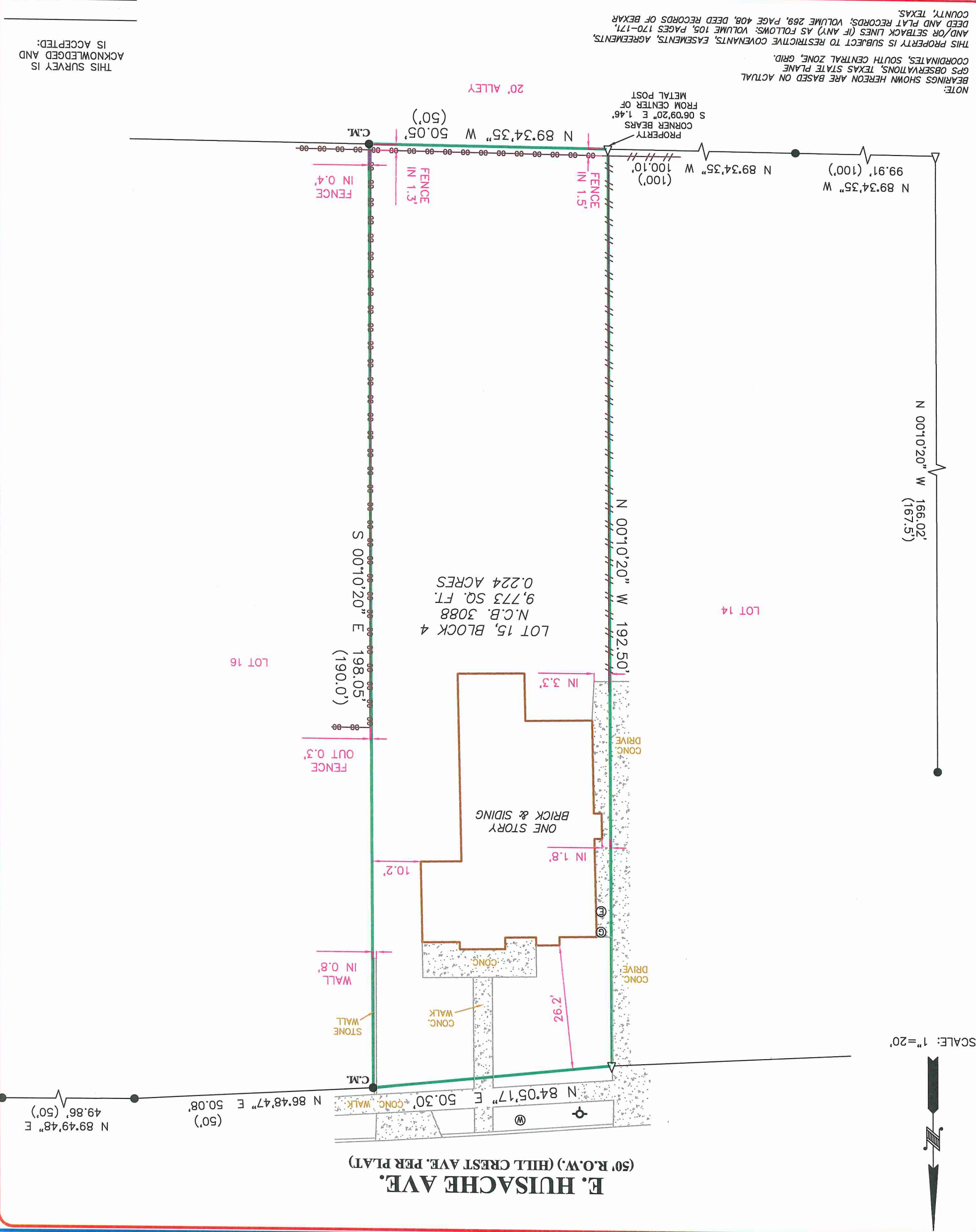
TITLE COMPANY: MY TITLE COMPANY OF TEXAS

MARK J. EWALD
Registered Professional Land Surveyor
Texas Registration No. 5095

Owner:
TRUEHOME INVESTMENTS, LLC

Property Address:
362 E. HUISACHE AVE. (HILL CREST AVE. PER PLAT)

Property Description:
LOT FIFTEEN (15), BLOCK FOUR (4), NEW CITY BLOCK 3088, LAUREL HEIGHTS TERRACE, CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS, ACCORDING TO PLAT THEREOF RECORDED IN VOLUME 105, PAGE 170-171, DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS.



NOTICE
Must Comply with UDC & IRC
Requirements

NOTICE
All permits EXPIRE after 180 days
with no activity. Ref. IRC Section
R 105.5
Customer Initial *mf*
Rep Initial *AB*

NOTICE:
Engineer's Letter Required to Clear
Foundation/Frame Inspection.
Customer Initial
Rep Initial

1.) New wooden deck
Attached to rear of
new structure on new
wooden post with new
concrete footings

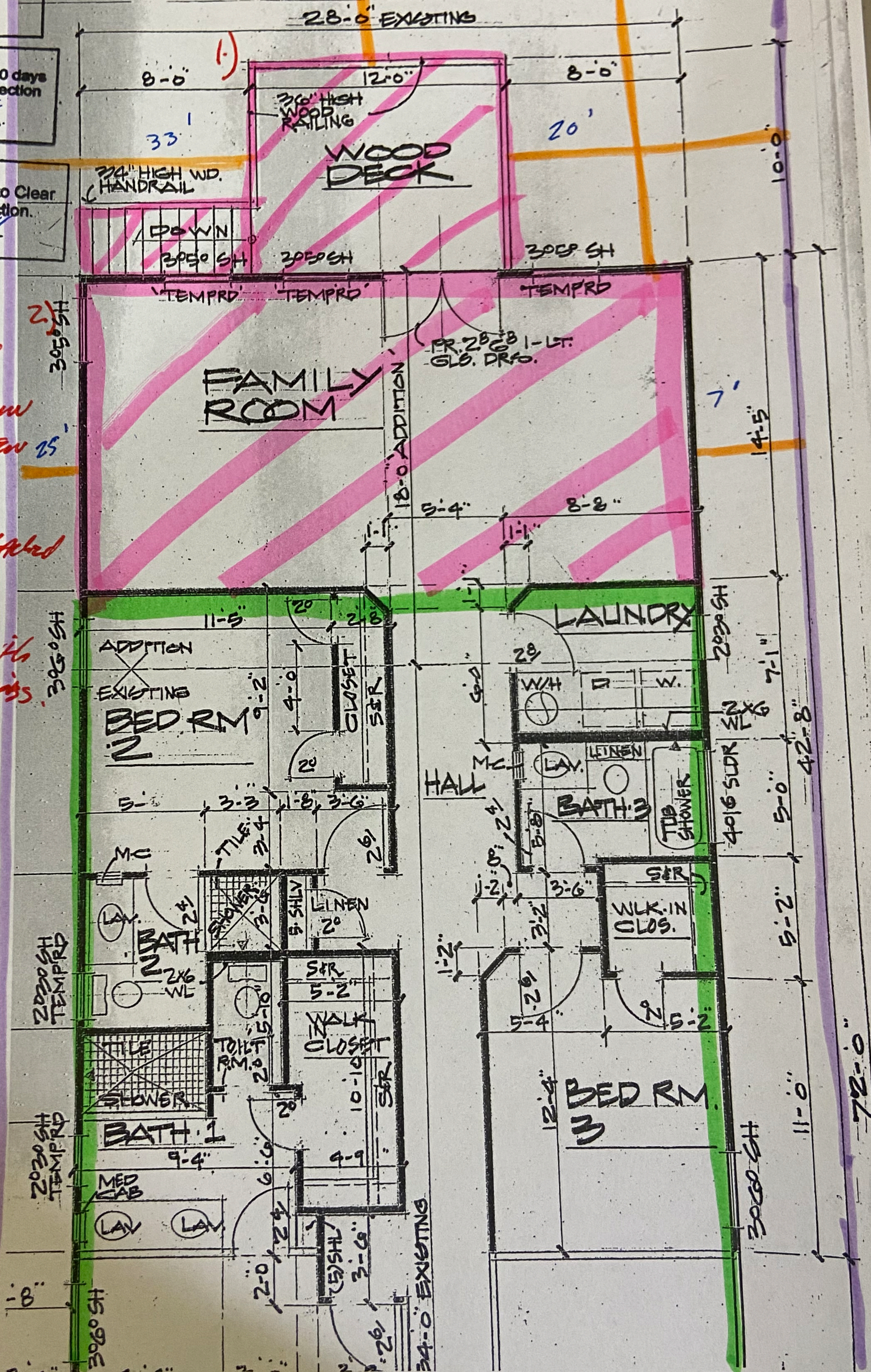
2) New structure Attached to rear of existing structure on new pier and beam with new concrete footings.

New
Structure

Existing
Structure

self backs

property
line



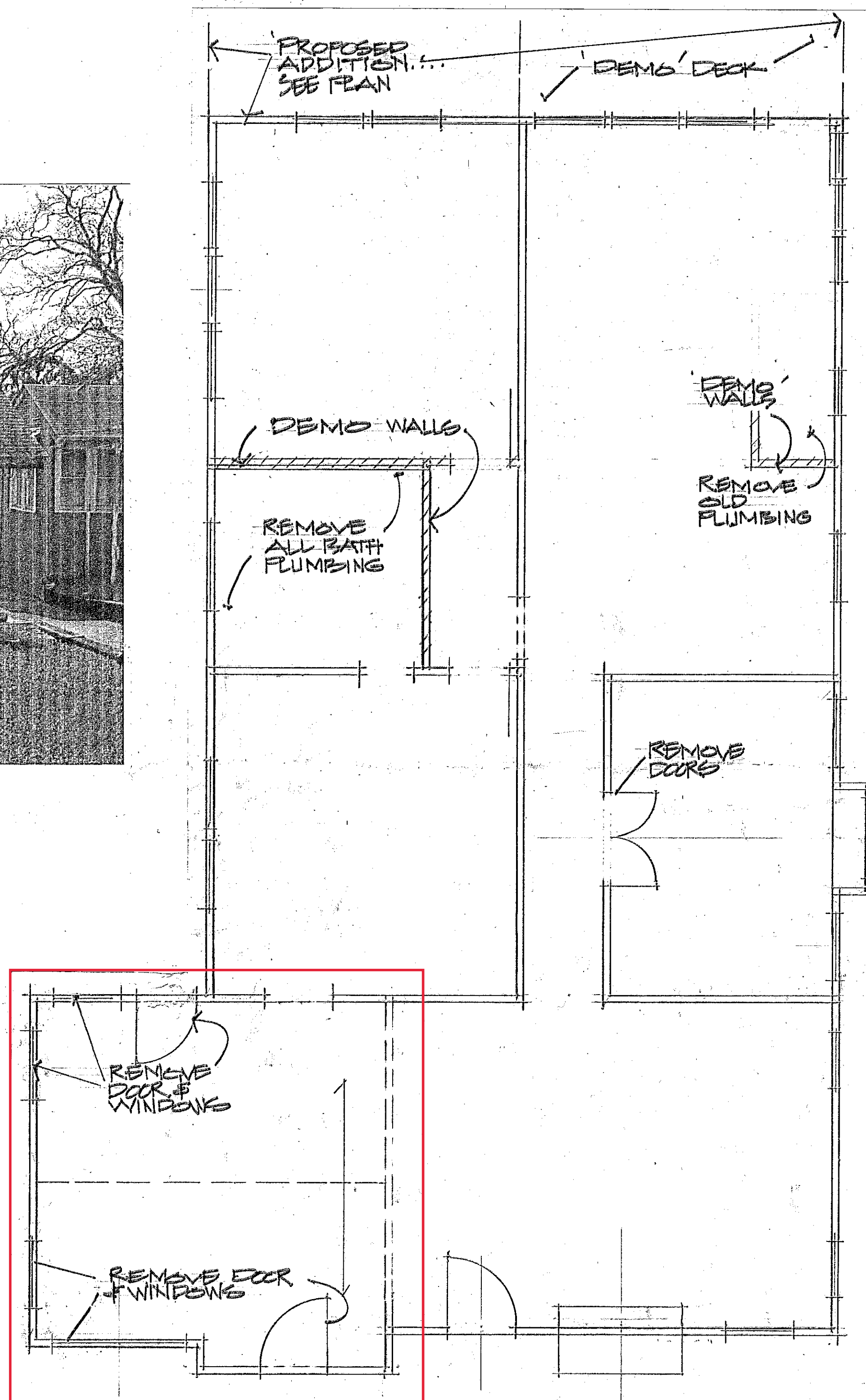


362 E HUISACHE AVENUE

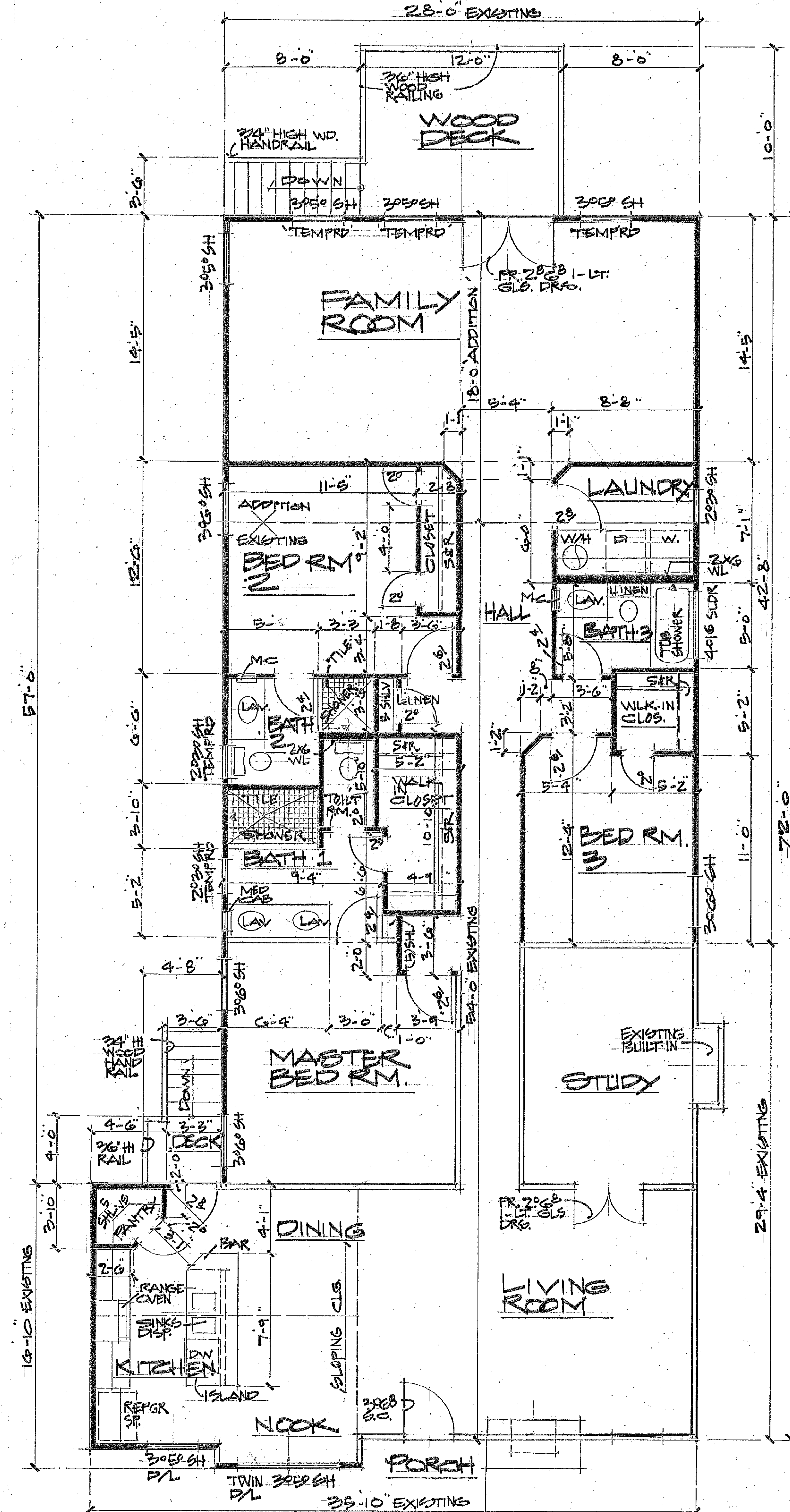
Staff finds the marked area is a front addition per the 1951 Sanborn map

Drawing or Plan meets and complies with the model version of the 2018IRC International Residential Code with Amendments, 2018IEEC International Energy Conservation Code, 2017 National Electric Code, 2018 IPC and 2018 IMC and their amendments and all other convening Building Codes as adopted by the City of San Antonio, Texas

AREA (SQ. FT.)
 EXISTING: 1,670.
 (AS-BUILT)
 ADDITION: 504.
 TOTAL: 2,174.
 WOOD DECK: 120 ±
 PORCH: 40. APPROX.



AS BUILT FLOOR PLAN
 SCALE: 1/4" = 1'-0"

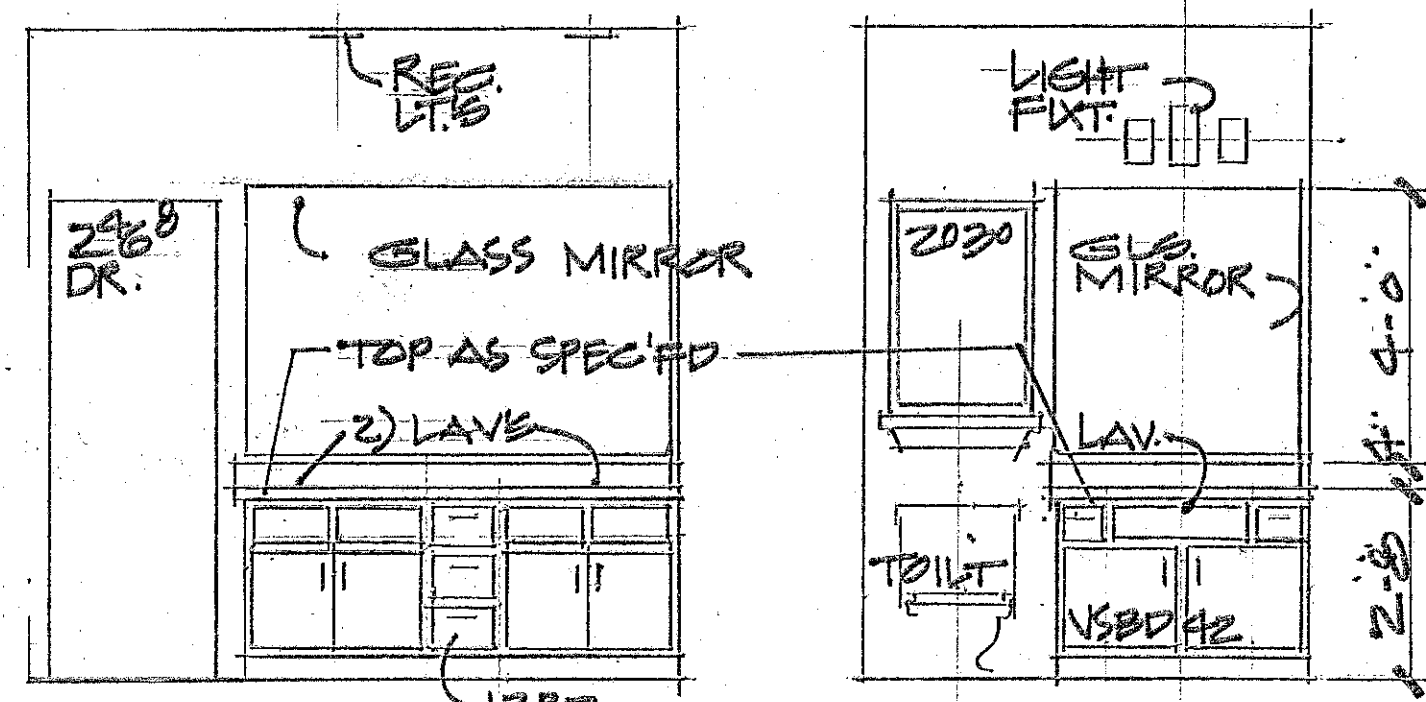


REMODEL/ADDITION FLOOR PLAN
 SCALE: 1/4" = 1'-0"

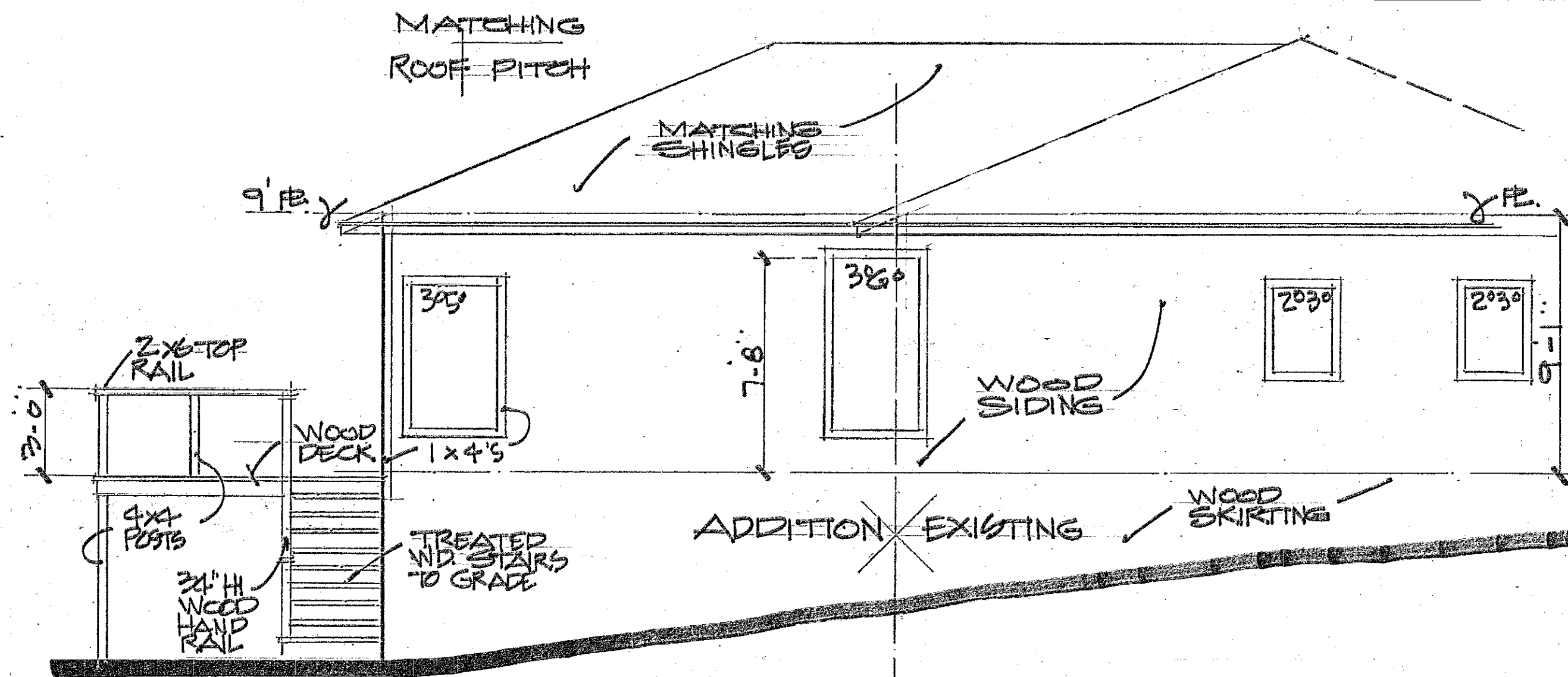
Alejandro H. Peña Jr.
 DESIGNER
 (210) 274-6446
 San Antonio, Texas
 alex@alexandropendesigner.com

Remodeling/Addition Project
 AT HOME CONTRACTING
 362 E. Huisache Ave. San Antonio, Texas

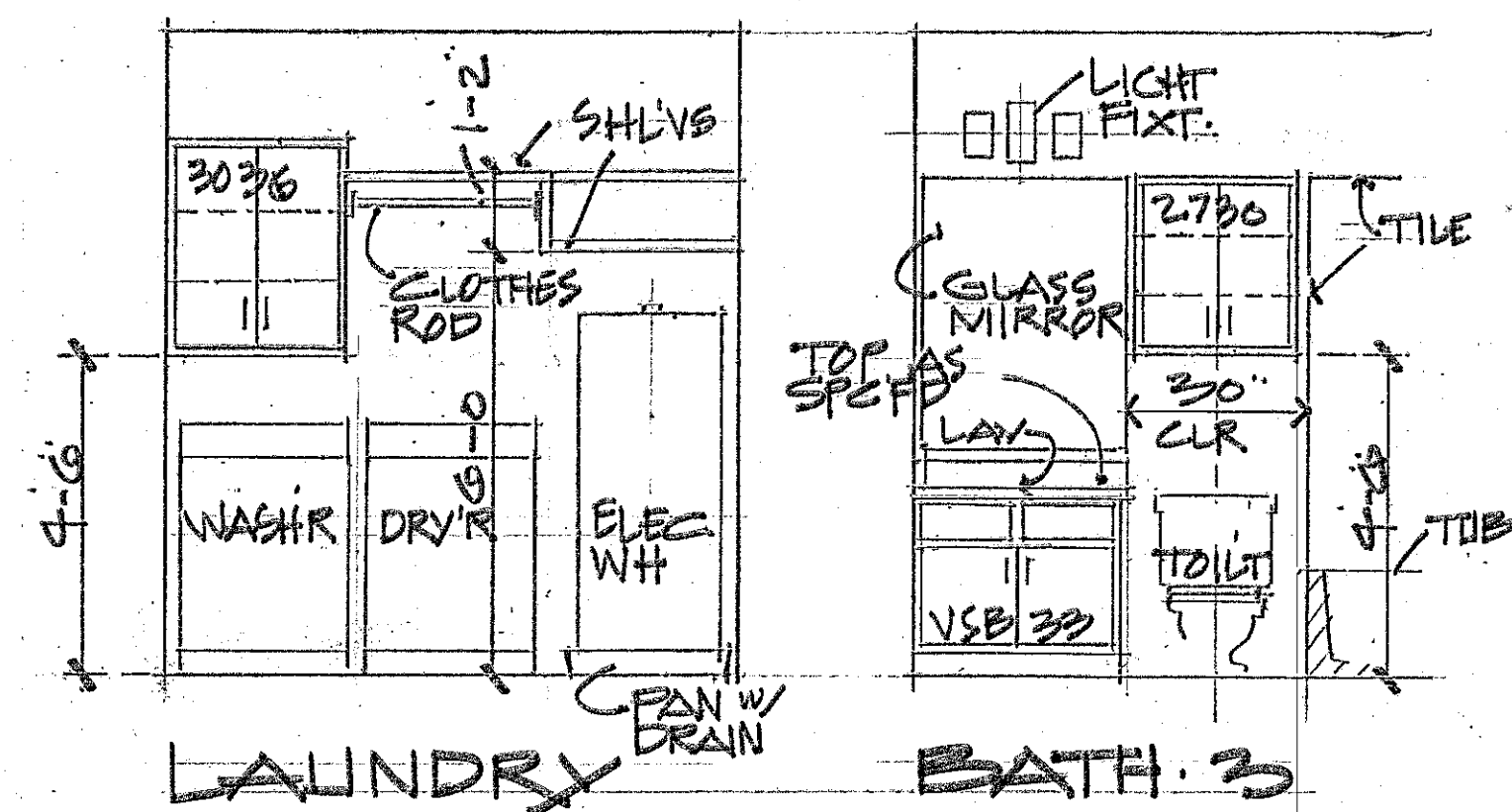
JOB NO.
 R-A 210
 SHEET
 1 OF 2



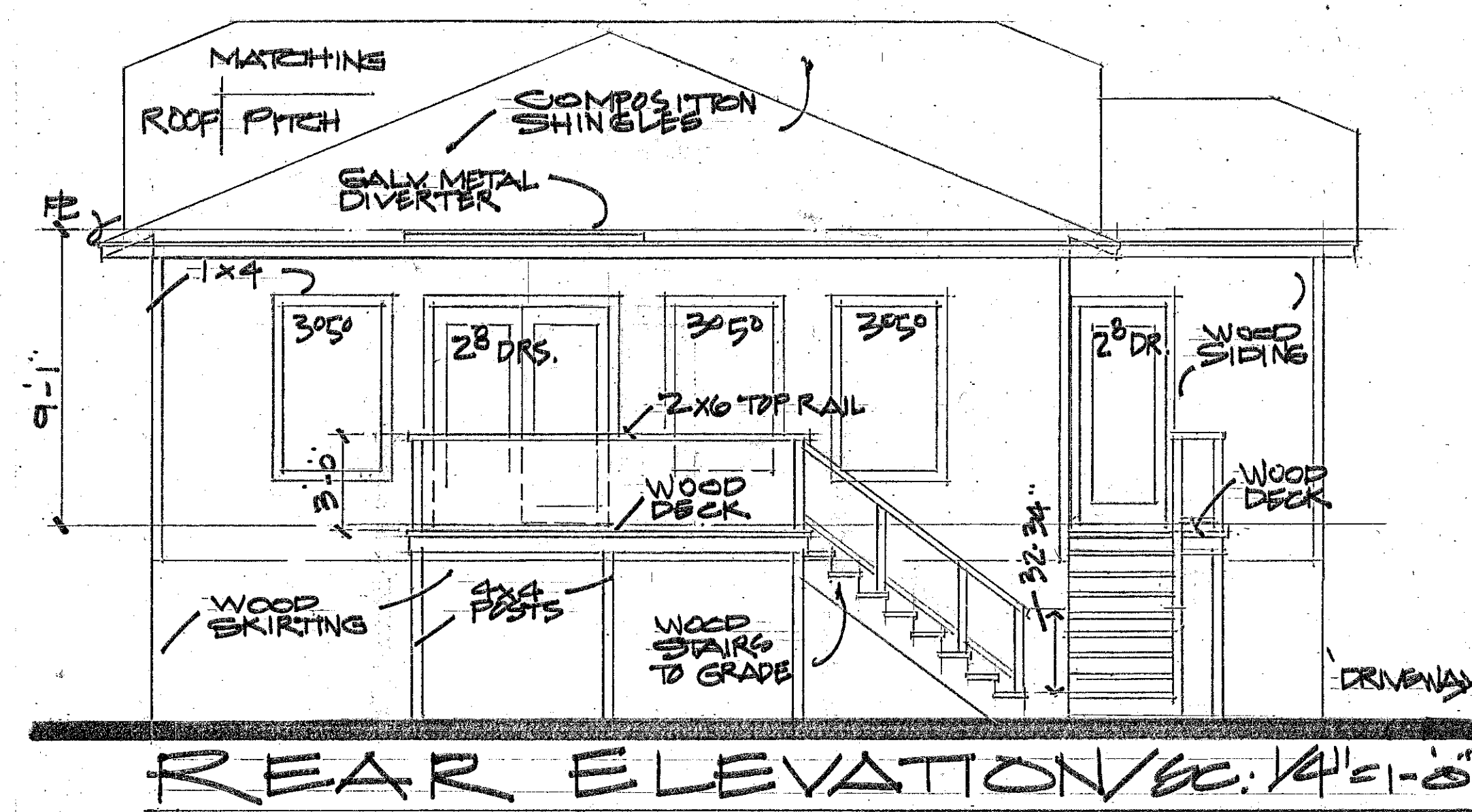
BATH 1
VANITY ELEVATIONS



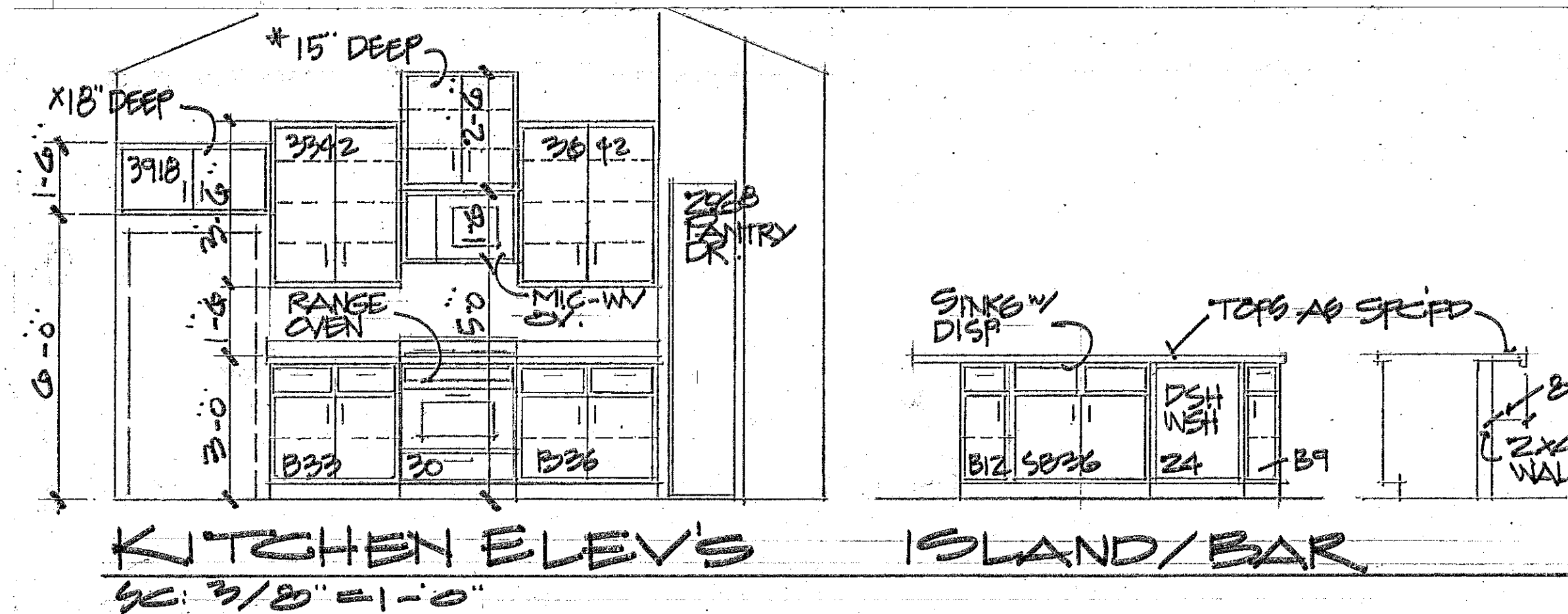
LEFT SIDE ELEVATION / SCALE: 1/4" = 1'-0"



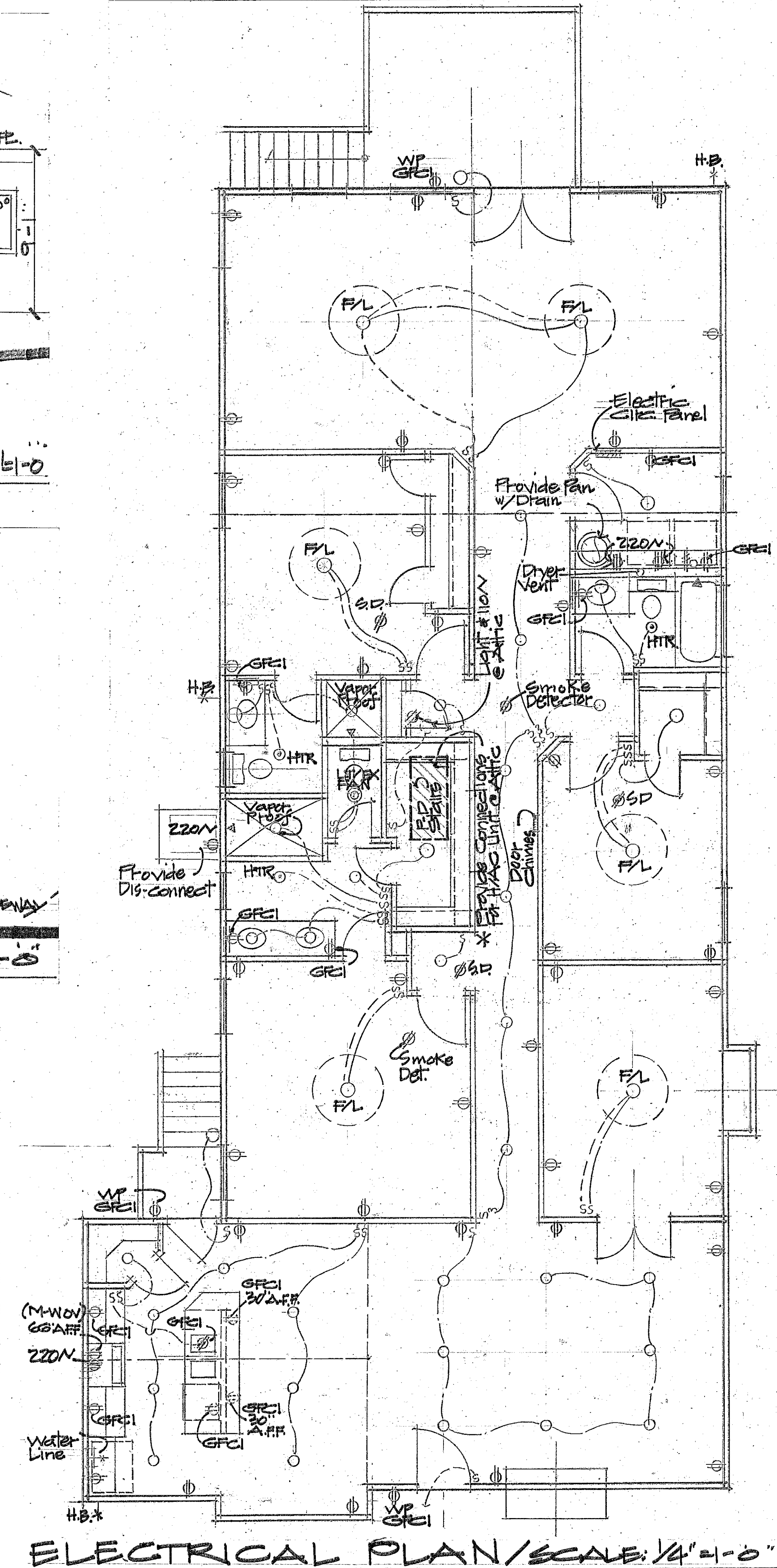
LAUNDRY BATH 3



REAR ELEVATION / SCALE: 1/4" = 1'-0"



KITCHEN ELEVATIONS ISLAND/BAR
SCALE: 3/8" = 1'-0"



ELECTRICAL PLAN / SCALE: 1/4" = 1'-0"

This Drawing or Plan meets and complies with the model version of the 2018IRC International Residential Code with Amendments, 2018IEEC International Energy Conservation Code, 2017 National Electric Code, 2018 IPC and 2018 IMC and their amendments and all other convening Building Codes as adopted by the City of San Antonio, Texas

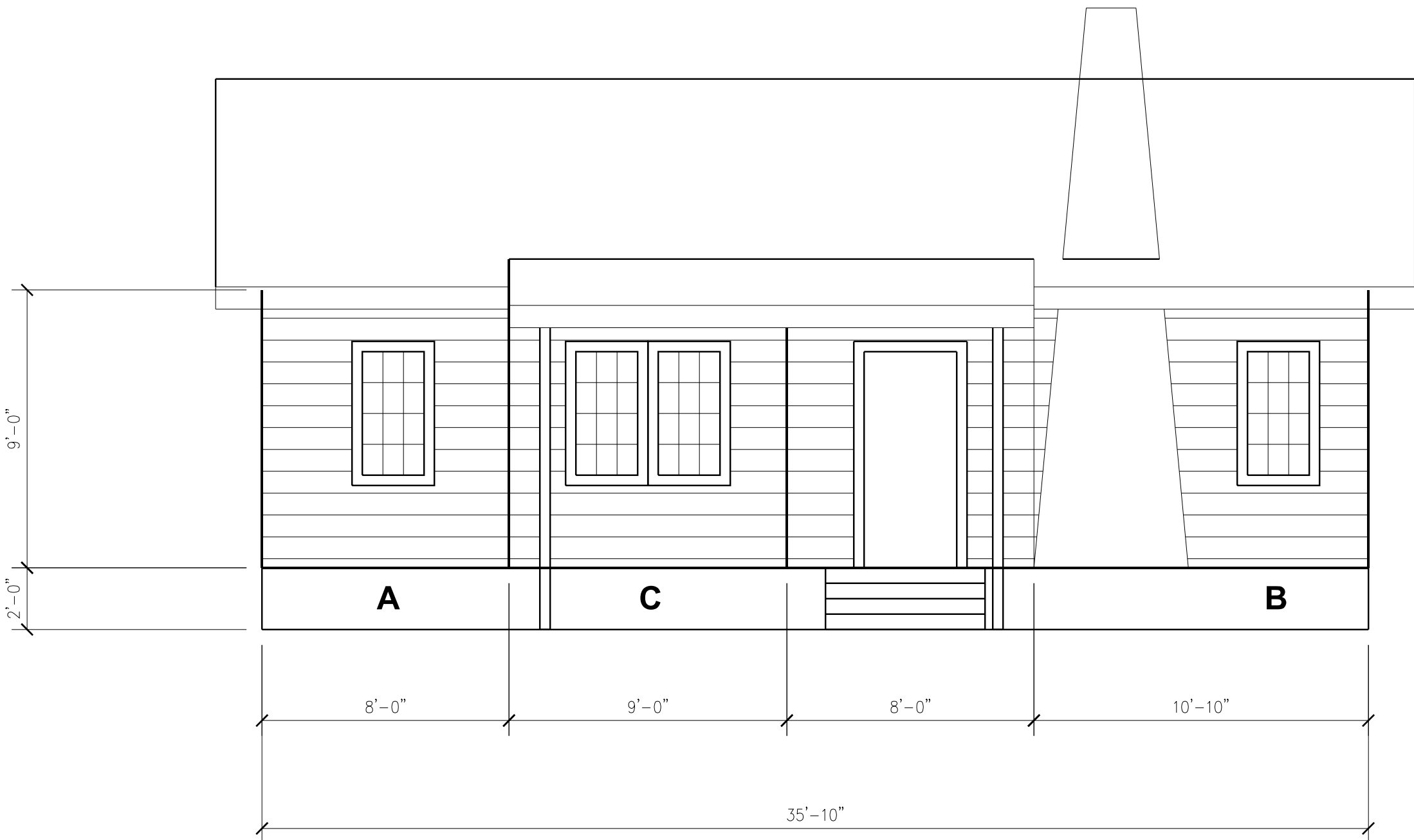


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Remodeling/Addition Project
AT HOME CONTRACTING
362 E. Huisache Ave. San Antonio, Texas

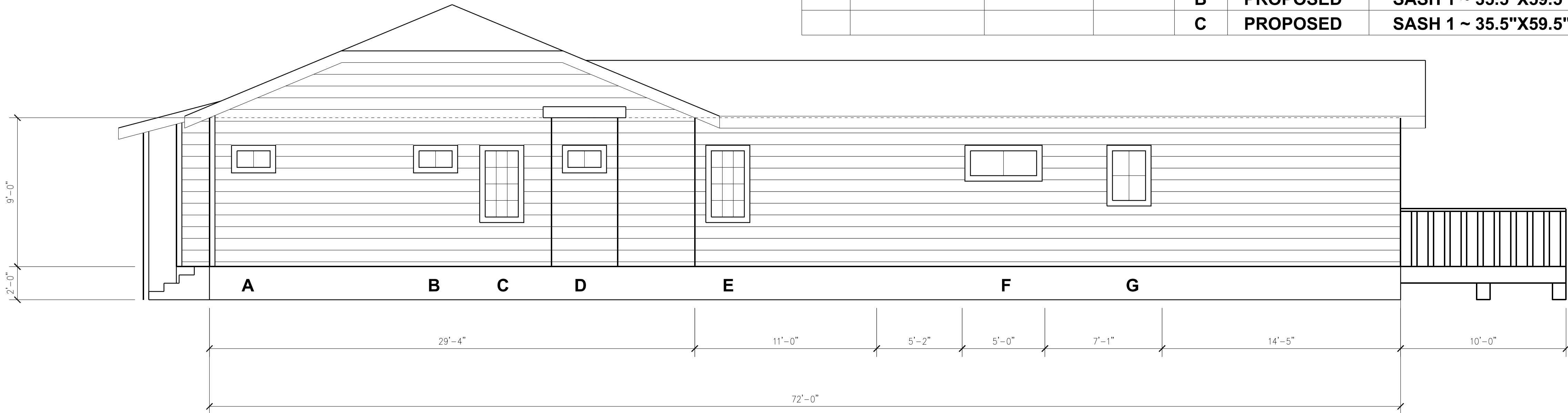
JOB NO.
R-A 210
SHEET
2 OF 2

- o MATERIAL: If full window replacement is approved, the new windows must feature primed and painted wood exterior finish, Clad, composition, or non-wood options are not allowed unless explicitly approved by the commission.
- o SASH: Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- o DEPTH: There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness.
- o TRIM: Original trim details and sills should be retained or repaired in kind. If approved, new window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail. Window track components such as jamb liners must be painted to match the window trim or concealed by a wood window screen set within the opening.
- o GLAZING: Replacement windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature real exterior muntins.
- o COLOR: Replacement windows should feature a painted finished. If a clad product is approved, white or metallic manufacturer's color is not allowed, and color selection must be presented to staff.
- o INSTALLATION: Replacement windows should be supplied in a block frame and exclude nailing fins. Window opening sizes should not be altered to accommodate stock sizes prior to approval.



FRONT ELEVATION

SCALE=1:6



RIGHT ELEVATION

SCALE=1:6

WINDOW SCHEDULE

LEFT ELEVATION		
A	EXISTING	36"X42"
B	EXISTING	36"X42"
C	EXISTING	36"X42"
D	EXISTING	36"X64"
E	EXISTING	36"X64"
F	EXISTING	47"X47"
G	EXISTING	32"X60"
H	EXISTING	32"X60"
I	EXISTING	32"X60"
FRONT ELEVATION		
A	EXISTING	40"X60"
B	EXISTING	70"X52"
RIGHT ELEVATION		
A	EXISTING	32"X20"
B	EXISTING	32"X20"
C	EXISTING	28"X60"
D	EXISTING	32"X20"
E	EXISTING	28"X60"
F	EXISTING	32"X52"
G	EXISTING	24"X36"

WINDOW SCHEDULE

LEFT ELEVATION		
A	REMOVE	36"X42"
B	REMOVE	36"X42"
C	REMOVE	36"X42"
D	PROPOSED	SASH 1 ~ 35.5"X59.5"
E	PROPOSED	SASH 1 ~ 35.5"X59.5"
F	PROPOSED	SASH 1 ~ 23.5"X35.5"
G	PROPOSED	SASH 1 ~ 23.5"X35.5"
H	PROPOSED	SASH 1 ~ 35.5"X59.5"
I	PROPOSED	SASH 1 ~ 35.5"X59.5"
FRONT ELEVATION		
A	EXISTING	40"X60"
B	PROPOSED	SASH 1 ~ 35.5"X59.5"
C	PROPOSED	SASH 2 ~ 35.5"X59.5"
RIGHT ELEVATION		
A	EXISTING	32"X20"
B	EXISTING	32"X20"
C	EXISTING	28"X60"
D	EXISTING	32"X20"
E	PROPOSED	SASH 1 ~ 35.5"X59.5"
F	PROPOSED	1 ~ 48"X18"
G	PROPOSED	SASH 1 ~ 23.5"X35.5"
BACK ELEVATION		
A	PROPOSED	SASH 1 ~ 35.5"X59.5"
B	PROPOSED	SASH 1 ~ 35.5"X59.5"
C	PROPOSED	SASH 1 ~ 35.5"X59.5"

E & A Engineering and Construction

Designer, Engineer, Planner, Consultant
322 Yale Ave., San Antonio, TX. 78201
210-913-2469
FIRM # 12012

REMODELING / ADDITION PROJECT AT HOME CONTRACTING

362 E. HUISACHE
SAN ANTONIO, TX.
78212

PROJECT NO: 2-2021

DATE: 2-23-21

SHEET NO:

A2



















PLY GEM

NEW CONSTRUCTION
READ ALL INSTRUCTIONS
BEFORE BEGINNING

INSTALLATION INSTRUCTIONS

1. Read all instructions carefully before beginning installation.

2. Verify the opening is square and true.

3. Check the rough opening dimensions against the window specifications.

4. Prepare the rough opening by removing any obstructions and ensuring proper framing.

5. Install the window into the rough opening, ensuring it is level and plumb.

6. Secure the window to the framing using the provided fasteners.

7. Check the operation of the window, ensuring it opens and closes smoothly.

8. Seal the window to the rough opening using the provided sealant.

9. Clean the window glass and frame.

10. Dispose of the packaging materials properly.

WARNING: Do not use power tools to install the window. Use only the provided fasteners and tools.

CAUTION: Do not touch the glass. The glass is fragile and may break if touched.

NOTES: The window is designed for use in new construction. It is not intended for use in existing structures.

Dimensions: 48" x 96" (Overall)

Weight: 150 lbs (Approximate)

Material: Aluminum

Finish: White

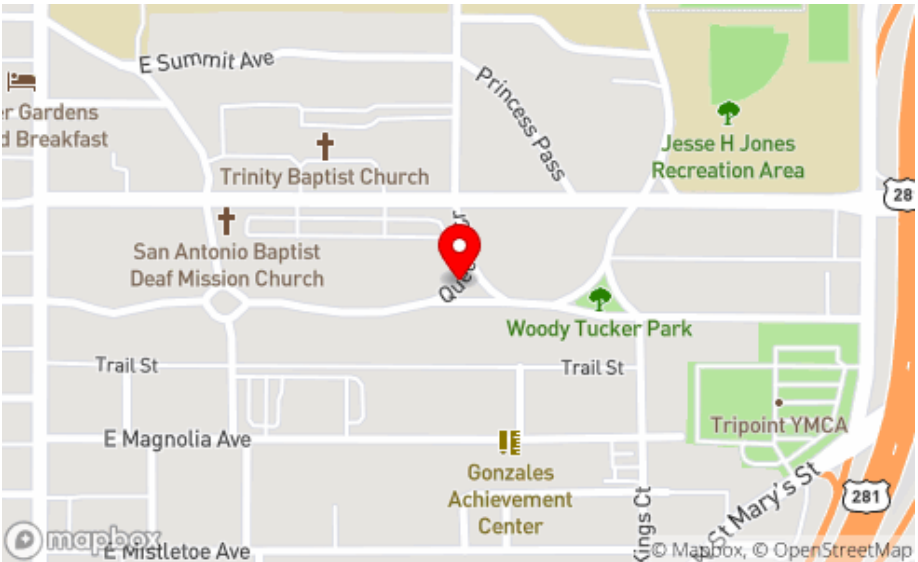
Screen: Yes

Warranty: 5 Year Limited



Investigation Report

Property

Address	362 E Huisache
District/Overlay	Monte Vista
Owner Information	GUERRA JUVENTINO JR
Location Map	
	Lat: 29.4559917868224 Long: -98.4870014790923

Site Visit

Date	01/11/2021
Time	09:46 AM (-6 GMT)
Context	citizen report
Present Staff	Huy Pham, Edward Hall
Present Individuals	None
Types of Work Observed	Exterior Maintenance and Alterations
Amount of Work Completed	Initiated
Description of work	Roof modifications, initiation of exterior modifications including some trim and siding removal, rear patio framed out.

Action Taken

Violation Type	No Certificate of Appropriateness (Code 35-451a)
OHP Action	Posted "Notice of Investigation", Posted additional "Stop Work Notice"
Will post-work application fee apply?	To be determined

Documentation



Investigation Report

Photographs





Investigation Report





Investigation Report





Investigation Report

