

# HISTORIC AND DESIGN REVIEW COMMISSION

May 18, 2016

Agenda Item No: 11

**HDRC CASE NO:** 2016-084  
**ADDRESS:** 714 N PINE ST  
**LEGAL DESCRIPTION:** NCB 1659 BLK G LOT 5  
**ZONING:** R6 H  
**CITY COUNCIL DIST.:** 2  
**DISTRICT:** Dignowity Hill Historic District  
**APPLICANT:** Sergio Duran/Three Design Consulting  
**OWNER:** Jennifer and Leo Naeger  
**TYPE OF WORK:** Fenestration changes, new addition, porch and garage repairs  
**REQUEST:**

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Reconstruct the front porch to include new wooden columns and a new entablature between the first and second floors at the front porch.
2. Reconstruct a circular round window at the front gable.
3. Remove existing window openings.
4. Create new window openings.
5. Construct a porte-cochere on the south façade.
6. Construct a sun room addition on the east façade.
7. Stabilize and repair the existing detached garage.
8. Replace existing fencing on the property with a 6-foot wood privacy fence and install a four-foot wrought iron fence with driveway gate in the front yard.

## APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations*

### 7. Architectural Features: Porches, Balconies, and Porte-Cocheres

#### A. MAINTENANCE (PRESERVATION)

- Existing porches, balconies, and porte-cocheres*—Preserve porches, balconies, and porte-cocheres. Do not add new porches, balconies, or porte-cocheres where not historically present.
- Balusters*—Preserve existing balusters. When replacement is necessary, replace in-kind when possible or with balusters that match the originals in terms of materials, spacing, profile, dimension, finish, and height of the railing.
- Floors*—Preserve original wood or concrete porch floors. Do not cover original porch floors of wood or concrete with carpet, tile, or other materials unless they were used historically.

#### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- Front porches*—Refrain from enclosing front porches. Approved screen panels should be simple in design as to not change the character of the structure or the historic fabric.
- Side and rear porches*—Refrain from enclosing side and rear porches, particularly when connected to the main porch or balcony. Original architectural details should not be obscured by any screening or enclosure materials. Alterations to side and rear porches should result in a space that functions, and is visually interpreted as, a porch.
- Replacement*—Replace in-kind porches, balconies, porte-cocheres, and related elements, such as ceilings, floors, and columns, when such features are deteriorated beyond repair. When in-kind replacement is not feasible, the design should be compatible in scale, massing, and detail while materials should match in color, texture, dimensions, and finish.
- Adding elements*—Design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance.
- Reconstruction*—Reconstruct porches, balconies, and porte-cocheres based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the building and historic patterns.

## 9. Outbuildings, Including Garages

### A. MAINTENANCE (PRESERVATION)

- i. Existing outbuildings*—Preserve existing historic outbuildings where they remain.
- ii. Materials*—Repair outbuildings and their distinctive features in-kind. When new materials are needed, they should match existing materials in color, durability, and texture. Refer to maintenance and alteration of applicable materials above, for additional guidelines.

### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. Garage doors*—Ensure that replacement garage doors are compatible with those found on historic garages in the district (e.g., wood paneled) as well as with the principal structure. When not visible from the public right-of-way, modern paneled garage doors may be acceptable.
- ii. Replacement*—Replace historic outbuildings only if they are beyond repair. In-kind replacement is preferred; however, when it is not possible, ensure that they are reconstructed in the same location using similar scale, proportion, color, and materials as the original historic structure.
- iii. Reconstruction*—Reconstruct outbuildings based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the primary building and historic patterns in the district. Add permanent foundations to existing outbuildings where foundations did not historically exist only as a last resort.

## *Historic Design Guidelines, Chapter 3, Guidelines for Additions*

### 1. Massing and Form of Residential Additions

#### A. GENERAL

- i. Minimize visual impact*—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.
- ii. Historic context*—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.
- iii. Similar roof form*—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. Transitions between old and new*—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

#### B. SCALE, MASSING, AND FORM

- i. Subordinate to principal facade*—Design residential additions, including porches and balconies, to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- ii. Rooftop additions*—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.
- iii. Dormers*—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.
- iv. Footprint*—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.
- v. Height*—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

### 3. Materials and Textures

#### A. COMPLEMENTARY MATERIALS

- i. Complementary materials*—Use materials that match in type, color, and texture and include an offset or reveal to

distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.

*ii. Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alternations and Maintenance section for additional specifications regarding metal roofs.

*iii. Other roofing materials*—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

## B. INAPPROPRIATE MATERIALS

*i. Imitation or synthetic materials*—Do not use imitation or synthetic materials, such as vinyl siding, brick or simulated stone veneer, plastic, or other materials not compatible with the architectural style and materials of the original structure.

## C. REUSE OF HISTORIC MATERIALS

*i. Salvage*—Salvage and reuse historic materials, where possible, that will be covered or removed as a result of an addition.

## 4. Architectural Details

### A. GENERAL

*i. Historic context*—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.

*ii. Architectural details*—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.

*iii. Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

## *Historic Design Guidelines, Chapter 5, Guidelines for Site Elements*

## 2. Fences and Walls

### B. NEW FENCES AND WALLS

*i. Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.

*ii. Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.

*iii. Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.

*iv. Prohibited materials*—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.

*v. Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure.

*vi. Screening incompatible uses*—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

## 3. Landscape Design

## B. ROCKS OR HARDSCAPE

- i. Impervious surfaces*—Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.
- ii. Pervious and semi-pervious surfaces*—New pervious hardscapes should be limited to areas that are not highly visible, and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.
- iii. Rock mulch and gravel* - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

## 5. Sidewalks, Walkways, Driveways and Curbing

### A. SIDEWALKS AND WALKWAYS

- i. Maintenance*—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.
- ii. Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.
- iii. Width and alignment*— Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.
- iv. Stamped concrete*—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.
- v. ADA compliance*—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

### B. DRIVEWAYS

- i. Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration

## FINDINGS:

- a. This request received conceptual approval on April 6, 2016, with the stipulations that additional details be provided that illustrate the termination of the wrap-around porch at the bay window, that the proposed chimney incorporate a historically-appropriate width or be redesigned as an internal chimney, and that details regarding the proposed porte-cochere be presented to the Design Review Committee.
- b. The Design Review Committee met to review this request on May 10, 2016. At that meeting, the committee was satisfied with the detailing provided for the proposed porch. The committee noted that the location of the proposed porte cochere was appropriate. The committee also recommended that a four-foot front yard fence be allowed. Design issues related to the chimney form have also been resolved.
- c. The structure at 714 N Pine was constructed circa 1905 featuring traditional architectural elements including a wraparound front porch, roof gables with shingle siding and a front roof gable featuring a circular window all of which have been removed over the course of its existence. Recently, work has been done to restore the house based on the current façade configurations. In the course of the recent construction, evidence or remains of the original architectural features have been revealed.
- d. The 1911 Sanborn maps indicate that the structure originally featured a wraparound porch. Structures that feature similar massing and architectural styles as this structure are featured in the Dignowity Hill Historic District, such as 1005 Nolan in regards to massing and front porch arrangement and 724 N Olive in regards to column arrangement as it relates to the structure's wraparound porch.
- e. The applicant has proposed to reconstruct the original wraparound porch as shown in the Sanborn and through this proposal has incorporated column placement that is architecturally appropriate. Under the front porch gable, the applicant has proposed to install double columns on both the first and second levels located at the gable ends. To the right of the double columns and along the wraparound porch, the applicant has proposed to install single columns on both the first and second levels that appropriate in regards to their spacing and placement.
- f. To the rear (east) of the existing bay, the applicant has proposed to construct a porte-cochere that is to feature an entablature that is located consistently with that featured on the wraparound porch. Staff finds the proposed massing and location of the porte-cochere appropriate and consistent with the Guidelines.

- g. As noted in finding a, the structure originally featured a circular window in the front roof gable. The applicant has proposed to reinstall this element as well as remove the current gable siding and install wood shingles. This is appropriate and consistent with the Guidelines for Exterior Maintenance and Alterations.
- h. The applicant has agreed to maintain and repair all original windows and window/door openings consistent with the Historic Design Guidelines.
- i. On the north façade, there are currently nine window openings, seven of which face north while the other two face west toward N Pine. The applicant has proposed to repair each of these windows as well as maintain all original window openings. Additionally, the applicant has proposed to install wood shingles on the side gable. This is appropriate and consistent with the Guidelines.
- j. On the north façade, the applicant has proposed to install a new chimney featuring one fireplace on the first floor. Historically, chimneys on two story houses would feature a fireplace on the second floor, producing a chimney with double width extending to the height of the fireplace on the second floor. The applicant has revised the chimney form to be more consistent with historic precedents.
- k. Toward the rear of the house on the south façade, there is a row of four windows on both the first and second floor. The applicant has proposed to enclose the two middle window openings from the first floor grouping as well as the second floor grouping and cover with siding. While removing window openings is generally not consistent with the Guidelines for Exterior Maintenance and Alterations which states to preserve existing window openings, staff finds that these openings are likely not original and it is appropriate to modify the fenestration pattern at this portion of the façade only.
- l. On the east façade of the existing structure, the applicant has proposed to construct a two story sunroom addition. The applicant has proposed a similar roof form, columns that are comparable in scale to those on the front façade, wood windows and similar entablatures and details. The applicant's proposal is consistent with the Guidelines for Additions.
- m. At the rear of the property, the applicant has proposed to stabilize an existing accessory structure. Included in this stabilization, the applicant has proposed to repair the foundation, repair the existing garage doors and maintain the existing siding. This is consistent with the Guidelines for Exterior Maintenance and Alterations.
- n. The property is currently bounded on the sides and rear by a chain link fence. The applicant has proposed to remove this fence and install a wood fence. This is consistent with the Guidelines for Site Elements. The current fence may not be correctly located on the property line, and if replace, may need to be relocated based on the most recent survey.
- o. Front yard fences are historically found at some properties in the Dignowity Hill Historic District. While there are no historic fences located on this block of N Pine, the neighboring fence features a chain link front yard fence and sections of chain link extend to the front property line at 714 N Pine. The proposal to install a simple, four-foot wrought iron fence is appropriate and consistent with the Guidelines for Site Elements.
- p. The site currently features a front driveway approach, but no driveway. The applicant has proposed to install a driveway of eight feet in width to span from N Pine to the rear of the property on a proposed concrete parking pad that is to be forty feet in width and twenty-two feet in depth. The historic example on N Pine is for driveways to be located on the south side of the house. The applicant's driveway proposal is consistent with the Guidelines for Site Elements 5.B., and the location of the concrete parking pad in the rear of the property appropriate.

**RECOMMENDATION:**

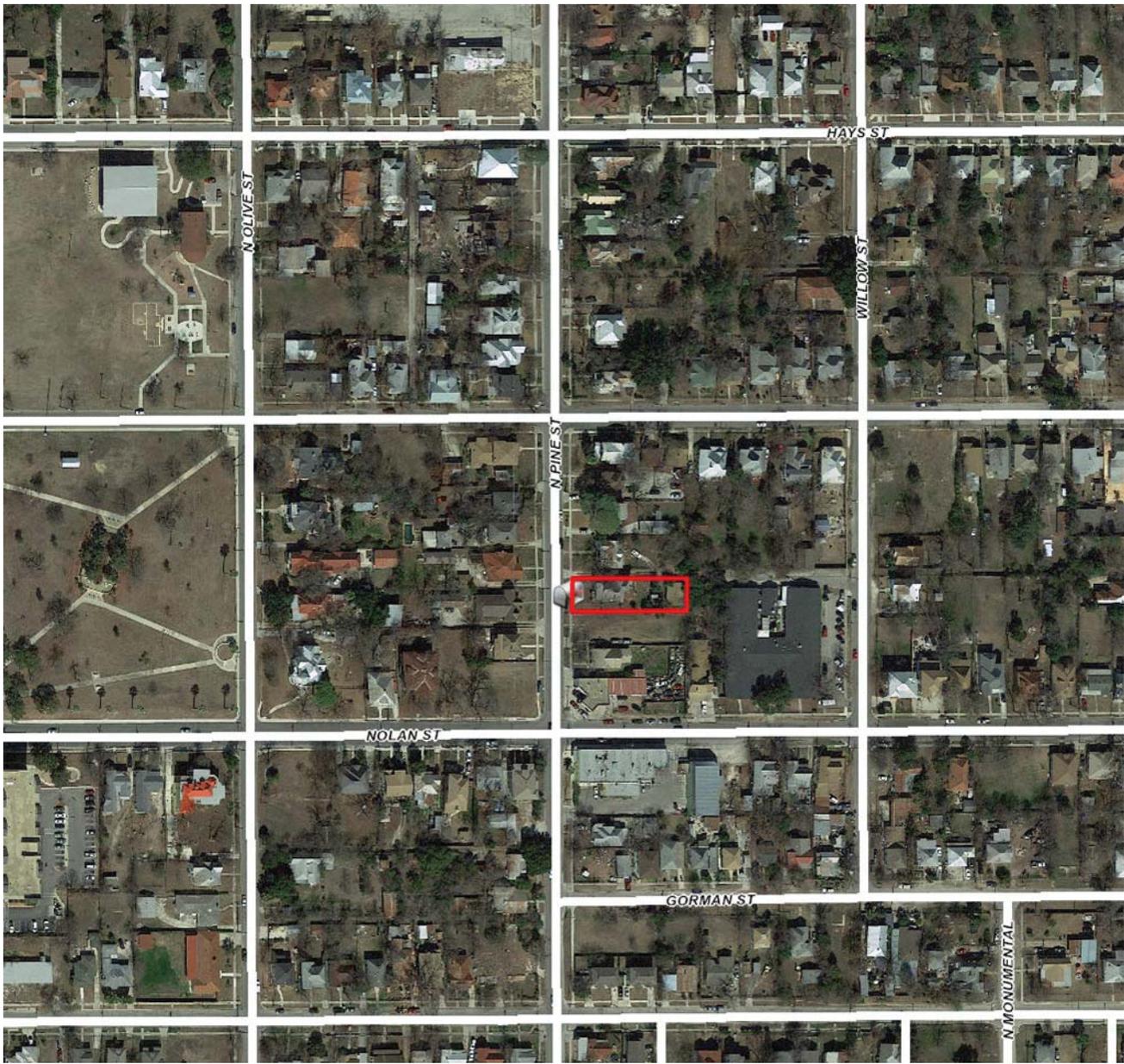
1-8. Staff recommends approval as submitted based on findings a through p.

**CASE COMMENTS:**

The applicant is responsible for meeting all setback and other requirements of the Unified Development Code. The final construction height of an approved fence may not exceed the maximum height as approved by the HDRC at any portion of the fence. Additionally, all fences must be permitted and meet the development standards outlined in UDC Section 35-514.

**CASE MANAGER:**

Cory Edwards



**714 N Plne**

**Dignowity Hill**

Printed:Feb 16, 2016

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**Naeger Residence  
714 N. Pine Street  
San Antonio, Texas**

**PROPOSED WORK NARRATIVE:**

In an effort to bring back elements of original structure, front porch columns will be reconstructed. An entablature will be added around the porch to highlight the craftsmanship of the era and reflect architecture around some of the surrounding residences. In order to facilitate access and bring the residence to today's needs, while keeping within the traditional texture, a porte-cochere will be added on the South side of the residence, which will take advantage of the existing driveway access from the front street. The porte-cochere will be attached to the main structure, but will be recessed back in an effort to respect the importance and authenticity of the front façade. In an effort to keep the porte-cochere proportionate to the front façade, columns an intermediate column will be added to reduce the opening of driveway.

A back addition is being proposed in the form of a sunroom. The Sunroom will read as a porch addition with infill walls, which will be fully glazed. The columns will match the front porch as well as the entablature, in an effort to keep the same architectural dialogue throughout the proposed additions: front porch, porte-cochere, and sun room.

Lastly, in order to resurrect an important element of the house, which is now gone, we are proposing to reconstruct a round window at the front gable, and replace the current siding with wood shingles, which goes back to the original structure represented in an older photograph and attached in this package.

A fireplace will be added to the family room, with chimney on North façade. The chimney will be constructed of brick to match the existing chimney at living room, not only in material, but in dimensions and detail as well.

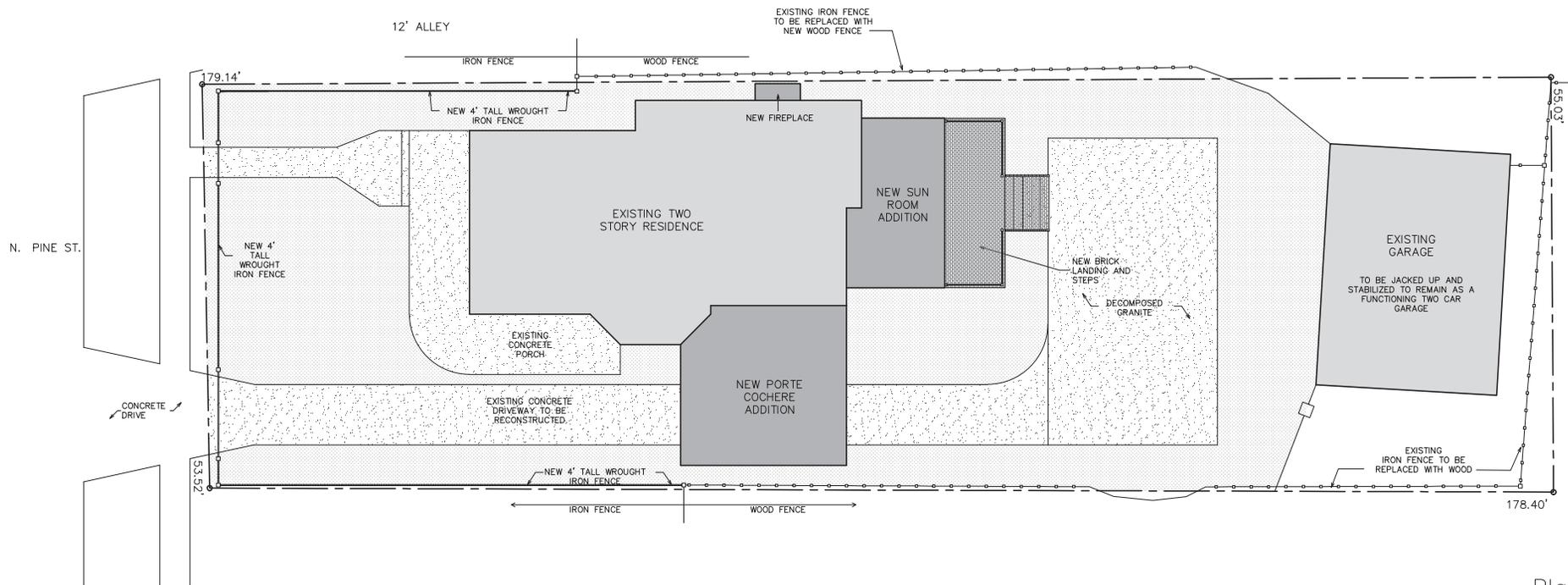
**SCOPE OF WORK:**

Conceptual approval has been granted for majority of items above. In keeping with HDRC recommendations, two pending items for final approval have been modified per commissioners' suggestions:

1. Add porte-cochere
  - a. New porte-cochere to south side of residence
  - b. To be recessed from front façade
  - c. Similar porte-cochere on same street, see attached image as precedent
  - d. Columns and entablature to match front porch
  - e. In order to keep opening proportionate to front porch bays, an intermediate column will be added between South wall and porte-cochere South Columns. See elevations.

**Naeger Residence  
714 N. Pine Street  
San Antonio, Texas**

2. Fireplace at Family Room
  - a. New fireplace at Family Room
  - b. Chimney to be on North wall
  - c. Chimney to be brick to match existing chimney at living room fireplace
  - d. Chimney detail and cap detail to match existing



1 Site Plan

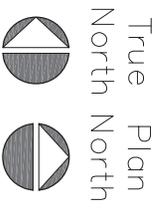
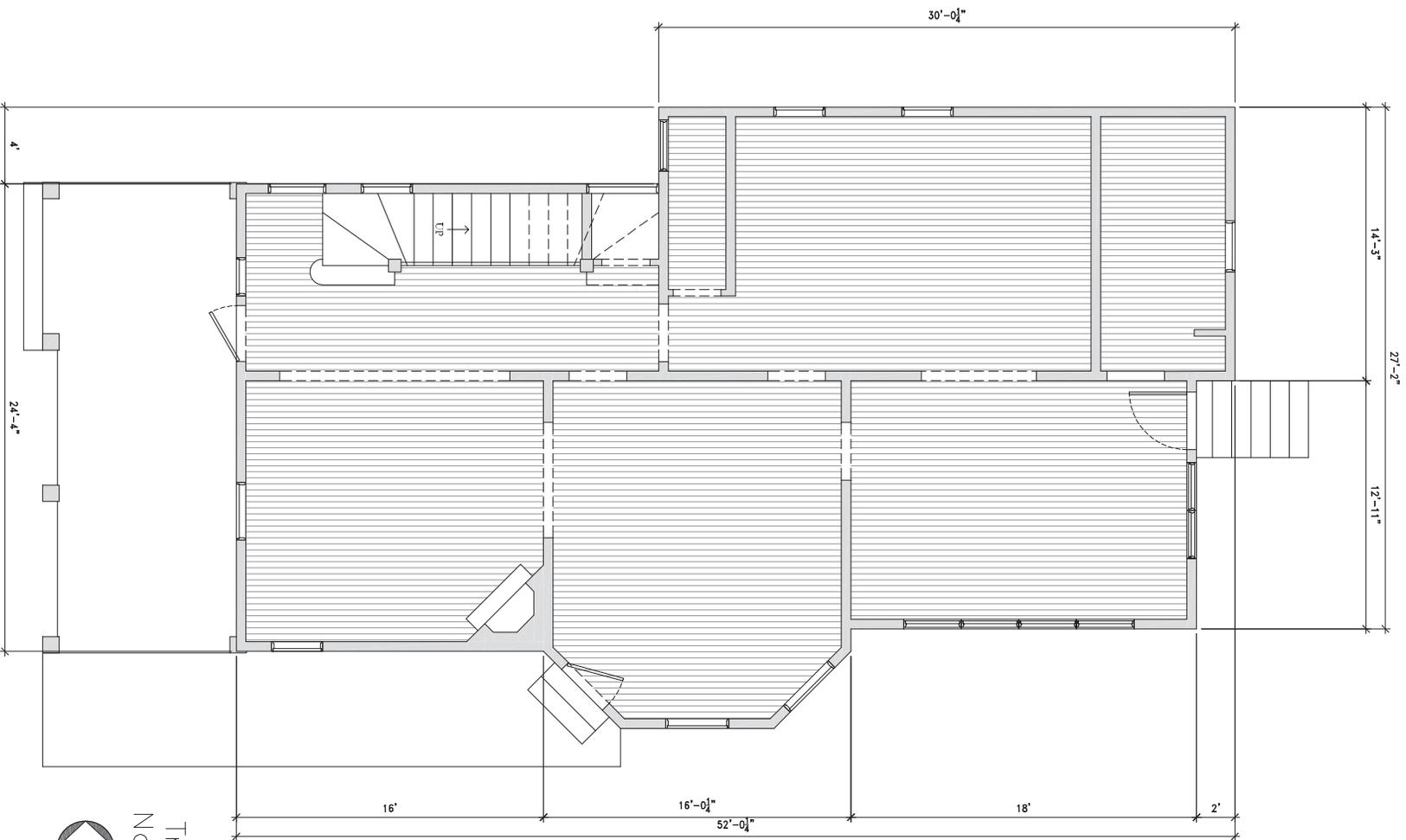
Plan  
North North



Scale: 1/8" = 1'-0"

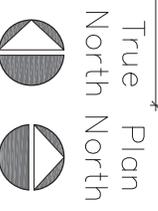
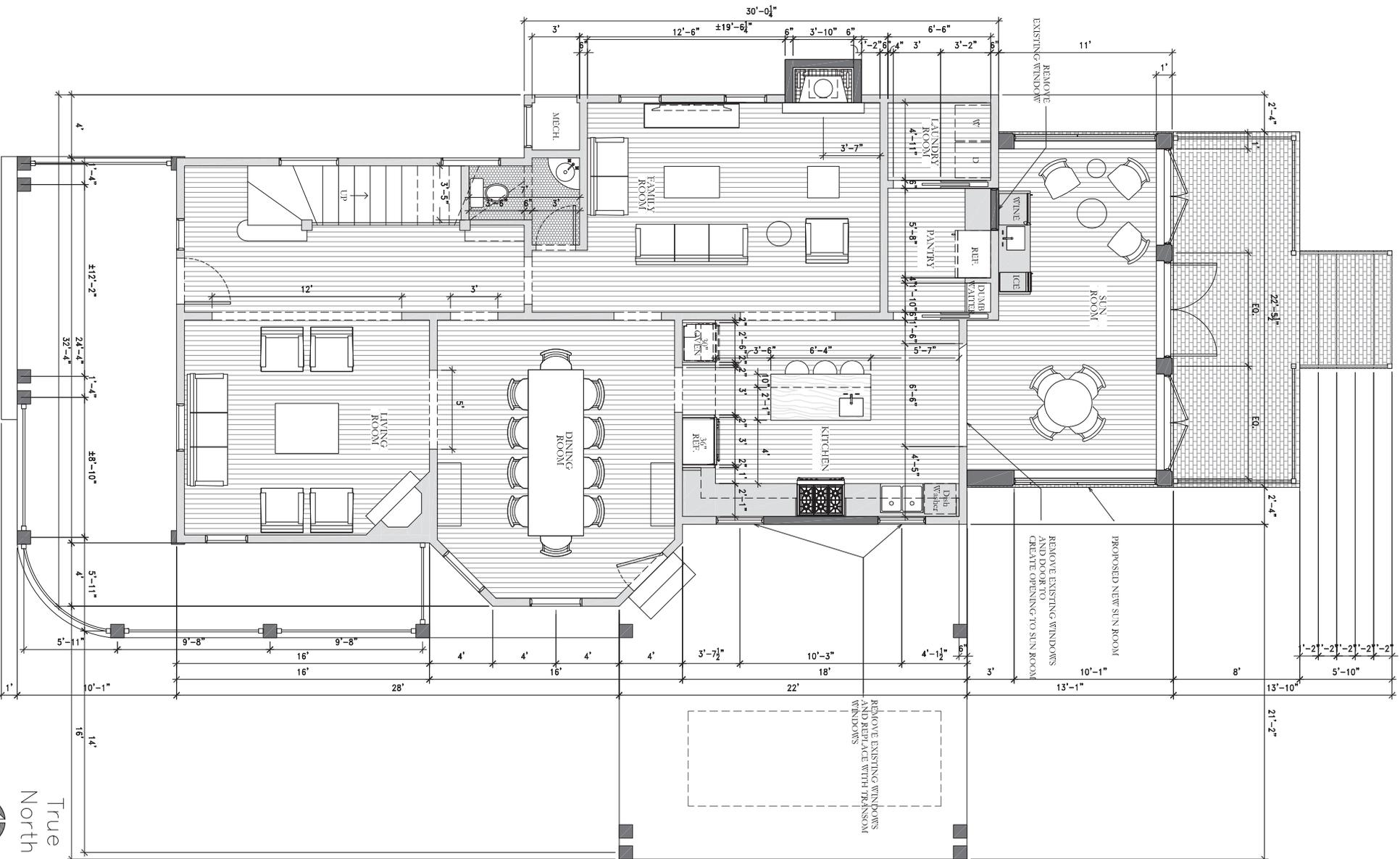
1 FIRST FLOOR PLAN - AS BUILT

Scale: NTS



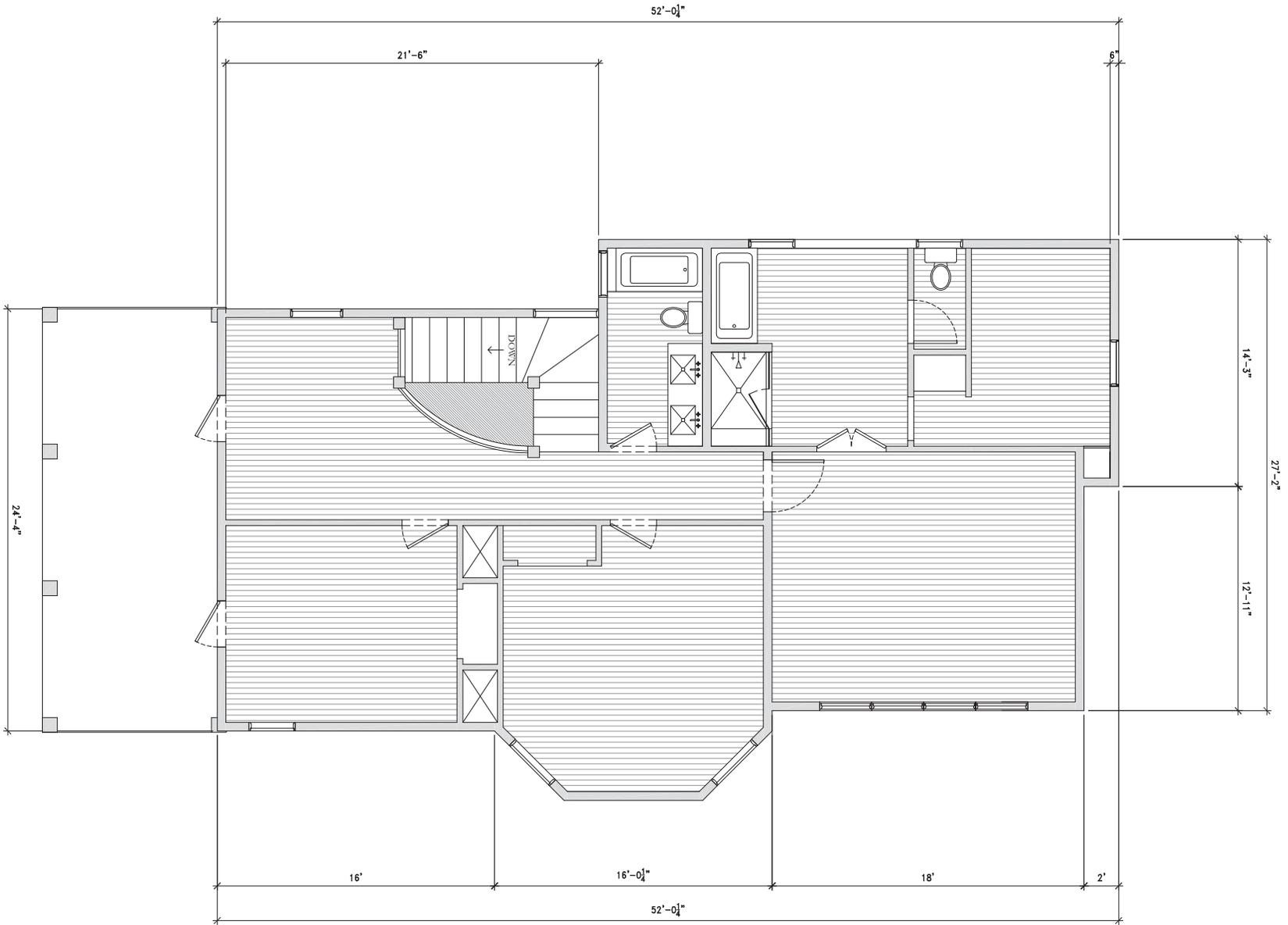
1 FIRST - FLOOR PLAN

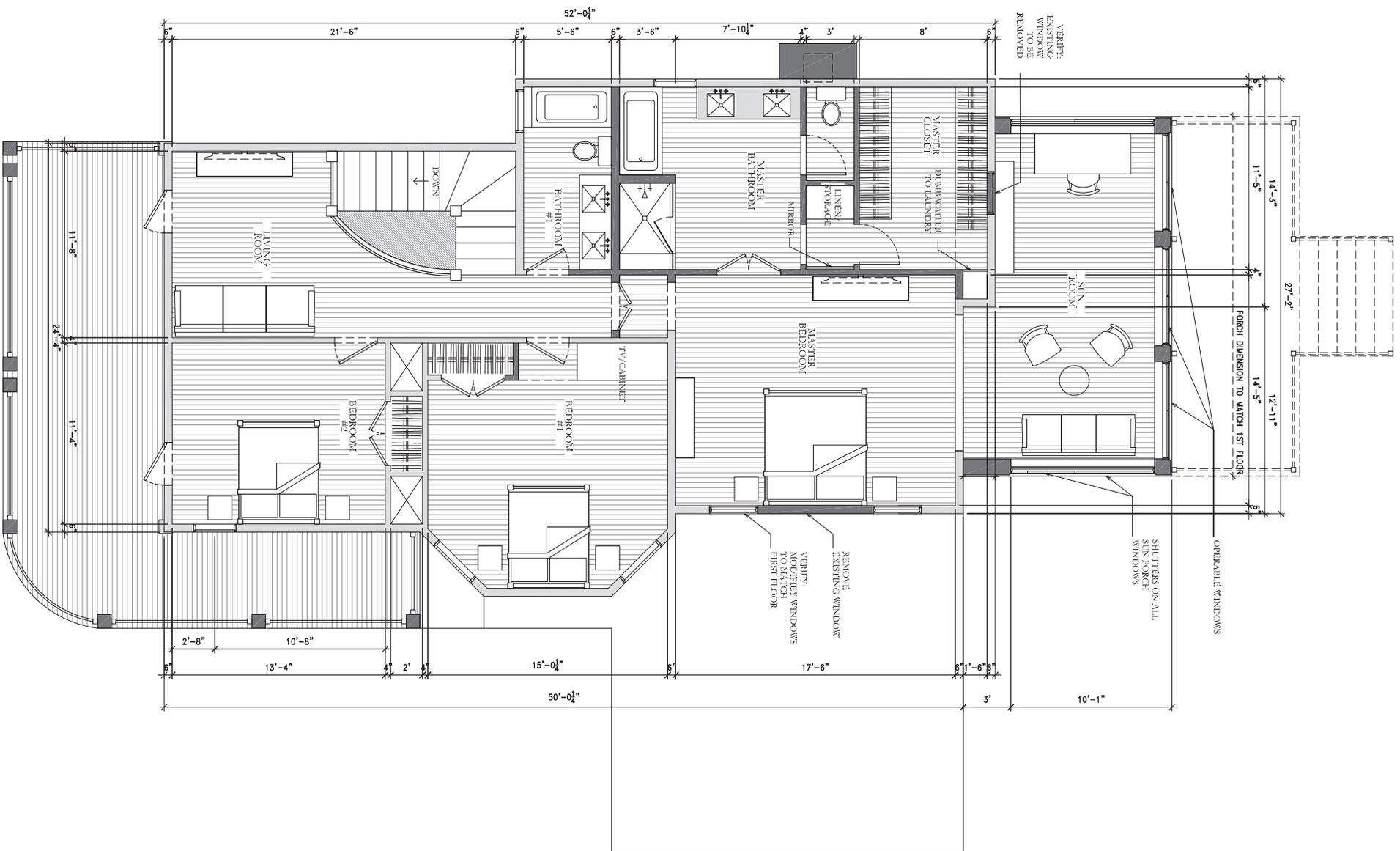
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2 SECOND FLOOR PLAN - AS BUILT

Scale: NTS





2 SECOND - FLOOR PLAN

Scale: 1/4"=1'-0"



1 WEST ELEVATION

Scale: 1/4" = 1'-0"



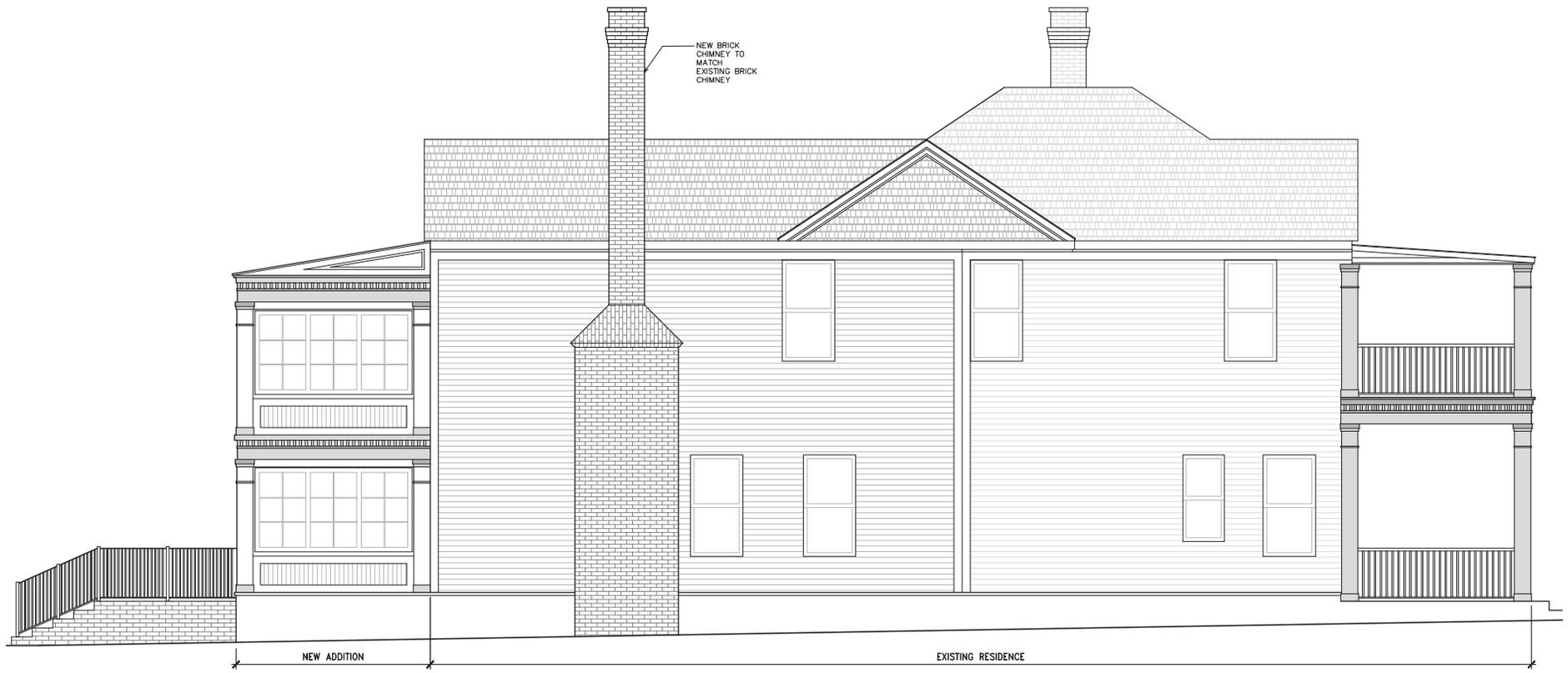
1 SOUTH ELEVATION

Scale: 1/4" = 1'-0"



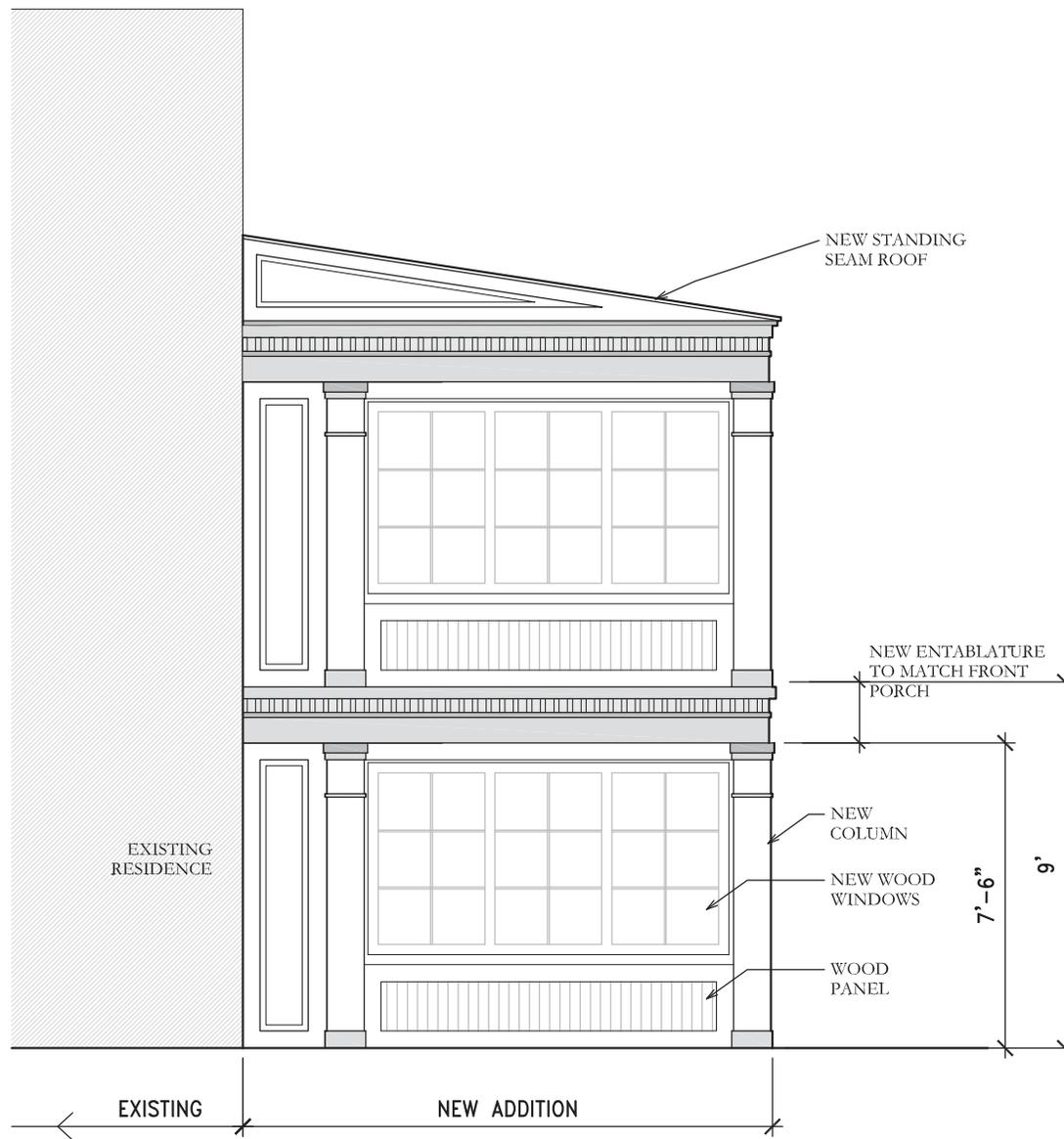
1 EAST ELEVATION

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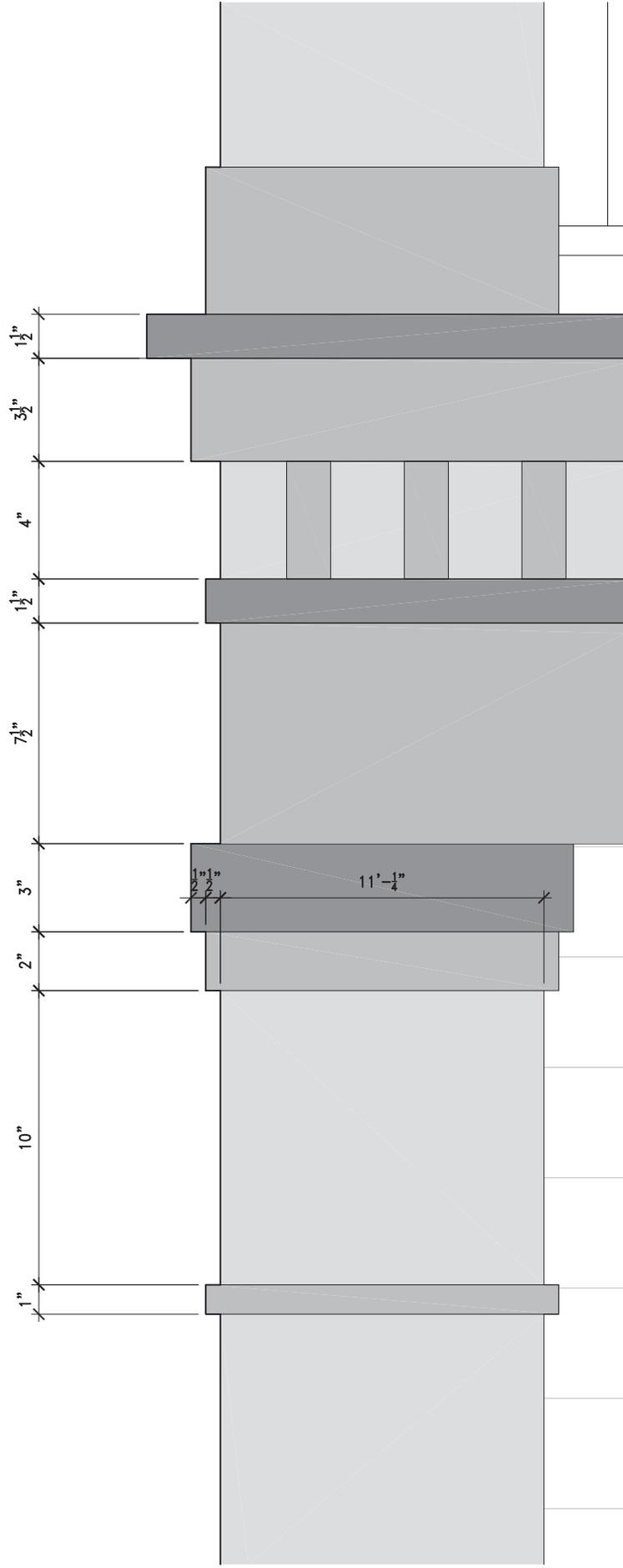
1 NORTH ELEVATION

Scale: 1/4" = 1'-0"



2 PROPOSED SUN ROOM — SOUTH ELEV.

Scale: NTS



1 COLUM/ENTABLATURE DETAIL

Scale: 3"=1'-0"



714 N Pine Street  
Front elevation  
Sheet: Image.1



714 N Pine Street  
Front elevation  
Sheet Image.2



714 N Pine Street  
Front elevation  
Sheet: Image.3



714 N Pine Street  
Front elevation  
Sheet: Image.4



714 N Pine Street  
House before mayor rennovation  
Sheet: Image.5





















Front Porch and Port Cochere

mei media.wix... Black Kitc... Residence... Guide to P... **Simply...** Mascarpone Benjamin...

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2143-70

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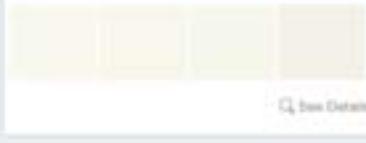


[See Details](#)



[See Details](#)

**SIMILAR COLORS** **MORE SHADES**

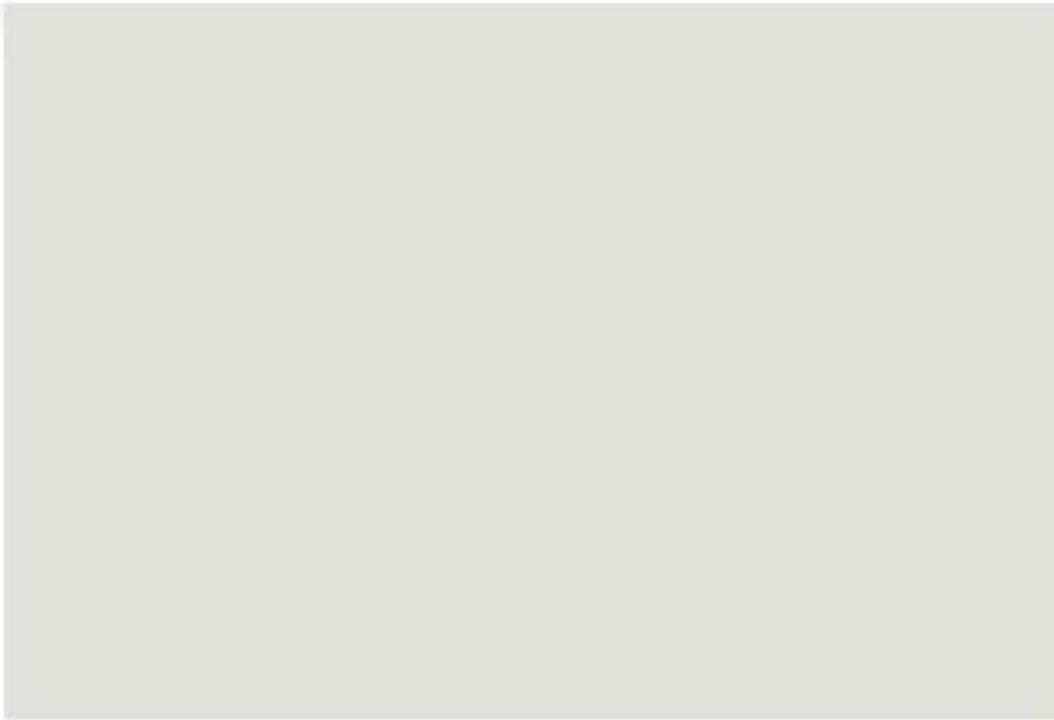


[See Details](#)



[See Details](#)

Exterior Paint Sample



## White Ash

343B-1 | Valspar  
Available at Independent Retailers

valspar®

Exterior Paint Sample



Port Cochere



Shingles



Siding

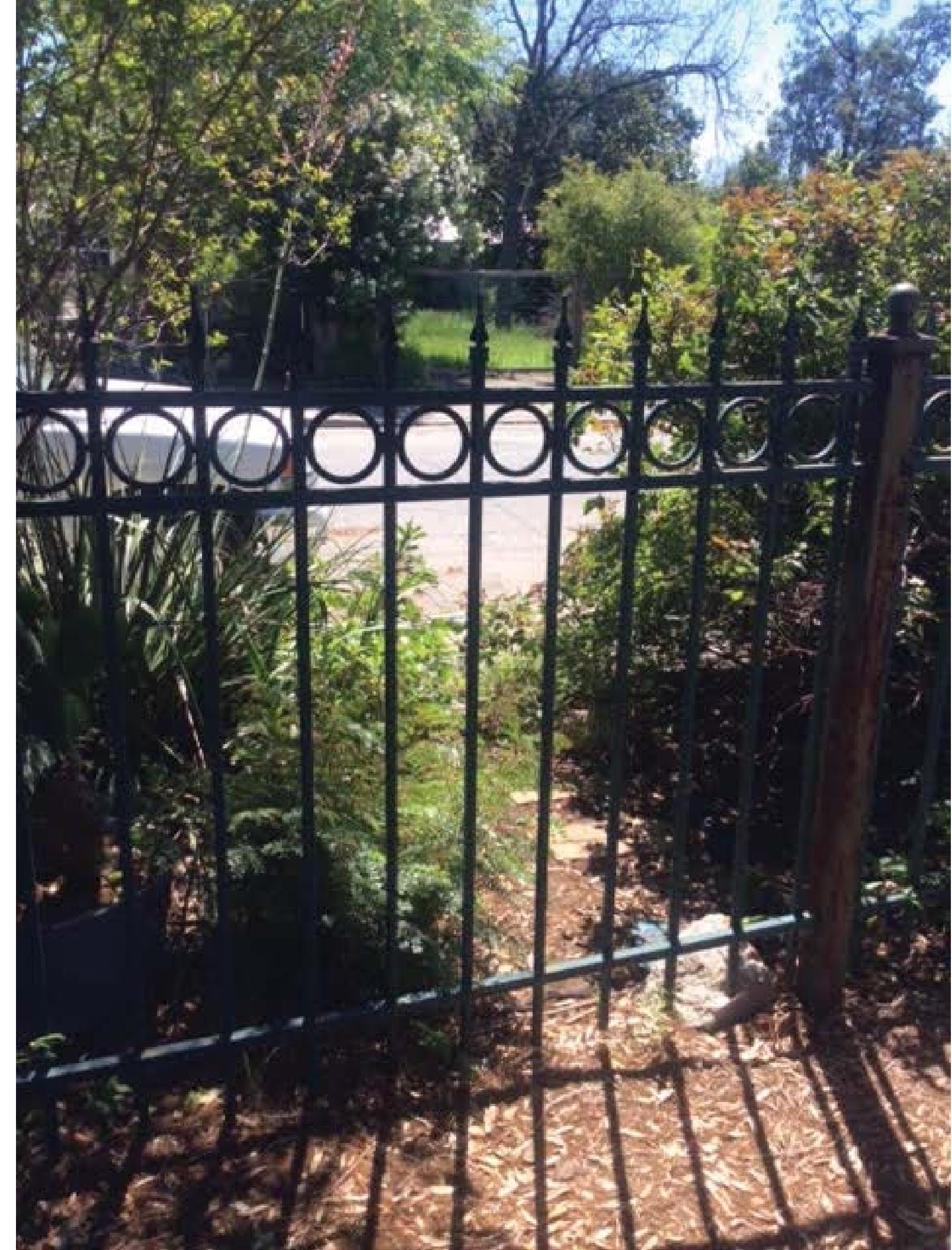


Interior Sun Room Addition



Interior Sun Room Addition







**CITY OF SAN ANTONIO  
OFFICE OF HISTORIC  
PRESERVATION**

**Historic and Design Review Commission  
Design Review Committee  
Report & Recommendation**

DATE: 5-10-16 HDRC Case# 2016-084

ADDRESS: 714 N Pine Meeting Location: Pecan

APPLICANT: Sergio Duran

DRC Members present: Michael Guarino, Edward Garza

Staff present: Cory Edwards

Others present: \_\_\_\_\_

REQUEST: Additions / exterior alterations

COMMENTS/CONCERNS: MA - Porch detailing is appropriate  
Columns added to porte cochere; need to see west elevation  
Comfortable w/ location of the porte cochere. Recommends  
a 4' fence in front instead of 5'.

**COMMITTEE RECOMMENDATION:** APPROVE [] DISAPPROVE []  
**APPROVE WITH COMMENTS/STIPULATIONS:**

[Signature]  
 Committee Chair Signature (or representative)

5/10/16  
 Date