

HISTORIC AND DESIGN REVIEW COMMISSION

January 02, 2019

HDRC CASE NO: 2018-630
ADDRESS: 409 S PRESA ST
LEGAL DESCRIPTION: NCB 904 BLK LOT A36
ZONING: D,HE
CITY COUNCIL DIST.: 1
DISTRICT: La Villita Historic District
LANDMARK: Dietrich-Carabin House
APPLICANT: Therese Huntzinger
OWNER: Therese Huntzinger
TYPE OF WORK: Historic Tax Certification
APPLICATION RECEIVED: December 10, 2018
60-DAY REVIEW: February 09, 2019
REQUEST:

The applicant is requesting Historic Tax Certification for the property at 409 S Presa.

APPLICABLE CITATIONS:

Sec. 35-618. - Tax Exemption Qualifications.

- (a) Assessed Valuation. In accordance with the provisions of this article, a building, site, or structure which meets the definition of a historically significant site in need of tax relief to encourage preservation and which is substantially rehabilitated and/or restored as certified by the historic and design review commission and approved by the city tax assessor-collector, shall have an assessed value for ad valorem taxation as follows regardless of ownership during the granted time period:
- (1) A residential property shall have the assessed value for ad valorem taxation for a period of ten (10) tax years equal to the assessed value prior to preservation.
- (b) Applicability. This exemption shall begin on the first day of the first tax year after verification of completion of the preservation required for certification; provided the building shall comply with the applicable zoning regulations for its use and location.
- (c) Application. Application for a historic structure preservation tax exemption pursuant to this division is to be filed with the office of historic preservation. The historic preservation officer shall be the agent of the city for the purposes of administering this division provided that the historic preservation officer request a recommendation from the historic and design review commission. Each application shall be signed and sworn to by the owner of the property and shall:
- (1) State the legal description of the property proposed for certification;
 - (2) Include an affidavit by the owner describing the historic significance of the structure in need of tax relief;
 - (3) Include a final complete set of plans for the historic structure's restoration or rehabilitation;
 - (4) Include a statement of costs for the restoration or rehabilitation work;
 - (5) Include a projection of the estimated construction, time and predicted completion date of the historic restoration or rehabilitation;
 - (6) Authorize the members of the historic and design review commission, the city tax assessor-collector and city officials to visit and inspect the property proposed for certification and the records and books of the owners as necessary to certify that the property in question is in substantial need of restoration or rehabilitation;
 - (7) Include a detailed statement of the proposed use for the property; and
 - (8) Provide any additional information to the historic and design review commission which the owner deems relevant or useful such as the history of the structure or access to the structure by the public.

Each application shall contain sufficient documentation confirming or supporting the information submitted therein.

- (d) Certification.
- (1) Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to

the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.

- (2) Tax Assessor-Collector Approval. Upon receipt of the certified application for tax exemption as well as the recommendation of the historic and design review commission, the city's tax assessor-collector shall within thirty (30) days approve or disapprove eligibility of the property for tax relief pursuant to this division. In determining eligibility, the tax assessor-collector shall first determine that all the requirements of this division have been complied with and that only the historic structure and the land reasonably necessary for access and use thereof is to be provided favorable tax relief.
- (e) Verification of Completion. Upon completion of the restoration and rehabilitation, together with a fee as specified in Appendix "C" of this chapter, the owner, who may not be the same as at the time of application, shall submit a sworn statement of completion acknowledging that the historically significant site in need of tax relief to encourage preservation has been substantially rehabilitated or restored as certified by the historic and design review commission. The historic and design review commission, upon receipt of the sworn statement of completion, but no later than thirty (30) days thereafter, shall make an investigation of the property and shall recommend either approval or disapproval of the fact that the property has been substantially completed as required for certification. If the historic and design review commission recommends that it has not been substantially completed as so required, then the certified applicant may be required by the historic preservation officer to complete the restoration or rehabilitation in order to secure the tax exemption provided herein. If the verification of completion is favorable, the historic and design review commission shall recommend approval and the historic preservation office may notify the tax assessor-collector in writing of compliance. Thereafter, the tax assessor-collector shall provide the property with the historic tax exemption.
- (f) Historic Preservation Tax Exemptions.
 - (1) Historic Preservation Tax Exemption for Residences in Need of Substantial Repair. In accordance with the provisions of this chapter, a historically significant residential building, which meets both the definitions of a historically significant site in need of tax relief to encourage preservation and of a residential property in Appendix "A" of this chapter, and is either individually designated or is located within the boundaries of a locally designated historic district which is substantially rehabilitated and is approved by the chief appraiser of the Bexar County Appraisal District, shall have an assessed value for ad valorem taxation as follows:
 - A. A residential property shall have no assessed value for ad valorem taxation for a period of five (5) tax years after verification, as defined in Appendix "A" to this chapter. Thereafter, the exempt property shall be reappraised at current market value and assessed at a fifty (50) percent rate for an additional consecutive five-year period.
 - B. This exemption shall begin on the first day of the first tax year after verification of completion of the substantial rehabilitation by the historic and design review commission, provided compliance with subsection (b) of this section.
- (g) Eligibility.
 - (1) The tax exemption options outlined in subsection (f), above, will remain in effect unless terminated by designation status being removed pursuant to subsection 35-606(g) of this article.

FINDINGS:

- a. The applicant is requesting Historic Tax Certification at 409 S Presa, which is located in the La Villita Historic District, RIO-3, and individually designated as the Dietrich-Carabin House.
- b. A number of rehabilitative scopes of work have been approved including: installation of a new exterior AC unit, foundation repair, wood window repair, and the installation of a gas line. In addition to the previously noted exterior items, a number of interior scopes of work have been planned or completed including electrical and mechanical improvements, interior finishes and framing. The project began in June 2018 and is planned for completion by February 2019.
- c. The applicant submitted an itemized list of cost that meets the threshold to be eligible for Historic Tax Certification.
- d. The requirements for Historic Tax Certification outlined in UDC Section 25-618 have been met and the applicant has provided evidence to that effect to the Historic Preservation Officer including photographs, an itemized list of cost, and a timeline of completion.
- e. Approval of Tax Verification by the HDRC in 2018 means that the property owners will be eligible for the

Substantial Rehabilitation Tax Incentive beginning in 2019.

RECOMMENDATION:

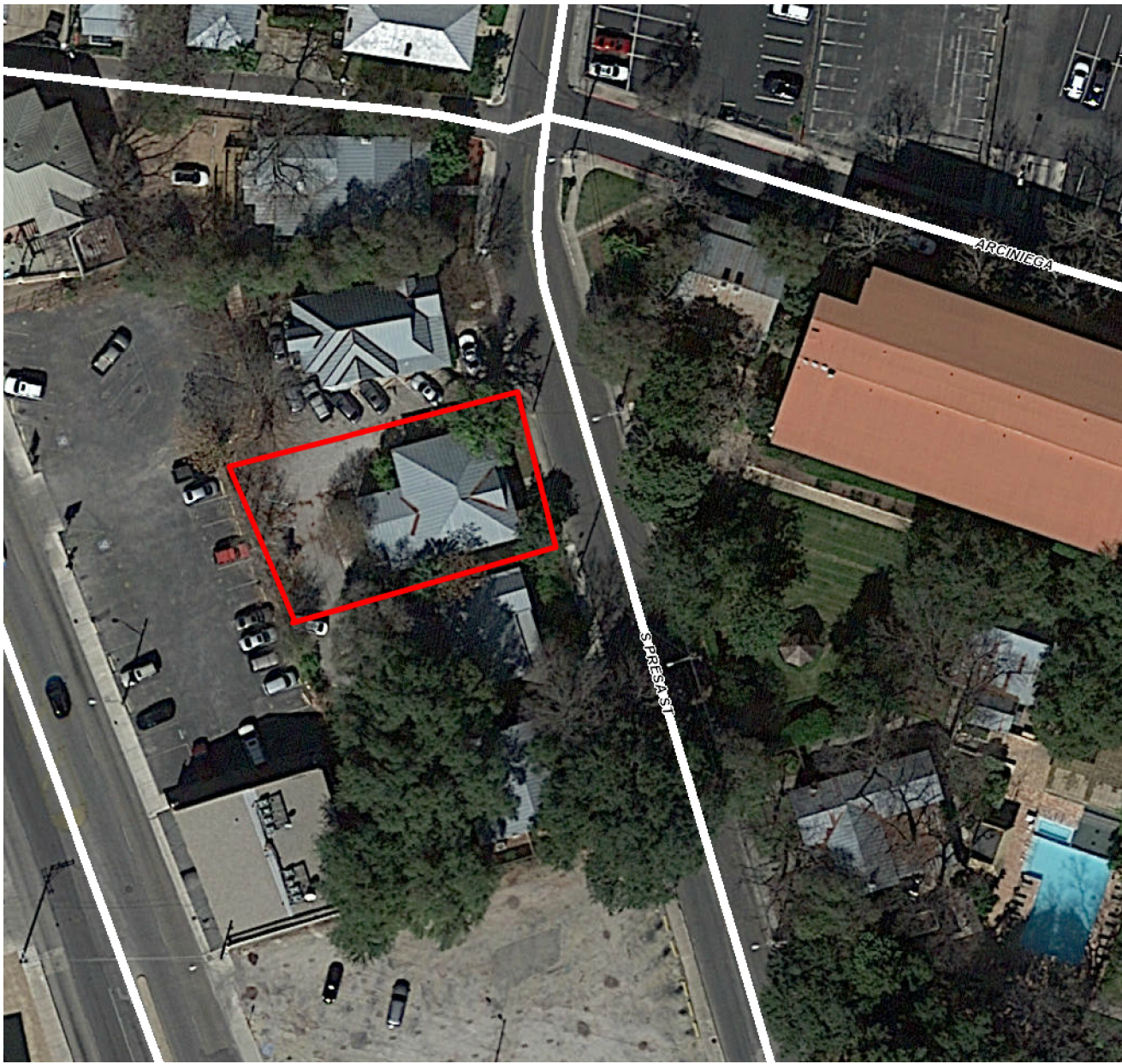
Staff recommends approval of Historic Tax Certification based on findings b through d with the stipulation that all work is approved prior to Verification

CASE COMMENT:

With approval of Historic Tax Certification, the applicant is eligible to receive city permit waivers for approved work at the certified property.

CASE MANAGER:

Huy Pham



N



409 S PRESA

Powered by ArcGIS Server

Printed: Dec 19, 2018

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La Cascada Condominiums

Inn on the Riverwalk

Hermann Sons Life

LAZ Parking

SpringHill Suites by Marriott San...

The Fairmount

The Magik Theatre

Hyatt Place San Antonio/Riverwalk

Arciniega St

Yanaguana Garden and playground

MATT Foundation

409 South Presa Street

Agave Apartments

Calaveras Tattoos

Paleteria San Antonio Hemisfair Park Playground

LAZ Parking

E César E. Chávez Blvd

E César E. Chávez Blvd

Lowcountry

LAZ Parking

St Joseph Society Hall

Battalion

Station Cafe

SAISD

as Tattoos



\$5 Parking



409 South Presa Street

Law Offices of
Glenn Payne

Law Office of
Anita Pérez Garza



409 S Presa St

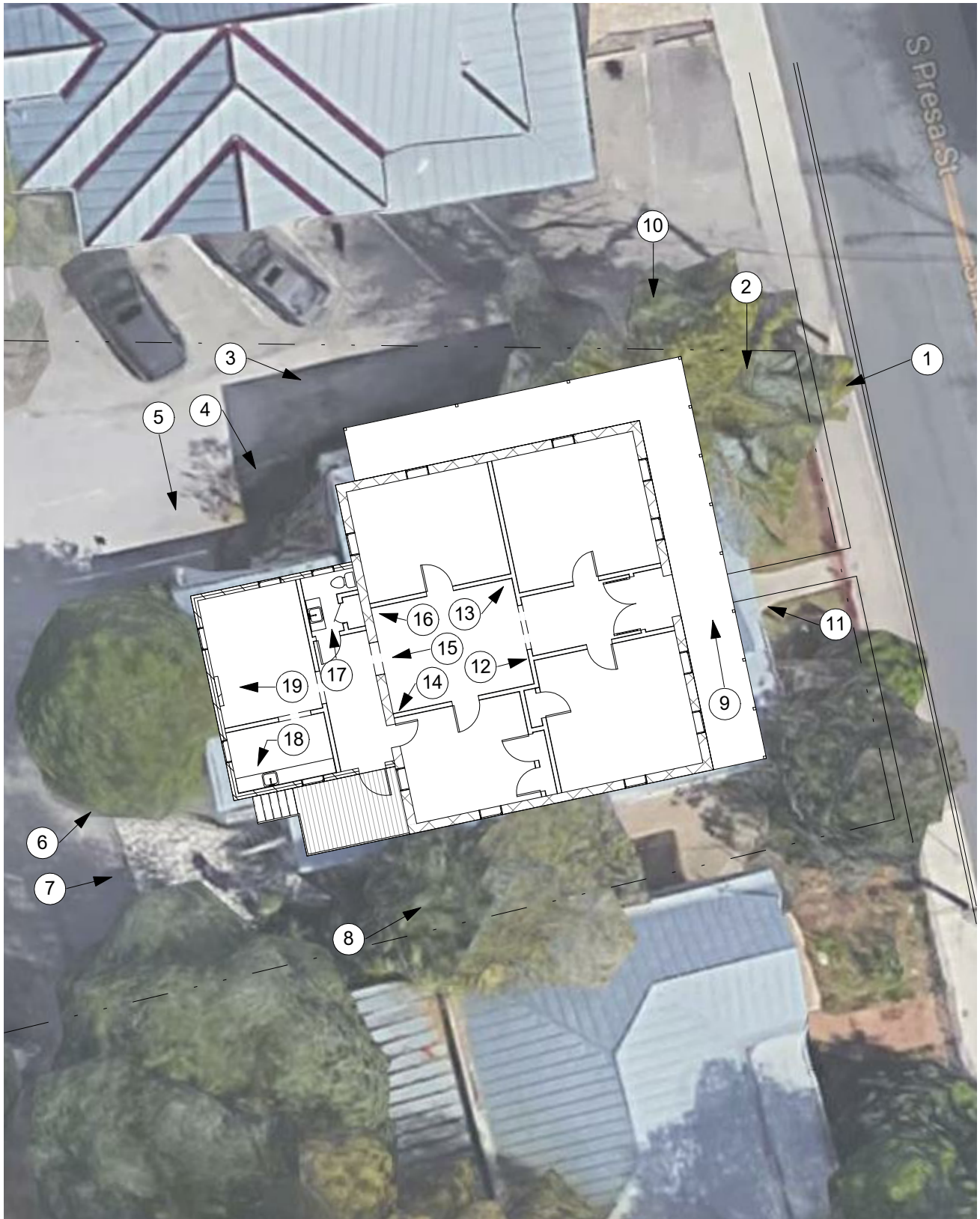
San Antonio, Texas

Google, Inc.

Street View - Dec 2017



Google



RICHARD MOGAS
ARCHITECTURE AIA
 317 LEXINGTON AVENUE SUITE 4 SAN ANTONIO, TEXAS 78215
 T 210.226.2220 WWW.RICHARDMOGAS.COM

409 S PRESA ST
 SAN ANTONIO, TX 78205

DRAWN BY: JM
 DATE: 12.18.2018

Sheet:
SD-1



1. Existing East ("Front") Elevation



2. Existing East ("Front") Elevation



3. Existing North West Elevation



4. Existing North West Elevation



5. Existing North West Elevation



6. Existing South West Elevation



7. Existing South West Elevation



8. Existing South East Elevation



9. Front Porch



10. Front Porch



11. Front Porch



12. Front Entry



13. Front Entry



14. Front Entry



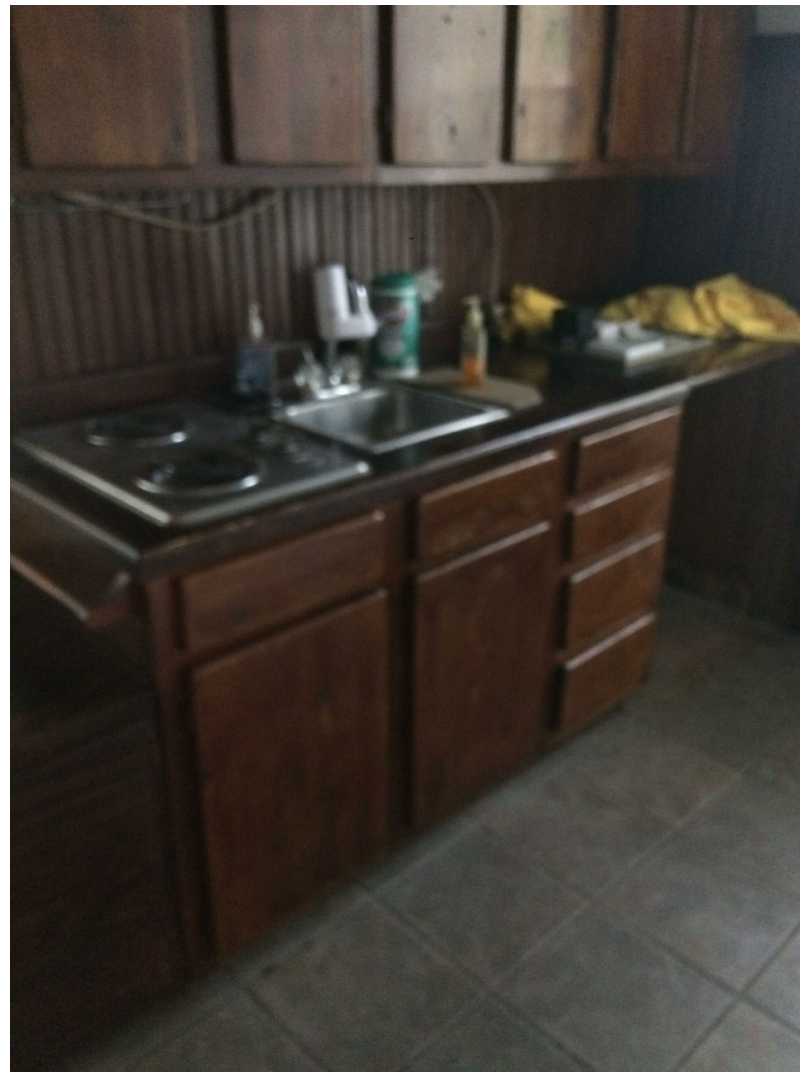
15. Front Entry



16. Front Entry



17. BATHROOM



18. KITCHENETTE



19. OFFICE

409 S. PRESA ST

SAN ANTONIO, TX 78205

GENERAL NOTES & INSTRUCTIONS

1. GOVERNING CODE FOR THIS PROJECT SHALL BE CITY OF SAN ANTONIO - IEBC 2015 AND APPLICABLE PORTIONS OF THE 2015 IBC.

2. GENERAL CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CITY AND STATE CODES AND ORDINANCES.

3. GENERAL CONTRACTOR / SUB CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE PROCEEDING WITH WORK, AND SHALL NOTIFY TENANT / OWNER / ARCHITECT OF ANY AND ALL DISCREPANCIES.

4. MECHANICAL AND ELECTRICAL SYSTEMS SHALL COMPLY WITH ALL APPLICABLE CITY AND STATE CODES AND ORDINANCES.

5. GENERAL CONTRACTOR SHALL BE COMPLETELY FAMILIARIZED WITH ALL ARCHITECTURAL, MECHANICAL, AND ELECTRICAL PORTIONS OF WORK AND SHALL PROVIDE ALL NECESSARY OPENINGS AND RECESSES REQUIRED FOR SUCH PARTITIONS OF THE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL CONTRACT. GENERAL CONTRACTOR SHALL COOPERATE FULLY WITH ALL TRADES.

6. GENERAL CONTRACTOR / SUB CONTRACTORS SHALL NOT BE ALLOW ANY DEBRIS TO ACCUMULATE IN THE STRUCTURE OR ON THE GROUNDS; Haul away and dispose of at contractor's expense at completion of the job. All glass surfaces shall be left clean and the work area left "broom clean".

7. ALL EXITS TO BE OPERATIVE FROM INSIDE WITHOUT USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.

8. GENERAL CONTRACTOR / SUB CONTRACTORS SHALL PROTECT FROM DAMAGE THOSE IDENTIFIED PORTIONS OF THE BUILDING NOT IN CONTRACT. ALLOW NO LEAKS IN EXISTING STRUCTURE, CONTROL SMOKE AND DUST TO PROTECT AREAS OF THE BUILDING NOT IN CONTRACT.

GENERAL CONTRACTOR INSTRUCTIONS.

GENERAL CONDITIONS:

1. CLAIMS FOR ADDITIONAL COSTS;
IF THE CONTRACTOR WISHES TO MAKE A CLAIM FOR AN INCREASE IN THE CONTRACT SUM, HE SHALL GIVE OWNER / TENANT WRITTEN NOTICE THEREOF WITHIN SEVEN (7) DAYS AFTER THE OCCURRENCE OF THE EVENT GIVING RISE TO SUCH CLAIM. THIS NOTICE SHALL BE GIVEN BY THE CONTRACTOR BEFORE PROCEEDING TO EXECUTE THE WORK, EXCEPT IN EMERGENCIES ENDANGERING LIFE OR PROPERTY, IN WHICH CASE THE CONTRACTOR SHALL PROCEED IN ACCORDANCE W/ GENERAL INSTRUCTION NOTE #4. ANY CHANGE IN THE CONTRACT SUM RESULTING FROM SUCH CLAIM SHALL BE AUTHORIZED BY WRITTEN CHANGE ORDER ONLY.

2. SUBSTITUTIONS- ORDERING MATERIALS;
NO SUBSTITUTIONS WILL BE CONSIDERED UNLESS WRITTEN REQUEST IS SUBMITTED TO OWNER WITHIN TEN (10) DAYS FROM AWARD OF CONTRACT. EACH SUCH REQUEST SHALL INCLUDE A COMPLETE DESCRIPTION OF THE PROPOSED SUBSTITUTE NAME OF THE MATERIAL OR EQUIP. FOR WHICH IT IS TO BE SUBSTITUTED, DRAWINGS, CUTS, SPECIFICATIONS, OR PERTINENT DATA NECESSARY FOR A COMPLETE EVALUATION. ALL APPROVALS SHALL BE GIVEN IN WRITING BY OWNER. CONTRACTOR SHALL NOTIFY OWNER WITHIN TEN (10) DAYS FROM AWARD OF CONTRACT, IN WRITING THE NAMES OF ALL SUBCONTRACTORS AND CERTIFY THAT ALL MATERIAL AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THE PROJECT DATES HAVE BEEN ORDERED WITH THE CONFIRMED DELIVERY DATES COORDINATED WITH THE PROGRESS SCHEDULE. SUCH NOTIFICATION SHALL LIST EXPECTATIONS, INCLUDING THE CAUSE, I.E. REQUEST FOR SUBSTITUTE.

3. PROGRESS SCHEDULES;
THE CONTRACTOR SHALL INCLUDE IN THEIR BID AS ESTIMATED PROGRESS SCHEDULE OF WORK.

4. PROTECTION - PERSONS AND PROPERTY;
THE CONTRACTOR SHALL TAKE THE REASONABLE PRECAUTIONS FOR THE SAFETY OF, AND SHALL PROVIDE ALL REASONABLE PROTECTION TO PREVENT DAMAGE, INJURY OR LOSS TO EMPLOYEES ON THE JOB AND ALL OTHER PERSONS WHO MAY BE AFFECTED THEREBY. ALL COMPLETED WORK, MATERIALS AND EQUIPMENT TO BE INCORPORATED THEREIN WHICH IS IN THE CUSTODY OR CONTROL OF THE CONTRACTOR. ALL OTHER PROPERTY AT THE SITE OR ADJACENT THERETO. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, AND REGULATIONS OF ANY PUBLIC AUTHORITY HAVING JURISDICTION. IN ANY EMERGENCY AFFECTING THE SAFETY OF PERSONS OR PROPERTY, THE CONTRACTOR SHALL ACT TO PREVENT THREATENED DAMAGE, INJURY OR LOSS.

5. COMPLETION;
WHEN CONTRACTOR'S WORK IS NEARING COMPLETION, CONTRACTOR SHALL NOTIFY OWNER ACCORDINGLY IN WRITING. UPON INSPECTION, TENANT AND CONTRACTOR WILL PREPARE A FINAL "PUNCH LIST" OUTLINING INCOMPLETE OR UNACCEPTABLE WORK. THE PROJECT WILL NOT BE CONSIDERED COMPLETE UNTIL ALL ITEMS ON THE PUNCH LIST HAVE BEEN COMPLETE OR RESOLVED TO OWNERS / TENANTS SATISFACTION.

6. BY EXECUTING THE CONTRACT, THE CONTRACTOR REPRESENTS THAT HE HAS VISITED THE SITE, FAMILIARIZED HIMSELF WITH LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED, AND CORRELATED HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, AND SHALL, AT ONCE REPORT TO THE ARCHITECT ANY ERROR, INCONSISTENCY OR OMISSION HE MAY DISCOVER.

7. MECHANICAL, ELECTRICAL, PLUMBING, SPRINKLER SYSTEMS AND FIRE AND SAFETY SHALL BE AS ENGINEERED BY BUILDING CONSULTING ENGINEER OR GENERAL CONTRACTORS SUBCONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES.

8. THE CONTRACTOR SHALL PERFORM ALL WORK, AND SUPPLY ALL MATERIALS AND EQUIPMENT IN FULL ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND LAWS OF THE CITY OF SAN ANTONIO, TEXAS; AND AS REQUIRED FOR FULL AND COMPLETE CONSTRUCTION AS SPECIFIED IN THE CONTRACT DOCUMENTS.

9. ALL WORKS WILL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT, BASED ON CONFORMANCE WITH CONTRACT DOCUMENTS, INCLUDING FIELD ORDERS.

GENERAL CONSTRUCTION NOTES:

1. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE FOR FLUMB, LEVEL, AND SQUARE CONSTRUCTION UNLESS OTHERWISE NOTED. ANY DEVIATION FROM THIS GENERAL INTENT SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.

2. THE WORK SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH THE CURRENT UNIFORM BUILDING CODE AND ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS AS WELL AS THE DRAWINGS AND SPECIFICATIONS.

3. DO NOT SCALE DRAWINGS; ALL DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE AND BE FIELD VERIFIED AND COORDINATED WITH WORK OF ALL TRADES.

4. DETAILS ARE INTENDED TO SHOW METHOD AND MANNER OF ACCOMPLISHING WORK. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, ALL INCLUDED AS PART OF THE WORK.

5. THE CONTRACTOR SHALL PROVIDE ALL PERMITS AND INSPECTION NECESSARY FOR THE PROPER EXECUTION OF THE WORK IN ACCORDANCE WITH APPLICABLE CODES AND GOVERNING REGULATIONS.

6. ALL MECHANICAL, ELECTRICAL AND PLUMBING INDICATED ON THE DRAWINGS IS SIMPLY TO AID THE CONTRACTOR ON GENERAL LOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ELECTRICAL, PLUMBING AND MECHANICAL SIZING AND SHALL ADHERE TO ALL APPLICABLE CODES.

BUILDING CODE:

2015 INTERNATIONAL RESIDENTIAL CODE W/ LOCAL AMENDMENTS CITY OF SAN ANTONIO UNIFIED DEVELOPMENT CODE

PLUMBING CODE:

2015 INTERNATIONAL PLUMBING CODE W/ LOCAL AMENDMENTS

MECHANICAL CODE:

2015 INTERNATIONAL MECHANICAL CODE W/ LOCAL AMENDMENTS

ELECTRICAL CODE:

2014 INTERNATIONAL ELECTRICAL CODE W/ LOCAL AMENDMENTS

FIRE CODE:

2015 INTERNATIONAL FIRE CODE W/ LOCAL AMENDMENTS

FUEL & GAS CODE:

2015 INTERNATIONAL FUEL GAS CODE W/ LOCAL AMENDMENTS

ACCESSIBILITY CODE:

2012 TEXAS ACCESSIBILITY STANDARDS

INTERNATIONAL ENERGY CONSERVATION CODE:

2015 TEXAS ACCESSIBILITY STANDARDS

PROJECT TEAM

OWNER'S REPRESENTATIVE

THE PRIORITY GROUP

P.O. BOX 120277
SAN ANTONIO, TX 78212
PHONE 210-738-3800
CONTACT: CECILIA GARCIA

ARCHITECT

RICHARD MOGAS, AIA

317 LEXINGTON AVE, SUITE 1
SAN ANTONIO, TEXAS 78215
210-226-2220 (PHONE)
CONTACT: JASON MORAN

SHEET INDEX

- A-0.0 INDEX SHEET
- A-2.0 FLOOR PLAN - AS BUILT
- A-3.0 POWER & LIGHTING PLAN
- A-4.0 INTERIOR ELEVATIONS
- A-5.0 FINISH PLAN
- A-6.0 PERSPECTIVE VIEW

PROJECT SUMMARY

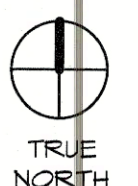
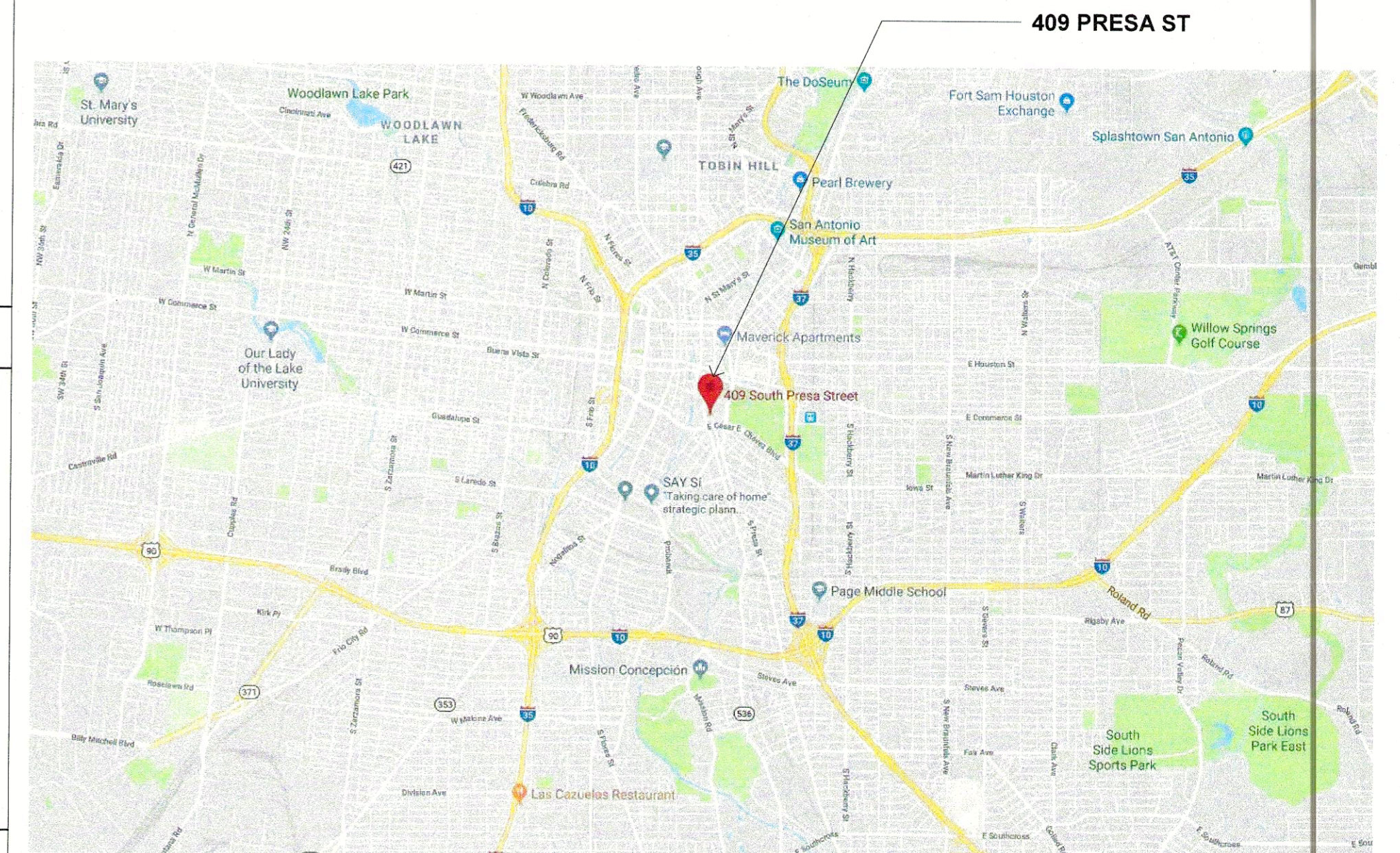
LEGAL DESCRIPTION:NCB 904 BLK A36 LOT 27
BASE ZONINGD (DOWNTOWN DISTRICT)
ZONING OVERLAYH HE H5 RIO - 3
PROJECT AREA:(EXISTING APPROX.) 2,265 SF
SPRINKLED:NO
OCCUPANCY TYPE:(R) SINGLE FAMILY DWELLING

NOTE: NO EXTERIOR MODIFICATIONS IN THIS SCOPE.
ALL EXISTING WINDOWS & EXTERIOR DOORS TO REMAIN.

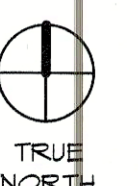
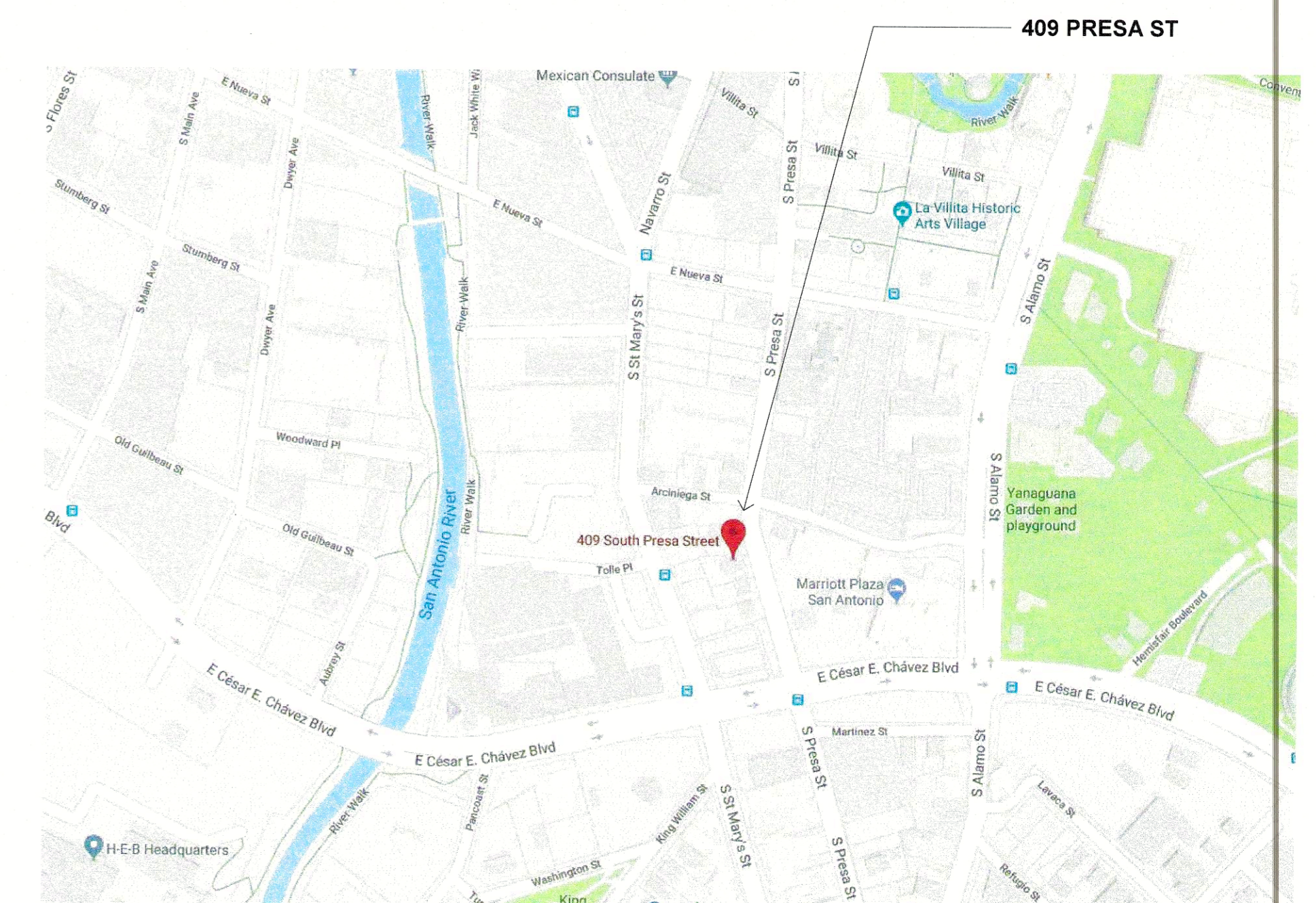
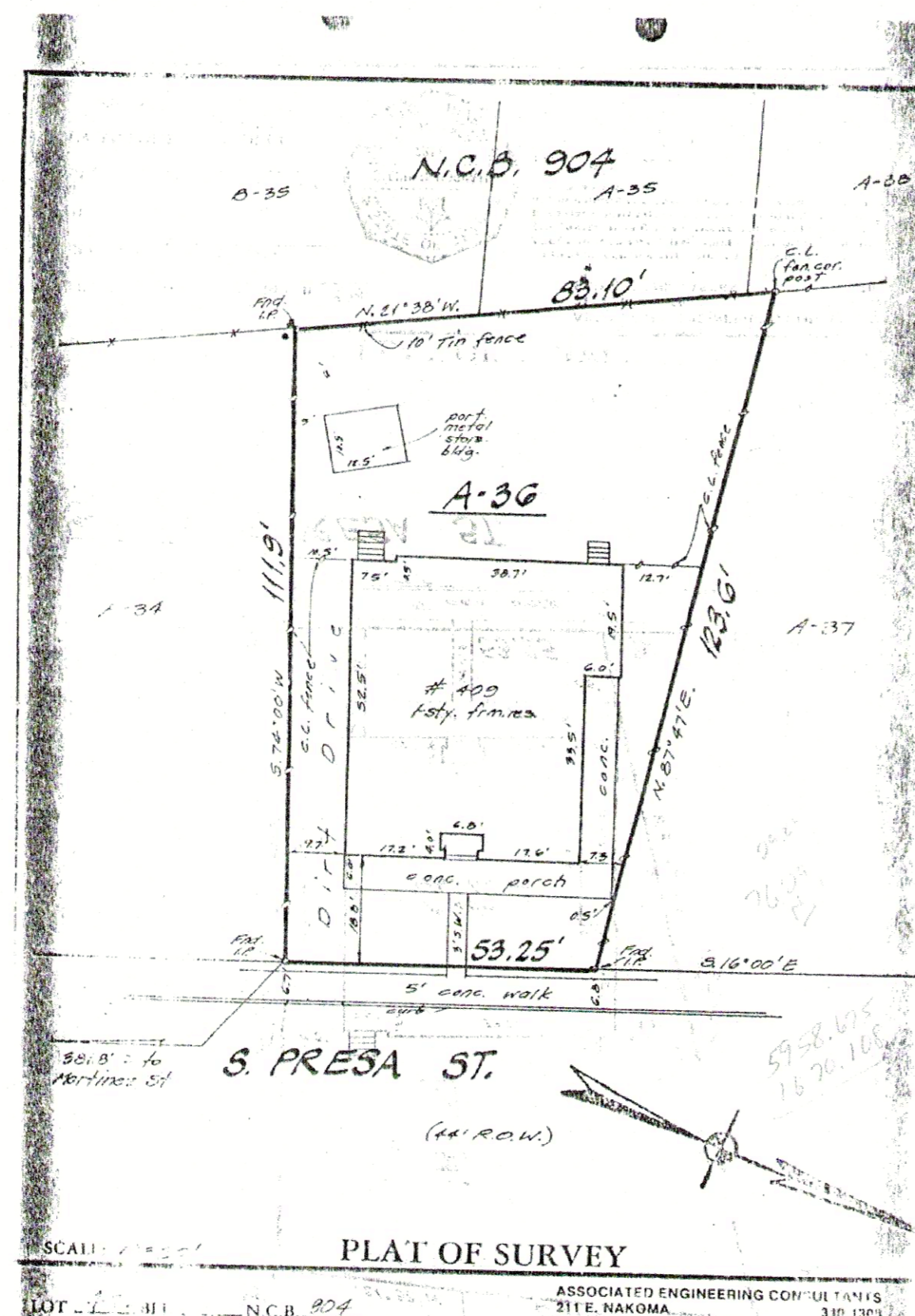
SYMBOLS LEGEND

- NORTH ARROW
- REVISION CLOUD & TAG
- 1 A101 - DETAIL NUMBER
SHEET NUMBER
- AREA DESCRIBED FURTHER IN REFERENCED DETAIL
- 1 A101 - DETAIL NUMBER
SHEET NUMBER
- 1 A101 - SECTION CALLOUT

SITE LOCATION



SITE SURVEY



ISSUE:

No.	Date	Issue
1	8.23.18	PERMIT

SHEET:

A-0.0

OF

Date: Issue Date

DEMOLITION NOTES:

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR, EQUIPMENT AND SERVICES TO PROPERLY EXECUTE THE DEMOLITION AND REMOVAL WORK INDICATED ON THESE CONSTRUCTION DOCUMENTS
2. THE CONTRACTOR SHALL VISIT THE SITE AND INSPECT THE EXISTING BUILDING AND VERIFY THAT ALL ITEMS INDICATED TO BE EXISTING AND SO MARKED ON DRAWINGS ARE IN PLACE AND CORRECT
3. ALL DEMOLITION WORK SHALL BE PERFORMED WITH MINIMUM DAMAGE TO THE EXISTING WORK TO REMAIN. IT SHALL BE RECOGNIZED THAT UTMOST CARE BE TAKEN WHEN PERFORMING THE DEMOLITION WORK. PROVIDE BARRICADES WHERE REQUIRED TO PROTECT THE PUBLIC.
4. PROVISIONS SHALL BE MADE TO ALLEVIATE THE SPREAD OF DEBRIS, DIRT AND DUST TO THE ADJACENT PROPERTIES. THE PROPERTY SHALL BE KEPT CLEAN AS POSSIBLE AT ALL TIMES. ANY ASBESTOS REMOVAL SHALL BE DONE PRIOR TO ANY DEMOLITION WORK. THIS WORK SHALL BE DONE BY A LICENSED ABATEMENT COMPANY.
5. IF THERE IS ANY CONCERN WHETHER A INTERIOR WALL IS BEARING OR NOT, CONTACT ARCHITECT IMMEDIATELY TO SCHEDULE A VERIFICATION TIME. IF REQUIRED PROVIDE FRAMING & STRUCTURE DUE TO REMOVAL OF LOAD BEARING ELEMENTS.
6. WHERE ELECTRICAL NEEDS TO BE ABANDONED, REMOVE WIRE FROM OUTLET ALL THE WAY BACK TO THE ELECTRICAL PANEL / SOURCE. ALL WORK SHALL BE DONE BY A LICENSED ELECTRICIAN.
7. WHERE PLUMBING NEEDS TO BE ABANDONED, REMOVE ALL VENT STACK PIPE CAP & ROOF PENETRATION, REMOVE ALL OVERHEAD WATER LINES BACK TO POINT OF ENTRY (CAREFULLY VERIFY IF ANY LINES CAN BE RE-UTILIZED AS A PART OF NEW BUILD-OUT). ALL UNDERGROUND SANITARY, GREASE OR WATER LINES SHALL BE CAPPED-OFF BELOW SLAB. MAKE SURE ALL WATER HAS BEEN TURNED OFF PRIOR TO ANY WORK. ALL WORK SHALL BE DONE BY A LICENSED PLUMBER. NO DEAD WATER LINES.
8. WHERE VENTILATION OR AIR CONDITIONING NEEDS TO BE ABANDONED, REMOVE ALL EXHAUST & OUTSIDE AIR DUCTS AS REQUIRED. ROOF TOP FANS SHALL BE REMOVED & THE OPENINGS DRIED-IN TO PREVENT ANY WATER PENETRATION IN THE SPACE. ALL WORK SHALL BE DONE BY A LICENSED HVAC CONTRACTOR.
9. WHERE GAS LINES OR SERVICE NEEDS TO BE ABANDONED, CAREFULLY REMOVE ALL PIPING, SHUT-OFF VALVES & FITTINGS AS REQUIRED. GAS METER & REGULATOR SHALL BE REMOVED BY UTILITY COMPANY. ALL WORK SHALL BE DONE BY A LICENSED SUB-CONTRACTOR.
10. DATA PRESENTED ON THESE DRAWINGS ARE AS ACCURATE AS SURVEYS AND PLANNING CAN DETERMINE, BUT ABSOLUTE ACCURACY IS NOT GUARANTEED. FIELD VERIFICATION OF THE PLANS IS THE RESPONSIBILITY OF THE CONTRACTOR SINCE FINAL DISTANCES,

LOCATIONS AND HEIGHTS WILL BE GOVERNED BY ACTUAL FIELD CONDITIONS. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IN AREAS TO BE RENOVATED PRIOR TO BID IN ORDER TO PROVIDE AN ACCURATE BID AND BE AWARE OF ALL CONSTRUCTION METHODS NEEDED TO PROVIDE THE FINISHED PRODUCT AS SHOWN ON THE PLANS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT / ENGINEER FOR A DECISION TO RESOLVE CONFLICTS PRIOR TO BID.

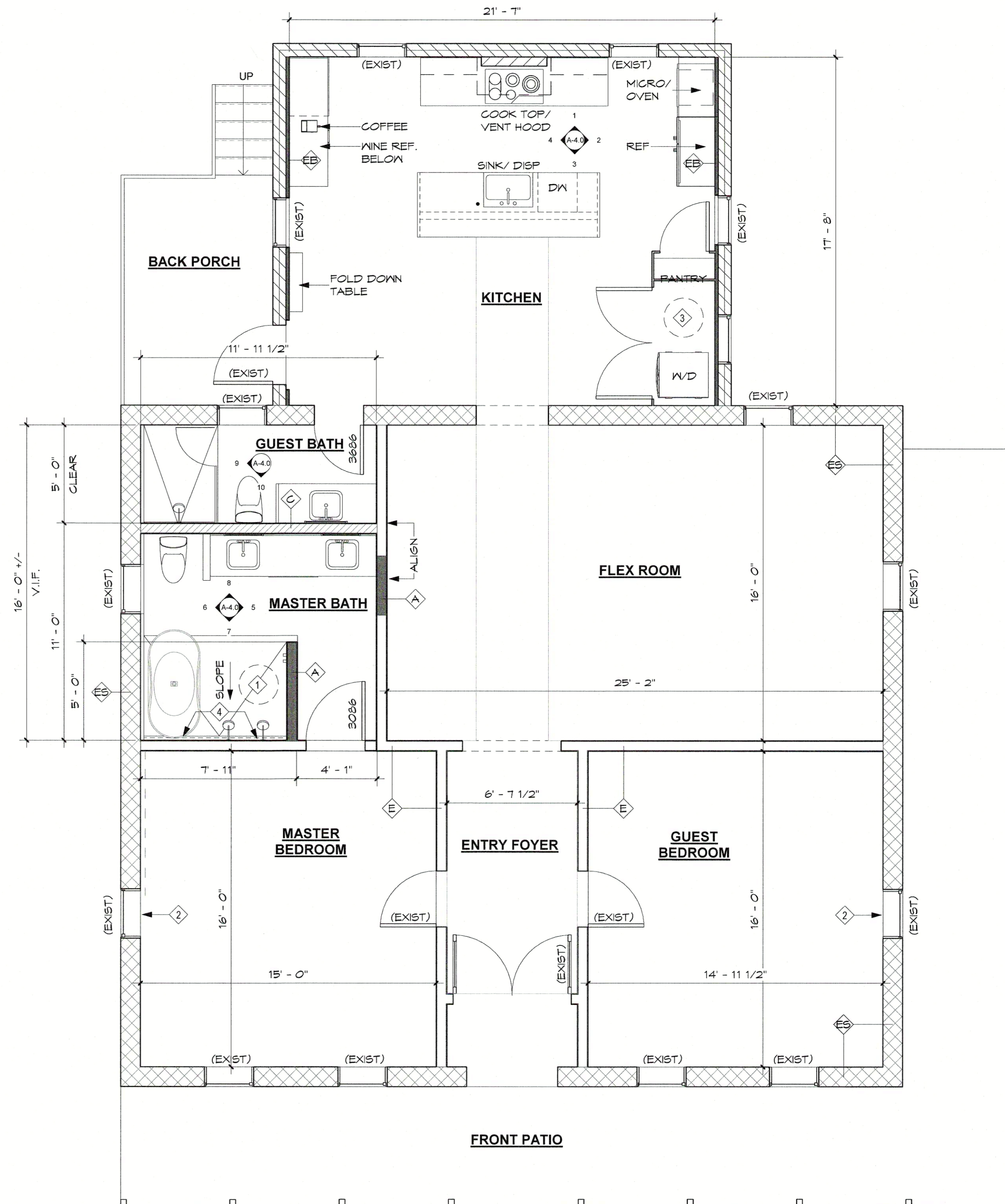
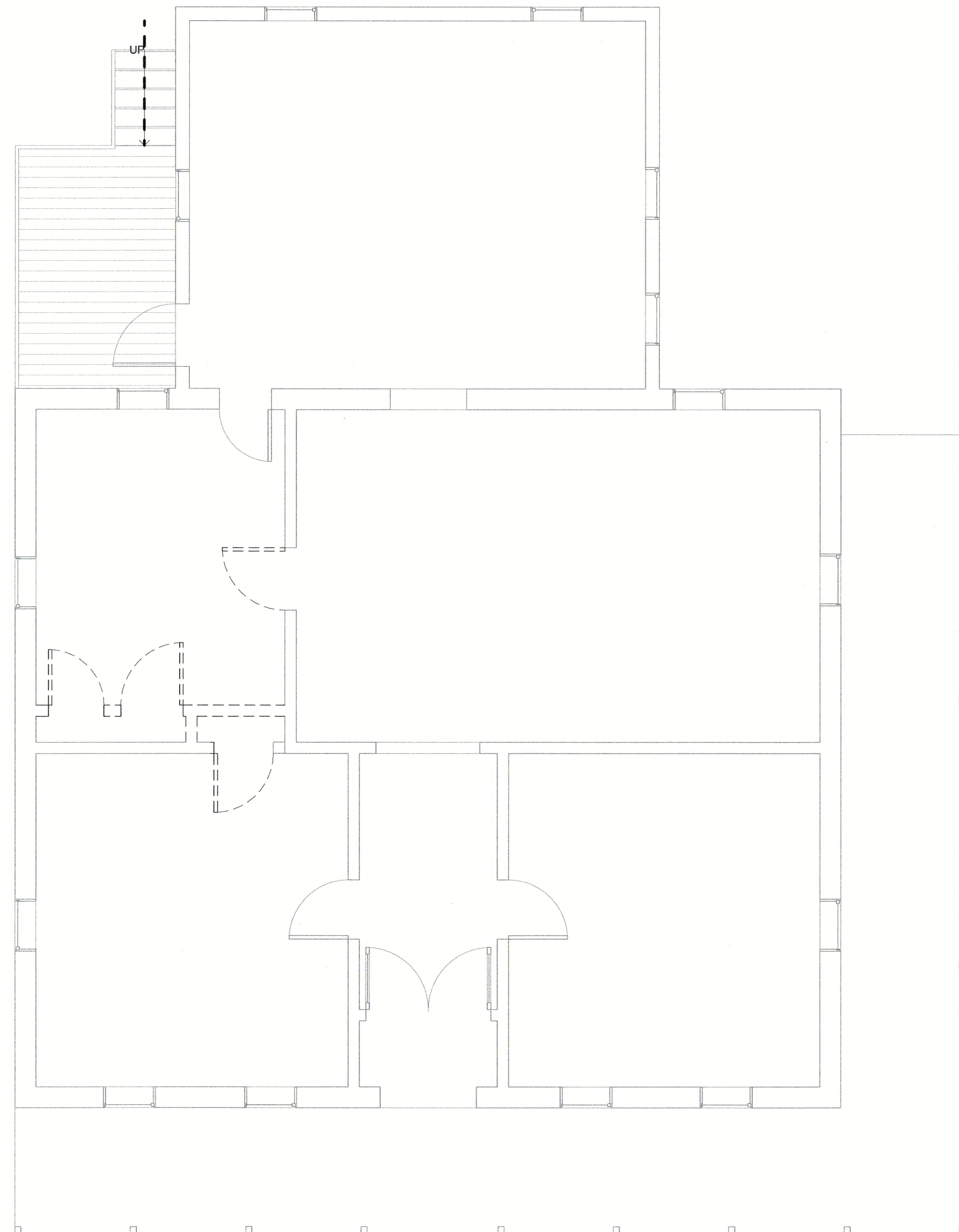
11. CONSTRUCTION IN AREAS TO BE RENOVATED SHALL BE CAREFULLY COORDINATED WITH THE OWNER, AND DESIGNER PRIOR TO CONSTRUCTION. EXISTING EQUIPMENT WILL BE RELOCATED OR STORED AS PER OWNER'S DIRECTION. EQUIPMENT AND FURNISHINGS TO BE STORED SHALL BE PROTECTED FROM DAMAGE AND VANDALISM IN LOCATIONS ACCEPTABLE TO THE OWNER.
12. DASHED LINES ON DEMOLITION PLAN INDICATED EXISTING MATERIALS TO BE REMOVED. EQUIPMENT TO BE REUSED SHALL BE STORED AND PROTECTED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE RESULTING FROM CONSTRUCTION WILL BE REPAIRED TO ITS ORIGINAL STATE.
13. ITEMS TO REMAIN AND TO BE PROTECTED ARE DESIGNATED WITH CONTINUOUS LINES. IF DAMAGE OCCURS, PATCH, REPAIR, OR REPLACE DAMAGED ITEMS AT NO COST TO OWNER.
14. REPAIR CEILING, WALL AND FLOOR FINISHES LEFT VOID OR DAMAGED BY DEMOLITION WORK.
15. REPAIR WALLS DAMAGED BY DEMOLITION TO PROVIDE SMOOTH SURFACE, WITH PATCHES DRESSED FLUSH, SMOOTH AND READY TO RECEIVE FINISH MATERIAL.
16. NOT USED.
17. PROVIDE SCREENING FROM DUST, FUMES, SMOKE, WATER, AND NOISE WHERE DEMOLITION REQUIRES CONSTRUCTION TO BE EXPOSED TO NORMAL OPERATIONS OF THE RESIDENCE.
18. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO DEMOLITION WORK. PROBLEMS OR DISCREPANCIES IN THE PLAN SHALL BE REPORTED AT ONCE TO THE ARCHITECT AND ALL WORK INVOLVED AT SAID QUESTIONED AREA SHALL BE HALTED UNTIL ARCHITECT GIVES NOTICE TO PROCEED.
19. COORDINATE PLUMBING, MECHANICAL, AND ELECTRICAL DEMOLITION AS INDICATED IN PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS WHEN PRESENT. EXISTING MILLWORK, LIGHTING AND PLUMBING FIXTURES NOT TO BE REUSED.

WALL LEGEND

- EXISTING CONSTRUCTION TO BE REMOVED
- EB [Pattern] EXISTING BRICK EXTERIOR WALL TO REMAIN. FUR OUT INTERIOR WITH 2X4 WD STUDS ON FACE & PAINTED GYPSUM WALL BD
- ES [Pattern] EXISTING STONE EXTERIOR WALL TO REMAIN
- A [Pattern] NEW INTERIOR 2X4 PARTITION WITH PAINTED GWB
- C [Pattern] NEW 2X6 INTERIOR PLUMBING WALL

KEYED NOTES

- ① NOT USED.
- ② EXISTING WINDOW TO REMAIN. RESTORE WINDOW FOR PROPER WORKING CONDITION TO ALLOW FOR EGRESS REQUIREMENTS.
- ③ APPROX. LOCATION OF W.H. IN ATTIC. PROVIDE POWER AS REQUIRED.
- ④ LINEAR TRENCH DRAIN BY SCHULTER-KERDI-LINE



1 FLOOR PLAN - EXISTING CONDITIONS/ DEMO
SCALE: 1/4" = 1'-0"

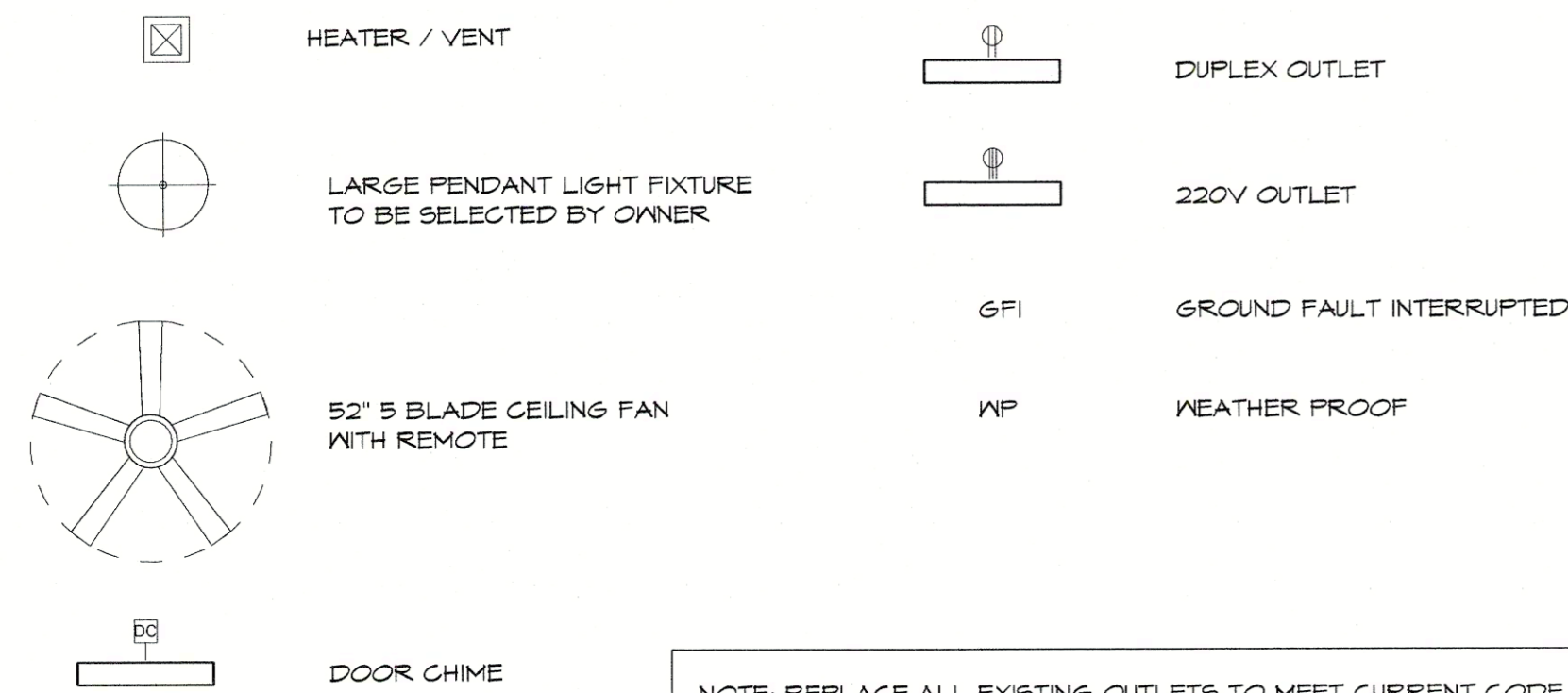
2 FLOOR PLAN - CONCEPTUAL DESIGN
SCALE: 1/4" = 1'-0"

ISSUE:

No.	Date	Issue
1	8.23.18	PERMIT

LIGHTING FIXTURES SCHEDULE			
FIXTURE SYMBOL	TYPE OF LIGHT	LIGHTING COMPANY	ITEM NAME
A	COVE LIGHTING	ECOSENSE - TROV	L50 GRAVE
B	SQUARE DOWN LIGHTS	LITHONIA LIGHT	LDN4SQ
C	UNDER CABINET LIGHTING	ECOSENSE - SLIM COVE DIM	MEDIUM OUTPUT

POWER LEGEND



KEYNOTE LEGEND

- ① APPROX. LOCATION OF ABOVE CEILING W/H. PROVIDE POWER & ACCESS AS REQUIRED.
- ② NEW WOOD CEILING TO BE CONSTRUCTED WITH SALVAGED LONG LEAF PINE FLOORS. COORDINATE BOARDS WITH OWNER/ ARCHITECT PRIOR TO INSTALL.
- ③ NEW 5/8" GYP BOAD CEILING.
- ④ EXISTING CEILING TO REMAIN. PATCH & REPAINT AS REQUIRED FOR LIKE NEW CONDITION.
- ⑤ NEW COVE LIGHT. PROVIDE FOR PAINTED WD TRIM TO MATCH CEILING.



1 POWER & LIGHTING PLAN
SCALE : 1/4" = 1'-0"

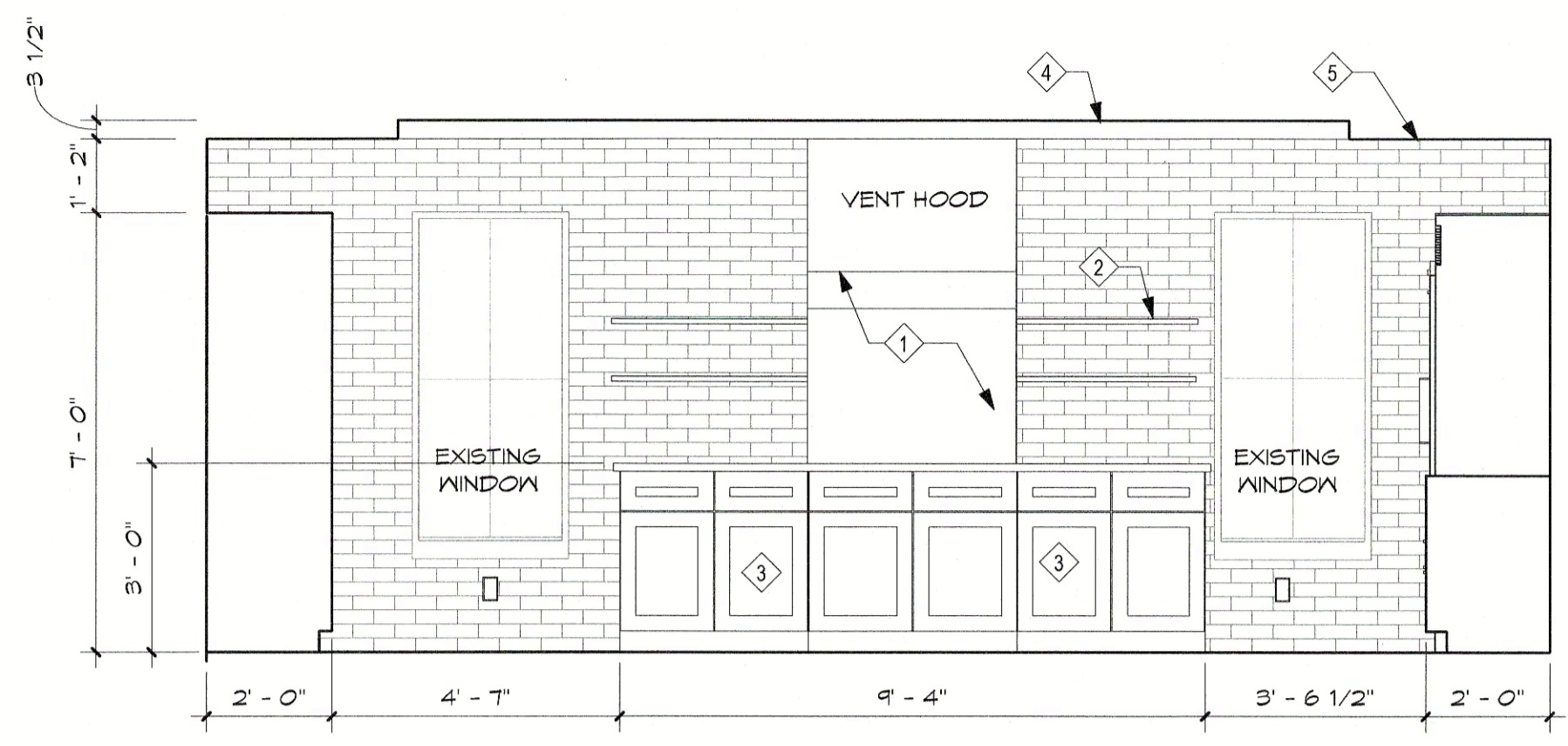
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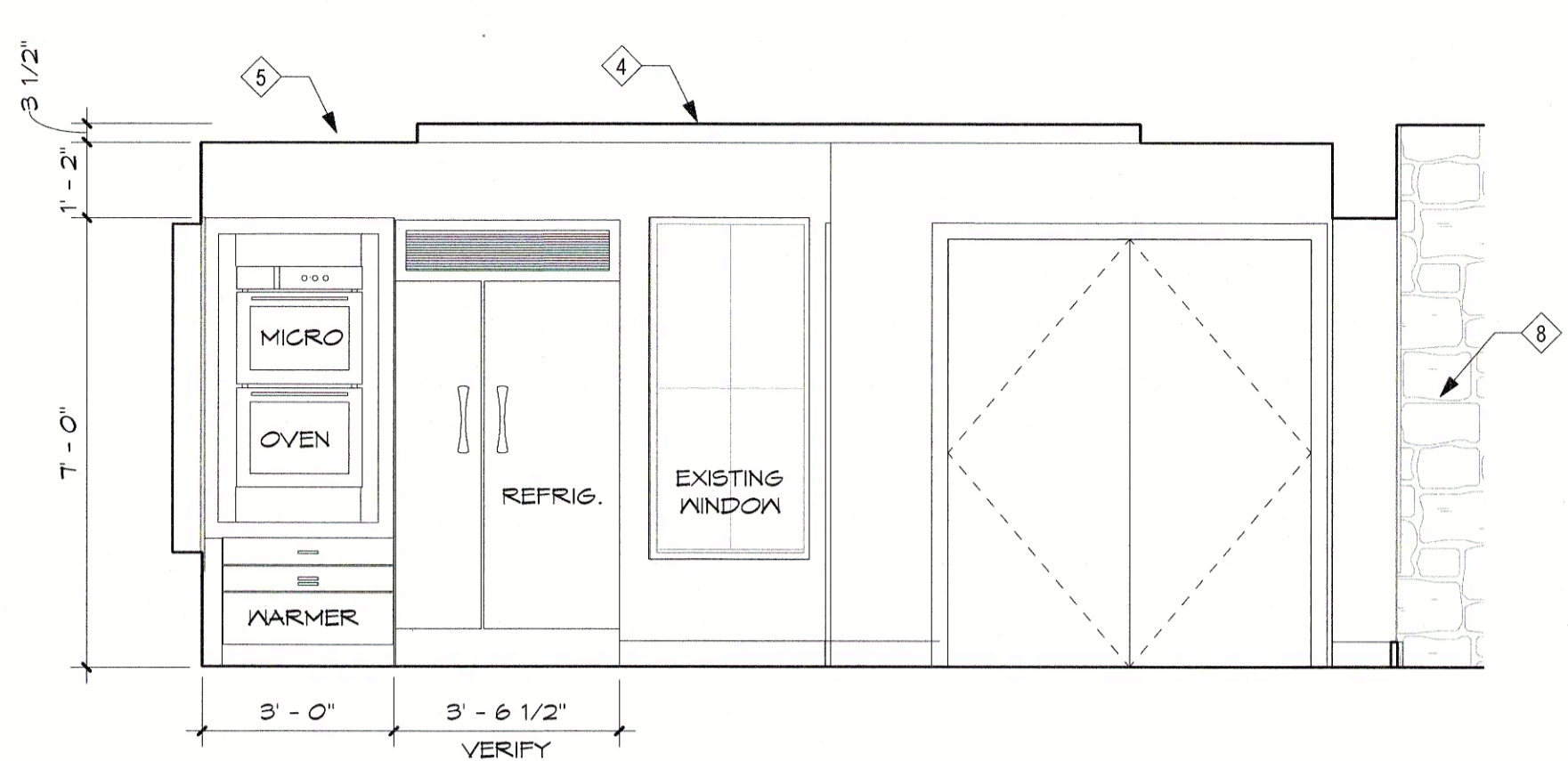
POWER & LIGHTING PLAN

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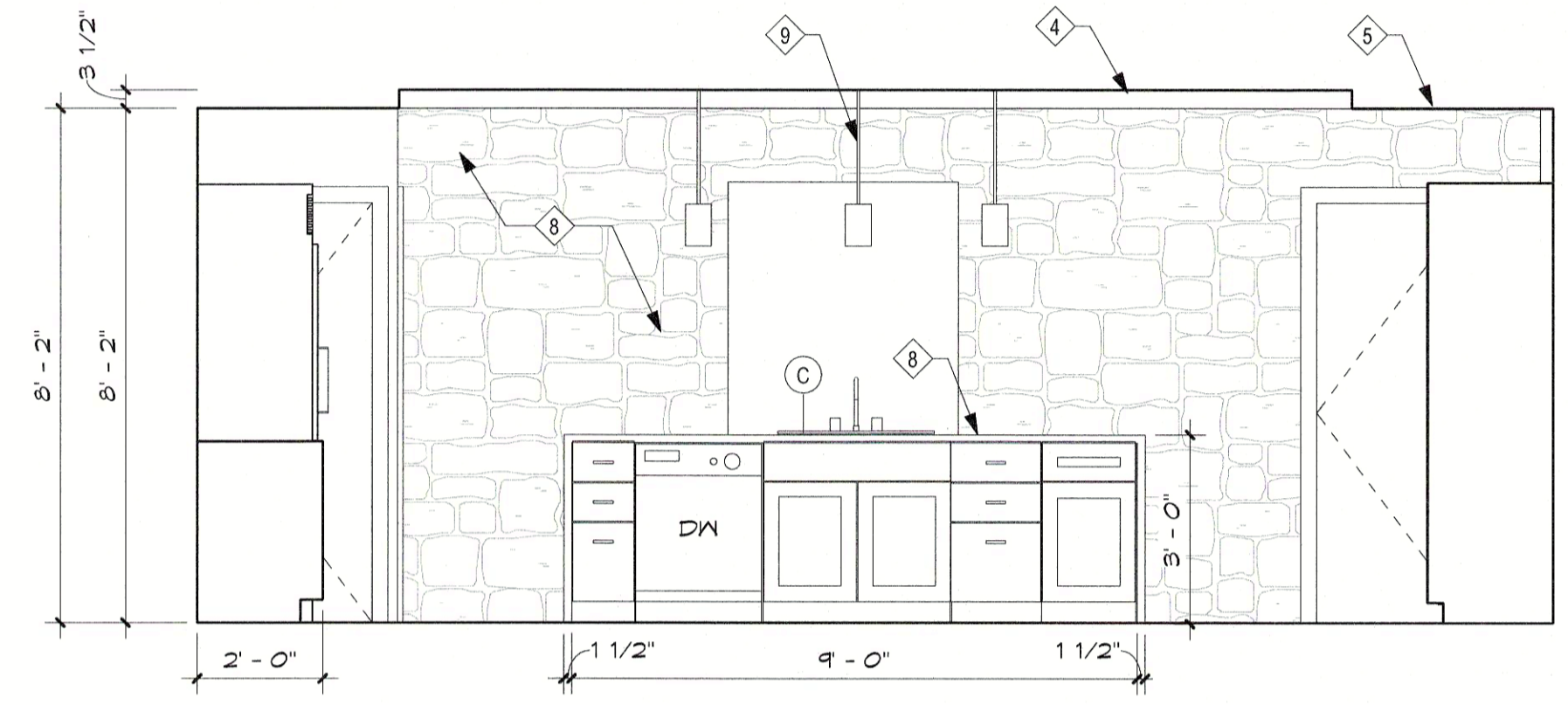
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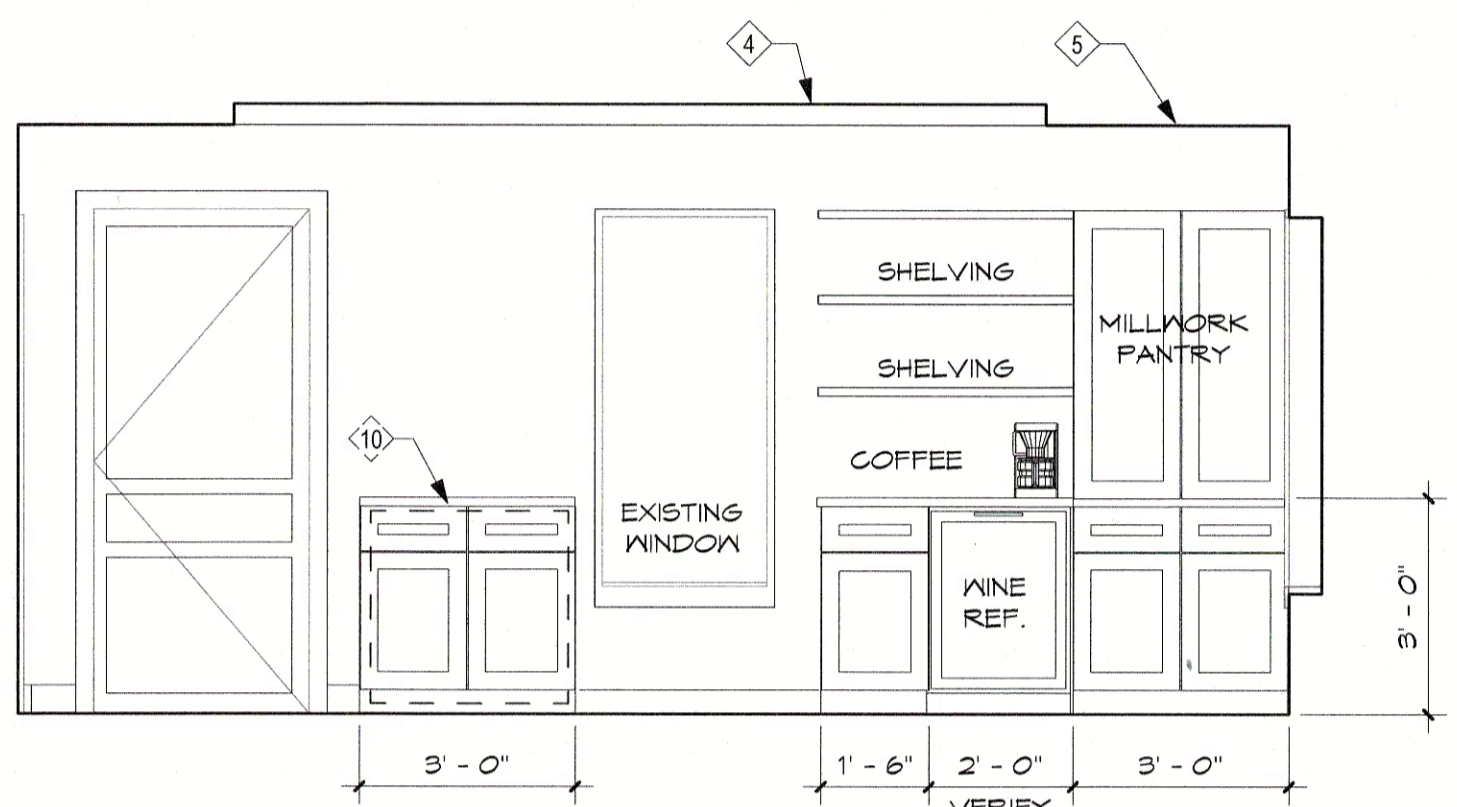
1 KITCHEN ELEVATION
3/8" = 1'-0"



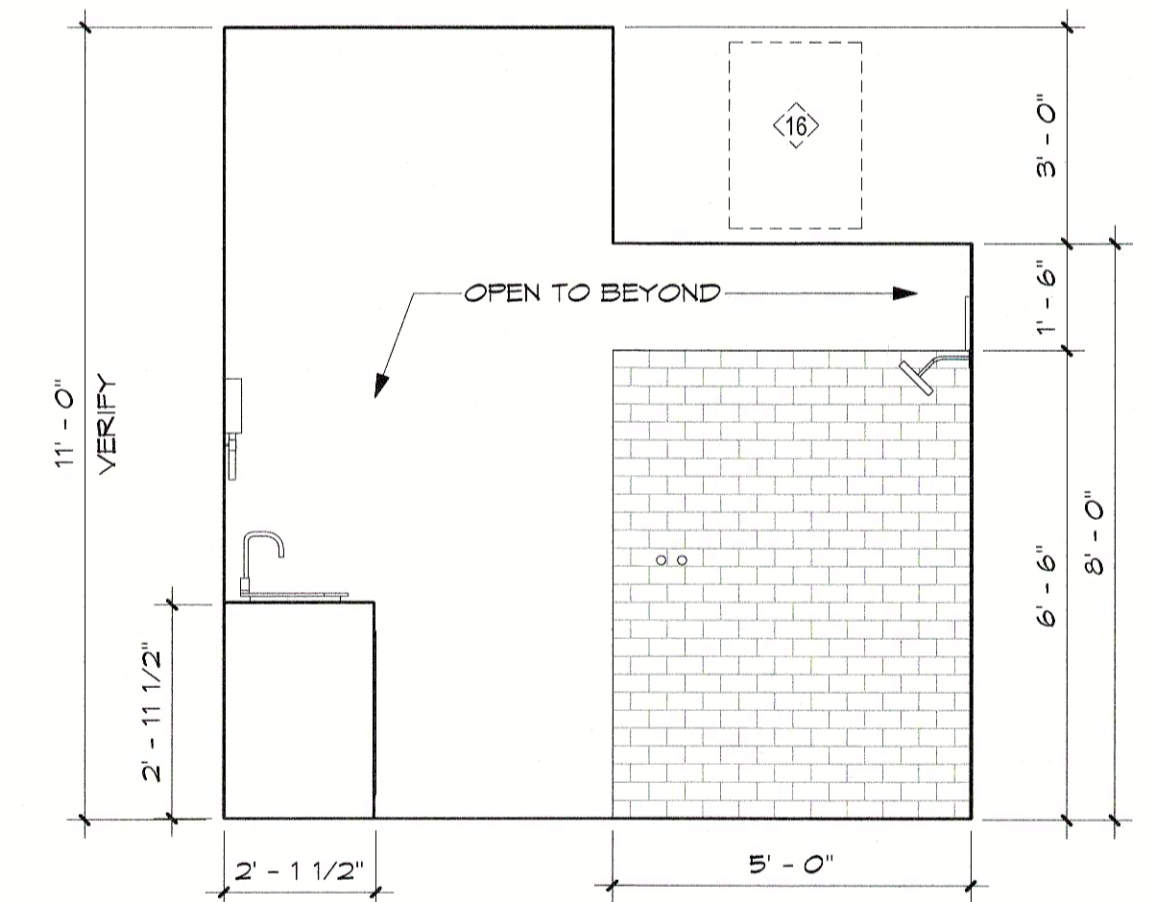
2 KITCHEN ELEVATION
3/8" = 1'-0"



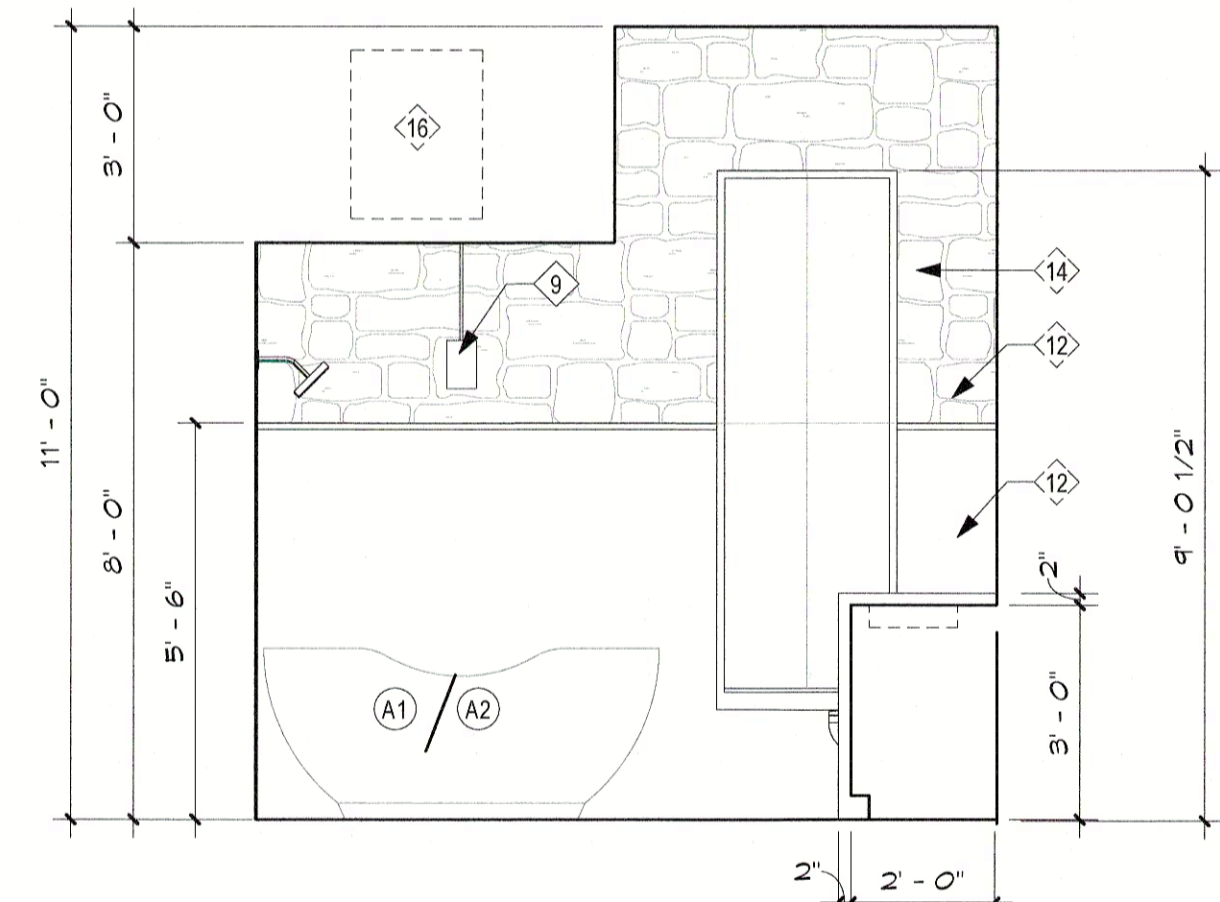
3 KITCHEN ELEVATION
3/8" = 1'-0"



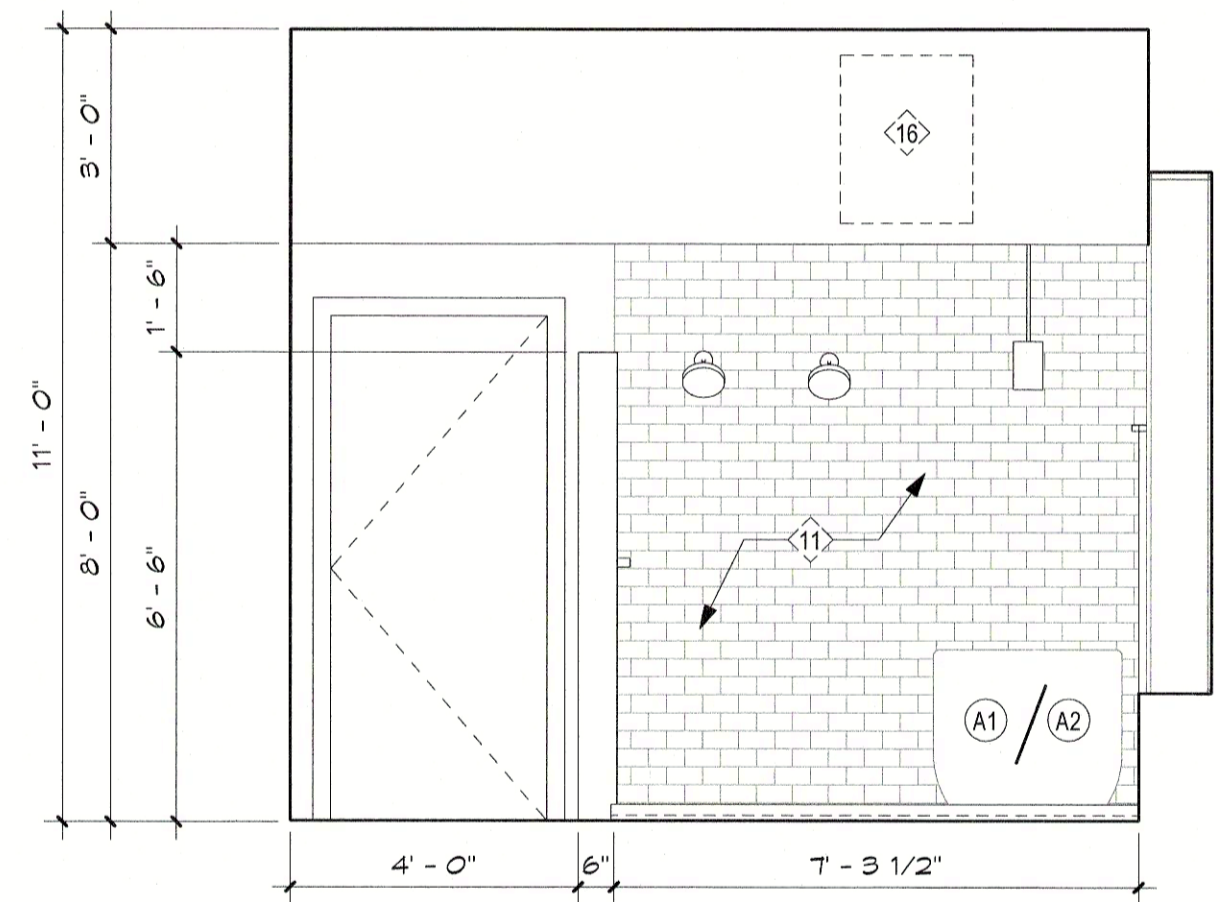
4 KITCHEN ELEVATION
3/8" = 1'-0"



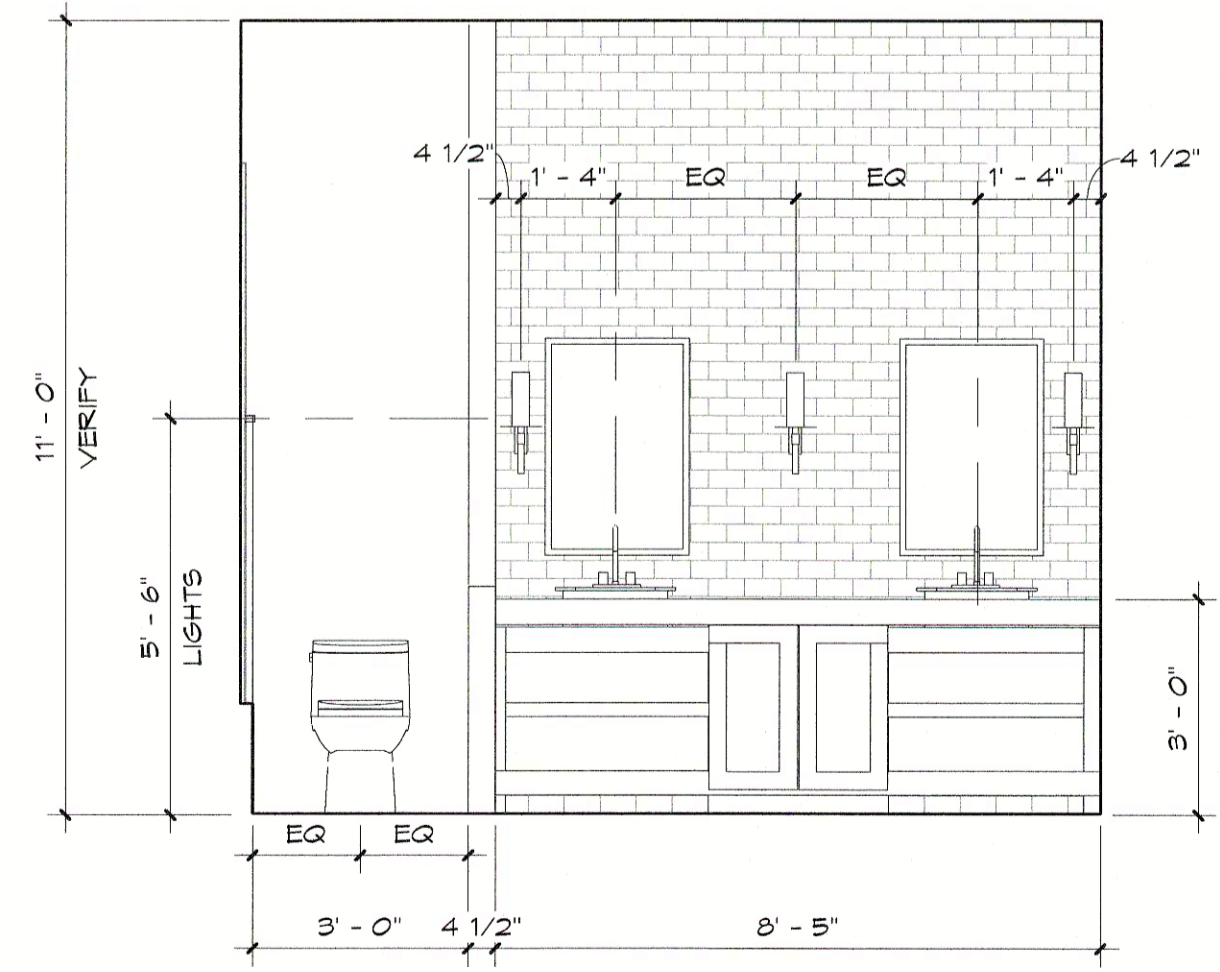
5 MASTER BATH
3/8" = 1'-0"



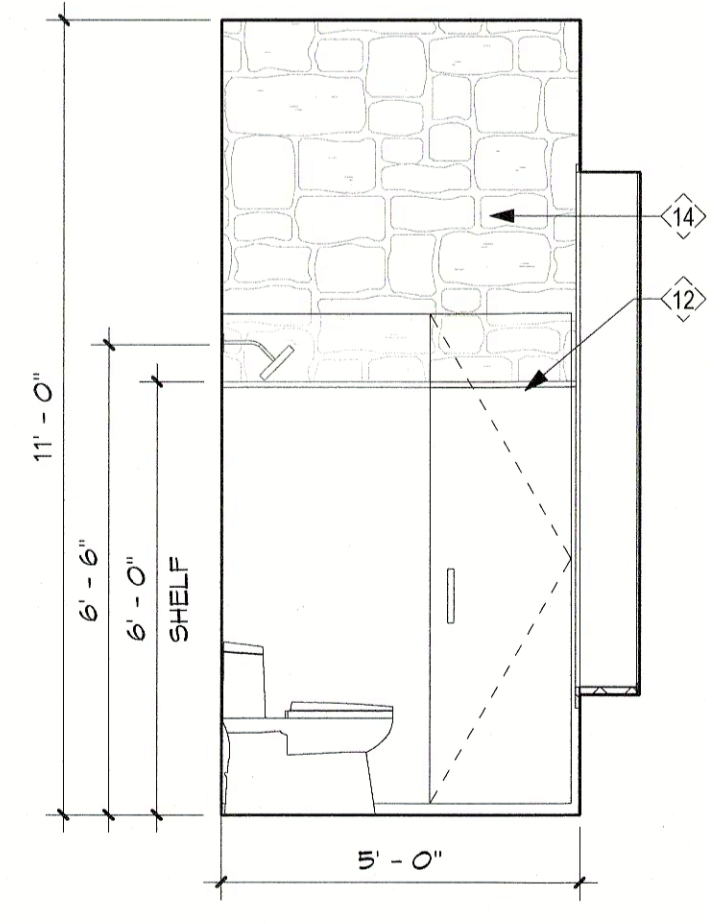
6 MASTER BATH
3/8" = 1'-0"



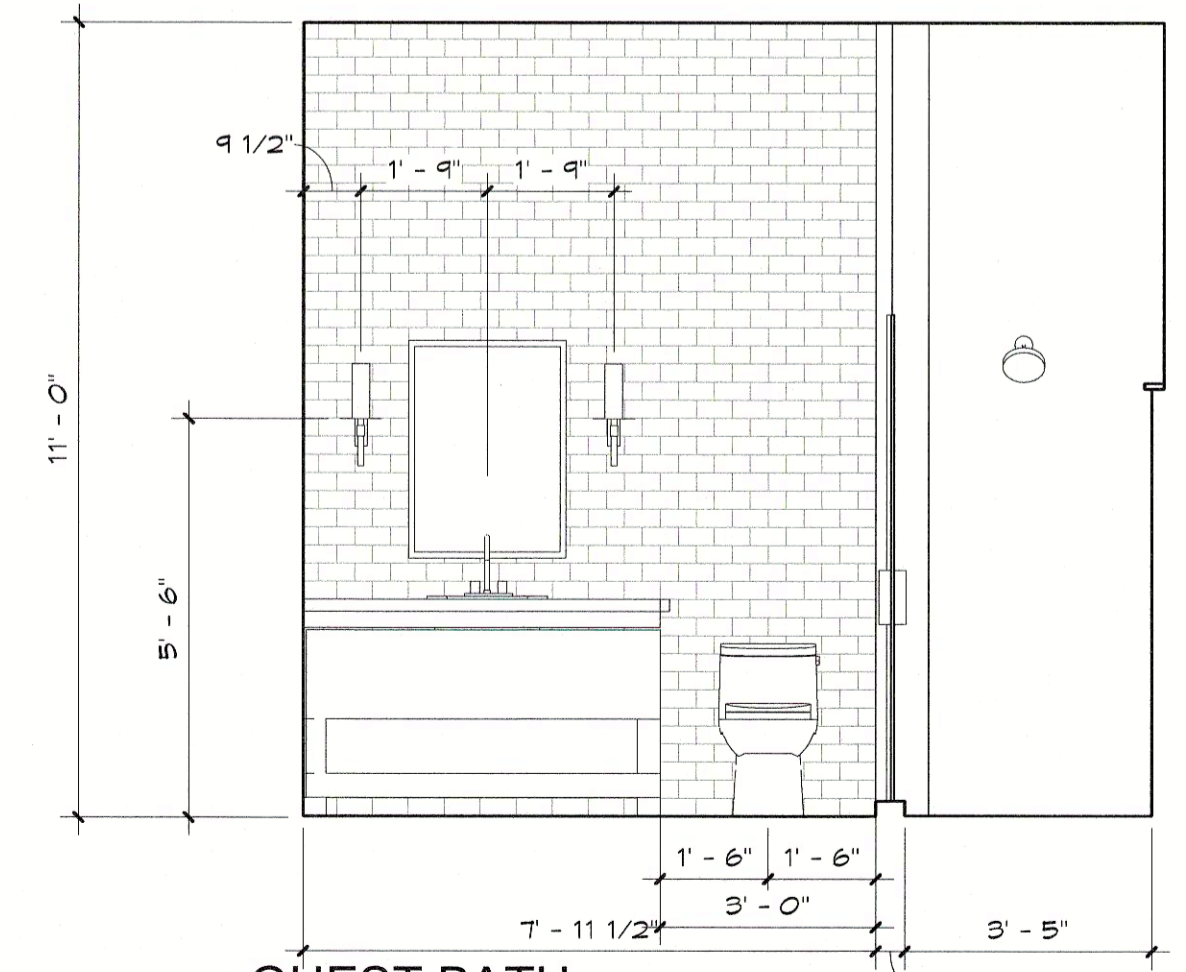
7 MASTER BATH
3/8" = 1'-0"



8 MASTER BATH
3/8" = 1'-0"



9 GUEST BATH
3/8" = 1'-0"



10 GUEST BATH
3/8" = 1'-0"

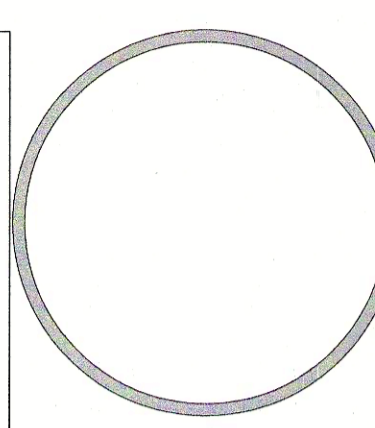
PLUMBING FIXTURES SCHEDULE			
FIXTURE SYMBOL	TYPE OF FIXTURE	COMPANY/PLUMBING FIXTURE	ITEM NAME
(A1)	BATH TUB	KOHLER - CERIC 65" x 31" FREESTANDING BATH CENTER TOE-TAP DRAIN	K-8336-0
(A2)	BATH TUB	KOHLER - STARGAZE 60" x 34" FREESTANDING BATH STRAIGHT SHROUD & CENTER DRAIN	K-24010-0
(B)	BATHROOM SINK	KOHLER - KATHRYN 23-7/8" x 15-5/8" x 6-1/4" UNDER-MOUNT BATHROOM SINK	K-2297-0
(C)	KITCHEN FAUCET	DELTA - TRINSIC COLLECTION KITCHEN FAUCET SINGLE HANDLE PULL-DOWN	9159-BL-DST
(D)	BATHROOM FAUCET	FAUCETURE - KINGSTON CREATION LAVATORY FAUCET SINGLE HANDLE WITH PUSH DRAIN	LA#M-000018
(E)	SHOWER HEAD	PIVOTAL - TEMPASSURE 17T SERIES H2O KINETIC SHOWER TRIM	T17T299-BL

ELEVATION KEYED NOTES

NOTE: PROVIDE SUBMITTAL TO OWNER FOR ALL ITEMS SPECIFIED PRIOR TO ORDERING FOR OWNER APPROVAL.

- 1 NEW BLACK CUSTOM STEEL SPLASH & VENT HOOD
- 2 NEW WD FLOATING SHELVES
- 3 BASE CABINETS TO BE SELECTED
- 4 WOOD SLAT CEILING TO MATCH NEW MESQUITE FLOORING
- 5 PAINTED GYPSUM WALL BD CEILING
- 6 DOUBLE OVEN APPLIANCE TO BE SELECTED IN BUILT IN MILLAWORK
- 7 EXISTING EXPOSED MASONRY WALL. PROTECT THROUGH DURATION OF CONSTRUCTION
- 8 NATURAL STONE "WATER FALL" EDGE COUNTER TOP AS SPECIFIED
- 9 LIGHT FIXTURE AS SPECIFIED
- 10 CUSTOM MILLAWORK WITH FOLD OUT TABLE. FINAL DESIGN T.B.D.
- 11 FINISH TILE AS SPECIFIED. PROVIDE CEMENT BACKER BOARD AND SCHLUTER KERDI WATERPROOFING MEMBRANE PER MANUFACTURES SPECIFICATIONS
- 12 SOLID SURFACE SHELF OVER GYPSUM WALL BD FURRING
- 13 PAINTED GNB (PROVIDE GREEN BOARD AT NET LOCATIONS)
- 14 EXISTING NATURAL STONE TO REMAIN.
- 15 BUILT UP FLOOR TO ALLOW FOR SLOPING SHOWER FLOOR TO LINEAR TRENCH DRAIN AT WALL.
- 16 APPLIANCE TO BE SELEECTED BY OWNER.
- 17 APPROX. LOCATION OF ABOVE CEILING WATER HEATER. PROVIDE ACCESS AS REQUIRED BY CODE.

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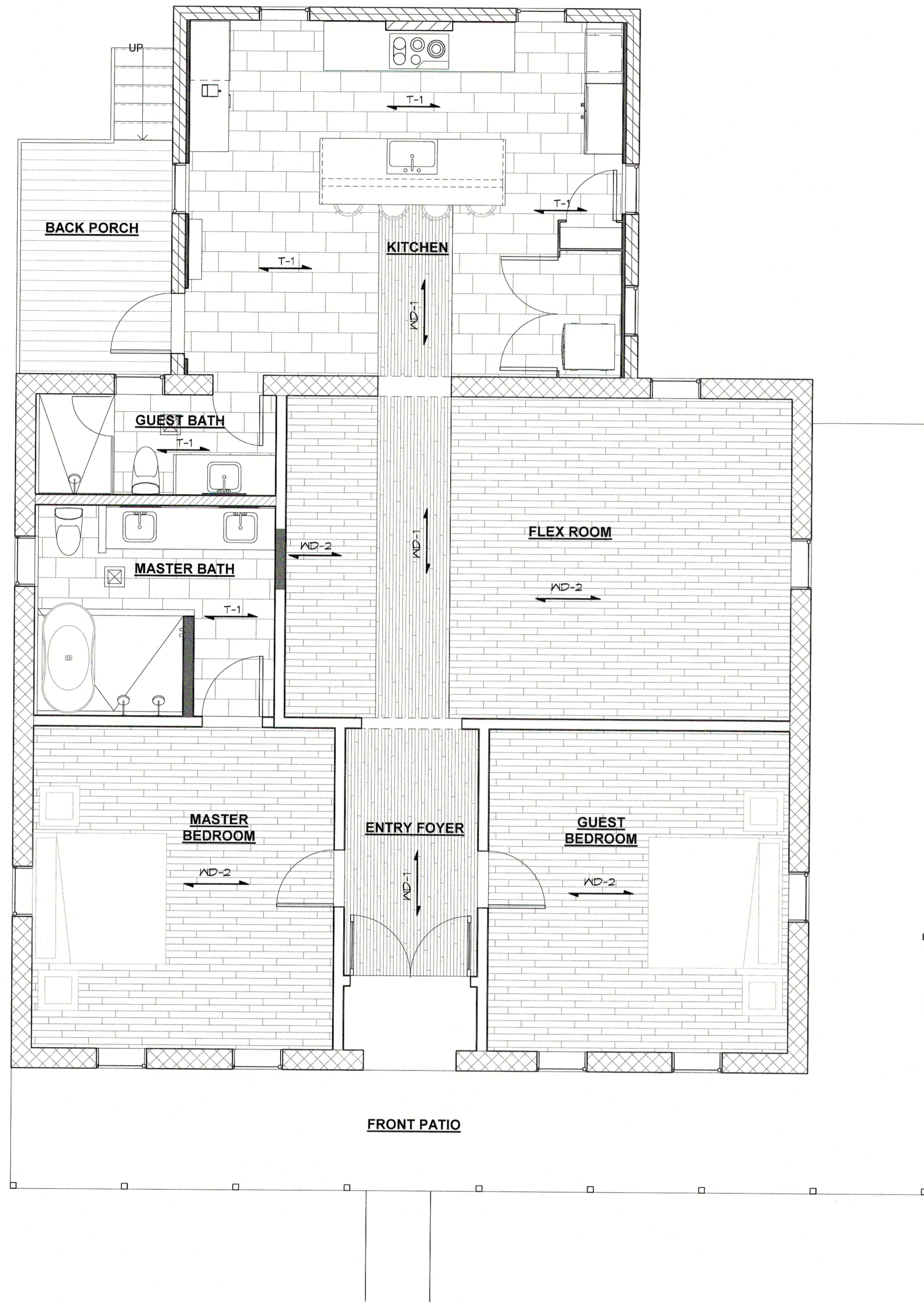
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INTERIOR ELEVATIONS

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1 FINISH PLAN
SCALE: 1/4" = 1'-0"

ROOM FINISH SCHEDULE

WALL DESIGNATION: N, S, E, W

ROOM NAME	FLR.	BASE	WALLS				CLG.	REMARKS
			N	E	S	W		
FRONT PORCH								
ENTRY FOYER								
MASTER BEDROOM								
GUEST BEDROOM								
MASTER BATHROOM								
GUEST BATHROOM								
KITCHEN								
FLEX ROOM								
BACK PATIO								

FINISH LEGEND

WOOD FLOORING:

ND-1 WOOD FLOOR
MANUF: WOODWRIGHT
SPECIES: TEXAS MESQUITE EDGE GRAIN
SERIAL #: 19,124
SPECIFICATION # 17, 545

ND-2 WOOD FLOOR
MANUF: WOODWRIGHT
SPECIES: TEXAS MESQUITE
SERIAL #: 18, 124
SPECIFICATION # 18, 642

TILE:

T-1 MANUF: CONCEPT SURFACES
STYLE: ACADIA, MATTE
COLOR: FLAX
SIZE: 12X24

T-2 MANUF: CONCEPT SURFACES
STYLE: ACADIA, MATTE
COLOR: FLAX
SIZE: 24X24

T-3 MANUF: ANNE SACKS
STYLE: YAKISUGI MOSAIC
COLOR: SHIRO
SIZE: 11.811 X 11.811

WALLS: ALL WALLS SCHED. TO RECEIVE PAINT ARE TO RECEIVE 1 PRIMER COAT & 2 COATS INTERIOR LATEX ENAMEL, EGGSHELL FINISH. PROVIDE SAMPLES IN PLACE FOR APPROVAL BY TENANT.)

PT-1 PAINT BY (PRIMARY):

PT-2 PAINT BY (ACCENT):

PT-3 PAINT BY (ACCENT):

STONE:

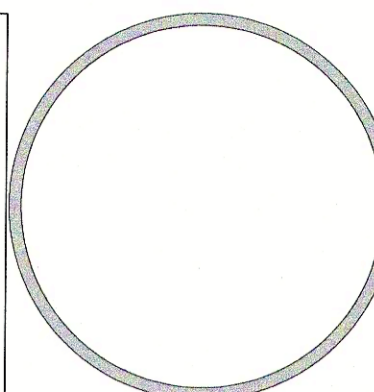
ST-1 MANUF: ARTISTIC TILE
STYLE: KALANDULA BLACK
FINISH: LEATHER
THICKNESS: 3/4" (2CM)
ITEM #: 8LTSL2
NOTES: KITCHEN ISLAND

SOLID SURFACE:

SS-1 MANUF: GAMBRIA
STYLE: BRITTANICA
THICKNESS: 3/4" (2CM)
NOTES: KITCHEN COUNTER AND BACKSPLASH

SS-2 MANUF: CEASARSTONE
STYLE: MONTBLANC 5043
THICKNESS: 3/4" (2CM)
NOTES: RESTROOM COUNTERTOPS

SS-3 MANUF: CEASARSTONE
STYLE: CONCRETE 2003



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FINISH PLAN

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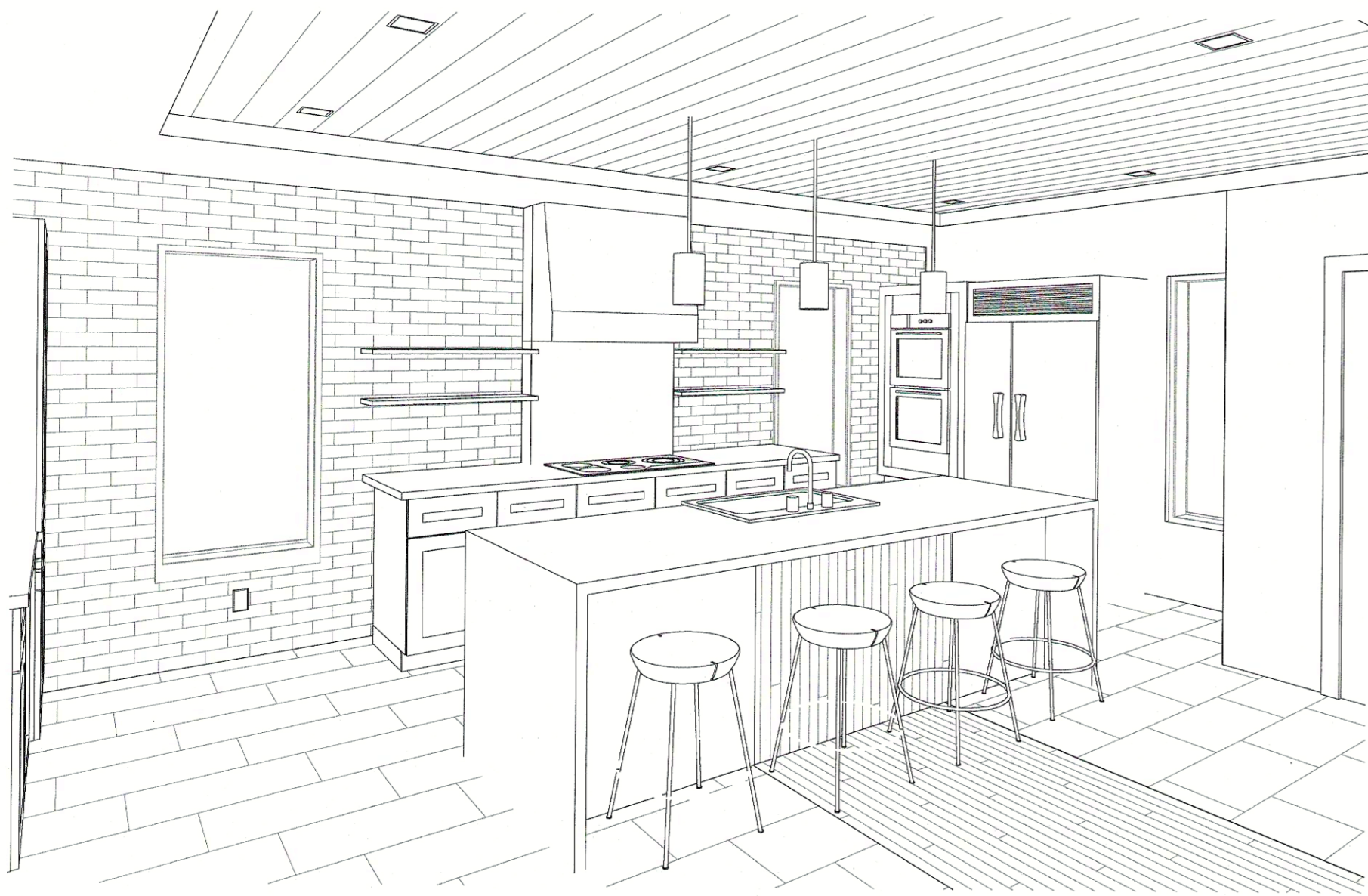
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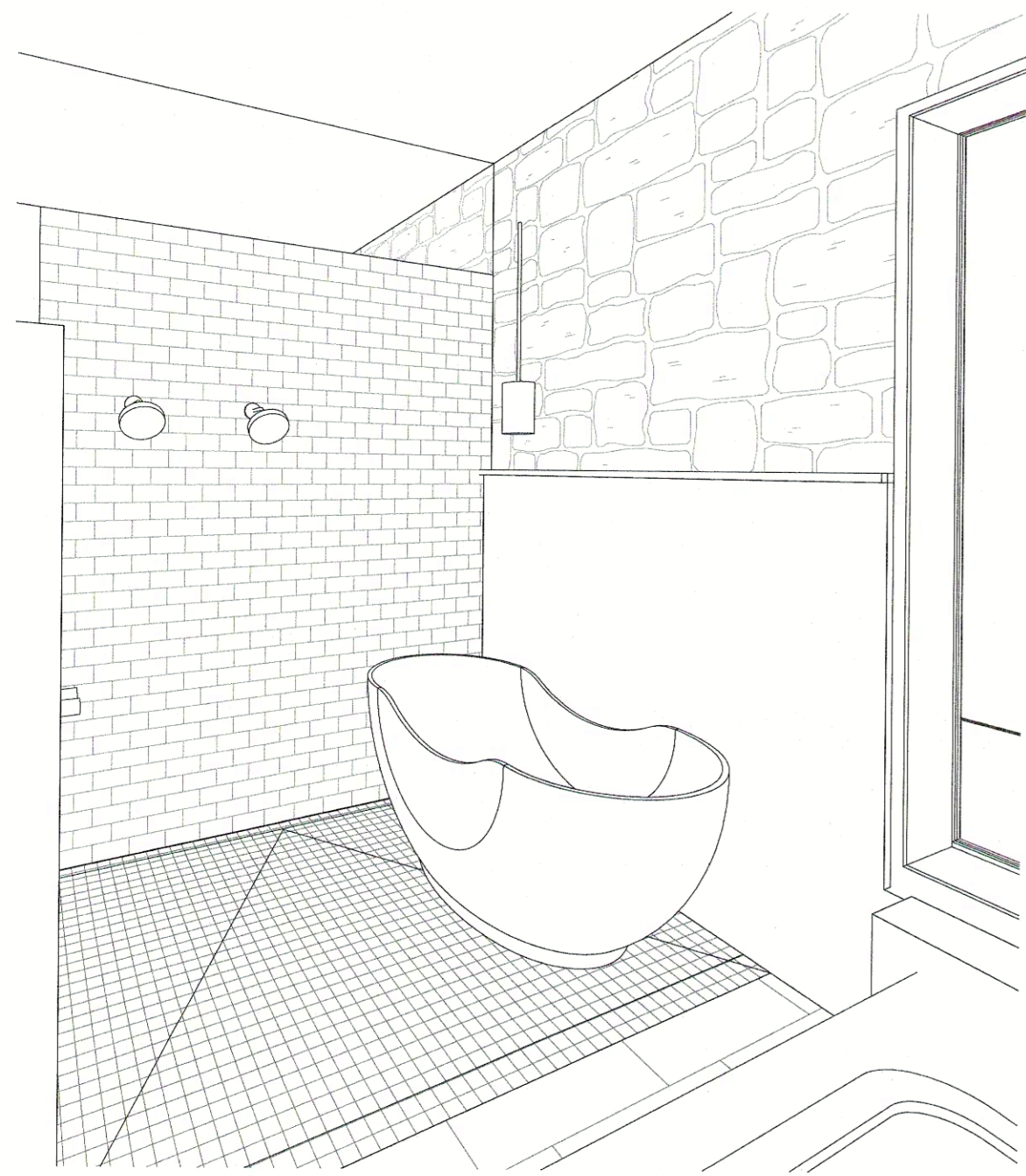
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Date: Issue Date



1 PERSPECTIVE VIEW KITCHEN

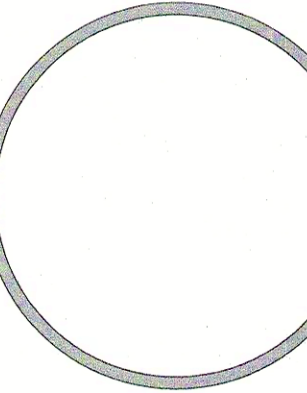


4 PERSPECTIVE VIEW MASTER BATH



5 PERSPECTIVE VIEW MASTER BATH

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PERSPECTIVE VIEW

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