

HISTORIC AND DESIGN REVIEW COMMISSION

March 21, 2018

HDRC CASE NO: 2018-002
COMMON NAME: PHIL HARDBERGER PARK
ADDRESS: 13203 BLANCO RD
8400 NW MILITARY HWY
LEGAL DESCRIPTION: NCB 11672 P-1B ABS 124
NCB 11672 P-10 ABS 124 NON-ADJ
ZONING: R-6
CITY COUNCIL DIST.: 8, 9
APPLICANT: James Gray/Rialto Studio, Inc.
OWNER: City of San Antonio
TYPE OF WORK: Final approval for construction of a land bridge
APPLICATION RECEIVED: March 02, 2018
60-DAY REVIEW: May 01, 2018
REQUEST:

The applicant is requesting a Certificate of Appropriateness to construct a land bridge over Wurzbach Parkway to connect Hardberger Park East and Hardberger Park West. The project will include temporary traffic configurations for Wurzbach Parkway, new bridge superstructure, earthwork, rainwater harvesting system, new water and electric utility services, limestone retaining walls, pedestrian trails, sky walk, wildlife blinds and water guzzlers, signage, plantings, and irrigation systems.

APPLICABLE CITATIONS:

Unified Development Code Sec. 35-640. - Public Property and Rights-of-Way.

- (a) Public Property. Generally, the historic and design review commission will consider applications for actions affecting the exterior of public properties except in the case of building interiors that are the sites of major public assemblies or public lobbies. The historic and design review commission will also consider applications for actions affecting public properties such as city parks, open spaces, plazas, parking lots, signs and appurtenances.
- (b) Public Rights-of-Way. Generally, the historic and design review commission will consider applications for actions affecting public rights-of-way whose construction or reconstruction exceeds in quality of design or materials standards of the design manual of the public works department.

Unified Development Code Sec. 35-641. - Design Considerations for Historic and Design Review Commission Recommendations.

In reviewing an application, the historic and design review commission shall be aware of the importance of attempting to find a way to meet the current needs of the City of San Antonio, lessee or licensee of public property. The historic and design review commission shall also recognize the importance of recommending approval of plans that will be reasonable to implement. The best urban design standards possible can and should be employed with public property including buildings and facilities, parks and open spaces, and the public right-of-way. Design and construction on public property should employ such standards because the use of public monies for design and construction is a public trust. Public commitment to quality design should encourage better design by the private sector. Finally, using such design standards for public property improves the identity and the quality of life of the surrounding neighborhoods.

Unified Development Code Sec. 35-643. - Alteration, Restoration and Rehabilitation.

In considering an application for a certificate to alter, restore, rehabilitate, or add to a building, object, site or structure the historic and design review commission shall be guided by the following general standards of the Secretary of the Interior's Standards for Rehabilitation in addition to any specific design guidelines included in this article:

- (a) Every reasonable effort shall be made to adapt the property in a manner which requires minimal alteration of the building, structure, object, or site and its environment.
- (b) The distinguishing original qualities or character of a building, structure, object, or site and its environment, shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.
- (c) All buildings, structures, objects, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.
- (d) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, object, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
- (e) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, object, or site shall be kept where possible.
- (f) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should reflect the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
- (g) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting, high pressure washes and other cleaning methods that will damage the historic building's materials shall not be undertaken.
- (h) Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.
- (i) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.
- (j) Wherever possible, new additions or alterations to buildings, structures, objects, or sites shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building, structure, object, or site would be unimpaired.

Unified Development Code Sec. 35-646. - Construction in Public Rights-of-Way.

- (a) General Provisions. All construction in the public right-of-way shall conform to all city codes. In considering an application, the historic and design review commission shall be guided by the following:
 - (1) Sidewalk Zones. Pedestrian movement should be pleasant, allowing for store browsing, comfortable transit waiting and easy accessibility for disabled people. Where possible, sidewalks should at least five (5) feet in width. Existing sidewalks should not be narrowed when replaced.
 - (2) Sidewalk Paving and Surfaces. Materials should complement stylistic differences of individual buildings, particularly when related to historic buildings.
 - A. Materials. Materials should be chosen for beauty, strength, longevity, easy maintenance and traction when dry or wet.
 - B. Color and Texture. To ensure the safety of pedestrians, all changes in surfaces should be defined by contrasting color, texture or materials.
 - (3) Street Features and Arrangements. Historic districts and the downtown, as well as other distinct areas of the city have diverse character and any street furniture selected for these areas should complement these differences. In addition, the clustering of street furniture in one (1) place is recommended. Trash receptacles, seating, telephones and other street furniture should be grouped together.
 - A. Circulation. A clear path-of-travel of thirty-six (36) inches wide shall be maintained in and around street features and arrangement.
 - B. Seating. Seating should be physically comfortable and inviting, durable and attractive. Plaza and open space seating should also be socially comfortable by offering a variety of choices such as in the sun or shade, near traffic and activity or not, and alone or in groups.
 - C. Drinking Fountains. Placing drinking fountains in new development is encouraged. Fountains should be placed within general areas of pedestrian traffic and located on accessible surfaces.
 - D. Trash Receptacles. Trash receptacles should blend visually with their surroundings and their design and location should make use as convenient as possible.

- E. Vending Machines. Vending machines will not dispense items other than newspapers and periodicals. Vending machines shall be clustered together and away from intersection corners.
- F. Vending Carts and Kiosks. Vending carts and kiosks are encouraged in locations that do not impede normal pedestrian traffic.
- G. Outdoor Dining. Lease of public right-of-way for outdoor dining is encouraged in appropriate locations. Lease of sidewalk space for outdoor dining shall be managed through the department of parks and recreation and shall comply with all city codes. It is recommended that at least eight (8) feet of sidewalk be retained between the curb and the leased or licensed space to provide an uninterrupted public walkway.
- H. Street Objects. Utility boxes, vending machines and so on should not be located in sidewalk zones. Their design and color should be compatible with character of their surroundings.

(4) Streetscape Landscaping. Landscaping, particularly streets trees, are an important addition to the streetscape because of the hot Texas climate. Appropriate application along sidewalks strengthens the visual quality of public streets. Careful selection of plant materials, using native and low-water use plants, is recommended.

(Ord. No. 98697 § 6)

Sec. 35-645. - Signs and Billboards on Public Property or Right-of-Way.

(a) General Provisions. All non-regulatory signage on public property, on the public right-of-way, or overhanging the public right-of-way shall conform to all city codes and must be approved by the historic preservation officer prior to installation. Permits must be obtained following approval of the application. The historic preservation officer may submit an application under this section to the historic and design review commission for their recommendation prior to approving, denying, or approving with conditions the application. Memorials, markers, naming rights of public property, and recognition of charitable donations given to the City of San Antonio shall be additionally governed by existing policies for memorials and markers and/or any formal action passed by city council. Temporary displays approved by the department exercising control of the public property are authorized if in accordance with chapter 28 of the City Code of San Antonio, Texas.

(b) Sign Definitions. For signage definitions, refer to subsection 35-612(b) and chapter 28 of the City Code.

(c) Proportion of Signs. Signage width and height must be in proportion to the facade, respecting the size, scale and mass of the facade, building height, and rhythms and sizes of window and door openings. The building facade shall be considered as part of an overall sign program but the sign shall be subordinate to the overall building composition. Additionally, signs should respect and respond to the character and/or period of the area in which they are being placed.

(d) Standards for Sign Design and Placement. In considering whether to recommend approval or disapproval of an application for a certificate to construct or alter signage on a building, object, site, or structure, the historic and design review commission shall be guided by the following standards in addition to any specific design guidelines adopted by city council:

- (1) Primary sign design considerations shall be identification and legibility. Size, scale, height, color and location of signs shall be harmonious with, and properly related to, the overall design of the building or structure and the surrounding area.
- (2) The number of signs on each building shall be kept to a minimum to prevent unsightly clutter and confusion.
- (3) Signs which describe, point, or direct the reader to a specific place or along a specific course, such as "entrance," "exit," and "handicap access" shall be reviewed.
- (4) All graphic elements shall reinforce the architectural integrity of any building. Signs should not disfigure, damage, mar, alter, or conceal architectural features or details and should be limited to sizes which are in scale with the architecture and the streetscape. The historic and design review commission shall be guided by the building's proportion and scale when such elements are incorporated.
- (5) Additionally, when reviewing applications for signage the historic preservation officer and the historic and design review commission shall consider the visual impact on nearby historic resources and established neighborhood character.

(f) Prohibited Signs. Signs that shall not be permitted include:

- (1) Any sign placed upon a building, object, site, or structure in any manner so as to disfigure, damage, interrupt, or conceal any window opening, door, or significant architectural feature or detail of any building;
- (2) Roof mounted signs, except in the cases of (i) integral design with the building; (ii) a contributing sign; (iii) or

otherwise allowed in this article;

(3) Digital and/or LED lighted signs, not to include LED light sources that do not meet the definition of a sign, with or without rotating, flashing lettering, icons or images. Except as provided below:

A. A public transportation agency may incorporate transit information signage into transit shelters, utilizing LED or digital technology, provided the signage is contained within or under the transit shelter, and is limited to five (5) square feet of signage area, and one (1) sign per thirty (30) linear feet of pedestrian shelter.

B. A public transportation agency may incorporate transit information signage into a monument sign at transit stops, utilizing LED or digital technology, provided it is limited to five (5) square feet of signage area.

C. A public transportation agency may incorporate transit information signage into a monument sign at transit facilities (other than transit stops), utilizing LED or digital technology, provided it is limited to seven (7) square feet of signage area.

D. The historic preservation officer may impose additional restrictions on illumination to ensure that the character of signs are harmonious with the character of the structures on which they are to be placed and any designated landmarks or districts in the area, provided that such restrictions are reasonably related to other conforming signs and conforming structures in the area, do not unreasonably restrict the amount of signage allowed by this section, and are in keeping with the intent of this section. Among other things, consideration shall be given to the location and illumination of the sign in relation to the surrounding buildings, the use of appropriate materials, the size and style of lettering and graphics, and the type of lighting proposed. Notwithstanding the above, applicants may not exceed illumination restrictions contained in chapter 28.

FINDINGS:

- a. The property located at 13203 Blanco Road/8400 Military Drive is the site of Phil Hardberger Park. The applicant is requesting final approval to construct a land bridge over Wurzbach Parkway to connect Hardberger Park East and Hardberger Park West. The project will include temporary traffic configurations for Wurzbach Parkway, new bridge superstructure, earthwork, rainwater harvesting system, new water and electric utility services, limestone retaining walls, pedestrian trails, a sky walk, wildlife blinds and water guzzlers, signage, plantings, and irrigation systems.
- b. The applicant received conceptual approval from the HDRC on January 17, 2018. The approval carried the following stipulations:
 1. **That the applicant coordinates with the City Arborist's office to develop a comprehensive tree preservation plan and landscaping plan for final approval;** this stipulation has been met.
 2. **That the applicant submits all additional documentation required for final approval, including locations, material selections, and dimensions of all signage and site elements;** this stipulation has been met in the current submittal.
- c. **PEDESTRIAN SIDEWALKS AND TRAILS** – According to UDC Section 35-646, pedestrian movement should be pleasant, allow for a diversity of experiences, be accessible, and should feature durable, aesthetically pleasing materials that feature contrast to ensure pedestrian safety. The proposal includes a primary impervious gravel trail that connects East and West Hardberger Park, as well as several ancillary trails that allow for diverse educational and experiential engagement with the natural environment. Staff finds the materials, designs, and wayfinding elements appropriate and consistent with the UDC.
- d. **TREE REMOVAL AND PRESERVATION** – The proposal will require the removal of several existing trees at the project site. The applicant has coordinated with the City Arborist's office to develop a comprehensive tree preservation plan.
- e. **LANDSCAPING** – The proposed land bridge will introduce a variety of new landscaping. Based on the submitted documents, the bridge will be comprised of a primarily natural environment that facilitates the retention and development of local wildlife. The proposal includes native grasses, low and tall shrubbery, flowering plants, and trees. Staff finds the proposal appropriate and consistent with the UDC.
- f. **SIGNAGE AND LIGHTING** – The proposal will include various signs intended for both vehicular and pedestrian traffic. A sign branding the name of the land bridge will be affixed to the stone bridge abutments on the edge of the bridge adjacent to the highway. The letters will be constructed of steel and will feature reverse channel lighting. A thin tracing light will be located along the top of the steel wall and lighting will be employed on the underside of the bridge. Additional fixed and interactive trail signage will be located throughout the project site, which is pedestrian in scale and appropriate in design and materiality. Staff finds the proposal consistent with the UDC.
- g. **SITE ELEMENTS** – The proposal also includes several site elements, including trash receptacles, light poles,

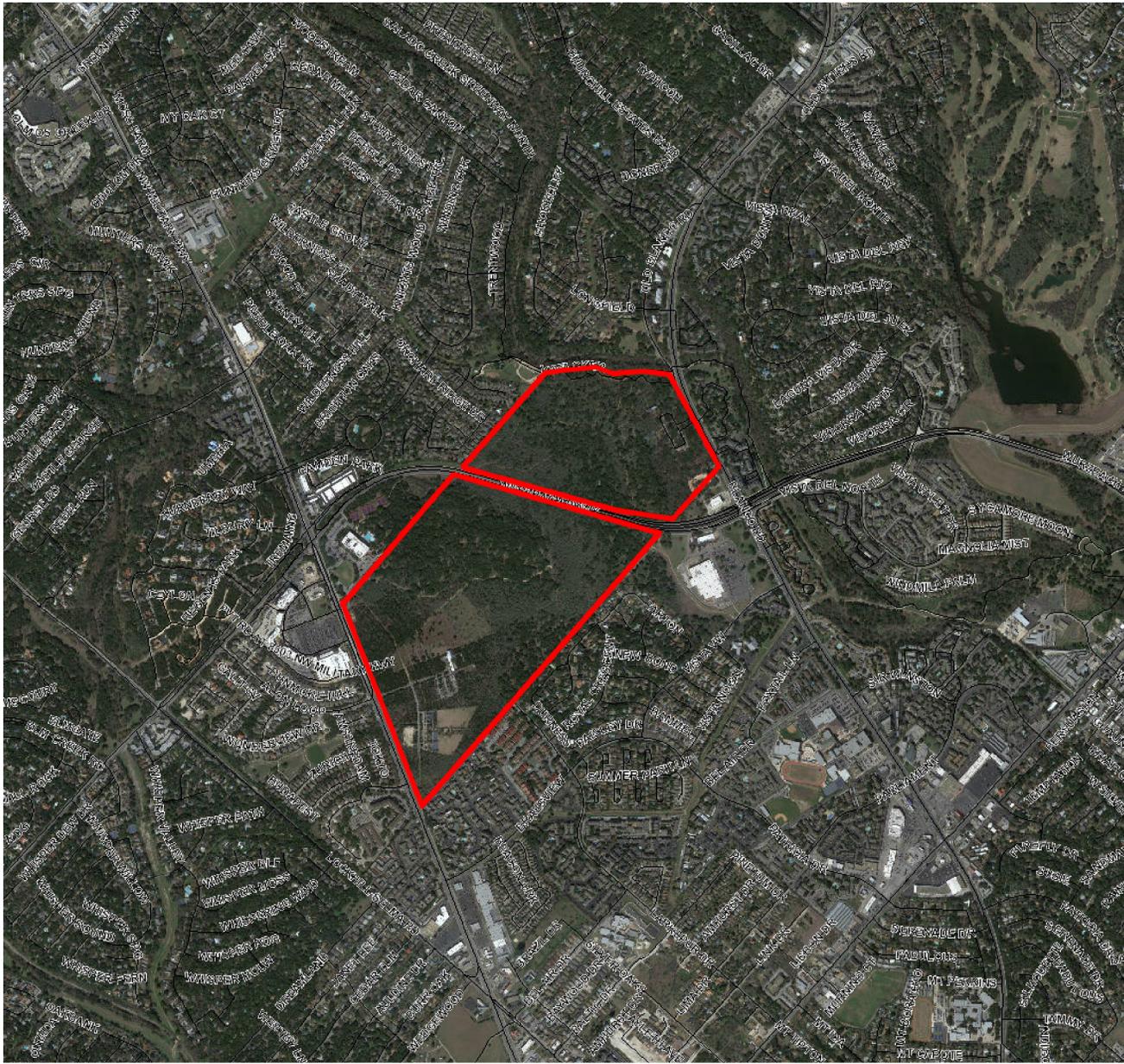
benches, and fencing. Staff finds the proposal for these elements consistent with the UDC.

RECOMMENDATION:

Staff recommends final approval based on findings a through g.

CASE MANAGER:

Stephanie Phillips



Flex Viewer

Powered by ArcGIS Server

Printed: Jan 09, 2018

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02 March 2018

Project Overview / Work Summary

Phil Hardberger Park Land Bridge

Re: Historic & Design Review Commission
Final Submittal

Wurzbach Parkway currently splits the Phil Hardberger Park into two distinct parcels, disconnecting the park and preventing access between the two halves of the park, as well as Salado Creek. The Phil Hardberger Park Land Bridge will allow the park to move up and over Wurzbach Parkway, broad enough for the park experience to feel continuous. Its width is calculated to serve both as a vegetated corridor for wildlife and a unique and educational experience for pedestrians.

The Phil Hardberger Park Master Plan, along with discussions with the Phil Hardberger Park Conservancy, Parks and Recreation, Department, Transportation & Capital Improvements, and the Texas Department of Transportation has led us to a scope of work to be provided. These improvements include:

1. Construction of temporary traffic configurations for Wurzbach Parkway
2. Bridge superstructure
3. Water and electric utility services
4. Limestone retaining walls
5. Way-finding, project and interpretive signage
6. Pedestrian trails
7. Sky walk (additive alternate)
8. Rainwater harvesting system (additive alternate)
9. Wildlife blinds and water guzzlers (additive alternate)
10. Native planting / seeding irrigation

Rialto Studio, Inc.
Landscape Architecture

2425 Broadway, Suite 105
San Antonio, Texas 78215

p. 210.828.1155

f. 210.828.1399

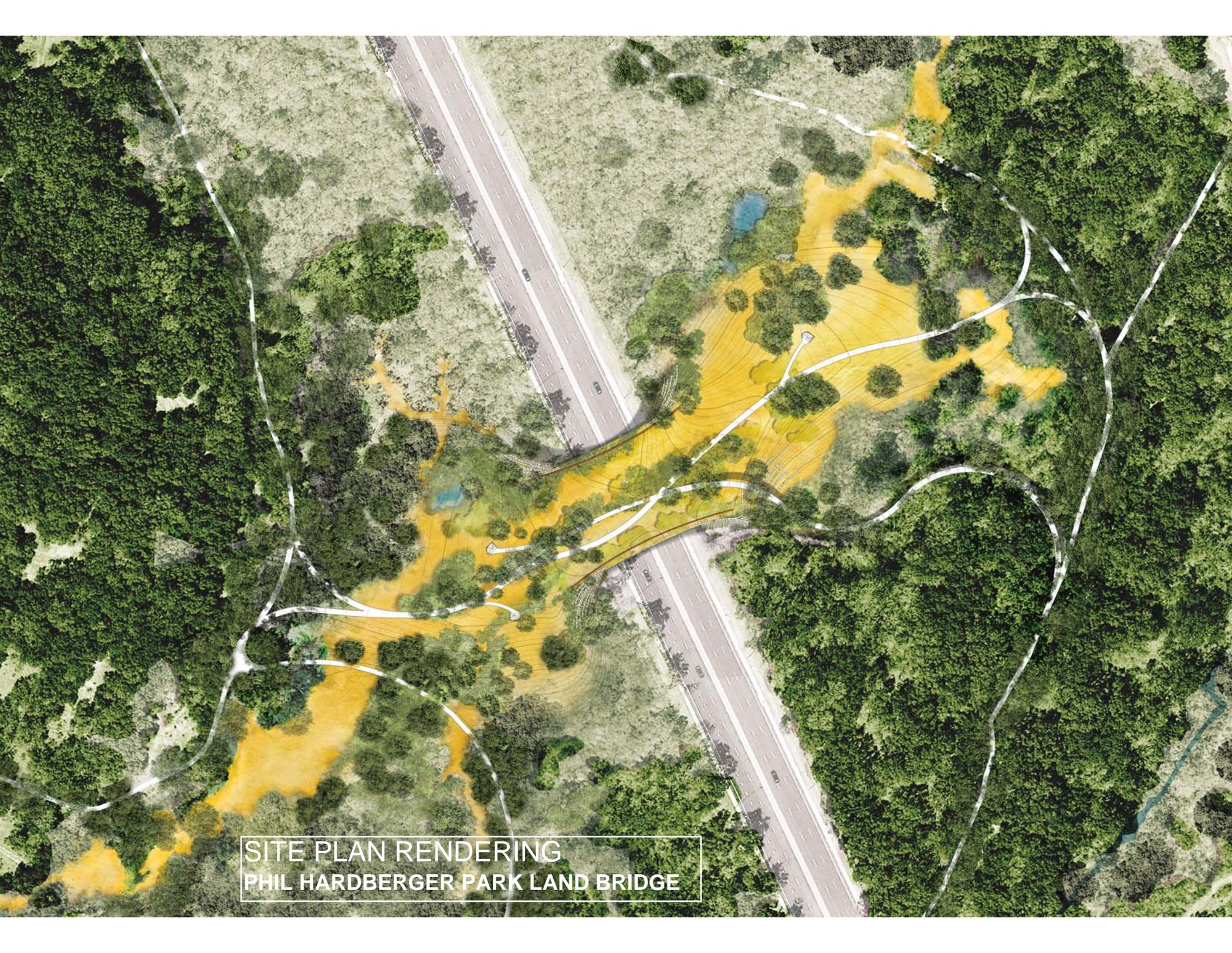
This project is funded by the combination of the 2017 City of San Antonio Bond Program (\$13.0M), Texas Parks and Wildlife (\$1M) plus City of San Antonio Match (\$1M), and Phil Hardberger Park Conservancy (remaining funds).



EXISTING AERIAL PHOTO
PHIL HARDBERGER PARK LAND BRIDGE



CONCEPTUAL RENDERING
PHIL HARDBERGER PARK LAND BRIDGE



SITE PLAN RENDERING
PHIL HARDBERGER PARK LAND BRIDGE



TRAIL AT TOP OF BRIDGE
PHIL HARDBERGER PARK LAND BRIDGE



SKY WALK
PHIL HARDBERGER PARK LAND BRIDGE



**BRIDGE SECTION
PHIL HARDBERGER PARK LAND BRIDGE**

Weathering Steel Lettering
w/ Steel Wall Top Light



SUBMITTED MARCH 13, 2018

NOTE:
Sign messaging
subject to change.



CITY OF SAN ANTONIO
 DEPARTMENT OF
 TRANSPORTATION AND CAPITAL IMPROVEMENTS

PHIL HARDBERGER PARK LAND BRIDGE

100% SUBMITTAL
 JANUARY 30, 2018

**PARTIAL SET FOR HDRC
 FINAL APPROVAL
 CONSIDERATION**

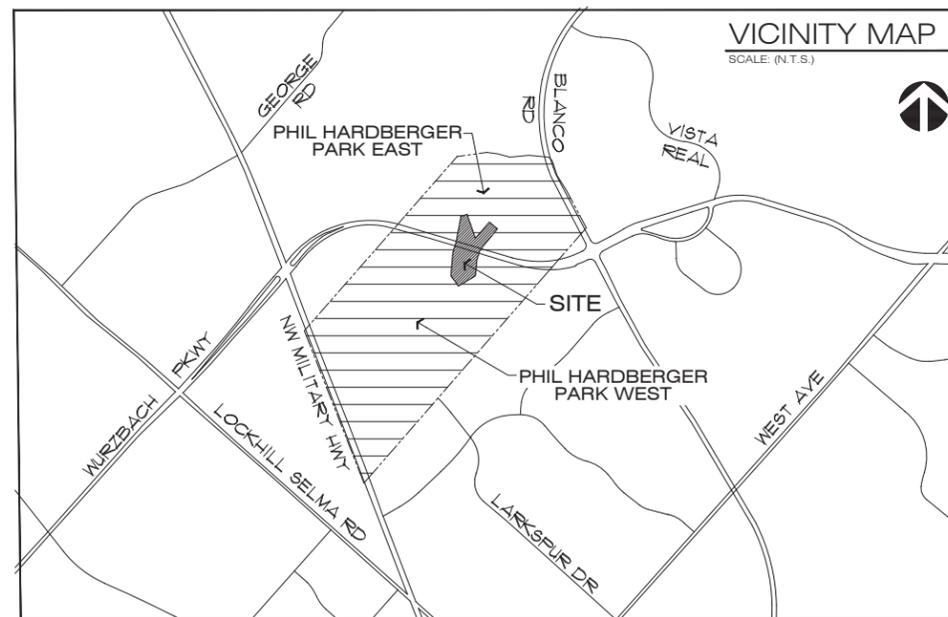
PROPERTY OWNER:
 CITY OF SAN ANTONIO
 PO BOX 839966, SAN ANTONIO, TX 78283
 (210)-207-1111

PROPERTY INFORMATION:
 PHIL HARDBERGER PARK EAST
 13131 BLANCO RD
 SAN ANTONIO, TX 78231

LEGAL DESCRIPTION:
 NCB 11672 P-1B ABS 124

PROPERTY INFORMATION:
 PHIL HARDBERGER PARK WEST
 4401 W MILITARY HWY
 SAN ANTONIO, TX 78213

LEGAL DESCRIPTION:
 NCB 11672 P-10 ABS 124



**PROJECT DIRECTOR/
 PROJECT LANDSCAPE
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 2425 BROADWAY
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STRUCTURAL ENGINEER

 ARUP USA, INC.
 60 STATE STREET
 BOSTON, MA
 02109
 T 617.864.2987

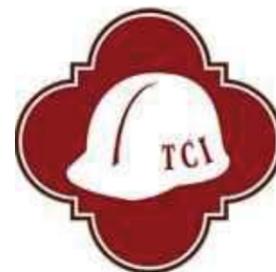
CIVIL ENGINEER

 CUDE ENGINEERS
 4122 POND HILL ROAD
 SUITE 101
 SAN ANTONIO, TX
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**CIVIL ENGINEER
 (WATER RESOURCE
 PLANNING)**
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MEP ENGINEER

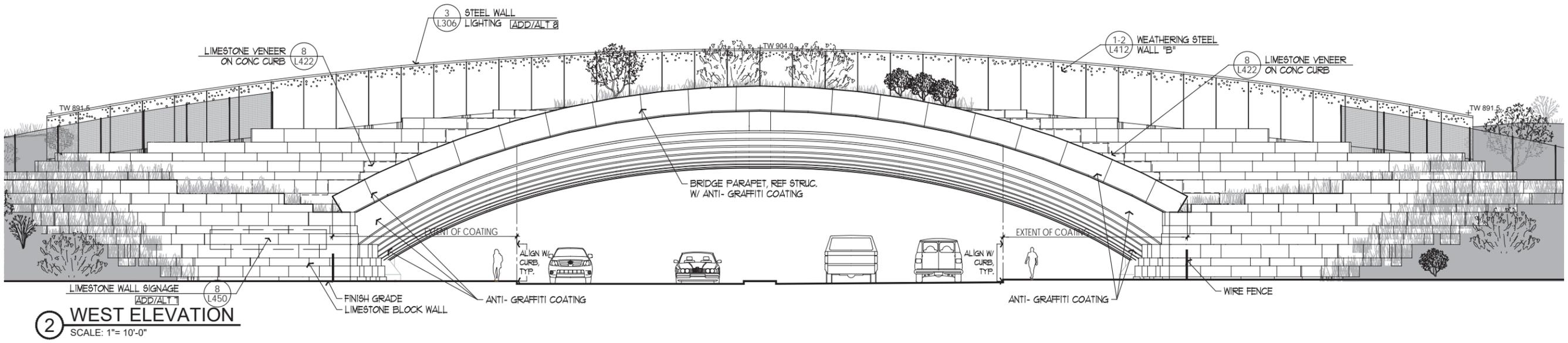
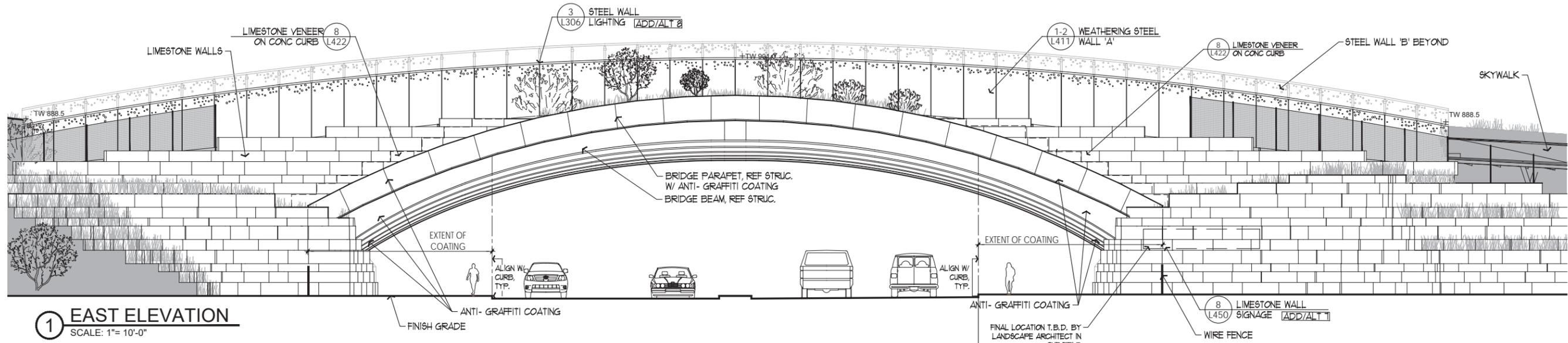
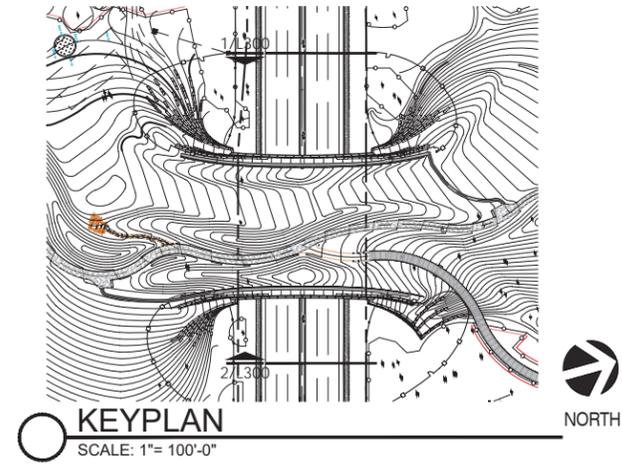
 CNG ENGINEERING
 1917 N. NEW BRAUNFELS
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 78208
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THROUGH INNOVATION AND DEDICATION, WE BUILD AND MAINTAIN SAN ANTONIO'S INFRASTRUCTURE

SUBMITTED MARCH 13, 2018

ANTI GRAFFITI COATING NOTES:
 1. APPLY ANTI GRAFFITI COATING @ UNDERSIDE OF CONC. DECK, CONC. ABUTMENT, AND ALL FACES OF PRECAST BEAMS WITHIN THE EXTENT SHOWN. APPLY COATING AT OUTBOARD FACES OF ALL PRECAST PARAPET PANELS. COATING SHALL BE CSL SILICONES, INC. 91-COAT 530 AG. COLOR TO BE CLEAR. PROVIDE A MOCKUP FOR REVIEW.



RIALTO STUDIO
 Rialto Studio, Inc.
 Landscape Architecture
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 San Antonio, Texas 78215
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 f. 210.828.1399

**PHIL HARDBERGER PARK
 LAND BRIDGE**
 San Antonio, TX

STEPHEN STIMSON ASSOCIATES
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 2 MOUNTAIN ROAD PRINCETON MA 01541
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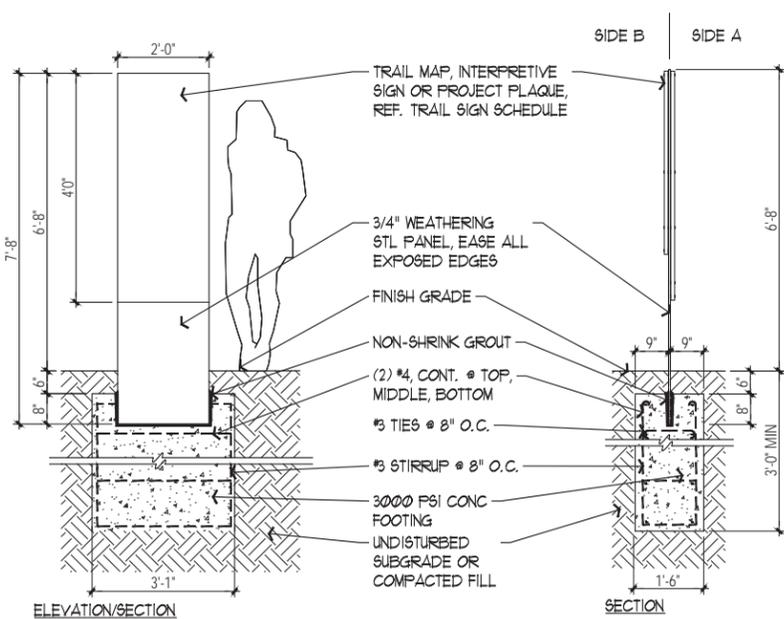
Issue Date	01.30.2018
Revisions	
Bid Set	03.02.2018

Project Number:	1620
Drawn By:	KS
Checked By:	DW
Scale:	1"=10'-0"

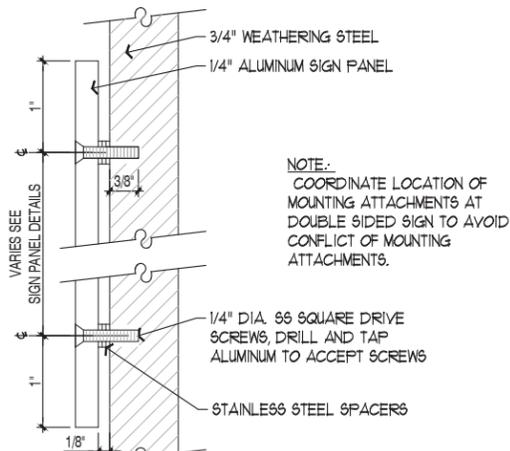
Sheet Title
**Land Bridge
 Elevation-
 East, West**

Sheet Number
L300
 Sheet of

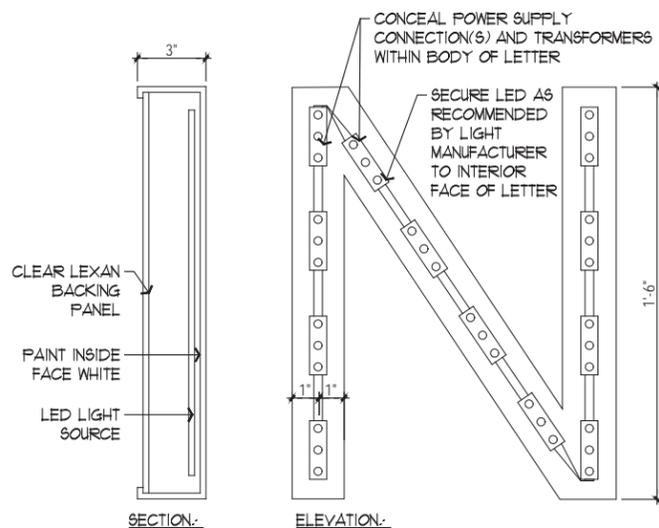
100% CONSTRUCTION DOCUMENT SET



1 DETAIL: TRAIL SIGN
SCALE: 1/2" = 1'-0"



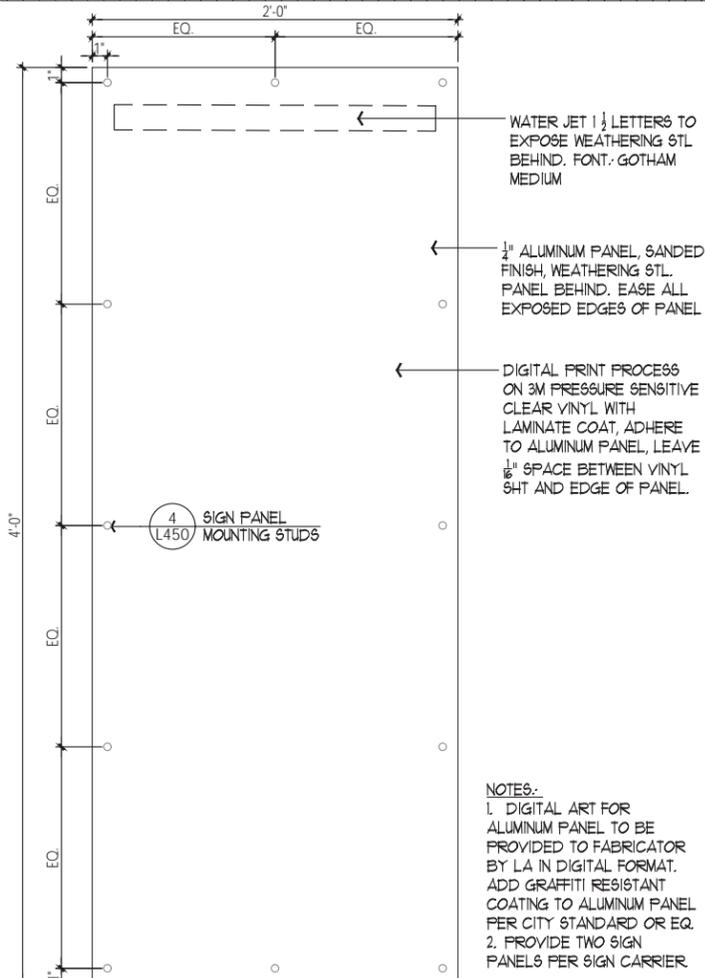
4 SECTION: SIGN PANEL MOUNTING
SCALE: 1'-0" = 1'-0"



7 DETAIL: SIGN LIGHTING
SCALE: 3" = 1'-0" ADD/ALT 1

SIGNAGE NOTES:

1. SUBMIT SHOP DRAWINGS OF SIGN CARRIERS & SIGN PANELS. SUBMITTALS SHALL INCLUDE MATERIALS, FINISHES, COLORS, SIZE OF MEMBERS, DETAILS OF CONSTRUCTION, WELDS, LETTER SPACING, SIZE, FONT TYPE, NUMBERS, SYMBOLS OR IMAGES, AND MOUNTING DETAILS.
2. SUBMIT FULL SIZE LAYOUT OF EACH SIGN PANEL IN FULL COLOR, IF REQUESTED BY OWNERS REP.
3. SUBMIT SIGN OF SUFFICIENT SIZE TO SHOW THE FULL SCALED FEATURES OF EACH OF THE SIGN TYPES.
4. SUBMIT MANUFACTURER'S LITERATURE AND DATA (MARK LITERATURE TO INDICATE ITEMS PROPOSED TO BE FURNISHED): SIGNS, EACH TYPE MANUFACTURER'S PRINTED SPECIFICATIONS, ANCHORAGE DETAILS, INSTALLATION AND MAINTENANCE INSTRUCTIONS. MANUFACTURER'S RECOMMENDATIONS FOR MOUNTING THE SIGN PANELS SHALL BE PROVIDED.
5. SLOPE GRADE AWAY FROM SIGN IN ALL DIRECTIONS.
6. ALL WEATHERING STEEL TO BE A588.
7. ALL WEATHERING STEEL SURFACES IN CONTACT WITH SOIL SHALL BE PROTECTED W/ WATERPROOF CORATHANE EPOXY PRIMER BY SHERWIN WILLIAMS OR APPROVED EQUIVALENT.
8. ALL MESSAGING AND GRAPHICS SHOWN ARE NOT FINAL AND ARE SUBJECT TO CHANGE.
9. PROTECT ALL DISSIMILAR METAL CONTACTS AND CONNECTIONS.
10. SIGN LOCATIONS TO BE STAKED INFIELD FOR REVIEW AND APPROVAL BY OWNERS REP. PRIOR TO INSTALLATION.



2 DETAIL: TRAIL MAP & INTERPRETIVE SIGN PANELS
SCALE: 2" = 1'-0"

REVERSE CHANNEL SIGN LETTER NOTES:

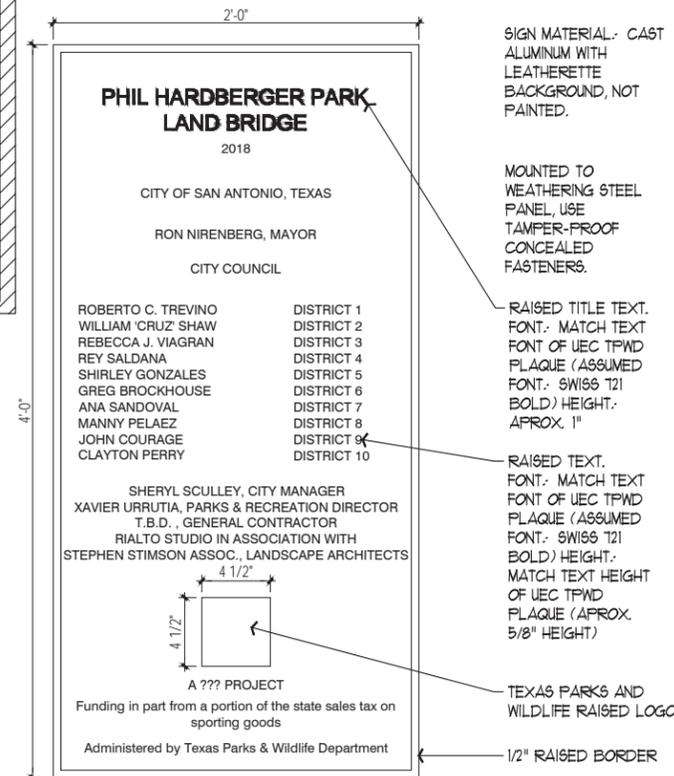
1. SIGN LETTERS TO BE REVERSE CHANNEL WITH SOLID FRONT AND SIDES FABRICATED FROM WEATHERING STEEL WITH INTERNAL LED LIGHTING TO CREATE A BACKLIT HALO EFFECT.
2. HALO LIGHTING EFFECT TO BE EVEN AND CONSISTENT ON ALL SIDES OF THE LETTER/CHARACTER. AVOID HOT SPOTS/DARK SPOTS AND SHADOWS FROM MOUNTING HARDWARE OR OTHER COMPONENTS.
3. ALLOW FOR A TOTAL OF 25 LETTERS AND/OR CHARACTERS. FINAL MESSAGING TO BE DETERMINED.
4. LIGHTING TO BE INTERNALLY CONCEALED LED SOURCE.
5. FONT: GOTHAM MEDIUM
6. COLOR TEMPERATURE: 2700K
7. LIGHT INTENSITY: TBD
8. SUBMIT THE FOLLOWING INFORMATION TO OWNER'S REPRESENTATIVE FOR REVIEW:
 - A. MANUFACTURER'S PRODUCT LITERATURE
 - B. FONT TYPE
 - C. LETTER DIMENSIONS AND SPACING
 - D. LIGHT COLOR AND INTENSITY
 - E. LAYOUT OF SIGN LETTERS INCLUDING LIMESTONE BLOCKS
 - F. LOCATION AND ROUTING OF ELECTRICAL CONDUITS AND COMPONENTS
 - G. MOUNTING AND INSTALLATION DETAILS
9. PROVIDE MOCK-UP OF SIGN LETTERS INCLUDING:
 - A. A MINIMUM OF (3) COMPLETE LETTERS AND ONE CHARACTER (PERIOD)
 - B. COLOR TEMPERATURE (2700K) AND INTENSITY

TRAIL SIGN SCHEDULE		
SIGN	SIDE A	SIDE B
I	TRAIL MAP	PLAQUE
II	TRAIL MAP	INTERPRETIVE SIGN
III	TRAIL MAP	INTERPRETIVE SIGN

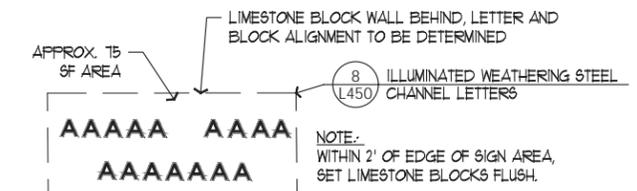
NOTES:

1. REF DETAIL 2/L450 FOR TRAIL MAP AND INTERPRETIVE SIGN PANELS
2. REF DETAIL 3/L450 FOR PROJECT PLAQUE

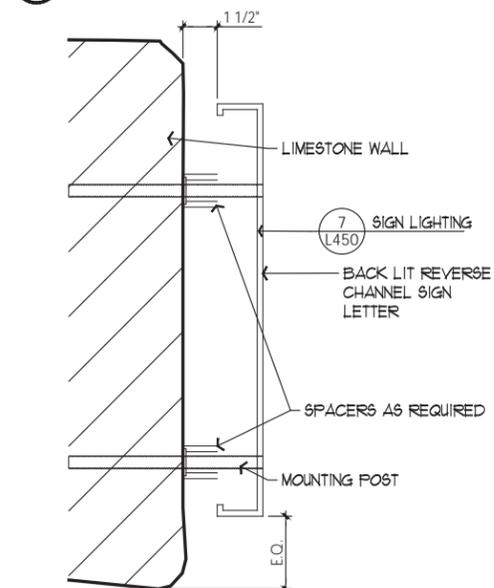
NOTE: SIGN MESSAGING IS GENERAL IN NATURE AND INTENDED TO COMMUNICATE THE MESSAGING INTENT. ALL MESSAGING AND GRAPHICS TO BE DETERMINED.



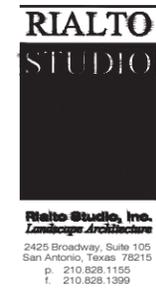
3 DETAIL: PROJECT PLAQUE
SCALE: 2" = 1'-0"



5 DETAIL: LIMESTONE WALL SIGNAGE
SCALE: 1/8" = 1'-0" ADD/ALT 1



8 SECTION: SIGN LETTERS
SCALE: 3" = 1'-0" ADD/ALT 1



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LAND BRIDGE**
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Bid Set	03.02.2018
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Scale:	AS NOTED

Sheet Title
**Signage
Details**
Sheet Number
L450
Sheet of

TREE PRESERVATION ORDINANCE

REFERENCE A/P #1508818 FOR MASTER TREE STAND DELINEATION PLAN

SOIL AND MULCH STOCKPILING NOTES

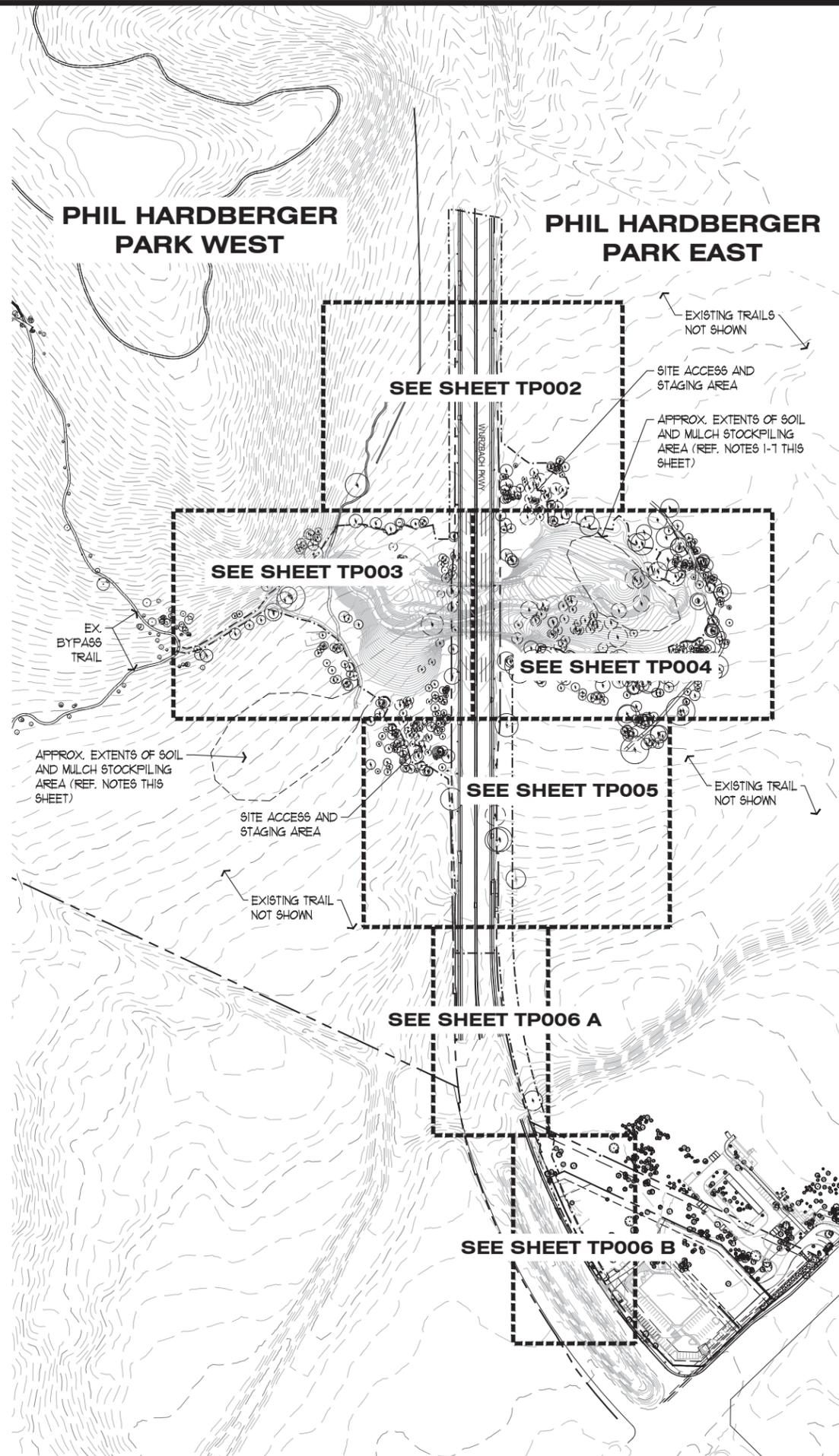
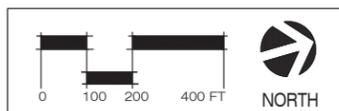
1. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
2. AREAS SHOWN FOR SOIL AND MULCH STOCKPILING MAY BE USED AT THE CONTRACTOR'S OPTION.
3. EXTENTS OF SOIL AND MULCH STOCKPILING AREA IS APPROXIMATE. FINAL EXTENTS TO BE DETERMINED IN FIELD AND APPROVED BY OWNER'S REPRESENTATIVE.
4. ALLOW ADEQUATE SPACE TO MANAGE STOCKPILES DURING CONSTRUCTION.
5. STANDS OF EXISTING TREES WITHIN STOCKPILING AREA SHALL BE PROTECTED AT THE DISCRETION OF THE OWNER'S REPRESENTATIVE.
6. ALL HERITAGE TREES WITHIN SOIL AND MULCH STOCKPILING AREA TO BE PROTECTED.
7. PROVIDE TREE PROTECTION FENCING PER DETAIL 1/TP000: AT ALL HERITAGE TREES, STANDS OF EXISTING TREES TO BE PRESERVED, AND THE PERIMETER OF THE SOIL AND MULCH STOCKPILING AREA.
8. PLACE STOCKPILES ON 6" MIN. DEPTH OF MULCH.
9. UPON REMOVAL OF STOCKPILED SOIL AND MULCH, REMOVE 6" LAYER OF MULCH FROM NATIVE SOIL, SCARIFY EX. SOIL TO A DEPTH OF 3" AND SEED.

TREE SURVEY NOTE

TREE SURVEY IS NOT INCLUSIVE OF ALL NON-HERITAGE TREES. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL VEGETATION REQUIRED TO CONSTRUCT THE PROJECT.

LEGEND

	MATCH LINE		HERITAGE TREE
	APPROXIMATE LIMIT OF WORK		EXISTING STORM DRAIN
	PROPERTY LINE		EXISTING FENCE
	BOUNDARY OF PROJECT SURVEY		EXISTING LIGHT POLE
	EXISTING CONTOURS		EXISTING SIGN BASE
	EXISTING CONCRETE TRAIL		EXISTING TREE TO REMAIN
	EXISTING GRAVEL TRAIL		EX. TREE TO BE REMOVED
	EXISTING EARTH TRAIL		TREE PROTECTION FENCE
	EXISTING TRAIL TO BE REMOVED		



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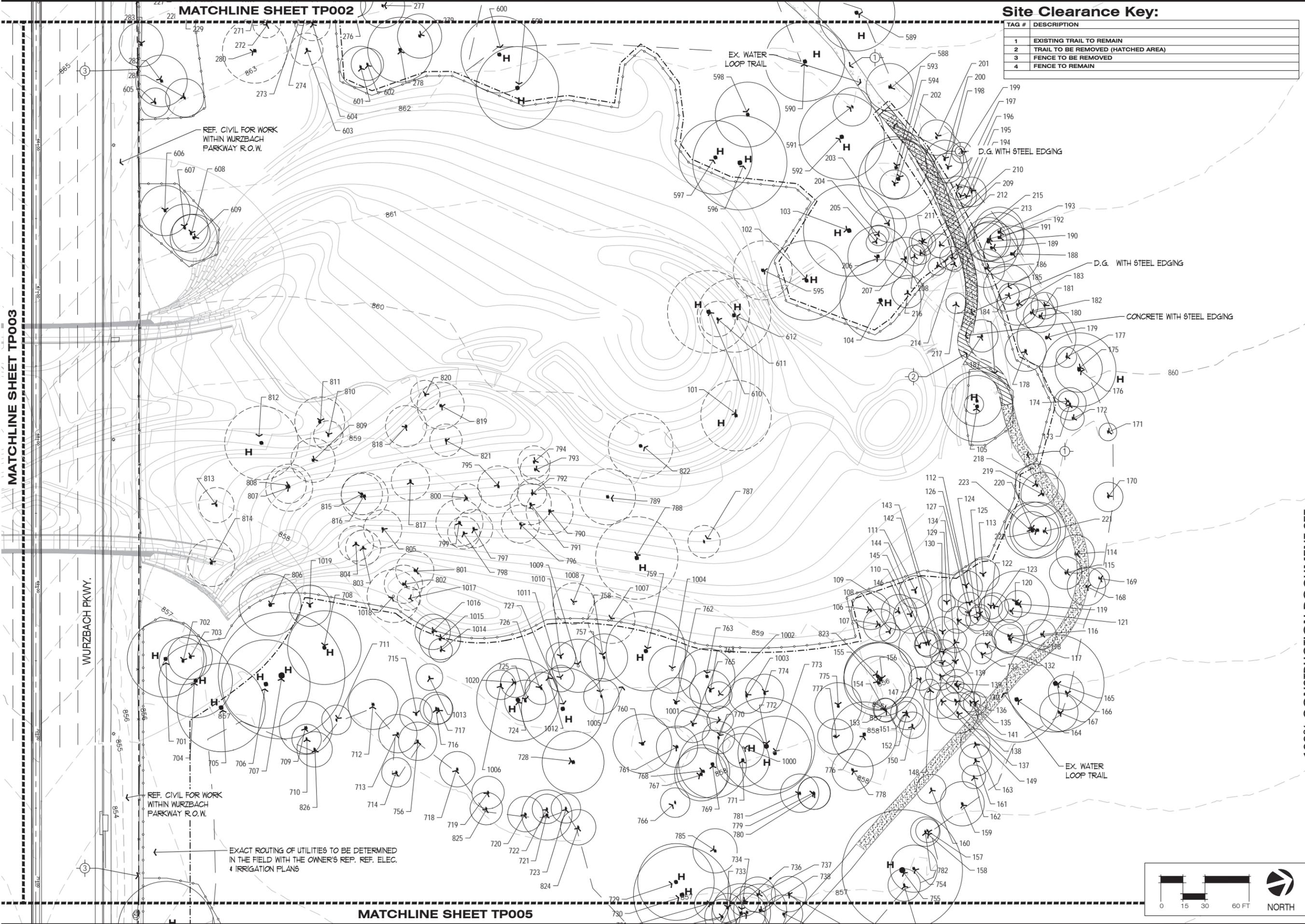
Sheet Title
**Overall
 Tree Pres. &
 Site Clearing
 Reference Plan**
 Sheet Number
TP001
 Sheet of

MATCHLINE SHEET TP002

Site Clearance Key:

TAG #	DESCRIPTION
1	EXISTING TRAIL TO REMAIN
2	TRAIL TO BE REMOVED (HATCHED AREA)
3	FENCE TO BE REMOVED
4	FENCE TO REMAIN

MATCHLINE SHEET TP003

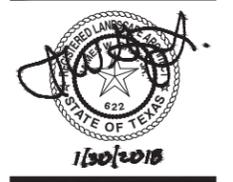


MATCHLINE SHEET TP005

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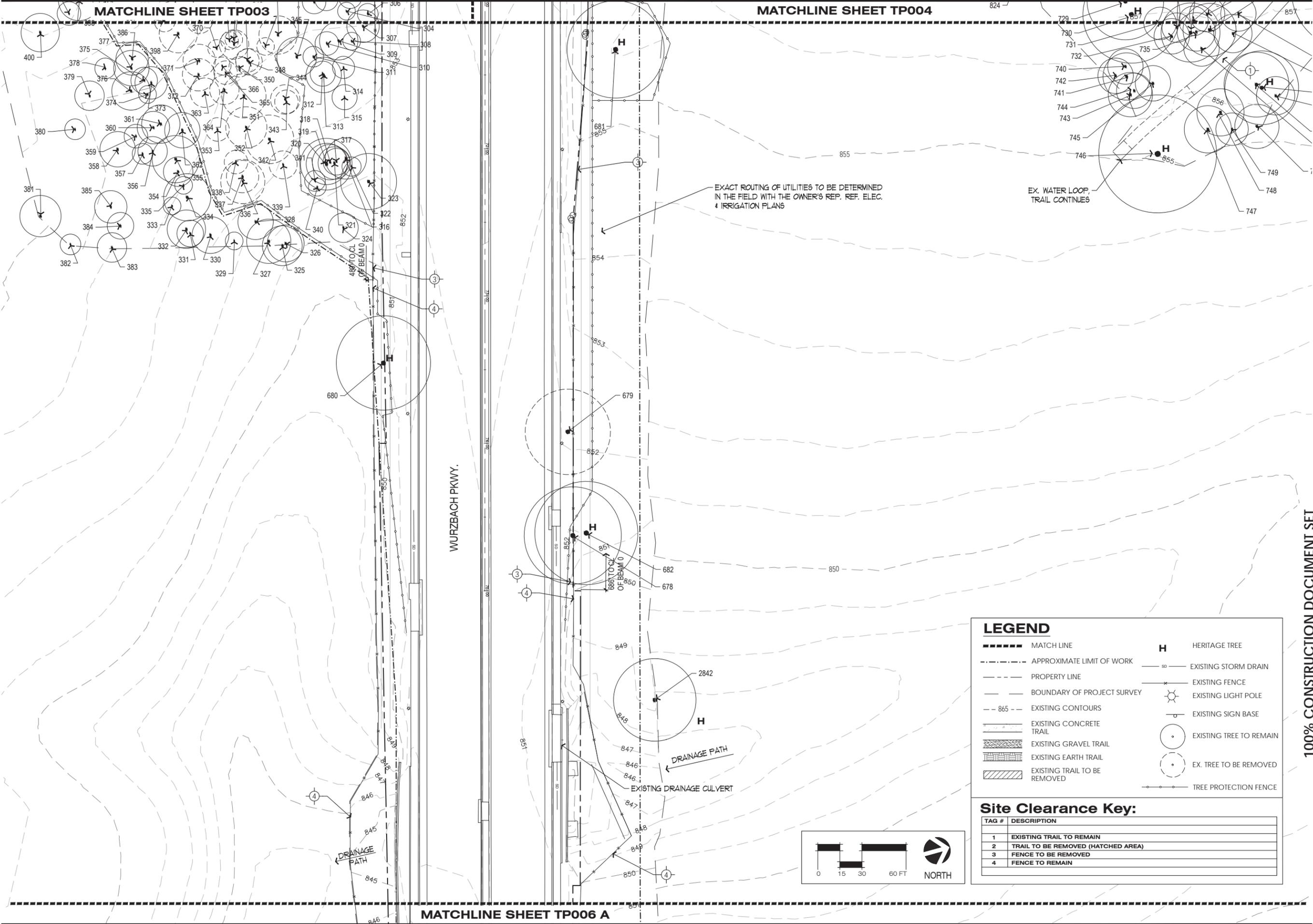
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Sheet Title
Tree Pres. & Site Clearing Plan
Sheet Number
TP004
Sheet of



EXACT ROUTING OF UTILITIES TO BE DETERMINED
IN THE FIELD WITH THE OWNER'S REP. REF. ELEC.
& IRRIGATION PLANS

EX. WATER LOOP,
TRAIL CONTIGUES

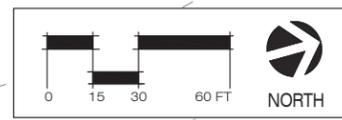
WURZBACH PKWY.

LEGEND

- MATCH LINE
- - - - - APPROXIMATE LIMIT OF WORK
- PROPERTY LINE
- BOUNDARY OF PROJECT SURVEY
- - 865 - - EXISTING CONTOURS
- [Hatched Box] EXISTING CONCRETE TRAIL
- [Dotted Box] EXISTING GRAVEL TRAIL
- [Cross-hatched Box] EXISTING EARTH TRAIL
- [Diagonal Lines Box] EXISTING TRAIL TO BE REMOVED
- H** HERITAGE TREE
- o--- EXISTING STORM DRAIN
- x--- EXISTING FENCE
- ☼ EXISTING LIGHT POLE
- EXISTING SIGN BASE
- EXISTING TREE TO REMAIN
- EX. TREE TO BE REMOVED
- TREE PROTECTION FENCE

Site Clearance Key:

TAG #	DESCRIPTION
1	EXISTING TRAIL TO REMAIN
2	TRAIL TO BE REMOVED (HATCHED AREA)
3	FENCE TO BE REMOVED
4	FENCE TO REMAIN



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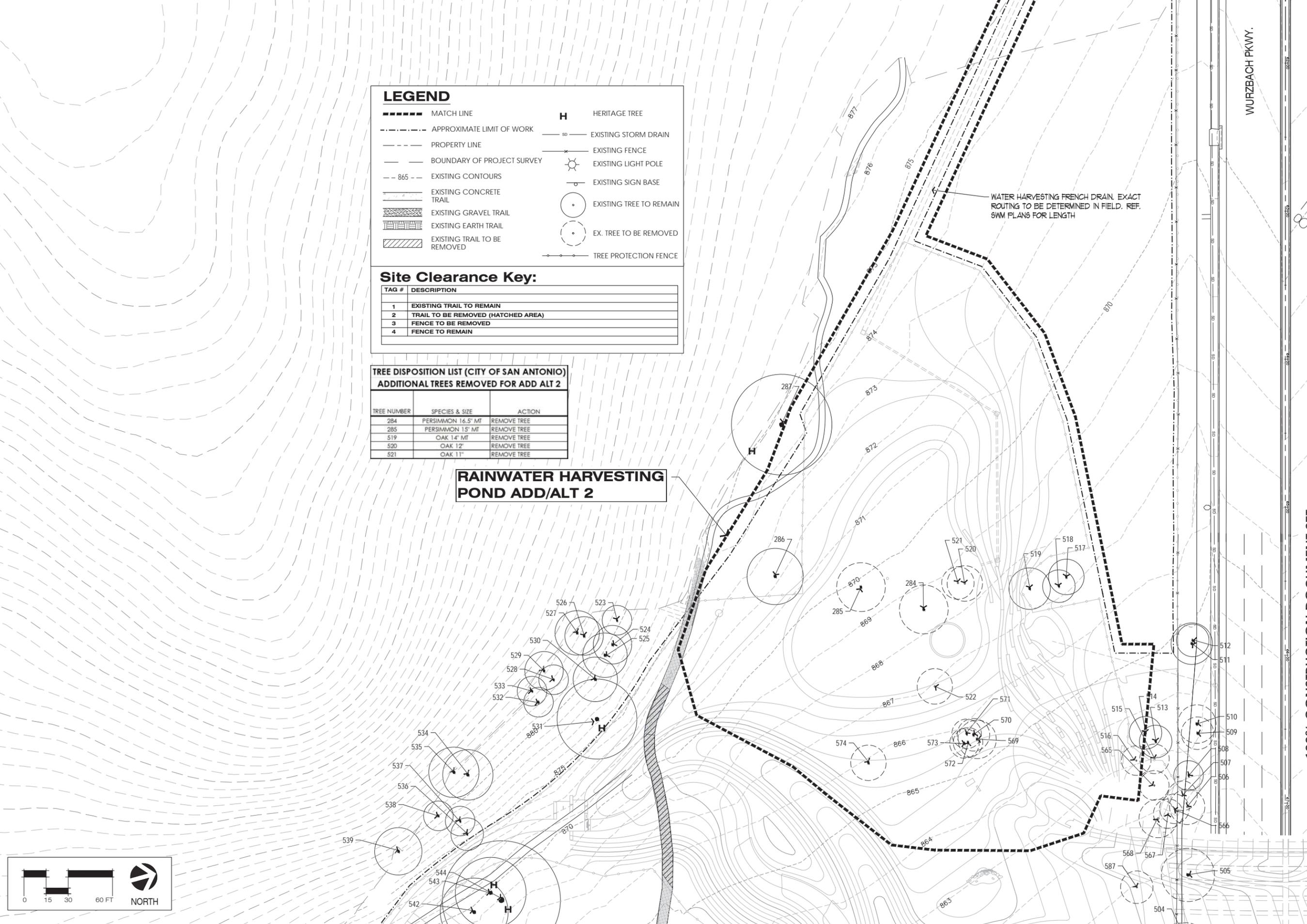
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Sheet Title
**Tree Pres. &
Site Clearing
Plan**

Sheet Number
TP005
Sheet of



LEGEND

-----	MATCH LINE	H	HERITAGE TREE
- - - - -	APPROXIMATE LIMIT OF WORK	---	EXISTING STORM DRAIN
-----	PROPERTY LINE	---	EXISTING FENCE
-----	BOUNDARY OF PROJECT SURVEY	☀	EXISTING LIGHT POLE
- - - - -	EXISTING CONTOURS	○	EXISTING SIGN BASE
---	EXISTING TRAIL	○	EXISTING TREE TO REMAIN
---	EXISTING CONCRETE TRAIL	○	EX. TREE TO BE REMOVED
---	EXISTING GRAVEL TRAIL	○	TREE PROTECTION FENCE
---	EXISTING EARTH TRAIL		
---	EXISTING TRAIL TO BE REMOVED		

Site Clearance Key:

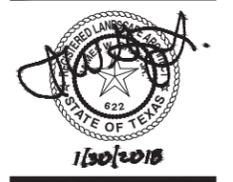
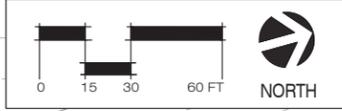
TAG #	DESCRIPTION
1	EXISTING TRAIL TO REMAIN
2	TRAIL TO BE REMOVED (HATCHED AREA)
3	FENCE TO BE REMOVED
4	FENCE TO REMAIN

**TREE DISPOSITION LIST (CITY OF SAN ANTONIO)
ADDITIONAL TREES REMOVED FOR ADD ALT 2**

TREE NUMBER	SPECIES & SIZE	ACTION
284	PERSIMMON 16.5' MT	REMOVE TREE
285	PERSIMMON 15' MT	REMOVE TREE
519	OAK 14' MT	REMOVE TREE
520	OAK 12'	REMOVE TREE
521	OAK 11'	REMOVE TREE

RAINWATER HARVESTING POND ADD/ALT 2

WATER HARVESTING FRENCH DRAIN. EXACT ROUTING TO BE DETERMINED IN FIELD. REF. SWM PLANS FOR LENGTH



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Sheet Title
**Tree Pres. & Site Clearing Plan
ADD/ALT 2**

Sheet Number
TP101
 Sheet of

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ACCESSIBILITY NOTES

1. ACCESSIBLE ROUTE SHALL COMPLY WITH ALL APPLICABLE WITH LOCAL, STATE, FEDERAL ACCESSIBLE STANDARDS.
2. RUNNING SLOPE OF ACCESSIBLE ROUTE SHALL NOT EXCEED 5% IN THE DIRECTION OF TRAVEL, WITH A CROSS SLOPE NOT TO EXCEED 2%.
3. ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 3'-0" CLEAR UNLESS OTHERWISE NOTED ON THE PLANS.
4. LANDINGS SHALL NOT EXCEED A SLOPE OF 2% IN ANY DIRECTION.

LAYOUT AND MATERIALS NOTES

1. ALL HERITAGE TREES TO REMAIN WITHIN L.O.W. MUST HAVE TREE PROTECTION, REF. TREE PROTECTION PLANS.
2. LOCATE, PROTECT, AND MAINTAIN BENCH MARKS, MONUMENTS, CONTROL POINTS, AND PROJECT ENGINEERING REFERENCE POINTS. RE-ESTABLISH DISTURBED OR DESTROYED ITEMS AT CONTRACTOR'S EXPENSE.
3. EXAMINE THE AREAS AND CONDITIONS UNDER WHICH SITE WORK IS PERFORMED. REPORT ANY DISCREPANCIES WITH THE PLAN TO THE LANDSCAPE ARCHITECT. DO NOT PROCEED WITH THE WORK UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.
4. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ALIGNMENTS TAKE PRECEDENCE OVER WRITTEN DIMENSIONS. REPORT ANY DISCREPANCIES WITH THE PLAN TO THE LANDSCAPE ARCHITECT. DO NOT PROCEED WITH THE WORK UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.
5. THE CONTRACTOR SHALL VERIFY THE LAYOUT OF ALL SITE ELEMENTS AND REPORT CONFLICTS TO THE LANDSCAPE ARCHITECT.
6. DIMENSIONS INDICATED ON PLANS ARE FOR HORIZONTAL CONTROL AND ARE ACCURATE IF MEASURED ON A LEVEL LINE. MEASURE HORIZONTAL CONTROL DIMENSIONS ON A LEVEL LINE, NOT PARALLEL WITH GROUND SLOPE.
7. ALL DIMENSIONS TAKEN FROM VERTICAL SURFACES, I.E. CURBS & WALLS, ARE UNDERSTOOD TO BE MEASURED FROM THE FACE OF THE VERTICAL ELEMENT UNLESS OTHERWISE SPECIFIED.
8. MAKE TRANSITIONS BETWEEN CHANGES IN PAVING SMOOTH AND GRADUAL WITH NO SHARP OR ABRUPT CHANGES UNLESS OTHERWISE SHOWN.
9. TREE LOCATIONS SHOWN IN CONFLICT W/ IMPROVEMENTS SHOULD BE VERIFIED AND REVIEWED IN FIELD.
10. LIMIT OF WORK IS SHOWN TO GENERALLY IDENTIFY THE LIMITS OF NEW WORK AND/OR SITE DISTURBANCE. CONTRACTOR SHALL PERFORM ALL WORK WITH AS LITTLE SITE DISTURBANCE AS POSSIBLE. ANY PROPOSED WORK WITHIN THE TREE PROTECTION FENCE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THE BEGINNING OF WORK.
11. REFER TO CIVIL DRAWINGS FOR ALL ROAD AND BRIDGE DIMENSION CONTROL PLANS.
12. REFER TO CIVIL DRAWINGS FOR ALL UTILITY LOCATIONS.
13. CONTRACTOR SHALL PROVIDE MOCK UP SAMPLES OF ALL PAVING FINISHES FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT.
14. ALL STONE SHALL MATCH OWNERS APPROVED SAMPLE. CONTRACTOR SHALL SUBMIT REPRESENTATIVE SAMPLE FOR APPROVAL BY OWNERS REPRESENTATIVE.
15. "MATCH EXISTING" SHALL BE UNDERSTOOD TO SIGNIFY VERTICAL AND HORIZONTAL.
16. NO WORK SHALL BEGIN IN AREAS WHERE TREE PRESERVATION AND TREATMENT MEASURES HAVE NOT BEEN COMPLETED AND APPROVED.

SITE MATERIAL FINISH SCHEDULE						
ITEM	DESCRIPTION / LOCATION	MANUFACTURER / SUPPLIER	MATERIAL / PRODUCT	FINISH	COLOR	NOTES
CONCRETE PAVING - TYPE I	SITE TRAILS	N/A	CONCRETE	LIGHT BROOM	NORMAL GRAY	ALL PAVING TO BE TYPE I UNLESS OTHERWISE NOTED
CONCRETE PAVING - TYPE II	THRESHOLD SIGNS	N/A	CONCRETE	LIGHT BROOM	INTEGRAL COLOR, COLOR TO MATCH EXISTING PARK THRESHOLD SIGN CONCRETE	COLOR TO BE APPROVED BY OWNERS REPRESENTATIVE
LIMESTONE BLOCKS	TRAIL INTERSECTIONS, TREE RETAINING WALLS, LAND BRIDGE ABUTMENTS WING WALLS AND RAINWATER HARVESTING POND	TBD	NATURAL LUEDERS LIMESTONE, REF. SPECIFICATIONS	REF. PLANS	CREAMY GOLD	REF. DETAILS. MATCH LIMESTONE AT URBAN ECOLOGY CENTER
LIMEBLOCK MORTAR	TRAIL INTERSECTIONS AND RAINWATER HARVESTING POND	TBD	REF. SPECIFICATIONS	REF. PLANS	MATCH STONE	MOCK UP REQUIRED
GRAVEL COBBLE	RAINWATER HARVESTING POND	AVAILABLE FROM KELLER MATERIALS (210) 967-1300	HICKORY CREEK, 2"-4"	N/A	N/A	REF. 'PLANTS' SPECIFICATIONS



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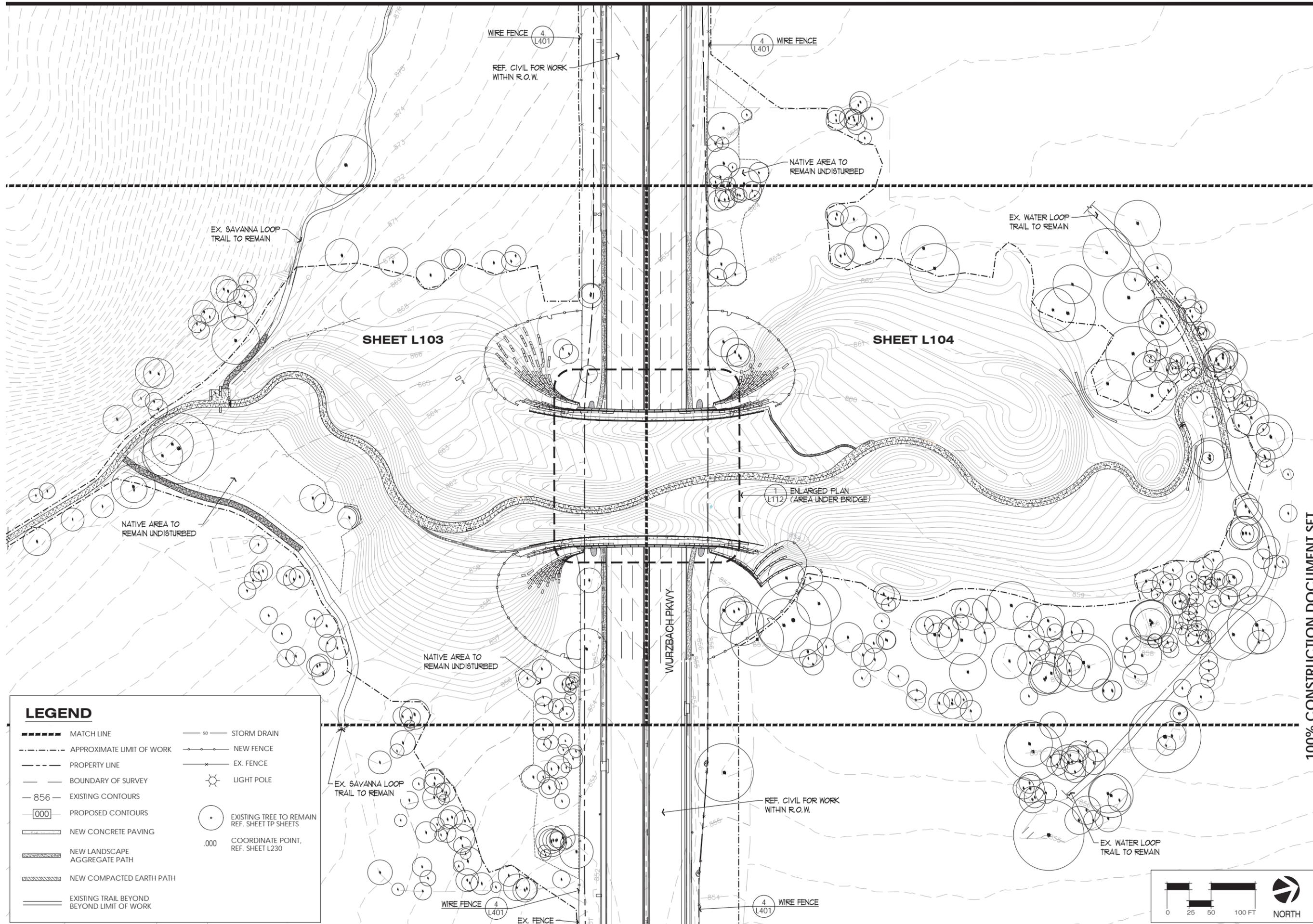
Revisions

Project Number: **1620**

Drawn By **KS**

Checked By **DW**

Scale: **As noted**



LEGEND

-----	MATCH LINE	— 50 —	STORM DRAIN
- - - - -	APPROXIMATE LIMIT OF WORK	— ○ —	NEW FENCE
-----	PROPERTY LINE	— x —	EX. FENCE
-----	BOUNDARY OF SURVEY	⊙	LIGHT POLE
— 856 —	EXISTING CONTOURS	○	EXISTING TREE TO REMAIN REF. SHEET TP SHEETS
— 000 —	PROPOSED CONTOURS	○	COORDINATE POINT, REF. SHEET L230
=====	NEW CONCRETE PAVING		
=====	NEW LANDSCAPE AGGREGATE PATH		
=====	NEW COMPACTED EARTH PATH		
=====	EXISTING TRAIL BEYOND BEYOND LIMIT OF WORK		

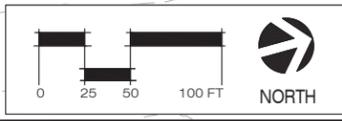
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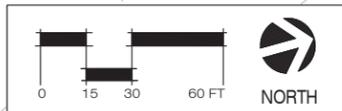
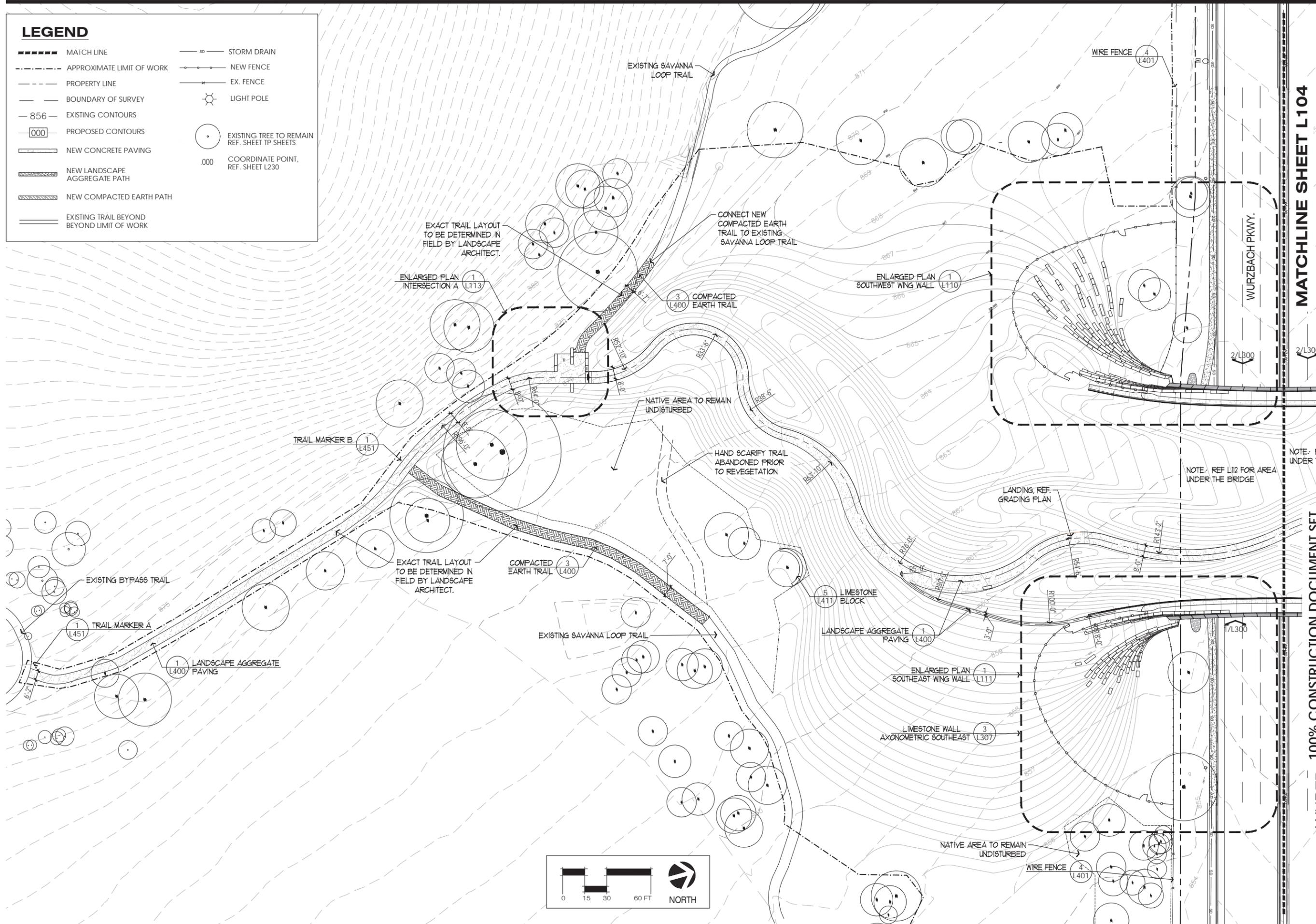
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LEGEND

- MATCH LINE
- - - - - APPROXIMATE LIMIT OF WORK
- PROPERTY LINE
- BOUNDARY OF SURVEY
- 856 - EXISTING CONTOURS
- 000 PROPOSED CONTOURS
- NEW CONCRETE PAVING
- NEW LANDSCAPE AGGREGATE PATH
- NEW COMPACTED EARTH PATH
- EXISTING TRAIL BEYOND BEYOND LIMIT OF WORK
- so STORM DRAIN
- NEW FENCE
- EX. FENCE
- LIGHT POLE
- EXISTING TREE TO REMAIN REF. SHEET TP SHEETS
- .000 COORDINATE POINT, REF. SHEET L230



MATCHLINE SHEET L104

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Sheet Title

**Layout Plan
 West Bridge**

Sheet Number

L103

Sheet of

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NOTE: F UNDER

NOTE: REF L112 FOR AREA UNDER THE BRIDGE

EXACT TRAIL LAYOUT TO BE DETERMINED IN FIELD BY LANDSCAPE ARCHITECT.

CONNECT NEW COMPACTED EARTH TRAIL TO EXISTING SAVANNA LOOP TRAIL

NATIVE AREA TO REMAIN UNDISTURBED

HAND SCARIFY TRAIL ABANDONED PRIOR TO REVEGETATION

ENLARGED PLAN INTERSECTION A (1) L113

ENLARGED PLAN SOUTHWEST WING WALL (1) L110

TRAIL MARKER B (1) L451

TRAIL MARKER A (1) L451

LANDSCAPE AGGREGATE PAVING (1) L400

EXACT TRAIL LAYOUT TO BE DETERMINED IN FIELD BY LANDSCAPE ARCHITECT.

COMPACTED EARTH TRAIL (3) L400

EXISTING SAVANNA LOOP TRAIL

LIMESTONE BLOCK (5) L411

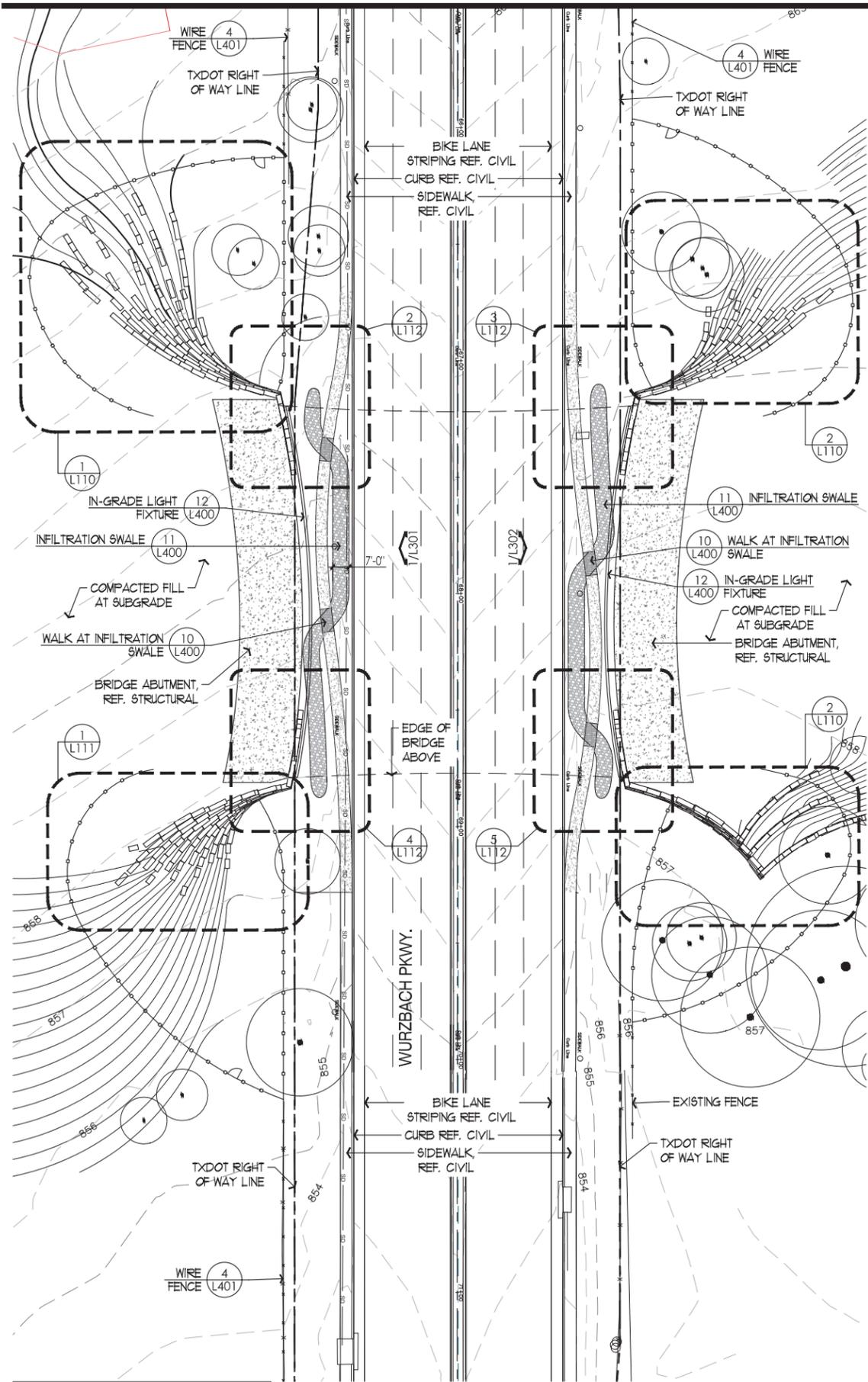
LANDSCAPE AGGREGATE PAVING (1) L400

ENLARGED PLAN SOUTHEAST WING WALL (1) L111

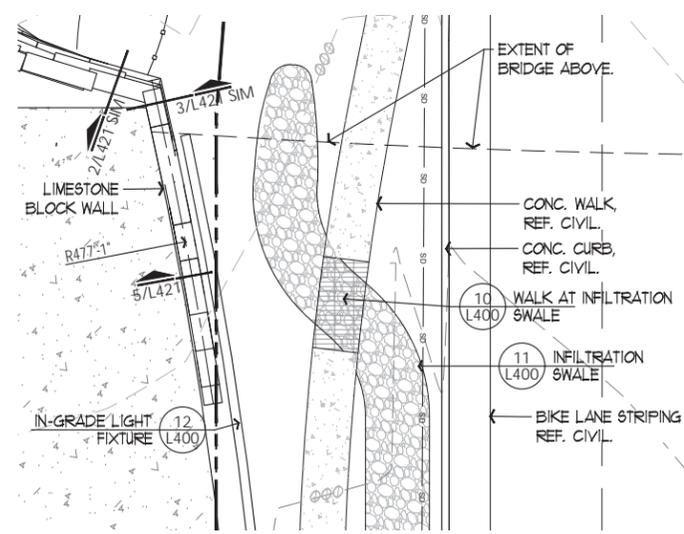
LIMESTONE WALL AXONOMETRIC SOUTHEAST (3) L307

NATIVE AREA TO REMAIN UNDISTURBED

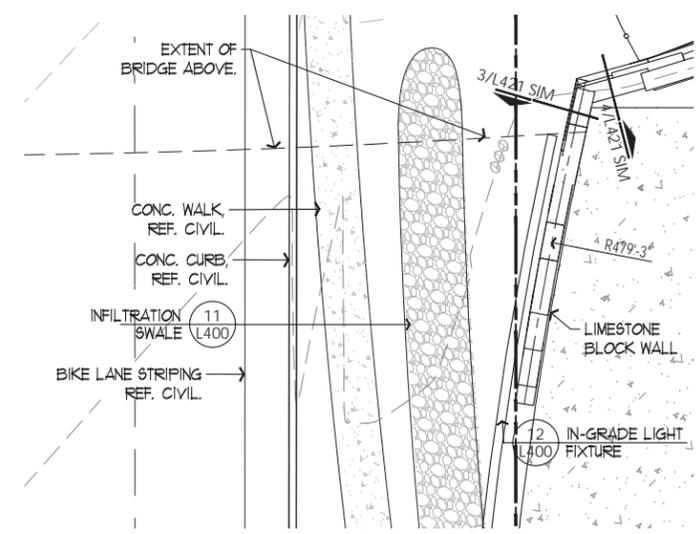
WIRE FENCE (4) L401



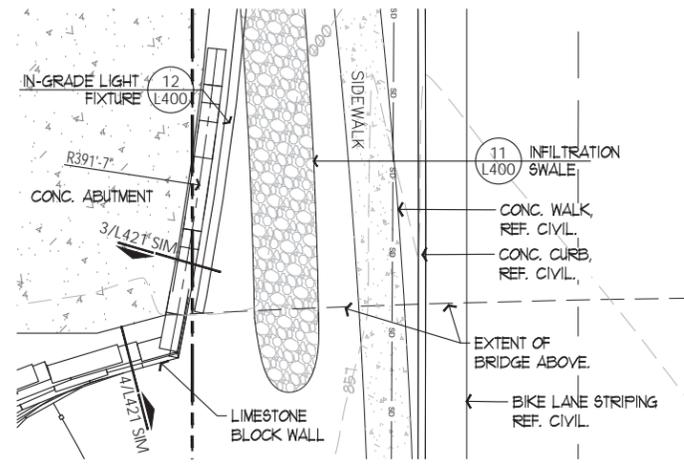
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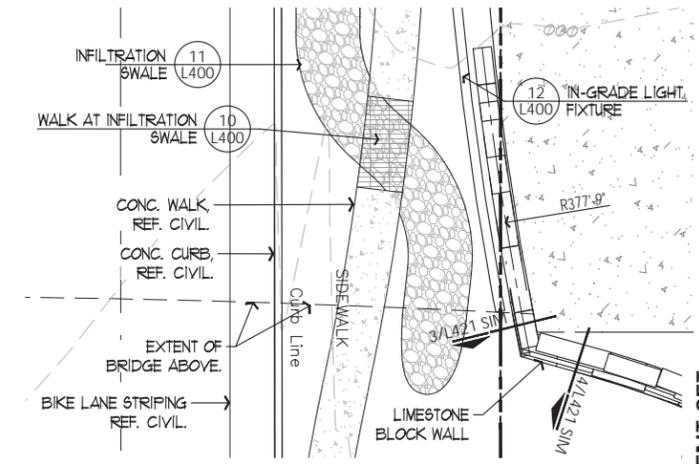
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3 NORTH WEST CORNER
SCALE: 1" = 10'-0"



4 SOUTHEAST CORNER
SCALE: 1" = 10'-0"



5 NORTHEAST CORNER
SCALE: 1" = 10'-0"

LEGEND			
--- --	APPROXIMATE LIMIT OF WORK	— 80 —	STORM DRAIN
---	PROPERTY LINE	— ○ —	NEW FENCE
---	BOUNDARY OF SURVEY	— x —	EX. FENCE
— 856 —	EXISTING CONTOURS	☼	LIGHT POLE
— 000 —	PROPOSED CONTOURS	○	EXISTING TREE TO REMAIN REF. SHEET TP SHEETS
—	NEW CONCRETE PAVING	○.000	COORDINATE POINT, REF. SHEET L230
—	NEW LANDSCAPE AGGREGATE PATH	■	3" TO 6" LOOSE LIMESTONE
—	NEW COMPACTED EARTH PATH		
—	EXISTING TRAIL BEYOND BEYOND LIMIT OF WORK		

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**Layout
Plan
Wurzbach Pkwy.
Below Bridge**

Sheet Number
L112
Sheet of



Issue Date **01.30.2018**

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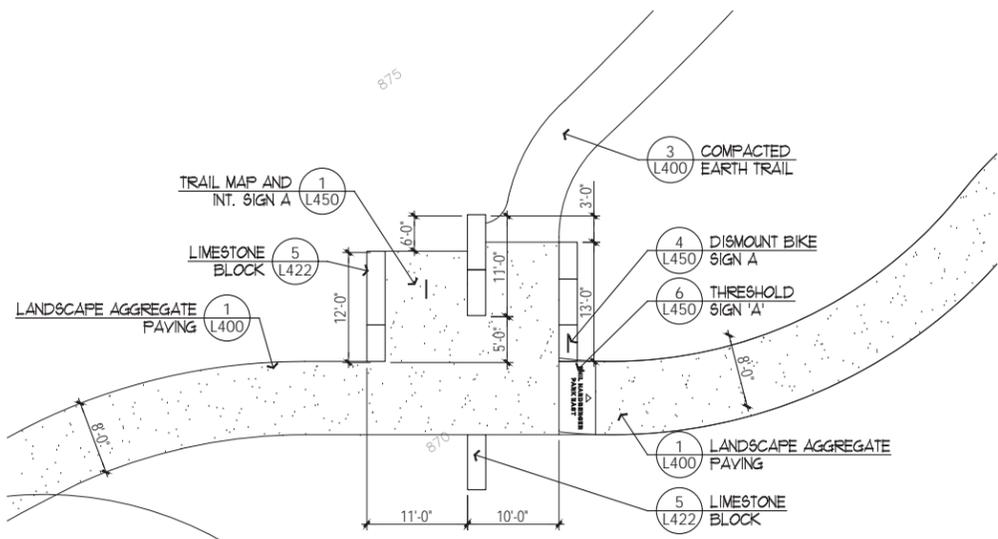
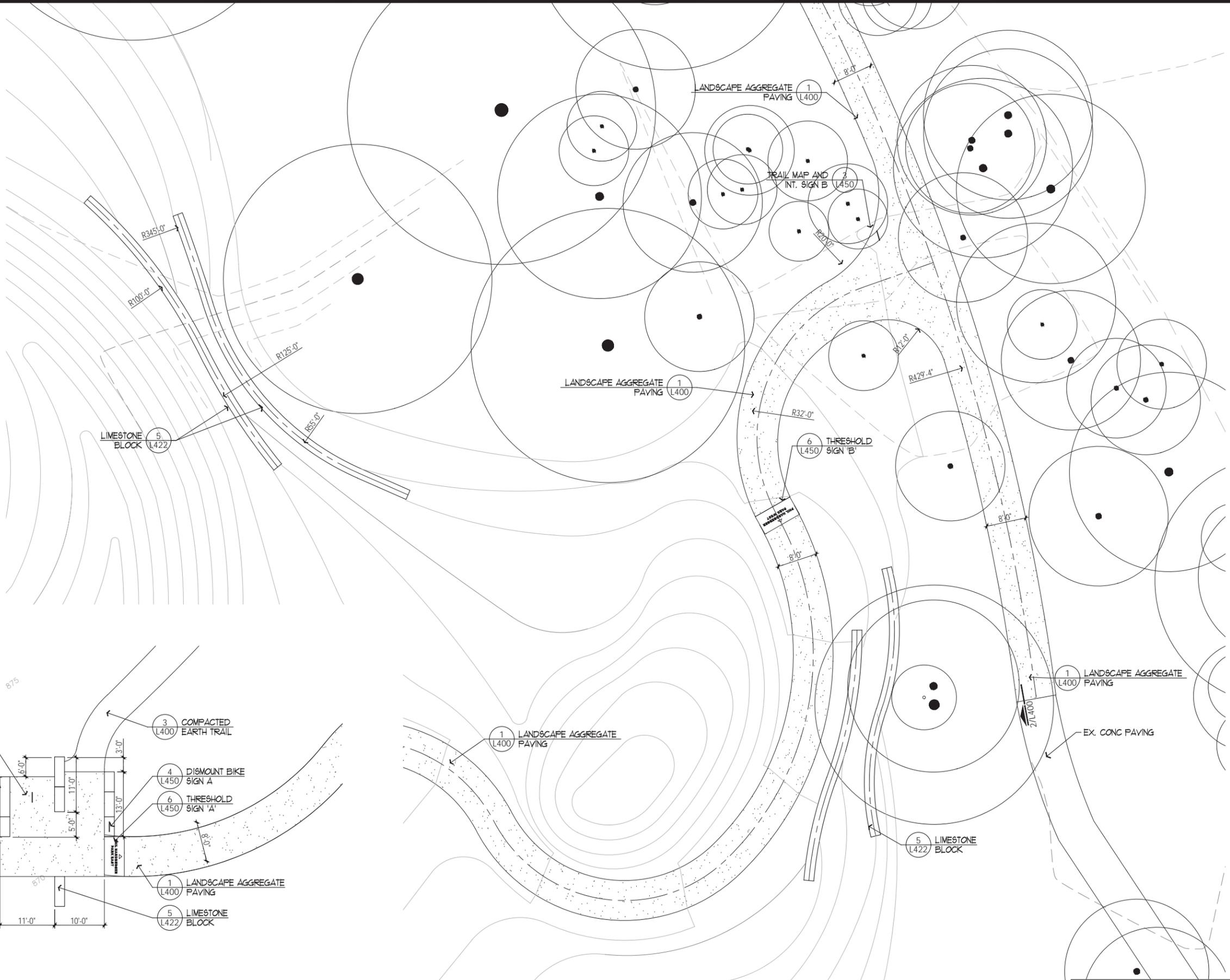
**Layout
Plan- Path
Intersections**

Sheet Number

L113

Sheet of

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1 PATH INTERSECTION A
SCALE: 1" = 10'-0"

2 PATH INTERSECTION B
SCALE: 1" = 10'-0"

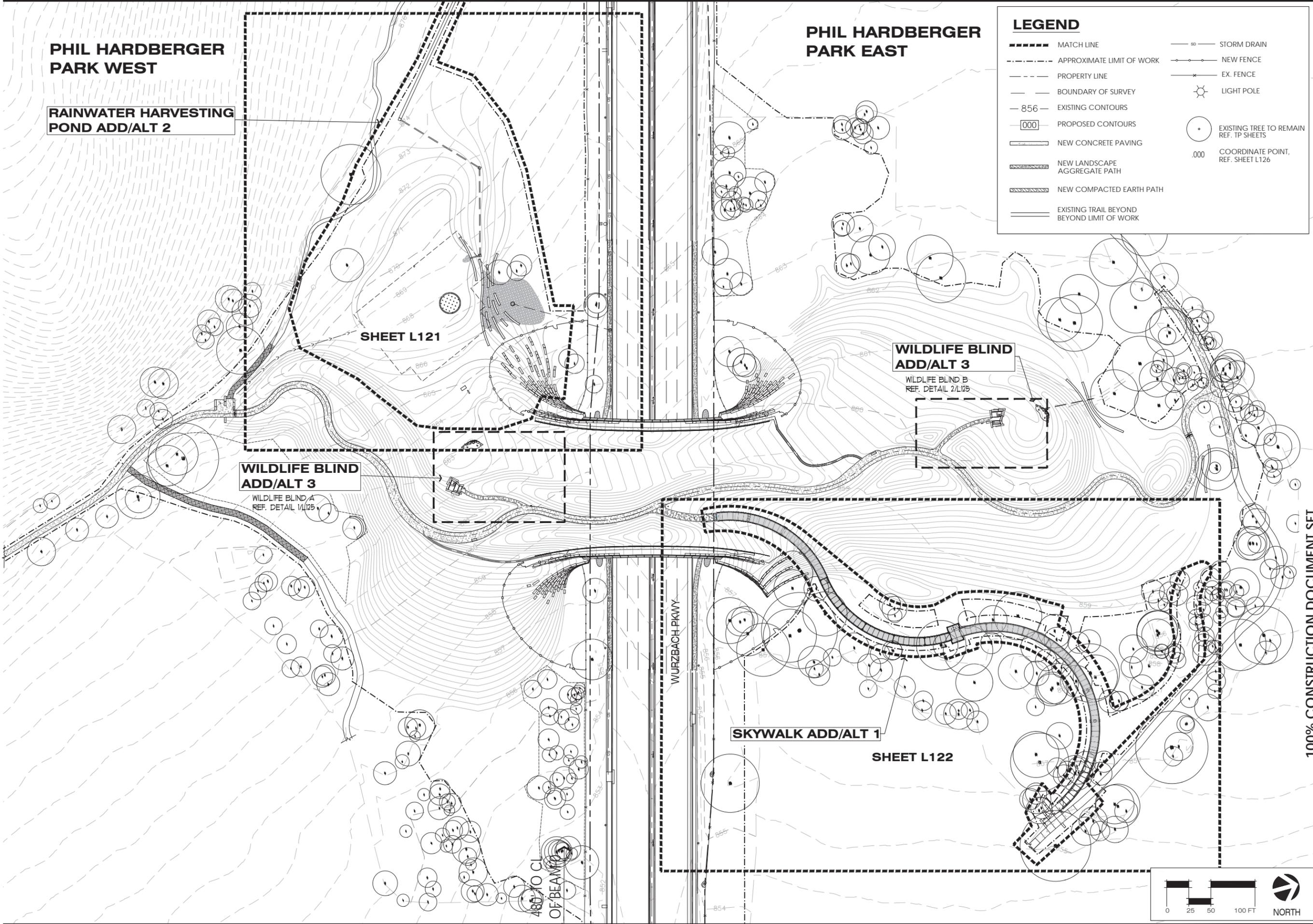
**PHIL HARDBERGER
PARK WEST**

**RAINWATER HARVESTING
POND ADD/ALT 2**

**PHIL HARDBERGER
PARK EAST**

LEGEND

- MATCH LINE
- - - - - APPROXIMATE LIMIT OF WORK
- PROPERTY LINE
- BOUNDARY OF SURVEY
- 856 - EXISTING CONTOURS
- 000 PROPOSED CONTOURS
- NEW CONCRETE PAVING
- NEW LANDSCAPE AGGREGATE PATH
- NEW COMPACTED EARTH PATH
- EXISTING TRAIL BEYOND BEYOND LIMIT OF WORK
- STORM DRAIN
- NEW FENCE
- EX. FENCE
- LIGHT POLE
- EXISTING TREE TO REMAIN REF. TP SHEETS
- .000 COORDINATE POINT, REF. SHEET L126



**RIALTO
STUDIO**
Rialto Studio, Inc.
Landscape Architecture
2425 Broadway, Suite 105
San Antonio, Texas 78215
p. 210.828.1155
f. 210.828.1399

**PHIL HARDBERGER PARK
LAND BRIDGE**
San Antonio, TX

STEPHEN STIMSON ASSOCIATES
LANDSCAPE ARCHITECTS
288 NORFOLK STREET CAMBRIDGE MA 02139
T 617 876 8960 F 617 876 8906
2 MOUNTAIN ROAD PRINCETON MA 01541
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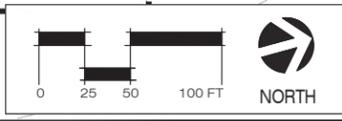
Issue Date **01.30.2018**

Revisions

Project Number: **1620**
Drawn By: **KS**
Checked By: **DW**
Scale: **1"=50'-0"**

Sheet Title
**Layout
Reference Plan
& Notes
ADD/ALT**

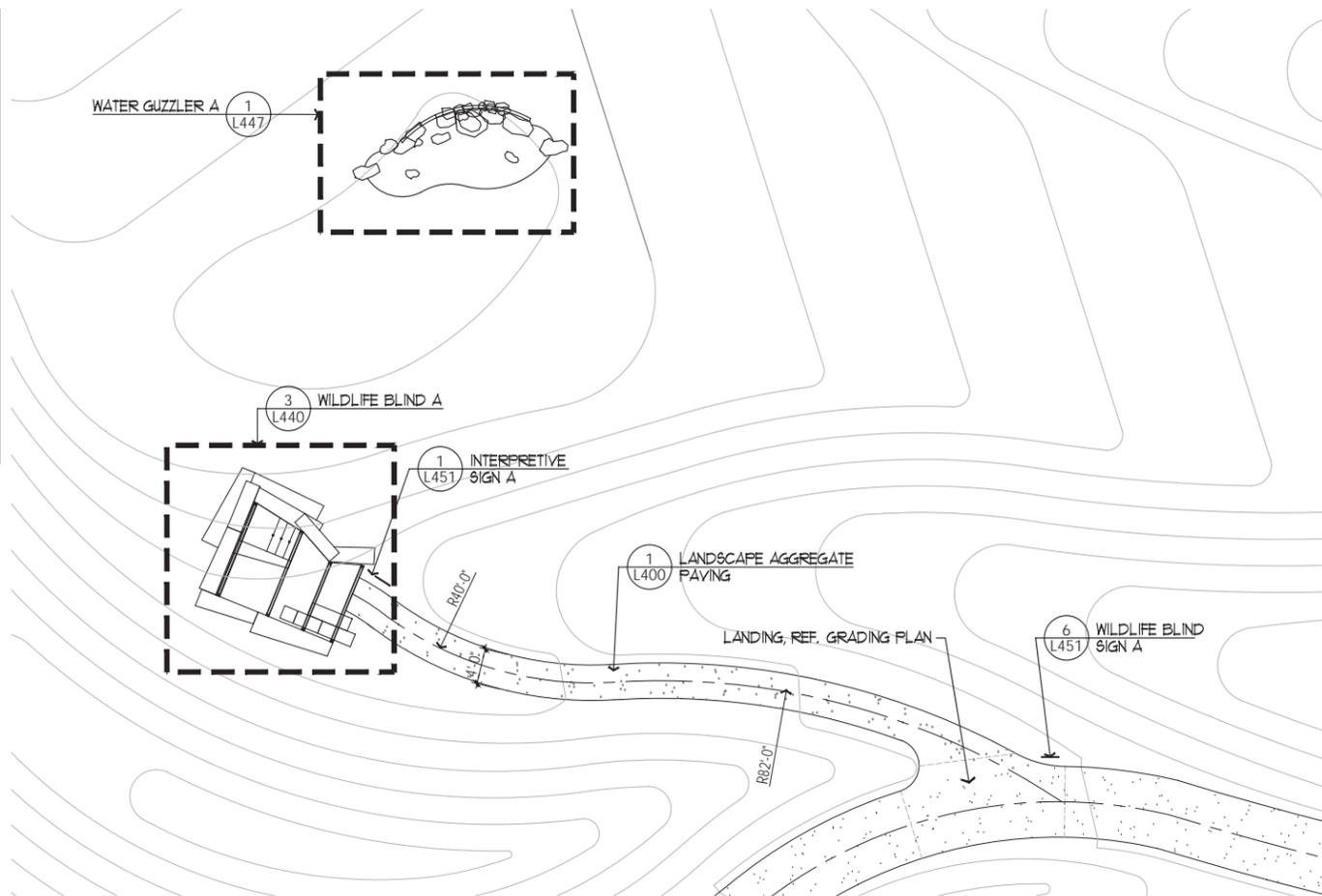
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L120
Sheet of



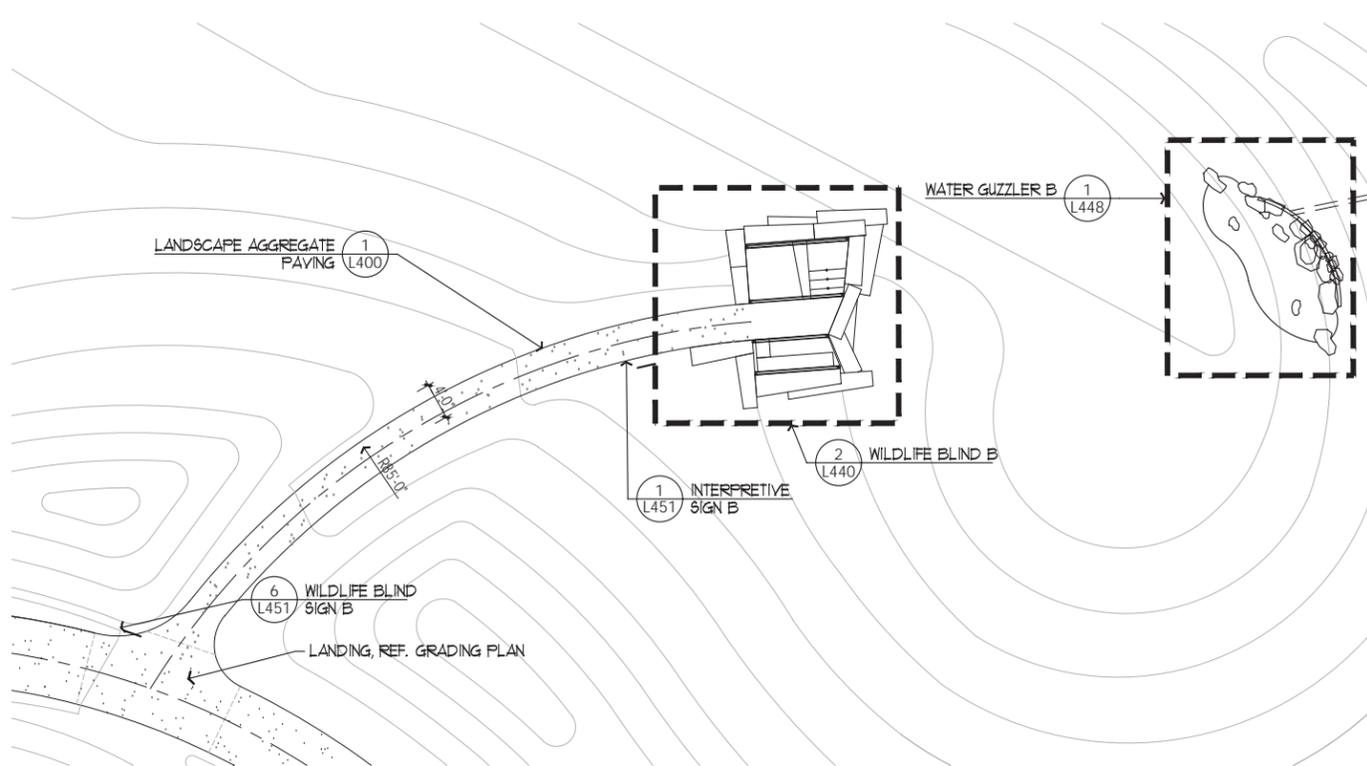
100% CONSTRUCTION DOCUMENT SET

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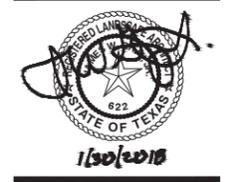
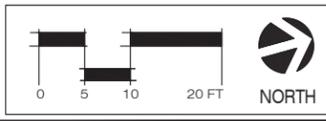
- MATCH LINE
- - - - - APPROXIMATE LIMIT OF WORK
- PROPERTY LINE
- BOUNDARY OF SURVEY
- 856 - EXISTING CONTOURS
- 000 - PROPOSED CONTOURS
- ===== NEW CONCRETE PAVING
- ===== NEW LANDSCAPE AGGREGATE PATH
- ===== NEW COMPACTED EARTH PATH
- ===== EXISTING TRAIL BEYOND BEYOND LIMIT OF WORK
- S--- STORM DRAIN
- O--- NEW FENCE
- X--- EX. FENCE
- ☀ LIGHT POLE
- EXISTING TREE TO REMAIN REF. TP SHEETS
- .000 COORDINATE POINT, REF. SHEET L126



1 WILDLIFE BLIND A
SCALE 1" = 10'-0"



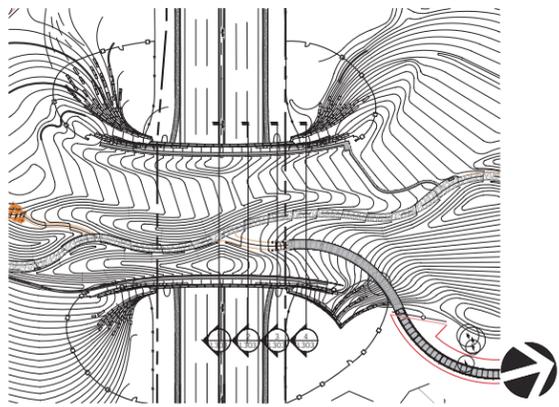
2 WILDLIFE BLIND B
SCALE 1" = 10'-0"



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Issue Date	01.30.2018
Revisions	
Project Number:	1620
Drawn By:	KS
Checked By:	DW
Scale:	1" = 10'-0"

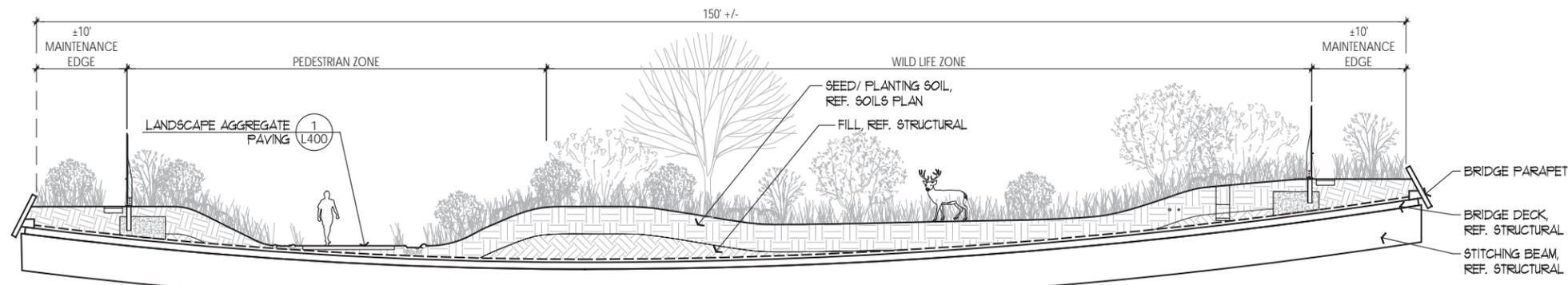
Sheet Title
**Layout Plan-
Wildlife
Blinds
ADD/ALT 3**



KEYPLAN

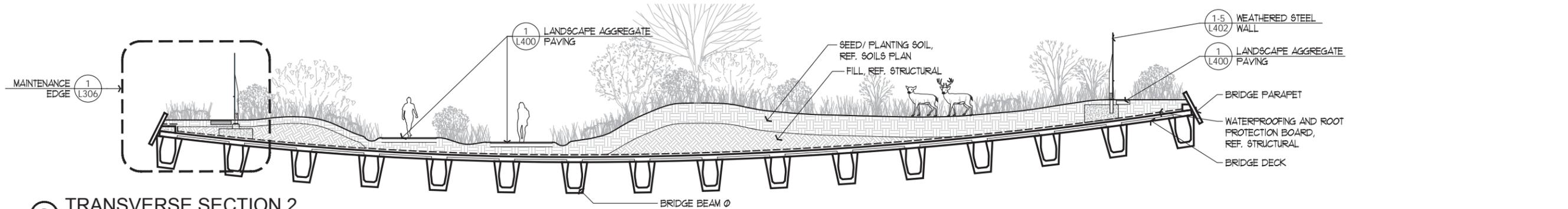
SCALE 1" = 100'0"

NORTH



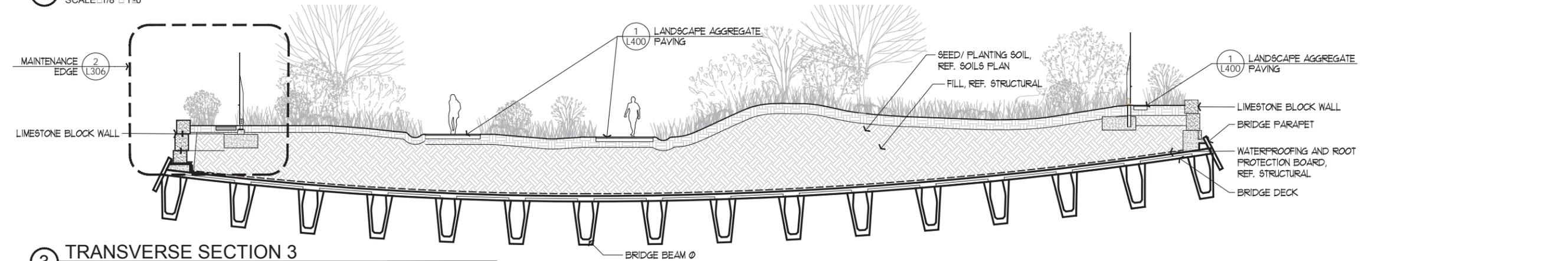
1 TRANSVERSE SECTION AT STITCHING BEAM

SCALE 1/8" = 1'0"



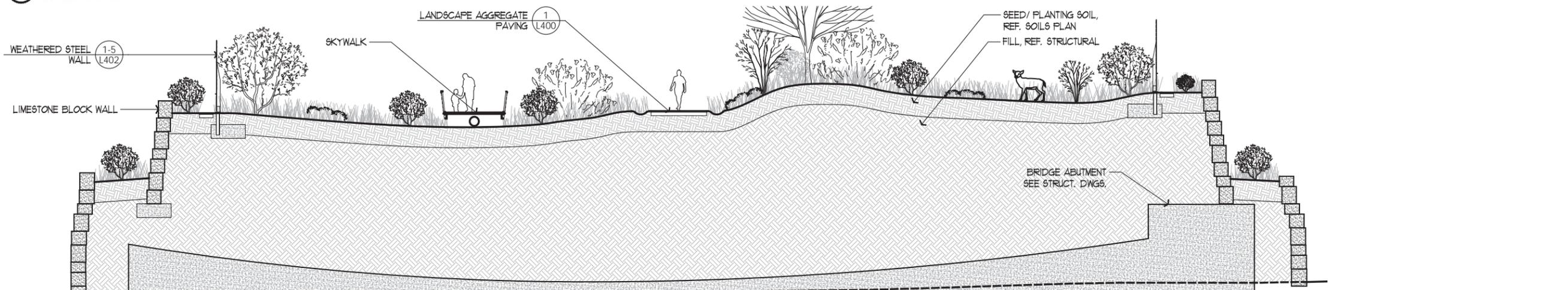
2 TRANSVERSE SECTION 2

SCALE 1/8" = 1'0"



3 TRANSVERSE SECTION 3

SCALE 1/8" = 1'0"



4 TRANSVERSE SECTION 4

SCALE 1/8" = 1'0"



Issue Date **01.30.2018**

Revisions

Project Number: **1620**

Drawn By: **KS**

Checked By: **DW**

Scale: **1/8" = 1'-0"**

Sheet Title

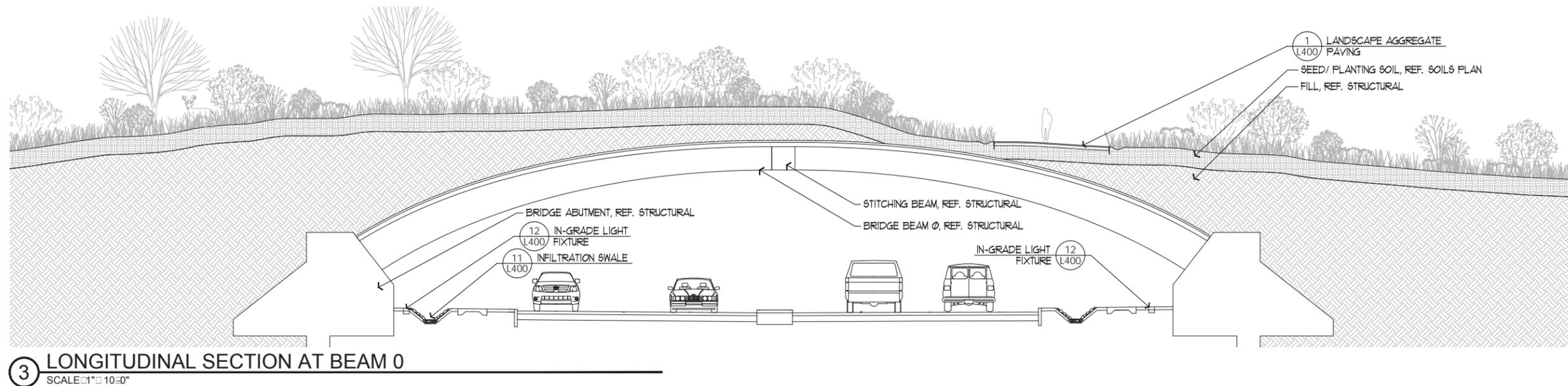
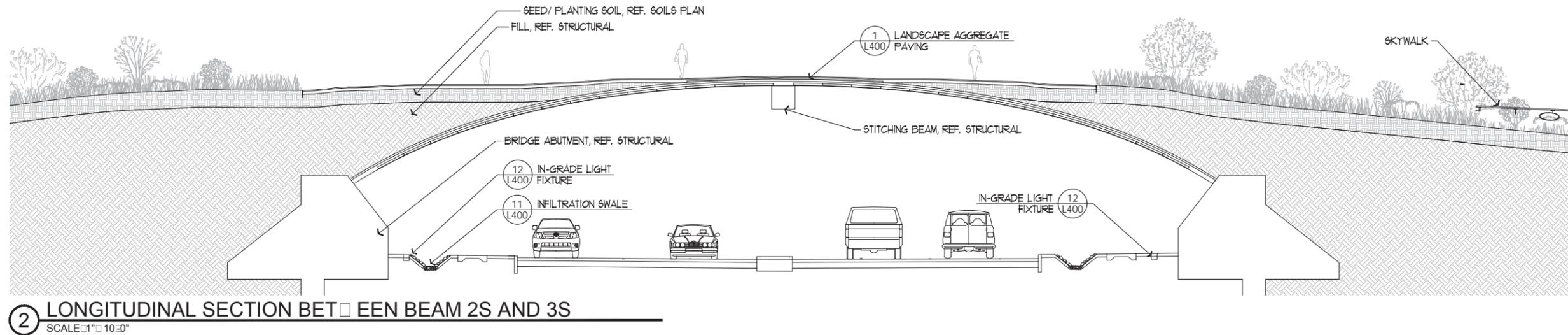
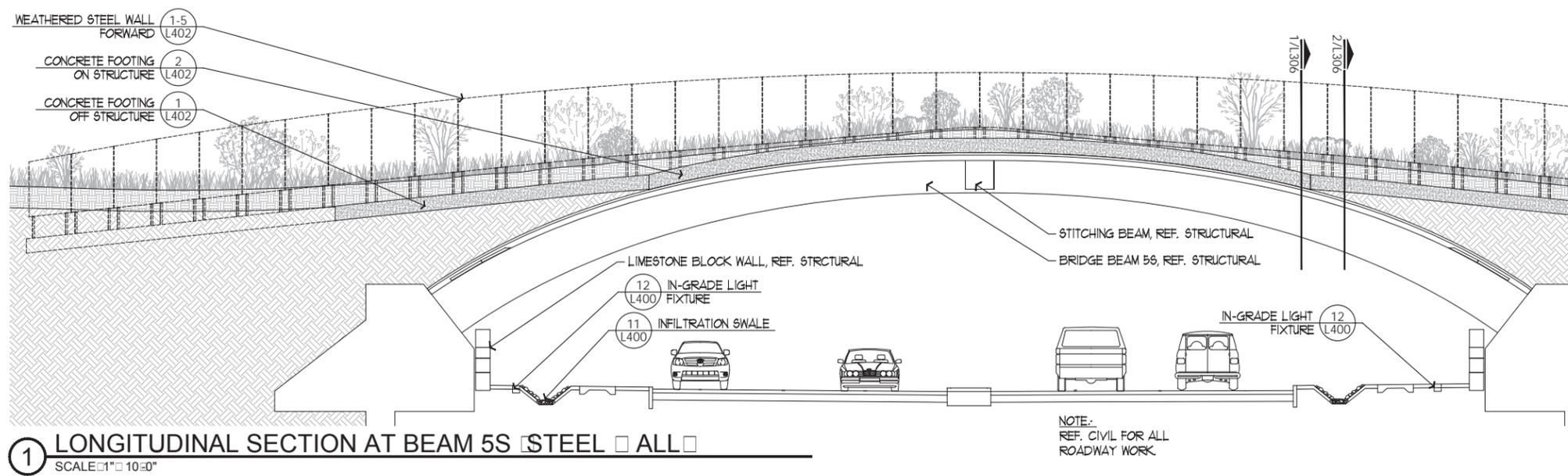
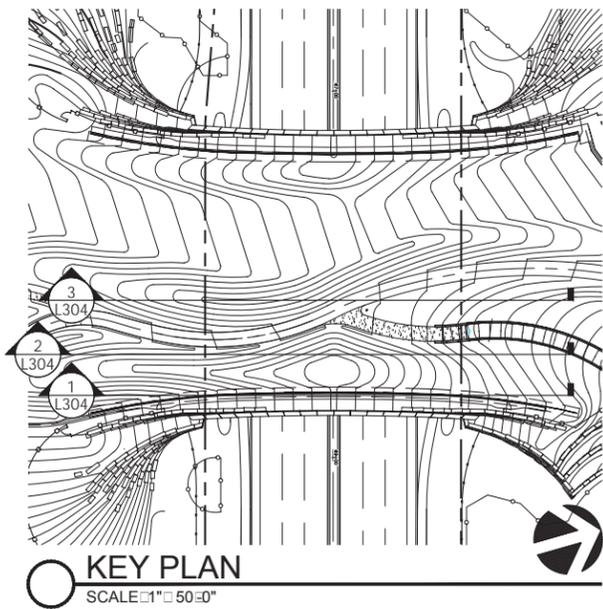
**Land Bridge Sections-
Transverse**

Sheet Number

L303

Sheet of

100% CONSTRUCTION DOCUMENT SET



Issue Date 01.30.2018

Revisions

Project Number: 1620

Drawn By: KS

Checked By: DW

Scale: AS DRAWN

Sheet Title

Land Bridge Sections-
Longitudinal

Sheet Number

L304

Sheet of

100% CONSTRUCTION DOCUMENT SET



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Revisions

Project Number: **1620**

Drawn By: **KS**

Checked By: **DW**

Scale: **AS DRAWN**

Sheet Title

Land Bridge

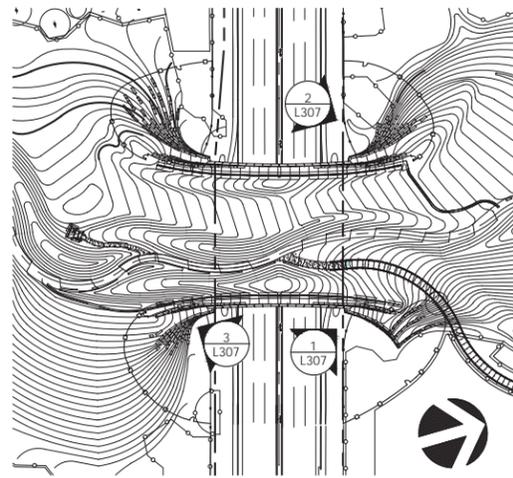
Axonometrics

Sheet Number

L307

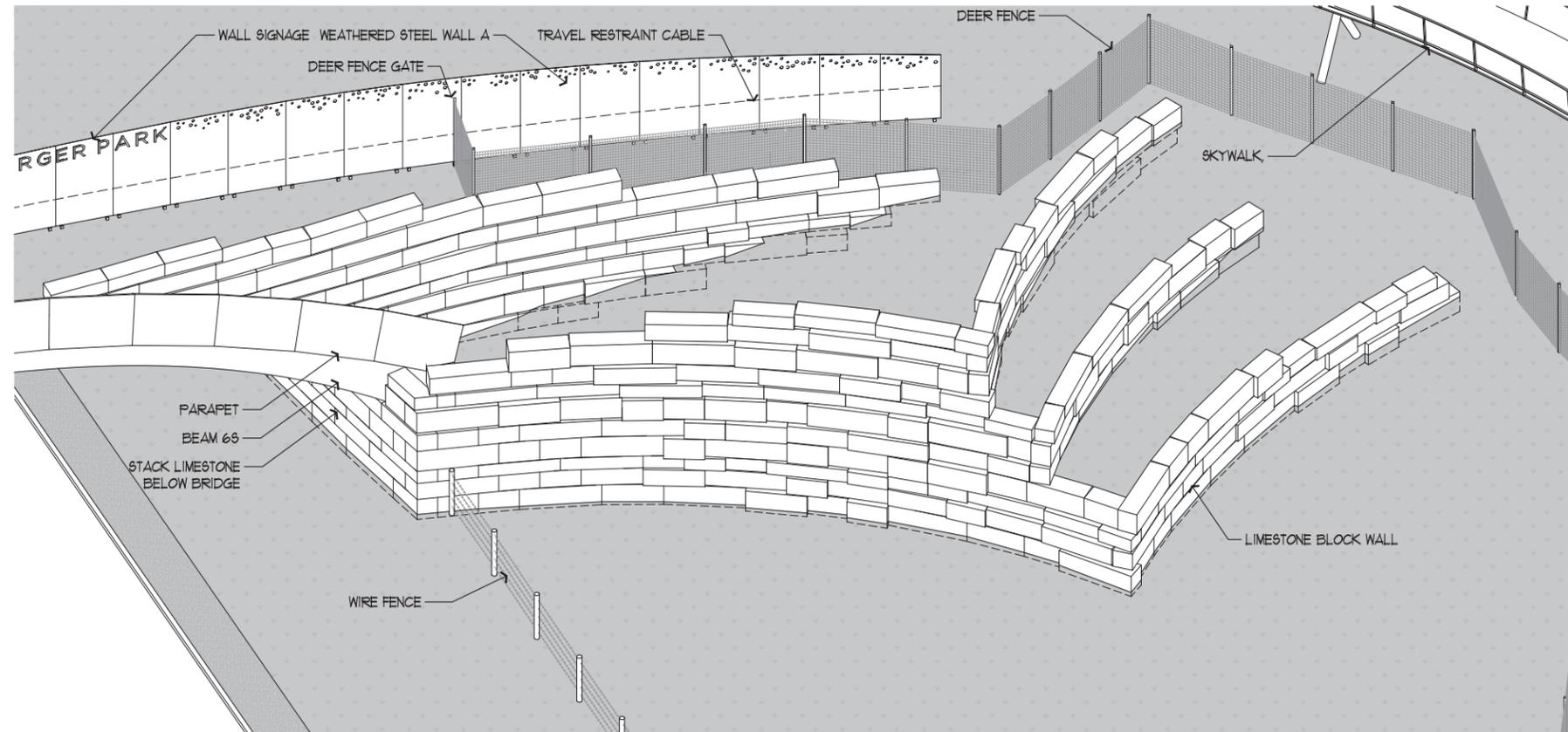
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100% CONSTRUCTION DOCUMENT SET

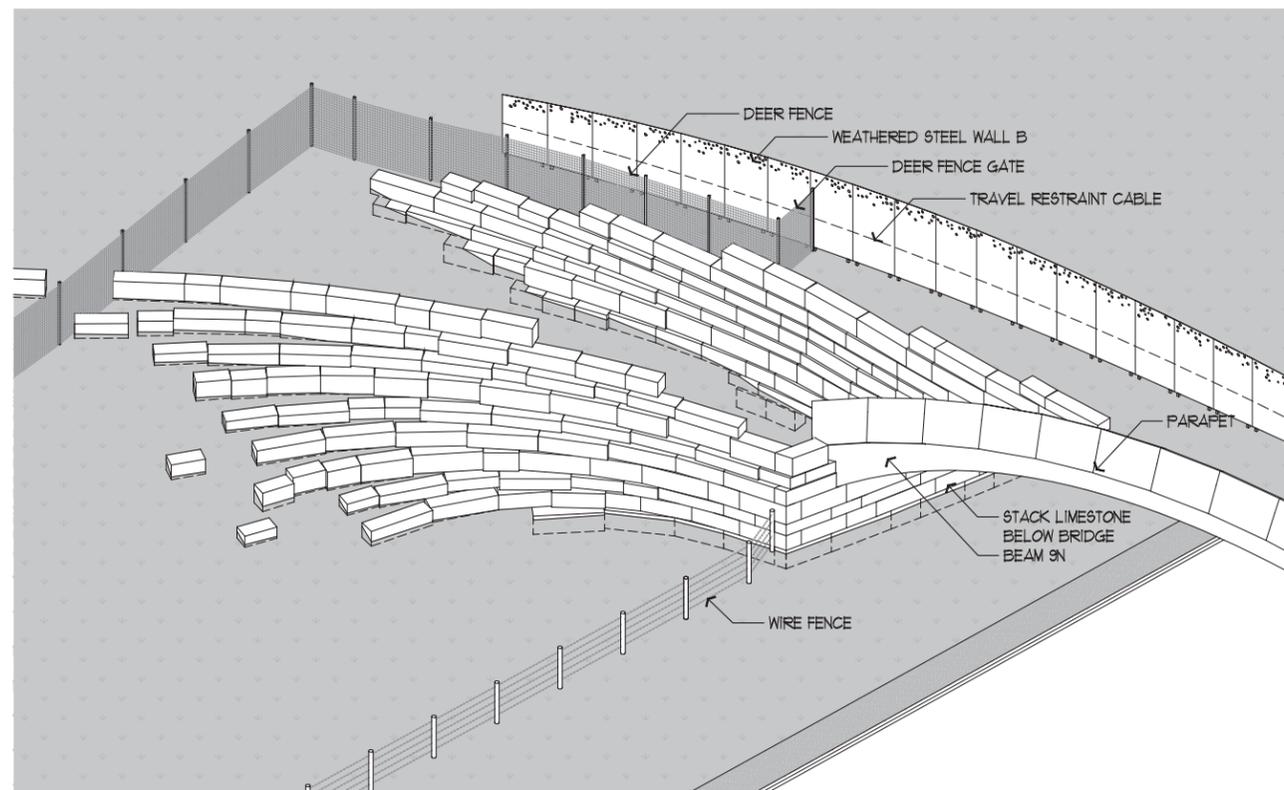


KEY PLAN
SCALE: 1" = 100'-0"

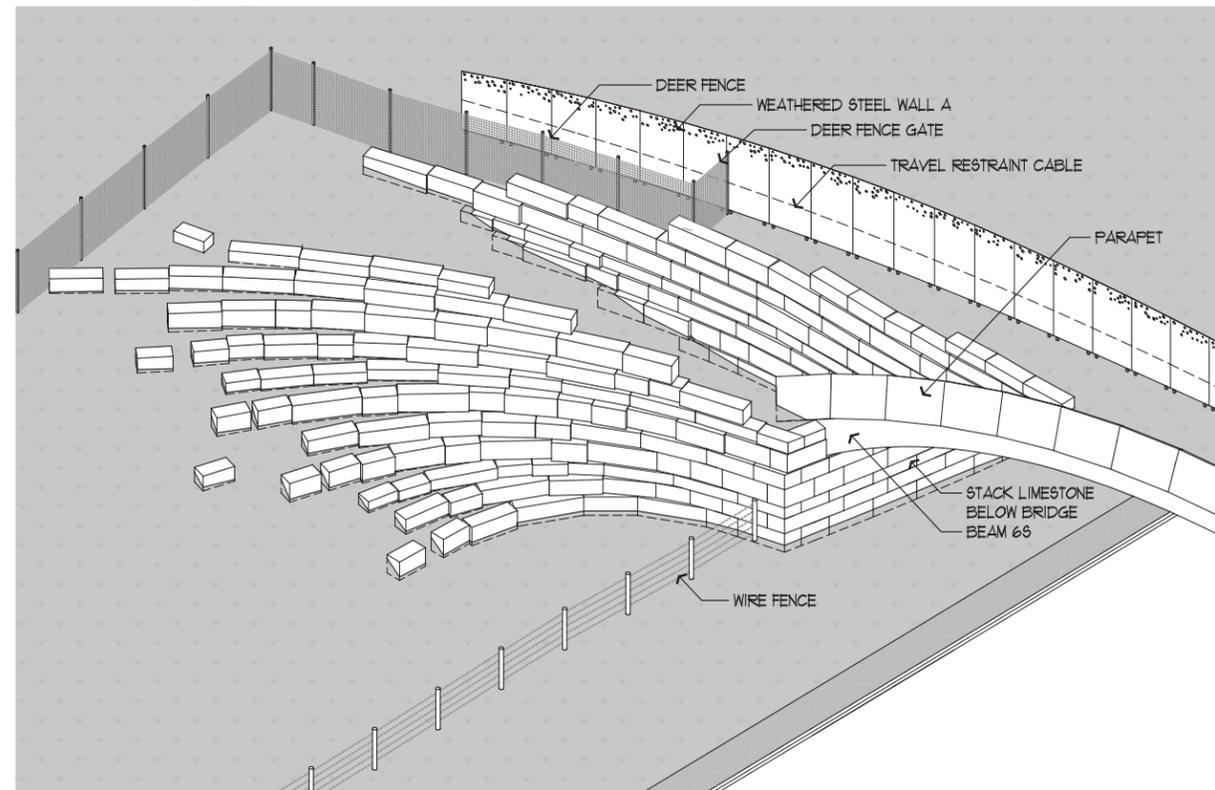
NOTE:
AXONOMETRICS ARE SHOWN AS A GENERAL GRAPHIC
REPRESENTATION OF THE CONSTRUCTED PROJECT.
SITE PLAN AND ELEVATIONS SHALL GOVERN CONSTRUCTION.



1 LIMESTONE □ ALL AXONOMETRIC - NORTHEAST
NTS



2 LIMESTONE □ ALL AXONOMETRIC - NORTH □ EST
NTS



3 LIMESTONE □ ALL AXONOMETRIC - SOUTHEAST
NTS



Issue Date **01.30.2018**

Revisions

Project Number: **1620**

Drawn By: **KAS**

Checked By: **DW**

Scale: **AS SHOWN**

Sheet Title

**WATER
GUZZLER
DETAILS**

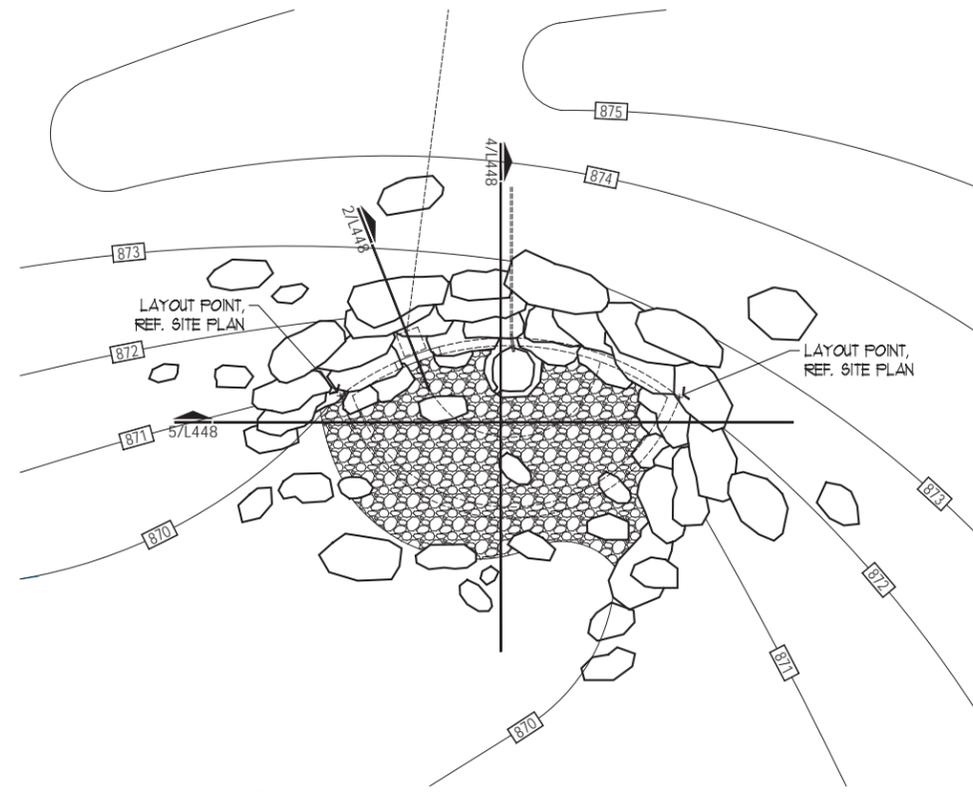
ADD/ALT 3

Sheet Number

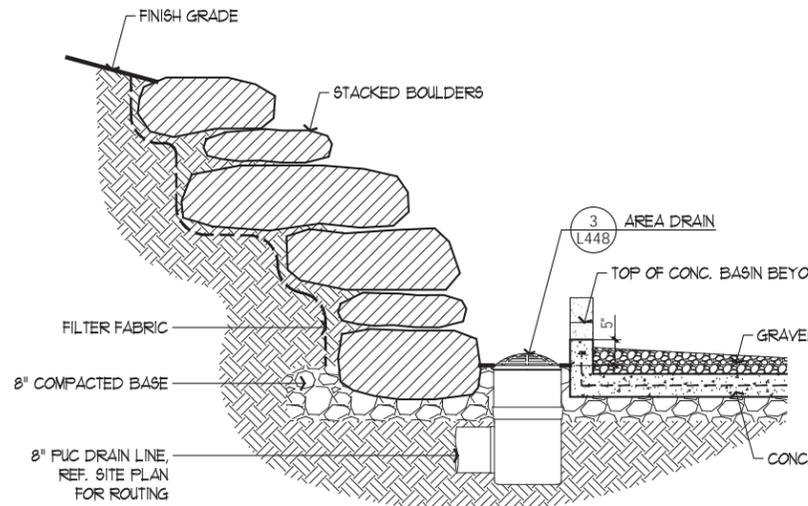
L448

Sheet of

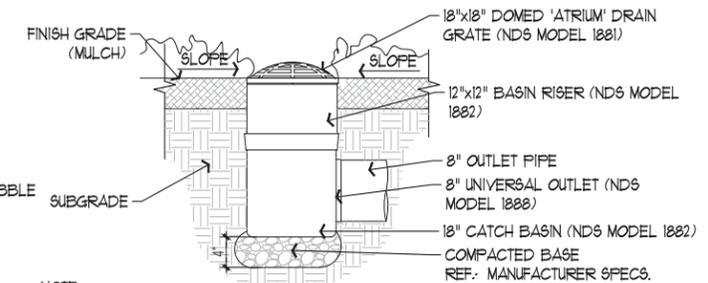
100% CONSTRUCTION DOCUMENT SET



1 PLAN WATER GUZZLER B
SCALE: 1/4" = 1'-0"

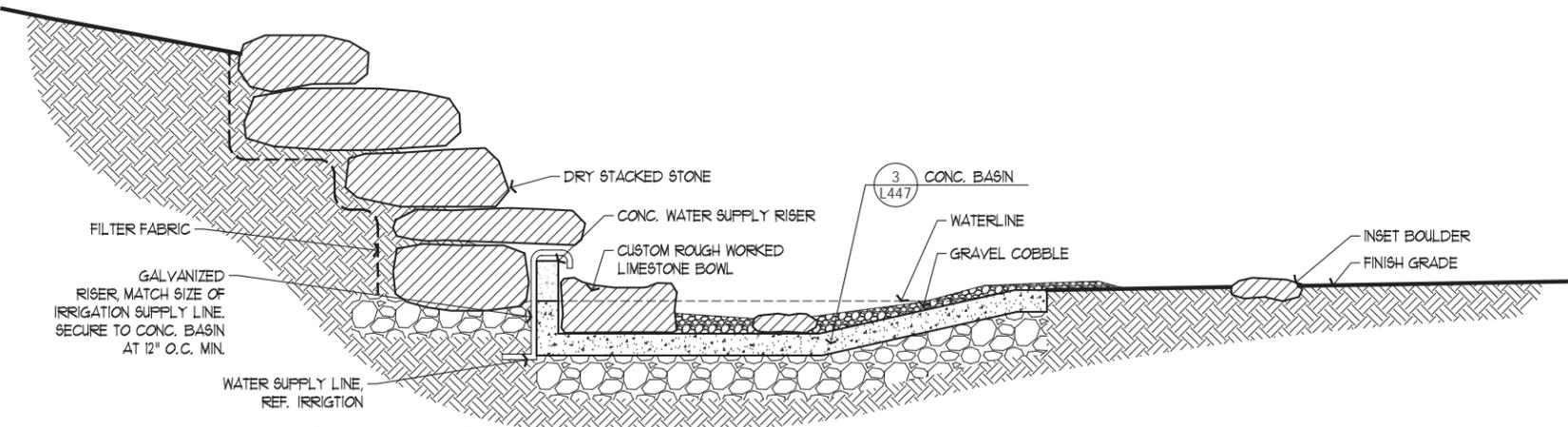


2 SECTION WATER GUZZLER B DRAIN
SCALE: 3/4" = 1'-0"

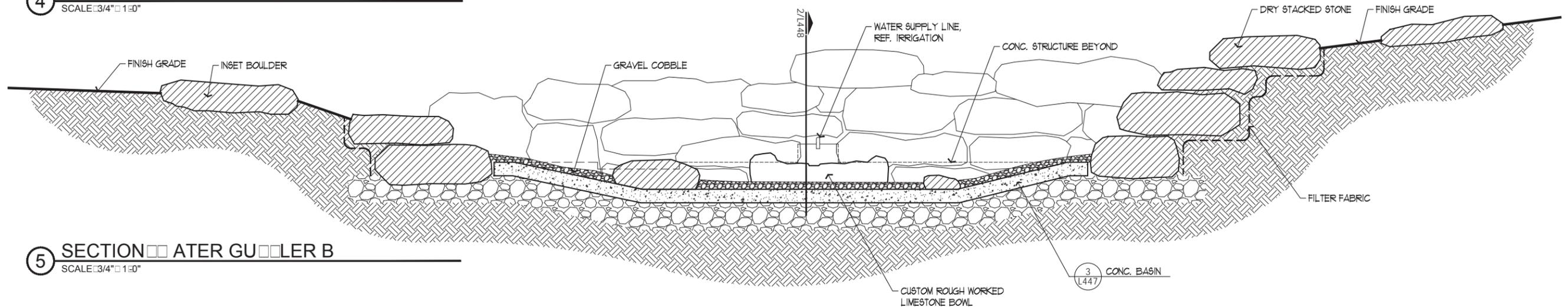


NOTE:
1. INSTALL CATCH BASIN PER MANUFACTURER'S RECOMMENDATIONS.
2. CONTRACTOR TO COORDINATE DRAIN INVERT ELEVATIONS FOR A COMPLETE
OPERABLE DRAINAGE SYSTEM.
3. ALL COMPONENTS BY NDS OR APPROVED EQUAL.

3 DETAIL AREA DRAIN IN PLANTING
SCALE: 1" = 1'-0"



4 SECTION WATER GUZZLER B
SCALE: 3/4" = 1'-0"

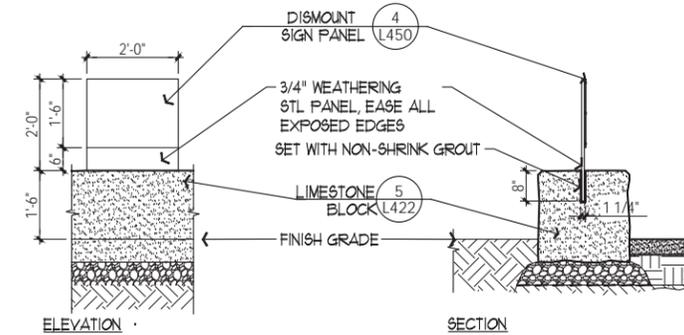


5 SECTION WATER GUZZLER B
SCALE: 3/4" = 1'-0"

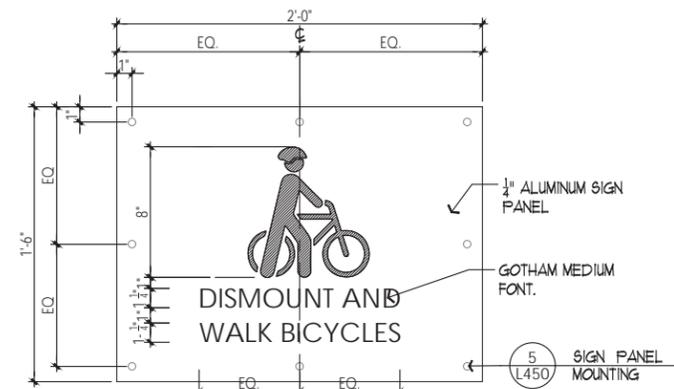
100% CONSTRUCTION DOCUMENT SET

SIGNAGE NOTES:

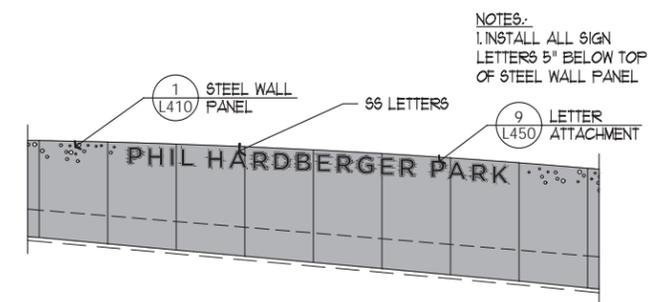
1. SUBMIT SHOP DRAWINGS OF SIGN CARRIERS & SIGN PANELS. SUBMITTALS SHALL INCLUDE MATERIALS, FINISHES, COLORS, SIZE OF MEMBERS, DETAILS OF CONSTRUCTION LETTER SPACING, SIZE AND TYPE, NUMBERS, SYMBOLS OR IMAGE DETAILS, AND MOUNTING DETAILS. IDENTIFY MATERIALS SHOW JOINTS, WELDS, ANCHORAGE, ACCESSORY ITEMS, MOUNTING AND FINISHES.
2. SUBMIT FULL SIZE LAYOUT OF EACH SIGN PANEL IN FULL COLOR.
3. SUBMIT MANUFACTURER'S LITERATURE AND DATA (MARK LITERATURE TO INDICATE ITEMS PROPOSED TO BE FURNISHED): SIGNS, EACH TYPE/ MANUFACTURER'S PRINTED SPECIFICATIONS, ANCHORAGE DETAILS, INSTALLATION AND MAINTENANCE INSTRUCTIONS. MANUFACTURER'S RECOMMENDATIONS FOR MOUNTING THE SIGN PANELS SHALL BE PROVIDED.
4. SUBMIT SIGN OF SUFFICIENT SIZE TO SHOW THE FULL SCALED FEATURES OF EACH OF THE SIGN TYPES, INCLUDING FRAME, MOUNTING, PANELS, PANEL MOUNTING, AND SIGN MOUNTING FACILITIES.
5. SLOPE GRADE AWAY FROM SUN IN ALL DIRECTIONS.
6. ALL WEATHERING STEEL TO BE A588
7. ALL WEATHERING STEEL SURFACES IN CONTACT WITH SOIL SHALL BE PROTECTED W/ WATERPROOF CORATHANE EPOXY PRIMER BY SHERWIN WILLIAMS OR APPROVED EQUIVALENT.
8. ALL MESSAGING AND GRAPHICS SHOWN ARE NOT FINAL AND ARE SUBJECT TO CHANGE.
9. PROTECT ALL DISSIMILAR METAL CONTACTS AND CONNECTIONS.



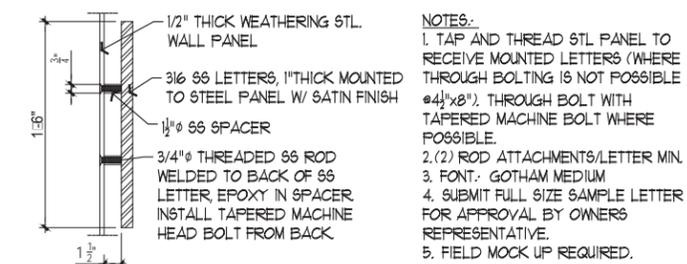
3 DISMOUNT BICYCLE SIGN
SCALE 1/2" = 1'-0"



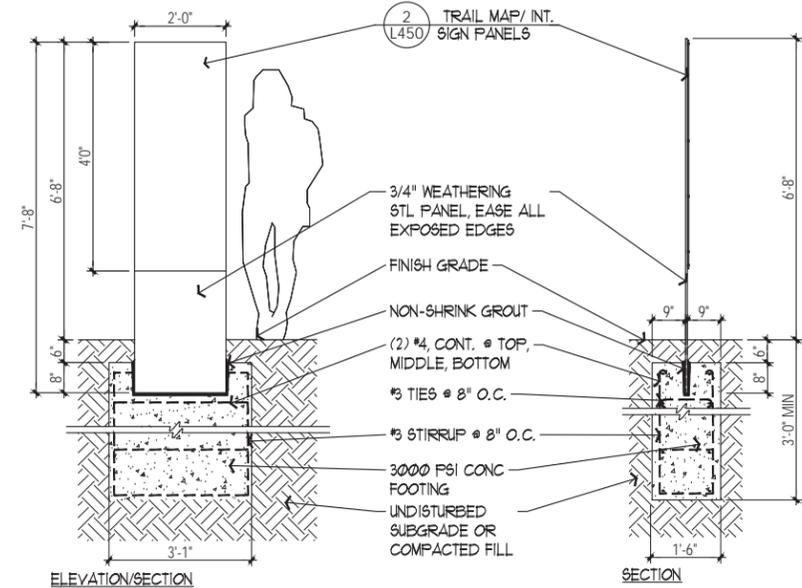
4 DETAIL DISMOUNT SIGN PANEL
SCALE 2" = 1'-0"



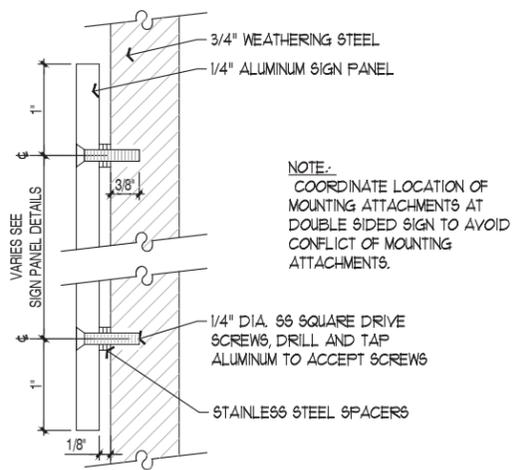
8 DETAIL STL. ALL SIGNAGE
SCALE 1/8" = 1'-0"



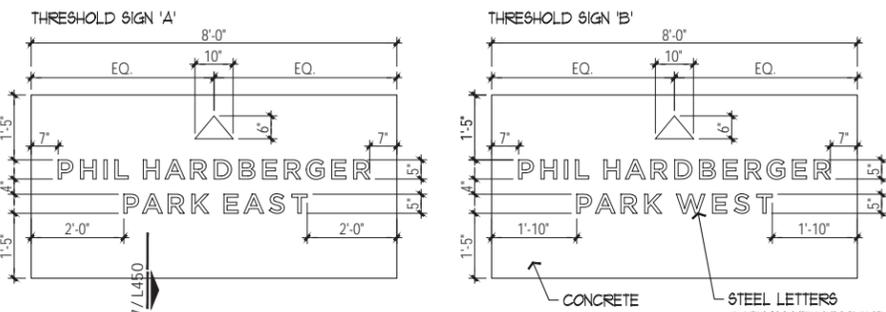
9 DETAIL STL. ALL LETTER ATTACHMENT
SCALE 1/2" = 1'-0"



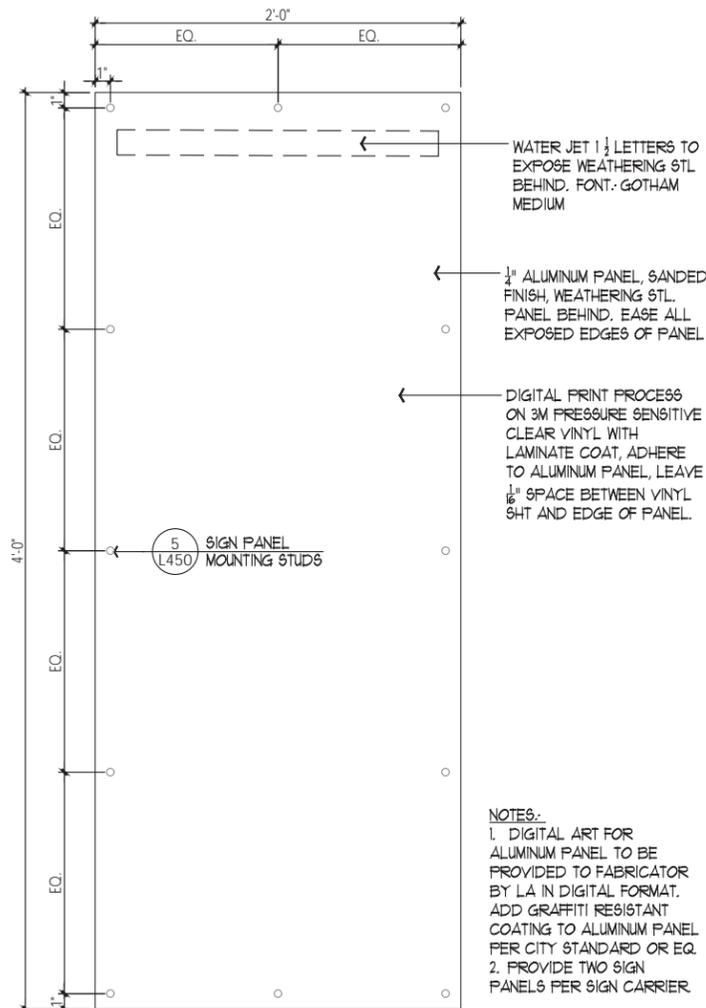
1 DETAIL TRAIL MAP INTERPRETIVE SIGNAGE
SCALE 1/2" = 1'-0"



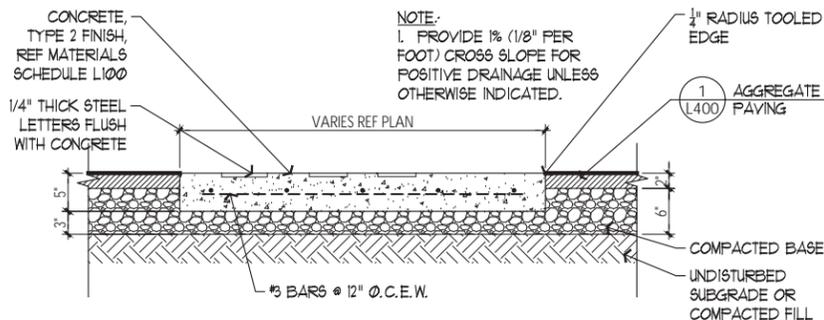
5 SECTION SIGN PANEL MOUNTING
SCALE 1/8" = 1'-0"



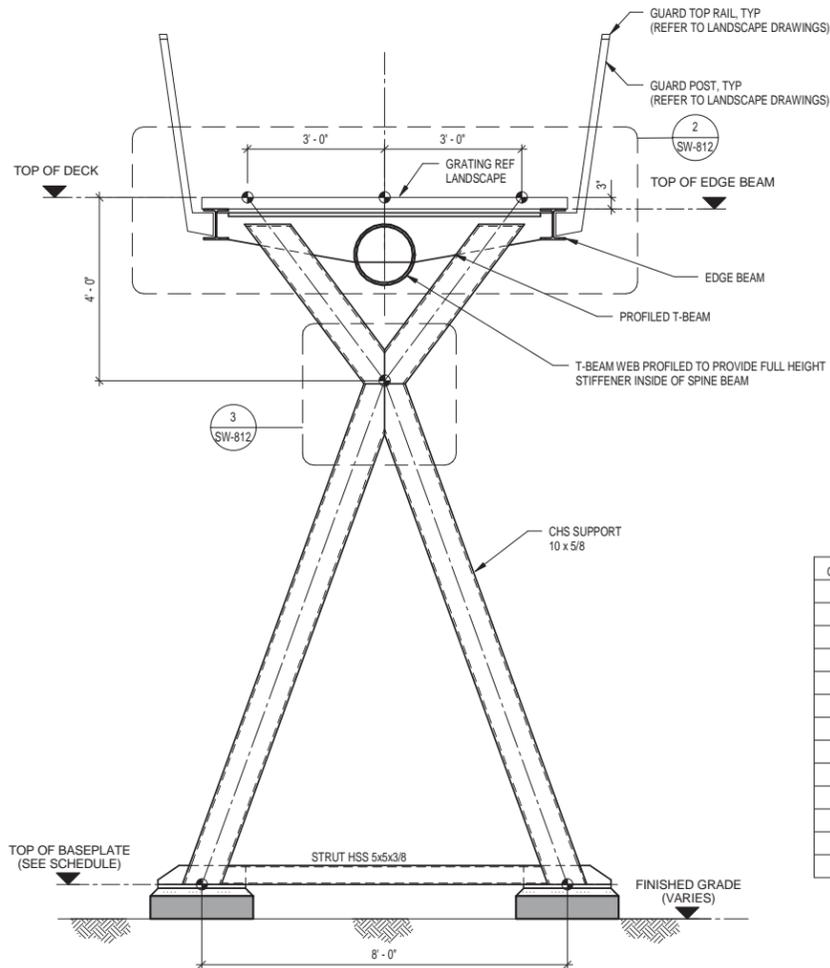
6 PLAN THRESHOLD SIGN MESSAGING
SCALE 1/2" = 1'-0"



2 DETAIL TRAIL MAP INTERPRETIVE SIGN PANELS
SCALE 2" = 1'-0"



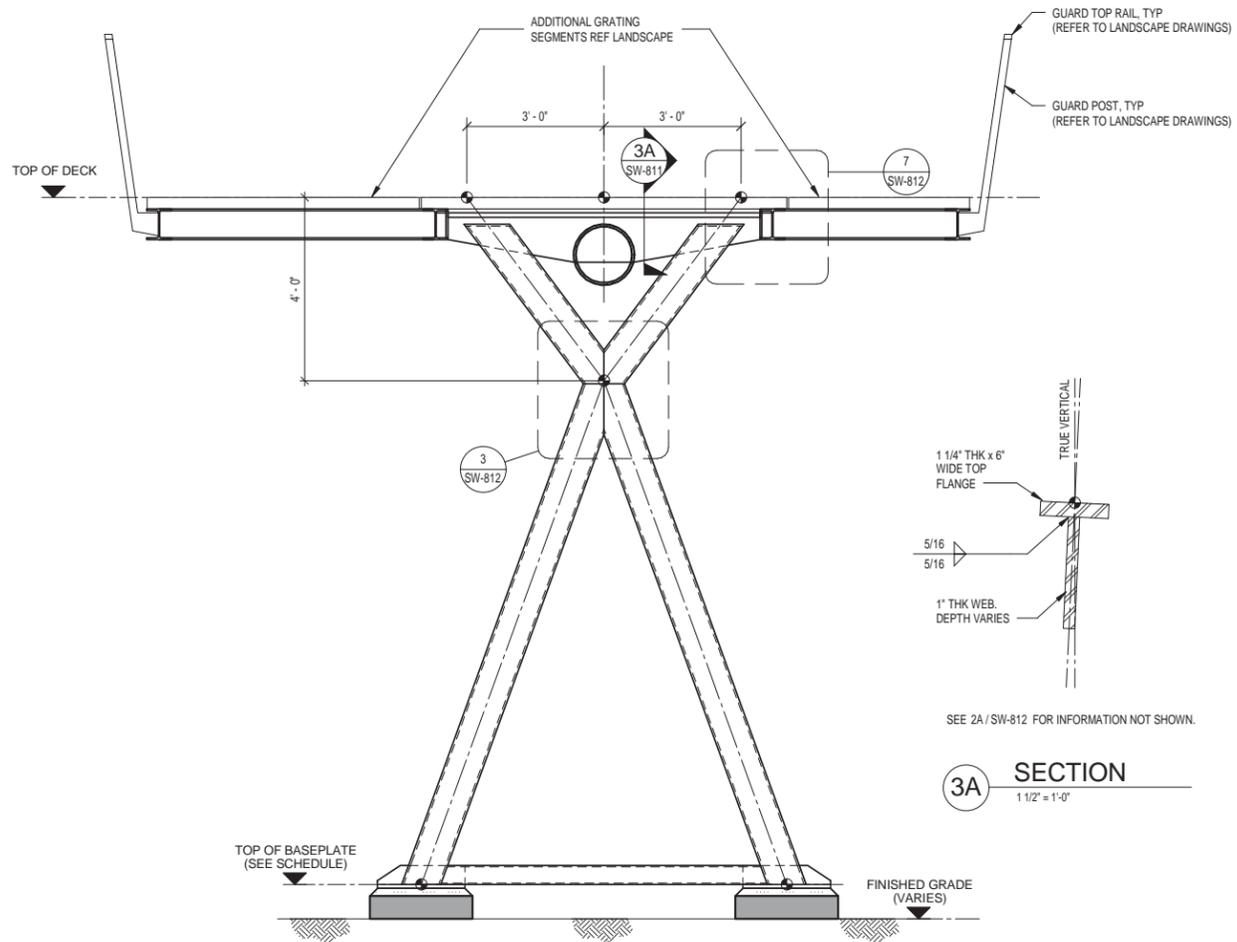
7 SECTION THRESHOLD SIGN
SCALE 1" = 1'-0"



GRID LINE	TOP OF BASEPLATE
3	+887.132
4	+872.569
5	+858.566
6	+858.549
7	+858.594
8	+858.684
9	+858.766
10	+858.867
11	+858.867
12	+858.956
13	+858.967
14	+858.889
15	+858.746

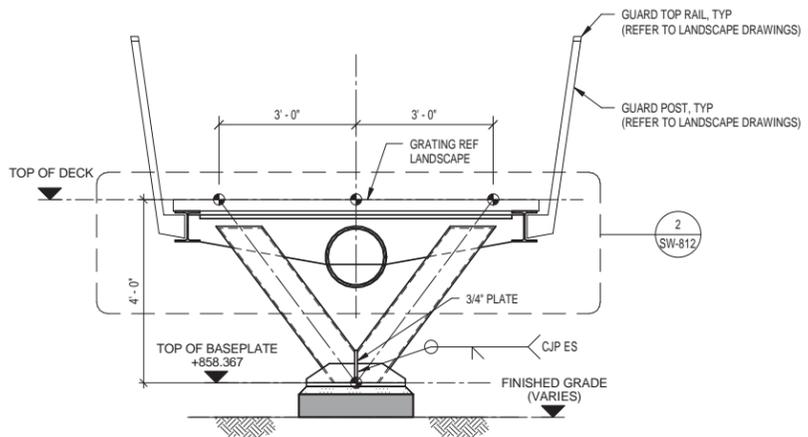
NOTES:
1. FOUNDATION TYPE VARIES PER LOCATION. REF PLANS FOR TYPE

1 TYPICAL STEEL SUPPORT ELEVATION
1/2" = 1'-0"



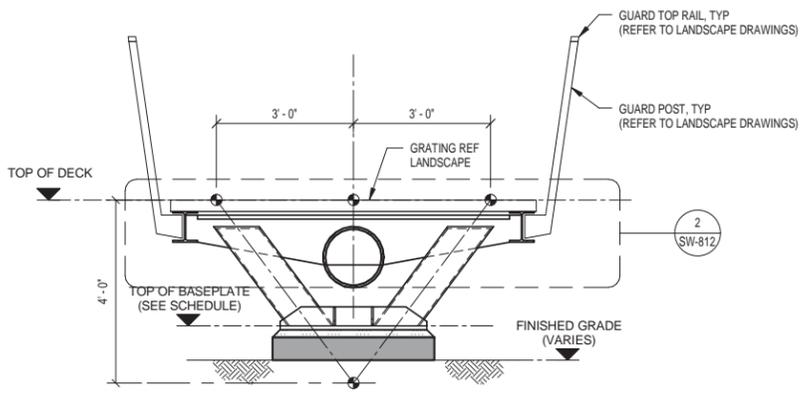
NOTES:
1. SEE 1 / SW-811 FOR INFORMATION NOT SHOWN

3 STEEL SUPPORT ELEVATION AT OVERLOOK
1/2" = 1'-0"



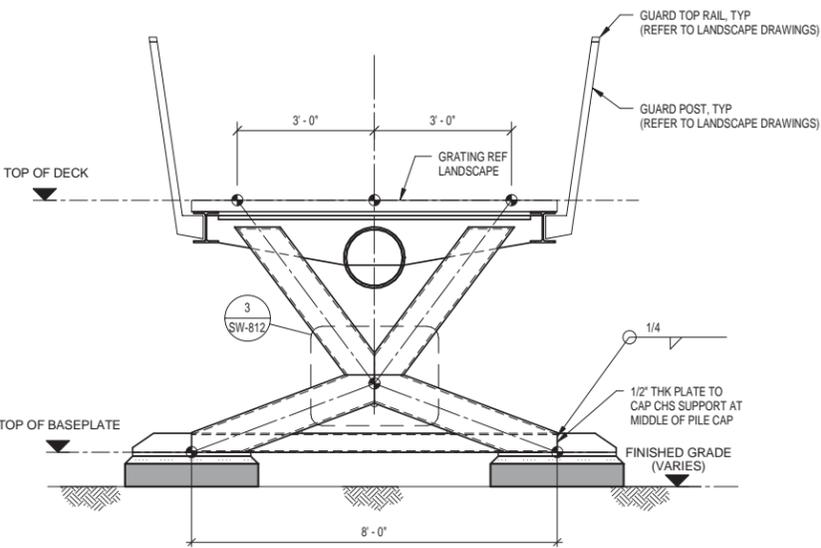
NOTES:
1. SEE 1 / SW-811 FOR INFO NOT SHOWN

4 STEEL V SUPPORT AT GRIDLINE 16
1/2" = 1'-0"



GRID LINE	TOP OF BASEPLATE
2	+887.408
17	+858.367

5 STEEL BURIED V SUPPORT
1/2" = 1'-0"



6 STEEL SUPPORT AT GL 3 AND GL 15
1/2" = 1'-0"

MATCHLINE SHEET L511



PHIL HARDBERGER PARK
LAND BRIDGE
San Antonio, TX

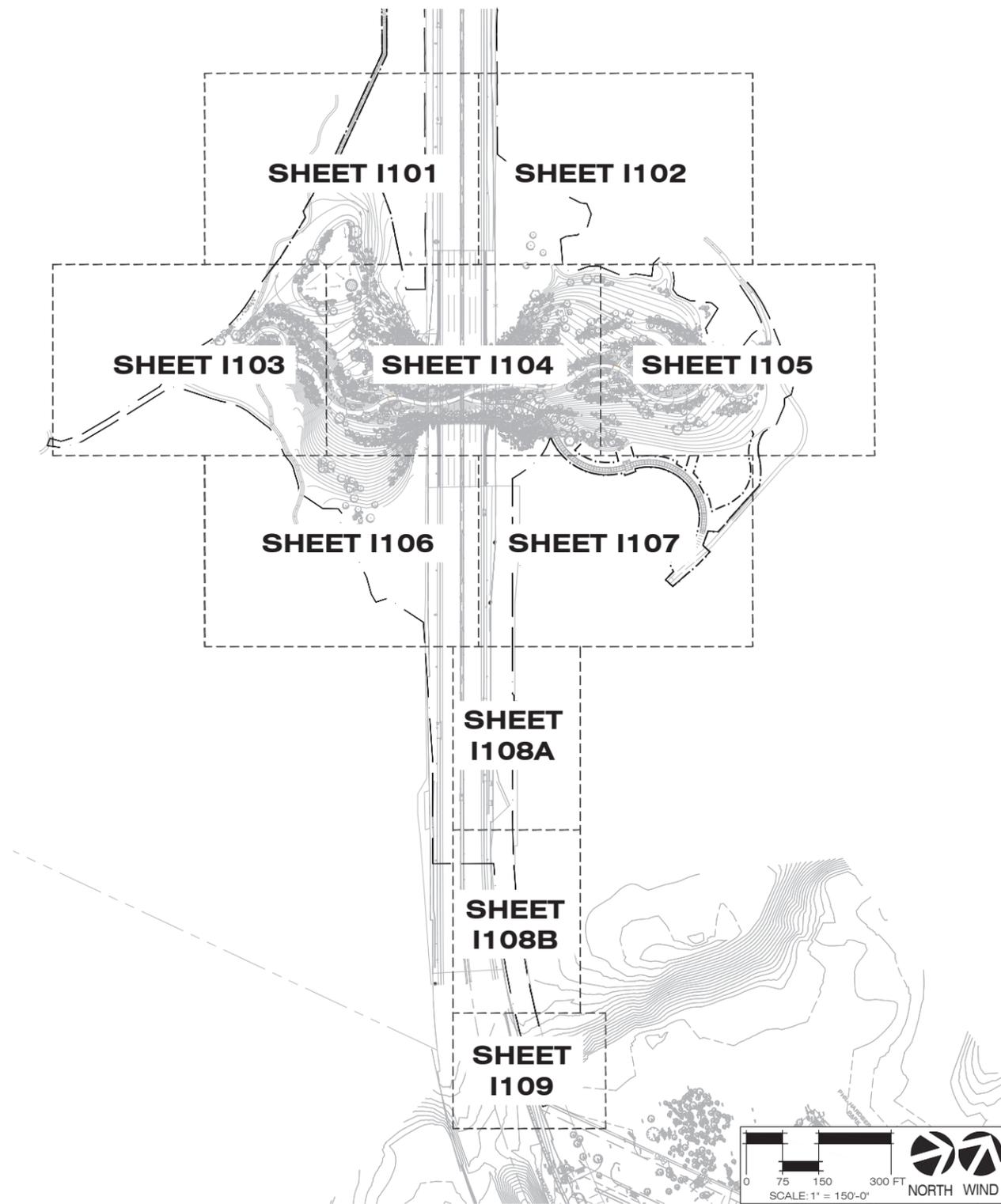
STEPHEN STIMSON ASSOCIATES
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Issue Date	01.30.2018
Revisions	
Project Number:	1620
Drawn By:	EW
Checked By:	DW
Scale:	1"=30'-0"

Sheet Title
Tree and Grassland Planting Plan
Sheet Number
L 512
Sheet of



IRRIGATOR'S ENDORSEMENT

This irrigation plan conforms to the irrigation design equipment standards set out in 35-510(j) and 35-511(c)(6) of the City of San Antonio Unified Development Code and also complies with the requirements of chapter 344, 344.72-344.77 of the Texas Administrative Code.

The irrigation system does not provide 100% coverage of the site, refer plans and/or specifications for area(s) to be covered. The drawings may be diagrammatic in nature for clarity. Some piping or components may be shown larger than scale or appear to be in hardscape areas. The installer should take this into consideration and interpret the design to provide full coverage of the areas shown with all piping in sleeves, common trenches, at the back of curbs or in other planted areas. The installer is responsible for providing all work contained in the drawings, notes, specifications and details. The installer is required by law to notify at least two (2) working days prior to any excavation one of the following:

- Lone Star Notification Center 1-800-669-8344
- Texas One Call 1-800-245-4545
- DigTess 1-800-344-8377

The installer shall verify that static water supply pressure exceeds the design pressure by a minimum of 10%. If less notify in writing this office, the owner, or owner's representative for a resolution. Installer shall hold harmless this office, the owner, or owner's representative for failure to make such notification prior to starting construction and thereby accepts all costs and obligations for system supply pressure corrections.

Stanley F. Albus, ASLA, Licensed Irrigator #4058, Rialto Studio, Inc., 2425 Broadway, Suite 105, San Antonio, Texas 78215, 210-828-1155

INSTALLATION NOTES

1. Tree bubbler symbols denote nozzle type - quantity is called out at the symbol.
2. Installer is to adjust all heads for 100% coverage of tree root balls with minimal overspray.
3. Unlabeled pipe is .5" for bubbler and turf rotor laterals.
4. Sleeves to be minimum twice the the total diameter of the pipes within.
5. Install wiring in a separate sleeve within mainline sleeve, size as necessary.

RECLAIMED WATER USAGE NOTES (ADD ALTERNATE #2)

1. All irrigation system components from the water meter to the air gap are to be manufacturer's standard color for potable water usage, pipe is to be plain white and valve box lids are to be green or grey.
2. Provide an reduced pressure-type assembly at the water meter per Detail 4/ Sheet I 111 for backflow prevention on the irrigation supply line.
3. All irrigation system components from the air gap per Detail #1/ Sheet I 111 to sprinklers are to be identified with the manufacturer's purple coding for reclaimed water usage or painted purple per saws requirements. This shall include but not be limited to all pipe, valves sprinkler caps and valve box lids.
4. Contractor is responsible for understanding and complying with all applicable regulations including, but not limited to local codes and ordinances, International Plumbing Code, and Texas Administrative Code.
5. Components of the system downstream from the air gap are to be NP (non-potable purple) compliant as supplied by the manufacturer, painted purple, taped with purple metallic tape, or bagged in purple per Texas Administrative Code requirements. All exposed piping shall be stenciled in white with a warning reading "NON-POTABLE WATER".
6. Contractor shall install warning signage in English and Spanish as directed by the Texas Administrative Code for reclaimed water usage identification.
7. Contractor shall provide pipe separation practices where needed as prescribed by the regulating authorities listed above.
8. Contractor is responsible for testing and approval by local governing authority prior to activating a non-potable water source for irrigation usage. Coordinate with city, county or water purveyor for testing and approval prior to substantial completion.

AUXILLARY STATION NOTES (ADD ALTERNATE #3)

1. An auxillary zone (Station #1) is intended to provide a constant water source to specific non-irrigation park features during daylight hours. Address these zones as to an independent program at the controller and schedule hours of operation for 10 minute cycles hourly between 7am and 11pm daily, year round.
2. Adjust flow at manual ball valves according to Landscape Architect's direction.

POTABLE WATER USAGE NOTES (ADD ALTERNATE #4)

1. In lieu of purple components as required in Add Alternate #2, provide components from the water meter to furthest head in manufacturer's standard color for potable water usage (lids for quick connect valves to be painted purple for non potable designation per Texas Administrative Code directive).
2. Provide double check assembly for backflow prevention per Detail 2/ Sheet I 112.
3. Provide booster pump package per Detail 1/ Sheet I 112 to achieve the required design pressure.
4. Note the revised controller location (Sheet I 107) and install per Detail 1/ Sheet I 110.

WATER SUPPLY PSI LOSS (RECLAIMED)	
METER TO AIR GAP @ 50.0 GPM	
1.5" SERVICE (2 EACH @ 25 GPM)	0.7
1.5" METERS (2 EACH @ 25 GPM)	1.3
2" REDUCED PRESSURE ASSEMBLY	12.0
2" MASTER VALVE	0.8
3" MAINLINE (2000' @ 2.1 FPS)	4.6
ELEVATION LOSS (METER TO AIR GAP)	16.0
TOTAL ANTICIPATED PRESSURE LOSS	35.4
CRITICAL ZONE PSI LOSS (RECLAIMED)	
PUMP TO HIGHEST ELEV @ 44.0 GPM	
2.5" MAINLINE (CL 200 PVC x 450' @ 2.7 FPS)	2.1
ELEVATION LOSS (AIR GAP TO PEAK)	13.0
1.5" ZONE CONTROL VALVE	2.0
ZONE LATERAL PIPING	3.3
MP ROTATOR	40.0
TOTAL PRESSURE LOSS	60.4
REQUIRED DESIGN PRESSURE	67.0

CRITICAL ZONE PSI LOSS (POTABLE)	
P.O.C TO HIGHEST ELEV @ 44.0 GPM	
1.5" SERVICE (2 EACH @ 22 GPM)	0.2
1.5" METERS (2 EACH @ 22 GPM)	1.0
3" MAINLINE (CL 200 PVC x 1600' @ 1.8 FPS)	2.9
2.5" MAINLINE (CL 200 PVC x 400' @ 2.7 FPS)	1.9
ELEVATION LOSS (AIR GAP TO PEAK)	13.0
1.5" ZONE CONTROL VALVE	2.0
ZONE LATERAL PIPING	2.8
BUBBLER	30.0
TOTAL PRESSURE LOSS	53.8
REQUIRED DESIGN PRESSURE	60.0



**PHIL HARDBERGER PARK
LAND BRIDGE**
 San Antonio, TX

100% CONSTRUCTION DOCUMENT SET



Issue Date **01.30.2018**

Revisions

Project Number: **1620**

Drawn By: **SFA**

Checked By: **DW**

Scale: **As Noted**

Sheet Title

**Irrigation
Reference
Plan and Notes**

Sheet Number

I 100

Sheet of

