

HISTORIC AND DESIGN REVIEW COMMISSION

June 17, 2015

Agenda Item No: 2

HDRC CASE NO: 2015-194
ADDRESS: 422 HAYS ST
LEGAL DESCRIPTION: NCB 537 BLK 22 LOT 5
ZONING: R6 H
CITY COUNCIL DIST.: 2
DISTRICT: Dignowity Hill Historic District
APPLICANT: Jim Bailey/Alamo Architects
OWNER: Juan Fernandez
TYPE OF WORK: Construct four two story units
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to construct four 1300 sq.ft. detached two story units on a vacant lot.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 4, Guidelines for New Construction

1. Building and Entrance Orientation

A. FAÇADE ORIENTATION

i. *Setbacks*—Align front facades of new buildings with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Use the median setback of buildings along the street frontage where a variety of setbacks exist. Refer to UDC Article 3, Division 2. Base Zoning Districts for applicable setback requirements.

ii. *Orientation*—Orient the front façade of new buildings to be consistent with the predominant orientation of historic buildings along the street frontage.

B. ENTRANCES

i. *Orientation*—Orient primary building entrances, porches, and landings to be consistent with those historically found along the street frontage. Typically, historic building entrances are oriented towards the primary street.

2. Building Massing and Form

A. SCALE AND MASS

i. *Similar height and scale*—Design new construction so that its height and overall scale are consistent with nearby historic buildings. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. In commercial districts, building height shall conform to the established pattern. If there is no more than a 50% variation in the scale of buildings on the adjacent block faces, then the height of the new building shall not exceed the tallest building on the adjacent block face by more than 10%.

ii. *Transitions*—Utilize step-downs in building height, wall-plane offsets, and other variations in building massing to provide a visual transition when the height of new construction exceeds that of adjacent historic buildings by more than one-half story.

iii. *Foundation and floor heights*—Align foundation and floor-to-floor heights (including porches and balconies) within one foot of floor-to-floor heights on adjacent historic structures.

B. ROOF FORM

i. *Similar roof forms*—Incorporate roof forms—pitch, overhangs, and orientation—that are consistent with those predominantly found on the block. Roof forms on residential building types are typically sloped, while roof forms on non-residential building types are more typically flat and screened by an ornamental parapet wall.

C. RELATIONSHIP OF SOLIDS TO VOIDS

i. *Window and door openings*—Incorporate window and door openings with a similar proportion of wall to window space as typical with nearby historic facades. Windows, doors, porches, entryways, dormers, bays, and pediments shall be considered similar if they are no larger than 25% in size and vary no more than 10% in height to width ratio from adjacent historic facades.

ii. *Façade configuration*— The primary façade of new commercial buildings should be in keeping with established patterns. Maintaining horizontal elements within adjacent cap, middle, and base precedents will establish a consistent street wall through the alignment of horizontal parts. Avoid blank walls, particularly on elevations visible from the street. No new façade should exceed 40 linear feet without being penetrated by windows, entryways, or other defined bays.

D. LOT COVERAGE

i. *Building to lot ratio*— New construction should be consistent with adjacent historic buildings in terms of the building to lot ratio. Limit the building footprint for new construction to no more than 50 percent of the total lot area, unless adjacent historic buildings establish a precedent with a greater building to lot ratio.

3. Materials and Textures

A. NEW MATERIALS

i. *Complementary materials*—Use materials that complement the type, color, and texture of materials traditionally found in the district. Materials should not be so dissimilar as to distract from the historic interpretation of the district. For example, corrugated metal siding would not be appropriate for a new structure in a district comprised of homes with wood siding.

ii. *Alternative use of traditional materials*—Consider using traditional materials, such as wood siding, in a new way to provide visual interest in new construction while still ensuring compatibility.

iii. *Roof materials*—Select roof materials that are similar in terms of form, color, and texture to traditionally used in the district.

iv. *Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alterations and Maintenance section for additional specifications regarding metal roofs.

v. *Imitation or synthetic materials*—Do not use vinyl siding, plastic, or corrugated metal sheeting. Contemporary materials not traditionally used in the district, such as brick or simulated stone veneer and Hardie Board or other fiberboard siding, may be appropriate for new construction in some locations as long as new materials are visually similar to the traditional material in dimension, finish, and texture. EIFS is not recommended as a substitute for actual stucco.

B. REUSE OF HISTORIC MATERIALS

Salvaged materials—Incorporate salvaged historic materials where possible within the context of the overall design of the new structure.

4. Architectural Details

A. GENERAL

i. *Historic context*—Design new buildings to reflect their time while respecting the historic context. While new construction should not attempt to mirror or replicate historic features, new structures should not be so dissimilar as to distract from or diminish the historic interpretation of the district.

ii. *Architectural details*—Incorporate architectural details that are in keeping with the predominant architectural style along the block face or within the district when one exists. Details should be simple in design and should complement, but not visually compete with, the character of the adjacent historic structures or other historic structures within the district. Architectural details that are more ornate or elaborate than those found within the district are inappropriate.

iii. *Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for new construction. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the structure is new. Modern materials should be implemented in a way that does not distract from the historic structure.

6. Mechanical Equipment and Roof Appurtenances

A. LOCATION AND SITING

i. *Visibility*—Do not locate utility boxes, air conditioners, rooftop mechanical equipment, skylights, satellite dishes, and other roof appurtenances on primary facades, front-facing roof slopes, in front yards, or in other locations that are clearly visible from the public right-of-way.

B. SCREENING

ii. *Freestanding equipment*—Screen service areas, air conditioning units, and other mechanical equipment from public view using a fence, hedge, or other enclosure.

2. Fences and Walls

C. PRIVACY FENCES AND WALLS

i. *Relationship to front facade*—Set privacy fences back from the front façade of the building, rather than aligning them with the front façade of the structure to reduce their visual prominence.

3. Landscape Design

A. PLANTINGS

i. *Historic Gardens*— Maintain front yard gardens when appropriate within a specific historic district.

B. ROCKS OR HARDSCAPE

iii. *Rock mulch and gravel* - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

5. Sidewalks, Walkways, Driveways, and Curbing

B. DRIVEWAYS

i. *Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.

FINDINGS:

- a. The project was reviewed by the Design Review Committee on May 12, 2015; at that time the Committee noted concern regarding square windows on primary façade and recommended adding a walkway to connect the private entrances with the public sidewalk.
- b. The project was heard by the HDRC on May 20, 2015, at that time the project received conceptual approval with the following stipulations: clear definition of entrances for units b-c is incorporated, fenestration pattern is revised to be consistent with historic facades, the scale of columns at unit a is revised, information on height and location of proposed fences is submitted, landscaping information around units b-d is submitted for review, and driveways are pervious and no wider than 10ft.
- c. The project was reviewed by the DRC on June 9, 2015. At that time, the Committee expressed concern regarding the use of square windows and recommended a more rectangular type of window is used to be consistent with the guidelines. The applicant submitted a revised drawing showing rectangular windows on unit A on June 10, 2015.
- d. Consistent with the Guidelines for New Construction, front facades of new buildings should align with adjacent buildings where a consistent setback has been established. The proposed townhomes follow the setback pattern along Hays Street and are consistent with the guidelines.
- e. According to the Guidelines for New Construction, the front façade of new buildings should be consistent with the predominant orientation of historic buildings along the street frontage. As presented, the unit closer to the street faces Hays Street while the units set behind face the sides of the lot. The proposed layout will maintain the continuity along Hays Street and is consistent with the guidelines. In addition, incorporation of a pathway and canopies over the main entrances provides a clear definition of entrances for units b and c.
- f. As recommended by the Guidelines for New Construction, new buildings should be consistent with historic buildings in terms of building to lot ratio. New construction should be limited to no more than 50% of the total lot area, unless adjacent historic buildings establish a precedent with a greater building to lot ratio. Although the project will have a higher density than adjacent properties, the building to lot ratio is still below 50%.
- g. According to the Guidelines for New Construction, materials that complement the type, color and texture of materials traditionally found in the district should be used. The majority of houses within the Dignowity Hill Historic District are clad in wood siding. The proposed cement board siding may be appropriate if proper dimension, finish and texture is used, however wood siding would be more appropriate.
- h. Window and door openings with a similar proportion of wall to window space as nearby historic facades should be incorporated. Windows and doors should be considered similar if they are no larger than 25% in size and vary no more than 10% in height to width ratio from adjacent historic facades as recommended by the Guidelines for New Construction. The proposed revised rectangular windows are consistent with the guidelines.
- i. Consistent with the Guidelines for Site Elements, privacy fences should be set back behind the main The proposed 6ft tall privacy fence is set back and will not impact the continuity of the street.

- j. As recommended by the Guidelines for Site Elements, front yard gardens should be maintained. In addition, if crushed stone is used, plantings should be incorporated into the design and large non-planted areas should be avoided. The proposed landscaping design is consistent with the guidelines.
- k. According to the Guidelines for Site Elements, driveway configurations should match those historically found in materials, width, and design. In addition, historic driveways are typically no wider than 10 feet. The majority of houses on this block of Hays Street do not have driveway access. Although the few driveways existing on this block are constructed of pervious materials, the proposed ribbon driveway matches other driveways within the historic district and its introduction will not interrupt the historic pattern on the street.

RECOMMENDATION:

Staff recommends approval as submitted based on findings a-k.

CASE MANAGER:

Adriana Ziga

422 Hays Infill

Project Narrative

This project contemplates four new 1300 square foot single-family houses on the IDZ-zoned lot at 422 Hays. All four are two-story and clad with painted siding and panel and have standing-seam metal roofs. The front house with its large front porch is set back from the street in alignment with the houses immediately adjacent on both sides. This plan is the result of several meetings between the developer and the Dignowity Hill Neighborhood Association wherein compromises were reached to the satisfaction of all. Since garnering Conceptual Approval in a previous submission, the following items have been changed as a response to comments by staff and Commissioners:

1. A planting plan has been added, calling out specific plant material by location per Commissioner Laffoon
2. More turf has been added to rear of site to reduce non-organic coverage per Commissioner Laffoon
3. More plant material has been added to the center of the site between driveways per Commissioner Laffoon's comment.
4. 10' radii have been added to driveways to facilitate use and reduce rollover into decomposed granite areas per Commissioners Connor and Guarino's concerns
5. Pervious strips have been added to main driveway where practical per staff and Commission suggestion.
6. Columns at front house have been reduced to 8" square to comply with staff stipulation and Commissioner Connor's request.
7. Fencing type and height clearly delineated on site plan per staff request.

DATE: May 18, 2015

TO: Adriana Ziga, Planner
Office of Historic Preservation
City of San Antonio
adriana.ziga@sanantonio.gov

RE: HDRC Agenda; May 20, 2015, Item #17; Case No. 2015-194; 422 Hays

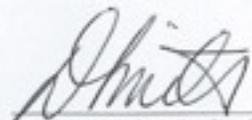
Dear Ms. Ziga,

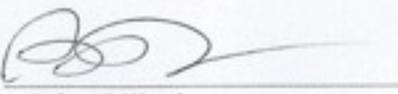
The purpose of this letter is to express the general support by the Dignowity Hill Neighborhood Association (DHNA) for the applicant's proposed project cited above. In addition, we support your department's findings as presented in the casework.

As always, during the site design and architectural design processes, DHNA requests that OHP's special attention be paid to all properties in the Historic District to ensure that all proposed infill projects maintain the character of the historic district and reflect the intentions of the OHP Historic Design Guidelines.

Please do not hesitate to contact us with questions regarding the above.

Sincerely,


By: Donald Smith
Title: President
Dignowity Hill Neighborhood Association
donaldsmith@sbcglobal.net


By: Brian Dillard
Title: Vice President
Dignowity Hill Neighborhood Association
briandillard@gmail.com

Cc: Jim Baily, Alamo Architects
Juan Fernandez, CVF Homes
Victor Andonie, MSG Management



HAYS STREET PERSPECTIVE

422 HAYS STREET

DIGNOWITY HILL HISTORIC DISTRICT, SAN ANTONIO, TEXAS

MAY 29, 2015



CONCRETE PAVERS



CREeping FIG ON WALLS

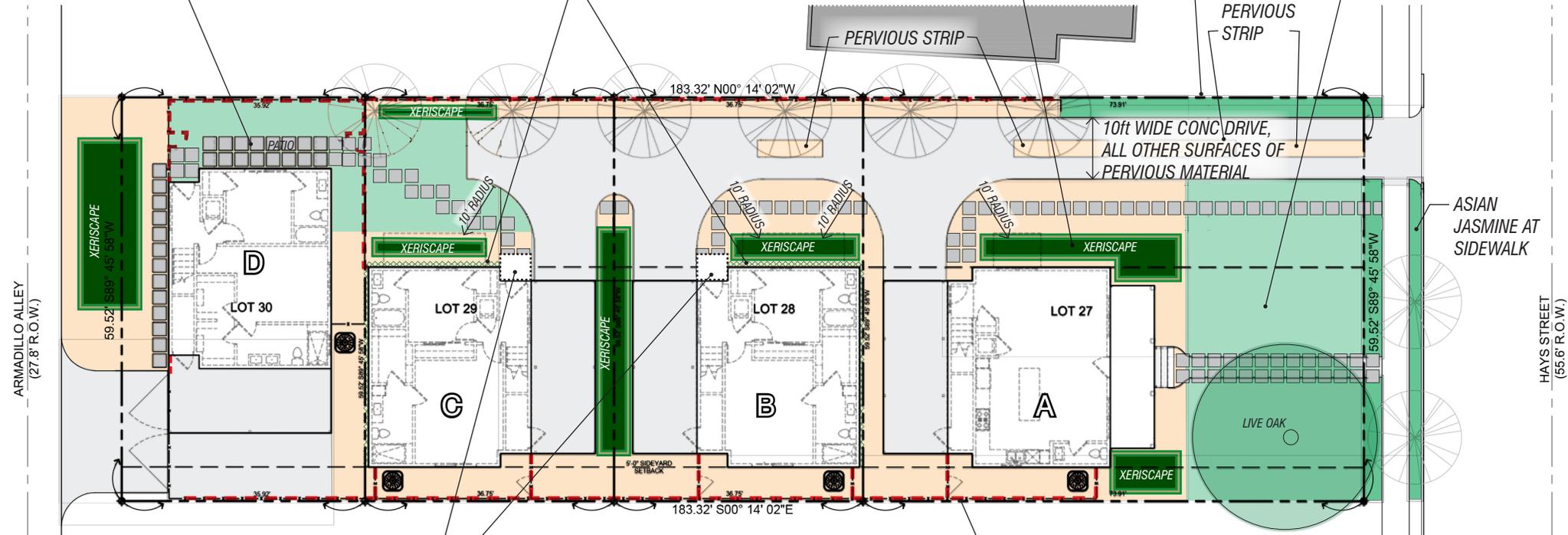


XERISCAPE PLANTING EXAMPLE

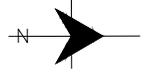
CAROLINA JASMINE ON EXISTING CHAINLINK FENCES



ZOYSIA TURF GRASS

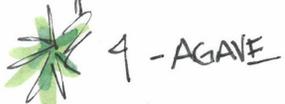
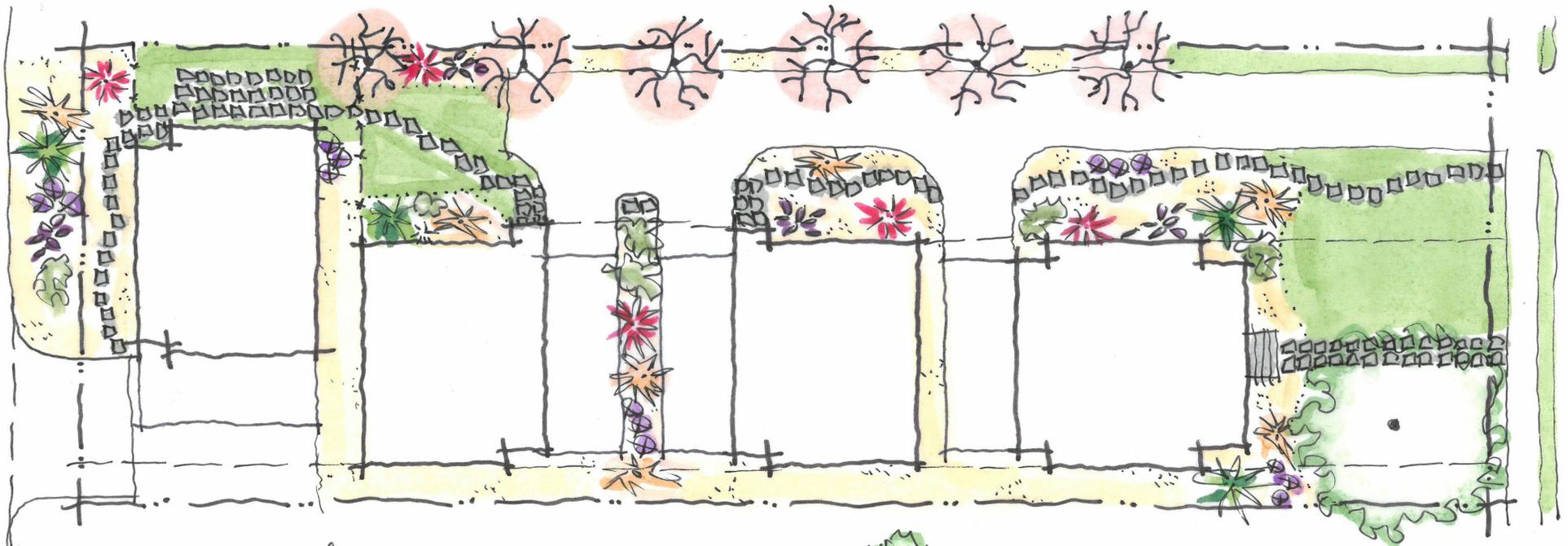


ENTRY CANOPIES TO BE EXTENDED TO 36" PER AGREEMENT WITH DIGNOWITY HILL NEIGHBORHOOD ASSOCIATION



SITE PLAN
422 HAYS STREET
 DIGNOWITY HILL HISTORIC DISTRICT, SAN ANTONIO, TEXAS
 MAY 29, 2015





4 - AGAVE



6 - CREEPING ROSEMARY



1 - LIVE OAK



5 - RED YUCCA



15 - PURPLE SALVIA



7 - MEXICAN PRIMROSE



1 - OPUNTIA



6 - DESERT WILLOW



3 ZAYSIA TURF

C

PLANTING PLAN

422 HAYS STREET

DIGNOWITY HILL HISTORIC DISTRICT, SAN ANTONIO, TEXAS

MAY 29, 2015



PLANTING AERIAL

422 HAYS STREET

DIGNOWITY HILL HISTORIC DISTRICT, SAN ANTONIO, TEXAS

MAY 29, 2015



Rosmarinus officinalis 'Creeping Rosemary'



Salvia dorri 'Salvia Purple Chacedony'



Front Fence "Garden Loop Top"



Concrete Pavers



Opuntia santa-rita, 'Purple Prickly Pear'



Chilopsis linearis 'Desert Willow Budda'



Zoysia



Ficus pumila 'Creeping Fig'



Agave Americana Variegated



Quercus virginiana 'Southern Live Oak'



Oenothera 'Mexican Primrose'



Hesperaloe 'Red Yucca'

PLANT MATERIAL

422 HAYS STREET

DIGNOWITY HILL HISTORIC DISTRICT, SAN ANTONIO, TEXAS

MAY 29, 2015

422 HAYS STREET

PLANT SCHEDULE

&

Pricing

- 1 – *Quercus virginiana* ‘Southern Live Oak’ 5.5 gal. \$19.99ea
- 4 – Agave Americana Variegated ‘Variegated Agave’ 1.0 gal. \$11.00ea
- 7 – *Oenothera berlandieri* ‘Mexican Evening Primrose’ - Pink Blooms 2.5 gal. \$5.48ea
- 15 – *Salvia dorri* ‘Salvia Purple Chacedony’ - Purple Blooms 2.5 qt. \$5.99ea
- 4 – *Opuntia santarita* ‘Santa Rita Prickly Pear’ - Yellow Blooms 2.8qt \$39.98ea
- 6 – *Rosmarinus officinalis* ‘Prostratus’ ‘Creeping Rosemary’ 2.5qt \$10.49ea
- 5 – *Hesperaloe parviflora* ‘Red Yucca’ - Red Blooms 3.0qt \$13.99ea / 3.5qt \$42.00ea
- 6 - *Chilopsis linearis* ‘Desert Willow Budda’ – Pink / Purple Blooms 3.75qt \$22.99ea

\$650.35 TTL Planting Material

\$840.00 TTL Sod (+/- 1790 SQF Zoysia ‘Palisades’ or similar – 4 pallets @ \$210.00ea)

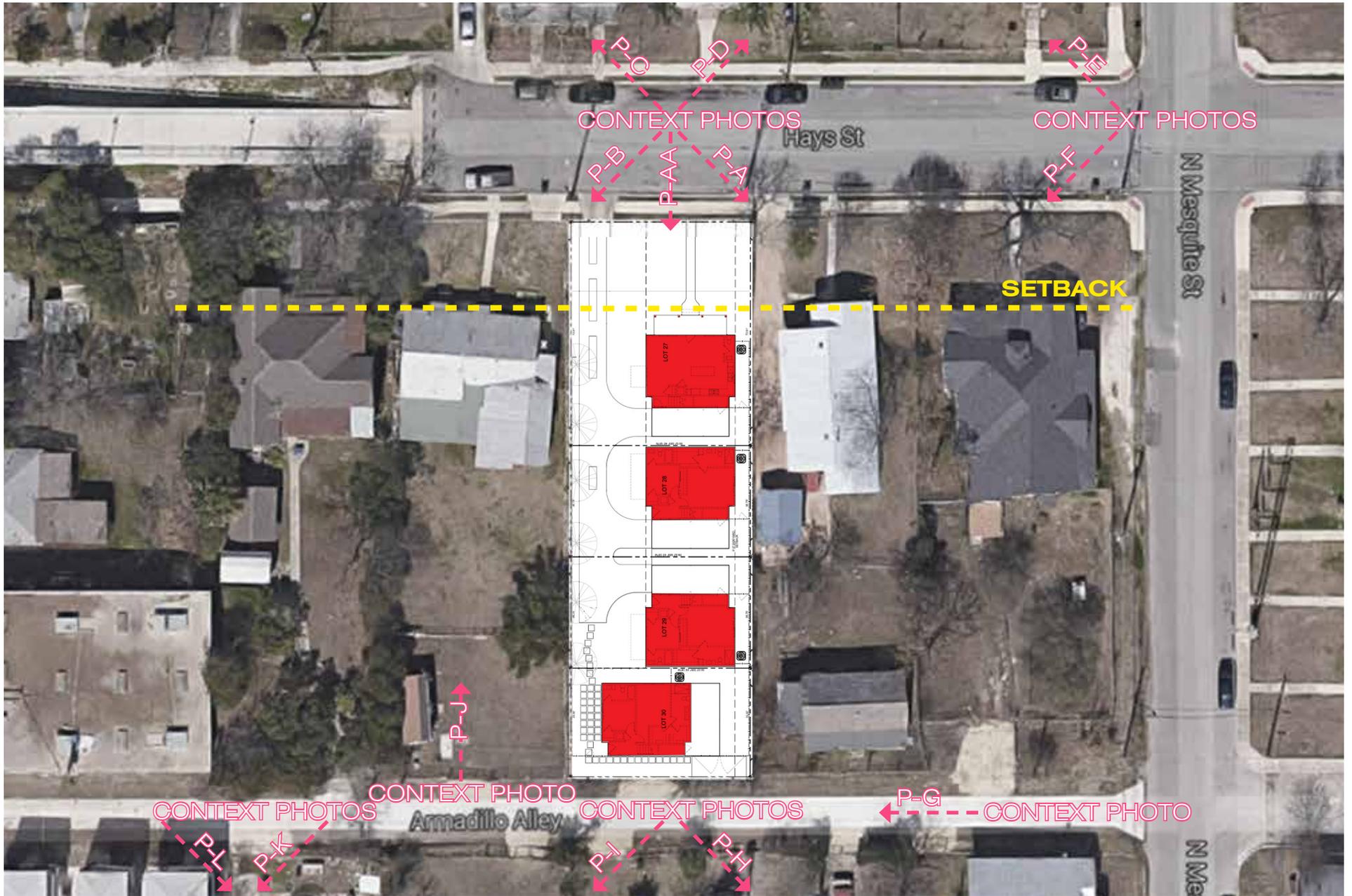
\$1490.35 TTL Plants and Sod

PLANT SCHEDULE

422 HAYS STREET

DIGNOWITY HILL HISTORIC DISTRICT, SAN ANTONIO, TEXAS

MAY 29, 2015



SITE CONTEXT

SEE CONTEXT PHOTOS ON THE CONSECUTIVE PAGES

422 HAYS STREET

DIGNOWITY HILL HISTORIC DISTRICT, SAN ANTONIO, TEXAS

MAY 29, 2015



P-AA
CONTEXT PHOTOS - EXISTING SITE

422 HAYS STREET
DIGNOWITY HILL HISTORIC DISTRICT, SAN ANTONIO, TEXAS
MAY 29, 2015





P-A



P-B



P-C



P-D



P-E



P-F

CONTEXT PHOTOS

422 HAYS STREET

DIGNOWITY HILL HISTORIC DISTRICT, SAN ANTONIO, TEXAS

MAY 29, 2015



P-G

P-H



P-I

P-J



P-K

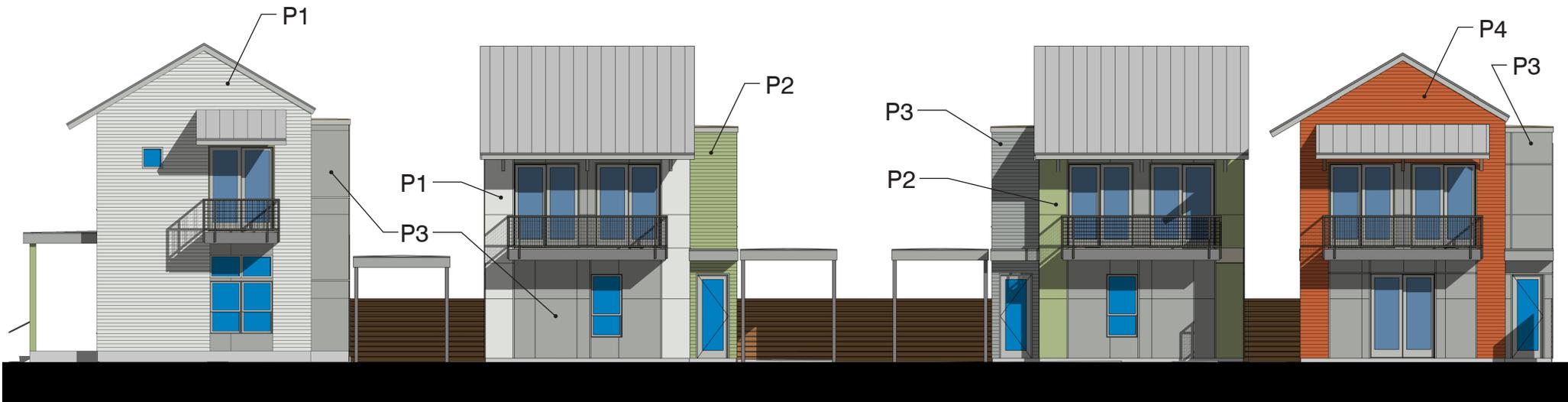
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CONTEXT PHOTOS

422 HAYS STREET

DIGNOWITY HILL HISTORIC DISTRICT, SAN ANTONIO, TEXAS

MAY 29, 2015

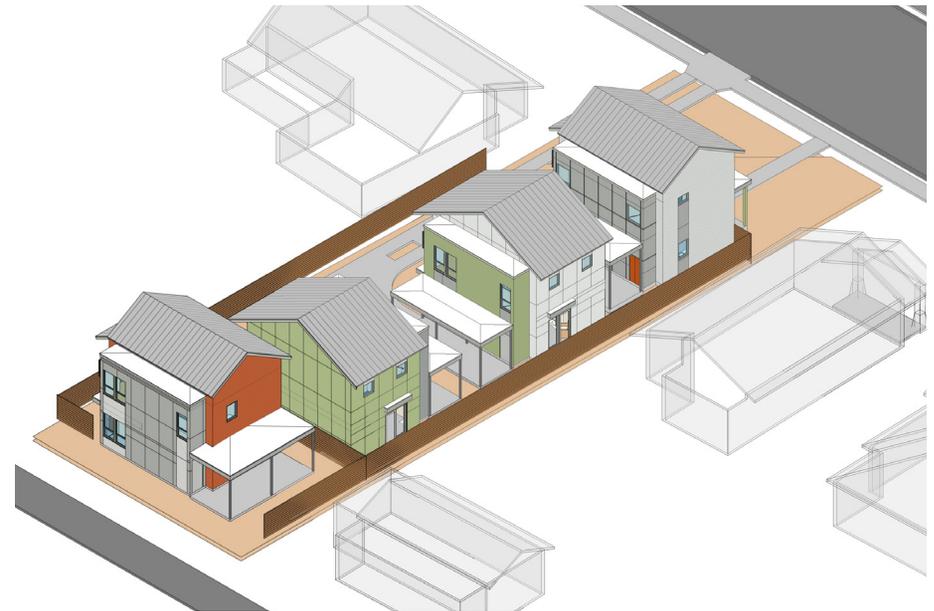


ELEVATION ALONG DRIVEWAY

422 HAYS STREET

DIGNOWITY HILL HISTORIC DISTRICT, SAN ANTONIO, TEXAS

MAY 29, 2015

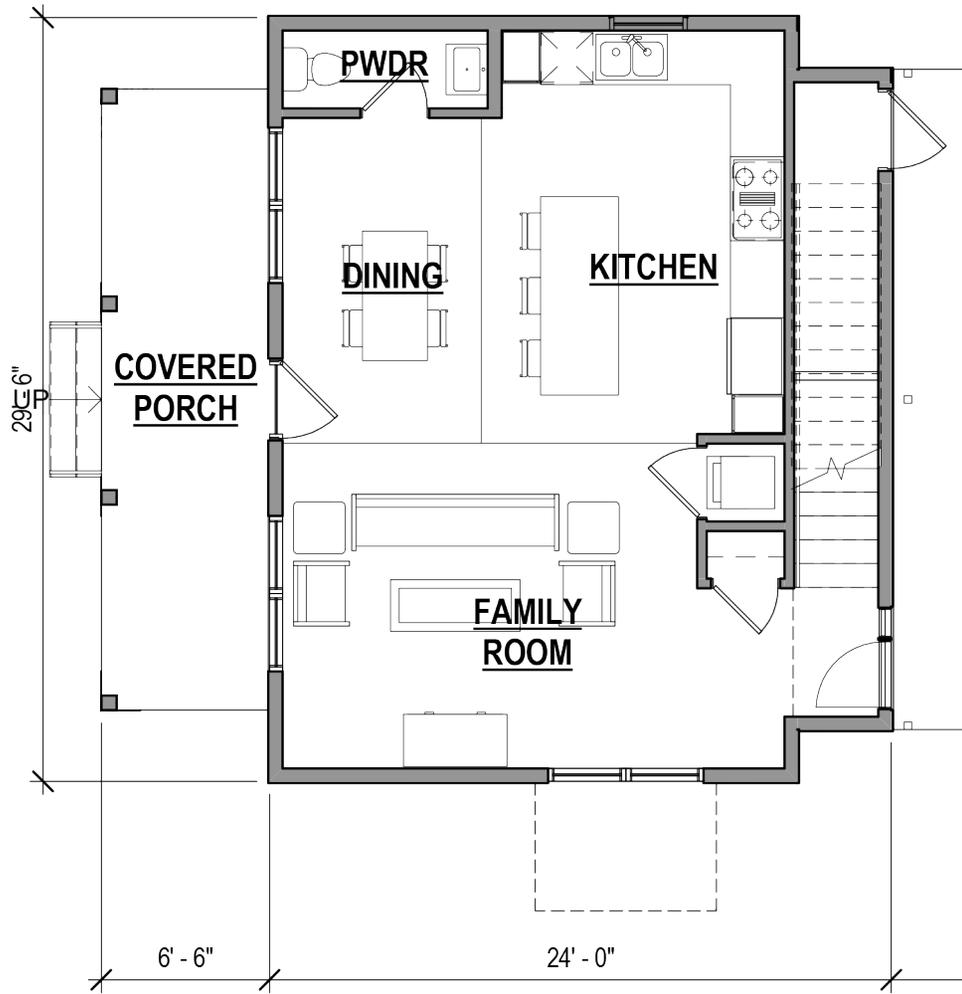


AERIAL VIEWS

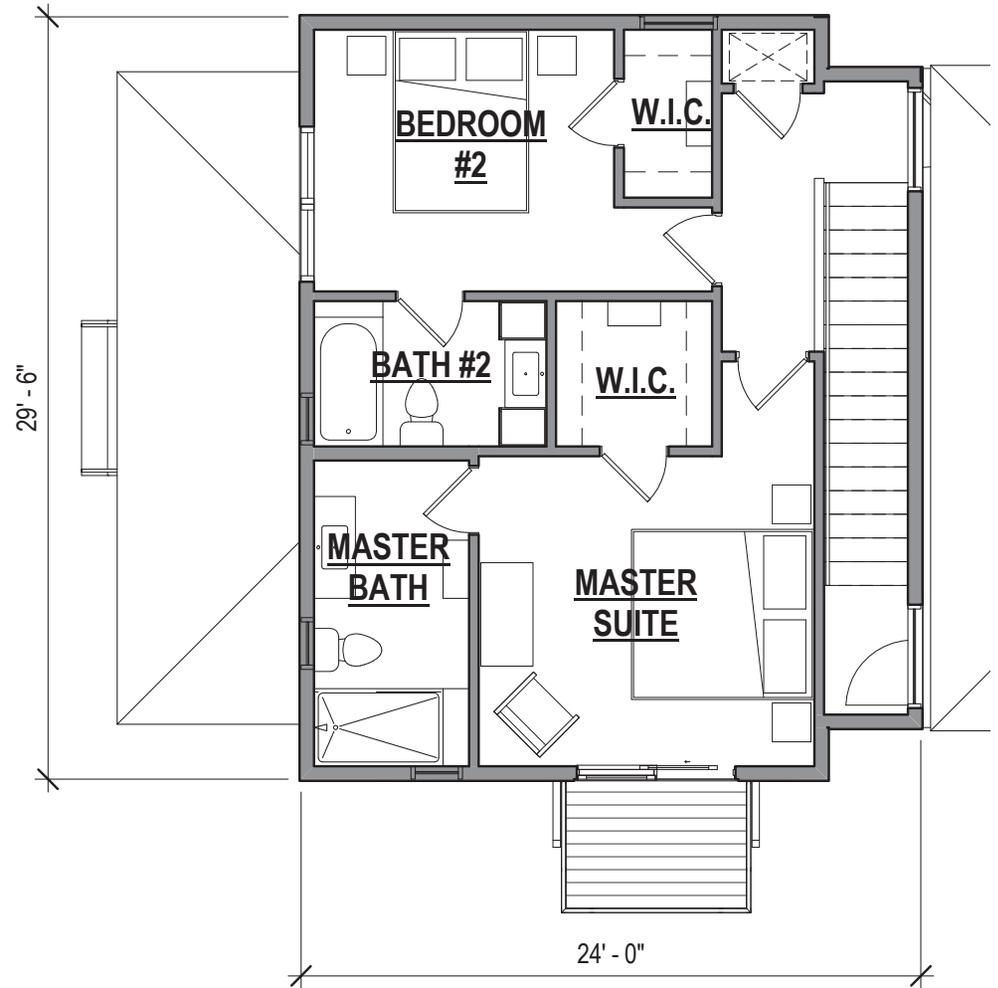
422 HAYS STREET

DIGNOWITY HILL HISTORIC DISTRICT, SAN ANTONIO, TEXAS

MAY 29, 2015



GROUND FLOOR



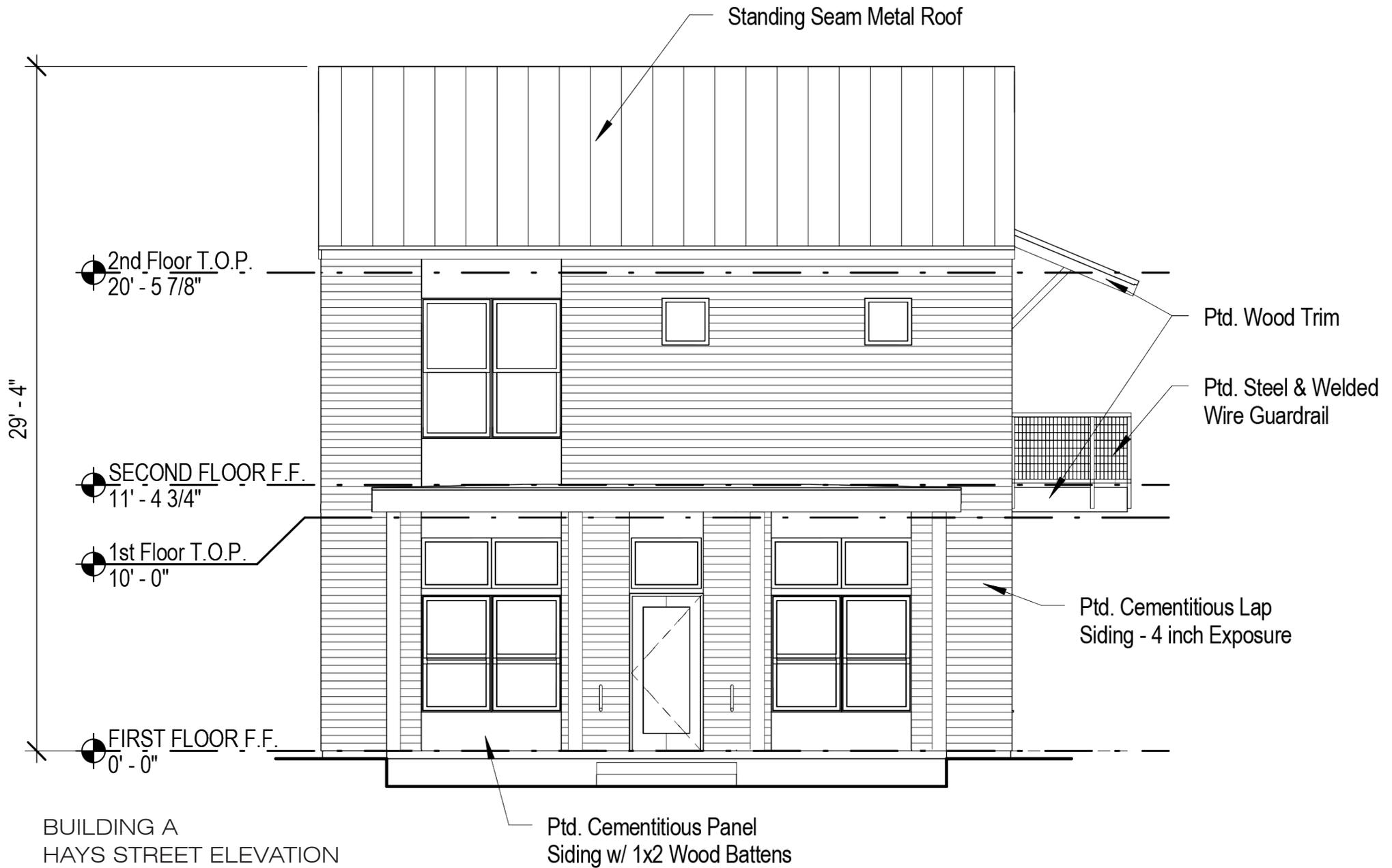
SECOND FLOOR

BUILDING A
FLOOR PLANS

422 HAYS STREET

DIGNOWITY HILL HISTORIC DISTRICT, SAN ANTONIO, TEXAS

MAY 29, 2015

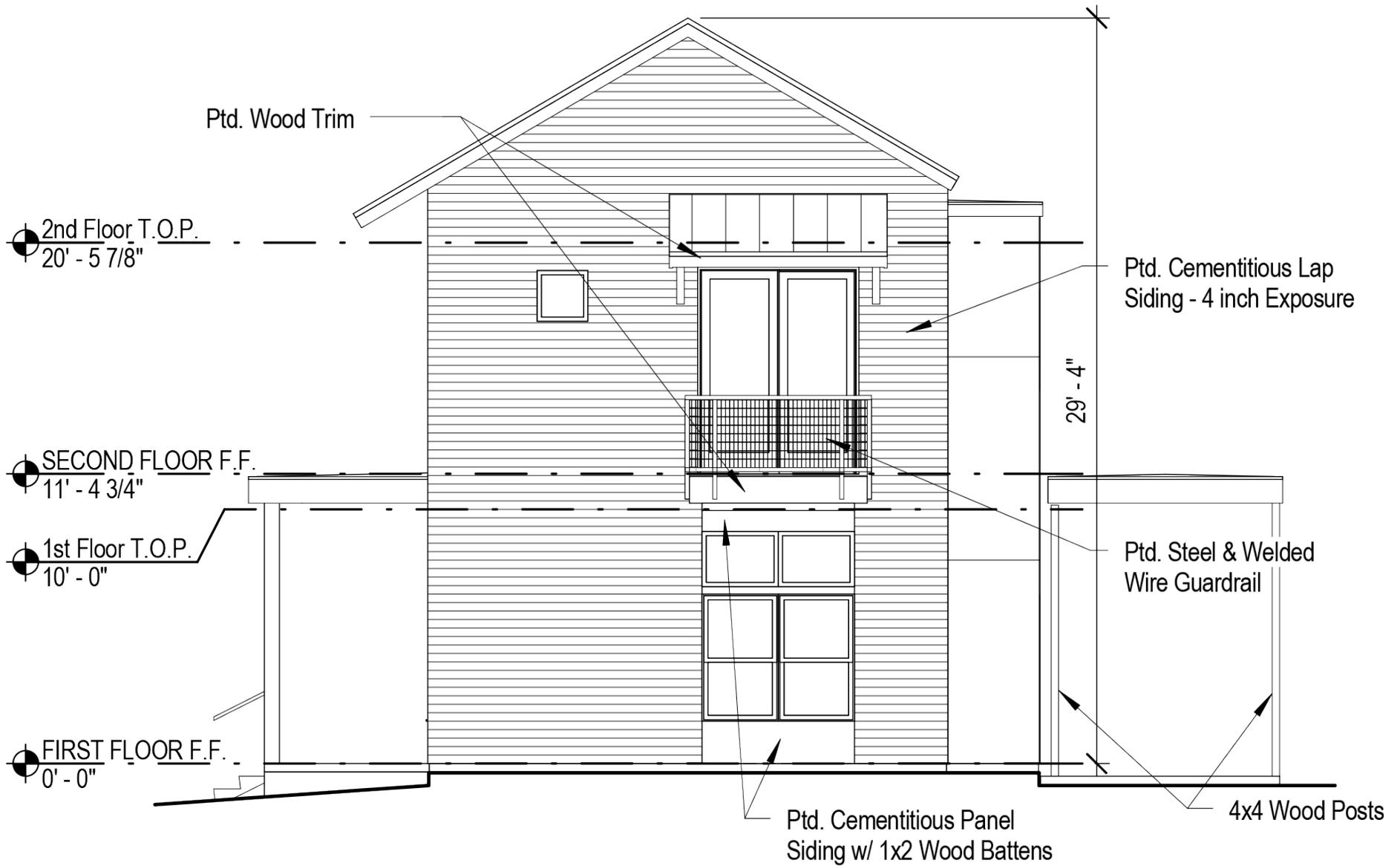


BUILDING A
HAYS STREET ELEVATION

422 HAYS STREET

DIGNOWITY HILL HISTORIC DISTRICT, SAN ANTONIO, TEXAS

MAY 29, 2015

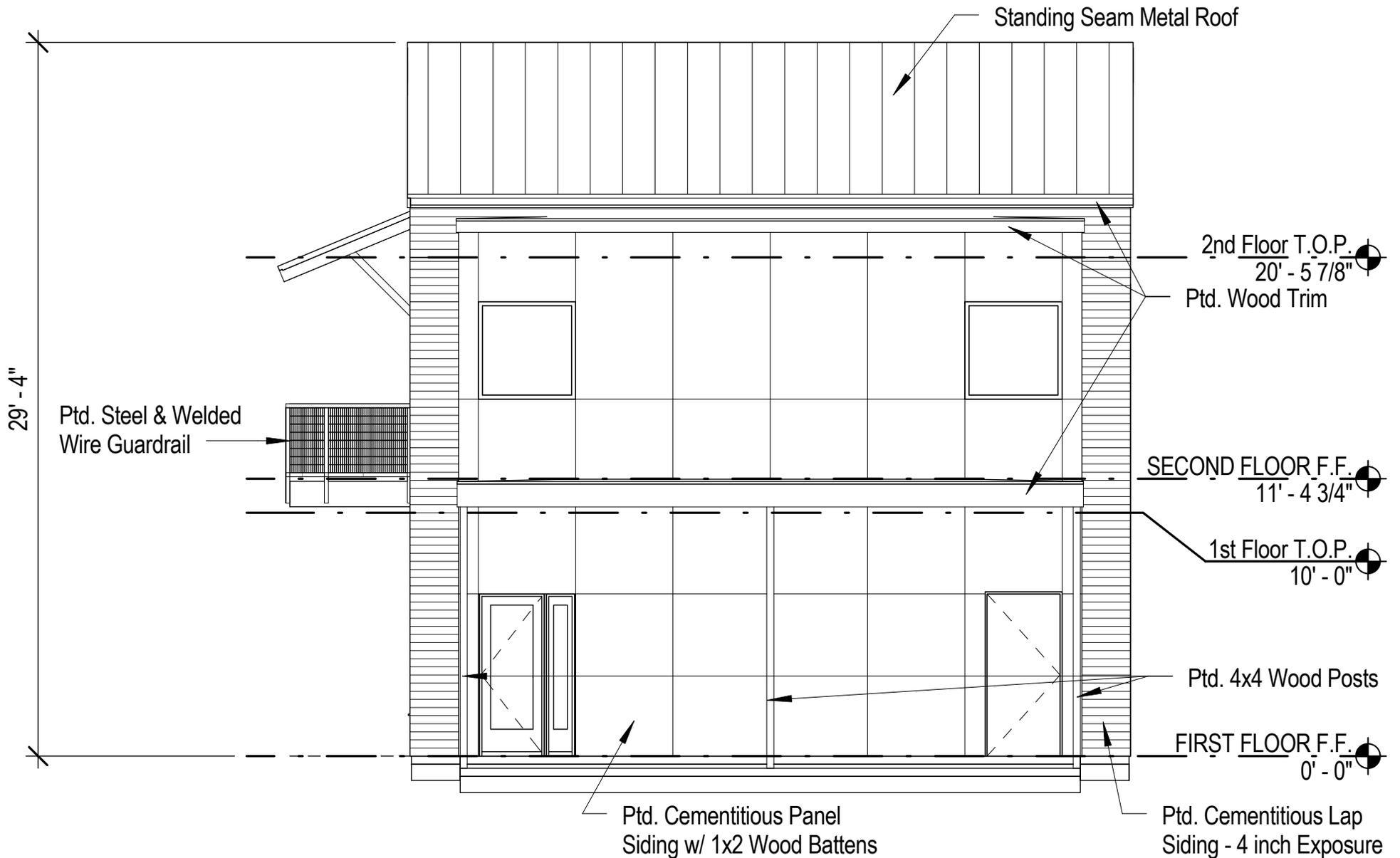


BUILDING A
SIDE ELEVATION FACING DRIVEWAY

422 HAYS STREET

DIGNOWITY HILL HISTORIC DISTRICT, SAN ANTONIO, TEXAS

MAY 29, 2015

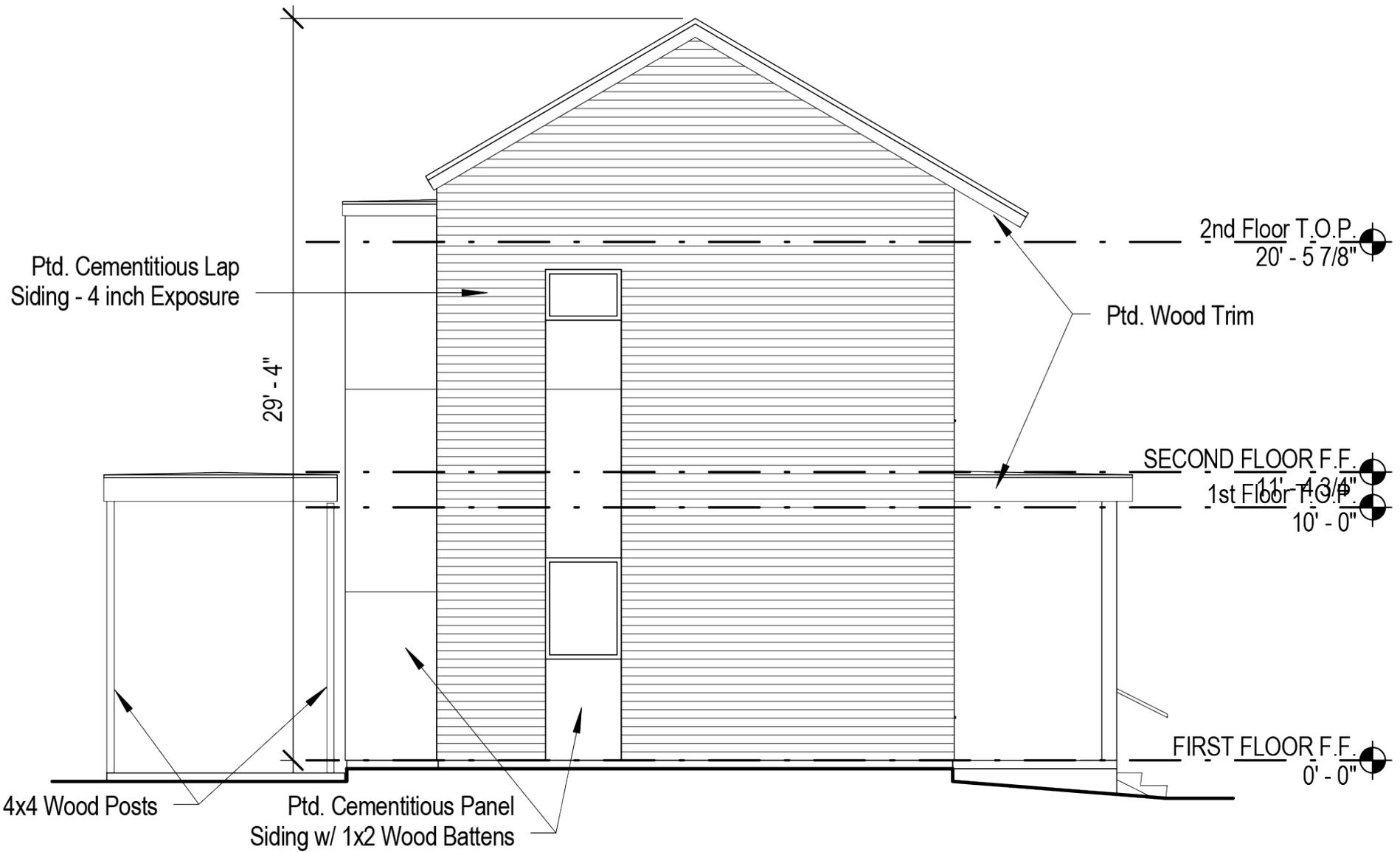


BUILDING A
 REAR ELEVATION FACING CARPORT

422 HAYS STREET

DIGNOWITY HILL HISTORIC DISTRICT, SAN ANTONIO, TEXAS

MAY 29, 2015

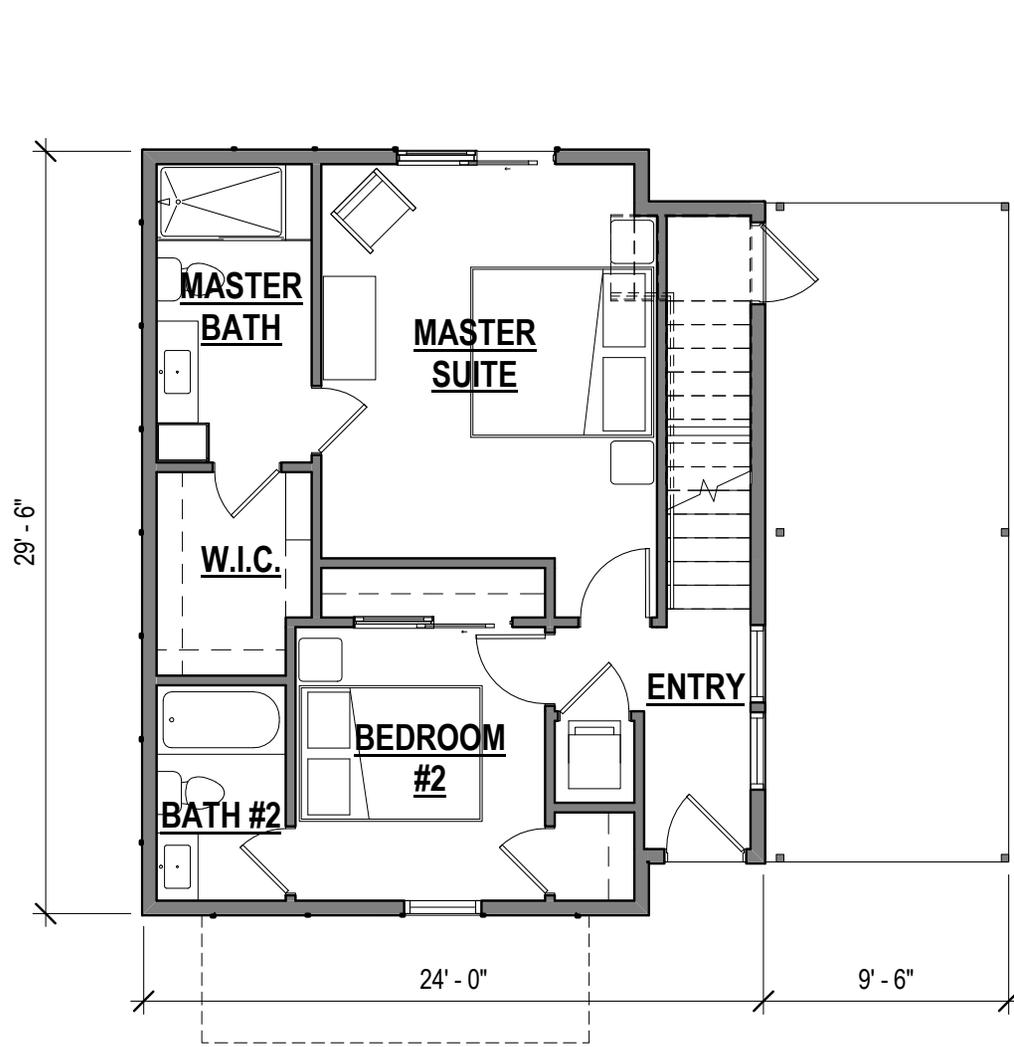


BUILDING A
SIDE ELEVATION FACING FENCE

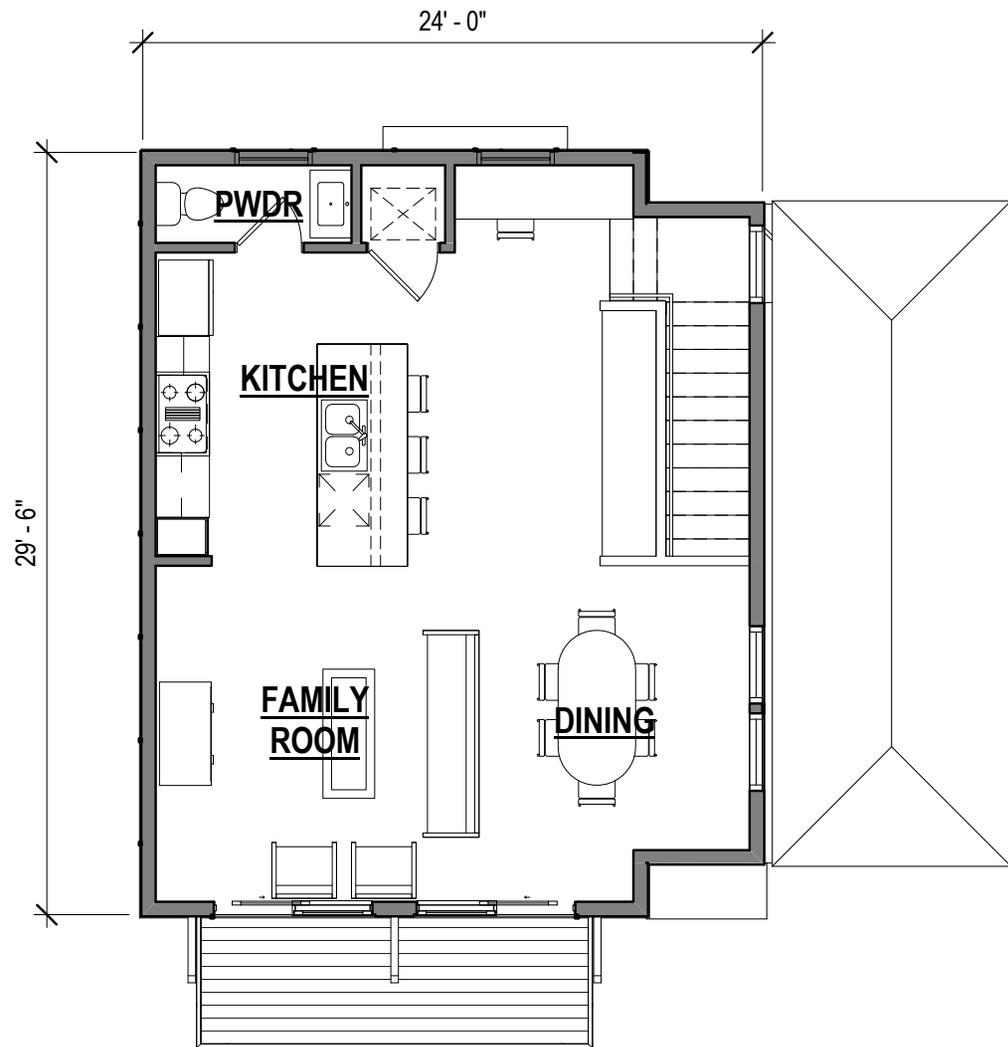
422 HAYS STREET

DIGNOWITY HILL HISTORIC DISTRICT, SAN ANTONIO, TEXAS

MAY 29, 2015



GROUND FLOOR



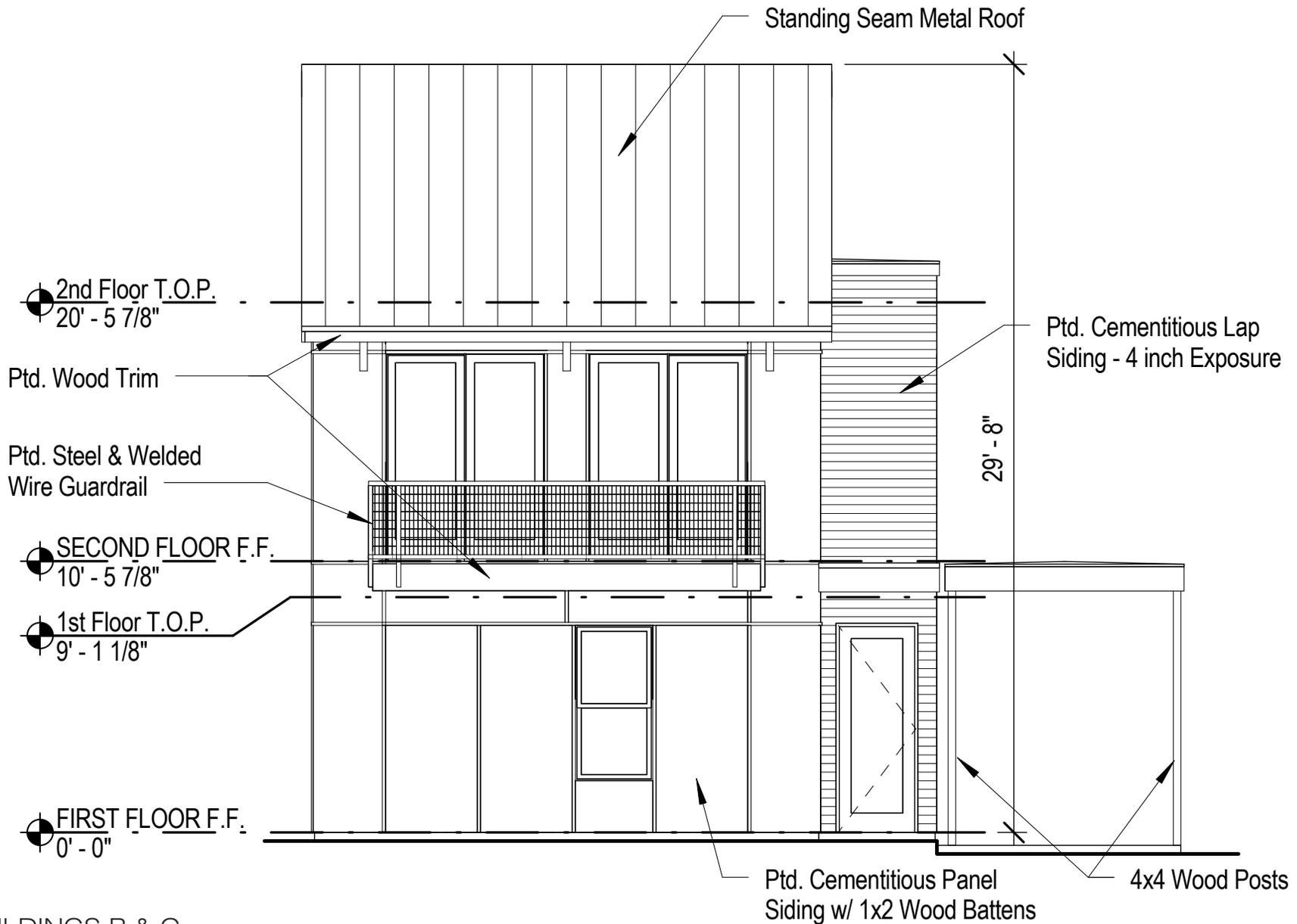
SECOND FLOOR

BUILDINGS B & C
FLOOR PLANS

422 HAYS STREET

DIGNOWITY HILL HISTORIC DISTRICT, SAN ANTONIO, TEXAS

MAY 29, 2015

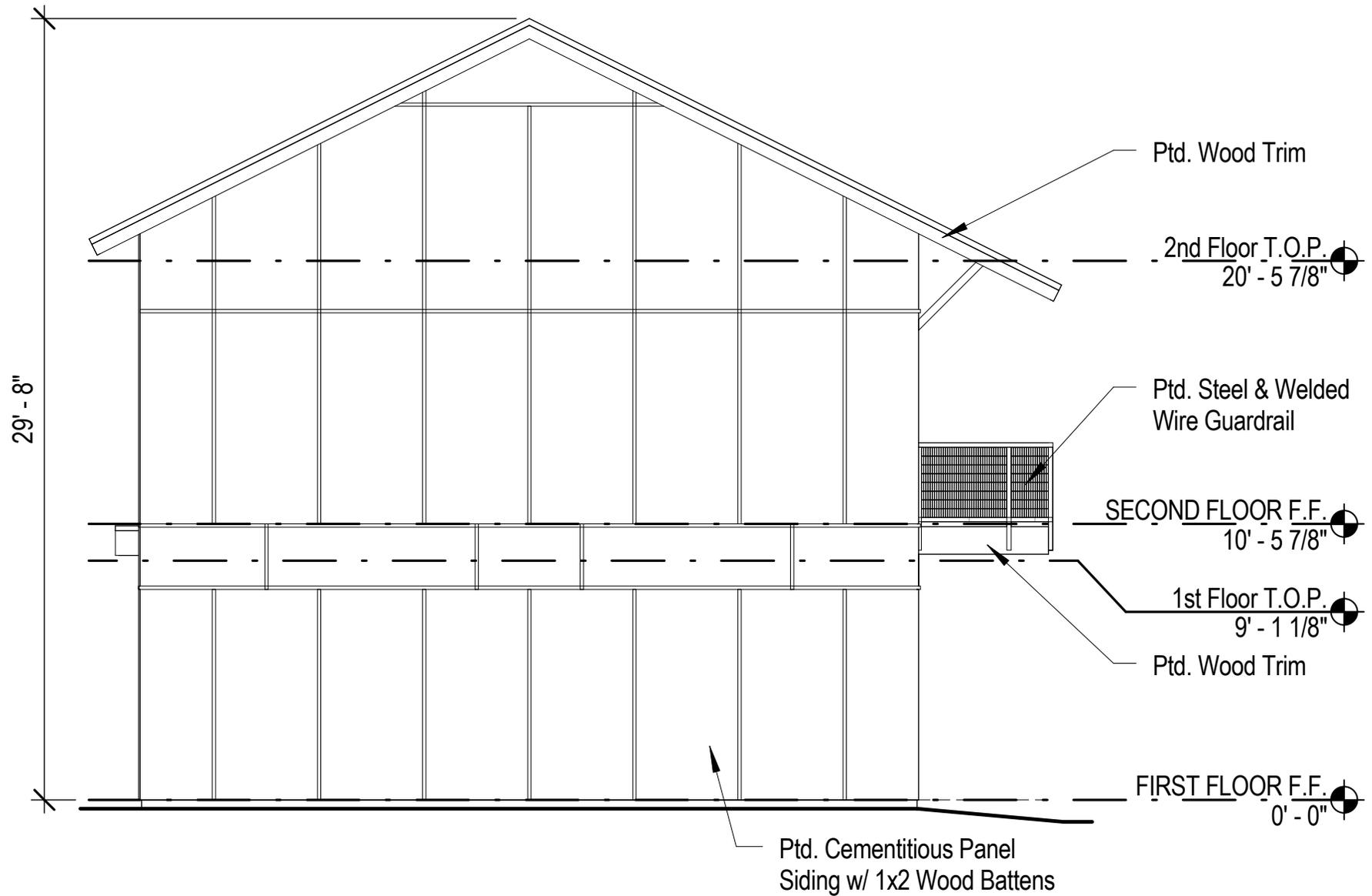


BUILDINGS B & C
FRONT ELEVATION FACING DRIVEWAY

422 HAYS STREET

DIGNOWITY HILL HISTORIC DISTRICT, SAN ANTONIO, TEXAS

MAY 29, 2015

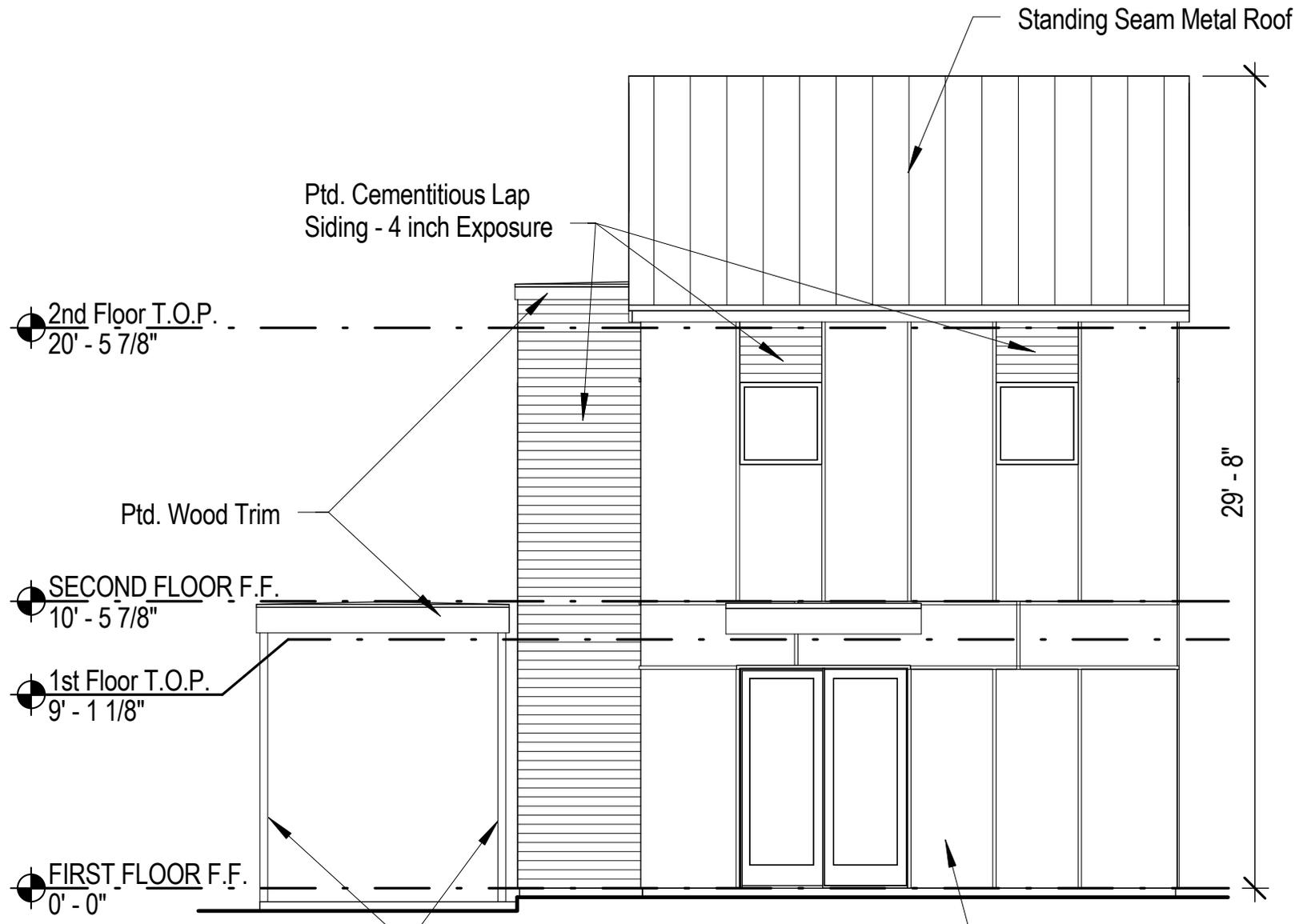


BUILDINGS B & C
SIDE ELEVATION BETWEEN HOMES

422 HAYS STREET

DIGNOWITY HILL HISTORIC DISTRICT, SAN ANTONIO, TEXAS

MAY 29, 2015

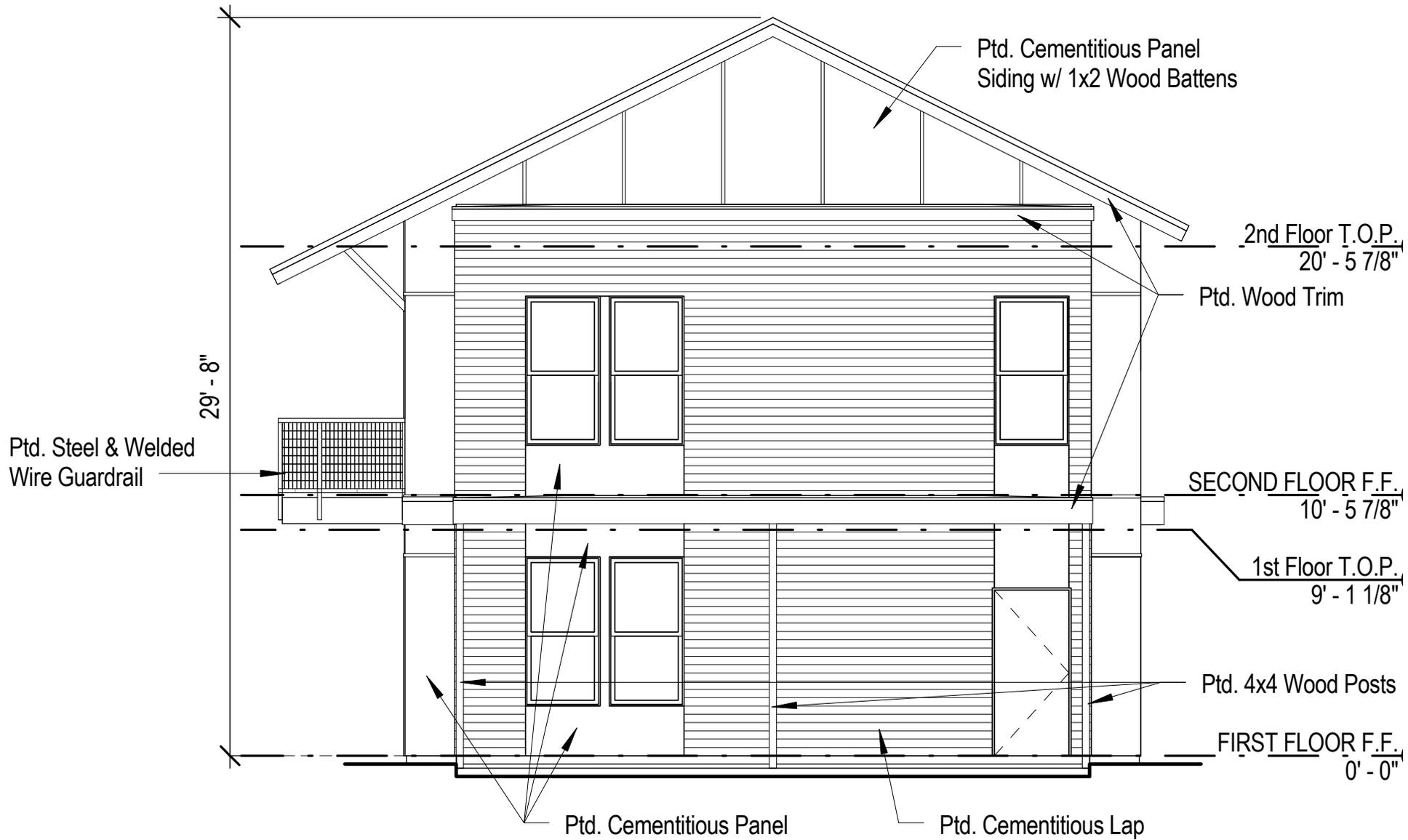


BUILDINGS B & C
 REAR ELEVATION FACING FENCE

422 HAYS STREET

DIGNOWITY HILL HISTORIC DISTRICT, SAN ANTONIO, TEXAS

MAY 29, 2015

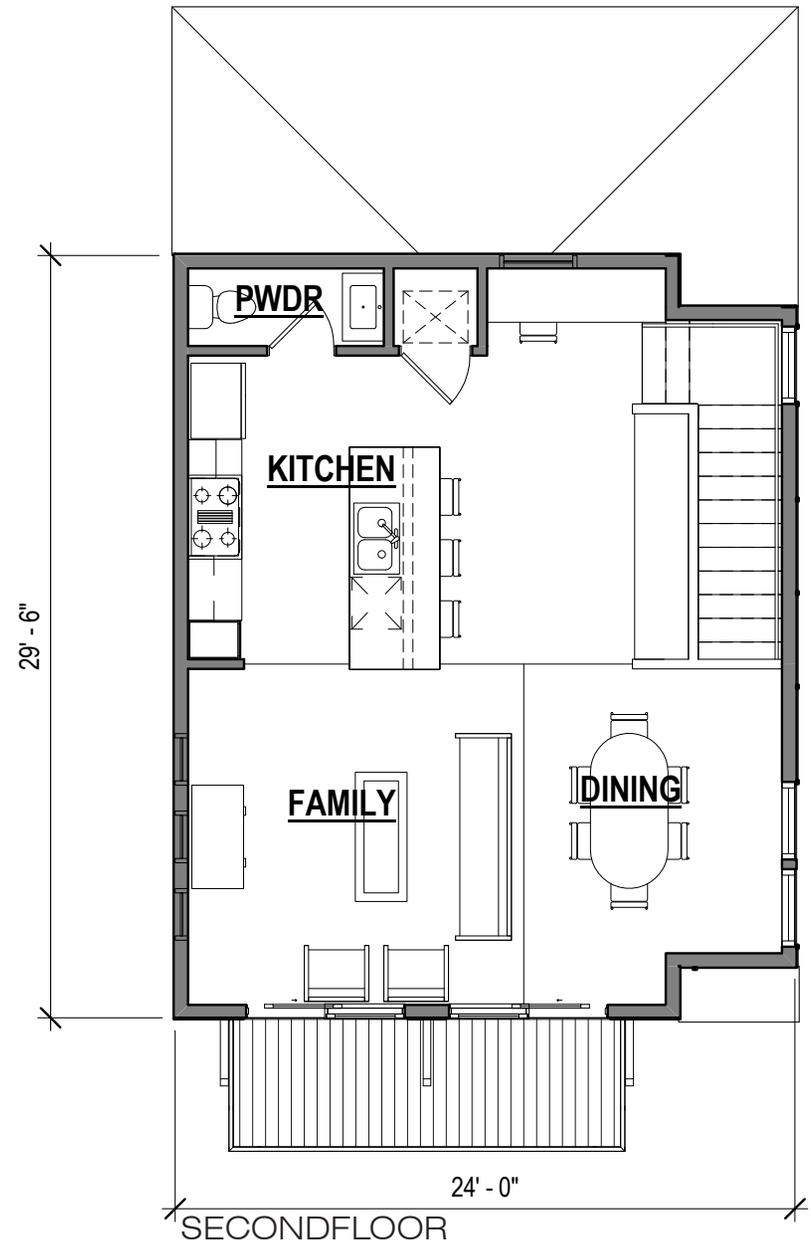
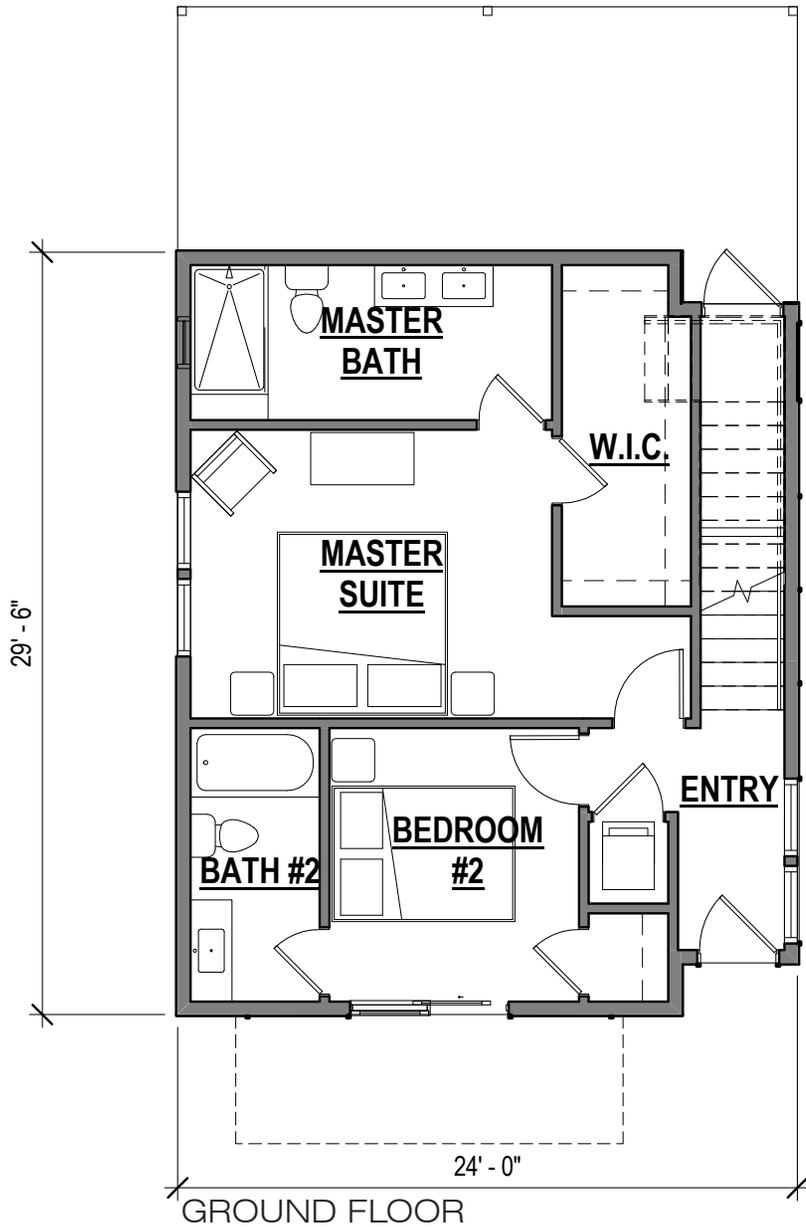


BUILDINGS B & C
 SIDE ELEVATION FACING CARPORT

422 HAYS STREET

DIGNOWITY HILL HISTORIC DISTRICT, SAN ANTONIO, TEXAS

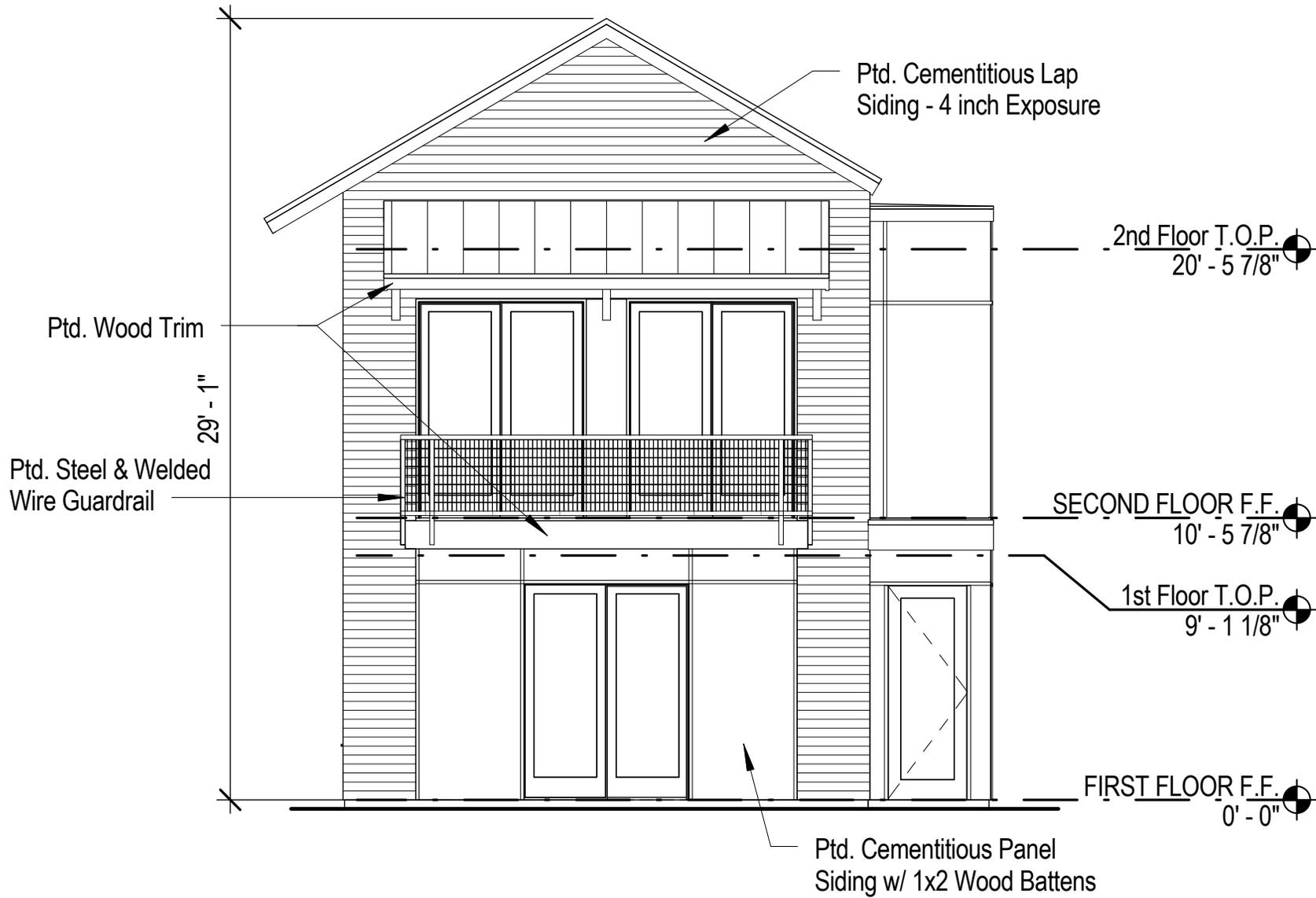
MAY 29, 2015



BUILDING D
FLOOR PLANS

422 HAYS STREET

DIGNOWITY HILL HISTORIC DISTRICT, SAN ANTONIO, TEXAS
MAY 29, 2015

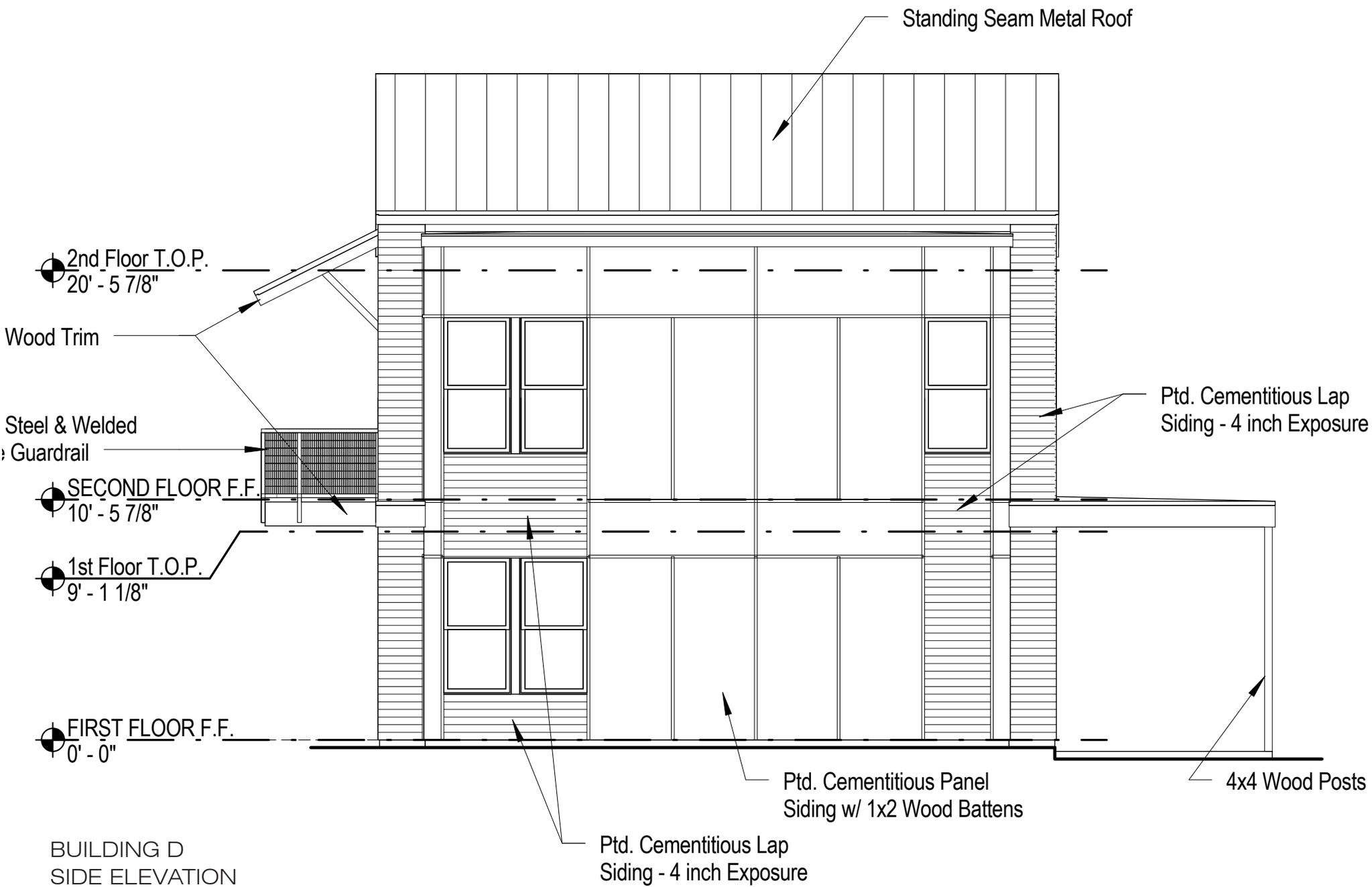


BUILDING D
ELEVATION

422 HAYS STREET

DIGNOWITY HILL HISTORIC DISTRICT, SAN ANTONIO, TEXAS

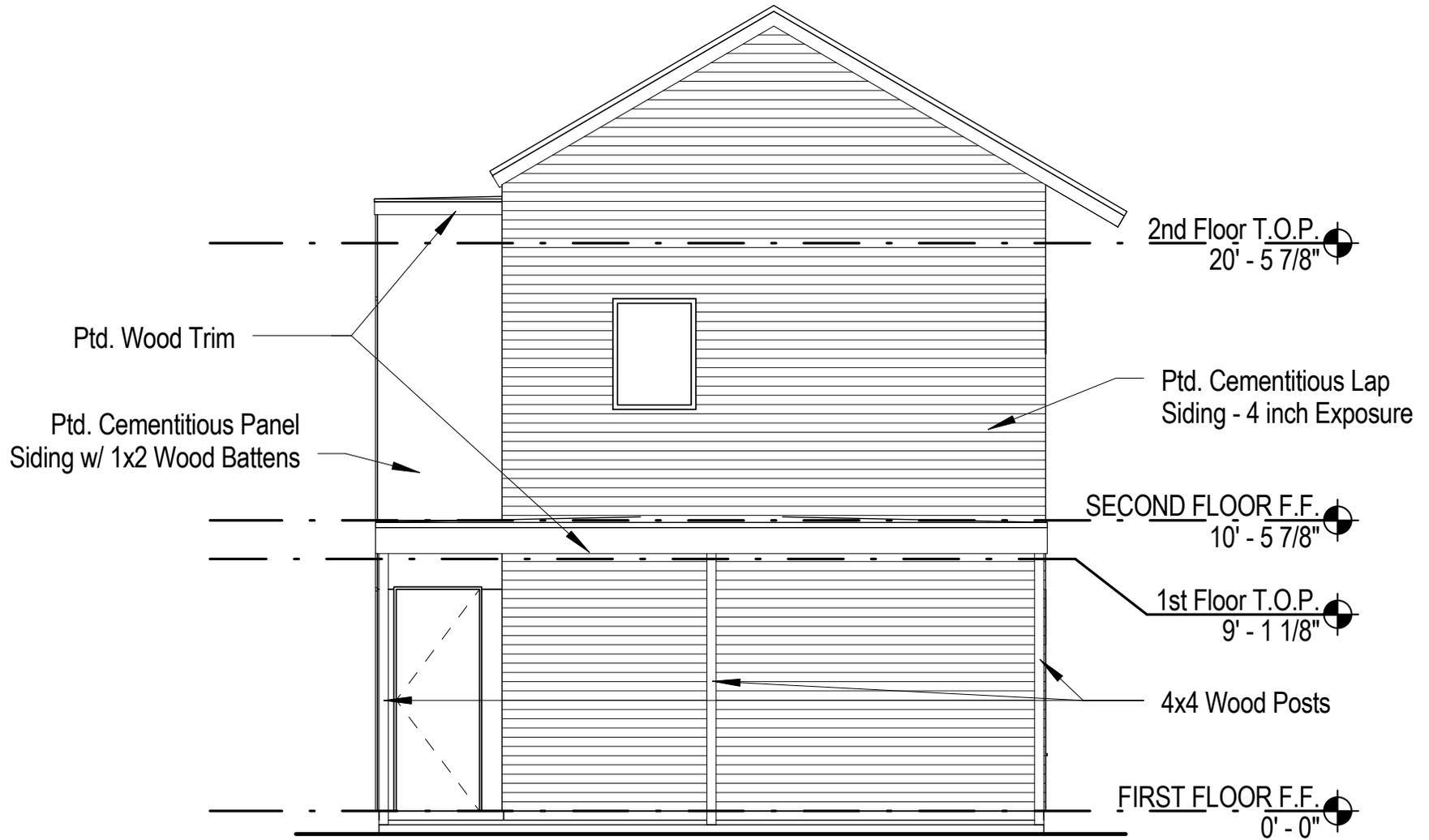
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BUILDING D
SIDE ELEVATION

422 HAYS STREET
DIGNOWITY HILL HISTORIC DISTRICT, SAN ANTONIO, TEXAS
MAY 29, 2015



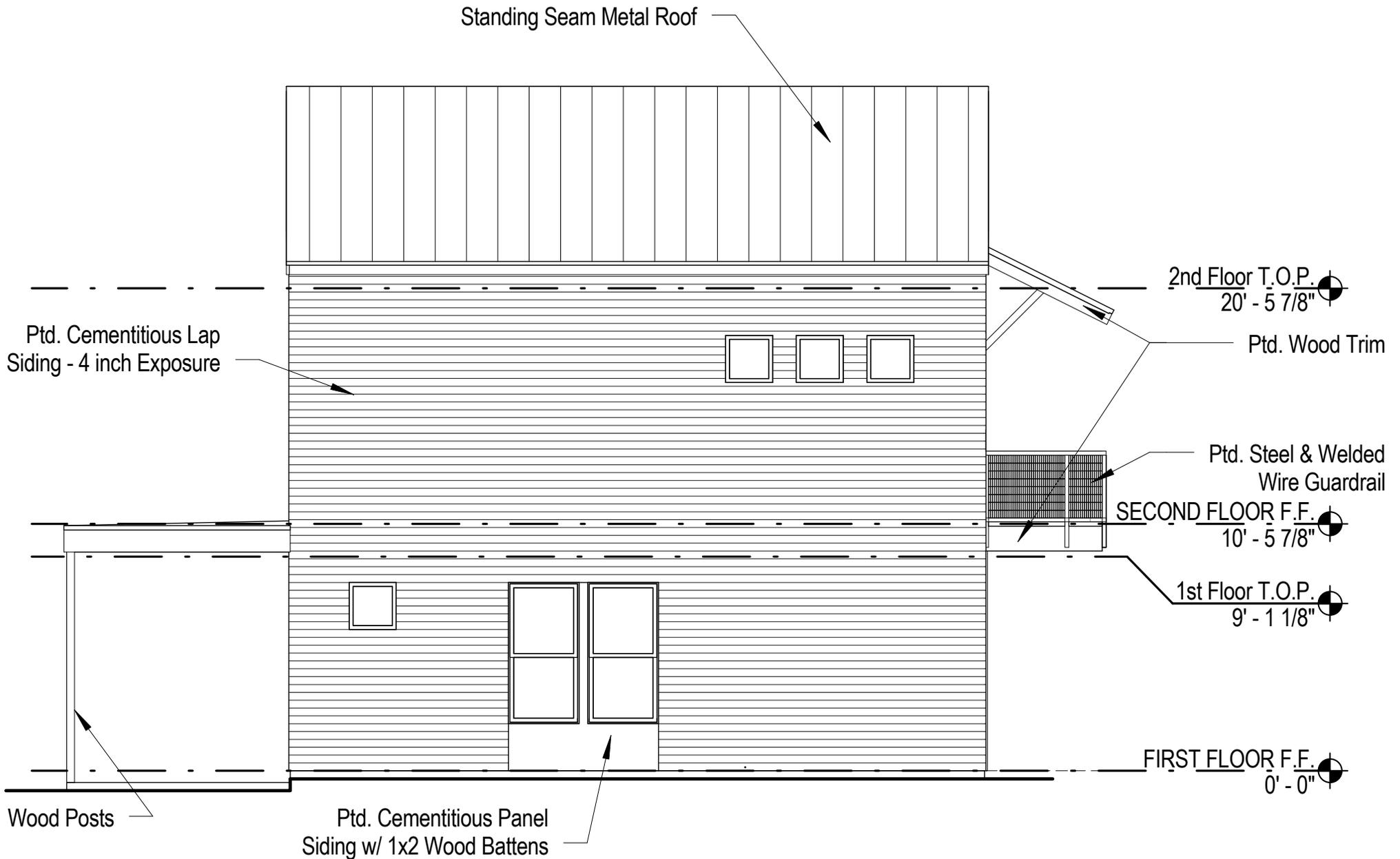


BUILDING D
ELEVATION

422 HAYS STREET

DIGNOWITY HILL HISTORIC DISTRICT, SAN ANTONIO, TEXAS

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BUILDING D
SIDE ELEVATION

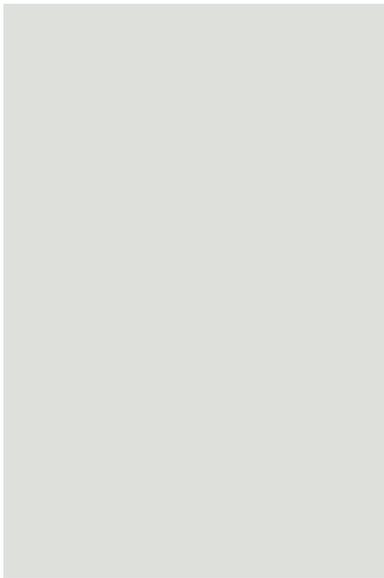
422 HAYS STREET

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6/10/15 Revision

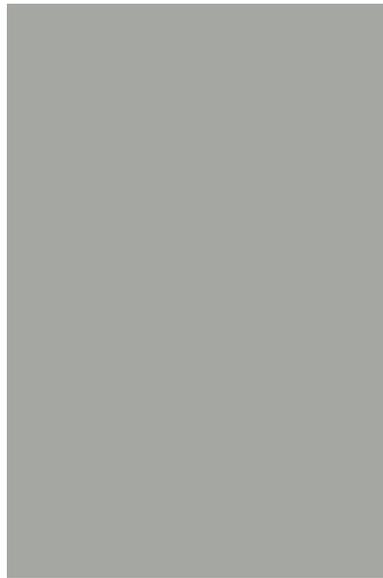




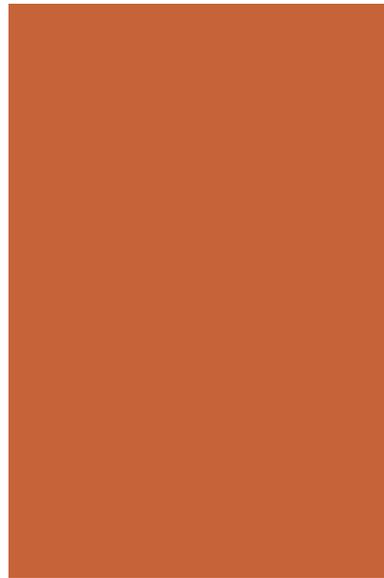
PAINT 1
SW 7063



PAINT 2
SW 6430



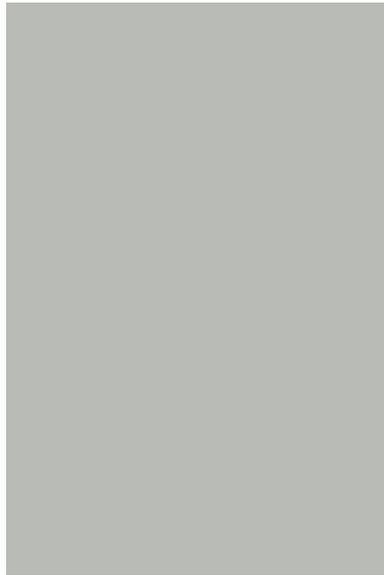
PAINT 3
SW 7066



PAINT 4
SW 6628



PELLA IMPERVIA WINDOWS IN
MORNING SKY GRAY FINISH



STANDING SEAM METAL ROOF
PREFINISHED



STAINED CEDAR FENCE

MATERIALS

422 HAYS STREET

DIGNOWITY HILL HISTORIC DISTRICT, SAN ANTONIO, TEXAS

MAY 29, 2015



CITY OF SAN ANTONIO
OFFICE OF HISTORIC
PRESERVATION

Historic and Design Review Commission
Design Review Committee
Report & Recommendation

DATE: 12/9/14 HDRC Case# _____

ADDRESS: 422 HAYS Meeting Location: LONE STAR

APPLICANT: JUAN FERNANDEZ

DRC Members present: BETTY FELDMAN

Staff present: EDWARD HALL

Others present: VICTOR ANDONIE, HELEN PIERCE

REQUEST: ~~4~~ 4-5 SINGLE-FAMILY INFILL UNITS

COMMENTS/CONCERNS: HISTORIC CONTEXT CURRENTLY ABSENT
FROM CONCEPTUAL DESIGNS. COMMITTEE RECOMMENDS
THE APPLICANT HAVE REPRESENTATIVES FROM DHNA SPEAK
ON THEIR BEHALF.

COMMITTEE RECOMMENDATION: APPROVE [] DISAPPROVE []
APPROVE WITH COMMENTS/STIPULATIONS:


Committee Chair Signature (or representative)

12/09/2014
Date



CITY OF SAN ANTONIO
OFFICE OF HISTORIC
PRESERVATION

Historic and Design Review Commission
Design Review Committee
Report & Recommendation

DATE: 5/12/2015

HDRC Case# 2015-194

ADDRESS: 411 HAYS

Meeting Location: LOVE STAR

APPLICANT: JIM BAILEY / ALAMO ARCHITECTS

DRC Members present: MICHAEL GUARDINO, JOHN LAFFOON

Staff present: EDWARDA HALL

Others present: _____

REQUEST: NEW CONSTRUCTION OF FOUR, TWO STORY UNITS

COMMENTS/CONCERNS: _____

MG: PROTOCOL FOR ENCLOSING REPORTS - POSSIBLE QUESTIONING FROM COMMISSION.

MG: CONCERN OVER SMALL SQUARE WINDOWS ON PRIMARY FACADE.

MG: ADD PAVER PUBLIC/PRIVATE PATH.

-NO DOUBLE WIDTH DRIVENWAY.

COMMITTEE RECOMMENDATION: APPROVE DISAPPROVE
APPROVE WITH COMMENTS/STIPULATIONS:


Committee Chair Signature (or representative)

5/12/14
Date



CITY OF SAN ANTONIO
OFFICE OF HISTORIC
PRESERVATION

Historic and Design Review Commission
Design Review Committee
Report & Recommendation

DATE: 6/9/2015

HDRC Case# _____

ADDRESS: 422 Hays

Meeting Location: 1901 S. Alamo

APPLICANT: Jim Bailey

DRC Members present: Betty Feldman

Staff present: Aliciana Zign

Others present: _____

REQUEST: Construct 4 new units

COMMENTS/CONCERNS: Revised columns, included landscape plan, square windows lead to secondary spaces and overall it doesn't make fenestration pattern inappropriate. JF- we would plant some but not all BF- why don't plant all and add to price? JB- we don't feel the Commission can ask in a residential project landscaping to the back of site. reduced amount of landscape, BF- looks good.

COMMITTEE RECOMMENDATION:

APPROVE DISAPPROVE

APPROVE WITH COMMENTS/STIPULATIONS:

GOOD PRESENTATION CHANGE WINDOWS AND GOOD

[Signature]
Committee Chair Signature (or representative)

06/09/2015
Date

BF-windows are prob. an issue. at the back. Concerned about square windows at front. Vertical windows would be better.