

## HISTORIC AND DESIGN REVIEW COMMISSION

May 05, 2021

**HDRC CASE NO:** 2021-213  
**ADDRESS:** 222 BEAUREGARD  
**LEGAL DESCRIPTION:** NCB 743 BLK 2 LOT 1 MASTERFILE & COMMON ELEMENT -MADISON CONDOMINIUMS  
**ZONING:** RM-4, H  
**CITY COUNCIL DIST.:** 1  
**DISTRICT:** King William Historic District  
**APPLICANT:** Lyndsay Thorn/Thorn Architects, PLLC  
**OWNER:** Sean Moore (Wife: Blythe Evans)/MADISON CONDOMINIUM OWNERS ASSOCIATION INC  
**TYPE OF WORK:** Window sash replacement  
**APPLICATION RECEIVED:** April 23, 2021  
**60-DAY REVIEW:** Not applicable due to City Council Emergency Orders  
**CASE MANAGER:** Huy Pham  
**REQUEST:**

The applicant is requesting a Certificate of Appropriateness for approval to replace non-original window windows with new aluminum-clad wood windows matching historic specifications (Pella Reserve Traditional Series)

### APPLICABLE CITATIONS:

#### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.
- ii. *New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.
- iii. *Glazed area*—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.
- iv. *Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.
- v. *Muntins*—Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass.
- vi. *Replacement glass*—Use clear glass when replacement glass is necessary. Do not use tinted glass, reflective glass, opaque glass, and other non-traditional glass types unless it was used historically. When established by the architectural style of the building, patterned, leaded, or colored glass can be used.
- vii. *Non-historic windows*—Replace non-historic incompatible windows with windows that are typical of the architectural style of the building.

### *Standard Specifications for Original Wood Window Replacement*

- **SCOPE OF REPAIR:** When individual elements such as sills, muntins, rails, sashes, or glazing has deteriorated, every effort should be made to repair or reconstruct that individual element prior to consideration of wholesale replacement. For instance, applicant should replace individual sashes within the window system in lieu of full replacement with a new window unit.
- **MISSING OR PREVIOUSLY-REPLACED WINDOWS:** Where original windows are found to be missing or previously-replaced with a nonconforming window product by a previous owner, an alternative material to wood may be considered when the proposed replacement product is more consistent with the Historic Design Guidelines in terms of overall appearance. Such determination shall be made on a case-by-case basis by OHP and/or the HDRC. Whole window systems should match the size of historic windows on property unless otherwise approved.
- **MATERIAL:** If full window replacement is approved, the new windows must feature primed and painted wood exterior finish. Clad, composition, or non-wood options are not allowed unless explicitly approved by the commission.



- SASH: Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- DEPTH: There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness.
- TRIM: Original trim details and sills should be retained or repaired in kind. If approved, new window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail. Window track components such as jamb liners must be painted to match the window trim or concealed by a wood window screen set within the opening.
- GLAZING: Replacement windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature real exterior muntins.
- COLOR: Replacement windows should feature a painted finish. If a clad product is approved, white or metallic manufacturer's color is not allowed, and color selection must be presented to staff.
- INSTALLATION: Replacement windows should be supplied in a block frame and exclude nailing fins. Window opening sizes should not be altered to accommodate stock sizes prior to approval.
- FINAL APPROVAL: If the proposed window does not meet the aforementioned stipulations, then the applicant must submit updated window specifications to staff for review, prior to purchase and installation. For more assistance, the applicant may request the window supplier to coordinate with staff directly for verification.

## **FINDINGS:**

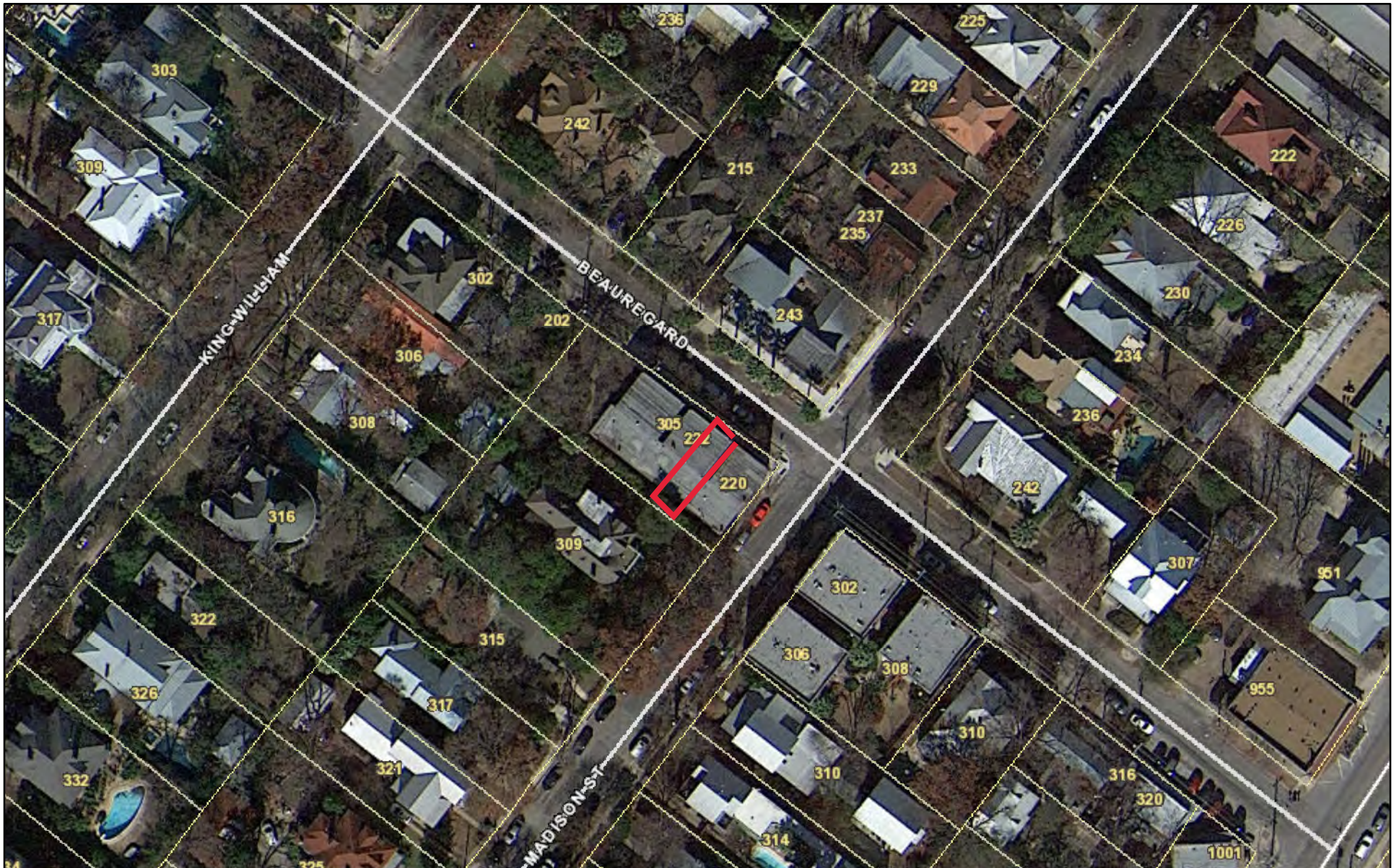
- a. The multi-family single structure condominiums addressed 305 Madison, 222 Beauregard, and 220 Beauregard were constructed circa 1930 with Spanish Eclectic influence, first appears on the 1951 Sanborn map, and contributes to the King William Historic District. The structure features stucco siding, six-over-six wood windows, tiled arches, wood medallions, and a flat roof.
- b. EXISTING WINDOWS – The applicant has provided thorough documentation of each window regarding their varying trim, stile, rail, and sash sizes and concluded that Window 07 and Window 08 are likely feature the most original dimensions while the other windows have been subject to minor alterations through their lifetime based on milling details, historically common sizes, and visible wood grain detail. Staff conducted a site visit on April 19, 2021 and concur with the applicant's findings on original elements. Per the *Standard Specifications for Wood Window Replacement*, when individual elements such as sills, muntins, rails, sashes, or glazing has deteriorated, every effort should be made to repair or reconstruct that individual element prior to consideration of wholesale replacement, and where original windows are found to be missing or previously-replaced with a nonconforming window product by a previous owner, an alternative material to wood may be considered when the proposed replacement product is more consistent with the Historic Design Guidelines in terms of overall appearance. Regarding condition, staff finds that the windows are generally intact and still have function weight-pulleys, with the exclusion of front-facing Window 02 and 03 with failing or missing meeting rails. Staff finds that wholesale replacement is appropriate based on the documentation of non-original elements to provide a uniform appearance while maintaining documented historic window dimensions and details.
- REPLACEMENT WINDOWS – If replacement is approved, the applicant has proposed to use Pella Reserve Traditional Series aluminum-clad wood sash windows matching window 07 and 08 in all dimensions, milling details, and six-over-six configuration. Per the *Standard Specifications for Wood Window Replacement*, if full window replacement is approved, the new windows must feature primed and painted wood exterior finish. Clad, composition, or non-wood options are not allowed unless explicitly approved by the commission. Staff finds that a fully wood window should be used instead of aluminum-clad to maintain the existing conforming condition of wood windows, even if they may not be the original wood windows.

## **RECOMMENDATION:**

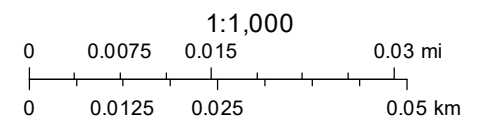
Staff recommends approval of window replacement based on finding b with the stipulation that a fully wood window is used instead of aluminum-clad to maintain the existing conforming condition of wood windows, even if they may not be the original wood windows. Staff finds the proposed product Pella Reserve Traditional Series otherwise adheres to the *Standard Specifications for Wood Window Replacement*.



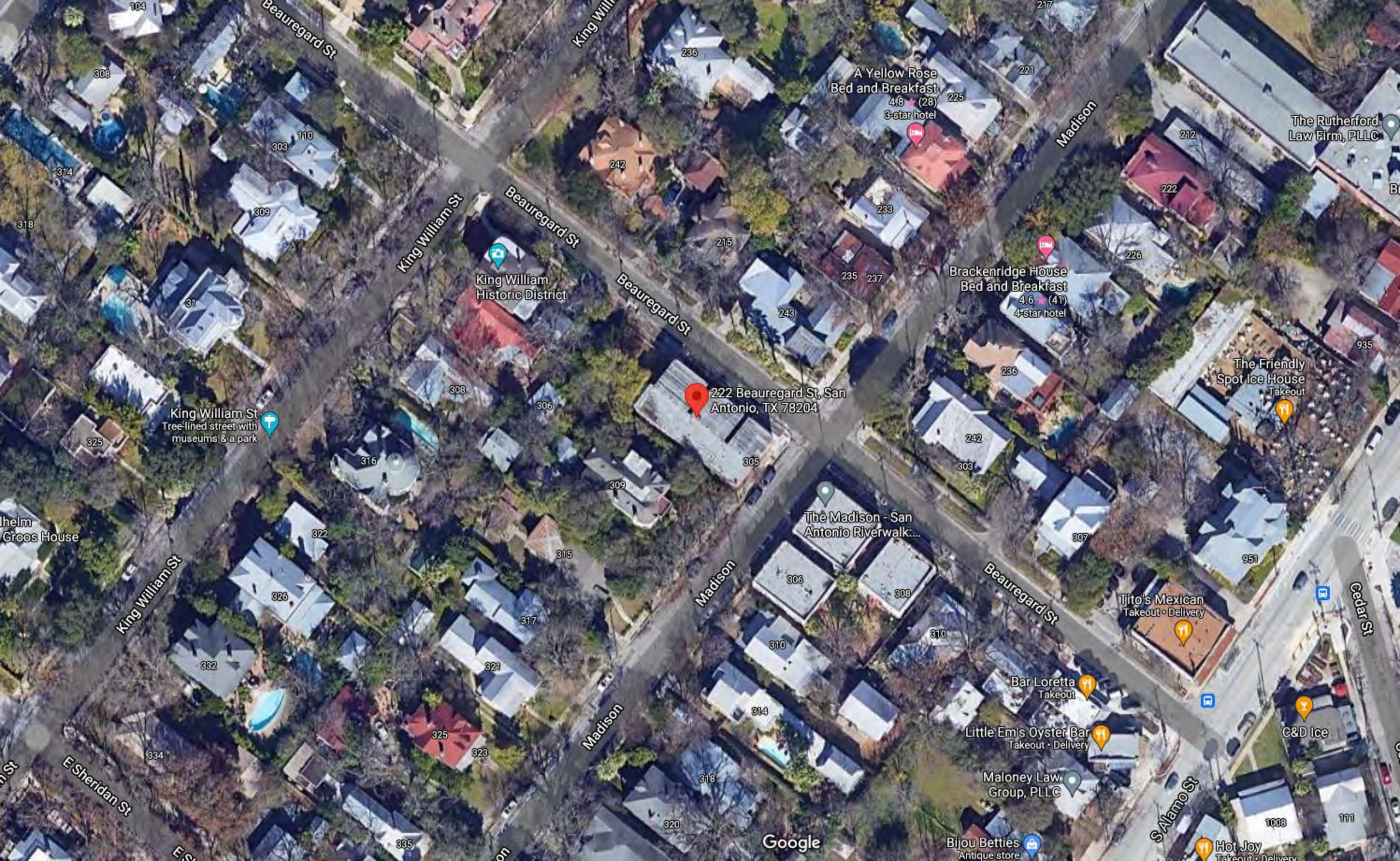
# 222 Beauregard



April 28, 2021







A Yellow Rose  
Bed and Breakfast  
4.8 (28)  
3-star hotel

The Rutherford  
Law Firm, PLLC

King William  
Historic District

Brackenridge House  
Bed and Breakfast  
4.6 (41)  
4-star hotel

The Friendly  
Spot Ice House  
Takeout

222 Beauregard St, San  
Antonio, TX 78204

The Madison - San  
Antonio Riverwalk...

Tito's Mexican  
Takeout - Delivery

Bar Loretta  
Takeout

Little Em's Oyster Bar  
Takeout - Delivery

Maloney Law  
Group, PLLC

Bijou Betties  
Antique store

Hot Joy  
Takeout - Delivery

C&D Ice

King William St  
Tree-lined street with  
museums & a park

helm  
Groos House

Google





222 Beauregard St, San Antonio, TX 78204



The Madison - San Antonio Riverwalk:...

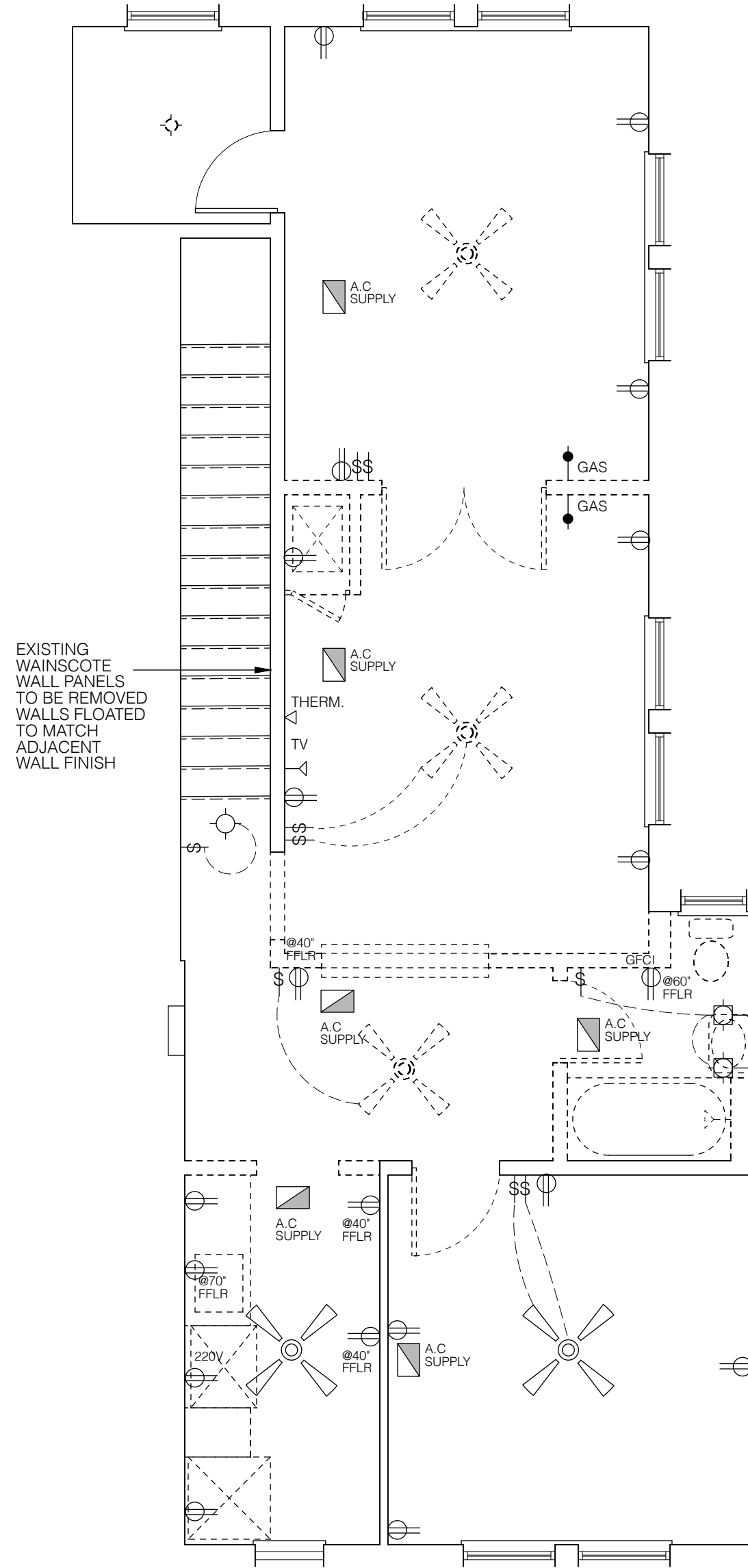
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----- TO BE DEMOLISHED

A-1.1 - EXISTING PLAN  
Scale 1/4" = 1'-0"

#### ELECTRICAL LEGEND

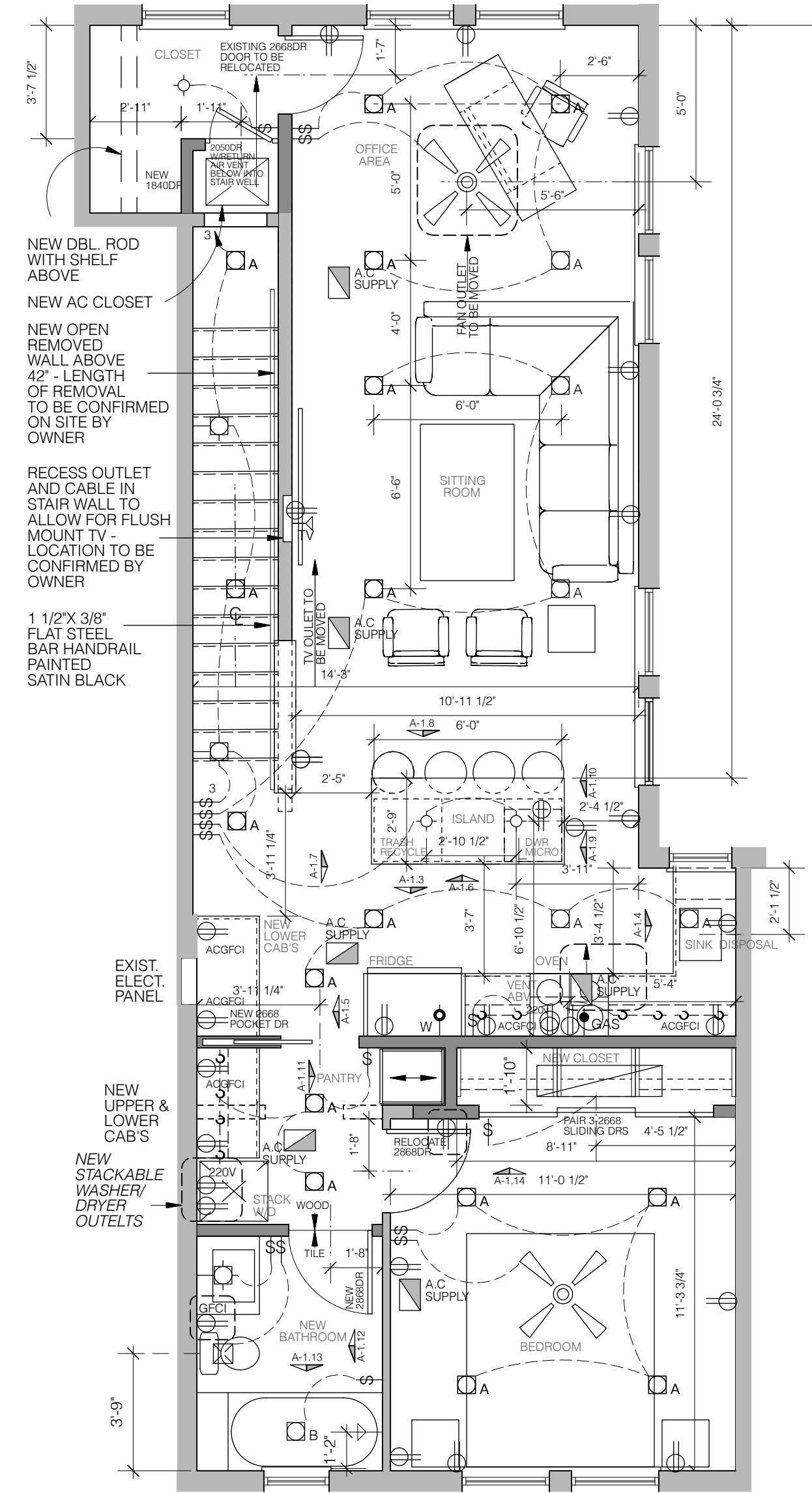
| MARK | TYPE  |
|------|---|
|      | 5' REC. LED DOWNLIGHT - CLEAR OPAQUE LENS WHITE TRIM KIT                                      |
|      | 5' REC. LED WET LOCATION DOWNLIGHT - CLEAR OPAQUE LENS WHITE TRIM KIT                         |
|      | 3' PINSPOW WIDE FLOOD REC. LED DOWNLIGHT - CLEAR OPAQUE LENS WHITE TRIM KIT                   |
|      | JUNCTION BOX - ALL DEC. LIGHT FIXTURES BY OWNER BUT INSTAL. BY ELECTRICIAN                    |
|      | WALL SCONSE - 'A' EXTERIOR - Allow \$300 per fxt.   |
|      | TELEPHONE OUTLET  |
|      | DUPLEX RECEPTACLE OUTLET - 110v 240v WHERE INDICATED USB - WHEN INDICATED A/C - ABOVE COUNTER |
|      | DUPLEX RECEPTACLE OUTLET - 110v FLOOR OUTLET  |
|      | GFI   |
|      | WATERPROOF EXTERIOR DUPLEX RECEPTACLE OUTLET W/GROUND FAULT INTERRUPT A/C - ABOVE COUNTER     |
|      | UNDER CABINET SEQUENCE STRIP POWER OUTLET W/USB OUTLETS                                       |
|      | PANASONIC QUIET' EXTRACTOR FAN  |
|      | GAS OUTLET  |
|      | SMOKE DETECTOR  |
|      | KICHLER UNDERCABINET LIGHTING   |
|      | SWITCH - DIM. W/ DIMMER JS - JAMB SWITCH 3 - THREE WAY WP - WATERPROOF                        |
|      | 12'X4' LITHONIA 2 - BULB VELEGANT W/LAMP FLOOR. CLOUD LENS, 11690 RE W/F32 TB - OR EQUAL      |
|      | THERMOSTAT  |
|      | HOSE BIB  |
|      | WATER CONNECTION  |
|      | TV CABLE OUTLET   |
|      | CEILING A - WITH LIGHT KIT - FANAMATION \$500 FAN B - WITHOUT LIGHT KIT - FANAMATION \$500    |
|      | LOCATES NEW OUTLET OR RELOCATION  |

UNLESS NOTED OTHERWISE:

- 1 - ALL OUTLETS ARE TO BE MOUNTED FROM 16" A.F.F. REFER TO PLAN FOR HEIGHT OF OUTLETS ABOVE COUNTER TOP.
- 2 - ALL SWITCHES TO BE 42" ON CENTER FROM FIN.FLR.
- 3 - PROVIDE 'SKYLARK' DIMMERS, FAN SPEED CONTROLS, SWITCH AND OUTLET PLATES.
- 4 - ALL DOWN LIGHTS & TRIM PACKS TO BE FLUSH MOUNTED.
- 5 - VERIFY ALL TRANSFORMERS ARE COMPATIBLE W/ DIMMERS.
- 6 - SITE VERIFY LOCATION OF ELECTRICAL PANEL AND ELECT. LOAD, PRIOR TO INSTALL.
- 7 - ALL LIGHTING TO BE 'WARM' COLOR LED.

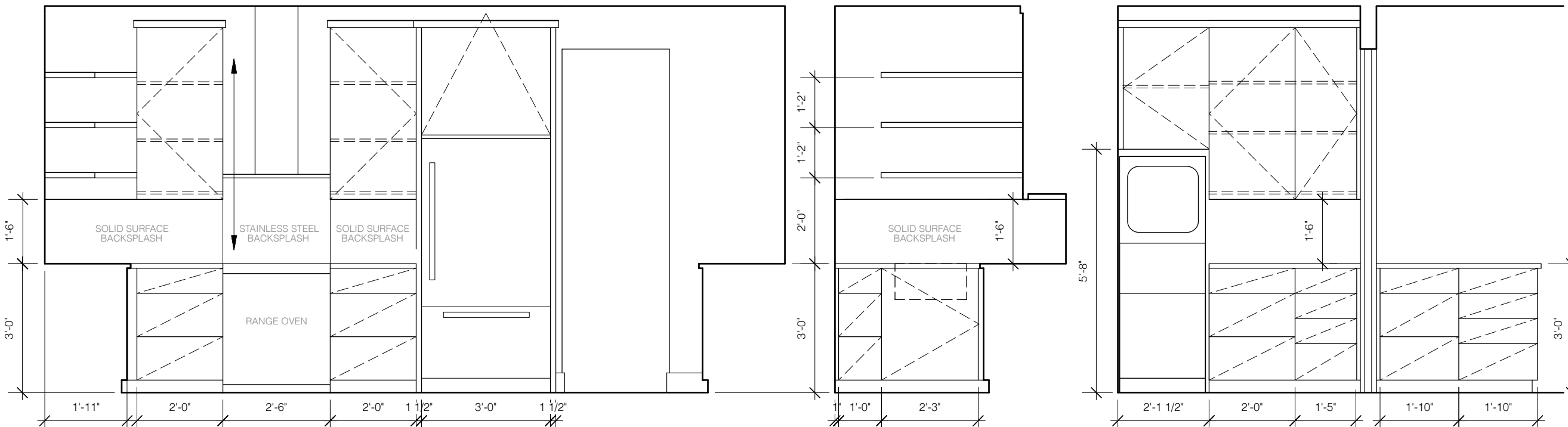
#### GENERAL NOTES:

ALL EXISTING LONG LEAF PINE FLOORS ARE TO BE PATCHED, SANDED AND REFINISHED - TWO COAT SATIN FINISH  
NEW TILE FLOOR AND WALLS TO NEW BATHROOM - SEE INTERIOR ELEVATIONS  
NEW 1'X6" TRIM TO BASE AND 1'X4" TO DOOR ARCHITRAVE. 2'X10" WALL TOP AND VERTICAL WALL END TO REDUCED HEIGHT STAIR WALL.  
THE EXISTING AC HANDLING UNIT IS TO BE RELOCATED TO THE NORTH CLOSET WITHIN IT'S OWN AIR HANDLER CLOSET.  
NEW PAINT TO WALLS, CEILINGS AND TRIM THROUGHOUT  
SOLID SURFACE COUNTERTOPS THROUGHOUT  
ALL NEW 4" LED RECESSED CEILING LIGHTS THROUGHOUT  
NEW FANAMATION CEILING FANS WHERE SHOWN - NO LIGHT KIT



EXISTING WALLS  
NEW WALLS

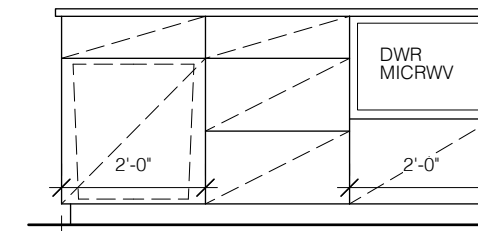
A-1.2 - PROPOSED PLAN  
Scale 1/4" = 1'-0"



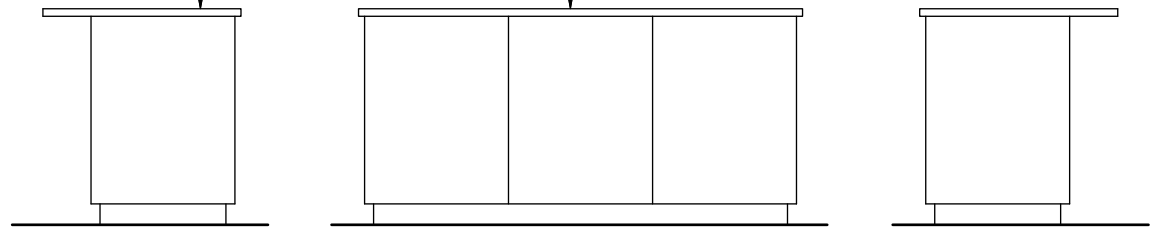
A-1.3 - KITCHEN CABINET ELEVATION  
Scale 3/8" = 1'-0"

A-1.4 - KITCHEN SINK ELEVATION  
Scale 3/8" = 1'-0"

A-1.5 - UTILITY AND KITCHEN CABINET ELEVATION  
Scale 3/8" = 1'-0"



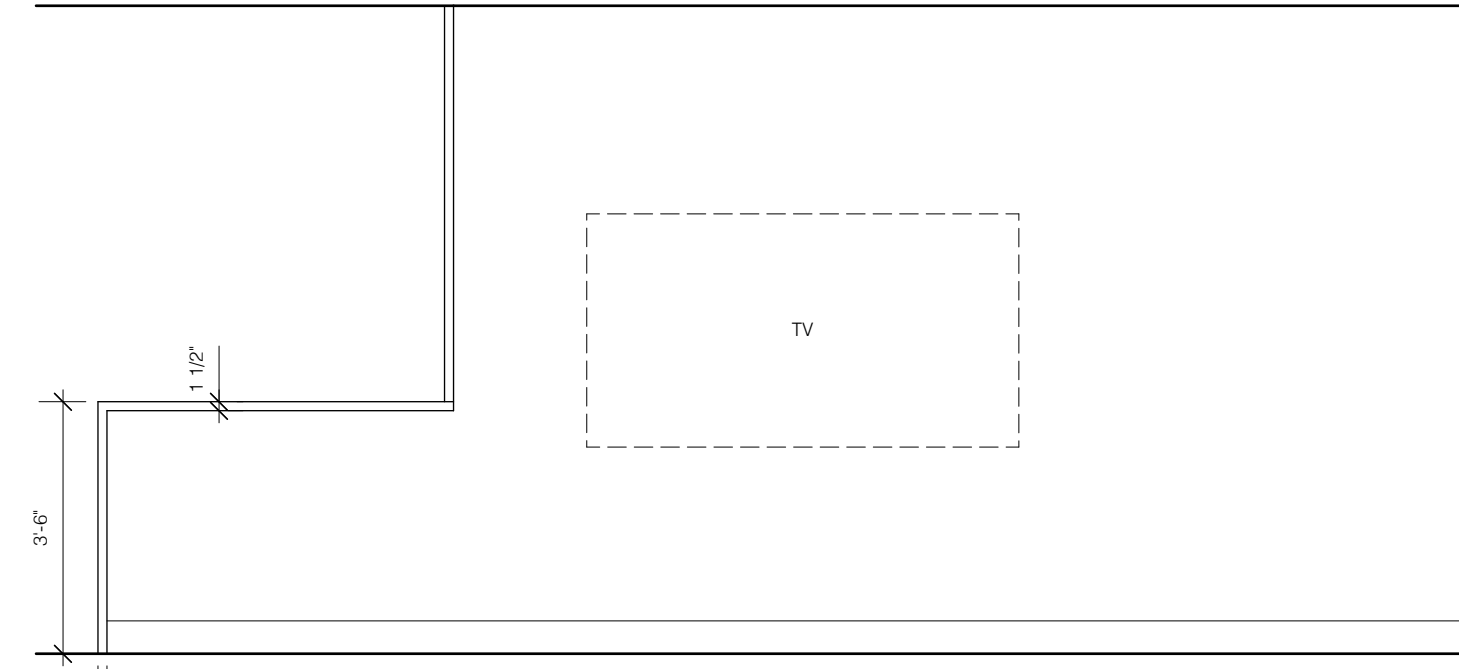
A-1.6 - KITCHEN ISLAND ELEVATION  
Scale 3/8" = 1'-0"



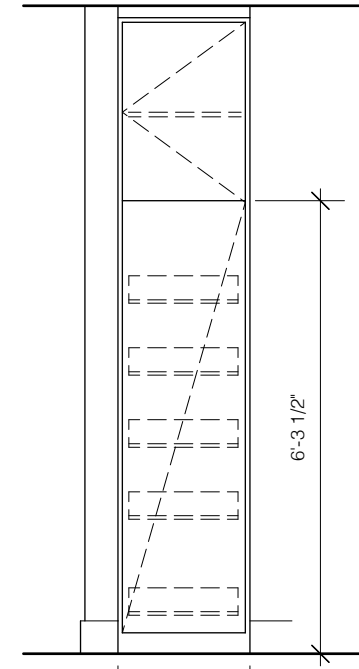
A-1.7 - ISLAND END ELEV.  
Scale 3/8" = 1'-0"

A-1.8 - ISLAND ELEVATION  
Scale 3/8" = 1'-0"

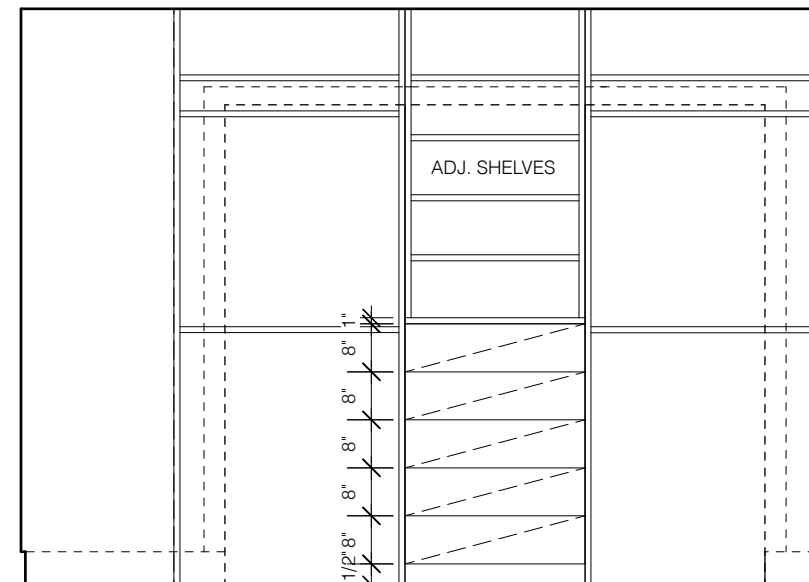
A-1.9 - ISLAND END ELEV.  
Scale 3/8" = 1'-0"



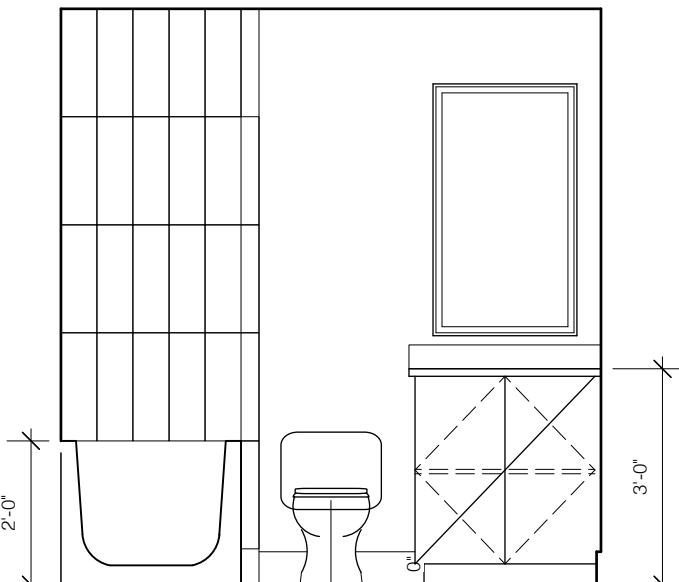
A-1.10 - STAIR WALL ELEVATION  
Scale 3/8" = 1'-0"



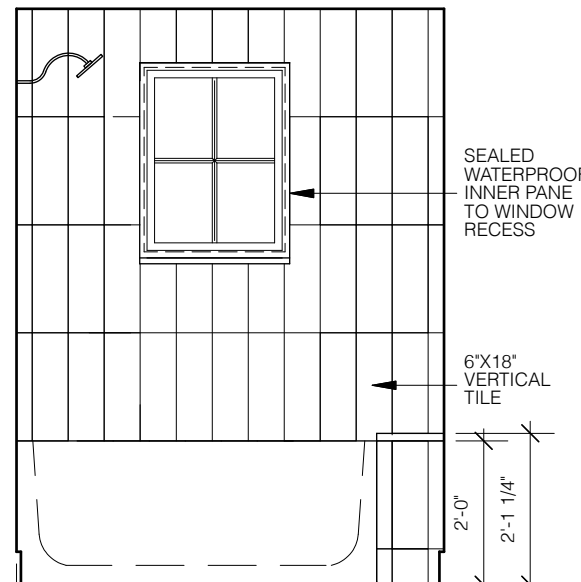
A-1.11 - PANTRY ELEVATION  
Scale 3/8" = 1'-0"



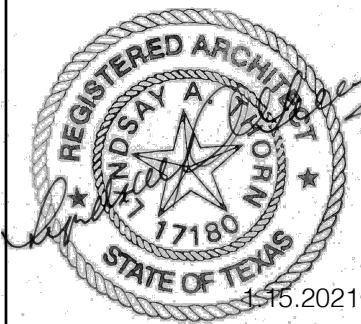
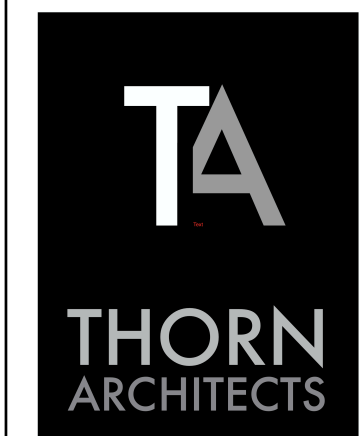
A-1.12 - MASTER BEDROOM CLOSET ELEVATION  
Scale 3/8" = 1'-0"



A-1.13 - BATHROOM ELEVATION  
Scale 3/8" = 1'-0"



A-1.14 - BATHROOM TUB ELEVATION  
Scale 3/8" = 1'-0"



## MOORE - EVANS APARTMENT

222 Beauregard San Antonio Texas 78205

Project:

| No. | Revisions/Date                      |
|-----|-------------------------------------|
| C   | Additional electrical outlets added |

|               |                     |
|---------------|---------------------|
| Drawn:<br>LAT | Project No.<br>2023 |
| Checked:      | Date:<br>1.15.2021  |

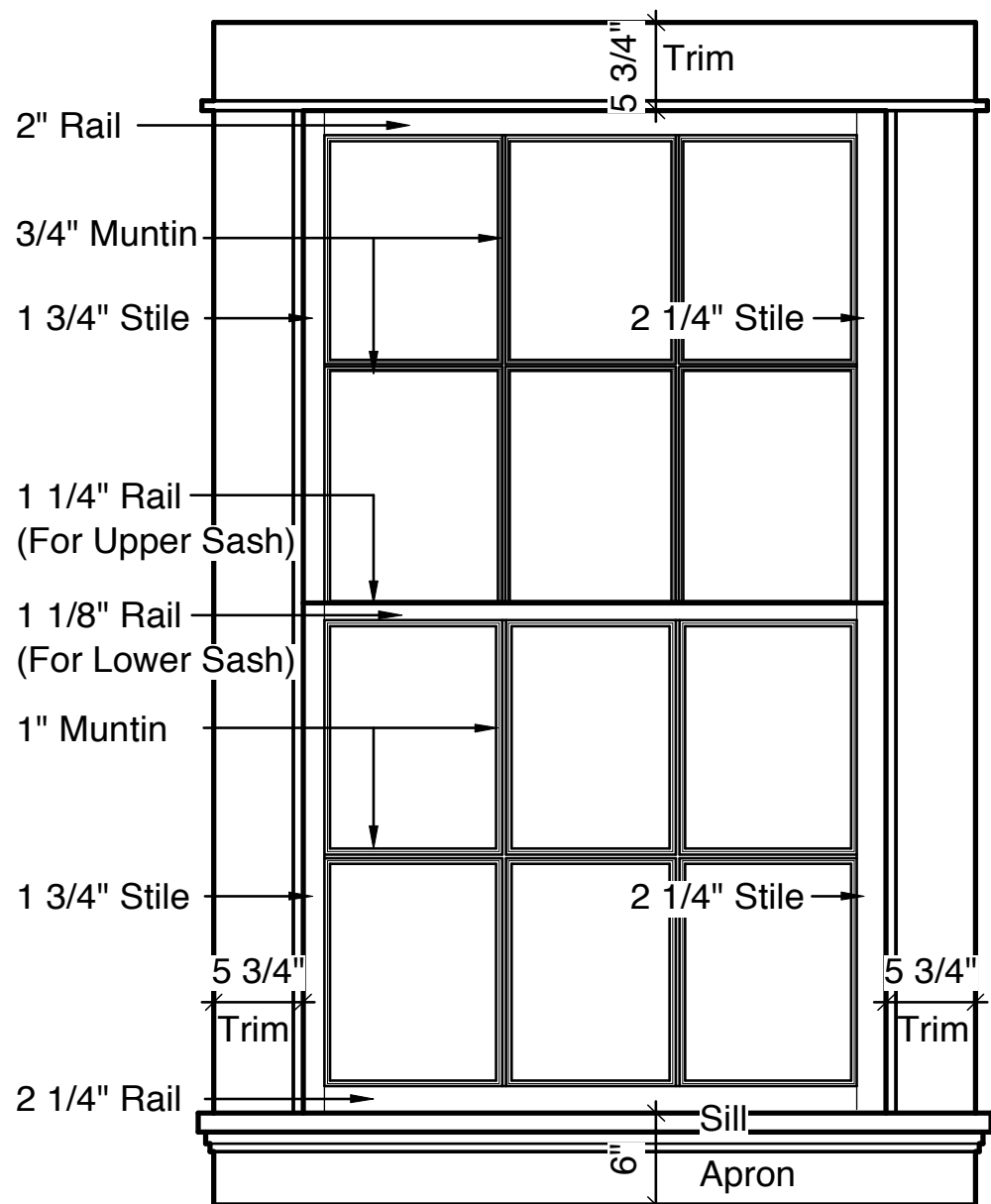
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Drawing Title:  
PROPOSED FLOOR  
PLAN AND DETAILS

Sheet No.

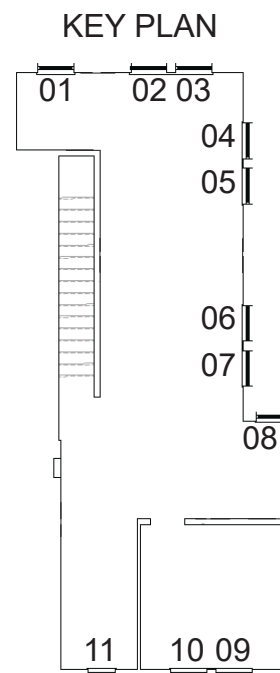
# A-1<sub>C</sub>





## 01 | FRONT CLOSET WINDOW

Facing Beauregard



Notes: This does not appear to be a full "Original Window"

Rehabilitation of the existing window sashes only, does not address the condition of the window frame or preventative measures for future water

This window has had individual parts replaced over the years as can be

dimensions; as well as whole Sashes have been replaced. Note, upper Sash has 3/4" Muntins and lower Sash has 1" Muntins.



over water damaged wood, typical.



Window Trim+Sill to be preserved were possible and



been measured and observed within this window.



Window glass appears to be a standard glass, not milk,



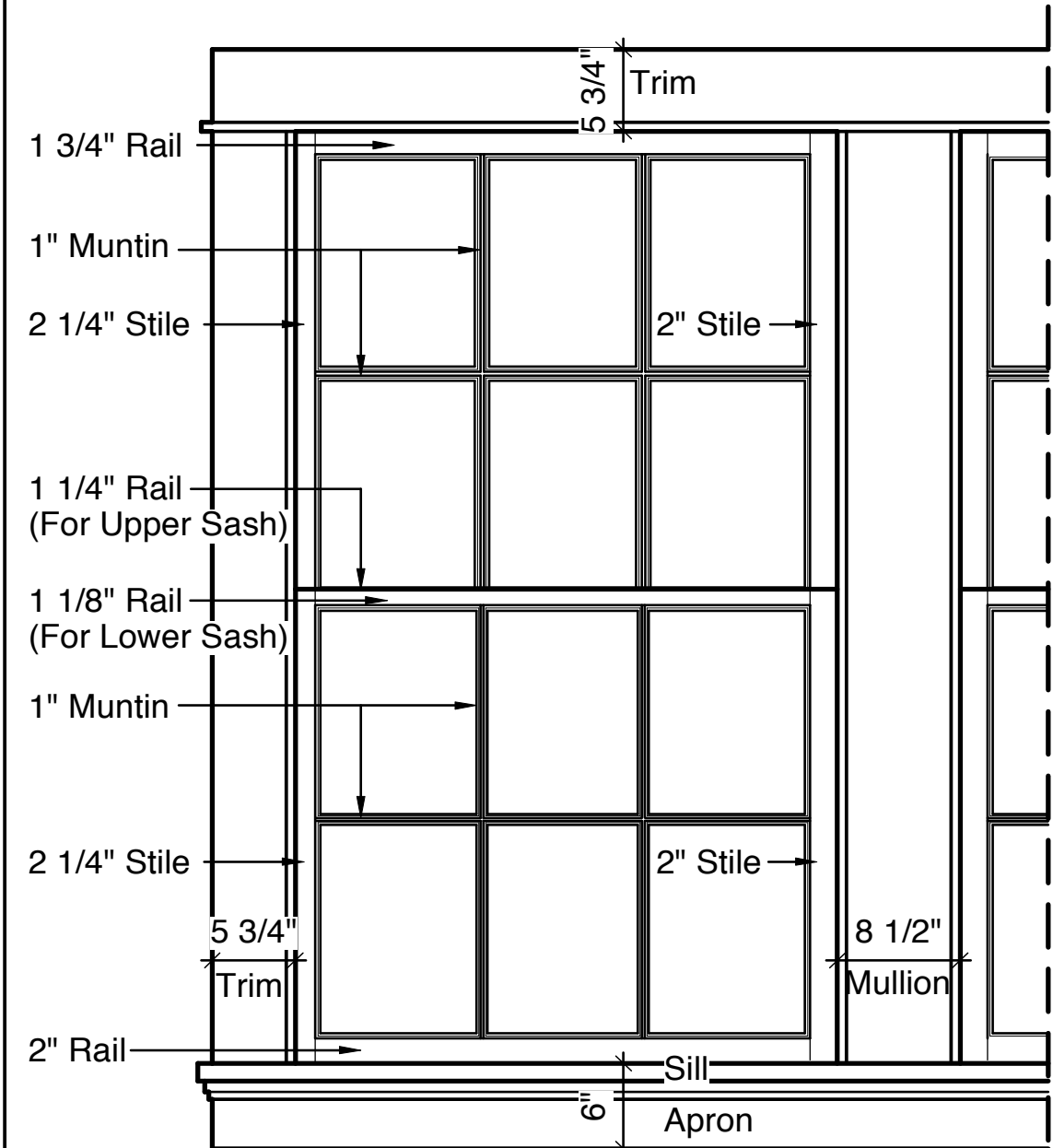
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NOT FOR  
CONSTRUCTION

MOORE-EVANS RESIDENCE, UNIT 2  
222 Beauregard San Antonio Texas 78209

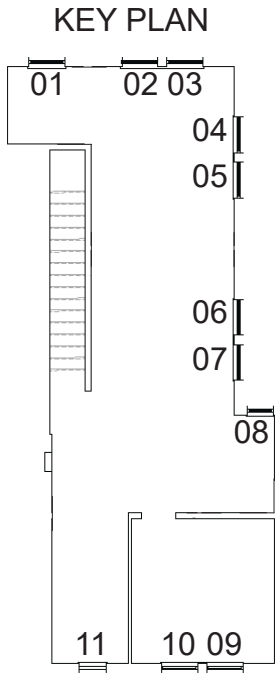
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| Scale: 1" = 1'-0"   |                     |
| Drawing Title:<br>FRONT CLOSET<br>EXISTING WINDOW<br>CONDITIONS |                     |
| Sheet No.   |                     |

# A1.1





02 | LIVING ROOM WINDOW  
Facing Beauregard



Notes: This does not appear to be a full “Original Window”

Rehabilitation of the existing window sashes only, does not address the condition of the window frame or preventative measures for future water

This window has had individual parts replaced over the years as can be dimensions; as well as whole Sashes have been replaced. Note, upper Sash has 3/4” Muntins and lower Sash has 1” Muntins.



Overall Window 2: Multiple layers of paint and caulk over water damaged wood, typical.



Window glass appears to be a standard glass, not milk,



Window Trim+Sill to be preserved were possible and



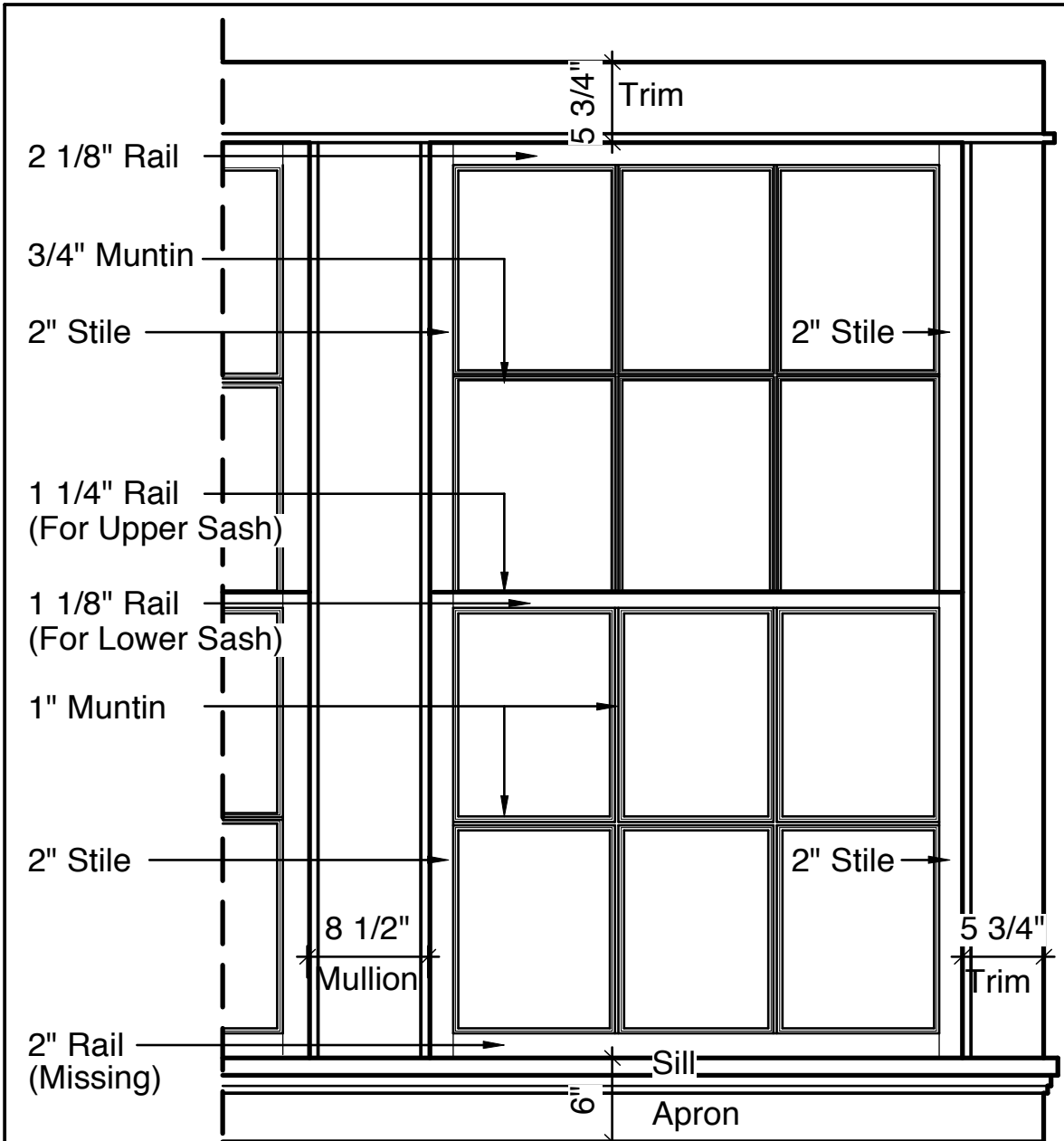
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MOORE-EVANS RESIDENCE, UNIT 2  
222 Beauregard San Antonio Texas 78209

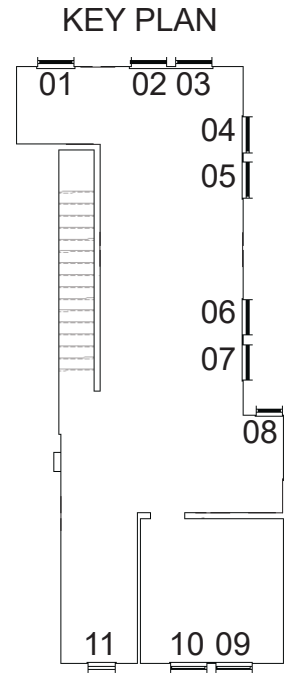
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| Drawing Title:<br>LIVING ROOM<br>EXISTING WINDOW<br>CONDITIONS |                     |
| Sheet No.  |                     |

A1.2





03 | LIVING ROOM WINDOW  
Facing Beauregard



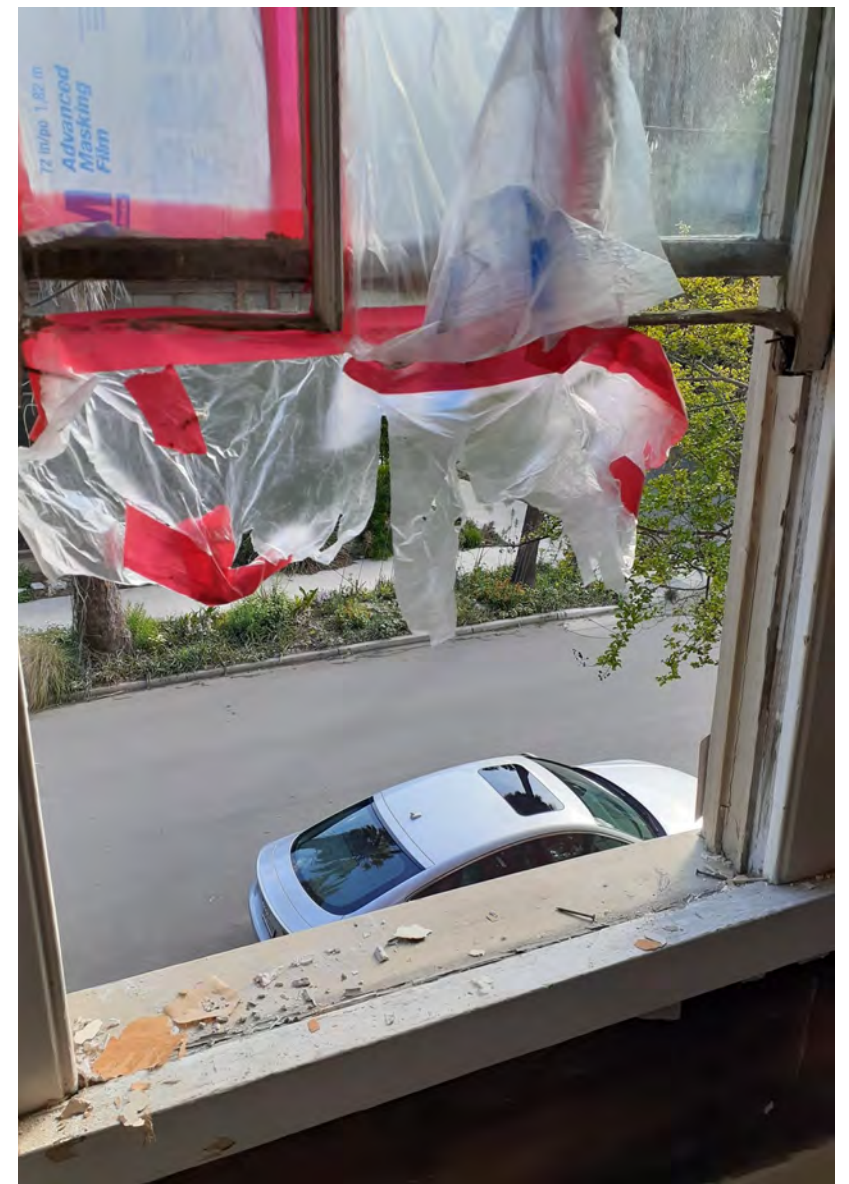
Notes: This does not appear to be a full "Original Window"

Rehabilitation of the existing window sashes only, does not address the condition of the window frame or preventative measures for future water

This window has had individual parts replaced over the years as can be dimensions; as well as whole Sashes have been replaced. Note, upper Sash has 3/4" Muntins and lower Sash has 1" Muntins.



Overall Window 3: Multiple layers of paint and caulk over water damaged wood, typical.



lower Sash Rail and damage to side Stiles and Muntin.



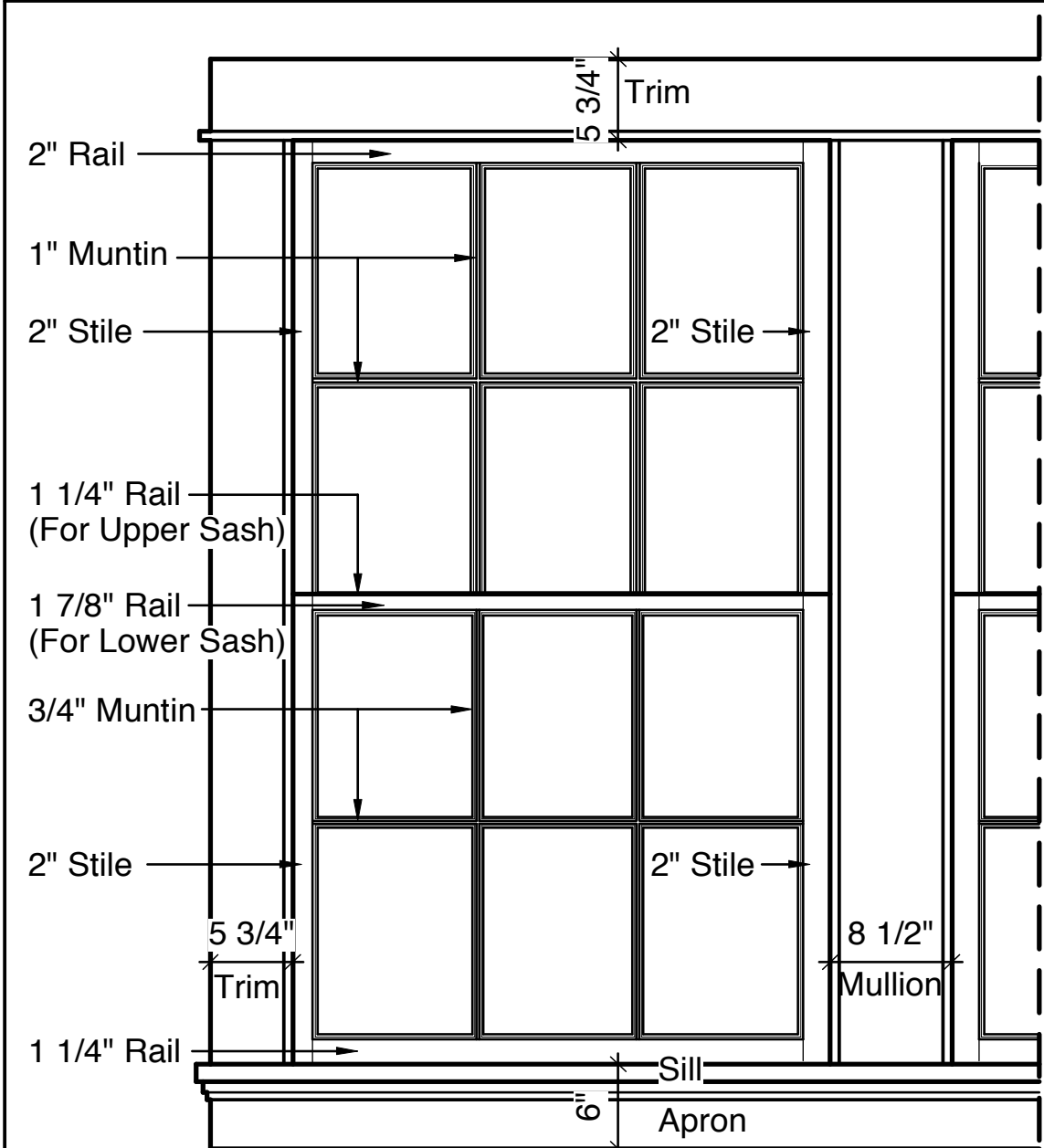
PRELIMINARY  
NOT FOR  
CONSTRUCTION

MOORE-EVANS RESIDENCE, UNIT 2  
222 Beauregard San Antonio Texas 78209

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|   |                  |
| Drawn: AMBT   | Project No. 2042 |
| Checked:  | Date: 04.23.21   |
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| Drawing Title: LIVING ROOM EXISTING WINDOW CONDITIONS |                  |
| Sheet No.   |                  |

A1.3





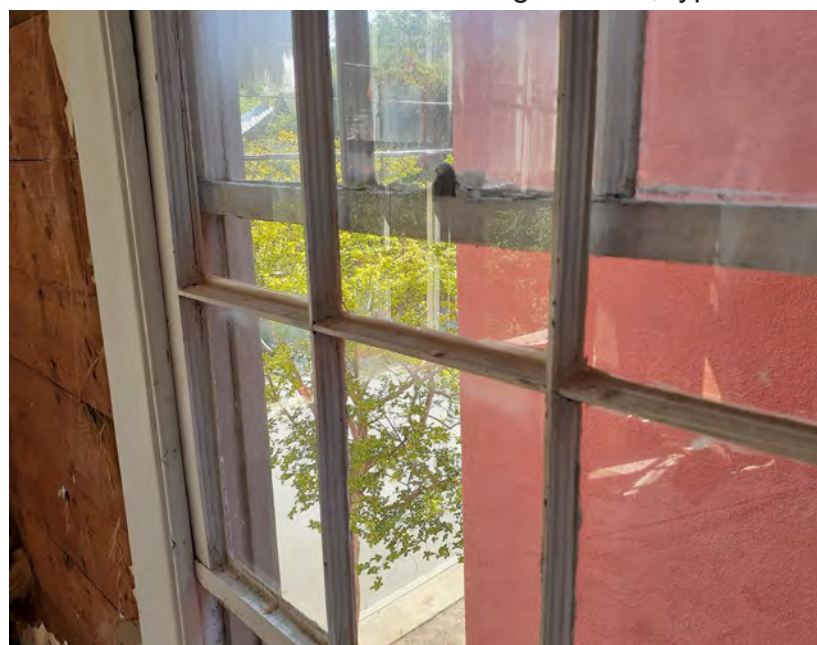
04 | LIVING ROOM WINDOW  
Facing Courtyard



over water damaged wood, typical.



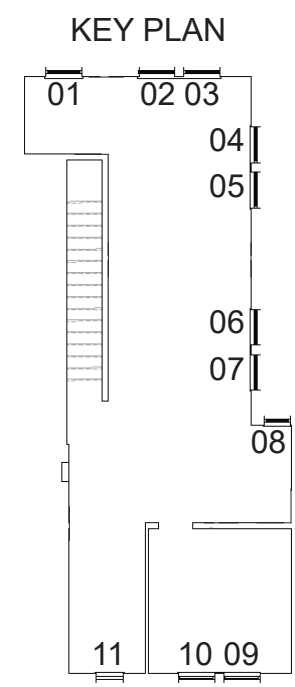
been measured and observed within this window.



Window glass appears to be a standard glass, not milk,



Window Trim+Sill to be preserved were possible and



Notes: This does not appear to be a full "Original Window"

Rehabilitation of the existing window sashes only, does not address the condition of the window frame or preventative measures for future water

This window has had individual parts replaced over the years as can be dimensions; as well as whole Sashes have been replaced. Note, upper Sash has 3/4" Muntins and lower Sash has 1" Muntins.

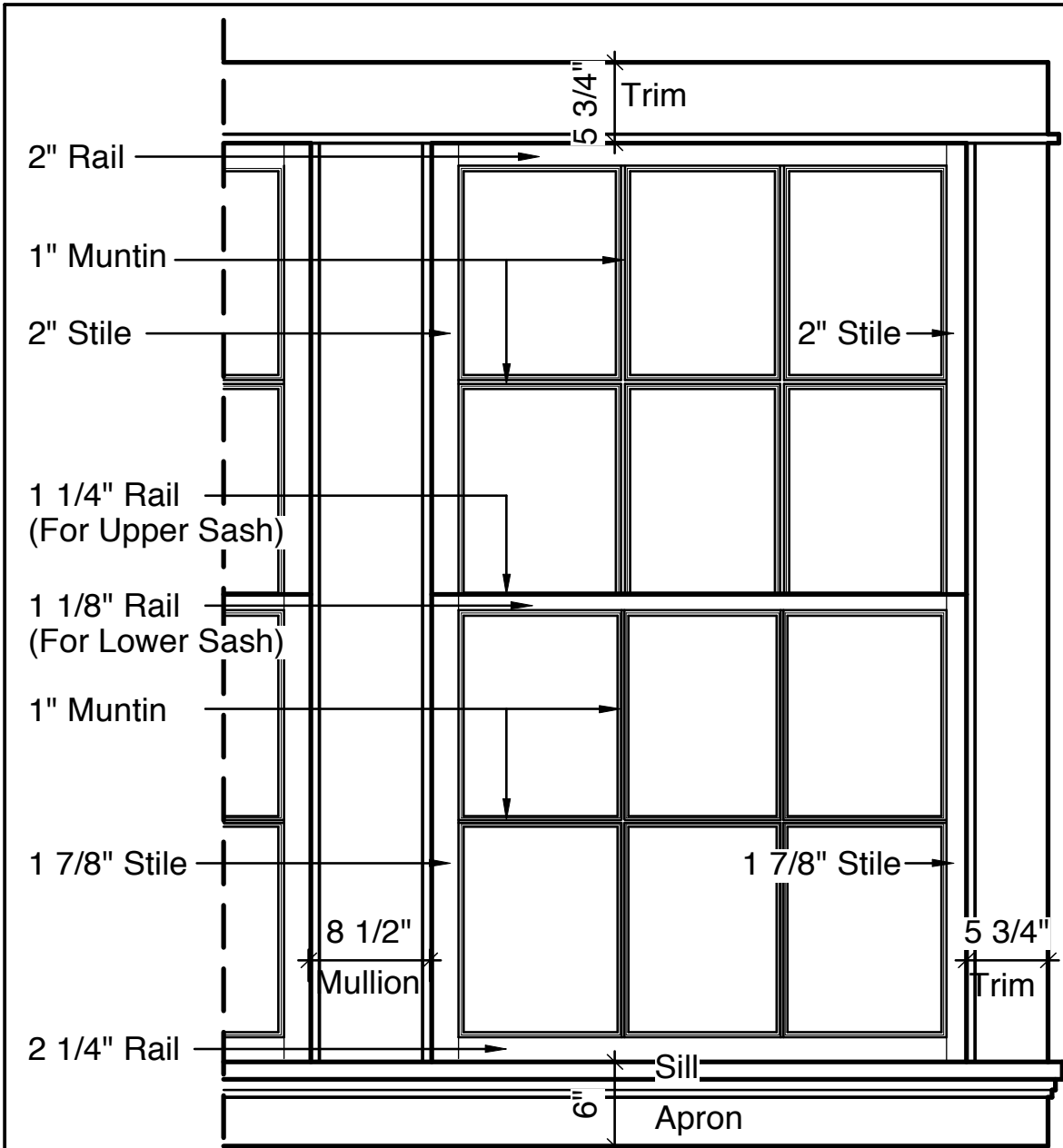


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CONSTRUCTION

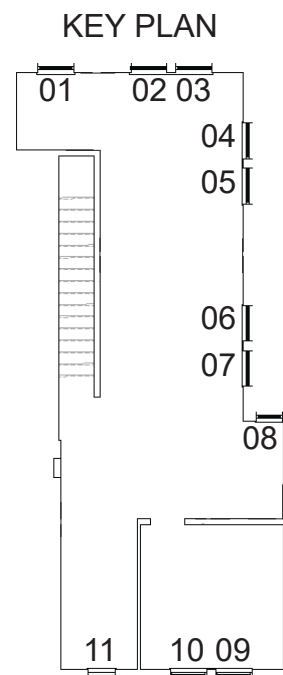
MOORE-EVANS RESIDENCE, UNIT 2  
222 Beauregard San Antonio Texas 78209

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| Drawn:<br>AMBT   | Project No.<br>2042 |
| Checked:   | Date:<br>04.23.21   |
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| Drawing Title:<br>LIVING ROOM<br>EXISTING WINDOW<br>CONDITIONS |                     |
| Sheet No.<br>A1.4  |                     |





**05** | **LIVING ROOM WINDOW**  
Facing Beauregard



Notes: This does not appear to be a full “Original Window”

Rehabilitation of the existing window sashes only, does not address the condition of the window frame or preventative measures for future water

This window has had individual parts replaced over the years as can be dimensions; as well as whole Sashes have been replaced. Note, upper Sash has 3/4” Muntins and lower Sash has 1” Muntins.



over water damaged wood, typical.



Window glass appears to be a standard glass, not milk,



been measured and observed within this window.



Window Trim+Sill to be preserved were possible and

**MOORE-EVANS RESIDENCE, UNIT 2**  
222 Beauregard San Antonio Texas 78209

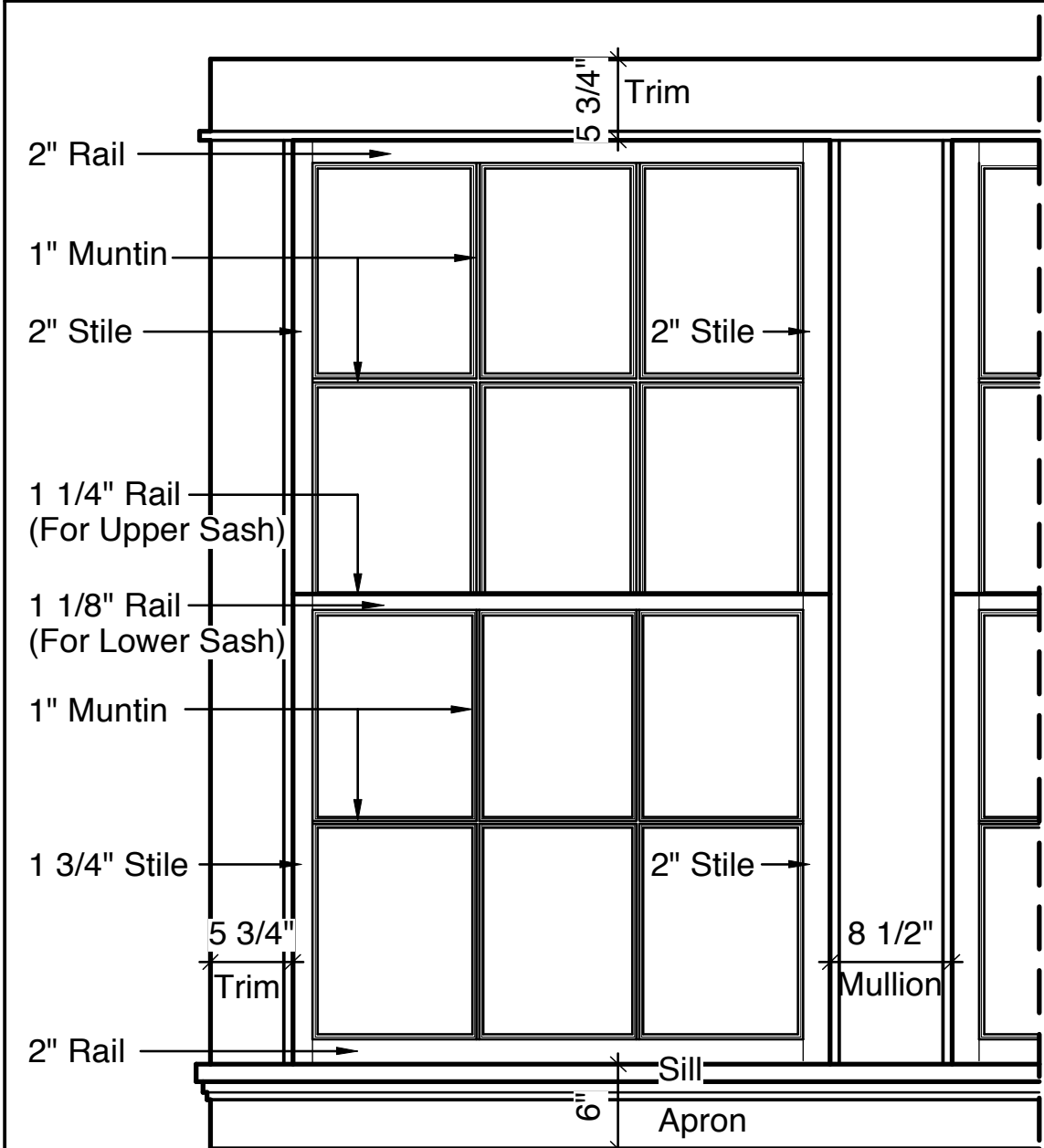
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NOT FOR  
CONSTRUCTION



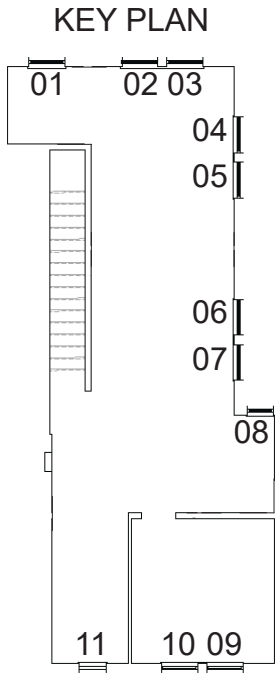
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| Drawn:<br>AMBT   | Project No.<br>2042 |
| Checked:   | Date:<br>04.23.21   |
| Scale: 1" = 1'-0"  |                     |
| Drawing Title:<br>LIVING ROOM<br>EXISTING WINDOW<br>CONDITIONS |                     |
| Sheet No.  |                     |

**A1.5**





06 | LIVING ROOM WINDOW  
Facing Courtyard



Notes: This does not appear to be a full "Original Window"

Rehabilitation of the existing window sashes only, does not address the condition of the window frame or preventative measures for future water

This window has had individual parts replaced over the years as can be dimensions; as well as whole Sashes have been replaced. Note, upper Sash has 3/4" Muntins and lower Sash has 1" Muntins.



over water damaged wood, typical.



Window glass appears to be a standard glass, not milk,



been measured and observed within this window.



Window Trim+Sill to be preserved were possible and



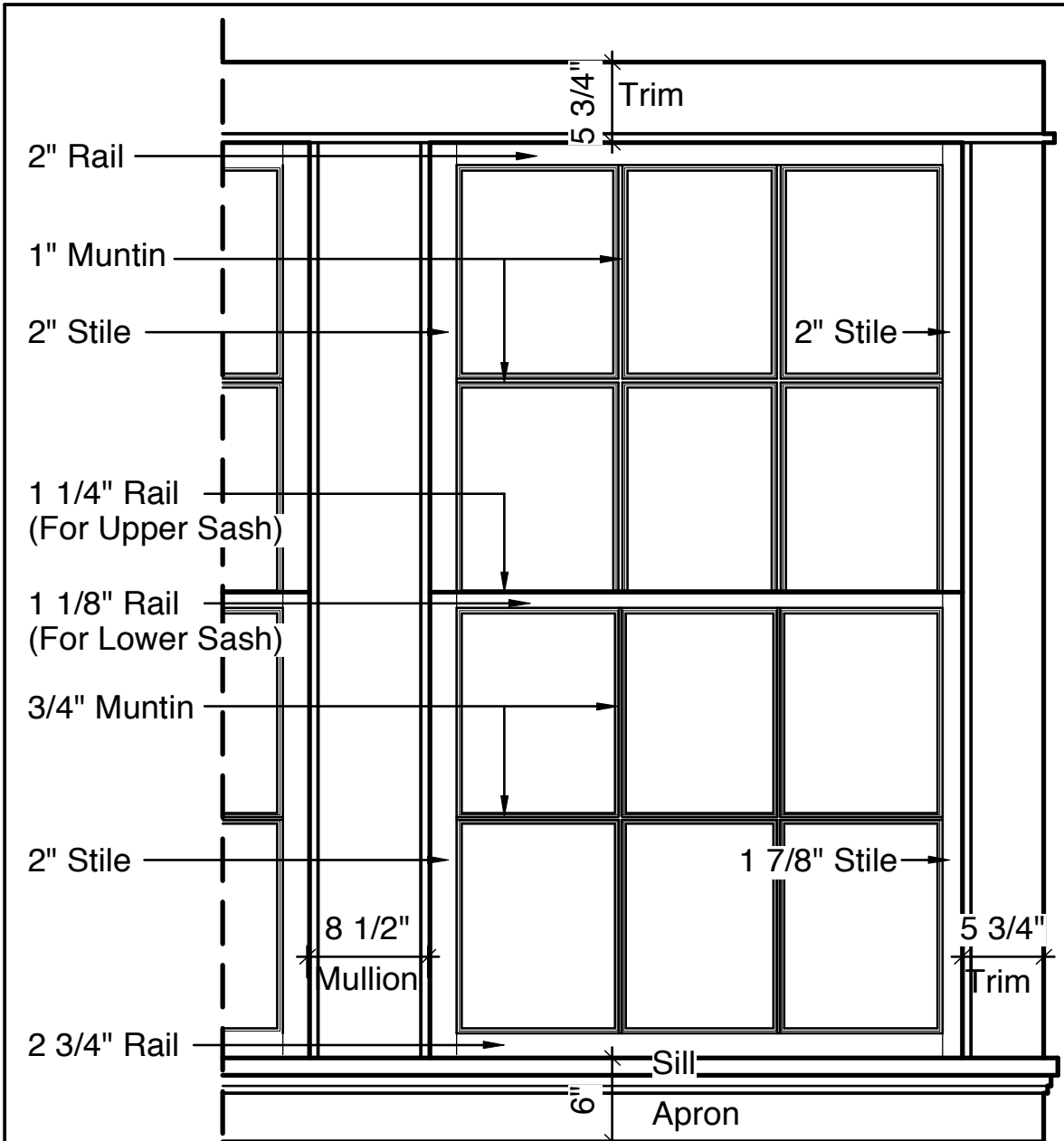
PRELIMINARY  
NOT FOR  
CONSTRUCTION

MOORE-EVANS RESIDENCE, UNIT 2  
222 Beauregard San Antonio Texas 78209

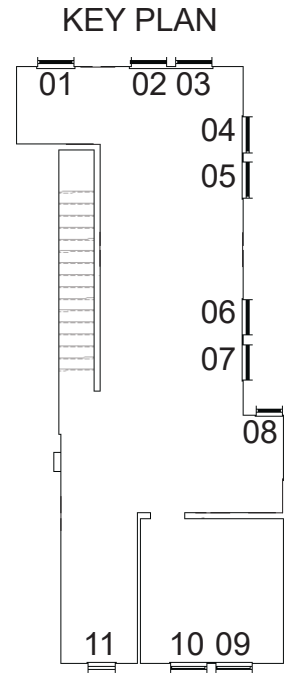
|  |           |                     |
|--|-----------|---------------------|
| No.  | Rev.Date: |                     |
|  |           |                     |
| Drawn:<br>AMBT   |           | Project No.<br>2042 |
| Checked:   |           | Date:<br>04.23.21   |
| Scale: 1" = 1'-0"  |           |                     |
| Drawing Title:<br>LIVING ROOM<br>EXISTING WINDOW<br>CONDITIONS |           |                     |
| Sheet No.  |           |                     |

A1.6





**07** | LIVING ROOM WINDOW  
Facing Courtyard



Notes: We would like to provide a full frame replacement to closely match this "Original Window" in dimensions.

Rehabilitation of the existing window sashes only, does not address the condition of the window frame or preventative

This window has had individual parts replaced over the years as can be seen by as well as whole Sashes have been replaced. Note, upper Sash has 3/4" Muntins and lower Sash has 1" Muntins.



Overall Window 7: Multiple layers of paint and caulk over water damaged wood, typical.



Window glass appears to be a standard glass, not milk,



Window does not stay open for long, it slowly lowers on its own.



Window Trim+Sill to be preserved were possible and

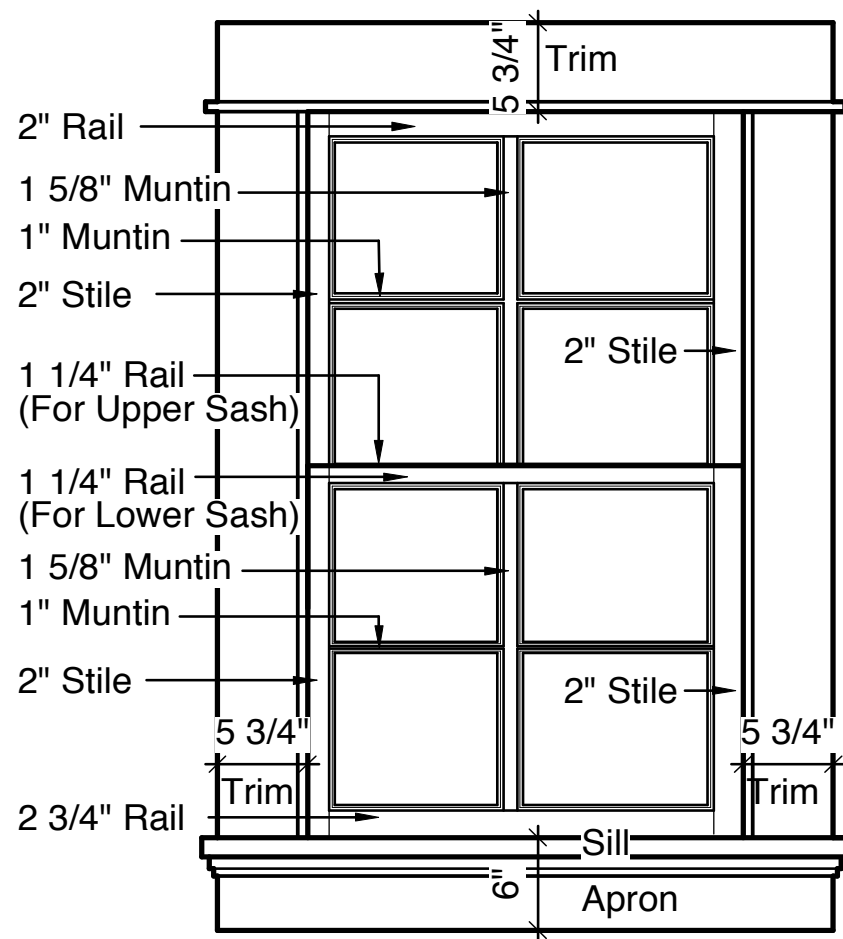


PRELIMINARY  
NOT FOR  
CONSTRUCTION

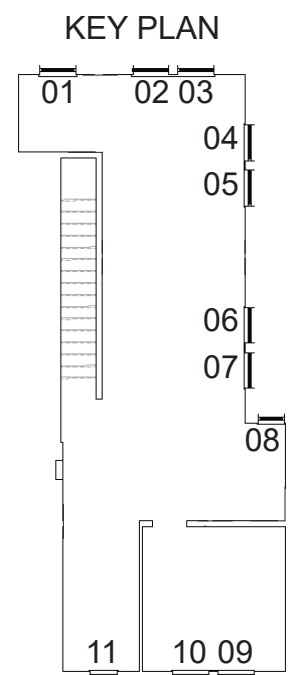
MOORE-EVANS RESIDENCE, UNIT 2  
222 Beauregard San Antonio Texas 78209

|  |           |                     |
|--|-----------|---------------------|
| No.  | Rev.Date: |                     |
|  |           |                     |
| Drawn:<br>AMBT   |           | Project No.<br>2042 |
| Checked:   |           | Date:<br>04.23.21   |
| Scale: 1" = 1'-0"  |           |                     |
| Drawing Title:<br>LIVING ROOM<br>EXISTING WINDOW<br>CONDITIONS |           |                     |
| Sheet No.<br><br>A1.7  |           |                     |





08 | BATHROOM WINDOW  
Facing Courtyard



Notes: We believe this window is the closest to an "Original Window" in dimensions.

Rehabilitation of the existing window sashes only, does not address the condition of the window frame or preventative

This window has had individual parts replaced over the years as can be seen

sions; as well as whole Sashes have been replaced. Note, upper Sash has 3/4 inch Muntins and lower Sash has 1 inch Muntins.

over water damaged wood, typical.



Window glass appears to be a standard glass, not milk,

been measured and observed within this window.



Window has a wider center muntin than all other windows we believe this is the "Original"



PRELIMINARY  
NOT FOR  
CONSTRUCTION

MOORE-EVANS RESIDENCE, UNIT 2  
222 Beauregard San Antonio Texas 78209

| No.   | Rev. Date:          |
|---|---------------------|
|   |                     |
| Drawn:<br>AMBT  | Project No.<br>2042 |
| Checked:  | Date:<br>04.23.21   |
| Scale: 1" = 1'-0"   |                     |
| Drawing Title:<br>BATHROOM<br>EXISTING WINDOW<br>CONDITIONS |                     |
| Sheet No.   |                     |

A1.8





Images of the windows starting at the corner of Beauregard St and Madison. As can be seen, many of the windows have not been maintained properly over the years. - co in many areas. The Residence renovation is in Unit 2; 2nd Floor Apartment (directly above thee 222 plaque. Window 2, with missing Rail overlooks this sidewalk.



We would like to install a full frame replacement window that closely matches the original and the other Unit windows. Pictures are taken to the End Unit on Beauregard St.





Images of the windows starting at the corner of Beauregard St and Madison; while walking down Madion Street.



Typical Window condition, extensive water damage and aging has occurred.

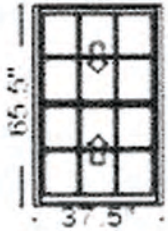




# Pella® Reserve™ Traditional Hung Window

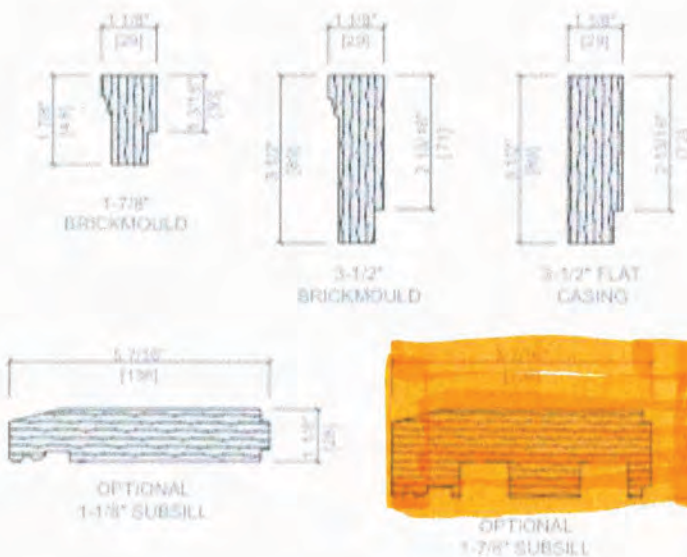
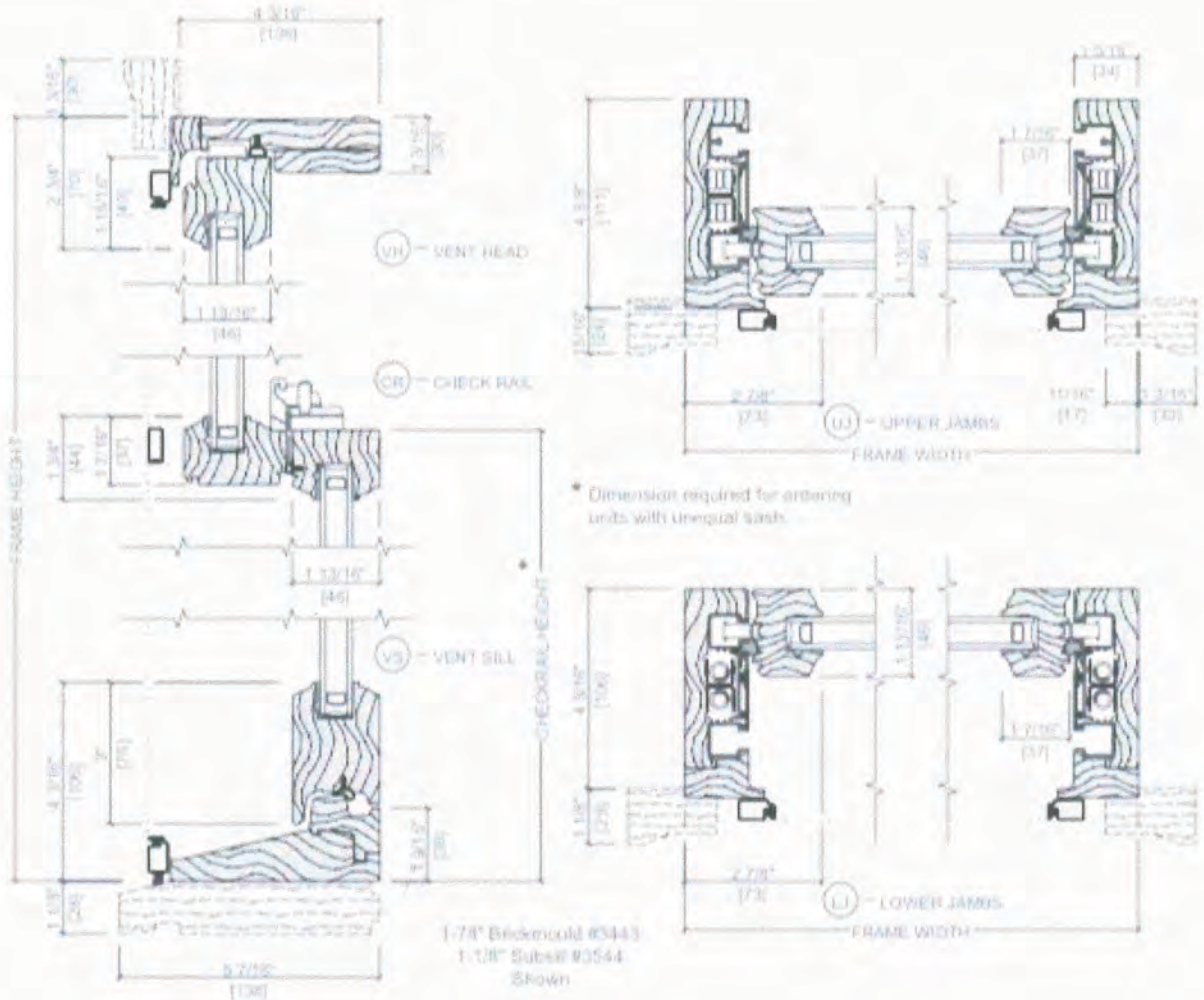
Option #1

## Unit Sections - Wood Exterior Putty Glaze Exterior Profile



Viewed From Exterior

Pella Reserve  
Traditional  
Double Hung  
(sim. to existing)



Preferred Option: Brickmould profile in other units from previous renovations.

Scale 3/4" = 1'-0"

All dimensions are approximate



## Pella® Reserve – Traditional Double-Hung Windows

### Aluminum EnduraClad® Exterior

#### Detailed Product Description

##### Frame

---

- Select softwood, immersion treated with Pella's EnduraGuard® wood protection formula in accordance with WDMA I.S.-4. The EnduraGuard formula includes three active ingredients for protection against the effects of moisture, decay, stains from mold and mildew. Plus, an additional ingredient adds protection against termite damage.
- Interior exposed surfaces are [clear pine] [mahogany] [douglas fir].
- Exterior surfaces are clad with aluminum.
- Components are assembled with screws, staples and concealed corner locks.
- Overall frame depth is 5" (127mm) for a wall depth of 3-11/16" (94mm).
- Optional factory applied jamb extensions available between 3-13/16" (97mm) and 9-3/16" (233mm).
- Vinyl jamb liner with wood / clad inserts.
- Optional factory installed fold-out installation fins with flexible fin corners.
- Optional factory-applied EnduraClad® exterior trim.

##### Sash

---

- Select softwood, immersion treated with Pella's EnduraGuard® wood protection formula in accordance with WDMA I.S.-4. The EnduraGuard formula includes three active ingredients for protection against the effects of moisture, decay, stains from mold and mildew. Plus, an additional ingredient adds protection against termite damage.
- Interior exposed surfaces are [clear pine] [mahogany] [douglas fir]. Any curved member may have visible finger-jointed surfaces.
- Exterior surfaces are clad with extruded aluminum butt-jointed at all corners of the sash with through-stile construction and sealed.
- Corners mortised and tenoned, glued and secured with metal fasteners.
- Sash thickness is 1-7/8" (47mm).
- Double-Hung: Upper sash has surface-mounted wash locks for easy tilt-in cleaning] [Single-Hung: Fixed upper sash has surface-mounted wash locks] [Arch Head units have no wash locks].
- Lower sash has concealed wash locks in lower check rail allowing sash to tilt in for easy cleaning.
- Simulated-Hung units have non-operable upper and lower sashes.
- Sash exterior profile is [ogee] [putty glaze], interior profile is ogee.

##### Weatherstripping

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- Water-stop santoprene-wrapped foam at head and sill.
- Thermoplastic elastomer bulb with slip-coating set into lower sash for tight contact at check rail.
- Vinyl-wrapped foam inserted into jamb liner to seal against sides of sash.

##### Glazing System

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- Quality float glass complying with ASTM C 1036.
- Custom and high altitude glazing available.
- Silicone-glazed dual-pane 13/16" dual-seal insulating glass [[annealed] [tempered]], [[clear] [[Advanced Low-E] [SunDefense™ Low-E] [NaturalSun Low-E] [AdvancedComfort Low-E] with argon]] [[bronze] [gray] [green] Advanced Low-E [with Argon]] [obscure] [Reflective Bronze].  
-or-
- Silicone-glazed dual-pane 13/16" dual-seal [[annealed] [tempered]] non-impact laminated glass [[clear] [[Advanced Low-E] [SunDefense Low-E] with Argon]] [[bronze] [gray] [green] Advanced Low-E [with argon]].

##### Exterior

---

- Aluminum-clad exteriors shall be finished with EnduraClad® protective finish, in a multi-step, baked-on finish.
  - Color is [standard] [custom]₁.
- or –
- Aluminum-clad exteriors shall be finished with EnduraClad Plus protective finish with 70% fluoropolymer resin in a multi-step, baked-on finish.
  - Color is [standard] [custom]₁.

##### Interior

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- [Unfinished, ready for site finishing] [factory primed with one coat acrylic latex] [pine: factory prefinished [paint] [stain] ₁].

##### Hardware

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- Galvanized block-and-tackle balances are connected to self-locking balance shoes which are connected to the sashes using zinc die cast terminals and concealed within the frame.
- Sash lock is [standard (cam-action)] [historic spoon-style] [air-conditioner lock] [simulated lock (Single-piece lock ties upper and lower sash together. When removed lower sash becomes operable)]. Two sash locks on units with frame width 37" and greater.
- Optional sash lift furnished for field installation. Two lifts on units with frame width 37" and greater.
- Hardware finish is [baked enamel [Champagne] [White] [Brown] [Matte Black]] [Bright Brass] [Satin Nickel] [Oil-rubbed Bronze] [Antique Brass] [Distressed Bronze] [Distressed Nickel].



## Optional Products

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### Sash

- Exterior sash lugs
  - Optional factory applied accessory. Exterior finish is [Standard<sub>1</sub>] [Custom<sub>1</sub>].

### Grilles

- Integral Light Technology® grilles
  - Interior grilles are [5/8"] [7/8"] [1-1/4"] [2"] ogee profile that are solid [pine] [mahogany] [douglas fir]. Interior surfaces are [unfinished, ready for site finishing] [factory primed] [pine: factory prefinished [paint] [stain] <sub>1</sub>].
  - Exterior grilles are [5/8" putty glaze profile] [7/8" [putty glaze] [ogee] profile] [1-1/4" [putty glaze] [ogee] profile] [2" ogee profile] that are extruded aluminum.
  - Patterns are [Traditional] [Prairie] [Top Row] [New England] [Victorian].
  - Insulating glass contains non-glare spacer between the panes of glass.
  - Grilles are adhered to both sides of the insulating glass with VHB acrylic adhesive tape and aligned with the non-glare spacer.  
– or –
- Grilles-Between-the-Glass<sub>2</sub>
  - Insulating glass contains 3/4" contoured aluminum grilles permanently installed between two panes of glass.
  - Patterns are [Traditional] [9-Lite Prairie] [Cross] [Top Row]
  - Interior color is [White] [Tan<sub>3</sub>] [Brown<sub>3</sub>] [Putty<sub>3</sub>] [Black] [Morning Sky Gray] [Ivory] [Sand Dune] [Harvest] [Cordovan] [Brickstone].
  - Exterior color<sub>4</sub> is [standard<sub>1</sub>].  
– or –
- Roomside Removable grilles
  - [[3/4"] [1-1/4"] [2"] traditional] [[1-1/4"] [2"] colonial] profile, with [Traditional] [Prairie] patterns that are removable solid pine wood bars steel-pinned at joints and fitted to sash with steel clips and tacks.
  - Interior [unfinished, ready for site finishing] [factory primed] [pine: factory prefinished [paint] [stain] <sub>1</sub>].
  - Exterior [unfinished, ready for site finishing] [factory primed] [finish color matched to exterior cladding<sub>4</sub>].

### Screens

- Integrated Rolscreen® (for rectangular units only)<sub>6</sub>
  - Retractable screen integrated into [lower sash] [both upper and lower sash]. Screen rollers are fixed and concealed within the frame, screen is held to the sash by magnets which release when the bottom sash is tilted for cleaning, and when the upper sash is opened past 18".
  - InView Screen cloth, black vinyl-coated 18/18 mesh fiberglass screen cloth complying with ASTM D 3656 and the performance requirements of SMA 1201.  
– or –
- InView™ screens
  - [Half-Size] [Full-Size<sub>4</sub>] black vinyl-coated 18/18 mesh fiberglass screen cloth complying with the performance requirements of SMA 1201, set in a [standard roll-form] [premium extruded] aluminum frame fitted to outside of window, supplied complete with all necessary hardware.
  - Full screen spreader bar placed on units > 37" width or > 65" height.
  - Screen frame finish is [standard screen: baked enamel] [premium extruded: [baked enamel] [anodized]], color to match window cladding.  
– or –
- Vivid View® screens<sub>7</sub>
  - [Half-Size] [Full-Size] PVDF 21 / 17 mesh, minimum 78 percent light transmissive screen, set in a [standard roll-form] [premium extruded] aluminum frame fitted to outside of window, supplied complete with all necessary hardware.
  - Full screen spreader bar placed on units > 37" width or > 65" height.
  - Screen frame finish is [standard screen: baked enamel] [premium extruded: [baked enamel] [anodized]], color to match window cladding.

### Hardware

- Optional factory applied limited opening device available for vent units in stainless steel; nominal 3-3/4" opening. Limiting device concealed from view.
- Optional factory applied window opening control device. Device allows window to open less than 4" with normal operation, with a release mechanism that allows the sash to open completely. Complies with ASTM F2090-10.

### Sensors

- Optional factory installed integrated security sensors available in vent units.

(1) Contact your local Pella sales representative for current designs and color options.

(2) Available in clear or Low-E insulating glass only.

(3) Tan, Brown and Putty Interior GBG colors are available in single-tone (Brown/Brown, Tan/Tan or Putty/Putty). Other interior colors are also available with Tan or Brown exterior.

(4) Appearance of exterior grille color will vary depending on Low-E coating on glass.

(5) Full screens are available on units ≤ 96" height.

(6) Integrated Rolscreen only available on sizes ≥ 34" tall and 21" wide, and ≤ 84" tall and 48" wide.

(7) Vivid View screen is not available when frame height is > 84" or when both frame width and frame height are > 48".









Brick mold Profile

6" Between Windows

222



April 19, 2021 at 9:07 AM  
237 Madison St  
San Antonio TX 78204  
United States





April 19, 2021 at 9:07 AM  
243 Madison St  
San Antonio TX 78204  
United States





April 19, 2021 at 9:08 AM  
228-298 Beauregard  
San Antonio TX 78204  
United States





April 19, 2021 at 9:08 AM  
222 Beauregard  
San Antonio TX 78204  
United States





April 19, 2021 at 9:08 AM  
222 Beauregard  
San Antonio TX 78204  
United States





April 19, 2021 at 9:09 AM  
222 Beauregard  
San Antonio TX 78204  
United States





April 19, 2021 at 9:09 AM  
222 Beauregard  
San Antonio TX 78204  
United States





April 19, 2021 at 9:09 AM  
222 Beauregard  
San Antonio TX 78204  
United States





April 19, 2021 at 9:09 AM  
222 Beauregard  
San Antonio TX 78204  
United States





April 19, 2021 at 9:10 AM  
305 Madison St  
San Antonio TX 78204  
United States





April 19, 2021 at 9:10 AM  
222 Beauregard  
San Antonio TX 78204  
United States





April 19, 2021 at 9:13 AM  
305 Madison St  
San Antonio TX 78204  
United States





April 19, 2021 at 9:13 AM  
305 Madison St  
San Antonio TX 78204  
United States





April 19, 2021 at 9:14 AM  
222 Beauregard  
San Antonio TX 78204  
United States





April 19, 2021 at 9:18 AM  
300-398 Beauregard  
San Antonio TX 78204  
United States





April 19, 2021 at 9:18 AM  
305 Madison St  
San Antonio TX 78204  
United States





April 19, 2021 at 9:18 AM  
305 Madison St  
San Antonio TX 78204  
United States





April 19, 2021 at 9:18 AM  
222 Beauregard  
San Antonio TX 78204  
United States





April 19, 2021 at 9:19 AM  
222 Beauregard  
San Antonio TX 78204  
United States





April 19, 2021 at 9:19 AM  
222 Beauregard  
San Antonio TX 78204  
United States





April 19, 2021 at 9:19 AM  
222 Beauregard  
San Antonio TX 78204  
United States





April 19, 2021 at 9:20 AM  
222 Beauregard  
San Antonio TX 78204  
United States

