HISTORIC AND DESIGN REVIEW COMMISSION

June 01, 2016

Agenda Item No: 18

HDRC CASE NO:	**2016-049**
ADDRESS:	810 N OLIVE ST
LEGAL DESCRIPTION:	NCB 540 BLK 11 LOT A-13 & A-14
ZONING:	RM4 H
CITY COUNCIL DIST.:	2
DISTRICT:	Dignowity Hill Historic District
APPLICANT:	Porter Dillard/Dillard Architect Group
OWNER:	Stephen Green
TYPE OF WORK:	Finall Approval for New Construction

REQUEST:

The applicant is requesting a Certificate of Appropriateness to construct three attached, two story units with two car garages on the vacant lot at 810 N Olive. The applicant has proposed materials consisting of brick, fiber cement board siding, vinyl windows with wood screens and a composition shingle roof.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 4, Guidelines for New Construction

1. Building and Entrance Orientation

A. FAÇADE ORIENTATION
i. *Setback*s—Align front facades of new buildings with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Use the median setback of buildings along the street frontage where a variety of setbacks exist. Refer to UDC Article 3, Division 2. Base Zoning Districts for applicable setback requirements.
ii. *Orientation*—Orient the front façade of new buildings to be consistent with the predominant orientation of historic buildings along the street frontage.

B. ENTRANCES
i. *Orientation*—Orient primary building entrances, porches, and landings to be consistent with those historically found along the street frontage. Typically, historic building entrances are oriented towards the primary street.

2. Building Massing and Form

A. SCALE AND MASS
i. *Similar height and scale*—Design new construction so that its height and overall scale are consistent with nearby historic buildings. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. In commercial districts, building height shall conform to the established pattern. If there is no more than a 50% variation in the scale of buildings on the adjacent block faces, then the height of the new building shall not exceed the tallest building on the adjacent block face by more than 10%.
ii. *Transitions*—Utilize step-downs in building height , wall-plane offsets, and other variations in building massing to provide a visual transition when the height of new construction exceeds that of adjacent historic buildings by more than one-half story.
iii. *Foundation and floor heights*—Align foundation and floor-to-floor heights (including porches and balconies) within one foot of floor-to-floor heights on adjacent historic structures.

B. ROOF FORM
i. *Similar roof forms*—Incorporate roof forms—pitch, overhangs, and orientation—that are consistent with those predominantly found on the block. Roof forms on residential building types are typically sloped, while roof forms on nonresidential

building types are more typically flat and screened by an ornamental parapet wall.

C. RELATIONSHIP OF SOLIDS TO VOIDS
i. *Window and door openings*—Incorporate window and door openings with a similar proportion of wall to window space as typical with nearby historic facades. Windows, doors, porches, entryways, dormers, bays, and pediments shall be considered similar if they are no larger than 25% in size and vary no more than 10% in height to width ratio from adjacent historic facades.
ii. *Façade configuration*— The primary façade of new commercial buildings should be in keeping with established patterns. Maintaining horizontal elements within adjacent cap, middle, and base precedents will establish a consistent street wall through the alignment of horizontal parts. Avoid blank walls, particularly on elevations visible from the street. No new façade should exceed 40 linear feet without being penetrated by windows, entryways, or other defined bays.

D. LOT COVERAGE
i. *Building to lot ratio*— New construction should be consistent with adjacent historic buildings in terms of the building to lot ratio. Limit the building footprint for new construction to no more than 50 percent of the total lot area, unless adjacent historic buildings establish a precedent with a greater building to lot ratio.

3. Materials and Textures

A. NEW MATERIALS
i. *Complementary materials*—Use materials that complement the type, color, and texture of materials traditionally found in the district. Materials should not be so dissimilar as to distract from the historic interpretation of the district. For example, corrugated metal siding would not be appropriate for a new structure in a district comprised of homes with wood siding.
ii. *Alternative use of traditional materials*—Consider using traditional materials, such as wood siding, in a new way to provide visual interest in new construction while still ensuring compatibility.
iii. Roof materials—Select roof materials that are similar in terms of form, color, and texture to traditionally used in the district.
iv. *Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alterations and Maintenance section for additional specifications regarding metal roofs.
v. *Imitation or synthetic materials*—Do not use vinyl siding, plastic, or corrugated metal sheeting. Contemporary materials not traditionally used in the district, such as brick or simulated stone veneer and Hardie Board or other fiberboard siding, may be appropriate for new construction in some locations as long as new materials are visually similar to the traditional material in dimension, finish, and texture. EIFS is not recommended as a substitute for actual stucco.

B. REUSE OF HISTORIC MATERIALS
i. *Salvaged materials*—Incorporate salvaged historic materials where possible within the context of the overall design of the new structure.

4. Architectural Details

A. GENERAL
i. *Historic context*—Design new buildings to reflect their time while respecting the historic context. While new construction should not attempt to mirror or replicate historic features, new structures should not be so dissimilar as to distract from or diminish the historic interpretation of the district.
ii. *Architectural details*—Incorporate architectural details that are in keeping with the predominant architectural style along the block face or within the district when one exists. Details should be simple in design and should complement, but not visually compete with, the character of the adjacent historic structures or other historic structures within the district. Architectural details that are more ornate or elaborate than those found within the district are inappropriate.
iii. *Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for new construction. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the structure is new. Modern materials should be implemented in a way that does not distract from the historic structure.

6. Mechanical Equipment and Roof Appurtenances

A. LOCATION AND SITING
i. *Visibility*—Do not locate utility boxes, air conditioners, rooftop mechanical equipment, skylights, satellite dishes, and other roof appurtenances on primary facades, front-facing roof slopes, in front yards, or in other locations that are clearly visible from the public right-of-way.
ii. *Service Areas*—Locate service areas towards the rear of the site to minimize visibility from the public right-of-way.

B. SCREENING
i. *Building-mounted equipment*—Paint devices mounted on secondary facades and other exposed hardware, frames, and piping to match the color scheme of the primary structure or screen them with landscaping.
ii. *Freestanding equipment*—Screen service areas, air conditioning units, and other mechanical equipment from public view using a fence, hedge, or other enclosure.
iii. *Roof-mounted equipment*—Screen and set back devices mounted on the roof to avoid view from public right-of-way.

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

2. Fences and Walls

B. NEW FENCES AND WALLS
i. *Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.
ii. *Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.
iii. *Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.
iv. *Prohibited materials*—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.
v. *Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

3. Landscape Design

A. PLANTINGS
i. *Historic Gardens*— Maintain front yard gardens when appropriate within a specific historic district.
ii. *Historic Lawns*—Do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%.
iii. *Native xeric plant materials*—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light requirements as those being replaced.
iv. *Plant palettes*—If a varied plant palette is used, incorporate species of taller heights, such informal elements should be restrained to small areas of the front yard or to the rear or side yard so as not to obstruct views of or otherwise distract

from the historic structure.
v. *Maintenance*—Maintain existing landscape features. Do not introduce landscape elements that will obscure the historic structure or are located as to retain moisture on walls or foundations (e.g., dense foundation plantings or vines) or as to cause damage.

B. ROCKS OR HARDSCAPE
i. *Impervious surfaces* —Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.
ii. *Pervious and semi-pervious surfaces*—New pervious hardscapes should be limited to areas that are not highly visible, and should not be used as wholesale replacement for plantings. If used, small plantings should be incorporated into the design.
iii. *Rock mulch and gravel* - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

4. Residential Streetscapes

A. PLANTING STRIPS
i. *Street trees*—Protect and encourage healthy street trees in planting strips. Replace damaged or dead trees with trees of a similar species, size, and growth habit as recommended by the City Arborist.
ii. *Lawns*— Maintain the use of traditional lawn in planting strips or low plantings where a consistent pattern has been retained along the block frontage. If mulch or gravel beds are used, low-growing plantings should be incorporated into the design.
iii. *Alternative materials*—Do not introduce impervious hardscape, raised planting beds, or other materials into planting strips where they were not historically found.

5. Sidewalks, Walkways, Driveways, and Curbing

A. SIDEWALKS AND WALKWAYS
i. *Maintenance*—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.
ii. *Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.
iii. *Width and alignment*— Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.
iv. *Stamped concrete*—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.
v. *ADA compliance*—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

B. DRIVEWAYS
i. *Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.
ii. *Curb cuts and ramps*—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

C. CURBING
i. *Historic curbing*—Retain historic curbing wherever possible. Historic curbing in San Antonio is typically constructed of concrete with a curved or angular profile.
ii. *Replacement curbing*—Replace curbing in-kind when deteriorated beyond repair. Where in-kind replacement is not be feasible, use a comparable substitute that duplicates the color, texture, durability, and profile of the original. Retaining walls and curbing should not be added to the sidewalk design unless absolutely necessary.

FINDINGS:

a. The request for conceptual approval of the construction of three attached, two story units at 810 N Olive was reviewed by the Design Review Committee on June 23, 2015. At that meeting, committee members recommended that the applicant provide more information regarding materials, site design, porch and column detailing and window and door specifications. Office of Historic Preservation staff found that the proposed new construction featured many inconsistencies with the Guidelines for New Construction and recommended this project take advantage of the suggestions of the Design Review Committee.
b. The request for conceptual approval was heard by the Historic and Design Review Commission on August 5, 2015, where it was referred to the Design Review Committee. Staff's recommendation at that time was for denial of conceptual approval due to the applicant's inappropriate massing, lack of visual transitions, lack of information regarding the location and screening of mechanical equipment and the inappropriate garage doors. At the August 25, 2015, meeting of the Design Review Committee, committee members noted that the revisions to the design were appropriate.
c. The request for conceptual approval was heard by the Historic and Design Review Commission on October 7, 2015, where committee members referred it to the Design Review Committee. At the time of this hearing, the Office of Historic Preservation's recommendation was for denial of conceptual approval due to inconsistencies with the Guidelines for New Construction including the proposed width, lack of information regarding an appropriate setback, the lack of appropriate window materials and the lack of appropriate garage door materials.
d. This request was reviewed by the Design Review Committee on October 12, 2015, where committee members noted that the proposed arches were inappropriate, that the applicant should devote more time to the presentation of application documents and that the applicant should produce better renderings.
e. The request was reviewed by the Design Review Committee on January 26, 2016. At that meeting, committee members expressed concerns regarding the installation of vinyl windows and the Neoclassical scaling.
f. At the February 3, 2016, Historic and Design Review Commission hearing, this project received conceptual approval with the stipulation that the applicant consider using alternative materials in order to separate the facades massing prior to returning for final approval. At the time of conceptual approval, the Office of Preservation's recommendation was for denial of conceptual approval due to the applicant's inappropriate massing and orientation.
g. The request for final approval was reviewed by the Design Review Committee on April 13, 2016, where committee members noted that additional elements should be incorporated into overall porch design of the middle unit.
h. The request for final approval was reviewed a second time by the Design Review Committee on May 24, 2016. At that meeting where committee members noted that the proposed massing was problematic and had questions regarding landscaping.
i. The applicant's proposed massing, architectural details and window materials have remained inconsistent throughout multiple Design Review Commission meetings and HDRC hearing. Office of Historic Preservation staff has noted that the proposed massing is not appropriate for the historic context found on N Olive Street, the Dignowity Hill Historic District nor the Historic Design Guidelines. The lack of modification to the design of the proposed new construction has resulted in multiple DRC meetings and HDRC hearings.
j. SETBACKS – According to the Guidelines for New Construction 1.A.i., the front facades of new buildings should be aligned with the front facades of adjacent buildings where a consistent setback has been established along the street frontage. If no consistent setback has been established, the median setback of all buildings should be used. The applicant has provided a site plan noting a proposed setback of approximately thirty-five (35) feet, however, has not provided a diagram that gives precedent for the proposed setback of thirty-five (35) feet. Staff recommends the applicant provide additional information in regards to the appropriateness of the proposed setback.
k. ORIENTATION – The front façade of new construction should be oriented in a manner that is consistent with the historic example of the block. This block of N Olive features three historic structures which feature orientations toward N Olive. The applicant has proposed to orient the new construction toward N Olive, consistent with the historic example and the Guidelines for New Construction 1.A.ii.
l. FRONT PORCH – Many historic structures feature front porches that are the primary points of entrance. Additionally, front porches of historic structures typically cover the length of at least half of the front façade. The applicant has proposed for the structure to feature a front porch that extends toward the public right of way as well

as two small ground level covered patio areas. Above the proposed ground level covered patio areas, the applicant has proposed two balconies featuring a width comparable to that of the middle unit. Historic structures generally feature massing that's hierarchal; larger porches are featured at the first level while smaller porches are above them, or both levels features porches of the same size. Staff finds the applicant's proposed porch massing and configuration inappropriate.

m. SCALE & MASS – Per the Guidelines for New Construction 2.A.i., a height and massing similar to historic structures in the vicinity of the proposed new construction should be used. This block of N Olive features three structures that are oriented toward N Olive as the applicant has proposed that feature one story in height and average widths of approximately thirty (30) feet. The applicant has proposed a two (2) story structure with a width of seventy-nine (79) feet. This is not consistent with the historic example found on N Olive nor is it consistent with the Guidelines for New Construction. Given the number of two story structures in the district, a two story structure may be appropriate but the proportion of height to width should more accurately reflect the historic precedents in the neighborhood. The proportion of height to width is inappropriate to district and inconsistent with the character of the neighborhood.

n. TRANSITIONS – Step downs in building height should be utilized to transition from the height of the proposed new construction to the single story height of neighboring structures. As previously mentioned, each structure located on this block of N Olive features heights of one story. The applicant has not proposed any variation in height or massing to facilitate a transition from the height of the proposed new construction to the height of the neighboring historic structures. This is not consistent with the Guidelines.

o. FOUNDATION & FLOOR HEIGHTS – According to the Guidelines for New Construction 2.A.iii., foundation and floor heights should be aligned within one (1) foot of those of neighboring structures. The applicant has proposed foundation heights that appear to be approximately one (1) foot in height as well as a first floor that features ten (10) feet in height and a second floor that features nine (9) feet in height. Staff recommends the applicant provide an elevation of the proposed new construction on context with neighboring structures to show consistency in the proposed foundation and floor heights.

p. ROOF FORM – The applicant has proposed for the new construction to feature a front gable roof at the overhang of the middle unit's porch as well as side gables on the north and south facades. The applicant's proposed roof forms are consistent with the Guidelines for New Construction 2.B.i.

q. WINDOW & DOOR OPENINGS – The applicant has proposed window and door openings that generally are appropriately scaled and are comparable to the historic examples found throughout the Dignowity Hill Historic District. While staff finds the applicant's proposed openings appropriate, staff finds the proposal to use vinyl windows inappropriate and inconsistent with the Guidelines for New Construction. Staff recommends the applicant install windows that are appropriate for new construction in a historic district. The use of wood screens is not an appropriate alternative for using vinyl windows.

r. LOT COVERAGE – The building footprint for new construction should be no more than fifty (50) percent of the size of total lot area. The applicant's proposed building footprint is consistent with the Guidelines for New Construction 2.D.i.

s. MATERIALS – In regards to materials, the applicant has proposed brick, fiber cement board siding and trim, a composition shingle roof, wood railing, wood columns and wood fascias and soffits. Staff finds these previously mentioned materials appropriate.

t. WINDOW & DOOR MATERIALS – As previously mentioned, staff does find the applicant's proposed window materials neither appropriate nor consistent with the Guidelines. Additionally, staff recommends the applicant provide information regarding materials for both the pedestrian doors and the overhead rolling garage doors.

u. ARCHITECTURAL DETAILS – The applicant has proposed architectural details that staff finds to be inappropriate for the proposed setting in the Dignowity Hill Historic District. The applicant's proposed massing and overall width have resulted in architectural components that are not typical to historic districts nor hold appropriate ratios. Staff finds that the applicant's proposed porch configuration, column proportions and side gable widths are not appropriate.

v. ARCHITECTURAL DETAILS – Staff finds that a reduction in mass to one that's comparable to the historic example would facilitate more appropriate architectural details. This particular lot features depth than many lots in the immediate area do not. Staff finds that a rotation of the structure's footprint would provide a more appropriate mass fronting the public right of way as well as provide traditional widths which would promote appropriate details.

w. GARAGE – At the rear of the proposed new construction, the applicant has proposed for each unit to feature a

garage to accommodate parking for two (2) vehicles. Staff finds the applicant's proposed location for parking appropriate. The applicant has proposed garage door which in elevation share an appearance to traditional carriage doors. Staff recommends the applicant provide additional information in regards to the proposed garage doors.

x. MECHANICAL EQUIPMENT – The applicant has noted that HVAC equipment will be located at the rear of the proposed new construction. Staff finds this placement appropriate and consistent with the Guidelines, however, staff recommends the applicant provide additional information regarding the additional screening and enclosing of the HVAC equipment.

y. SIDEWALKS – The applicant has proposed to install three front sidewalks to connect the front stoops of each unit to the existing sidewalk at the public right of way. According to the Guidelines for Site Elements 5.A.iii., the historic alignment, configuration and width of sidewalks and walkways should be implemented into new construction. The historic example throughout the Dignowity Hill Historic District is for one sidewalk to service each structure. The applicant's proposed sidewalks are not consistent with the Guidelines. Staff recommends the applicant keep the proposed center sidewalk and establish on site paths to the two exterior stoops.

z. SITE PAVING – According to the Guidelines for Site Elements 3.B.i., large pavers, asphalt or other impervious surfaces should not be introduced where not historically located. Staff finds the applicant's proposal to install asphalt paving at the rear of the proposed structure inappropriate and inconsistent with the Guidelines. Staff recommends the applicant use pervious ground cover such as decomposed granite.

aa. DRIVEWAY – The applicant has proposed to maintain the existing driveway as it currently exists. Staff finds this proposal appropriate and consistent with the Guidelines for Site Elements.

bb. LANDSCAPING – The applicant has provided a landscaping plan noting a number of plant materials that are to be installed on both the east and west sides of the proposed new construction. Staff finds the applicant's proposed landscaping design appropriate.

RECOMMENDATION:

Staff does not recommend final approval based on findings g through y. Staff recommends the applicant address the following:

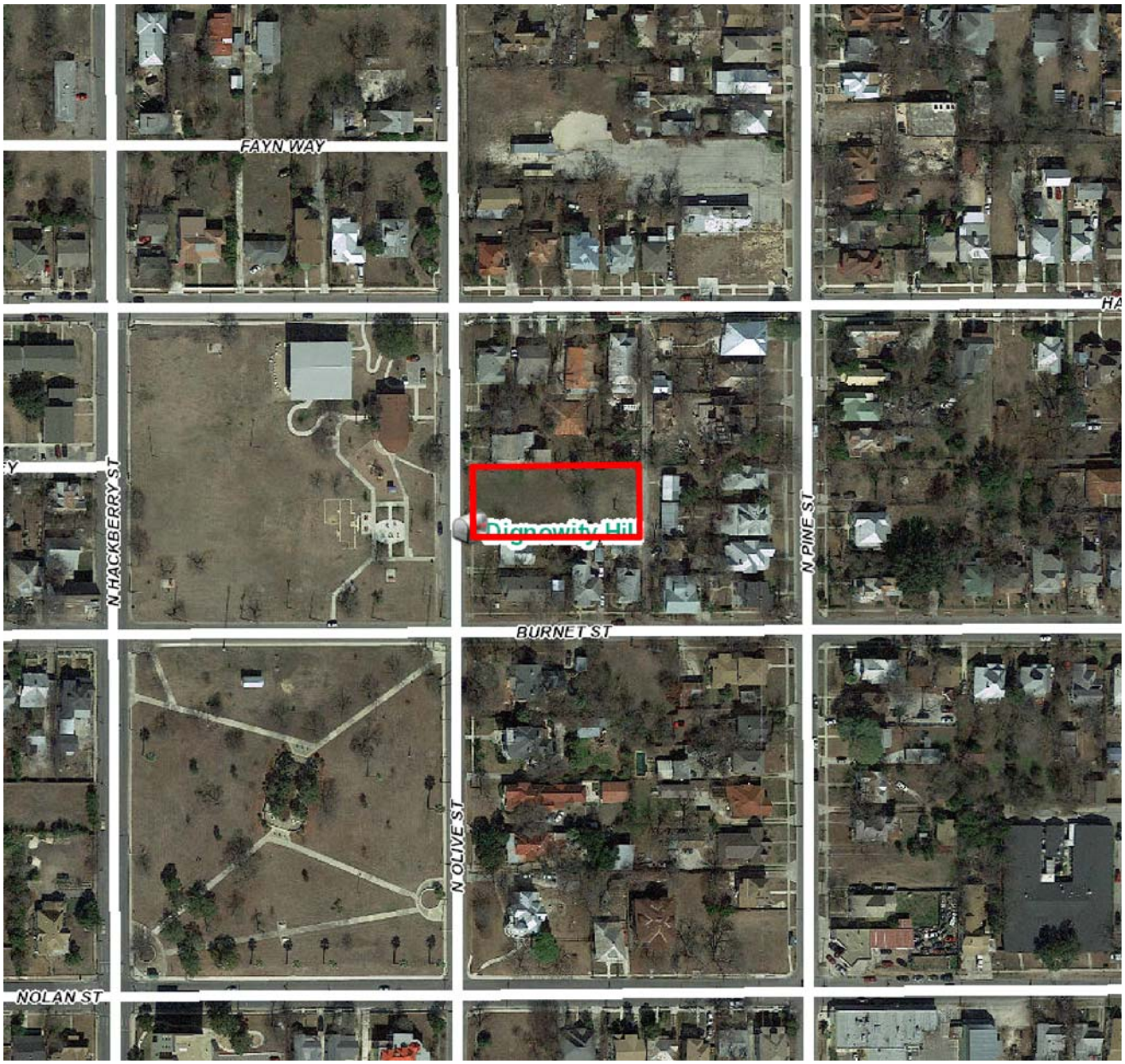
1. The applicant should provide information to staff noting that an appropriate and consistent setback has been proposed as noted in finding j.
2. The applicant should propose front porch massing that is architecturally appropriate as noted in finding l.
3. The applicant should propose an appropriate scale and mass, specifically in regards to the proposed width and height as noted in finding m.
4. The applicant should incorporate an architectural transition that relates to the neighboring structures as noted in finding n.
5. The applicant should provide information to staff in regards to the proposed foundation and floor heights as they relate to the historic heights of the neighboring structures as noted in finding o.
6. The applicant should propose windows that are appropriate for a historic district and consistent with the Guidelines as noted in findings q and t.
7. The applicant should provide additional information in regards to proposed pedestrian and garage door materials as noted in finding t.
8. The applicant should provide additional information in regards to the screening of mechanical equipment as noted in finding x.
9. The applicant should propose an appropriate sidewalk configuration on site as noted in finding y.
10. The applicant should propose an appropriate site paving material at the rear of the proposed new construction as noted in finding z.

CASE MANAGER:

Edward Hall

CASE COMMENTS:

This item was reviewed by the Design Review Committee on June 23, 2015; August 25, 2015; October, 14, 2015; January 26, 2016; April 13, 2016, and May 24, 2016.



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Printed:May 23, 2016


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Hays St
Burnet St
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Lockwood Center
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Fayn Way
Dignowity Park
Hays St
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CONTINUATION OF APPLICATION PROJECT DESCRIPTION

Excerpt From HDRC Letter of Conceptual Approval

HISTORIC AND DESIGN REVIEW COMMISSION
COMMISSION ACTION
This is not a Certificate of Appropriateness and cannot be used to acquire permits
February 3, 2016
HDRC CASE NO: 2016-049
ADDRESS: 810 N OLIVE ST
LEGAL DESCRIPTION: NCB 540 BLK 11 LOT A-13 & A-14
HISTORIC DISTRICT: Dignowity Hill
APPLICANT: Porter Dillard/Dillard Architect Group - 708 Rigsby
OWNER: Stephen Green - 2810 Lake Crystal St
TYPE OF WORK: New construction

RECOMMENDATION:
Staff does not recommend conceptual approval. Staff finds that the applicant should address the proposed massing and width as noted in finding h.

COMMISSION ACTION:
Approved with stipulations: consider alternating materials in order to help break up the massing before returning for final approval.

APPLICANTS RESPONSE TO HDRC CONCEPTUAL APPROVAL:

Based on HDRC Conceptual Approval, applicant proceeded with documents for final approval. Applicant made adjustments to the approved Conceptual Design incorporating adjustments to the 2nd floor porches to impact the massing issues referenced in Staff's Comments item h. The results of the changes created a reduction in the overall mass. The applicant met with HDRC Architectural Design Committee on April 13, 2016, presenting the revised massing conditions. Members of the committee suggested additional elements with the in-corporation of masonry columns at the porch of the middle unit. The felt that this worked well with the overall concept and is reflected on the final submission for Full Approval..

GREEN TOWNHOUSE

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SAN ANTONIO, TX 78202

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Drawing Index

Code Information

PURPOSE:	RESIDENTIAL
CODE:	INTERNATIONAL RESIDENTIAL CODE 2015
FLOOR AREA:	8750 SF
BUILDING USE:	RESIDENTIAL
FIRE SUPPRESSION:	NO
ACTUAL HEIGHT:	30'-0"
STORIES:	TWO
DESIGN LOADS:	SLEEPING ROOMS 30 PSF ROOMS OTHER THAN SLEEPING 40 PSF ATTICS W/STORAGE 20 PSF DECKS 40 PSF

Site Location Map

LOCATION MAP

NOT TO SCALE

ADDRESS:
810 N. OLIVE ST.
SAN ANTONIO TX. 78202

LEGAL DESCRIPTION
NCB 540 BLK 11, LOT
A-13 & A-14

Drawing Conventions

- PROPERTY LINE
- 65 — NEW CONTOURS
- 75 — EXISTING CONTOURS
- TEST BORING
- AREA DRAIN
- NG — EXISTING ELEVATION
- 100.1 — FINISH GRADE ELEVATION
- NORTH — NORTH SYMBOL
- NO. — COLUMN LINE
- FLOOR 0.00" ELEV — FLOOR LINE
- MATCH LINE
- 4 5 A-7 6 3 — ELEVATION SYMBOL
- 100 — DOOR DESIGNATION
- 101 — WINDOW DESIGNATION
- 3 — PARTITION TYPE
- 3 REVISION NO. — REVISION NUMBER
- 3/A12 — DETAIL ENLARGED
- 3/A12 — PLAN OR DETAIL ENLARGED
- 7/A10 — DETAIL AND VERTICAL SECTIONS
- 6'-0" 4'-0" 10'-0" [10'-0"] — DIMENSIONS all dimensions to face of wall unless otherwise noted
- BRACKETS indicate existing dimensions - contractor to field verify.

Abbreviations

A/C	AIR CONDITIONING
ACP.	ACOUSTICAL PANEL
ACT.	ACOUSTICAL TILE
A.D.	AREA DRAIN
A.D.A.	AMERICANS WITH DISABILITIES ACT (1990)
ADJ.	ADJUSTABLE
A.F.F.	ABOVE FINISH FLOOR
A.F.G.	ABOVE FINISH GRADE
ALUM	ALUMINUM
ALT.	ALTERNATE
∠	ANGLE
ASPH.	ASPHALT
BD.	BOARD
BLDG.	BUILDING
BLK.	BLOCK
BM.	BEAM
B.U.R.	BUILT-UP ROOF
C	CHANNEL
CAB, CABT	CABINET
CFMF	COLD FORMED METAL FRAMING
C.J.	CONTROL JOINT
℄	CENTER LINE
CLG.	CEILING
C.M.U.	CONCRETE MASONRY UNIT
COL.	COLUMN
COMP.	COMPRESSIBLE
CONC.	CONCRETE
COND.	CONDITION
CONT.	CONTINUOUS
CORR.	CORRIDOR
CPT.	CARPET
CT.	CERAMIC TILE
CTSK.	COUNTERSINK
C.W.	COLD WATER
D.F.	DRINKING FOUNTAIN
DIA.	DIAMETER
DIM.	DIMENSION
D.P.	DAMPPROOFING
DTL	DETAIL
D.S.	DOWNSPOUT
DWG.	DRAWING
EA.	EACH
EDF	ELECTRIC DRINKING FOUNTAIN
EL.	ELEVATION (HEIGHT)
ELEC., ELECT	ELECTRICAL
ELEV.	ELEVATION (DRAWING)
E.J.	EXPANSION JOINT
EQ.	EQUAL
EQUIP	EQUIPMENT
EXIST.	EXISTING
EXP.	EXPANSION
EXT.	EXTERIOR
FB.	FACE BRICK
FD.	FLOOR DRAIN
F.E.	FIRE EXTINGUISHER
F.E.C.	FIRE EXTINGUISHER CAB.
F.H.C.	FIRE HOSE CAB.
FIN.	FINISH
FIXT.	FIXTURE
FLR.	FLOOR
FLSHG.	FLASHING
FLUOR	FLUORESCENT
GA.	GAUGE
GALV.	GALVANIZED
G.B.	GRAB BAR
GCMU	GLAZED CONCRETE MASONRY UNIT(S)
GEN.	GENERAL
G.I.	GALVANIZED IRON
GL.	GLASS
GR.	GRADE
GTP	GLAZED TILE PAVER(S)
GYP.	GYPSUM
HC	HANDICAPPED ACCESSIBLE
HGT.	HEIGHT
HORIZ.	HORIZONTAL
HM	HOLLOW METAL FRAME
H.W.	HOT WATER
I.D.	INSIDE DIAMETER
INSUL.	INSULATION
INT.	INTERIOR
I.P.S.	IRON PIPE SIZE
HC	HANDICAPPED ACCESSIBLE
HGT.	HEIGHT
HORIZ.	HORIZONTAL
HM	HOLLOW METAL FRAME
H.W.	HOT WATER
I.D.	INSIDE DIAMETER
INSUL.	INSULATION
INT.	INTERIOR
I.P.S.	IRON PIPE SIZE
JT.	JOINT
LAM.	LAMINATE
LAV.	LAVATORY
L.P.	LIGHTPOLE
LT	LIGHT
LT. WT.	LIGHT WEIGHT
MANUF., MFR.	MANUFACTURER
MAS.	MASONRY
MATL.	MATERIAL
MAX.	MAXIMUM
MB	MARKER BOARD
MECH.	MECHANICAL
MEM. W.P.	MEMBRANE WATERPROOFING
MEP	MECHANICAL, ELECTRICAL & PLUMBING
MEZZ.	MEZZANINE
M.H.	MANHOLE
MIN.	MINIMUM
MISC.	MISCELLANEOUS
M.O.	MASONRY OPENING
MOD.	MODULE
MTL.	METAL
MTP.	METAL TOILET PARTITIONS
N.D.	NAPKIN DISPOSAL
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
N.T.S.	NOT TO SCALE
N.V.	NAPKIN VENDOR
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
O.F.C.I.	OWNER FURNISHED CONTRACTOR INSTALLED
OH.	OPPOSITE HAND
OPNG.	OPENING
OPP.	OPPOSITE
P.C.	PRECAST
P.H.	PAPER HOLDER
PL.	PLATE
P.L.	PROPERTY LINE
PLAS.LAM.	PLASTIC LAMINATE
PLUMB.	PLUMBING
PLWD.	PLYWOOD
POL.	POLISHED
P.P.	POWER POLE
PR.	PAIR
PT.	POINT
PTD.	PAINTED
P.W.B.	PREFINISHED WALL BOARD
QT.	QUARRY TILE
R	RADIUS
RD.	ROOF DRAIN
RE.	REFERENCE
RECP.	RECEPTACLE
REINF.	REINFORCE
RES.	RESILIENT
REQ., REQD.	REQUIRED
REV.	REVISED
RF	RECREATIONAL RESILIENT FLOORING
RPG.	RELOCATABLE PAINTED GYPSUM BOARD
RSS.	ROD STOCK AND SEALANT
SC.	SEALED CONCRETE
SCH., SCHED	SCHEDULE(D)
SCPL.	SOLID CORE PLASTIC LAMINATE
S.D.	SOAP DISPENSER
SEC.	SECTION
SHT.	SHEET
SIM.	SIMILAR
SPC	SPECIAL COATING SYSTEM
SPEC., SPECS.	SPECIFICATIONS
SQ.	SQUARE
SS.	SOUND STRIP
SS, ST. STL.	STAINLESS STEEL
STL.	STEEL
STR.	STRUCTURAL
STRUCT.	STRUCTURAL
SUSP.	SUSPENDED
SVF	SHEET VINYL FLOORING
SVDF	SHEET VINYL DANCE FLOORING
T.B.	TACK BOARD
TEL.	TELEPHONE
TERR.	TERRAZZO
THK.	THICK
T.O.	TOP OF
T.O.B.	TOP OF WOOD BLOCKING
T.O.M.	TOP OF MASONRY
T.O.S.	TOP OF STEEL
T.T.D.	TOILET TISSUE DISPENSER
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
UR.	URINAL
V	VENT
V.C.T.	VINYL COMPOSITION TILE
VENT.	VENTILATING
VER.	VERIFY
VERT.	VERTICAL
V.I.F.	VERIFY IN FIELD
VWC	VINYL WALL COVERING
W/	WITH
W.C.	WATER CLOSET
WD.	WOOD
WDW.	WINDOW
W.P.	WATERPROOFING
W.S.	WEATHERSTRIP
WT.	WEIGHT
W.W.	WATER WELL
W.W.F.	WELDED WIRE FABRIC

Material Conventions

- EARTH FILL
- BRICK
- CONCRETE MASONRY UNIT
- CAST-IN-PLACE CONCRETE
- STEEL
- CERAMIC TILE
- GYPSUM BOARD
- PLASTER
- PLYWOOD
- FINISHED WOOD
- ACOUSTICAL TILE
- RIGID INSULATION
- BATT INSULATION
- WOOD BLOCKING
- WOOD FRAMING

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Seal:

Date

GREEN TOWNHOUSE

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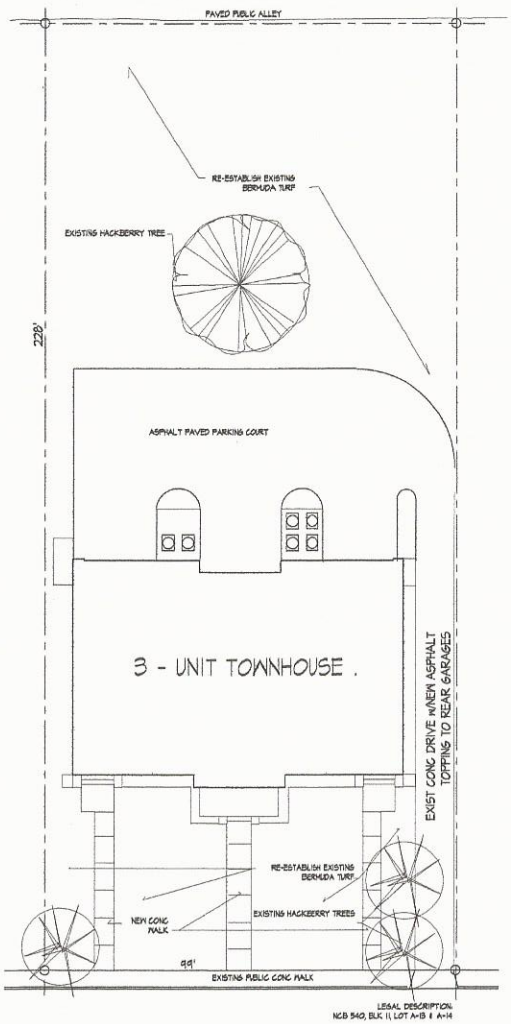
No.:	Revision/Issue:	Date:

Sheet Name:

DRAWING INDEX
CODE REVIEW

Drawn By: JS	Date: 05/10/16	Sheet No.: G-1.0
Checked By:		
Sheet Date:		
Project No.:		Sheets: OF

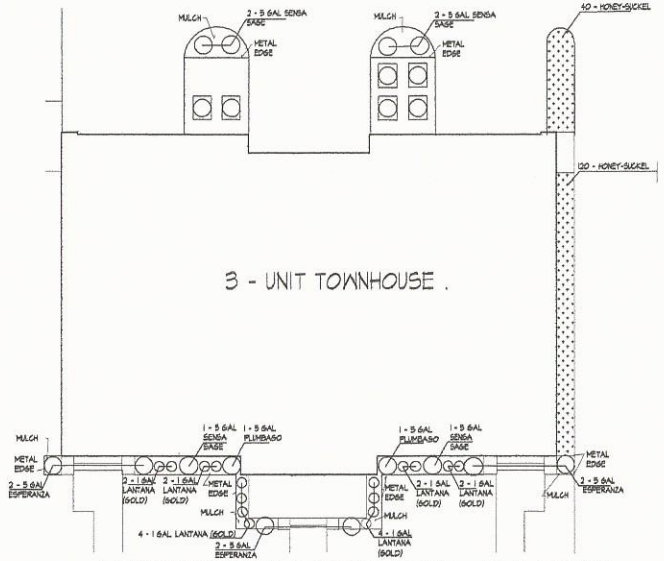


TRUE NORTH

1 SITE LANDSCAPE PLAN

Scale: 1"= 10'-0"

0 5' 20' 60'

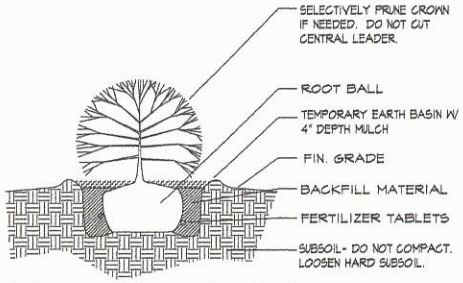


TRUE NORTH

2 LANDSCAPE PLANTING PLAN - ENLARGED

Scale: N.T.S

0 5' 20' 60'



3 SHRUB PLANTING DETAIL

Scale: N.T.S.

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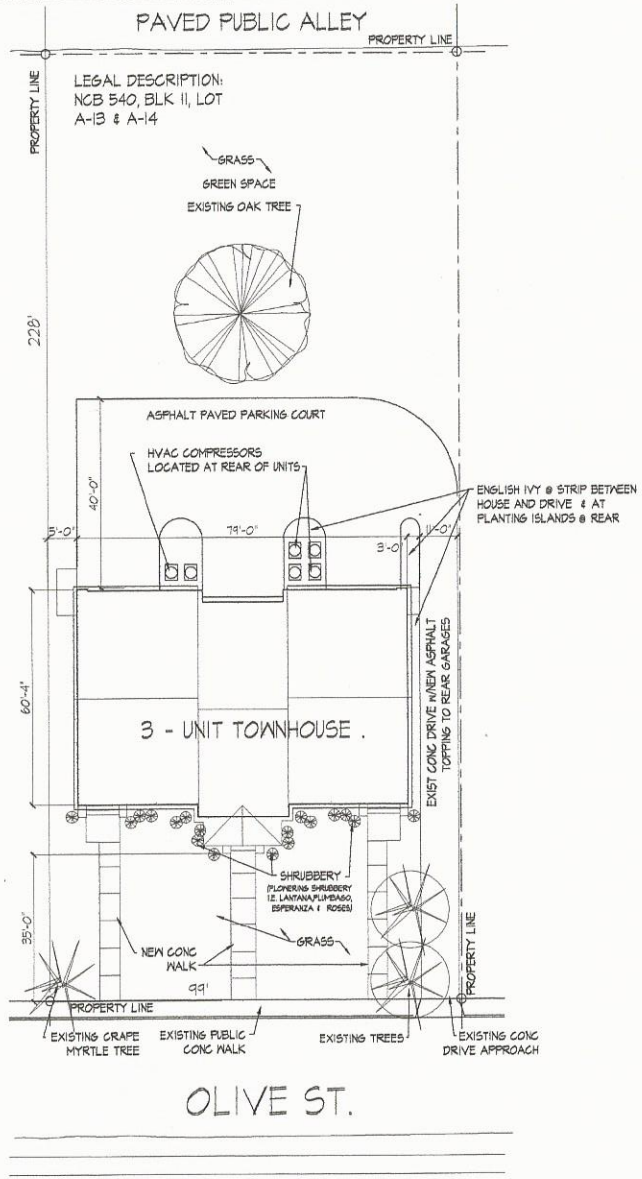
No.:	Revision/Issue:	Date:

Sheet Name:

LANDSCAPE SITE PLAN & DETAILS

Drawn By:	JS	Date: 05/10/16	Sheet No.: L-1.0
Checked By:			
Sheet Date:			
Project No.:			Sheets: 01



TRUE NORTH

1 SITE PLAN

Scale: 1" = 10'-0"

0 5' 20' 60'

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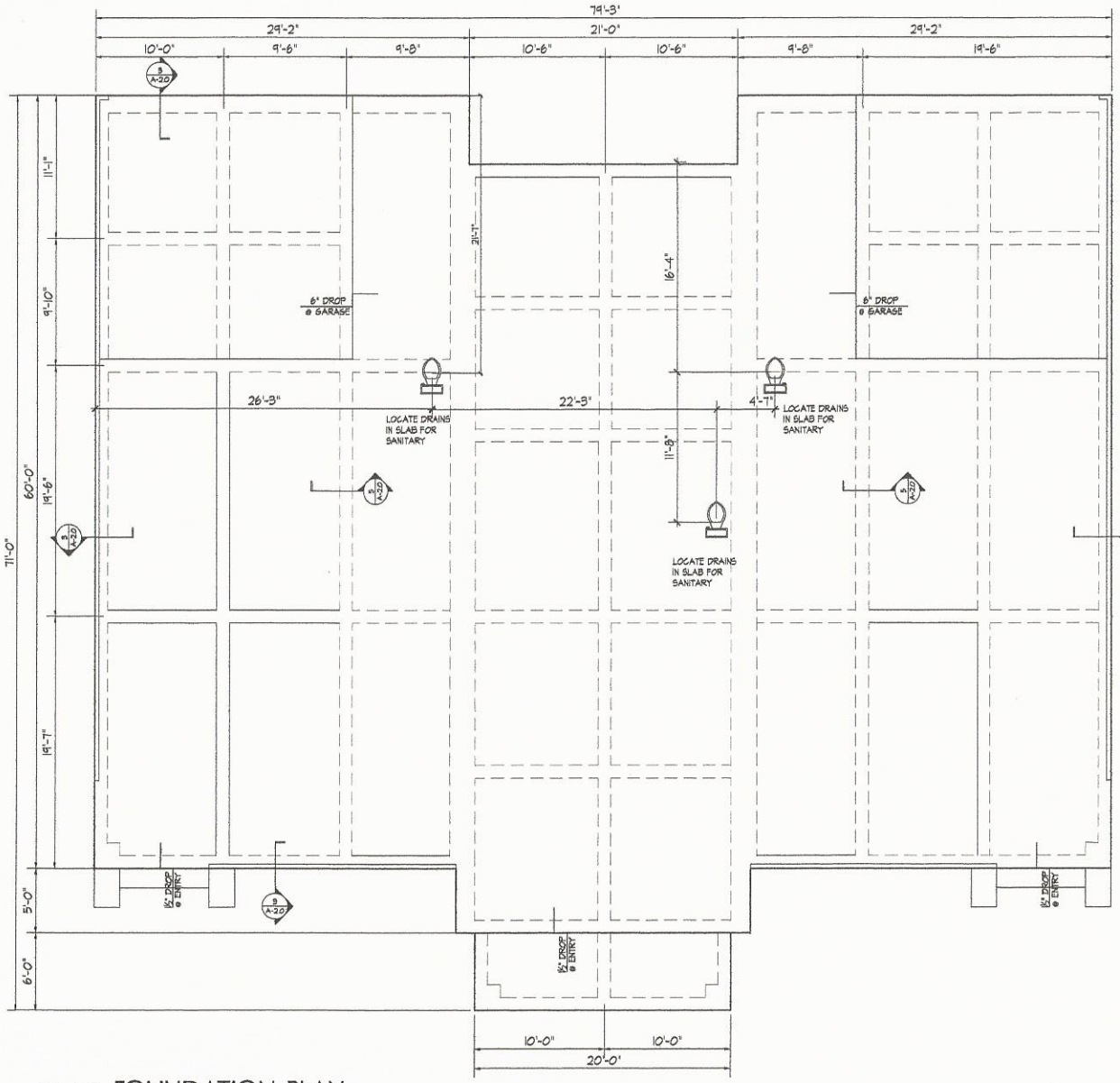
No.:	Revision/Issue:	Date:

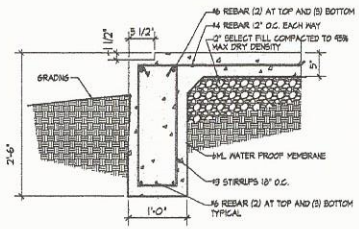
Sheet Name:

SITE PLAN

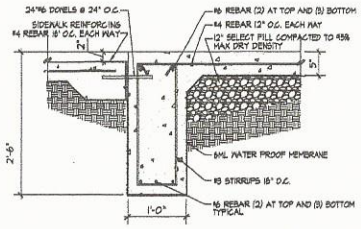
Drawn By: JS	Date: 05/10/16	Sheet No.:	A-0.0
Checked By:			
Sheet Date:			
Project No.:		Sheet:	Of:



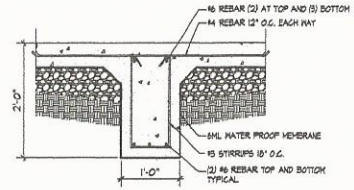
1 FOUNDATION PLAN
Scale: 1/4" = 1'-0"



2 DTL: FOUNDATION PLAN
Scale: 1"=1'-0"



3 DTL: FOUNDATION PLAN
Scale: 1"=1'-0"



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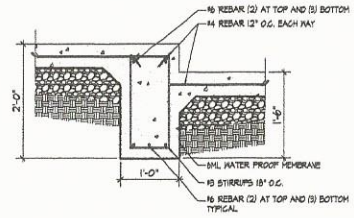
Scale: 1"=1'-0"



5 DTL: FOUNDATION PLAN
Scale: 1"=1'-0"

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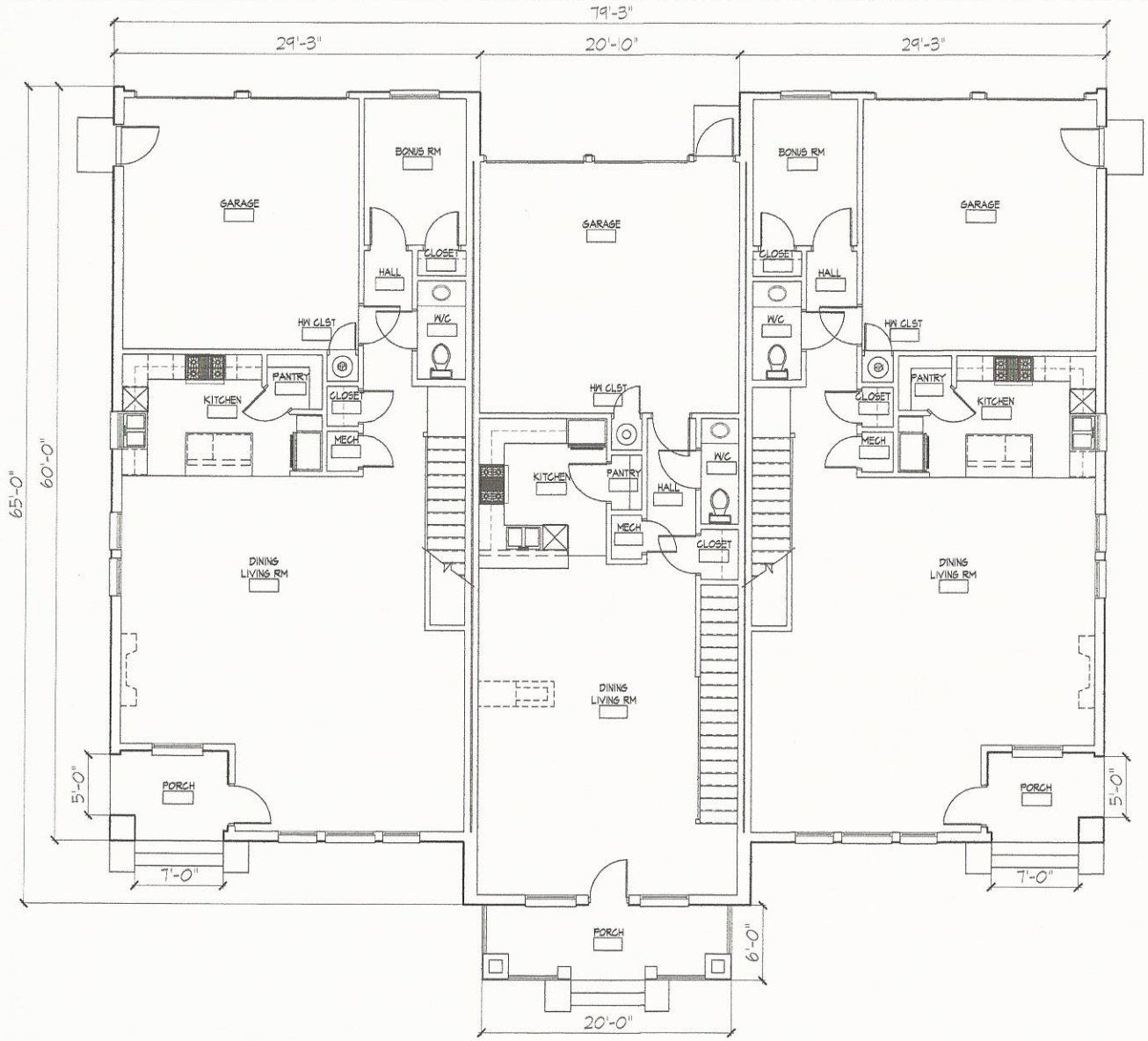
No.:	Revision/Issue:	Date:

Sheet Name:

FOUNDATION PLAN

Drawn By: JS	Date: 05/10/16	Sheet No.: A-1.0	
Checked By:			
Sheet Date:			
Project No.:		Sheets:	Of:



TRUE NORTH

1 COMPOSITE FLOOR PLAN - FIRST FLOOR

Scale: 1/4" = 1'-0"

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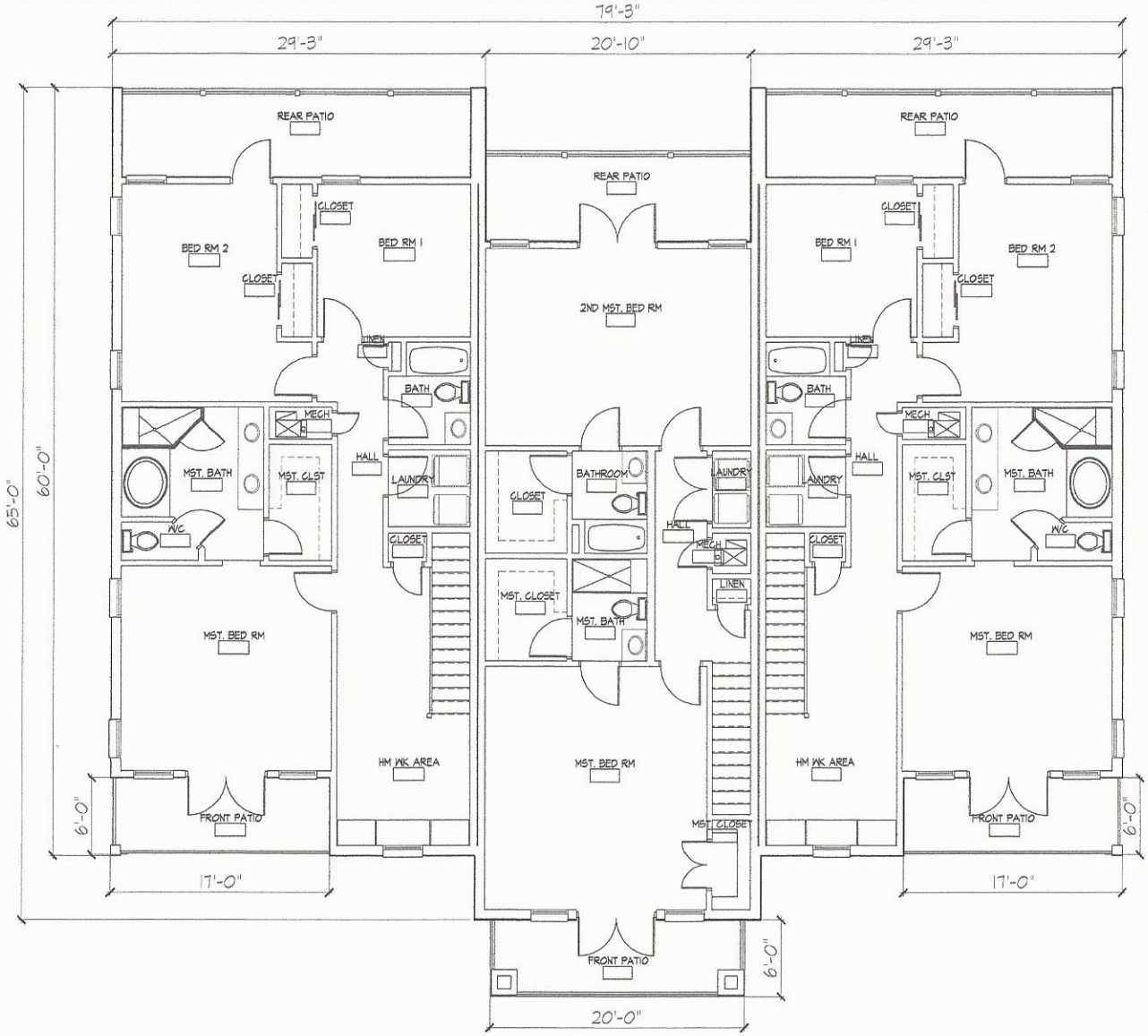
No.:	Revision/Issue:	Date:

Sheet Name:

FIRST FLOOR PLAN

Drawn By: JS		Date: 03/10/16	Sheet No.: A-2.0
Checked By:			
Sheet Date:			
Project No.:			Sheet: Of:



TRUE NORTH

1 COMPOSITE FLOOR PLAN - SECOND FLOOR

Scale: 1/4" = 1'-0"

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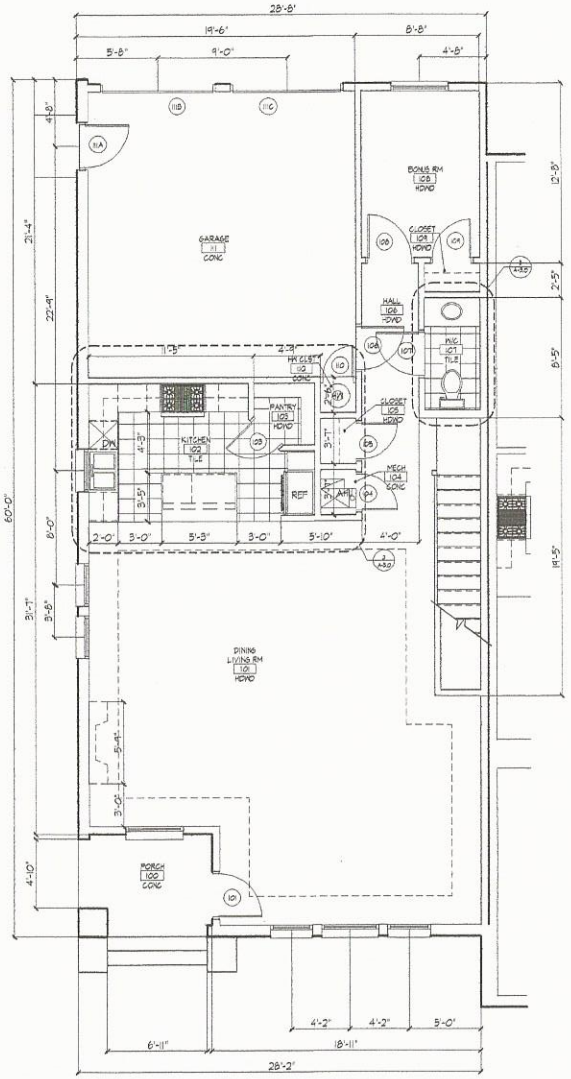
No.:	Revision/Issue:	Date:

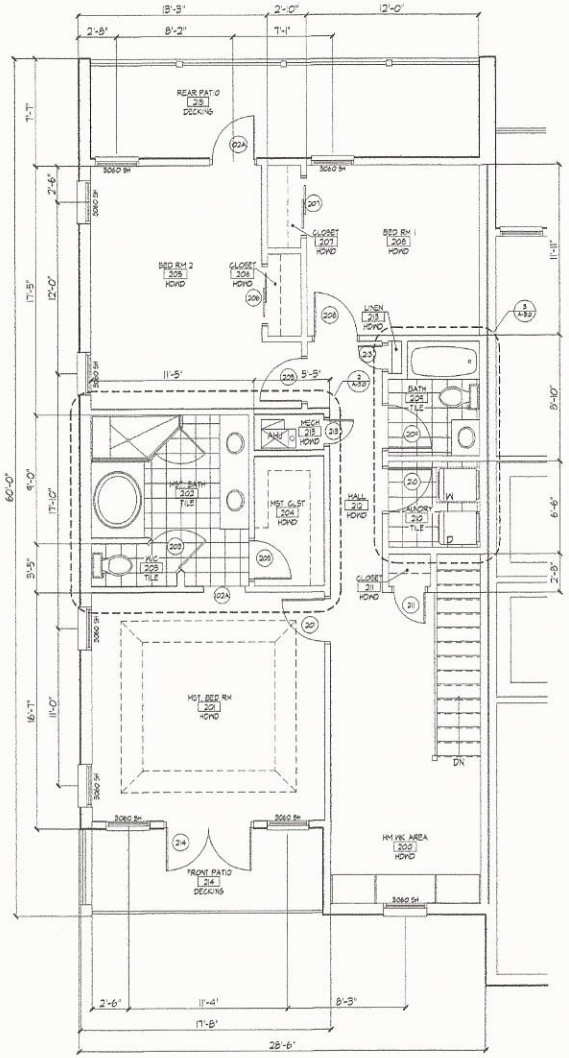
Sheet Name:

SECOND FLOOR PLAN

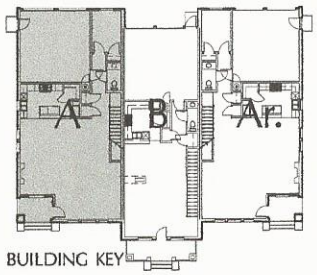
Drawn By: JS		Date: 05/10/16	Sheet No.: A-3
Checked By:			
Sheet Date:			
Project No.:			Sheets: Of:



1 PLAN: FLOOR PLAN
1ST FLOOR UNIT A
Scale: 1/4" = 1'-0"



2 PLAN: FLOOR PLAN
2ND FLOOR UNIT A
Scale: 1/4" = 1'-0"



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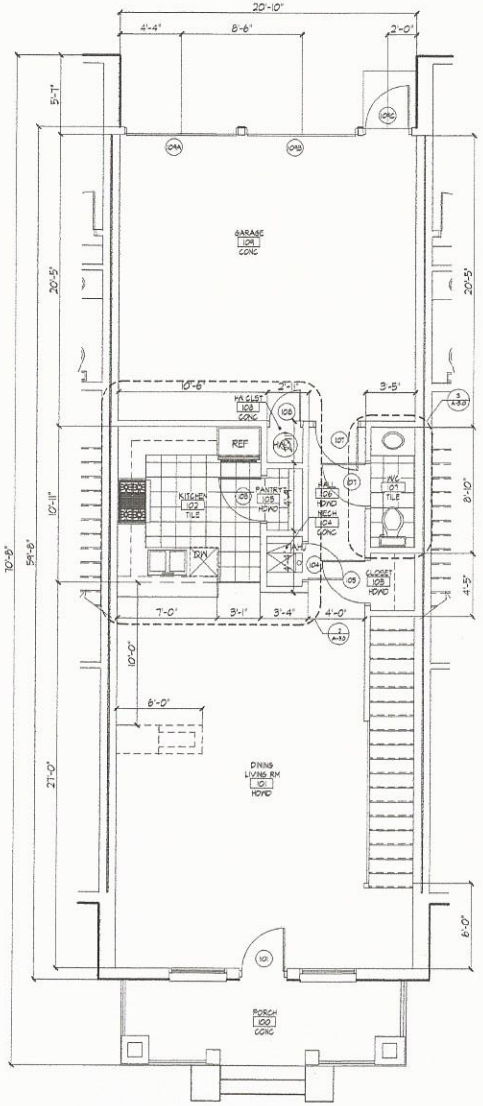
No.:	Revision/Issue:	Date:

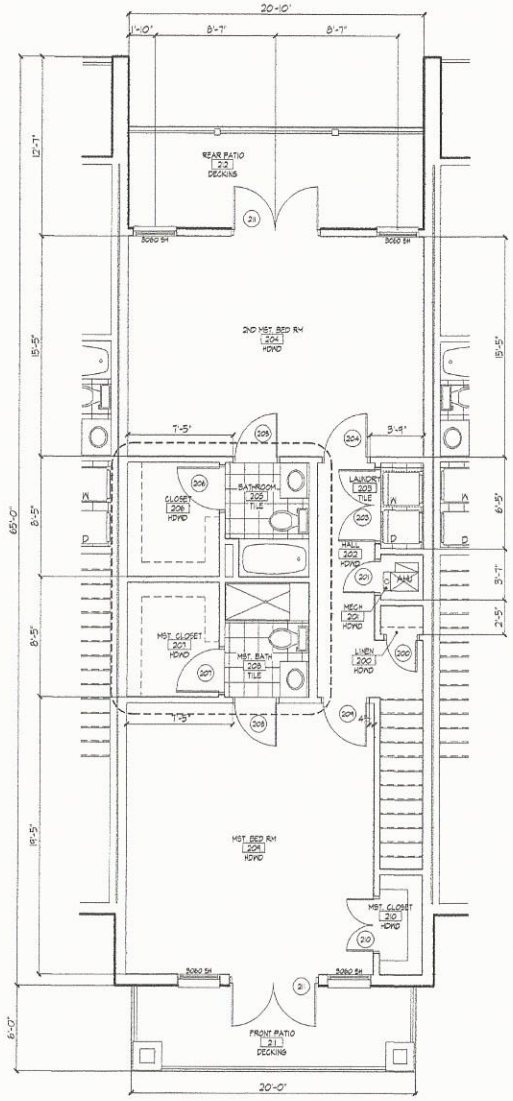
Sheet Name:

FLOOR PLANS
UNIT A

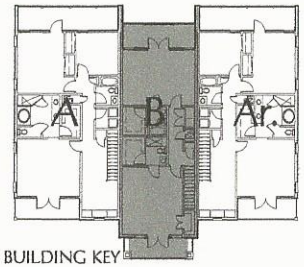
Drawn By:	JS	Date: 05/10/16	Sheet No.: A-4.0
Checked By:			
Sheet Date:			
Project No.:			Sheet: Of:



PLAN: FLOOR PLAN
2ND FLOOR UNIT B
Scale: 1/4"= 1'-0"



PLAN: FLOOR PLAN
2ND FLOOR UNIT B
Scale: 1/4"= 1'-0"



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No.:	Revision/Issue:	Date:

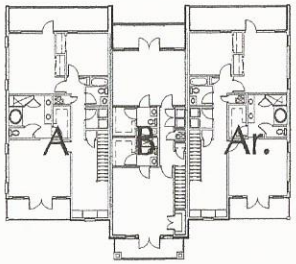
Sheet Name:

FLOOR PLANS
UNIT B

Drawn By: JS	Date: 03/10/16	Sheet No.:	A-5.0
Checked By:			
Sheet Date:			
Project No.:		Sheets:	Of:

1 FRONT ELEVATION
Scale: 1/4" = 1'-0"

1 SIDE ELEVATION
Scale: 1/4" = 1'-0"



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No.:	Revision/Issue:	Date:

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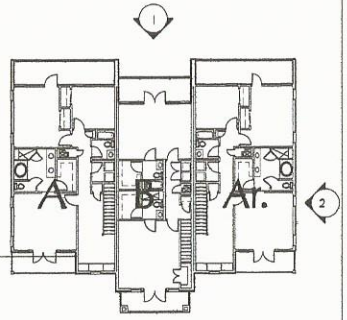
ELEVATIONS

Drawn By: JS	Date: 05/10/16	Sheet No.:	A-6.0
Checked By:			
Sheet Date:			
Project No.:		Sheet:	Of:

1 REAR ELEVATION
Scale: 1/4" = 1'-0"

1 SIDE ELEVATION
Scale: 1/4" = 1'-0"



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Sheet Name and Address

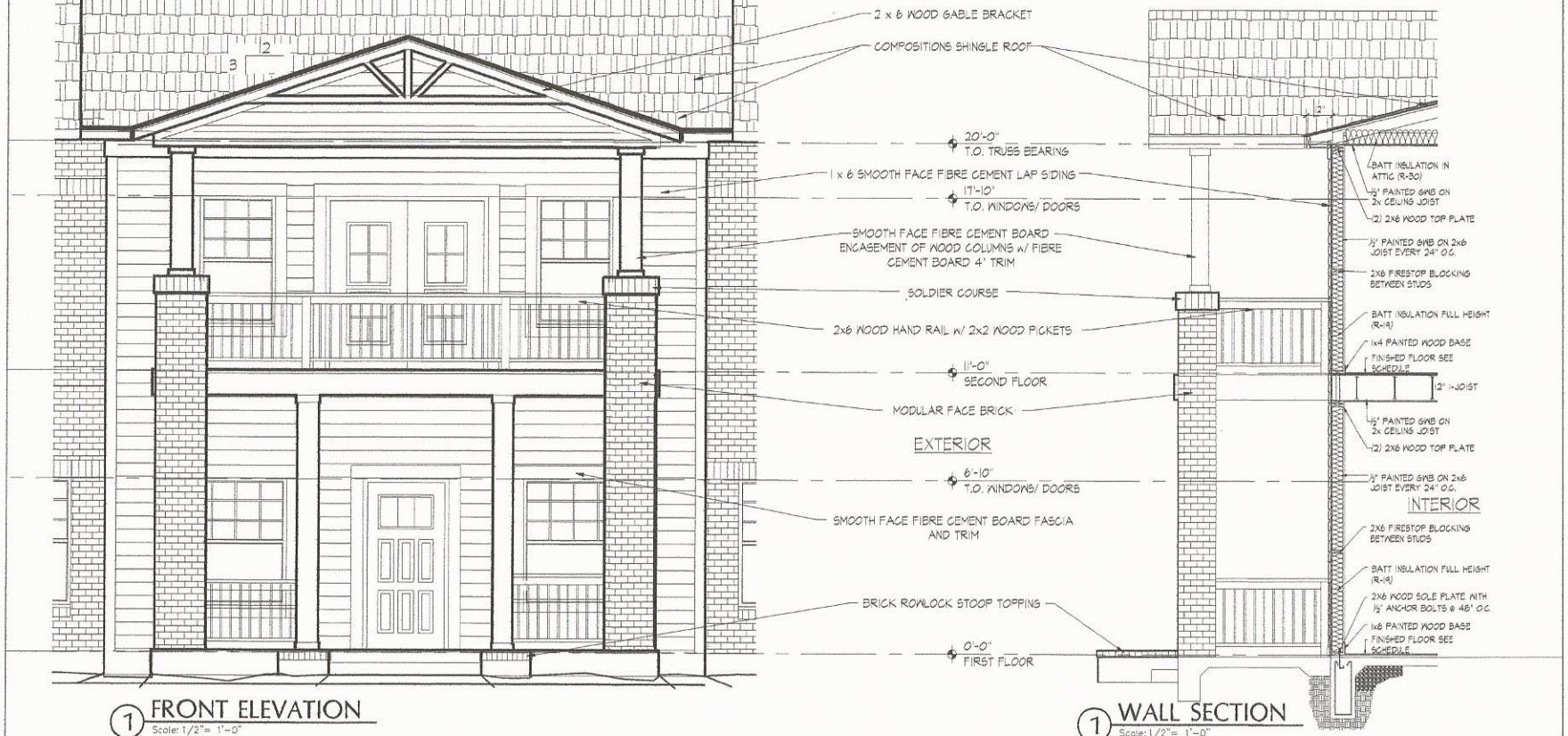
No.:	Revision/Issue:	Date:

Sheet Name:

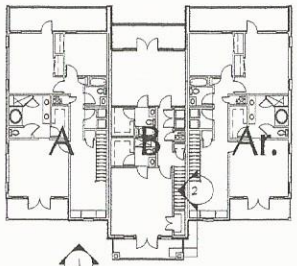
ELEVATIONS

Drawn By:	JS	Date: 05/10/16	Sheet No.: A-7.0
Checked By:			
Sheet Date:			
Project No.:			Sheets: Of:

1 FRONT ELEVATION
Scale: 1/2"= 1'-0"



1 WALL SECTION
Scale: 1/2"= 1'-0"



1
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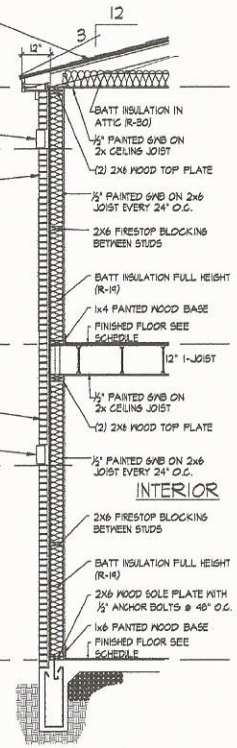
Project, Name and Address

No.:	Revision/Issue:	Date:

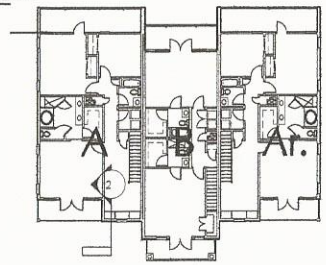
Sheet Name:
ENLARGED ELEVATIONS WALL SECTION

Drawn By: JS	Date: 03/10/16	Sheet No.:	A-8.0
Checked By:			
Sheet Date:			
Project No.:		Sheets:	Of:

1 FRONT ELEVATION
Scale: 1/2"= 1'-0"



1 WALL SECTION
Scale: 1/2"= 1'-0"



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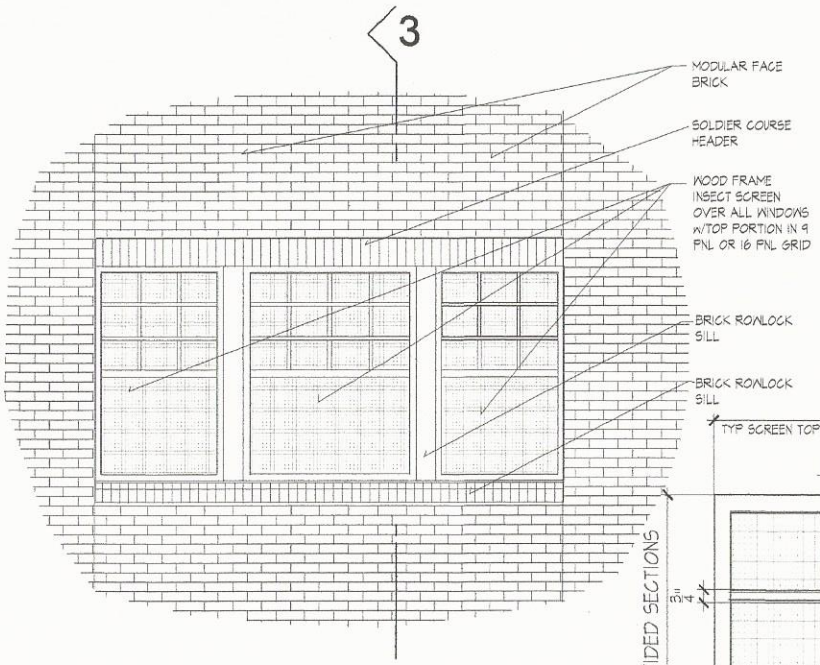
Project Name and Address

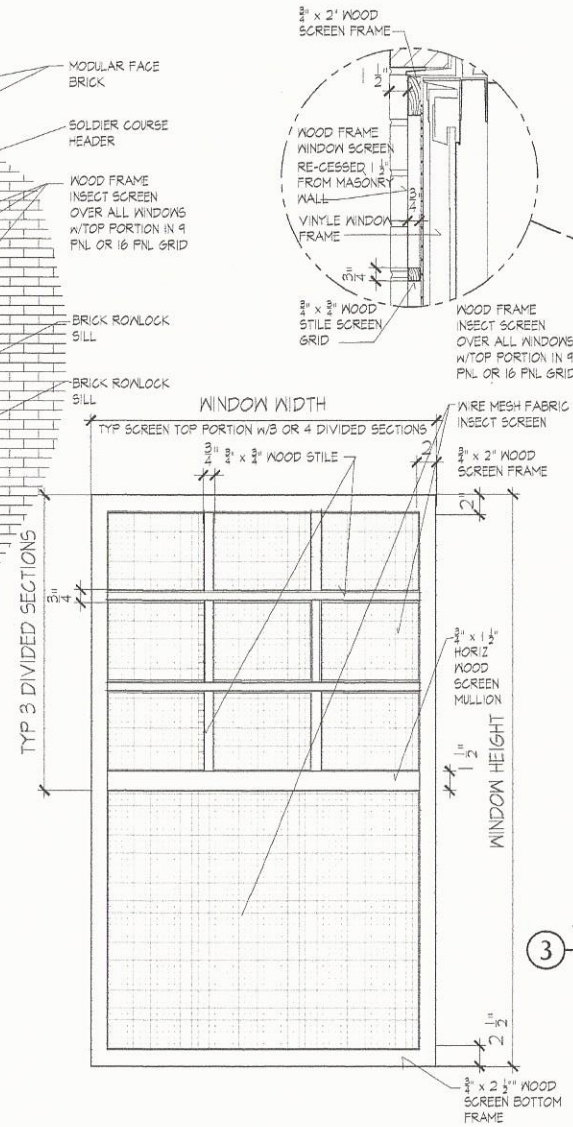
No.:	Revision/Issue:	Date:

Sheet Name
ENLARGED ELEVATIONS WALL SECTION

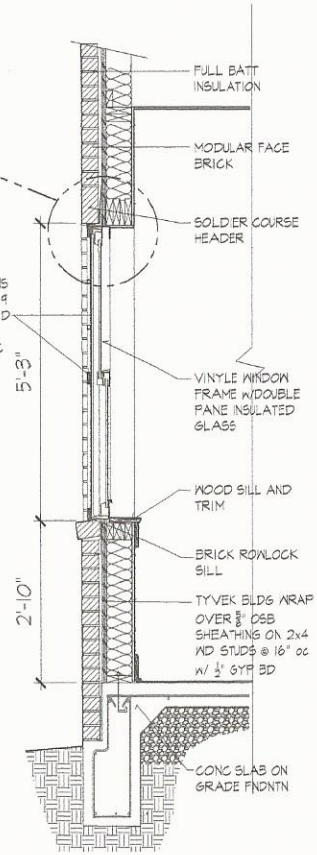
Drawn By: JS	Date: 03/10/16	Sheet No.:	A-9
Checked By:			
Sheet Date:			
Project No.:		Sheets:	Of:



1 WINDOW ELEVATION
Scale: N.T.S.



2 WINDOW SCREEN ELEVATION
Scale: N.T.S.



3 WALL SECTION AT WINDOW
Scale:
0 6" 12" 24"

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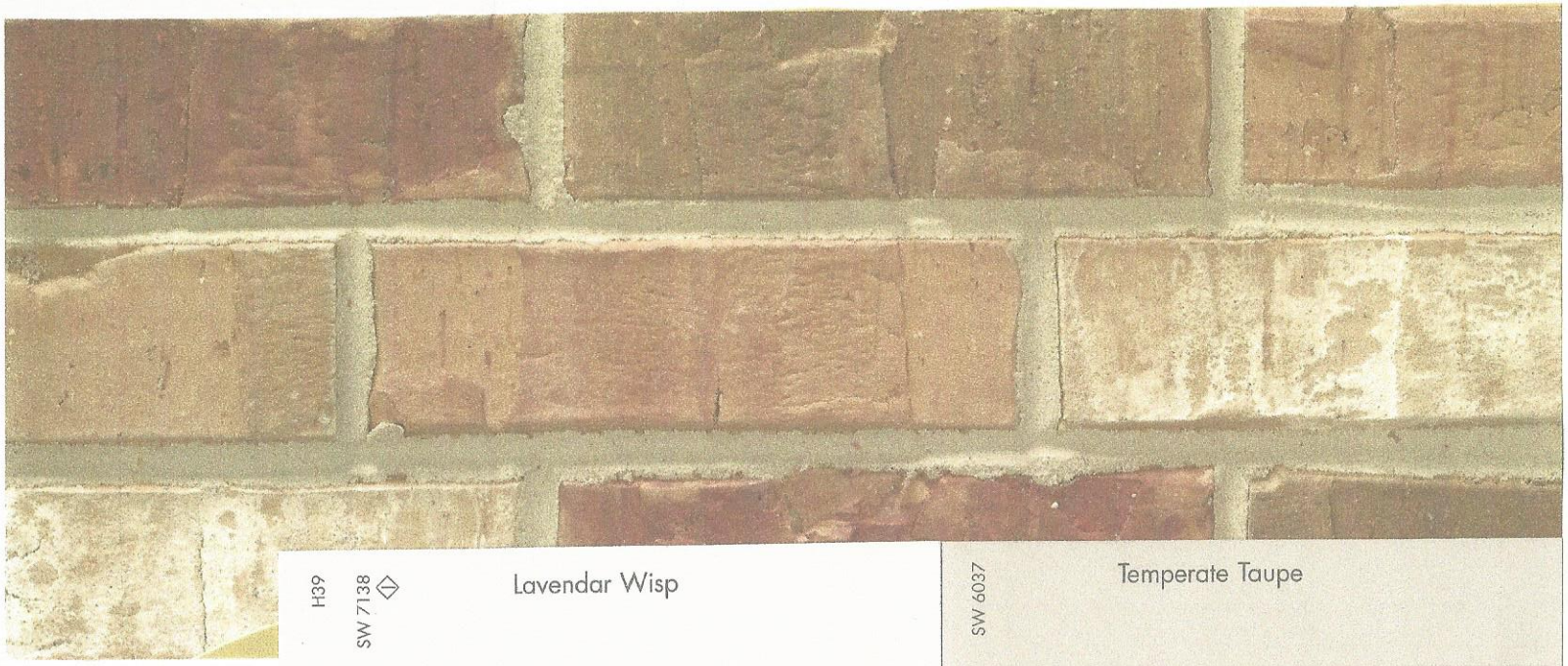
No.:	Revision/Issue:	Date:

Sheet Name: ENLARGED ELEVATIONS

Drawn By: JS	Date: 03/10/16	Sheet No.:	A-10
Checked By:			
Sheet Date:			
Project No.:		Sheet:	Of:

BRICK MASONRY



H39

SW 7138

Lavendar Wisp

SW 6037

Temperate Taupe

ASPHALT SHINGLES

WOOD DOORS
GARAGE DOORS
WOOD SCREENS
DOOR & WINDOW TRIM
WOOD HANDRAILS
HANDRAIL PICKETS
WOOD COLUMNS
WOOD FASCIA & SOFFITS

CEMENTIUOUS SIDING
SIDING CORNER TRIM

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dilarchgrp@att.net

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Date_____

GREEN TOWNHOUSE

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SAN ANTONIO, TEXAS

No.	Revision/Issues	Date

Sheet Name

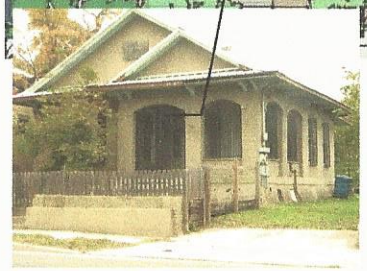
EXTERIOR COLOR/MATERIAL SELECTIONS

Drawn By	Date	Sheet Size
Checked By		
Sheet Date		
Project No.		Sheet No.

EXHIBIT "2"

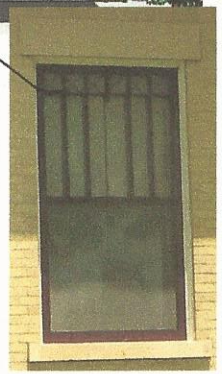
806 N. OLIVE, HOUSE ADJACENT TO GREEN TOWNHOUSE COLUMNS AND INSET PORCH

802 N. OLIVE, GABLE TRIM AT EVE OF GABLE ROOF



900 BLOCK OF E. HOUSTON, HOUSE IN AREA W/ ARCHED OPENING AT FRONT PORCH AND SIDES

700 BLOCK OF N. OLIVE TYPICAL CHARACTER OF WOOD WINDOW SCREENS TO HAVE DECORATIVE WOOD STILES AT TO



EXTERIOR FEATURES ON HOUSE IN DIGNOWITY NEIGHBOR CAPTURED ON GREEN TOWNHOUSE

HDRC - 810 N. OLIVE ST
GREEN TOWNHOUSE PROJECT

Dillard Architect Group
708 Rigsby Avenue
San Antonio, Texas
(210) 631-0000 office (210) 531-0074 fax
dillardgrp@aol.net

Seal:

Date: _____

GREEN TOWNHOUSE
810 OLIVE ST.
SAN ANTONIO, TEXAS

No.:	Revision/Issue:	Date:

Sheet Name

EXHIBIT 2

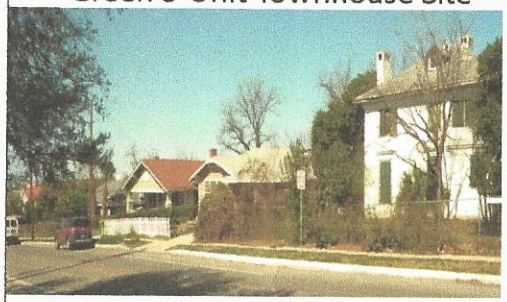
Drawn By:	Date:	Sheet No.:
Checked By:		
Sheet Date:		
Project No.:		Drawn On:

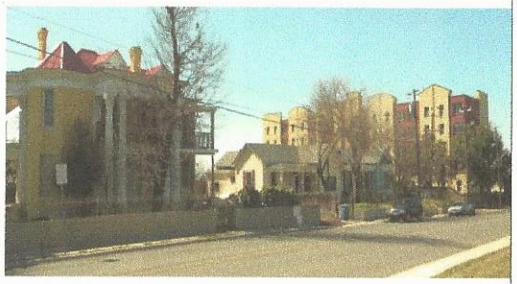
"DIGNOWITY/LOCKWOOD PARK STREET-SCAPE MASSING RELATIONSHIPS"

Northeast Blk N. Olive St. Street-Scape

Southeast Blk N. Olive St. Street-Scape

HDRC CASE - 810 N. Olive St.- Green 3-Unit Townhouse Site





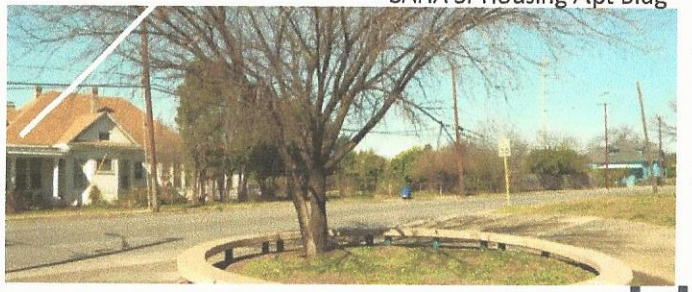
North Street-Scape, Hays St. Blk

800 N. Hackberry St., 2-Story SAHA Apt Bldg

South Street-Scape, Nolan St. Blk

700 N. Hackberry St., 6-Story SAHA Sr Housing Apt Bldg

Northwest Blk N. Hackberry Street-Scape



Southwest Blk N. Hackberry Street-Scape

HDRC - 810 N. OLIVE ST. - GREEN TOWNHOUSE PROJECT

Dillard Architect Group

Dillard Architect Group
706 Rigsby Avenue
San Antonio, Texas
(210) 531-0050 office (210) 531-0074 fax
dilarchgrp@sbcglobal.net

Seal:

GREEN TOWNHOUSE
810 OLIVE ST.
SAN ANTONIO, TEXAS

No.:	Revision/Issue:	Date:

Sheet Name:
PARK MASSING

Drawn By:	Date:	Sheet No:
Checked By:		
Sheet Date:		
Project No.:		Check: Dr:

EXHIBIT

812 N. OLIVE ST
ONE STORY STRUCTURE
WITH GARAGE APARTMENT

GREEN TOWNHOUSE RELATIONSHIP ON SITE TO
ADJACENT HOUSE - LOOKING NORTH

HDRC - 810 N. OLIVE ST
GREEN TOWNHOUSE PROJECT

Dillard Architect Group
708 Rigsby Avenue
San Antonio, Texas
(210) 631-0059 office (210) 631-0074 fax
dillarchgrp@att.net

Seal:

Date:

GREEN TOWNHOUSE
810 OLIVE ST.
SAN ANTONIO, TEXAS

No.:	Revision/Issue:	Date:

Sheet Name:
EXHIBIT

Drawn By:	Date:	Sheet No.:
Checked By:		
Sheet Date:		
Project No.:		Sheet: Of:

CITY OF SAN ANTONIO
OFFICE OF HISTORIC PRESERVATION

Historic and Design Review Commission
Design Review Committee
Report & Recommendation

DATE: 6/23/15 HDRC Case#

ADDRESS: 810 N. Olive Meeting Location: 1901 S. Alamo

APPLICANT: Stephen Green

DRC Members present:

Staff present: Adriana Zigh

Others present:

REQUEST: Construct 3 new units.

COMMENTS/CONCERNS: TC - are you working w/designer/architect? SG - my son contacted a designer. Elevation doesn't matter plan. Context? SG - Frame houses, on the corner of next block there is original Dignowity house which is brick. Mixture of structures, one and 2 story.
MC - Internal lot, w/ driveway and parking at back.
BF - What's happening at rear? SG - eventually build at rear.
MG - more information; aerial view, pictures.
TC - where it sits on block, setback w/ other houses. Language of other houses, show neighbors. Elevations: how it relates to other houses, proposed colors, materials, detailing of porch & columns, specs. for windows/doors.
MG - Helpful to look for patterns in neighborhood. Not something you see in SA. more like east coast. dif. bldg. types from what's in neighborhood.
TC - study other buildings in neighborhood.

COMMITTEE RECOMMENDATION: APPROVE [ ] DISAPPROVE [ ]

APPROVE WITH COMMENTS/STIPULATIONS:
NO ACTION

REVISE & RETURN

Committee Chair Signature (or representative) 6/23/15 Date

CITY OF SAN ANTONIO
OFFICE OF HISTORIC PRESERVATION

Historic and Design Review Commission
Design Review Committee
Report & Recommendation

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Staff present: Adriana Zigh

Others present:

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MG - Helpful to look for patterns in neighborhood. Not something you see in SA. more like east coast. dif. bldg. types from what's in neighborhood.
TC - study other buildings in neighborhood.

COMMITTEE RECOMMENDATION: APPROVE [ ] DISAPPROVE [ ]

APPROVE WITH COMMENTS/STIPULATIONS:
NO ACTION

REVISE & RETURN

Committee Chair Signature (or representative)

6/23/15
Date

Design Review Recommendations are Non-Binding

CITY OF SAN ANTONIO
OFFICE OF HISTORIC PRESERVATION

Historic and Design Review Commission
Design Review Committee
Report & Recommendation

DATE: 1/26/16 HDRC Case# 2016-3956

ADDRESS: 810 N OLIVE Meeting Location: KING William Rm

APPLICANT: PORTER DILLARD

DRC Members present: JOHN LAFOON (came late), KENT BRITTON, Michael Guarino

Staff present: Lauren Sage

Others present: LIZ FRANKLIN, ~~MRS.~~ BETTY Green

REQUEST: CONCEPTUAL APPROVAL FOR NEW CONSTRUCTION

COMMENTS/CONCERNS: ~~PD:~~ KB: are there new construction with vinyl in DH? - JL: BRING EX OF THOSE New construction w vinyl and documentation KB: Neoclassical scaling is consistent w ex.s provided. He does not have issues w massing. JL: similar to KWA that have large nxt to sm properties MG: RECAP, does not have issue. he likes thoroughness of presentation LF: initially concern, though exciting b/c last large view of DT, MG: ISSUES OF ELEVATION OF PARKING/GARAGE element. B/C concealed, seems very appropriate. JL: expand on landscape plan →

COMMITTEE RECOMMENDATION: **APPROVE [ ] DISAPPROVE [ ]**

APPROVE WITH COMMENTS/STIPULATIONS:

Re-present to Entire Commission

Committee Chair Signature (or representative) 1/26/16 Date

MG: other conflict if the breadth of size, so take better picture of large next door structure

CITY OF SAN ANTONIO
OFFICE OF HISTORIC PRESERVATION

Historic and Design Review Commission
Design Review Committee
Report & Recommendation

DATE: 8/25/2015 HDRC Case# 2015-264

ADDRESS: 810 N OLIVE Meeting Location: 1901 S ALAMO

APPLICANT: PORTER DILLARD

DRC Members present: MICHAEL CONNOR, MICHAEL GUARINO, PAT AIGIOVANNI

Staff present: EDWARD HALL

Others present: STEPHEN GREEN

REQUEST: CONSTRUCTION OF A DUPLEX ON A VACANT LOT - THREE UNITS

COMMENTS/CONCERNS: MC: QUESTIONS OVER SCALE AND PROPORTIONS OF DRAWINGS -, FOCUS ON REAR ELEVATION NEXT, CORRECT APPROACH FOR DESIGN. MC: FULL BALCONIES DIVIDE THE BUILDING INTO INDIVIDUAL UNITS (OPTION A) APPROPRIATE, MASSING AND MATERIALS. MG: OTHER DETAILS ARE APPROPRIATE. MC: ELIMINATE FRONT GABLES OF OPTION A. MG: QUESTIONS OVER MATERIALS OVER PORCH INSET. PROJECT WILL ENHANCE THE NEIGHBORHOOD.

COMMITTEE RECOMMENDATION: **APPROVE [✓] DISAPPROVE [ ]**
APPROVE WITH COMMENTS/STIPULATIONS:
Combine options
REVISE ELEVATION & SUBMIT

Committee Chair Signature (or representative) 8/25/15 Date

CITY OF SAN ANTONIO
OFFICE OF HISTORIC PRESERVATION

Historic and Design Review Commission
Design Review Committee
Report & Recommendation

DATE: 10/14/2015 HDRC Case#

ADDRESS: 810 N OLIVE Meeting Location: 1901 S ALAMO - TRAINING ROOM

APPLICANT: STEPHEN GREEN / PORTER ALLARD

DRC Members present: DANIEL LAZARINE

Staff present: EDWARD HALL, LAUREN SAGE

Others present: LIZ FRANKLIN, BETTY GREEN

REQUEST: CONSTRUCTION OF 3, ATTACHED UNITS ON A VACANT LOT

COMMENTS/CONCERNS: AL: QUESTIONS REGARDING POTENTIAL ACCESSORY STRUCTURES ON SITE / NO. NO PRECEDENT IN ALAMO HILL FOR THE PROPOSED ARCHES - THE PROPOSAL DOES NOT FIT IN WITH THE [redacted] PROPOSED DESIGN. RECOMMENDS THE APPLICANT DEVOTE MORE TIME TO THE PRESENTATION - BETTER PRODUCED RENDERINGS. APPLICANT SHOULD STRESS THROUGH PRESENTATION THE IMPORTANCE OF PROPOSAL AND PROPERTY. RECOMMENDS THE APPLICANT RETURNS TO THE HDRC ON NOVEMBER 14.

COMMITTEE RECOMMENDATION: **APPROVE [ ] DISAPPROVE [ ]**
APPROVE WITH COMMENTS/STIPULATIONS:
APPLICANT ADVISED TO ADD MORE INFORMATION TO PRESENTATION & TO LOOK AT PROJECT PROPOSAL WHOLISTICALLY

Daniel J. Lazarine
Committee Chair Signature (or representative)

10/14/2015
Date

CITY OF SAN ANTONIO
OFFICE OF HISTORIC PRESERVATION

Historic and Design Review Commission
Design Review Committee
Report & Recommendation

DATE: MAY 24, 2016 HDRC Case# 2016-049

ADDRESS: 810 N OLIVE Meeting Location: 1901 S ALAMO

APPLICANT: PORTER DILLARD - DILLARD ARCHITECT GROUP

DRC Members present: JOHN LAFFOON, DESIREE SALMON, EDWARD GARZA

Staff present: EDWARD HALL

Others present:

REQUEST: NEW CONSTRUCTION OF THREE ATTACHED MULTI-FAMILY UNITS - FINAL APPROVAL

COMMENTS/CONCERNS: DS: QUESTIONS REGARDING THE PROPOSED SETBACKS IN RELATIONSHIP TO NEIGHBORING STRUCTURES. JL: PROPOSED WIDTH AND MASS IS A CHALLENGE FOR RECEIVING FINAL APPROVAL. DS: VISUALLY TREES WOULD BE APPROPRIATE TO ERGE MASSING. JL: THE ELIMINATION OF THE GABLES IS APPROPRIATE. NOTE PREVIOUS REVISIONS AT HARC.

COMMITTEE RECOMMENDATION: **APPROVE [ ] DISAPPROVE [ ]**
APPROVE WITH COMMENTS/STIPULATIONS:

John Laffoon
Committee Chair Signature (or representative)

5.24.16
Date