

# HISTORIC AND DESIGN REVIEW COMMISSION

September 16, 2020

**HDRC CASE NO:** 2020-399  
**ADDRESS:** 244 GREENLAWN  
**LEGAL DESCRIPTION:** NCB 8418 BLK 3 LOT 33 THRU 35  
**ZONING:** R-5, H  
**CITY COUNCIL DIST.:** 1  
**DISTRICT:** Greenlawn Estates Historic District  
**APPLICANT:** Mariah Ballwz  
**OWNER:** Mariah Ballwz  
**TYPE OF WORK:** Construction of a 347-square-foot rear addition, window replacement, door replacement, driveway modifications, Historic Tax Certification  
**APPLICATION RECEIVED:** August 31, 2020  
**60-DAY REVIEW:** Not applicable due to City Council Emergency Orders  
**CASE MANAGER:** Rachel Rettaliata  
**REQUEST:**

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Replace 20 existing windows with wood windows.
2. Modify window openings to install arched windows.
3. Replace French doors on the north façade with a window.
4. Replace the existing rear doors with steel doors.
5. Construct a 347-square-foot rear addition.
6. Complete driveway modifications.
7. Receive Historic Tax Certification.

## APPLICABLE CITATIONS:

*UDC Section 35-618. Tax Exemption Qualification.*

(d) Certification.

(1) Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.

*Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations*

## 6. Architectural Features: Doors, Windows, and Screens

### A. MAINTENANCE (PRESERVATION)

- i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.
- iv. *Screens and shutters*—Preserve historic window screens and shutters.
- v. *Storm windows*—Install full-view storm windows on the interior of windows for improved energy efficiency. Storm window may be installed on the exterior so long as the visual impact is minimal and original architectural details are not obscured.

### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.

- ii. *New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.
- iii. *Glazed area*—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.
- iv. *Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.
- v. *Muntins*—Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass.
- vi. *Replacement glass*—Use clear glass when replacement glass is necessary. Do not use tinted glass, reflective glass, opaque glass, and other non-traditional glass types unless it was used historically. When established by the architectural style of the building, patterned, leaded, or colored glass can be used.
- vii. *Non-historic windows*—Replace non-historic incompatible windows with windows that are typical of the architectural style of the building.
- viii. *Security bars*—Install security bars only on the interior of windows and doors.
- ix. *Screens*—Utilize wood screen window frames matching in profile, size, and design of those historically found when the existing screens are deteriorated beyond repair. Ensure that the tint of replacement screens closely matches the original screens or those used historically.
- x. *Shutters*—Incorporate shutters only where they existed historically and where appropriate to the architectural style of the house. Shutters should match the height and width of the opening and be mounted to be operational or appear to be operational. Do not mount shutters directly onto any historic wall material.

## 7. Architectural Features: Porches, Balconies, and Porte-Cocheres

### A. MAINTENANCE (PRESERVATION)

- i. *Existing porches, balconies, and porte-cocheres*—Preserve porches, balconies, and porte-cocheres. Do not add new porches, balconies, or porte-cocheres where not historically present.
- ii. *Balusters*—Preserve existing balusters. When replacement is necessary, replace in-kind when possible or with balusters that match the originals in terms of materials, spacing, profile, dimension, finish, and height of the railing.
- iii. *Floors*—Preserve original wood or concrete porch floors. Do not cover original porch floors of wood or concrete with carpet, tile, or other materials unless they were used historically.

### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Front porches*—Refrain from enclosing front porches. Approved screen panels should be simple in design as to not change the character of the structure or the historic fabric.
- ii. *Side and rear porches*—Refrain from enclosing side and rear porches, particularly when connected to the main porch or balcony. Original architectural details should not be obscured by any screening or enclosure materials. Alterations to side and rear porches should result in a space that functions, and is visually interpreted as, a porch.
- iii. *Replacement*—Replace in-kind porches, balconies, porte-cocheres, and related elements, such as ceilings, floors, and columns, when such features are deteriorated beyond repair. When in-kind replacement is not feasible, the design should be compatible in scale, massing, and detail while materials should match in color, texture, dimensions, and finish.
- iv. *Adding elements*—Design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance.
- v. *Reconstruction*—Reconstruct porches, balconies, and porte-cocheres based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the building and historic patterns.

#### *Standard Specifications for Original Wood Window Replacement*

- o **SCOPE OF REPAIR:** When individual elements such as sills, muntins, rails, sashes, or glazing has deteriorated, every effort should be made to repair or reconstruct that individual element prior to consideration of wholesale replacement. For instance, applicant should replace individual sashes within the window system in lieu of full replacement with a new window unit.
- o **MISSING OR PREVIOUSLY-REPLACED WINDOWS:** Where original windows are found to be missing or previously-replaced with a nonconforming window product by a previous owner, an alternative material to wood may be considered when the proposed replacement product is more consistent with the Historic Design Guidelines in terms of overall appearance. Such determination shall be made on a case-by-case basis by OHP and/or the HDRC. Whole window systems should match the size of historic windows on property unless otherwise approved.
- o **MATERIAL:** If full window replacement is approved, the new windows must feature primed and painted wood exterior finish. Clad, composition, or non-wood options are not allowed unless explicitly approved by the commission.



- SASH: Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- DEPTH: There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness.
- TRIM: Original trim details and sills should be retained or repaired in kind. If approved, new window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail. Window track components such as jamb liners must be painted to match the window trim or concealed by a wood window screen set within the opening.
- GLAZING: Replacement windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature real exterior muntins.
- COLOR: Replacement windows should feature a painted finish. If a clad product is approved, white or metallic manufacturer's color is not allowed, and color selection must be presented to staff.
- INSTALLATION: Replacement windows should be supplied in a block frame and exclude nailing fins. Window opening sizes should not be altered to accommodate stock sizes prior to approval.
- FINAL APPROVAL: If the proposed window does not meet the aforementioned stipulations, then the applicant must submit updated window specifications to staff for review, prior to purchase and installation. For more assistance, the applicant may request the window supplier to coordinate with staff directly for verification.

### *Historic Design Guidelines, Chapter 3, Guidelines for Additions*

#### 1. Massing and Form of Residential Additions

##### A. GENERAL

- i. *Minimize visual impact*—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.
- ii. *Historic context*—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.
- iii. *Similar roof form*—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. *Transitions between old and new*—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

##### B. SCALE, MASSING, AND FORM

- i. *Subordinate to principal facade*—Design residential additions, including porches and balconies, to be subordinate to the principal facade of the original structure in terms of their scale and mass.
- ii. *Roofline additions*—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.
- iii. *Dormers*—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.
- iv. *Footprint*—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.
- v. *Height*—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

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ii. *Rooftop additions*—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.

iii. *Dormers*—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.

iv. *Footprint*—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.

v. *Height*—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

#### *Standard Specifications for Windows in Additions and New Construction*

- **GENERAL:** New windows on additions should relate to the windows of the primary historic structure in terms of materiality and overall appearance. Windows used in new construction should be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. While no material is expressly prohibited by the Historic Design Guidelines, a high-quality wood or aluminum-clad wood window product often meets the Guidelines with the stipulations listed below. Whole window systems should match the size of historic windows on property unless otherwise approved.
- **SIZE:** Windows should feature traditional dimensions and proportions as found within the district.
- **SASH:** Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- **DEPTH:** There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash.
- This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness.
- **TRIM:** Window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail. Window track components such as jamb liners must be painted to match the window trim or concealed by a wood window screen set within the opening.
- **GLAZING:** Windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature real exterior muntins.
- **COLOR:** Wood windows should feature a painted finished. If a clad product is approved, white or metallic manufacturer's color is not allowed, and color selection must be presented to staff.
- **INSTALLATION:** Wood windows should be supplied in a block frame and exclude nailing fins. Window opening sizes should not be altered to accommodate stock sizes prior to approval.
- **FINAL APPROVAL:** If the proposed window does not meet the aforementioned stipulations, then the applicant must submit updated window specifications to staff for review, prior to purchase and installation. For more assistance, the applicant may request the window supplier to coordinate with staff directly for verification.

#### *Historic Design Guidelines, Chapter 5, Guidelines for Site Elements*

### 5. Sidewalks, Walkways, Driveways, and Curbing

#### A. SIDEWALKS AND WALKWAYS

i. *Maintenance*—Repair minor cracking, settling, or jamming along sidewalks to prevent uneven surfaces. Retain and repair historic sidewalk and walkway paving materials—often brick or concrete—in place.

ii. *Replacement materials*—Replace those portions of sidewalks or walkways that are deteriorated beyond repair. Every effort should be made to match existing sidewalk color and material.

- iii. *Width and alignment*—Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.
- iv. *Stamped concrete*—Preserve stamped street names, business insignias, or other historic elements of sidewalks and walkways when replacement is necessary.
- v. *ADA compliance*—Limit removal of historic sidewalk materials to the immediate intersection when ramps are added to address ADA requirements.

#### B. DRIVEWAYS

- i. *Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.
- ii. *Curb cuts and ramps*—Maintain the width and configuration of original curb cuts when replacing historic driveways. Avoid introducing new curb cuts where not historically found.

#### C. CURBING

- i. *Historic curbing*—Retain historic curbing wherever possible. Historic curbing in San Antonio is typically constructed of concrete with a curved or angular profile.
- ii. *Replacement curbing*—Replace curbing in-kind when deteriorated beyond repair. Where in-kind replacement is not be feasible, use a comparable substitute that duplicates the color, texture, durability, and profile of the original. Retaining walls and curbing should not be added to the sidewalk design unless absolutely necessary.

### FINDINGS:

- a. The property located at 244 Greenlawn is a 1-story, single-family residence constructed circa 1950 in the Spanish Eclectic style. The property does not appear on the Sanborn Map. The structure features a flat roof with a red clay barrel tile front gable and decorative red clay barrel tile border on the roofline, stucco cladding, aluminum windows, and vinyl replacement windows. The property is contributing to the Greenlawn Estates Historic District.
- b. **SITE VISIT** – Staff completed a site visit at 244 Greenlawn on September 8, 2020 to assess the condition of the existing windows. Staff determined that the existing windows are vinyl replacement windows, with the exception of window #3, which is a wood window, and windows #11 and #18, which are aluminum windows. Staff observed that the window openings generally feature rotten wood window frames. Window #3 is in good condition and does not exhibit any deterioration.
- c. **WINDOW REPLACEMENT** – The applicant has proposed to replace all existing windows with JELD-WEN 2500 wood windows in black. The existing windows are vinyl replacement windows, except for windows #3, 11, and 18. Window #3 is a wood window in good condition that does not show signs of deterioration. Windows #11 and 18 are aluminum windows. According to Guideline 6.B.vii for Exterior Maintenance and Alterations, non-historic incompatible windows should be replaced with windows that are typical to the architectural style of the building. Guideline 6.A.iii for Exterior Maintenance and Alterations states that historic windows should be preserved. Staff finds that the proposal to replace the existing aluminum and vinyl windows is appropriate. Staff finds that the proposal to replace wood window #3 is not consistent with the Guidelines and the wood window should be preserved in place.
- d. **FENESTRATION MODIFICATIONS: WINDOWS** – The applicant has proposed to replace all standard window openings with arched windows to match the existing arched window openings on the north facade. Currently 5 of the 20 existing windows feature arched openings. Guideline 6.A.i for Exterior Maintenance and Alterations states that existing window and door openings should be preserved. Avoid enlarging or diminishing to fit stock sizes. Staff finds the proposal inconsistent with the Guidelines.
- e. **FENESTRATION MODIFICATIONS: DOORS** – The applicant has proposed to replace the existing set of French doors on the east side of the front façade with an arched window opening. According to Guideline 6.A.i for Exterior Maintenance and Alterations, existing door openings should be preserved. Staff finds the proposal inconsistent with the Guidelines.
- f. **DOOR REPLACEMENT** – The applicant has proposed to replace the existing rear doors with JELD-WEN steel doors. According to Guideline 6.A.ii for Exterior Maintenance and Alterations, historic doors should be preserved, including hardware, fanlights, sidelights, pilasters, and entablatures. Guideline 6.B.i for Exterior Maintenance and Alterations states that doors should be replaced in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element. Staff finds that the existing rear doors are either non-original to the structure or are

deteriorated beyond repair. Staff finds that replacement is appropriate, but that fully wood replacement doors are most appropriate for the historic structure.

- g. **REAR ADDITION** – The applicant has proposed to construct a 347-square-foot rear addition. The proposed addition will be located on the west side of the rear elevation. The rear addition will meet flush with the existing southernmost wall of the rear elevation and will be clad in stucco to match existing. The applicant has proposed to maintain the existing fenestration pattern on the rear elevation. Guideline 4.A.ii for Additions states that architectural details should be incorporated into an addition that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition. Staff finds the proposal appropriate.
- h. **DRIVEWAY MODIFICATION** – The applicant has proposed to replace the existing fully concrete driveway with a new fully concrete driveway in the existing footprint. The applicant has proposed to extend the driveway past the front façade wall plane to the rear of the property. The driveway extension will feature a circular parking pad. Guideline 5.B.i for Site Elements states that historic driveway configurations should be retained and repaired in place. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration. As the driveway extension will be located at the rear of the property, staff finds the proposal appropriate.
- i. **HISTORIC TAX CERTIFICATION** – The applicant has proposed the following scope of work to qualify for Historic Tax Certification: foundation repair, roof replacement, window replacement, exterior repair and repainting, the installation of new electrical, HVAC, and plumbing, and a comprehensive interior remodel.
- j. The applicant has met all the requirements for Historic Tax Certification outlined in UDC Section 35-618 and has provided evidence to that effect to the Historic Preservation Officer.

## **RECOMMENDATION:**

Item 1, staff recommends approval of window replacement based on findings b through c with the following stipulations:

- i. That the applicant repairs wood window #3 in place.
- ii. That the applicant installs wood or aluminum-clad wood windows that feature an inset of two (2) inches within facades and should feature profiles that are found historically within the immediate vicinity. Meeting rails must be no taller than 1.25” and stiles no wider than 2.25”. White manufacturer’s color is not allowed, and color selection must be presented to staff. There should be a minimum of two inches in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. Window trim must feature traditional dimensions and architecturally appropriate sill detail. Window track components must be painted to match the window trim or concealed by a wood window screen set within the opening. The proposed JELD-WEN 2500 wood windows in black are appropriate.

Item 2, staff does not recommend approval of modifying the existing window openings to install arched windows based on finding d.

Item 3, staff does not recommend approval of replacing the existing French doors on the north façade with a window based on finding e.

Item 4, staff recommends approval of the replacement of the existing rear doors based on finding f with the following stipulation:

- i. That the applicant installs fully wood doors. The applicant must submit material specifications to staff for review and approval prior to the issuance of a Certificate of Appropriateness.

Item 5, staff recommends approval of the construction of a rear addition based on finding g with the following stipulation:

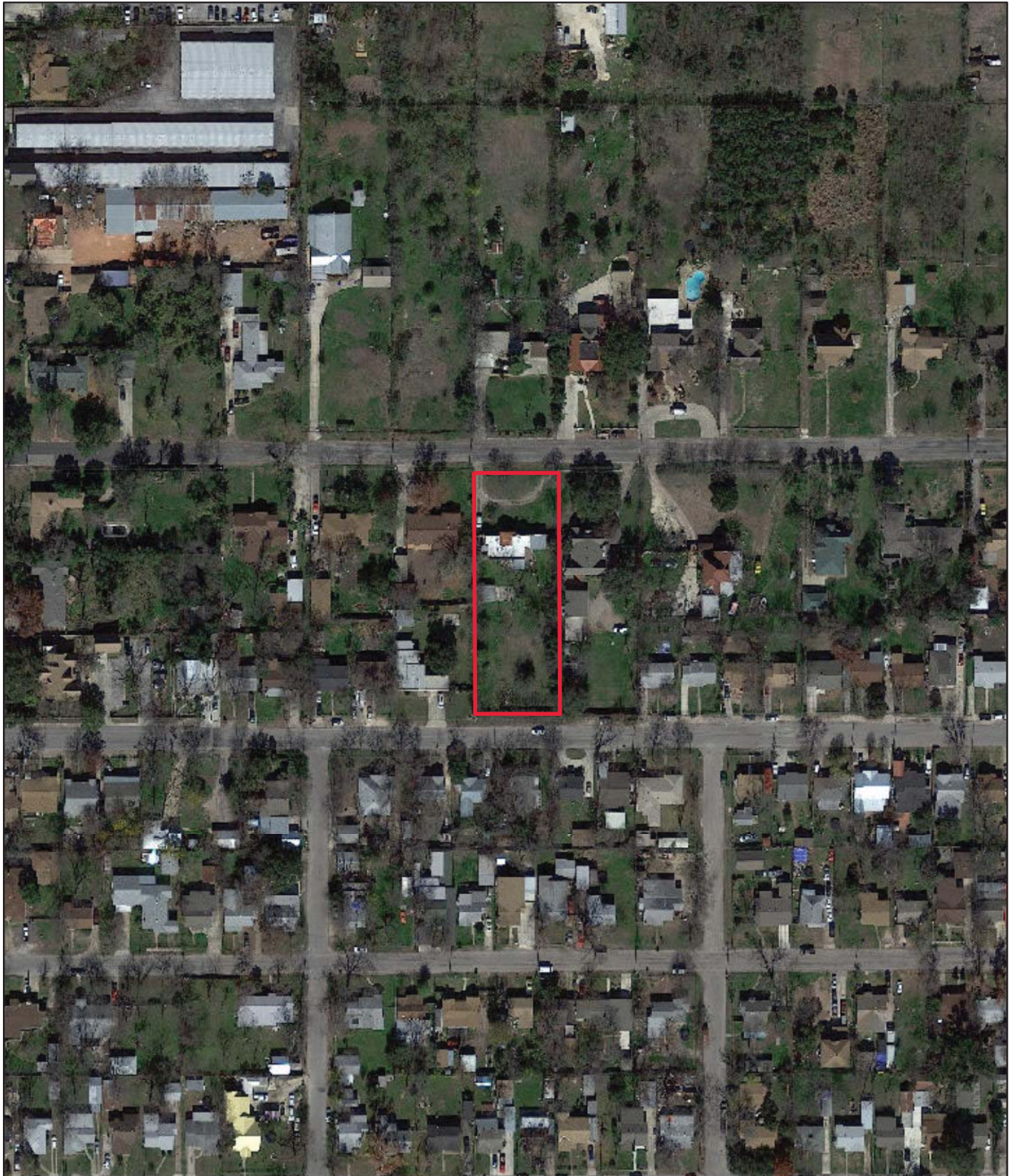
- i. That the applicant submits final measured elevation drawings of the addition to staff for review and approval prior to the issuance of a Certificate of Appropriateness.

Item 6, staff recommends approval of the driveway modifications based on finding h.

Item 7, staff recommends approval of Historic Tax Certification based on findings i and j.

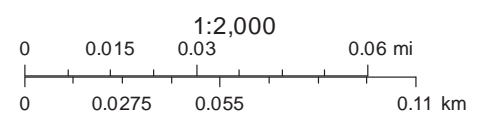


# City of San Antonio One Stop



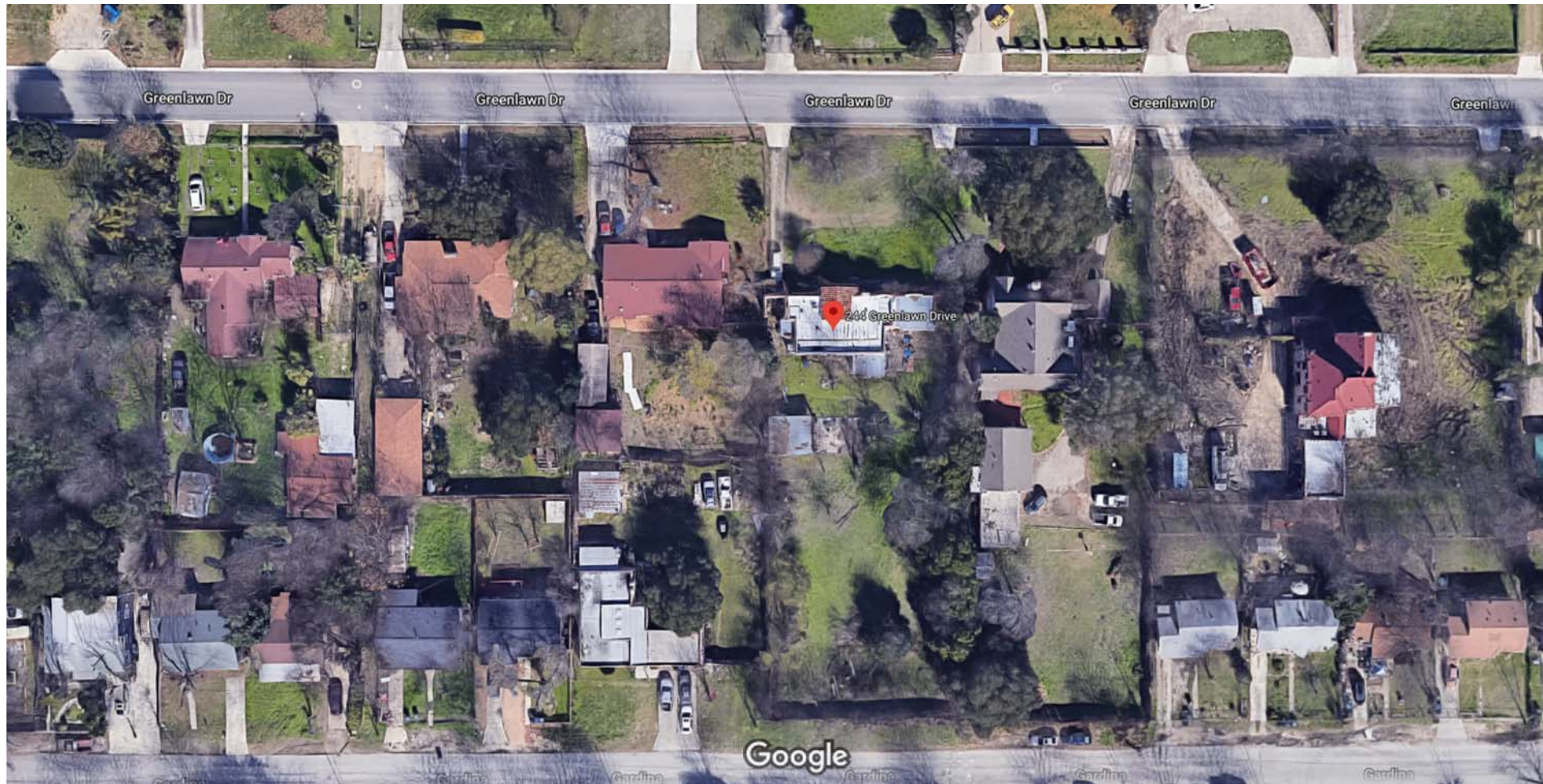
September 8, 2020

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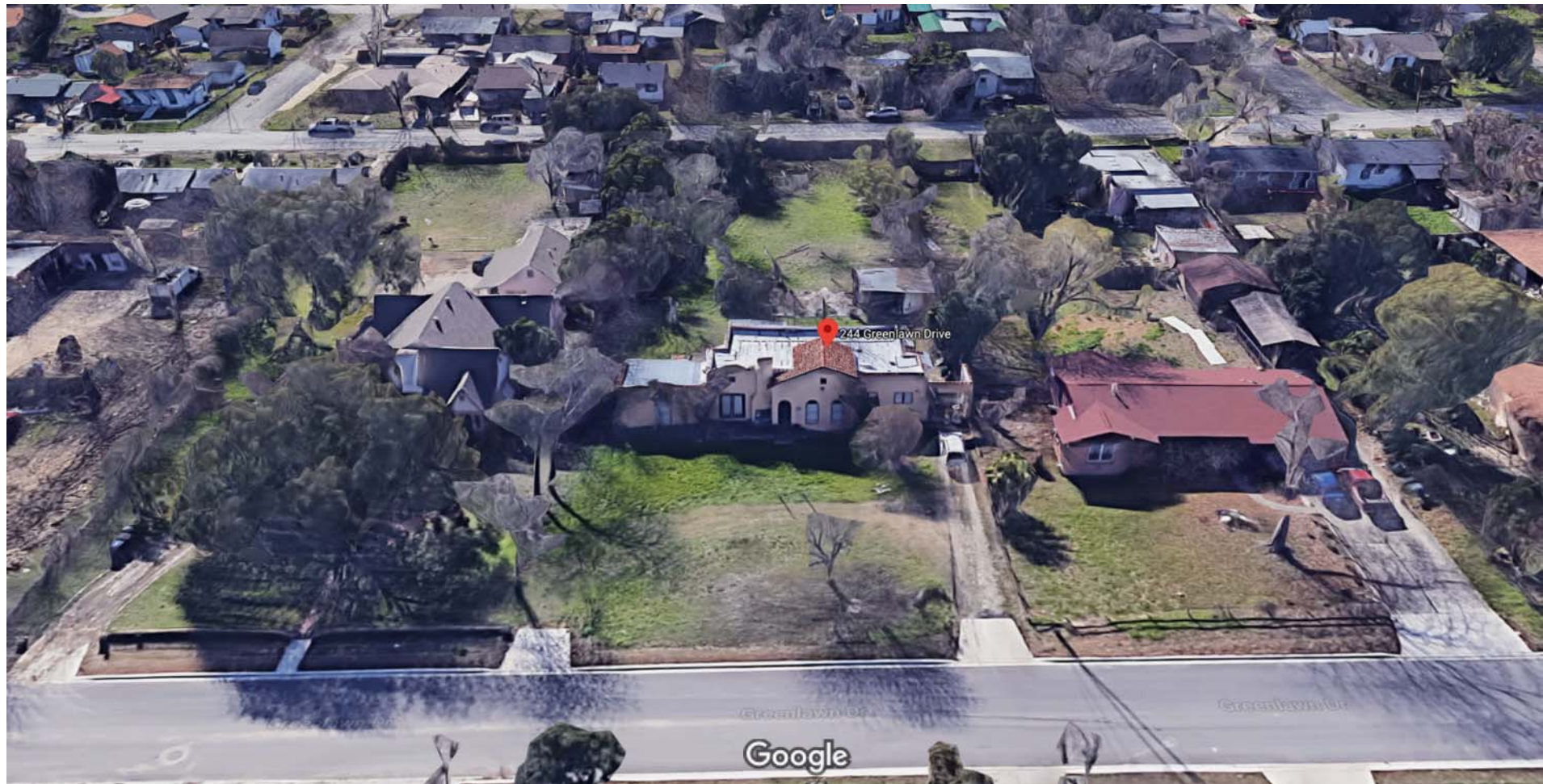
Google Maps 244 Greenlawn Dr



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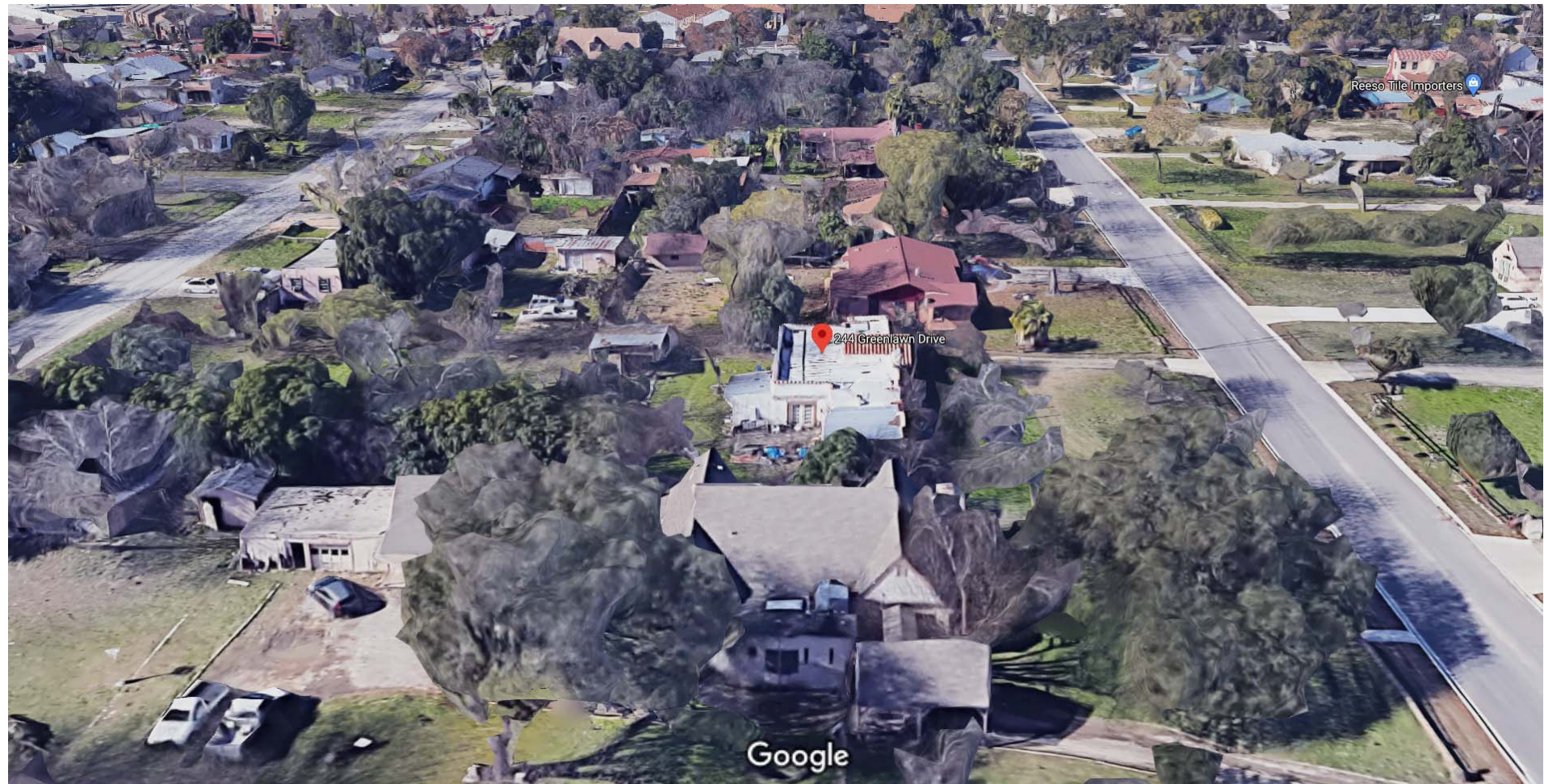
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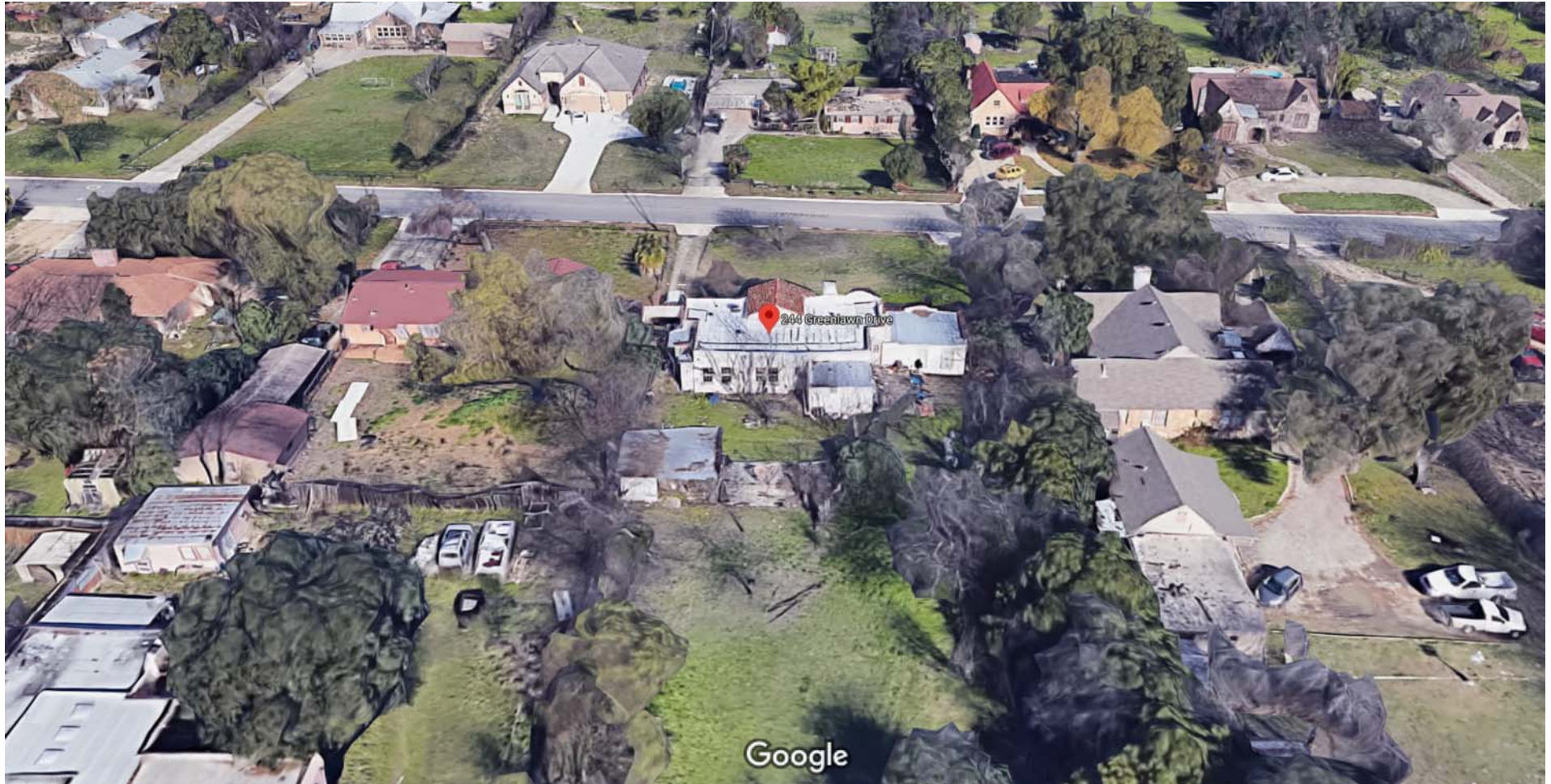
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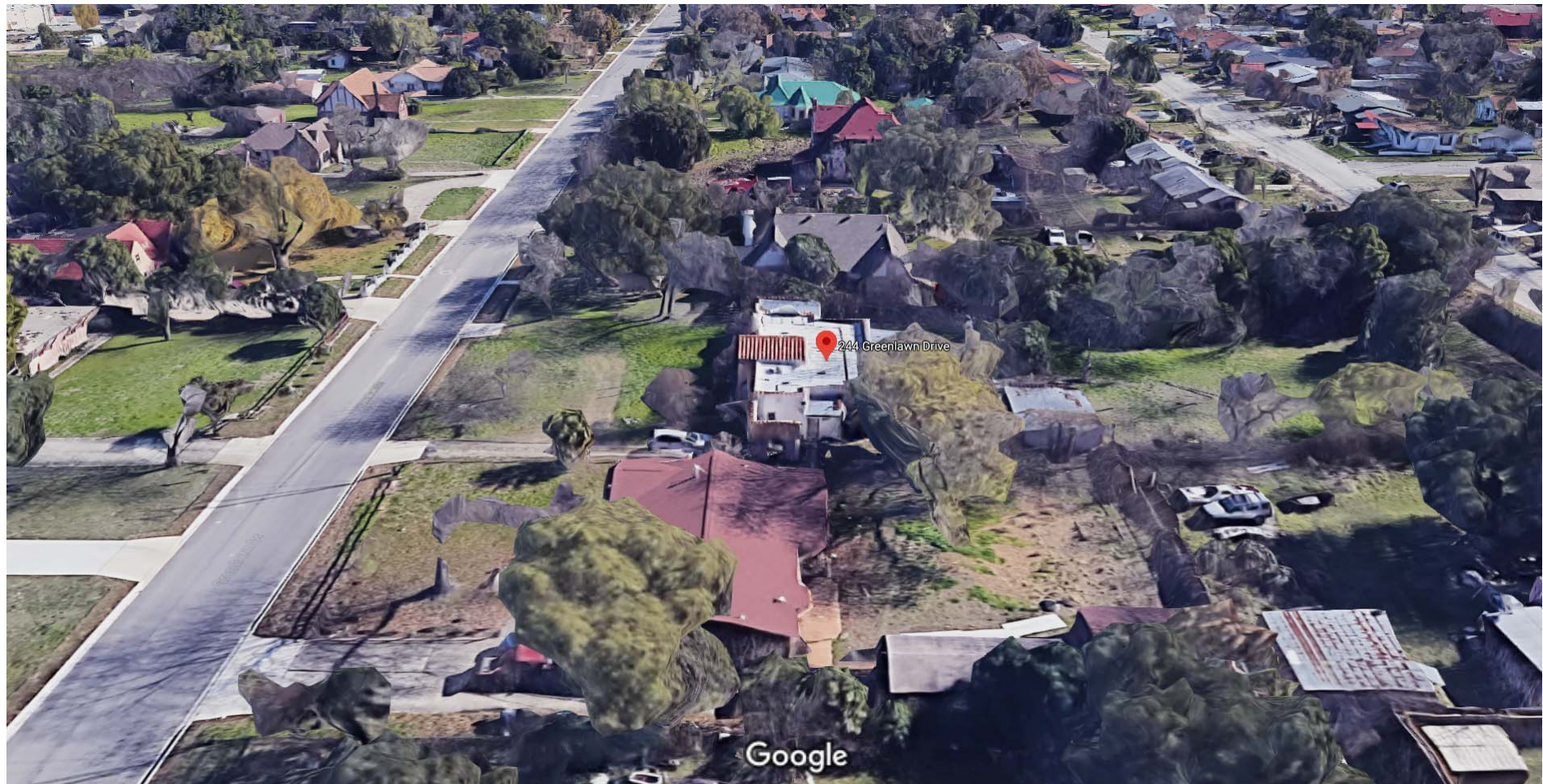
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97					97				
98					98				
99					99				
100					100				

Acres Sqft

0.7072 30804.00

Eff Front Eff Depth

102.00 302.00

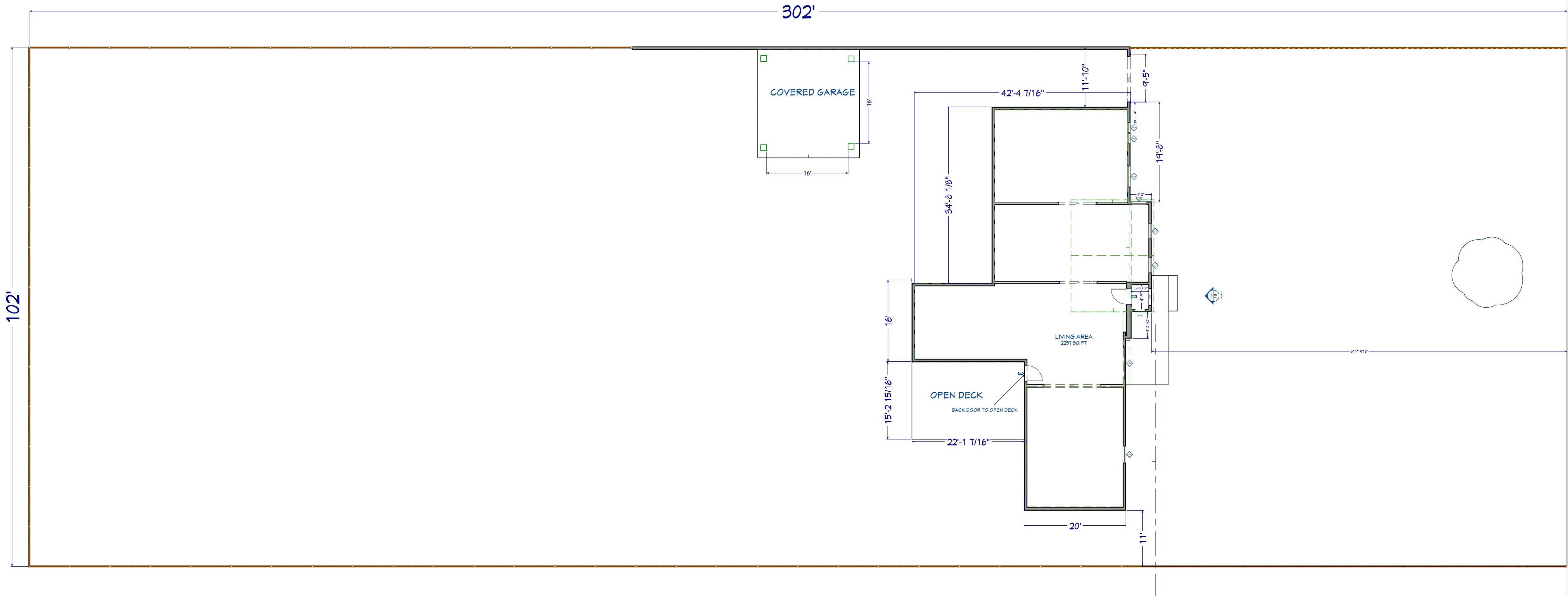
Address: 244 GREENLAWN DR  
SAN ANTONIO, TX 78201

Neighborhood: LOS ANGELES-KEYSTONE

Property ID: 415581 Legal Description: NCB 8418 BLK 3 LOT  
33 THRU 35

Geographic ID: 08418-003-0340

Zoning: R-5



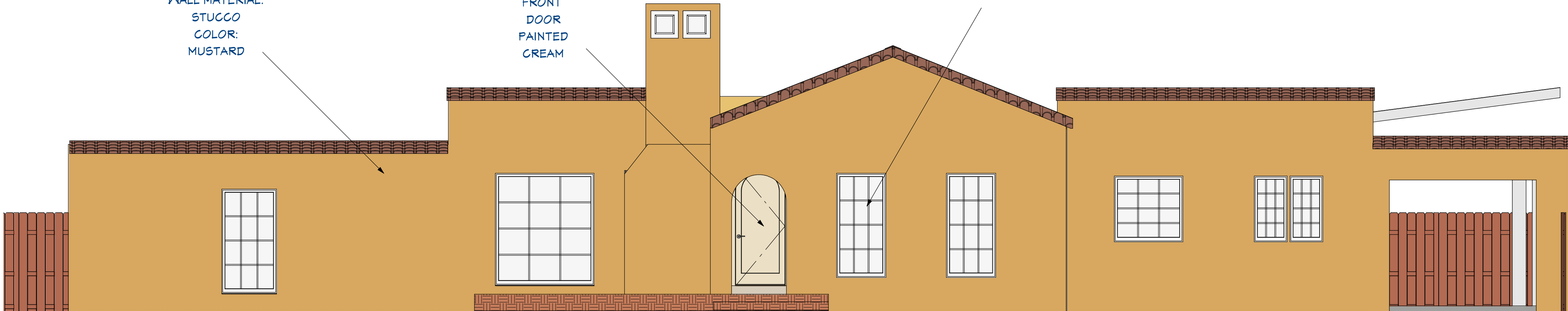
Elevation 1

FRONT

WALL MATERIAL:  
STUCCO  
COLOR:  
MUSTARD

FRONT  
DOOR  
PAINTED  
CREAM

WINDOW  
ALUMINIUM  
WHITE



1/4 in. = 1 ft.

BUILDING CONTRACTOR/HOME OWNER  
TO REVIEW AND VERIFY ALL DIMENSIONS,  
SPECS. AND CONNECTIONS BEFORE  
CONSTRUCTION BEGINS.

ELECTRICAL SYSTEM CODE: SEC.2701  
MECHANICAL SYSTEM CODE: SEC.2801  
PLUMBING SYSTEM CODE: SEC.2901

THESE DRAWINGS ARE THE PROPRIETARY WORK  
PRODUCT AND PROPERTY  
OF MIGUEL YUTANI DEVELOPED FOR THE EXCLUSIVE  
USE OF  
MIGUEL YUTANI USE OF THESE DRAWINGS AND  
CONCEPTS  
CONTAINED THEREIN WITHOUT THE WRITTEN  
PERMISSION OF  
MIGUEL YUTANI IS PROHIBITED  
AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES.

#### GENERAL NOTES AND SPECIFICATIONS

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE 2018 IBC AND ALL ADDITIONAL  
STATE AND LOCAL CODE REQUIREMENTS.  
2018 IBC AND 2018 IAC SHALL BE USED.  
THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY  
PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE  
CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE  
SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED  
DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL  
DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST  
NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF  
PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE GENERAL CONTRACTOR SHALL NOTIFY  
THIS OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF  
PLUMBING, HVAC AND ELECTRICAL SYSTEMS.

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS.  
ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF  
THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND  
DEFECTS DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE  
ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK.  
REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE  
BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR.

DESIGN CRITERIA: 2018 IBC AND IBC  
ROOF: 50 PSF SNOW LOAD  
8 PSF TOP CHORD DL  
7 PSF BOTTOM CHORD DL  
15 PSF NET WIND UPLIFT  
FLOOR: 40 PSF LL  
10 PSF TOP CHORD DL  
7 PSF BOTTOM CHORD DL  
SOL: 12,000 PSF ALLOWABLE (ASSUMED) TO BE AT TIME OF EXCAVATION  
FROST DEPTH: 12" 0"  
SEISMIC ZONE: C  
WIND: 90 MPH (90 MPH 3 SEC GUST), EXPOSURE C.

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES.  
OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH  
OPENING CAVITIES.  
INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 10"  
ABOVE SHOWER DRAINS.  
INSULATE WASTE LINES FOR SOUND CONTROL.

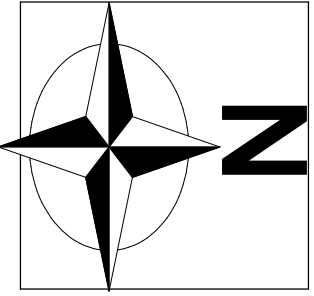
EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS. PROVIDE 90 CFM  
(MIN) FANS TO PROVIDE 3 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR  
SHOWER AND IN LAUNDRY ROOMS.  
ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE 1-C LABEL.

PROVIDE SOLID BLOCKING UNDER









REVISION TABLE		DESCRIPTION
NUMBER	DATE	REVISION BY

244 GREENLAWN DR.  
SAN ANTONIO TEXAS, 78201

ELEVATIONS &  
RENDERS

DRAWINGS PROVIDED BY:  
MIGUEL YUTANI

DATE:

9/3/20

SCALE:

N/A

SHEET:

P-3











The current physical appearance includes a harsh yellow/orange color that is in need of alterations and modernization while maintaining the character. The exterior of the home needs extensive stucco repair to preserve the integrity of the home. The home features failing window. The windows are arched in some areas and standard in others which takes away from the cohesiveness of the architecture. The front porch is in need of repairs and there are multiple cracks and cosmetically needs to be painted. The roof is partial clay tile and flat roof. The roof is in poor condition causing multiple interior leaks. The foundation is in very bad shape causing the multiple cracks throughout the inside and outside of the home. Trees are overgrown covering the architecture of the home. Additionally there is 2 front doors which is a security problem. Overall with some time, effort and minor changes the home can be preserved to its original historic integrity and not me so much of an eyesore to the Greenlawn Estates.

Driveway/ Sidewalk- Proposed driveway from street through existing archway to include a round about in the back of home.

Foundation- Foundation repair throughout entire home to ensure it is all leveled out and the structure of the home. Pier and beam foundation will be repaired.

Painting- Exterior painting in a modern Mediterranean/Spanish color palette to include a shade of white SWISS COFFE- BEHR on majority of exterior with shade of black LIMOUSINSE LEATHER- BEHR accents.

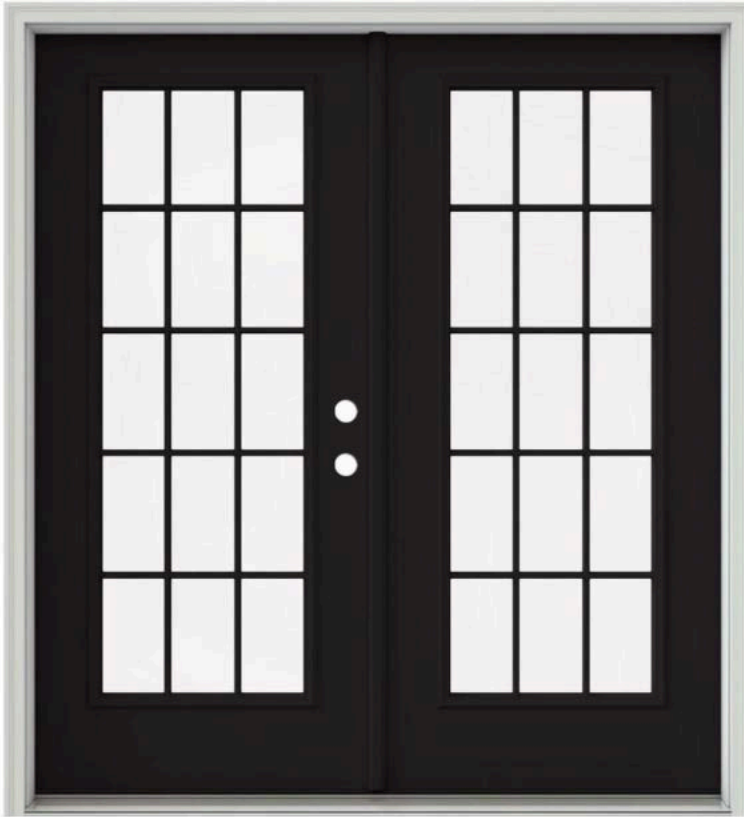
Porch/Patio- Front porch will be repaired to ensure smooth finish, no cracks and will be painted accent color. Back deck is falling apart and will be removed and reinstalled in same area with same material.

Repair and Maintenance- Stucco repair throughout entire exterior. Yard cleanup. Repair to exterior back structure to ensure stability.

Roofing- Roofing is flat roof and concrete clay tile. Will keep same material just do repairs where necessary to ensure no interior leaks

Tree Removal- Trees directly in front of home will be removed so the entire structure is visible.

Window Replacement/fenestration changes- Windows will be changed out to be more energy efficient. Arched window will remain in areas where already existing. Where there are standard windows, arched windows will replace them. Existing exterior doors will be placed with new doors. French door installation on bottom level as entry way to the back. Second front door (French) to the left of the main entrance will be closed off and related with an arched window.

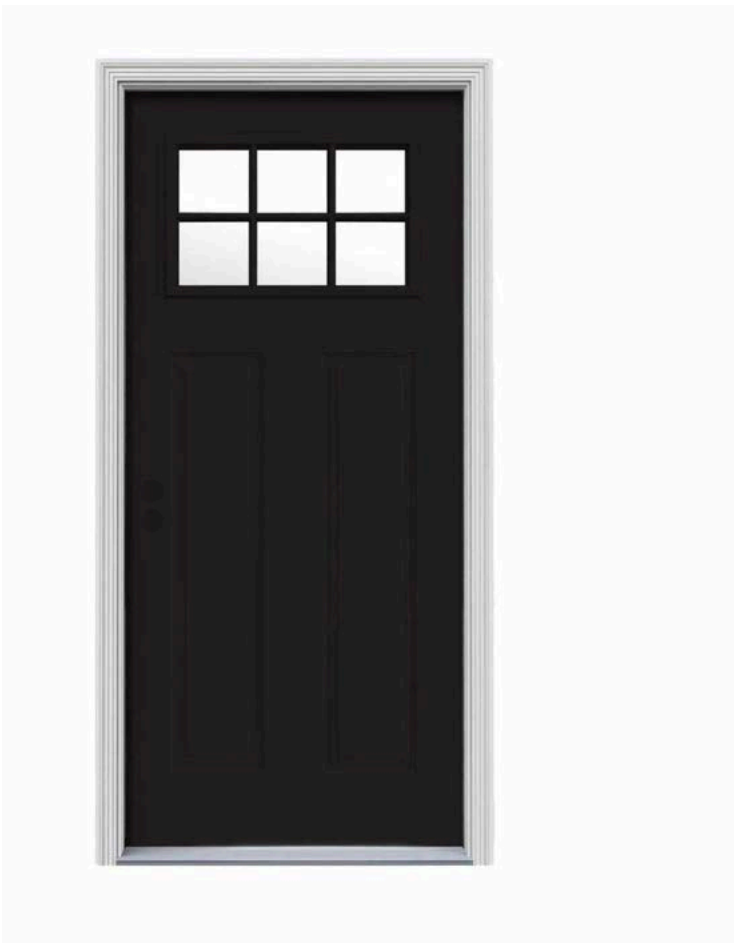


*Exterior View*

## Product Overview

JELD-WEN Steel Swinging French Patio Doors are built to be resilient and strong so you can be sure they are secure, easy-to-care-for, energy efficient and reliable for many years to come. Steel is a popular choice because of its durability and affordability. These patio doors provide a well-designed look that enhances the style of any home.

- Strong, durable and secure steel with attractive, classic style
- Energy efficient Low-E coated glass helps keep your home cool in the summer and warm in the winter
- High-performance ball-bearing hinges provide smooth, easy and quiet operation
- Weather-strip creates a tight seal to eliminate annoying drafts
- Door frame (jamb) and brickmould (trim) are made with AuraLast wood that is guaranteed not to rot and are primed and ready to paint
- Grids are adhered to interior and exterior of glass to provide an authentic divided lite appearance that adds charm to any home
- Grids match the exterior and interior color of the door
- Factory-applied smooth, durable sprayed-on paint leaves no brush lines; paint color is the same on both the interior and exterior sides of the door
- Door is prehung in frame for easier installation, predrilled double bore hole for lock installation (lock sold separately)
- French-style swinging patio door opens into the home on either left or right sides and also allows both doors to open with retracting security pins
- Screen included with patio door
- Easy to care for and designed to prevent water absorption and resist rust, reinforced lock area provides strength and security for door hardware
- Check local building codes before beginning your project to ensure compliancy, not all products are suitable for locations that experience severe weather
- 0
- Shop All [Jeld Wen Patio Doors](#) Here
- Shop All [Jeld Wen Steel Patio Doors](#) Here
- California residents [see Prop 65 WARNINGS](#)



## Product Overview

JELD-WEN Premium Steel doors offer that relied-upon strength, durability and ease of maintenance that complement your home's style. Their high definition panels create an upscale look that adds architectural interest for increased curb appeal. Our strong and secure steel doors are built to prevent water absorption and resist rust to enhance your home for many years.

- Strong and secure steel with high definition panels for a high-end look
- Energy efficient core to help lower heating and cooling cost
- Polystyrene core provides long-lasting insulation
- Made with auraLast pine wood that protects against wood rot for as long as you own and occupy your home
- Door frame (jamb) and brickmould (trim) are made with auraLast wood that is guaranteed not to rot and are primed, ready to paint
- Galvanized steel resists rust and corrosion
- Grids are adhered to interior and exterior of glass to provide an authentic divided lite appearance that adds charm to any home
- Grids are white on both interior and exterior of door
- Factory-applied smooth, durable sprayed-on paint leaves no brush lines
- Paint color is the same on both the interior and exterior sides of the door
- Door is prehung in frame for easier installation
- Predrilled double bore hole for lock installation (lock sold separately)
- From the outside, door opens into the home with hinges on the right
- Easy to care for and designed to prevent water absorption and resist rust
- Reinforced lock area provides strength and security for door hardware
- Check local building codes before beginning your project to ensure compliancy
- Not all products are suitable for locations that experience severe weather
- [Click here to check out our project guide on installing an entry door](#)



- A fixed half circle provides a stunning focal point for your home in a low maintenance fiberglass materi...
- Insulated® SunDefense Low-E insulating glass with argon allows in visible light and provides a clear...
- Combine with other windows to create a custom look

## Exterior Color/Finish: Black



### Overview

For 90 years, Pella has crafted products with one purpose in mind – to help you create beautiful, long-lasting spaces that make life's favorite moments comfortable and enjoyable.

- A fixed half circle provides a stunning focal point for your home in a low maintenance fiberglass material solution
- Insulated® SunDefense Low-E insulating glass with argon allows in visible light and provides a clear view, while helping to block the heat of the sun
- Combine with other windows to create a custom look
- Low maintenance fiberglass
- Fixed unit that does not open or close
- Non operable units create a stylish look and provide great energy efficiency
- Additional shapes, colors and grille options are available as special order
- Replacement block frame comes completely assembled and ready to install
- Backed by a limited lifetime warranty that is one of the best warranties in the business

 [Warranty Guide](#)  
PDF

 [CA Prop 65](#)  
PDF

- Black wood double hung window includes colonial grids & nail fin
- Double hung window includes energy efficient Low-E EC 366 glass
- AuraLast pine protects against wood rot & termites for 20 years







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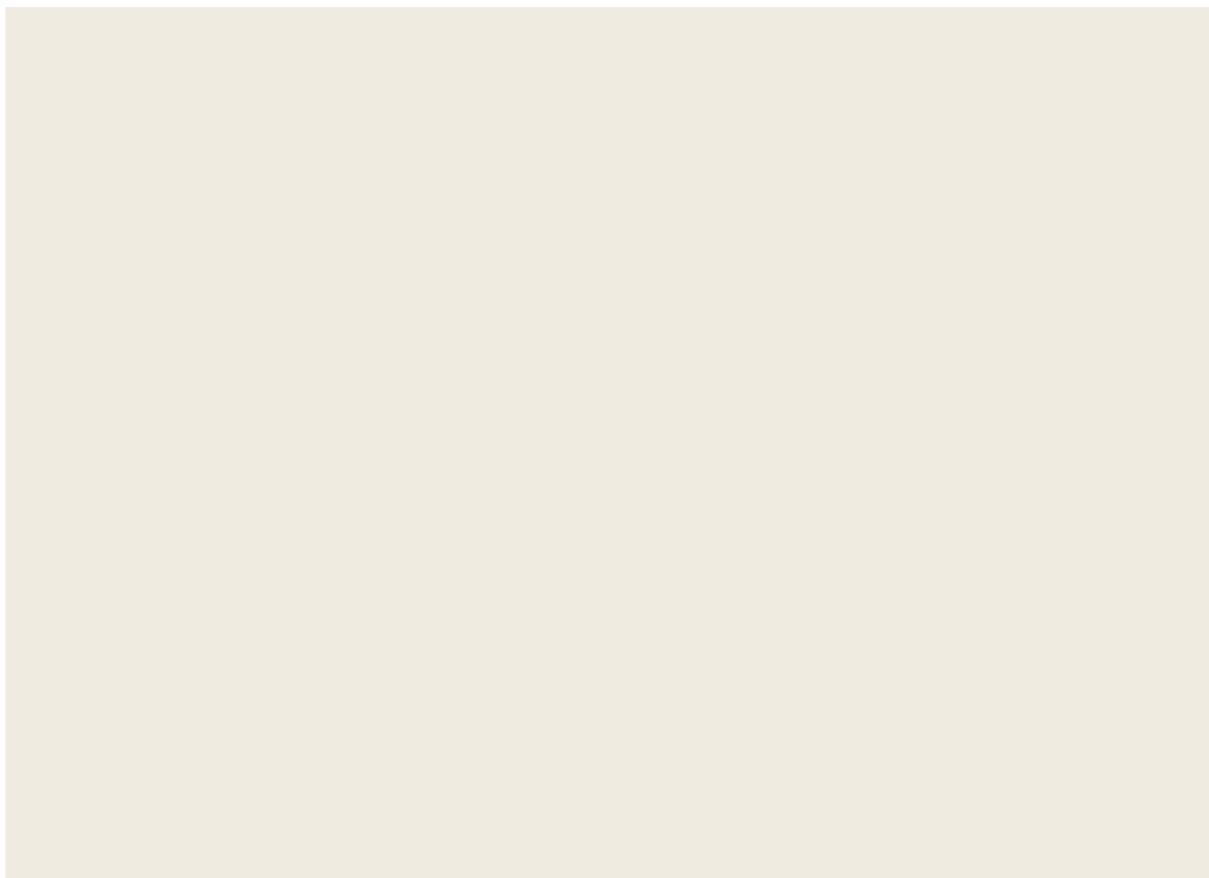
## Product Overview

---

The JELD-WEN W-2500 wood window combines the beauty of wood with affordability and features narrow stiles and rails with a large glass viewing area to bring more of the outdoors into your home. The W-2500 Double Hung wood window is best suited for traditional architectural styles and features upper and lower sashes that slide up and down for varying ventilation. Each sash also tilts for simple cleaning and locks securely in place when done. It is a popular choice for multi-level houses because you can clean your windows safely and easily from inside your home.

- Crafted to deliver excellent energy efficiency and designed with a selection of options to create windows you'll love
- Low-E EC glass includes an extra coating of protection to improve thermal performance for greater energy efficiency
- Made with auralast wood that is guaranteed not to rot for as long as you own and occupy your home
- Lifetime limited warranty coverage for wood decay and termite damage
- BetterVue screen included and features a durable, fine, black fiberglass mesh that is less intrusive to your view
- Grids are factory sealed between panes of glass, making it easier to clean the window glass
- 2-toned grids match each different color on the exterior and interior of window
- Natural pine wood interior adds warmth and beauty to any home
- Low maintenance exterior aluminum cladding has a baked-on color finish
- Cam-lock has a simple, elegant and secure design
- Check local building codes before beginning your project to ensure compliancy, not all products are suitable for locations that experience severe weather
- [Click here to find colored caulk to match your window, door, or siding job](#)
- [Click here to learn more about Eco Options and Energy Efficiency](#)
- Shop All [Jeld Wen Windows](#) Here
- Shop All [Wood & Clad Windows](#) Here
- California residents [see Prop 65 WARNINGS](#)

# Swiss Coffee 12



LRV: 84 R: 241 G: 237 B: 224

# Limousine Leather MQ5-05





*Exterior View*



# SPANISH COLONIAL

## EXTERIOR PRODUCT INFORMATION



**CASEMENT WITH  
HALF-CIRCLE WINDOW**

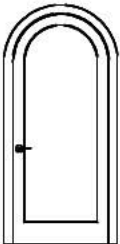
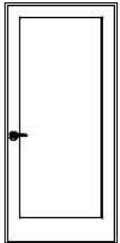
- Brick mould exterior trim: Dark Bronze
- Frame exterior: Dark Bronze
- Sash exterior: Dark Bronze
- Specified equal light grille pattern



**CASEMENT AND QUARTER-CIRCLE  
SPECIALTY WINDOW COMBINATION**

- Brick mould exterior trim: Dark Bronze
- Frame exterior: Dark Bronze
- Sash exterior: Dark Bronze
- Specified equal light grille pattern (casements)
- Renaissance grille pattern (quarter-circles)

## DOOR SCHEDULE

3D EXTERIOR ELEVATION	NUMBER	LABEL	QTY	FLOOR	SIZE	R/O	DESCRIPTION	HEADER	CODE	MANUFACTURER	COMMENTS
	D01	3073	1	1	3073 R IN	38"X89 1/2"	HINGED-RT-PANEL	2X6X41" (2)			
	D02	3068	1	1	3068 R EX	38"X83"	EXT. HINGED-PANEL	2X6X41" (2)			



































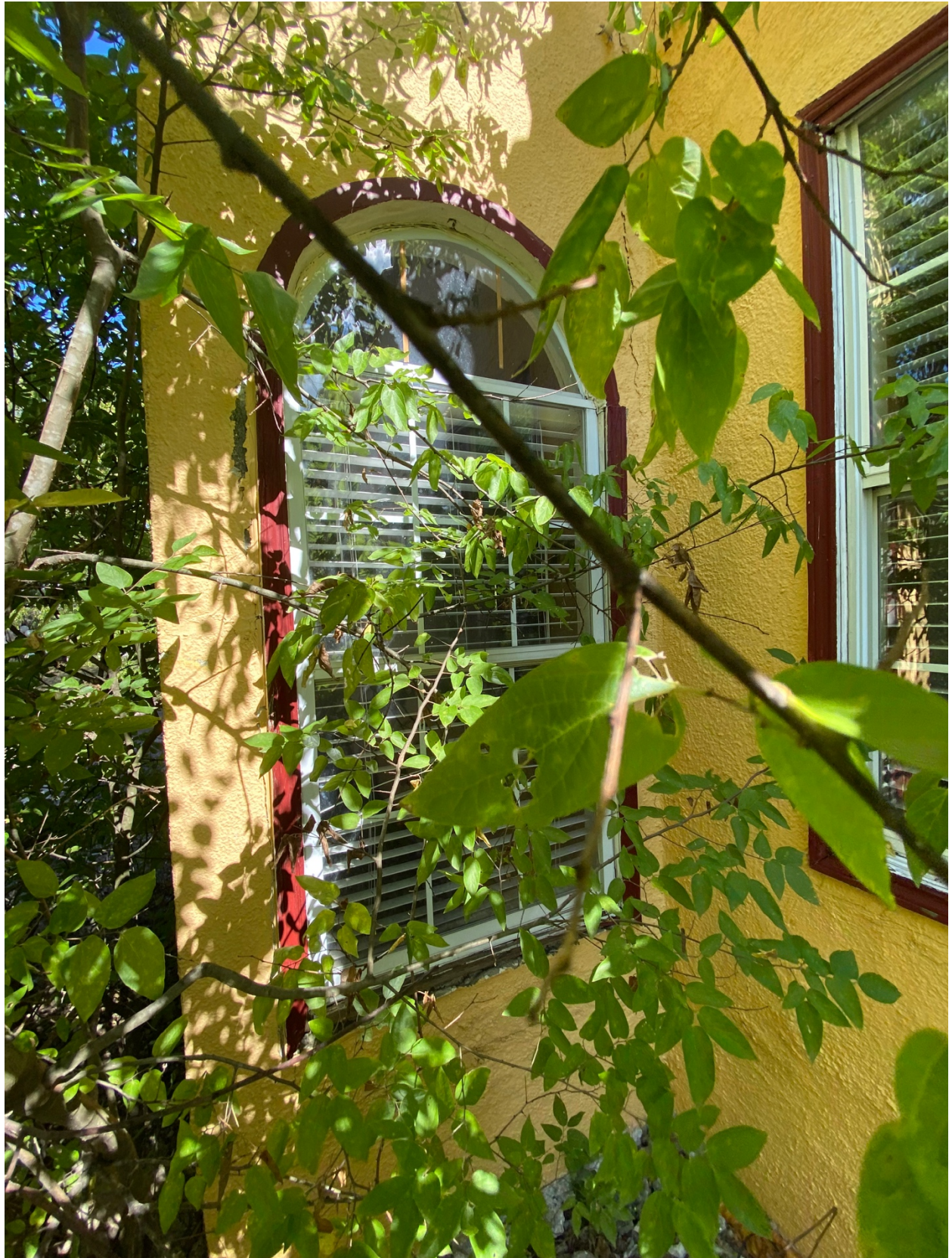




























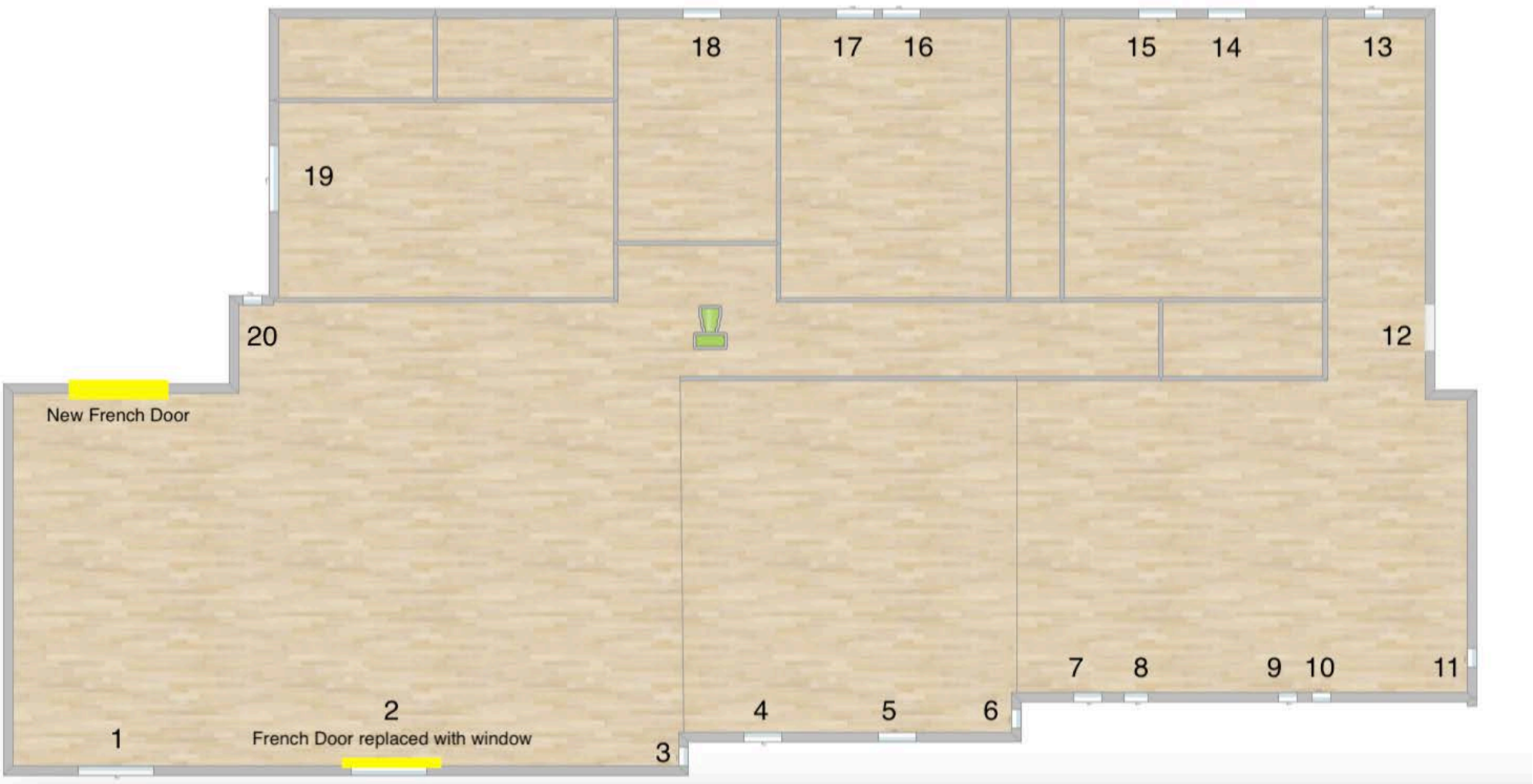




























































































## Description of work

The current physical appearance includes a harsh yellow/orange color that is in need of alterations and modernization while maintaining the character. The exterior of the home needs extensive stucco repair to preserve the integrity of the home. The home features failing window. The windows are arched in some areas and standard in others which takes away from the cohesiveness of the architecture. The front porch is in need of repairs and there are multiple cracks and cosmetically needs to be painted. The roof is partial clay tile and flat roof. The roof is in poor condition causing multiple interior leaks. The foundation is in very bad shape causing the multiple cracks throughout the inside and outside of the home. Trees are overgrown covering the architecture of the home. Additionally, there is 2 front doors which is a security problem. Overall with some time, effort and minor changes the home can be preserved to its original historic integrity and not be so much of an eyesore to the Greenlawn Estates.

Driveway/ Sidewalk- Proposed driveway from street through existing archway

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Porch/Patio- Front porch will be repaired to ensure smooth finish, no cracks and will be painted accent color.

Back deck is falling apart and will be removed and reinstalled in same area with same material.

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Roofing- Roofing is flat roof and concrete clay tile. Will keep same material just do repairs where necessary to ensure no interior leaks

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Window Replacement/fenestration changes- Windows will be changed out to be more energy efficient.

Arched window will remain in areas where already existing. Where there are standard windows, arched windows will replace them. Existing exterior doors will be placed with new doors. French door installation on bottom level as entry way to the back. Second front door (French) to the left of the main entrance will be closed off and related with an arched window.

Plumbing- All plumbing will be brought up to current codes and replaced

Electrical- All electrical will be brought up to current codes and replaced. New outlets and switches.

Kitchen- Current kitchen will be demoed and remodeled where existing kitchen is. An island will be installed.

New cabinets, countertops and fixtures

Bathrooms Current bathrooms will be demoed and remodeling where existing bathrooms are. New vanities, tile, flooring, and fixtures

Flooring- flooring will all be replaced to match. Laminate vinyl will be installed in all areas except bathroom and laundry room.

Demo- interior arches will be expanded to add to open concept feeling. Reconfigure pantry/laundry room to feel more spacious.

Finishes- light fixtures, doors, baseboards, trim, switch plates



## **Itemized list of expected work both interior and exterior**

- DEMO
- FOUNDATION
- ROOF
- WINDOWS
- STUCCO REPAIR
- EXTERIOR PAINT
- HVAC REPLACEMENT
- ELECTRICAL
- PLUMBING
- SHEETROCK
- TEXTURE
- INSULATION
- WOODWORK
- INTERIOR PAINT
- DOORS/KNOBS- EXTERIOR AND INTERIOR
- FLOORING
- KITCHEN- CABINETS, TILE, FIXTURES
- MASTER BATH- CABINETS, TILE, FIXTURES
- GUEST BATH- CABINETS, TILE, FIXTURES
- FINAL FIXTURES- LIGHTING, OUTLETS COVERS, SWITCH PLATES

## **Projected Time Schedule**

### **OCTOBER 2020**

- DEMO
- FOUNDATION
- ROOF
- WINDOWS
- STUCCO REPAIR
- EXTERIOR PAINT

### **NOVEMBER 2020**

- HVAC REPLACEMENT
- ELECTRICAL
- PLUMBING
- SHEETROCK

### **DECEMBER 2020**

- TEXTURE
- INSULATION
- WOODWORK
- INTERIOR PAINT
- DOORS/KNOBS- EXTERIOR AND INTERIOR

### **JANURARY 2021**

- FLOORING
- KITCHEN- CABINETS, TILE, FIXTURES
- MASTER BATH- CABINETS, TILE, FIXTURES
- GUEST BATH- CABINETS, TILE, FIXTURES
- FINAL FIXTURES- LIGHTING, OUTLETS COVERS, SWITCH PLATES

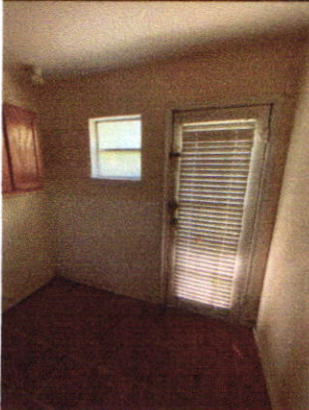
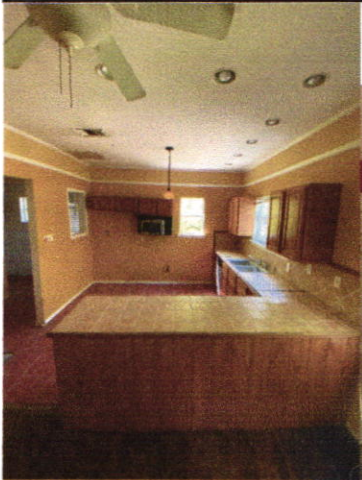
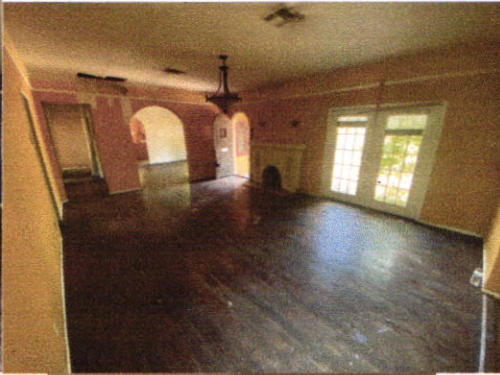


## COLOR PHOTOS- EXTERIOR





## COLOR PHOTOS- INTERIOR

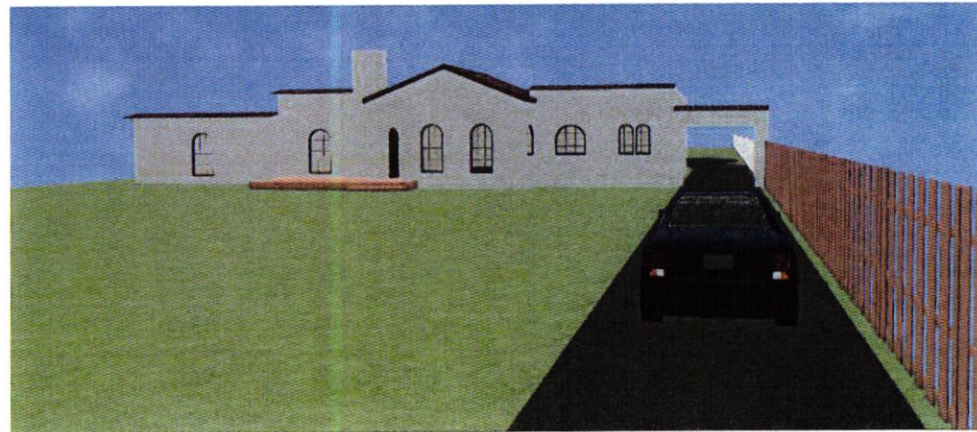
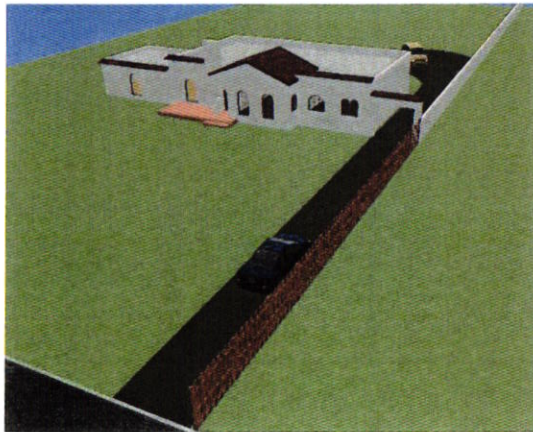
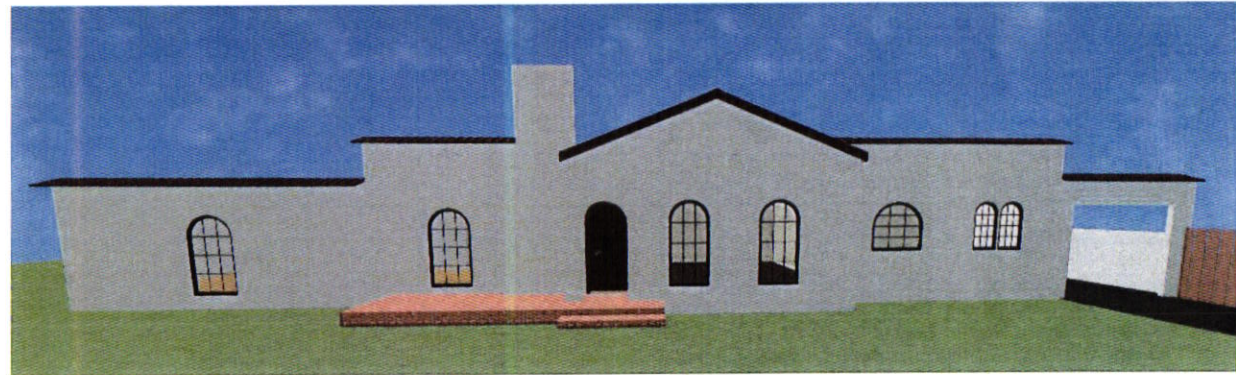
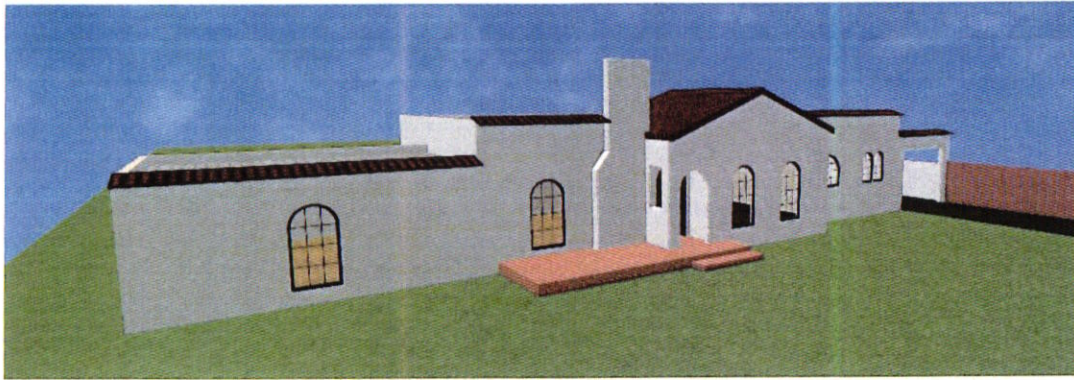




Front of home from street







REVISION TABLE		
NUMBER	DATE	REVISION BY DESCRIPTION

244 GREENLAWN DR.  
SAN ANTONIO TEXAS, 78201

ELEVATIONS &  
RENDERS

DRAWINGS PROVIDED BY  
MIGUEL YUTANI

DATE:  
8/27/20

SCALE:  
N/A

SHEET:  
P-2



Unit 10: The City						
Image	Object	Color	Material	Location	Function	Notes
	Window	White	Wood	Room 101	Let in light	Check for leaks
	Window	White	Wood	Room 102	Let in light	Check for leaks

Zoning: R-5



The following codes are effective: (2018 International Building Code, 2018 International Residential Code, 2018 International Existing Building Code, 2018 International Mechanical Code, 2018 International Plumbing Code, 2018 International Fuel Gas Code, 2018 International Fire Code, 2018 International Energy Conservation Codes, 2018 National Electric Code).

