

HISTORIC AND DESIGN REVIEW COMMISSION

June 17, 2015

Agenda Item No: 1

HDRC CASE NO: 2015-087
ADDRESS: 138 E HOLLYWOOD AVE
LEGAL DESCRIPTION: NCB 6388 BLK 8 LOT 52, 53, 54, W 10 FT OF 51 & E 15 FT OF 55
ZONING: R5 H
CITY COUNCIL DIST.: 1
DISTRICT: Monte Vista Historic District
APPLICANT: Diane Hays
OWNER: John Hayes, Amy Hayes
TYPE OF WORK: Demolish addition, construct a 1,395 sq.ft. rear addition and garage modifications
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Demolish existing small rear addition.
2. Construct a 1,395 sq. ft. rear addition. The addition will be clad in stucco to match the color of existing brick. It will have composition roof that will match the existing in type and material.
3. Garage modifications to include: create two garage bays in the front elevation and enlarge existing opening to accommodate larger vehicles, create a rear garage door opening to allow access to alley and construct new apron, and construct new trellis in front of the garage.
4. Repair existing driveway and expand width of driveway near garage entrance.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations

6. Architectural Features: Doors, Windows, and Screens

A. MAINTENANCE (PRESERVATION)

i. Openings—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.

9. Outbuildings, Including Garages

A. MAINTENANCE (PRESERVATION)

ii. Materials—Repair outbuildings and their distinctive features in-kind. When new materials are needed, they should match existing materials in color, durability, and texture. Refer to maintenance and alteration of applicable materials above, for additional guidelines.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. Garage doors—Ensure that replacement garage doors are compatible with those found on historic garages in the district (e.g., wood paneled) as well as with the principal structure. When not visible from the public right-of-way, modern paneled garage doors may be acceptable.

Historic Design Guidelines, Chapter 3, Guidelines for Additions

1. Massing and Form of Residential Additions

A. GENERAL

- i. Minimize visual impact—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.
- ii. Historic context—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.
- iii. Similar roof form—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. Transitions between old and new—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

B. SCALE, MASSING, AND FORM

- i. Subordinate to principal facade—Design residential additions, including porches and balconies, to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- iv. Footprint—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.
- v. Height—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

3. Materials and Textures

A. COMPLEMENTARY MATERIALS

- i. Complementary materials—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.
- ii. Metal roofs—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alternations and Maintenance section for additional specifications regarding metal roofs.
- iii. Other roofing materials—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

4. Architectural Details

A. GENERAL

- i. Historic context—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.
- ii. Architectural details—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.
- iii. Contemporary interpretations—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

Secretary of the Interior Standards for Rehabilitation

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

FINDINGS:

- a. The main house and garage, designed by architect Will N. Noonan were built in 1925 in the Colonial Revival style. According to the Monte Vista Historic District survey, both structures are contributing to the district.
- b. The existing small rear addition is likely not original or of historic age. Demolition will not cause an adverse effect to the historic structure.
- c. The case was presented to the HDRC on March 6, 2015. At that time, the project was referred to the Design Review Committee. The DRC reviewed revised plans on March 24, 2015. The DRC noted that the applicant had addressed the previous concerns but that brick should be toothed back into the façade.
- d. The case received conceptual approval as submitted on April 15, 2015.
- e. Consistent with the Guidelines for Additions, new additions should be located at the side or rear of the building to minimize views from the street. The proposed addition is set back behind the main house and is in keeping with the guidelines.
- f. According to the Guidelines for Additions, a setback or recessed area should be utilized to provide a clear distinction between the old and the new. The addition is set back from the original house consistent with the guidelines. In addition, the proposed stucco cladding on the new walls will provide a clear distinction between old and new.
- g. Materials that match existing in type, color, and texture should be used according to the Guidelines for Additions. The proposed stucco is consistent with the guidelines.

- h. Consistent with the Guidelines for Additions, new additions should be designed to reflect their time while respecting the historic context. Architectural details that are in keeping with the architectural style and are simple in design should also be used. The proposed detailing will match the existing details on the house but will have a simplified design to clearly differentiate old and new.
- i. According to the Standards for Rehabilitation #10, new additions should be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic structure would be unimpaired. As presented, construction of the proposed addition will include the removal of several original brick walls which should be preserved if possible.
- j. The front of the existing garage has been previously modified by enclosing the original door opening. The proposed changes to the door openings will not cause an adverse effect and are in keeping with the style of the main house. Consistent with the guidelines, new garage doors should be compatible with those found on other garages in the district. The proposed front garage doors are consistent with the guidelines.
- k. Consistent with the Guidelines for Exterior Maintenance and Alterations, creating new entrances on a façade visible from the public right of way should be avoided. The proposed new rear garage door will face the alley and will not be highly visible. However, using two single doors instead of a double door may be more appropriate and better relate to adjacent historic garages.

RECOMMENDATION:

Staff recommends items 1-4 based on findings a-k with the stipulation that the rear garage door has two single door openings instead of a double door opening.

CASE MANAGER:

Adriana Ziga





138 E Hollywood

Printed: Feb 23, 2015

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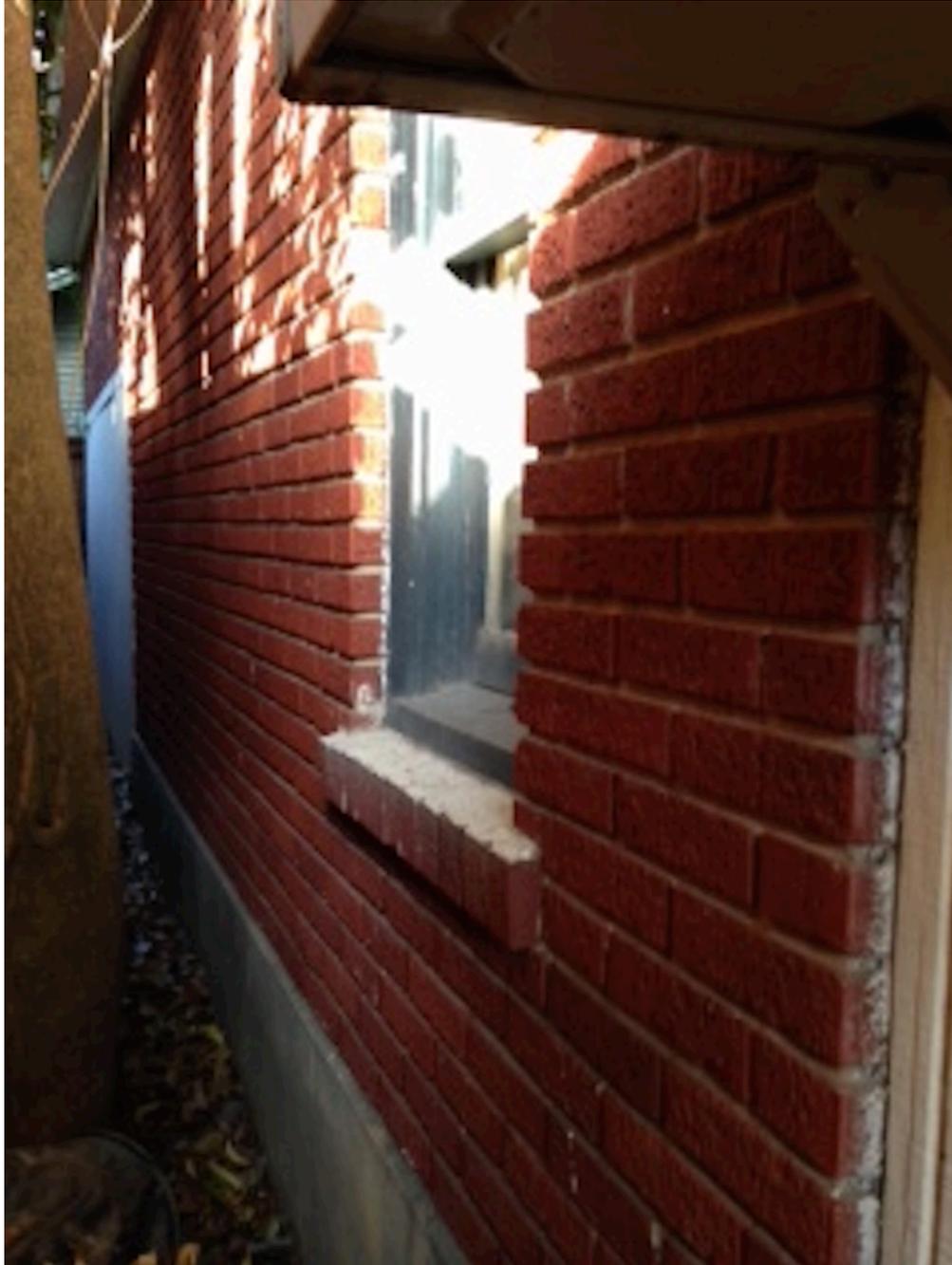
Rear Elevation



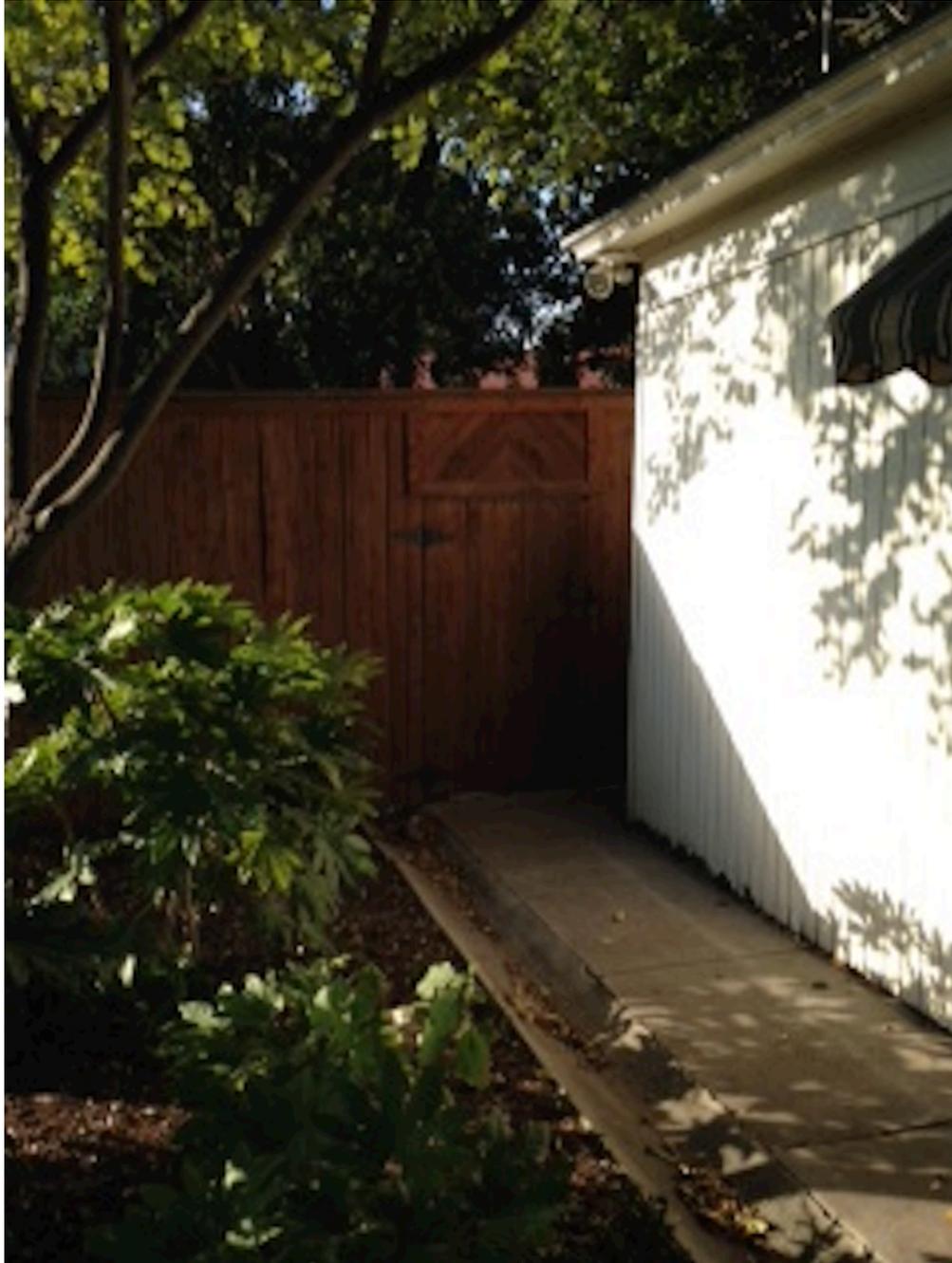
Rear view



Rear wall garage



Side wall at garage



Rear view of garage



Front elevation of garage



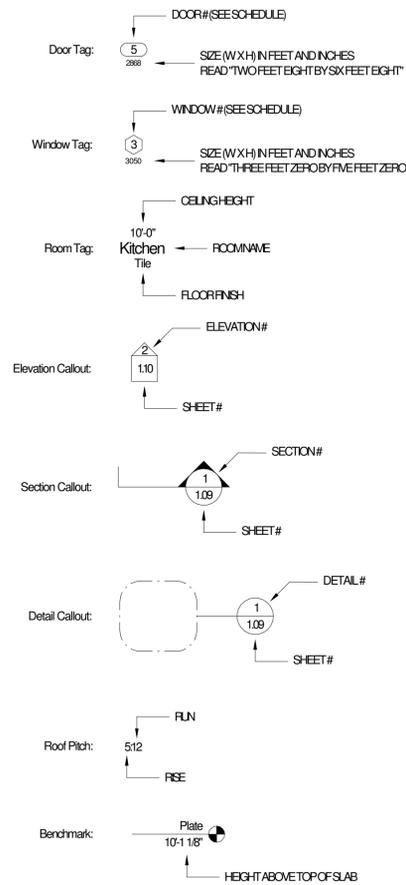
Front elevation of garage



Abbreviations

- ADJ Adjustable
- AFF Above Finish Floor
- ARCH Architectural
- BD Board
- BLKG Blocking
- BO Bottom Of
- BRG Bearing
- CAB Cabinet
- CANT Cantilever
- CJ Ceiling Joist
- CMU Concrete Masonry Unit
- CLG Ceiling
- CLO Closet
- COL Column
- CONC Concrete
- CONT Continuous
- CORR Corridor
- CPT Carpet
- CTR Center
- D Dryer
- DBL Double
- DET Detail
- DH Double Hung
- DIA Diameter
- DIM Dimension
- DN Down
- DO Door Opening
- DW Dishwasher
- DWR Drawer
- DWG Drawing
- EA Each
- ELEV Elevation
- EQ Equal
- EW Each Way
- EXT Exterior
- FD Floor Drain
- FE Fire Extinguisher
- FIN Finish
- FL Floor
- FO Face of
- FS Full Size
- FT Foot or Feet
- FTG Footing
- FURR Furring
- FZR Freezer
- GAS Gas Bib
- GB Grab Bar
- GL Glass
- GALV Galvanized
- GYP Gypsum
- HB Hose Bib
- HC Handicap
- HDR Header
- HR Hour
- INT Interior
- JT Joint
- LAM Laminate
- LAV Lavatory
- LIN Linen
- LVL Laminated Veneer Lumber
- MAX Maximum
- MC Medicine Cabinet
- MECH Mechanical
- MET Metal
- MFR Manufacturer
- MIN Minimum
- MISC Miscellaneous
- MTD Mounted
- MUL Mullion
- MW Microwave
- NIC Not In Contract
- NTS Not To Scale
- OC On Center
- OH Opposite Hand
- OHD Overhead Door
- OSB Oriented Strand Board
- PL Plate
- PR Pair
- PTN Partition
- RAD Radius
- REF Refrigerator
- RM Room
- RO Rough Opening
- SF Square Feet
- SH Single Hung
- SHT Sheet
- SIM Similar
- SPEC Specification
- SS Stainless Steel
- STD Standard
- STL Steel
- SYM Symmetrical
- TC Trash Compactor
- PH Telephone
- TG Tongue and Groove
- UNO Unless Noted Otherwise
- VCT Vinyl Composition Tile
- VERT Vertical
- VWC Vinyl Wall Covering
- W Washer
- WD Wood
- WH Water Heater
- WP Waterproof
- WWM Welded Wire Mesh

Symbols



General Notes

1. Written dimensions take precedence over scaled dimensions.
2. On Floor Plans, dimensions are to face of frame, or face of masonry u.n.o.
3. On Foundation Plans, dimensions are to edge of foundation, u.n.o.
4. On Interior Elevations, dimensions are to face of sheet rock, u.n.o.
5. Larger scale drawings take precedence over smaller scale drawings.
6. Change in floor materials occurs at centerline of door leaf.
7. All work performed shall be in accordance with all applicable codes, regulations, and ordinances having jurisdiction.
8. Attic access shall not be less than 22" x 30". Attic stair shall have a 25 1/2" x 54" rough opening, and shall be located to provide 30" minimum clear head room above the access opening.
9. Provide sound attenuating batts around all bathrooms and mechanical equipment spaces.
10. Any Mechanical, Electrical, or Plumbing shown on these plans are schematic only. Each sub-contractor is responsible to design and install their respective systems and equipment in conformance to local codes.
11. Unless Otherwise Noted, doors shall be located 6" from an adjacent wall, or centered between two adjacent walls.
12. Window sizes shown are nominal unit sizes. Coordinate actual rough opening requirements with window manufacturer.
13. Locate all plumbing and mechanical vent stacks toward the rear of the building when possible, and paint to match roofing color.
14. Final selections for all finish materials to be made by the Builder/Owner.
15. All bath and toilet area walls shall have water resistant gypsum board.
16. Builder shall coordinate all closet shelving requirements with Owner.
17. Handrails shall be mounted 32"-34" above nosing of stairs. Guard rails shall be 36" high.

Disclaimer

The Builder is responsible for ensuring compliance with all local codes and ordinances. Before construction begins, the Builder should thoroughly review these plans and notify Delineations Inc. immediately of any discrepancies or errors in the plans. The Builder acknowledges and understands the risks associated with adapting this home design to the local construction site, such as climate, soil conditions, grade, seismic zone, etc. Therefore, the Builder should consult a local engineer prior to construction in order to establish adequate structural design and construction methods. The Builder is also responsible for obtaining a local Architect's Seal if required to satisfy the local governing authority. The Builder is responsible for MEP design. Delineations Inc. shall not be held responsible for construction means or methods, construction costs, quality of materials, or workmanship. Delineations Inc. shall not be held responsible for deviations from the design resulting from unreported discrepancies in the plans. It is up to the Builder to notify Delineations immediately of any discrepancies before continuing construction. Delineations Inc. hereby grants permission to build only one structure from this set of plans. Any subsequent construction beyond the structure for which this plan was purchased is strictly prohibited. Do not use these plans for construction unless each sheet is labeled and issued "For Construction."

City of San Antonio Codes

- 2012 International Building Code
- 2012 International Residential Code
- 2012 International Existing Building Code
- 2012 International Mechanical Code
- 2012 International Plumbing Code
- 2012 International Fuel Gas Code
- 2012 International Fire Code
- 2009 International Energy Conservation Codes
- 2011 National Electric Code

The Hayes House

138 East Hollywood

Project Information

Owners: The Hayes Family

Location: 138 East Hollywood Drive
San Antonio, Texas 78212

Design by: D. Hays

Drawing List	
Sheet Number	Sheet Name
A-100	Cover Sheet
A-101	Site Plan Existing, Demo, + New, Areas
A-102	1st Floor Plan Existing + Demo
A-103	1st Floor Plan Existing + New
A-104	2nd Floor Plan - Existing + Demo
A-105	2nd Floor Plan Existing + New
A-106	1st Floor Electrical Plan
A-107	2nd Floor Electrical Plan
A-200	Partial Sections Existing + New
A-201	Exterior Elevations Existing + New
A-202	Exterior Elevations
A-203	Elevations
A-300	Interior Elevations
A-301	Interior Elevations
A-400	Perspectives
Grand total: 15	



Hayes House
The Hayes Family
138 East Hollywood

No.	Description	Date
25%	- Concept	10-15-14
65%	- Progress Set	11-7-14
70%	- Progress Set	11-26-14
	Pre Bid Set	12-12-14
	Bid Set	12-17-14
	Bid Set - Revised	01-07-15
	Bid Set - Revised-2	01-27-15
	Bid Set - Revised-3	02-15-15
	Bid Set - Revised-4	03-02-15

HDRC Set - Re-Submit

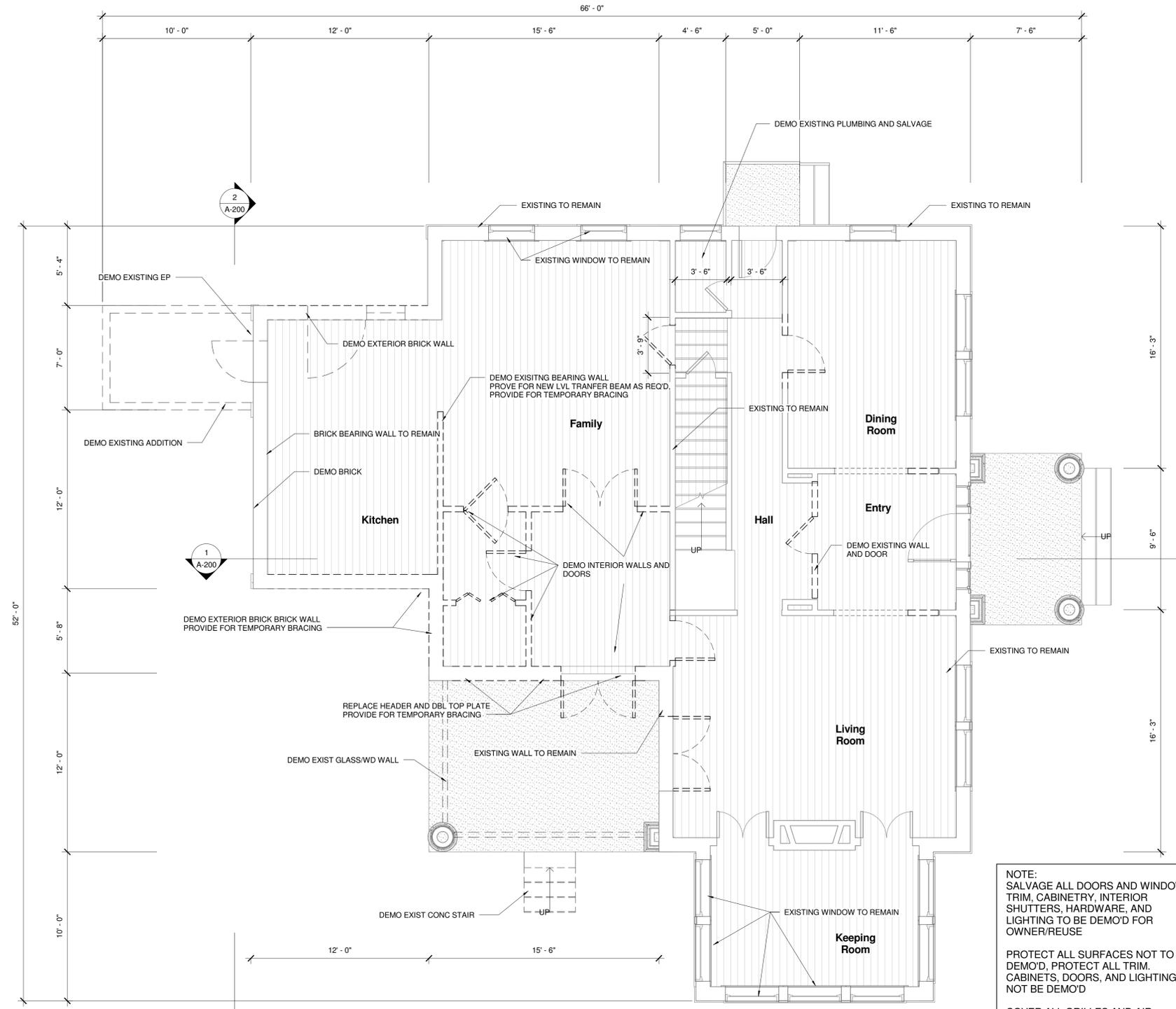
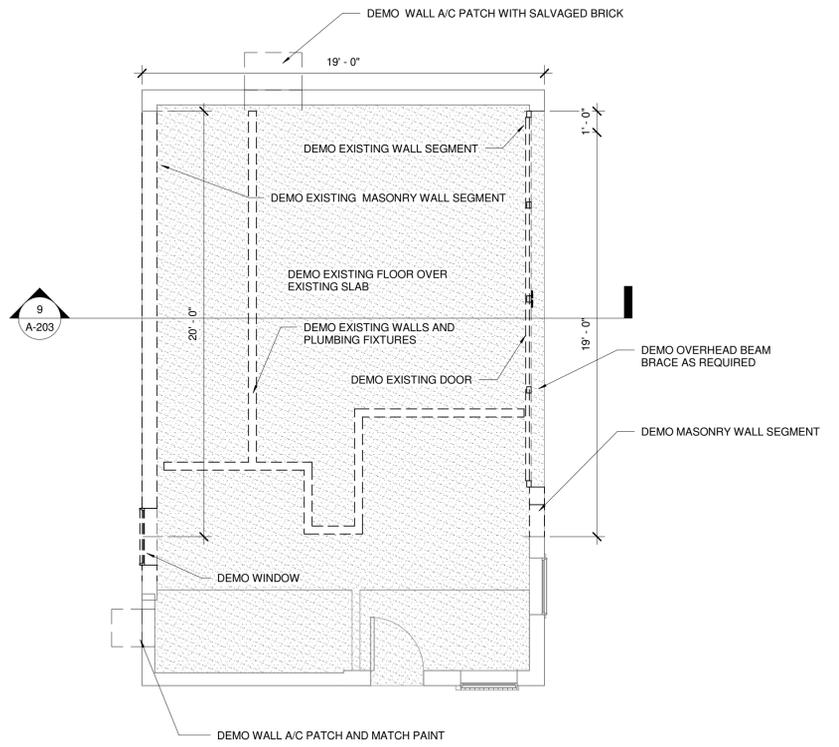
03-12-2015
Permit Set

Cover Sheet

Project number	149010
Date	01-07-2015
Drawn by	fish
Checked by	fish

A-100

Scale 12" = 1'-0"



NOTE:
SALVAGE ALL DOORS AND WINDOWS,
TRIM, CABINETS, INTERIOR
SHUTTERS, HARDWARE, AND
LIGHTING TO BE DEMO'D FOR
OWNER/REUSE

PROTECT ALL SURFACES NOT TO BE
DEMO'D, PROTECT ALL TRIM,
CABINETS, DOORS, AND LIGHTING
NOT BE DEMO'D

COVER ALL GRILLES AND AIR
HANDLING COMPONENTS FOR THE
DURATION OF DEMO AND NEW
CONSTRUCTION

Hayes House
The Hayes Family
138 East Hollywood

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	Bid Set	12-17-14
	Bid Set - Revised-2	01-27-15

HDRC Set - Re-Submit
03-12-2015
Permit Set

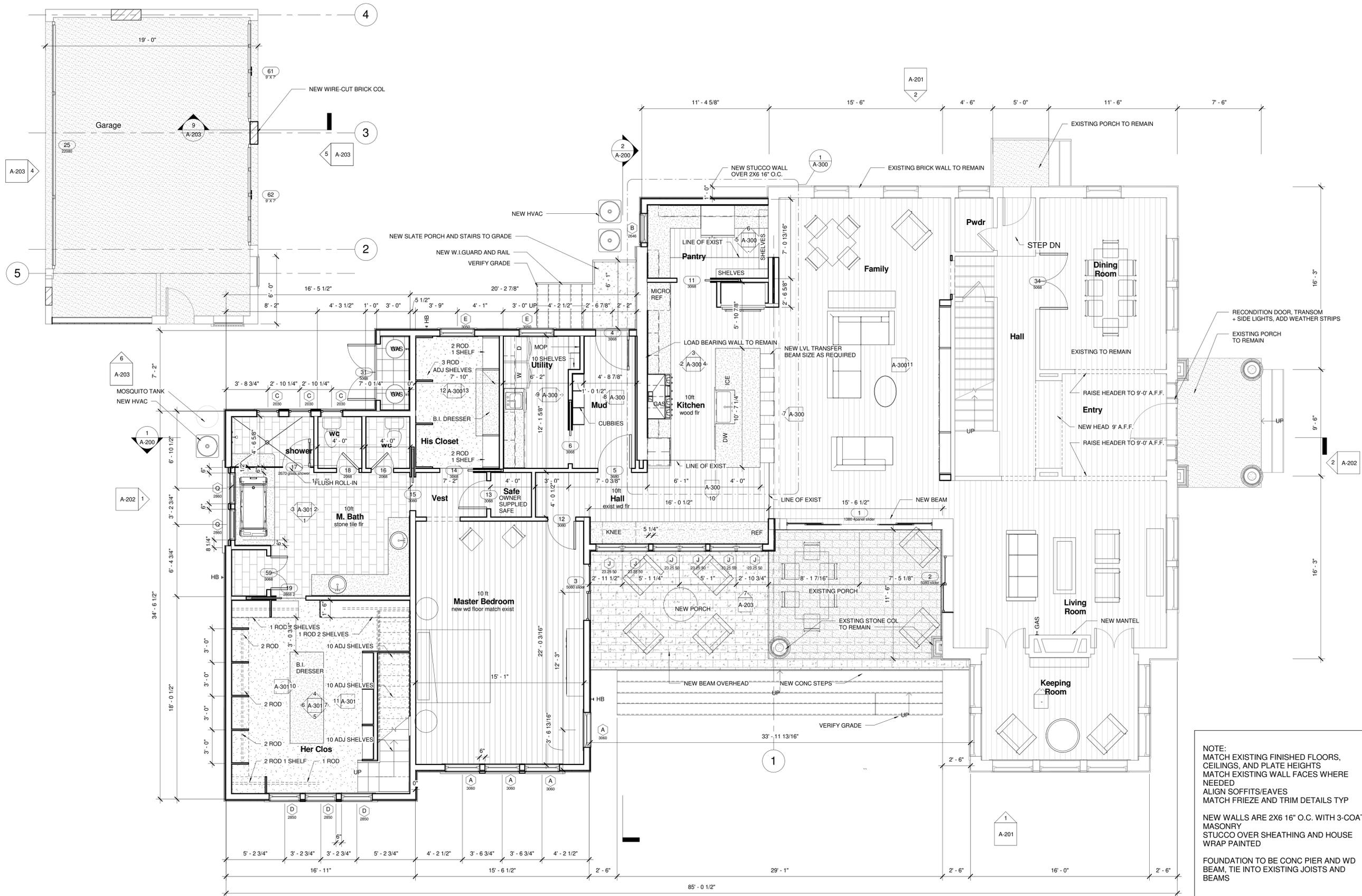
1st Floor Plan
Existing + Demo

Project number	149010
Date	01-07-2015
Drawn by	Author
Checked by	Checker

A-102

Scale 1/4" = 1'-0"

1 Floor Plan - Exist
1/4" = 1'-0"



1 Floor Plan - New
1/4" = 1'-0"

NOTE:
MATCH EXISTING FINISHED FLOORS,
CEILINGS, AND PLATE HEIGHTS
MATCH EXISTING WALL FACES WHERE
NEEDED
ALIGN SOFFITS/EAVES
MATCH FRIEZE AND TRIM DETAILS TYP

NEW WALLS ARE 2X6 16" O.C. WITH 3-COAT
MASONRY
STUCCO OVER SHEATHING AND HOUSE
WRAP PAINTED

FOUNDATION TO BE CONC PIER AND WD
BEAM, TIE INTO EXISTING JOISTS AND
BEAMS

Hayes House
The Hayes Family
138 East Hollywood

No.	Description	Date
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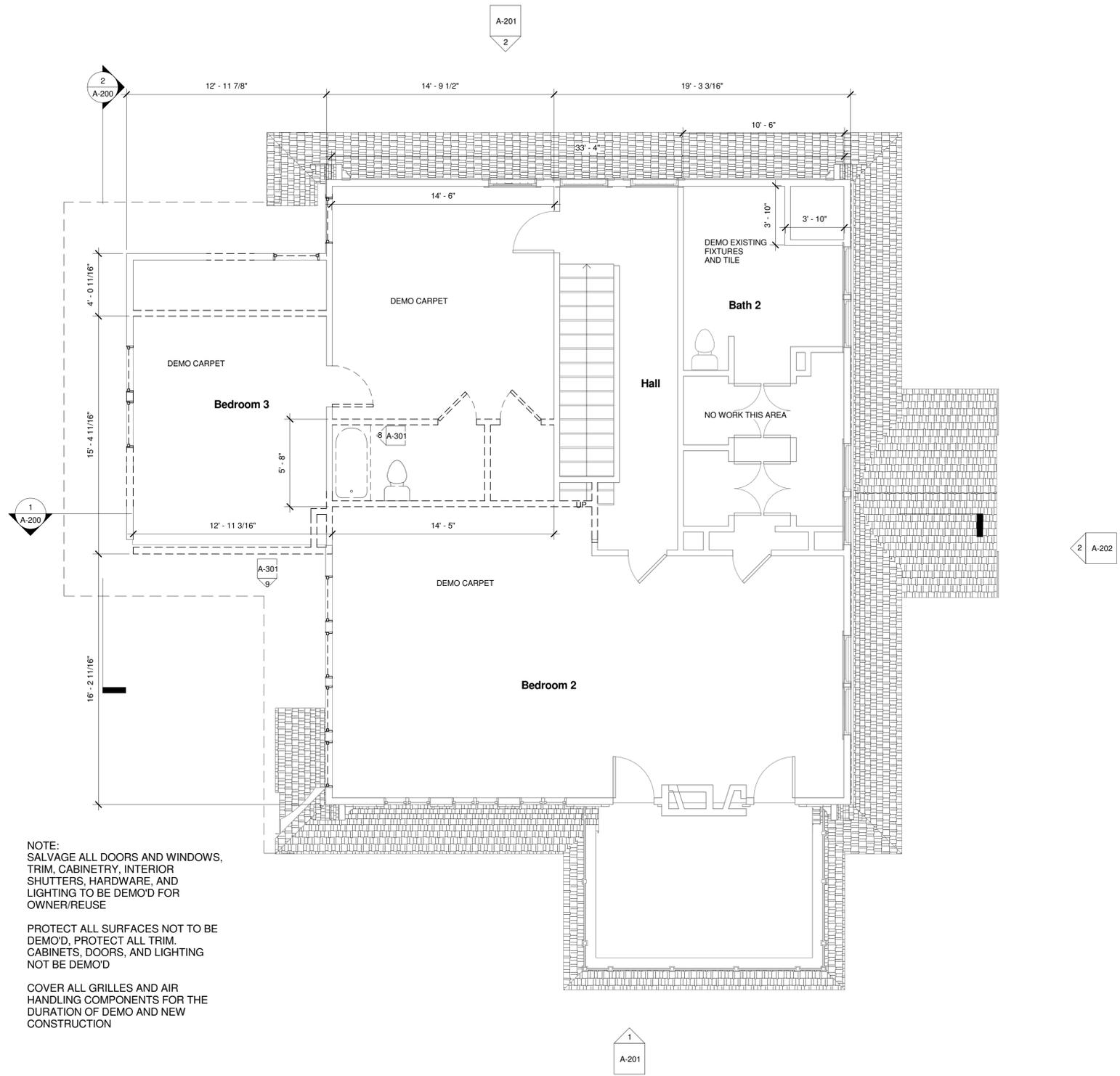
HDRC Set - Re-Submit
03-12-2015
Permit Set

1st Floor Plan
Existing + New

Project number	149010
Date	01-07-2015
Drawn by	Author
Checked by	Checker

A-103

Scale 1/4" = 1'-0"



NOTE:
SALVAGE ALL DOORS AND WINDOWS,
TRIM, CABINETS, INTERIOR
SHUTTERS, HARDWARE, AND
LIGHTING TO BE DEMO'D FOR
OWNER/REUSE

PROTECT ALL SURFACES NOT TO BE
DEMO'D, PROTECT ALL TRIM,
CABINETS, DOORS, AND LIGHTING
NOT BE DEMO'D

COVER ALL GRILLES AND AIR
HANDLING COMPONENTS FOR THE
DURATION OF DEMO AND NEW
CONSTRUCTION

① 2nd Floor - Exist
1/4" = 1'-0"

Hayes House
The Hayes Family
138 East Hollywood

No.	Description	Date
25%	Concept	10-15-14
65%	Progress Set	11-7-14
70%	Progress Set	11-26-14
	Pre Bid Set	12-12-14
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	Bid Set - Revised-2	01-27-15

HDRC Set - Re-Submit

03-12-2015

Permit Set

**2nd Floor Plan -
Existing + Demo**

Project number 149010

Date 01-07-2015

Drawn by Author

Checked by Checker

A-104

Scale 1/4" = 1'-0"

A-203 4

5 A-203

2 A-200

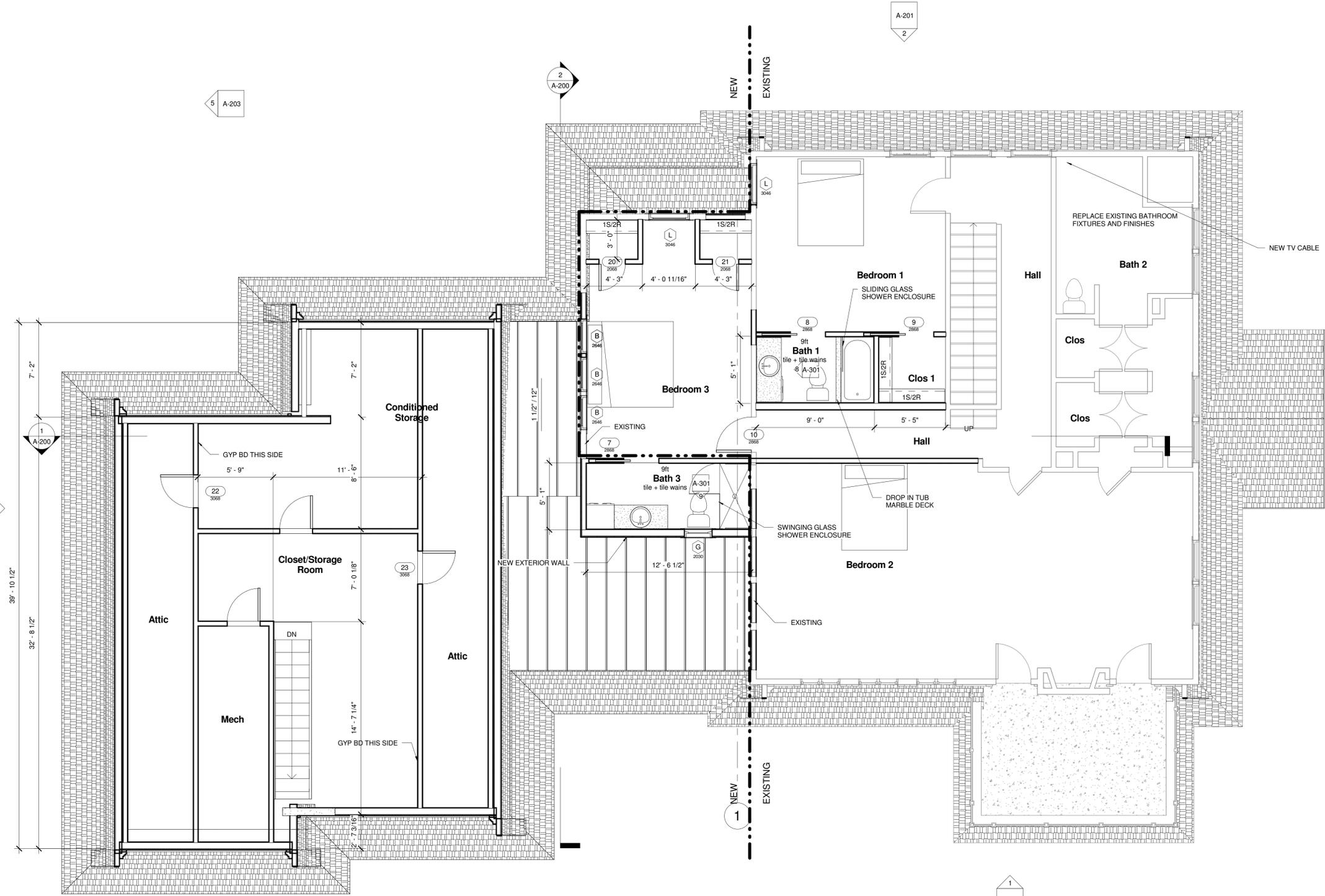
A-201 2

6 A-203

A-202 1

A-202 2

1 A-201



Hayes House
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138 East Hollywood

No.	Description	Date
25%	- Concept	10-15-14
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	Bid Set	12-17-14
	Bid Set - Revised-2	01-27-15

HDRC Set - Re-Submit
 03-12-2015
 Permit Set

2nd Floor Plan
Existing + New

Project number	149010
Date	01-07-2015
Drawn by	Author
Checked by	Checker

A-105

Scale 1/4" = 1'-0"

2 2nd Floor - New
 1/4" = 1'-0"

CONTRACTOR TO VERIFY EXISTING SWITCH, FIXTURE, AND SERIES LOCATIONS AND COORDINATE NEW WITH OWNER. SALVAGE LIGHTING FOR OWNER

Hayes House
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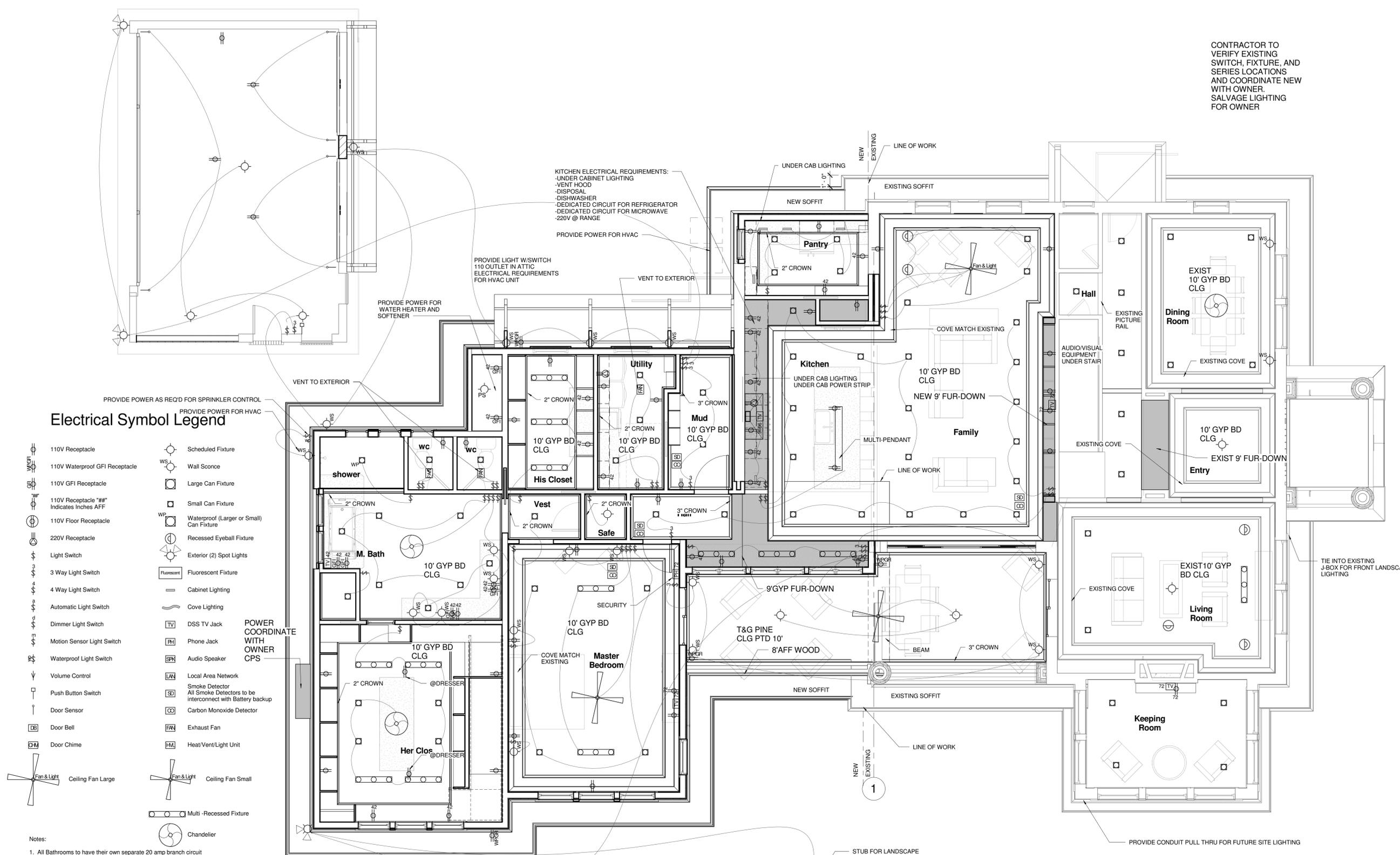
HDRC Set - Re-Submit
03-12-2015
Permit Set

1st Floor Electrical Plan

Project number	149010
Date	01-07-2015
Drawn by	Author
Checked by	Checker

A-106

Scale 1/4" = 1'-0"



Electrical Symbol Legend

- 110V Receptacle
- 110V Waterproof GFI Receptacle
- 110V GFI Receptacle
- 110V Receptacle "##" Indicates Inches AFF
- 110V Floor Receptacle
- 220V Receptacle
- Light Switch
- 3 Way Light Switch
- 4 Way Light Switch
- Automatic Light Switch
- Dimmer Light Switch
- Motion Sensor Light Switch
- Waterproof Light Switch
- Volume Control
- Push Button Switch
- Door Sensor
- Door Bell
- Door Chime
- Ceiling Fan Large
- Ceiling Fan Small
- Multi-Recessed Fixture
- Chandelier
- Scheduled Fixture
- Wall Sconce
- Large Can Fixture
- Small Can Fixture
- Waterproof (Larger or Small) Can Fixture
- Recessed Eyeball Fixture
- Exterior (2) Spot Lights
- Fluorescent Fixture
- Cabinet Lighting
- Cove Lighting
- DSS TV Jack
- Phone Jack
- Audio Speaker
- Local Area Network
- Smoke Detector
- Carbon Monoxide Detector
- Exhaust Fan
- Heat/Vent/Light Unit

- Notes:
- All Bathrooms to have their own separate 20 amp branch circuit.
 - All Laundry Rooms to have their own separate 20 amp branch circuit.
 - All Bedroom branch circuits must be protected by an arc-fault circuit interrupter.
 - GFI protection required on all Kitchen, Bath and other wet areas.
 - Verify all outlet & switch locations in field with owner. All Lighting to be selected by owner.
 - Supplier/Contractor to verify all electrical components are supplied & installed per local code.
 - Dimmable switches to accompany all dimmable fixtures.

1 First Floor RCP - Electrical Plan
1/4" = 1'-0"

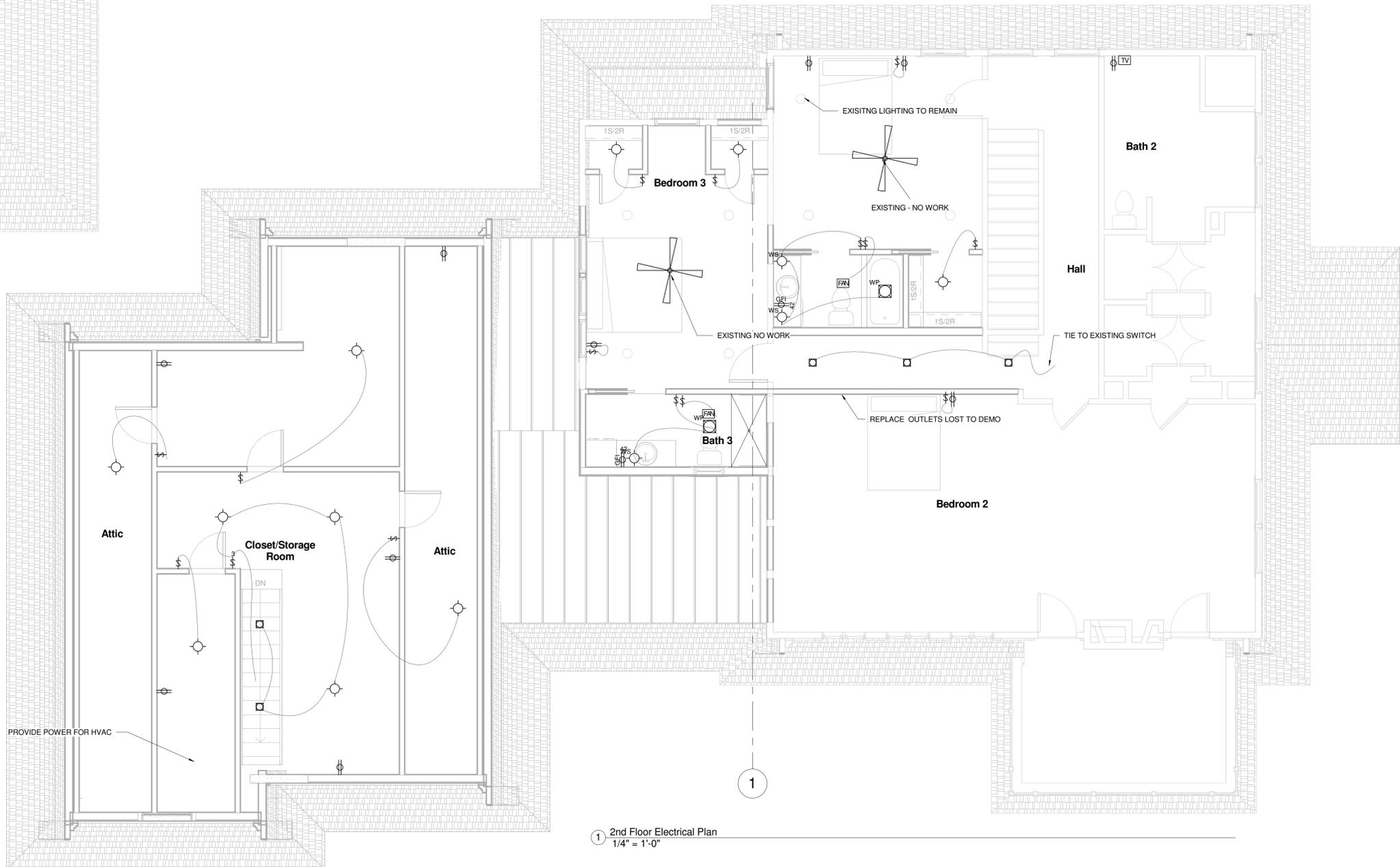
Electrical Symbol Legend

	110V Receptacle		Scheduled Fixture
	110V Waterproof GFI Receptacle		Wall Sconce
	110V GFI Receptacle		Large Can Fixture
	110V Receptacle "##" Indicates Inches AFF		Small Can Fixture
	110V Floor Receptacle		Waterproof (Larger or Small) Can Fixture
	220V Receptacle		Recessed Eyeball Fixture
	Light Switch		Exterior (2) Spot Lights
	3 Way Light Switch		Fluorescent Fixture
	4 Way Light Switch		Cabinet Lighting
	Automatic Light Switch		Cove Lighting
	Dimmer Light Switch		DSS TV Jack
	Motion Sensor Light Switch		Phone Jack
	Waterproof Light Switch		Audio Speaker
	Volume Control		Local Area Network
	Push Button Switch		Smoke Detector
	Door Sensor		All Smoke Detectors to be interconnect with Battery backup
	Door Bell		Carbon Monoxide Detector
	Door Chime		Exhaust Fan
	Ceiling Fan Large		Heat/Vent/Light Unit
	Ceiling Fan Small		

Notes:

1. All Bathrooms to have their own separate 20 amp branch circuit.
2. All Laundry Rooms to have their own separate 20 amp branch circuit.
3. All Bedroom branch circuits must be protected by an arc-fault circuit interrupter.
4. GFI protection required on all Kitchen, Bath and other wet areas.
5. Verify all outlet & switch locations in field with owner. All Lighting to be selected by owner.
6. Supplier/Contractor to verify all electrical components are supplied & installed per local code.

2 Electrical Symbol Legend Copy 1
1/4" = 1'-0"



1 2nd Floor Electrical Plan
1/4" = 1'-0"

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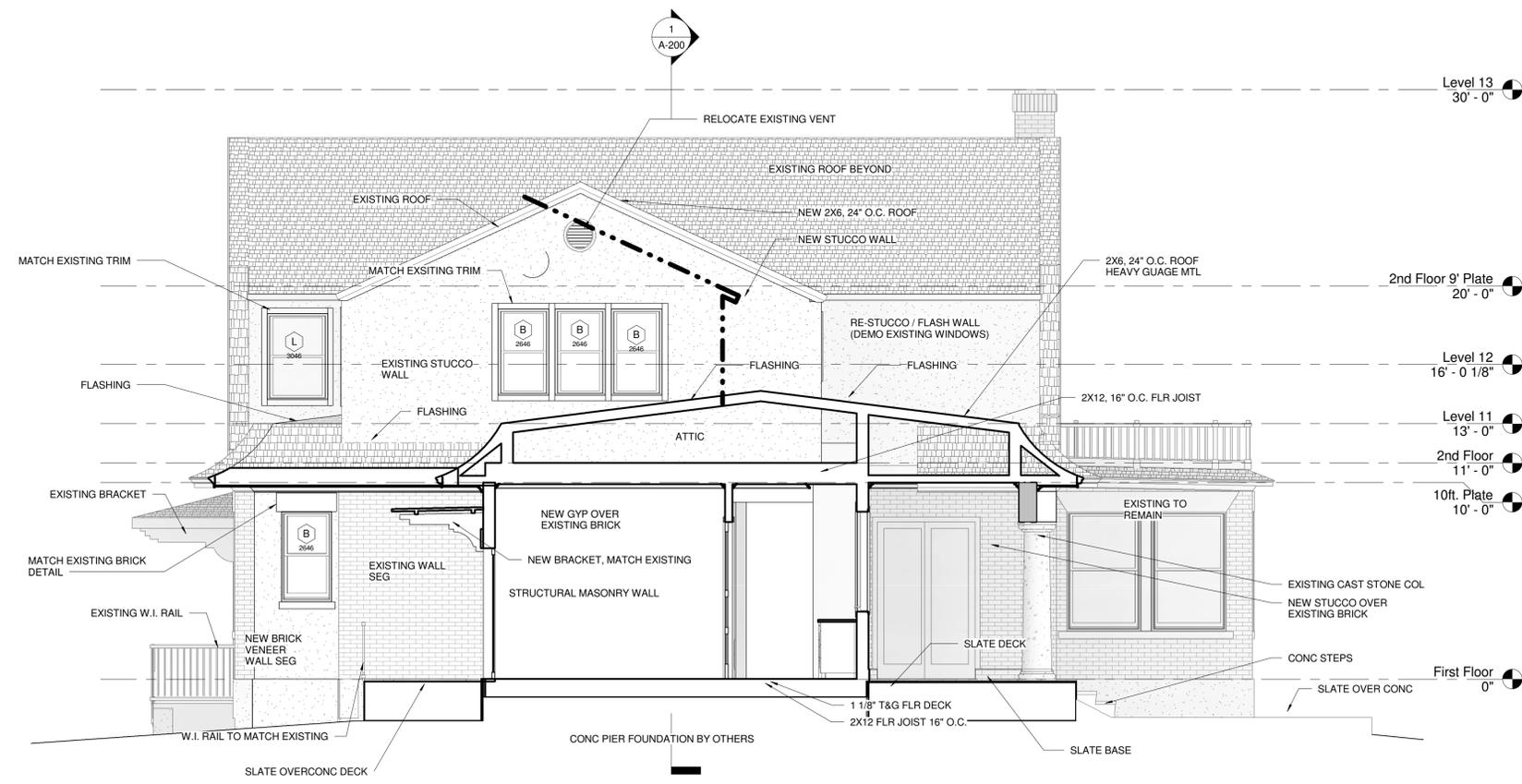
HDRC Set - Re-Submit
03-12-2015
Permit Set

2nd Floor Electrical Plan

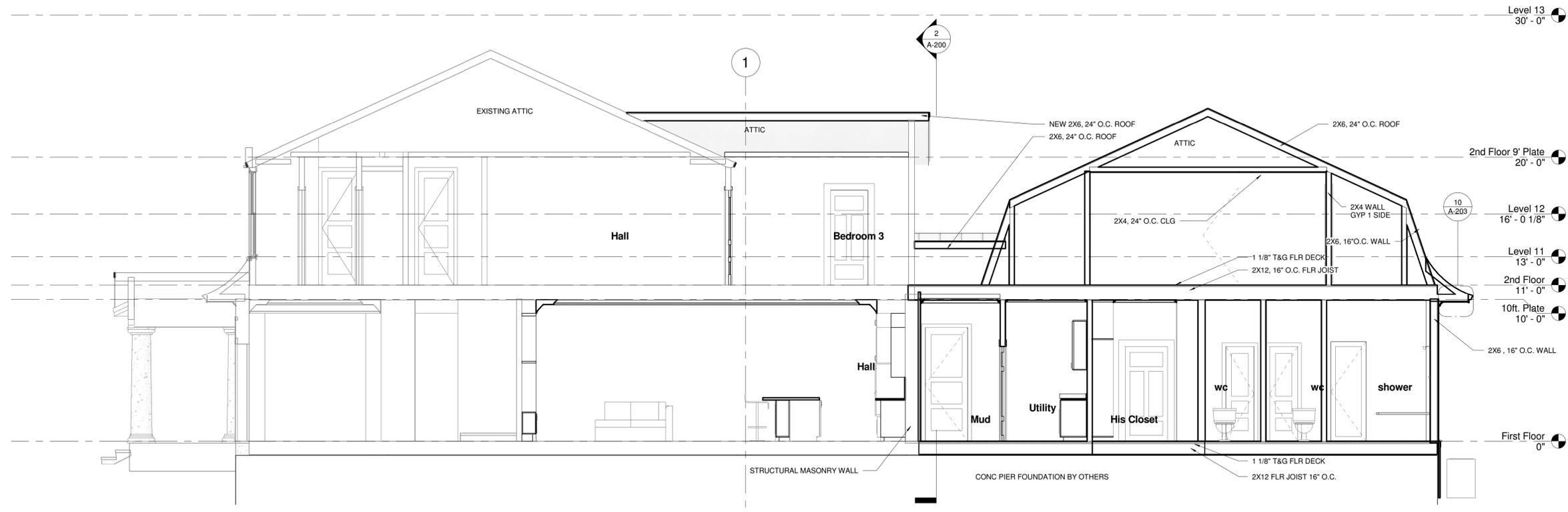
Project number	149010
Date	01-07-2015
Drawn by	Author
Checked by	Checker

A-107

Scale 1/4" = 1'-0"



Section 2
1/4" = 1'-0"



Section 3
1/4" = 1'-0"

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	Bid Set	12-17-14
	Bid Set - Revised-2	01-27-15

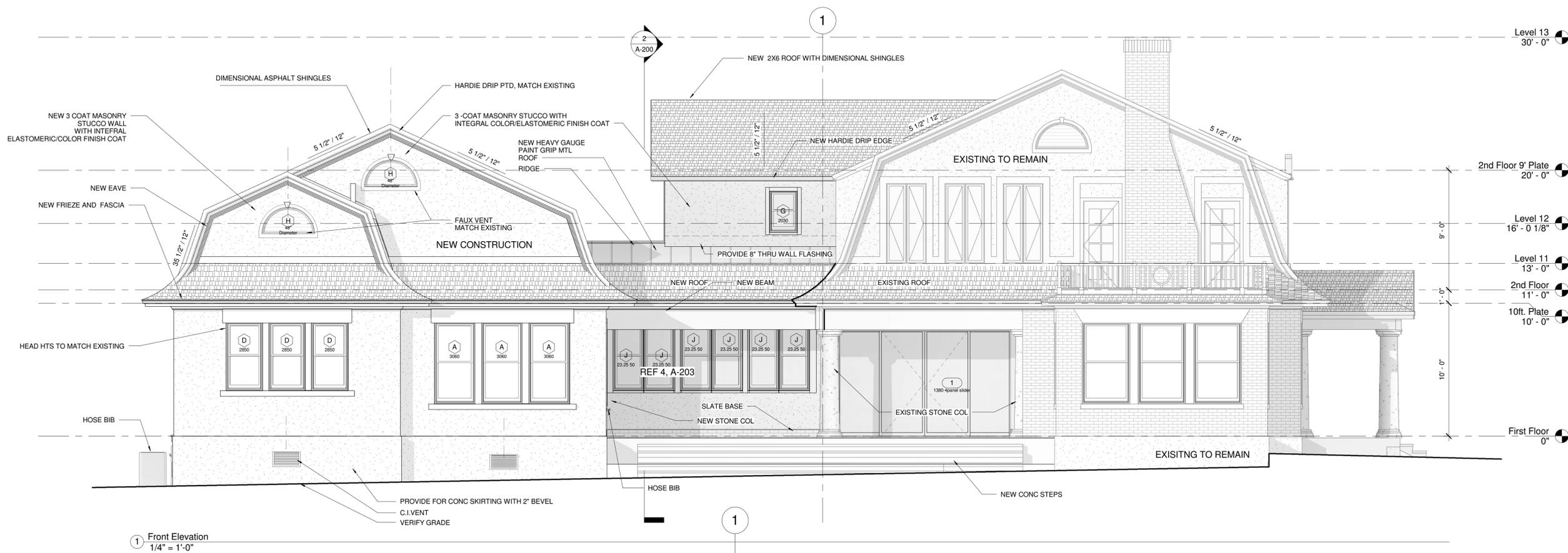
HDRC Set - Re-Submit
03-12-2015
Permit Set

Partial Sections
Existing + New

Project number	149010
Date	01-07-2015
Drawn by	Author
Checked by	Checker

A-200

Scale 1/4" = 1'-0"



Hayes House
The Hayes Family
138 East Hollywood

No.	Description	Date
25%	- Concept	10-15-14
65%	- Progress Set	11-7-14
70%	- Progress Set	11-26-14
	Pre Bid Set	12-12-14
	Bid Set	12-17-14
	Bid Set - Revised-2	01-27-15

HDRC Set - Re-Submit
 03-12-2015
 Permit Set

Exterior Elevations
 Existing + New

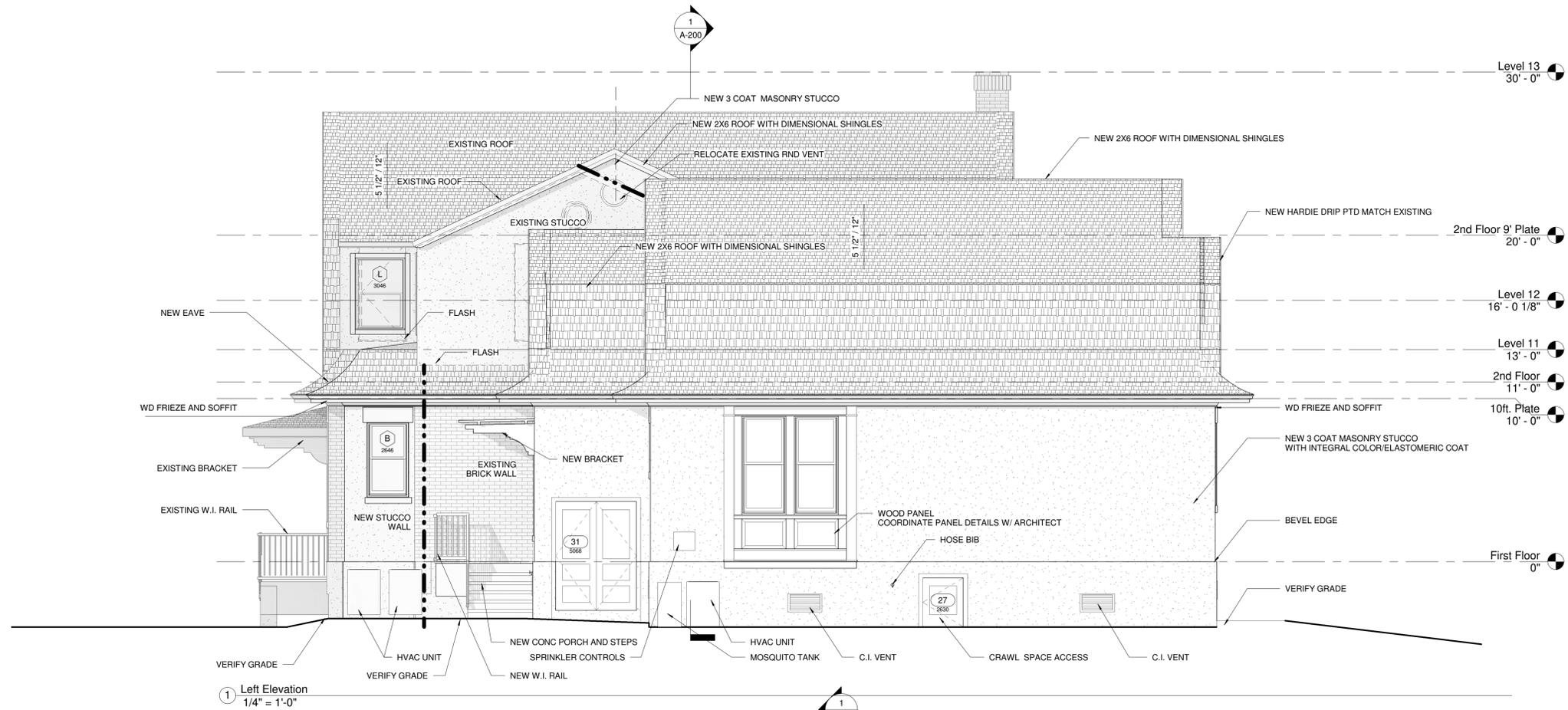
Project number	149010
Date	01-07-2015
Drawn by	Author
Checked by	Checker

A-201

Scale 1/4" = 1'-0"

1 Front Elevation
 1/4" = 1'-0"

2 Back Elevation
 1/4" = 1'-0"



1 Left Elevation
1/4" = 1'-0"



2 Right Elevation
1/4" = 1'-0"

Hayes House
The Hayes Family
138 East Hollywood

No.	Description	Date
25%	Concept	10-15-14
65%	Progress Set	11-7-14
70%	Progress Set	11-26-14
	Pre Bid Set	12-12-14
	Bid Set	12-17-14
	Bid Set - Revised-2	01-27-15

HDRC Set - Re-Submit

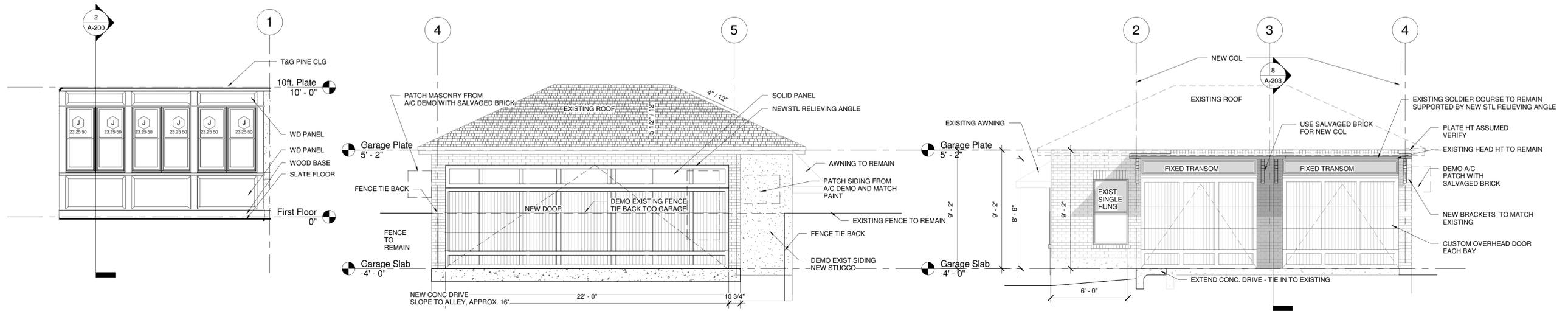
03-12-2015
Permit Set

Exterior Elevations

Project number	149010
Date	01-07-2015
Drawn by	Author
Checked by	Checker

A-202

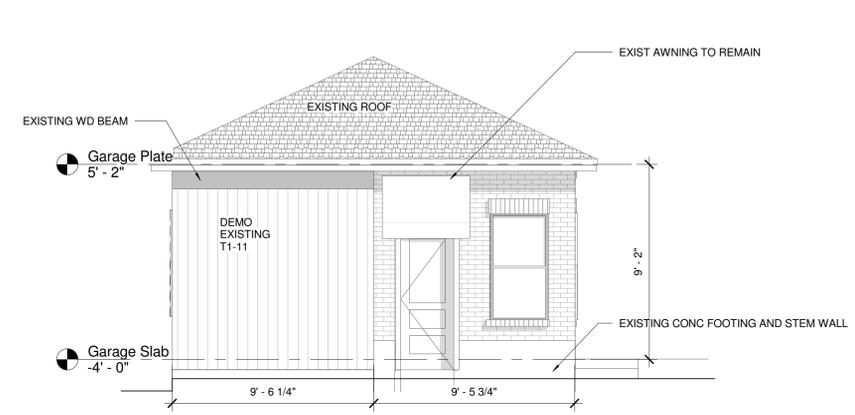
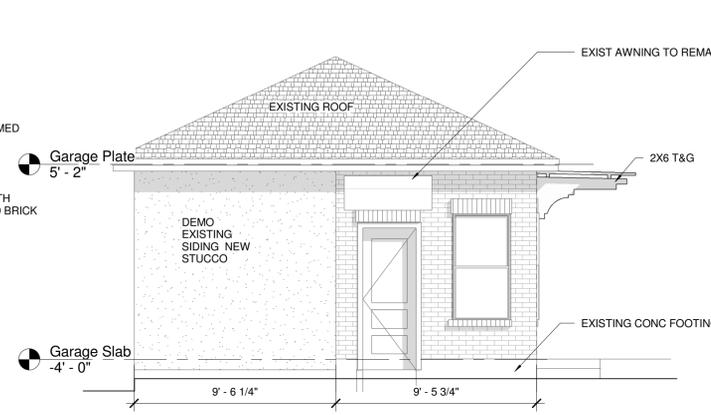
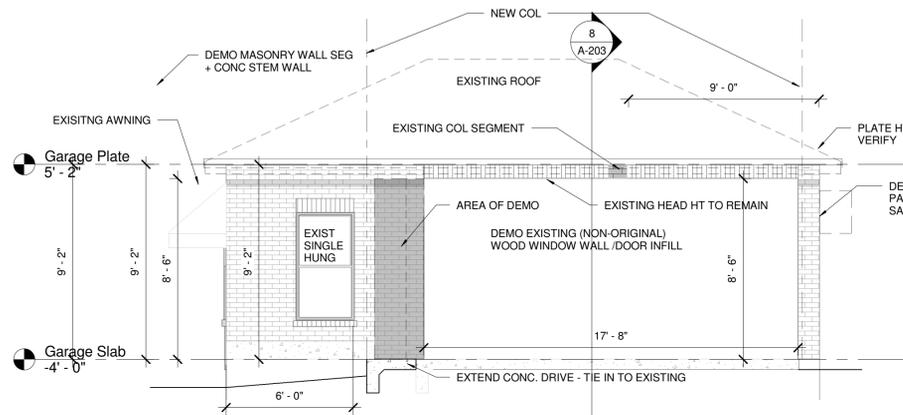
Scale 1/4" = 1'-0"



4 Patio Elevation
1/4" = 1'-0"

3 Garage - South Elevation
1/4" = 1'-0"

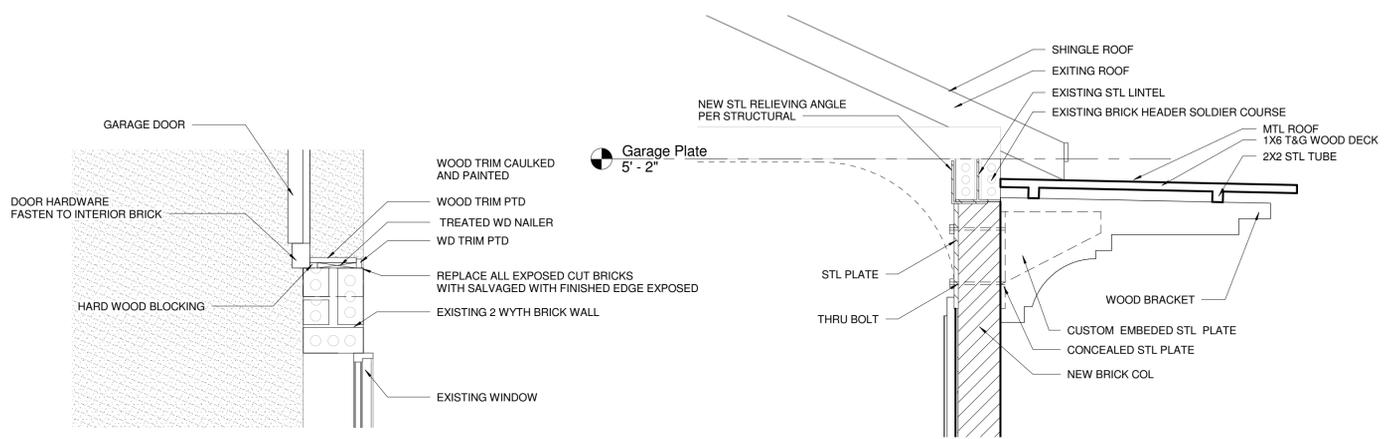
2 Garage - North Elevation
1/4" = 1'-0"



6 Garage - North Elevation Copy 1
1/4" = 1'-0"

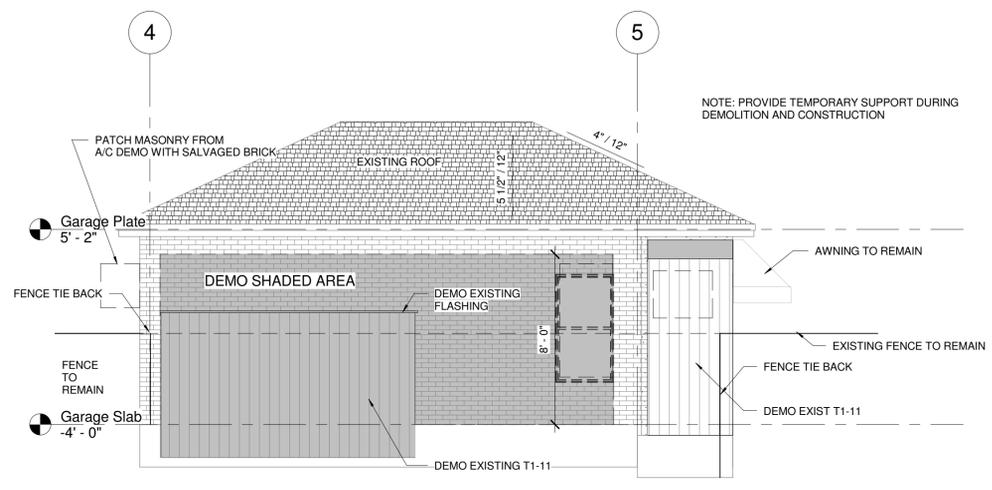
1 Garage - East Elevation
1/4" = 1'-0"

5 Garage - East Elevation Copy 1
1/4" = 1'-0"



9 Garage Slab - Callout 1
1" = 1'-0"

8 Section 4
3/4" = 1'-0"



7 Garage - South Elevation Copy 1
1/4" = 1'-0"

Hayes House
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138 East Hollywood

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70%	Progress Set	11-26-14
	Pre Bid Set	12-12-14
	Bid Set	12-17-14
	Bid Set - Revised-2	01-27-15

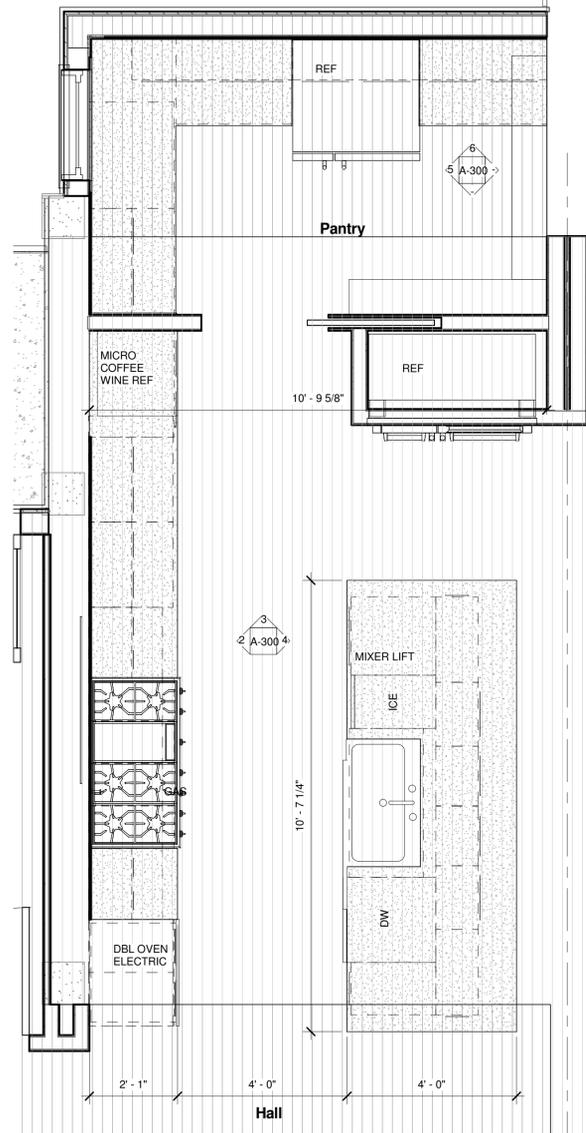
Bid Set - Revision 4
04-06-2015
HDRC-REVISIONS

Elevations

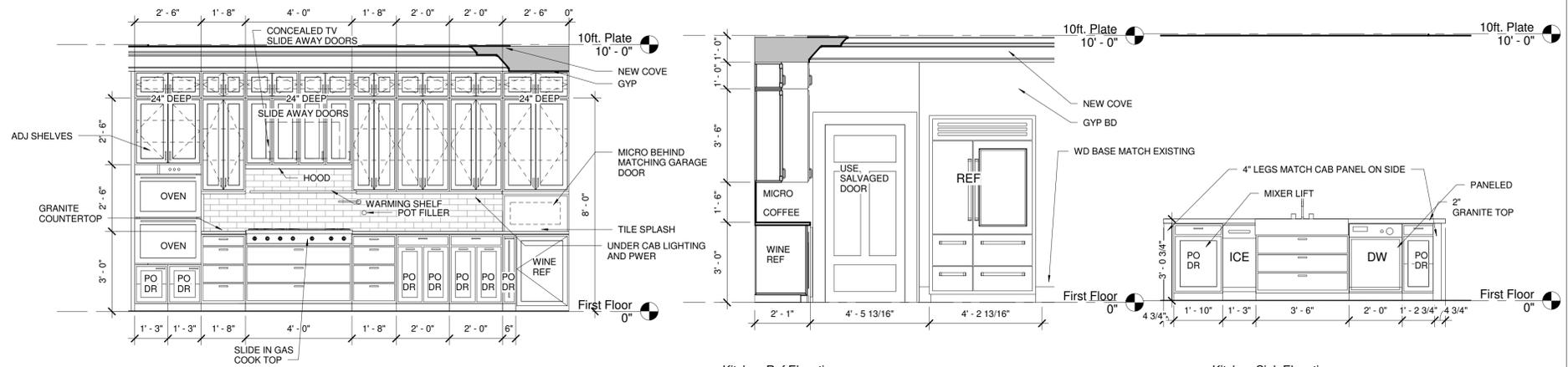
Project number	149010
Date	01-07-2015
Drawn by	Author
Checked by	Checker

A-203

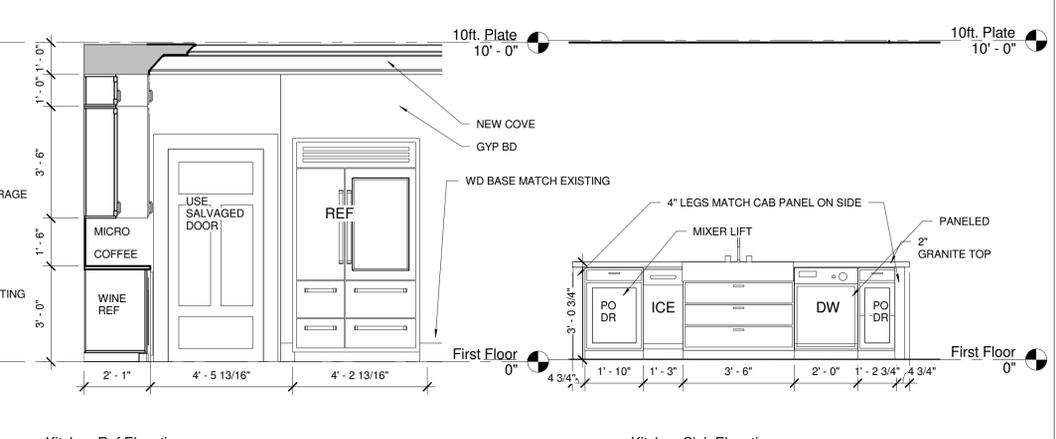
Scale As indicated



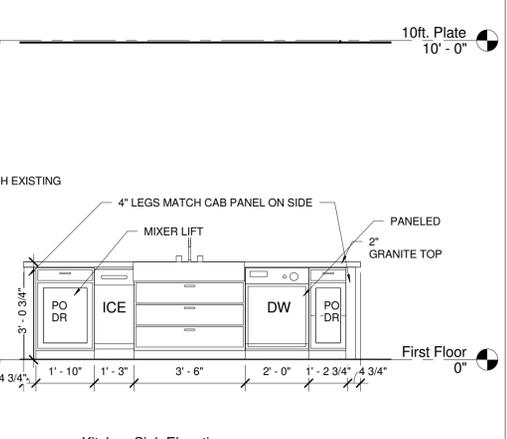
1 Floor Plan - New - Callout 1
1/2" = 1'-0"



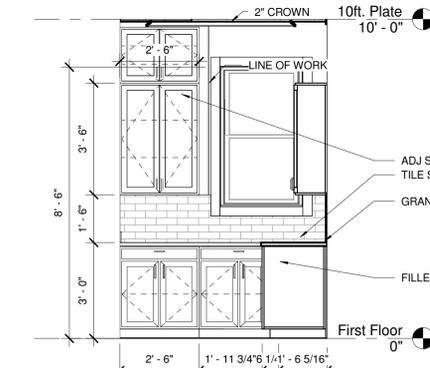
2 Kitchen Range Elevation
3/8" = 1'-0"



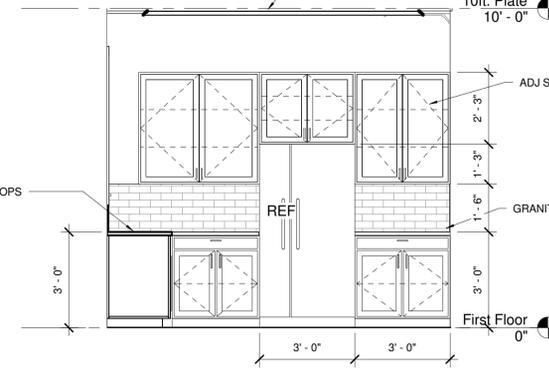
3 Kitchen Ref Elevation
3/8" = 1'-0"



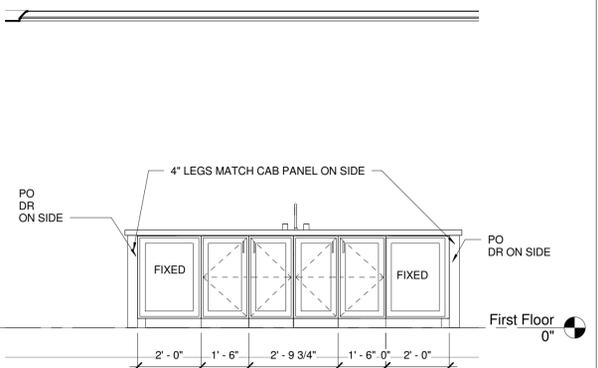
4 Kitchen Sink Elevation
3/8" = 1'-0"



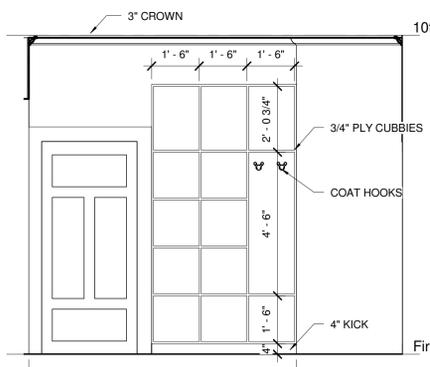
5 Pantry Elevation 1
3/8" = 1'-0"



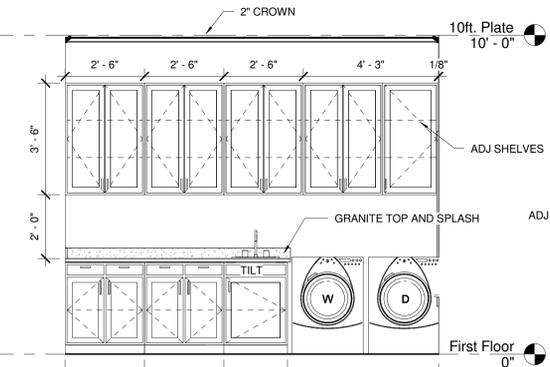
6 Pantry Elevation 2
3/8" = 1'-0"



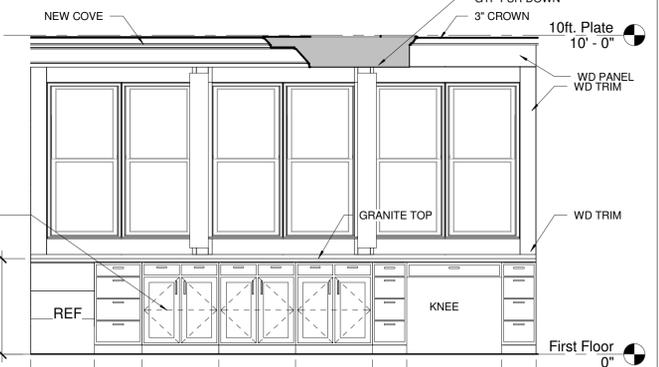
7 Kitchen - Island 2
3/8" = 1'-0"



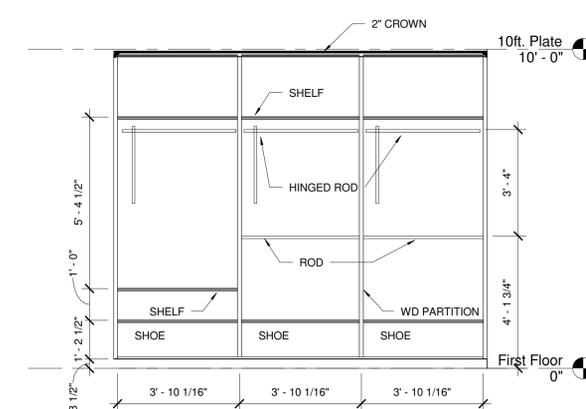
8 Mud Room Cubbie Elevation
3/8" = 1'-0"



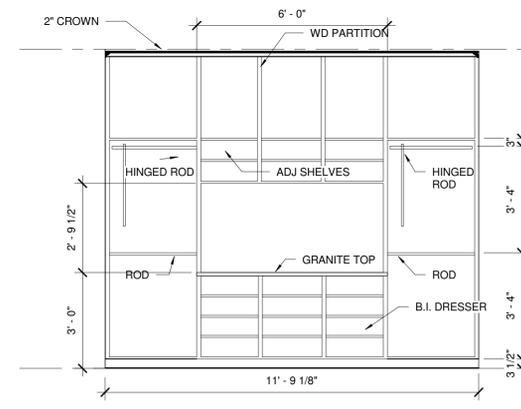
9 Utility Sink Elevation
3/8" = 1'-0"



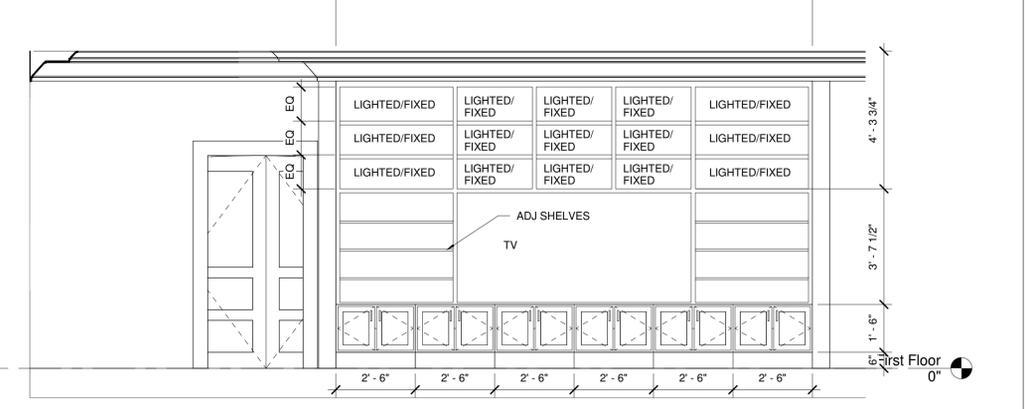
10 Family Room Bar Elevation
3/8" = 1'-0"



12 His Closet - South Elevation
3/8" = 1'-0"



13 His Closet - North Elevation
3/8" = 1'-0"



11 Family - Entertainment Elevation
3/8" = 1'-0"

Hayes House
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138 East Hollywood

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	Bid Set	12-17-14
	Bid Set - Revised-2	01-27-15

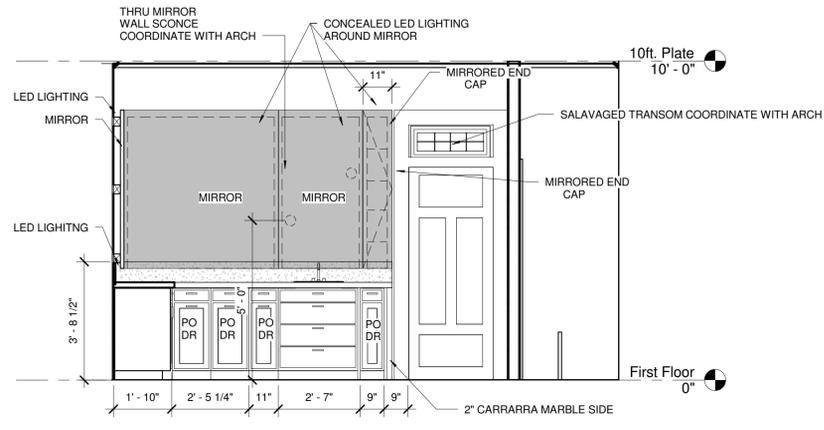
HDRC Set - Re-Submit
03-12-2015
Permit Set

Interior Elevations

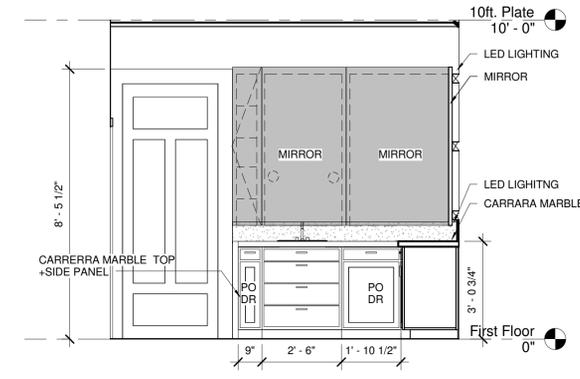
Project number	149010
Date	01-07-2015
Drawn by	Author
Checked by	Checker

A-300

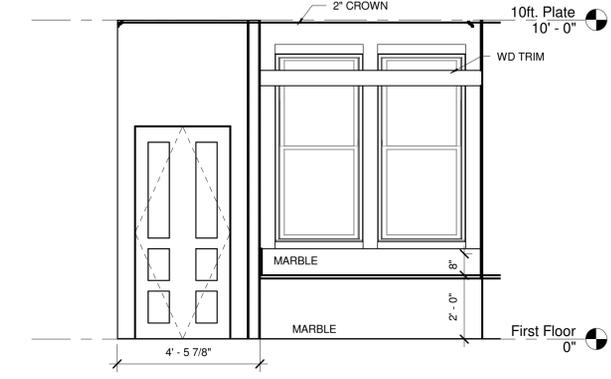
Scale As indicated



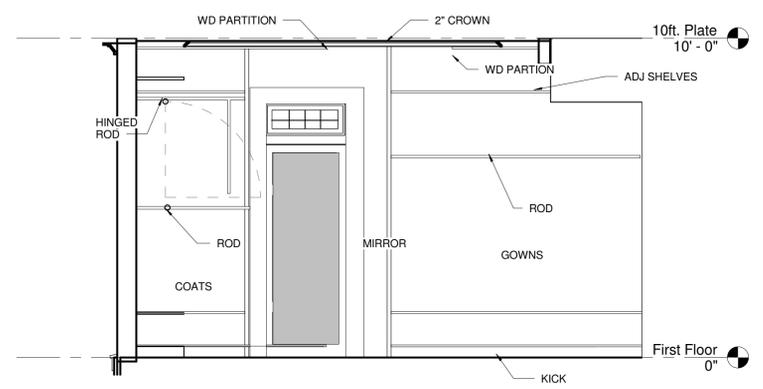
1 M Bath - Vanity Elevation
3/8" = 1'-0"



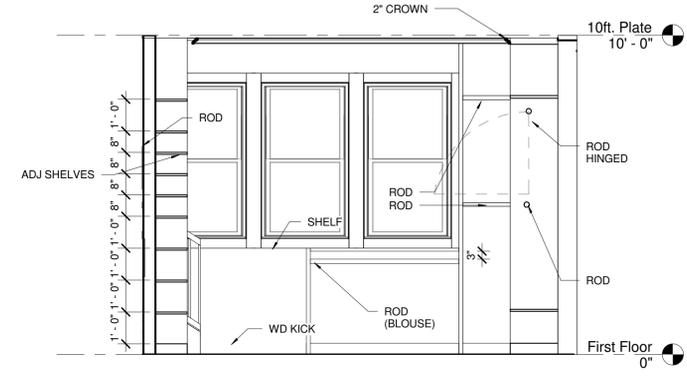
2 M Bath - Linen Elevation
3/8" = 1'-0"



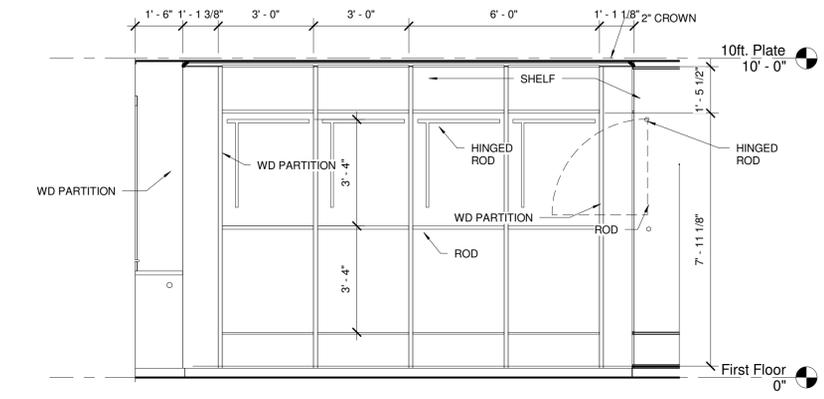
3 M Bath - Tub Elevation
3/8" = 1'-0"



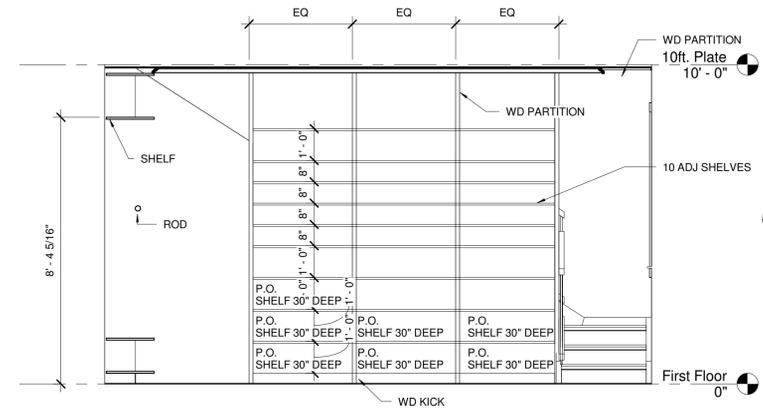
4 Her Clo - North Elevation
3/8" = 1'-0"



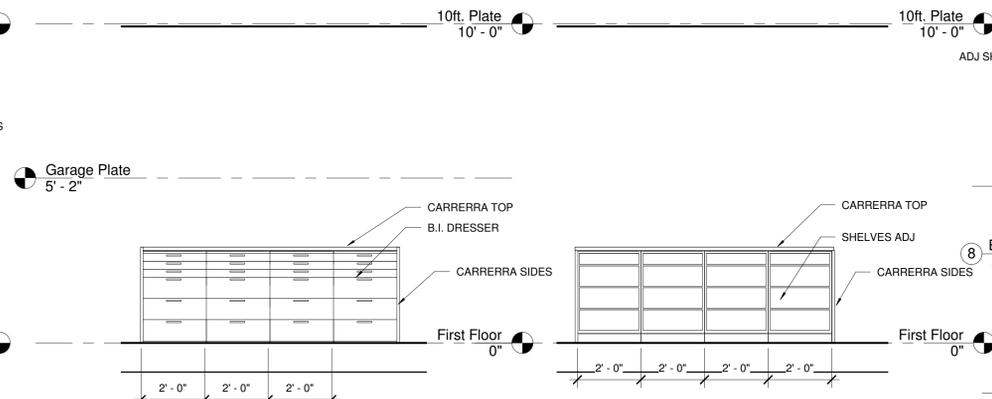
5 Her Clo - East Elevation
3/8" = 1'-0"



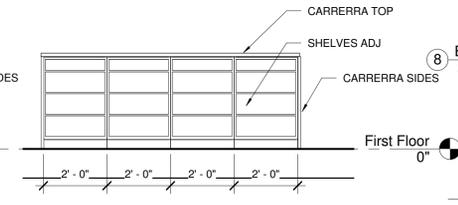
6 Her Clo - South Elevation
3/8" = 1'-0"



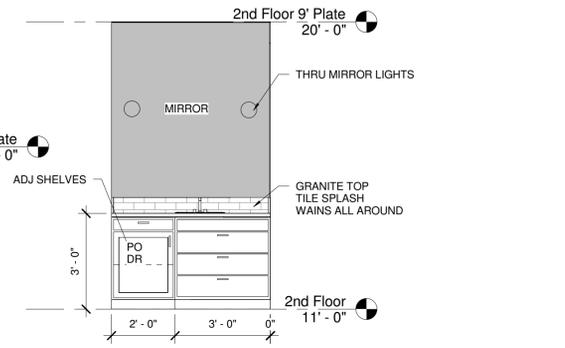
7 Her Clo - West Elevation
3/8" = 1'-0"



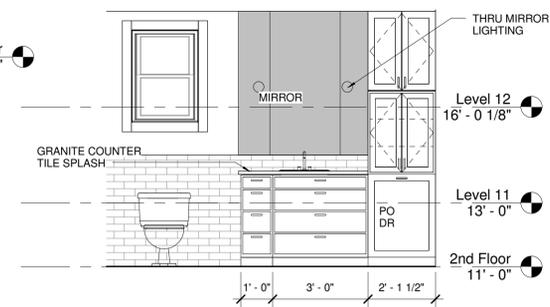
10 Her Clo - Dresser Elevation 1
3/8" = 1'-0"



11 Her Clo - Dresser Elevation 2
3/8" = 1'-0"



8 Bedroom 1 Vanity Elevation
3/8" = 1'-0"



9 Bath 3 - vanity elevation
3/8" = 1'-0"

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	Bid Set	12-17-14
	Bid Set - Revised-2	01-27-15

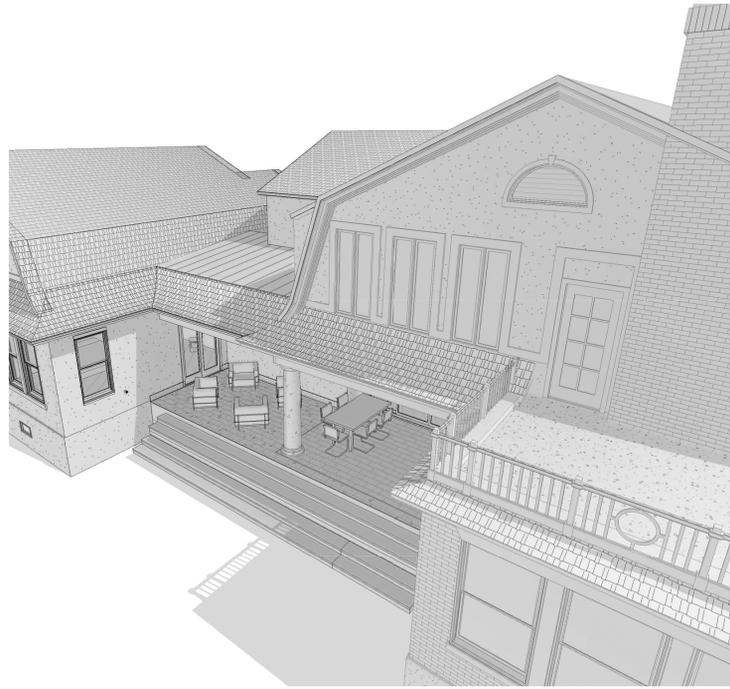
HDRC Set - Re-Submit
03-12-2015
Permit Set

Interior Elevations

Project number	149010
Date	01-07-2015
Drawn by	Author
Checked by	Checker

A-301

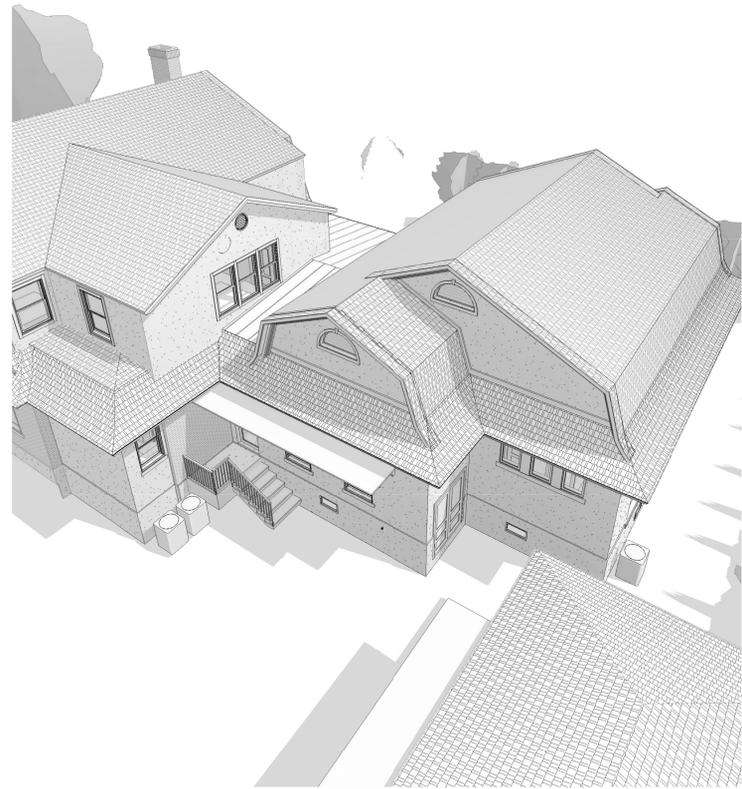
Scale 3/8" = 1'-0"



3 3D View 6



2 3D View 5



4 3D View 7



1 3D View 3

Hayes House
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138 East Hollywood

No.	Description	Date
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70%	Progress Set	11-26-14
	Pre Bid Set	12-12-14
	Bid Set	12-17-14

HDRC Set - Re-Submit
 03-12-2015
 Permit Set

Perspectives

Project number	149010
Date	01-07-2015
Drawn by	Author
Checked by	Checker

A-400

Scale



CITY OF SAN ANTONIO
OFFICE OF HISTORIC
PRESERVATION

Historic and Design Review Commission
Design Review Committee
Report & Recommendation

DATE: 3/24/2015

HDRC Case# 2015-087

ADDRESS: 138 E HOLLYWOOD

Meeting Location: LONE STAR

APPLICANT: BIANE HAYES

DRC Members present: MICHAEL GUARINO, TIM LONE

Staff present: EDWARD HALL

Others present: _____

REQUEST: DEMO EXISTING ADDITION, CONSTRUCT A 1,395 SQ FT REAR
ADDITION, GARAGE MODIFICATIONS

COMMENTS/CONCERNS: TC: WOULD LIKE TO ~~SEE~~ SEE BRICK TO BE
TOOTHED BACK INTO FACADE. APPLICANT HAS ADDRESSED
THE HDRC'S CONCERNS.

COMMITTEE RECOMMENDATION: APPROVE [] DISAPPROVE []
APPROVE WITH COMMENTS/STIPULATIONS:

[Signature]
Committee Chair Signature (or representative)

3/24/2015
Date