

HISTORIC AND DESIGN REVIEW COMMISSION

May 17, 2017

HDRC CASE NO:

2017-214

ADDRESS:

309 N ALAMO ST

LEGAL DESCRIPTION:

NCB 429 (EXPRESS NEWS), BLOCK 19 LOT 14

ZONING:

D,HS

CITY COUNCIL DIST.:

1

LANDMARK:

Irish Flat

APPLICANT:

Dana Delao/Hansco Inc

OWNER:

Gray Street Partners

TYPE OF WORK:

Demolition of a rear addition

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to demolish the rear addition of the historic structure and secure the rear façade.

APPLICABLE CITATIONS:

UDC Section 35-643. – Alteration, Restoration and Rehabilitation

In considering an application for a certificate to alter, restore, rehabilitate, or add to a building, object, site or structure the historic and design review commission shall be guided by the following general standards of the Secretary of the Interior's Standards for Rehabilitation in addition to any specific design guidelines included in this article:

- (a) Every reasonable effort shall be made to adapt the property in a manner which requires minimal alteration of the building, structure, object, or site and its environment.
- (b) The distinguishing original qualities or character of a building, structure, object, or site and its environment, shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.
- (c) All buildings, structures, objects, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.
- (d) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, object, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
- (e) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, object, or site shall be kept where possible.
- (f) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should reflect the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
- (g) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting, high pressure washes and other cleaning methods that will damage the historic building's materials shall not be undertaken.
- (h) Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.
- (i) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.
- (j) Wherever possible, new additions or alterations to buildings, structures, objects, or sites shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building, structure, object, or site would be unimpaired.

FINDINGS:

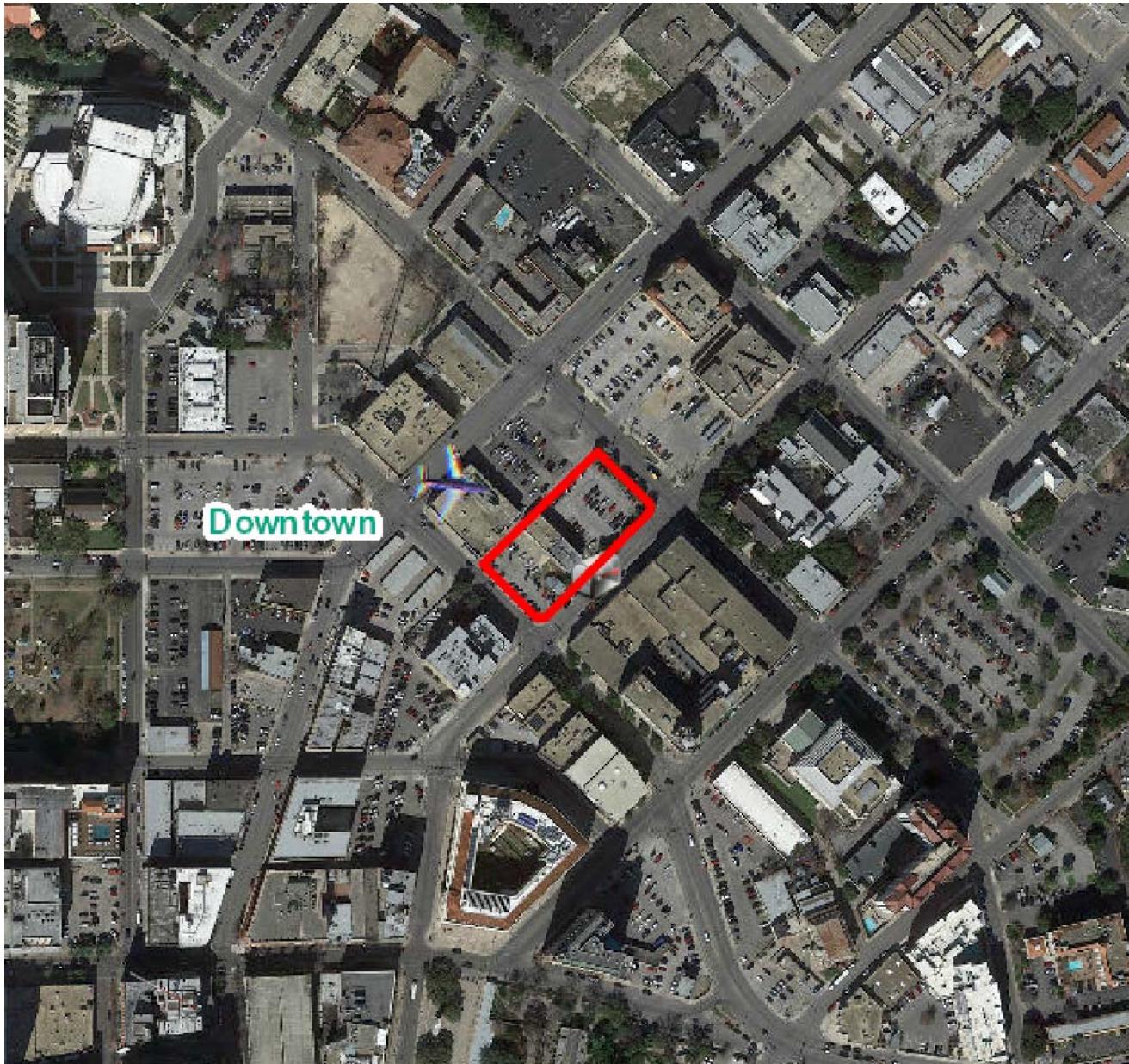
- a. The structure at 309 N Alamo was constructed in 1899 in the Folk Victorian style and features single story columns on both the first and second levels, a plaster covered brick façade, a decorative roof parapet and a long slope shed porch roof. The rear addition features two stories, a brick façade and modern proportioned window and door openings. This addition was construction circa 1945 and first appears on the 1951 Sanborn Map. Within this request, the applicant has proposed to demolish this rear addition.
- b. The UDC Section 35-643(b) notes that the distinguishing original qualities or character of a building, structure, object or site and its environment, shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible. As previously noted, the existing addition was constructed approximately 45 years after the original structure and does not feature the architectural characteristics of the primary historic structure. Staff finds this rear addition to be eligible for demolition given its lack of architectural significance and its obscuring of the original rear façade of the primary historic structure.
- c. While staff finds the removal of the rear addition appropriate; staff finds that architectural documents including a rear elevation, floor plans and detailed wall sections of the rear wall are to be submitted to staff prior to the issuance of a Certificate of Appropriateness and permits.

RECOMMENDATION:

Staff recommends conceptual approval based on finding b with the stipulation that architectural documents including a rear elevation, floor plans and detailed wall sections of the rear wall are to be submitted to staff prior to the approved by the HDRC prior to the issuance of a Certificate of Appropriateness.

CASE MANAGER:

Edward Hall



Flex Viewer

Powered by ArcGIS Server

Printed: May 08, 2017

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309 North Alamo Street

Parking

Express-News Fe

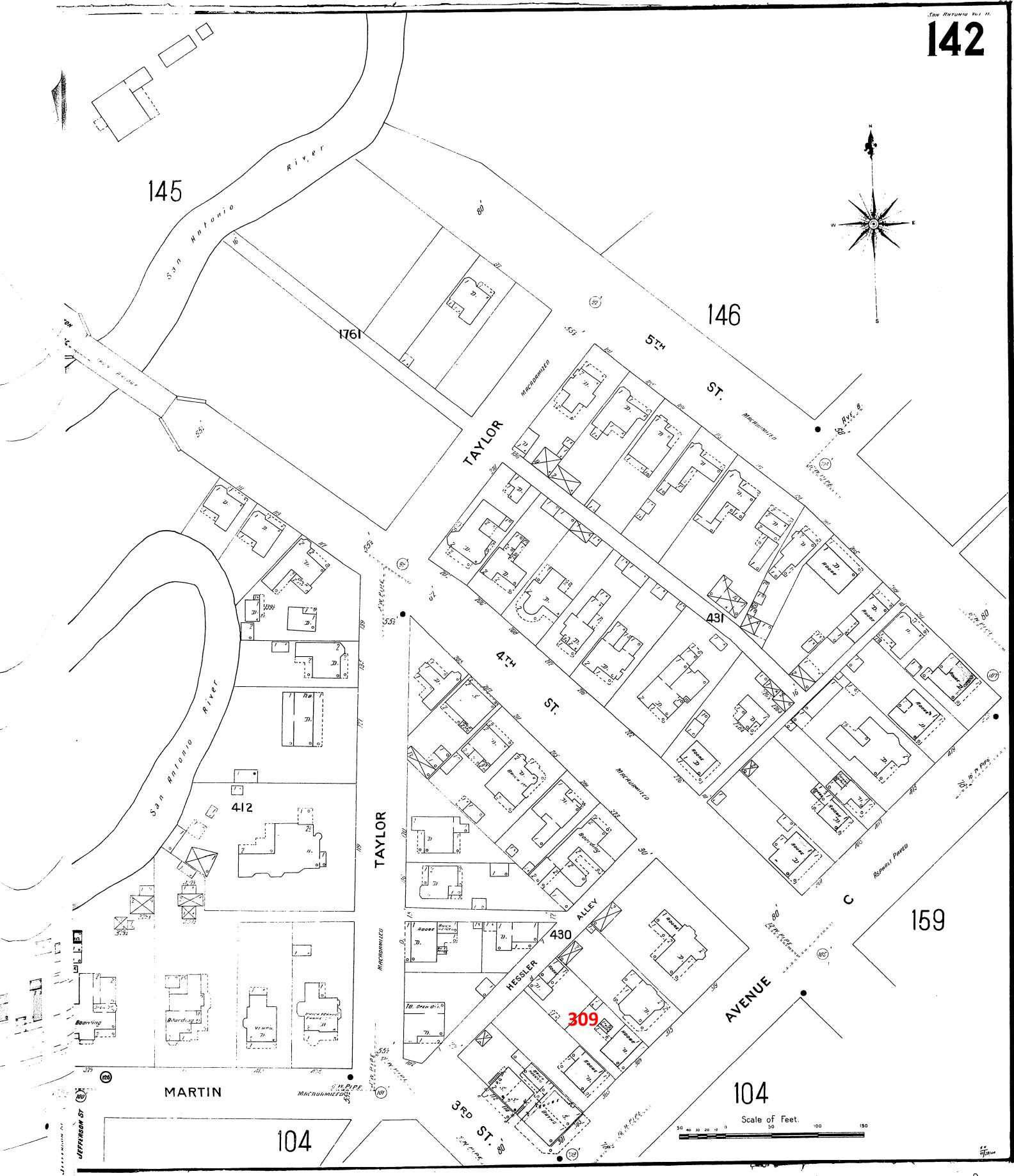
N Alamo St



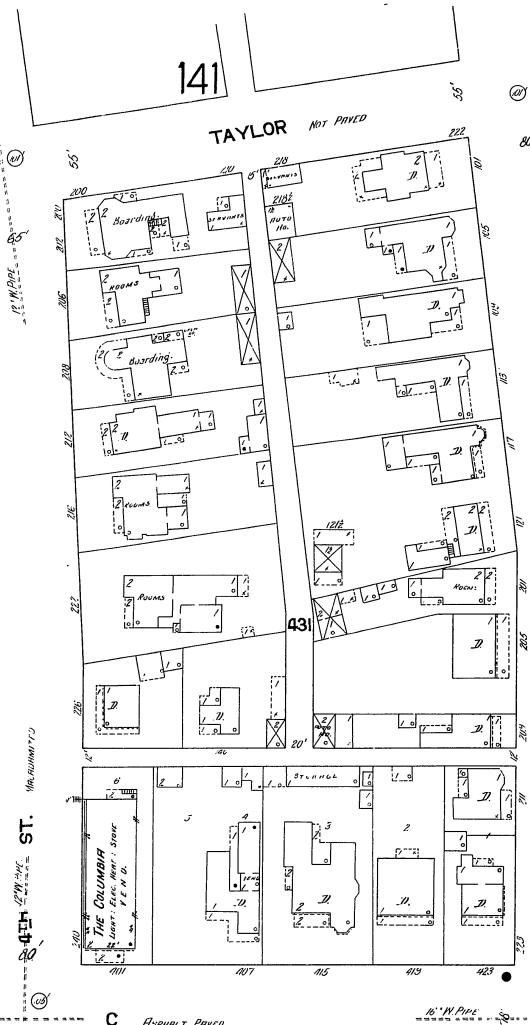
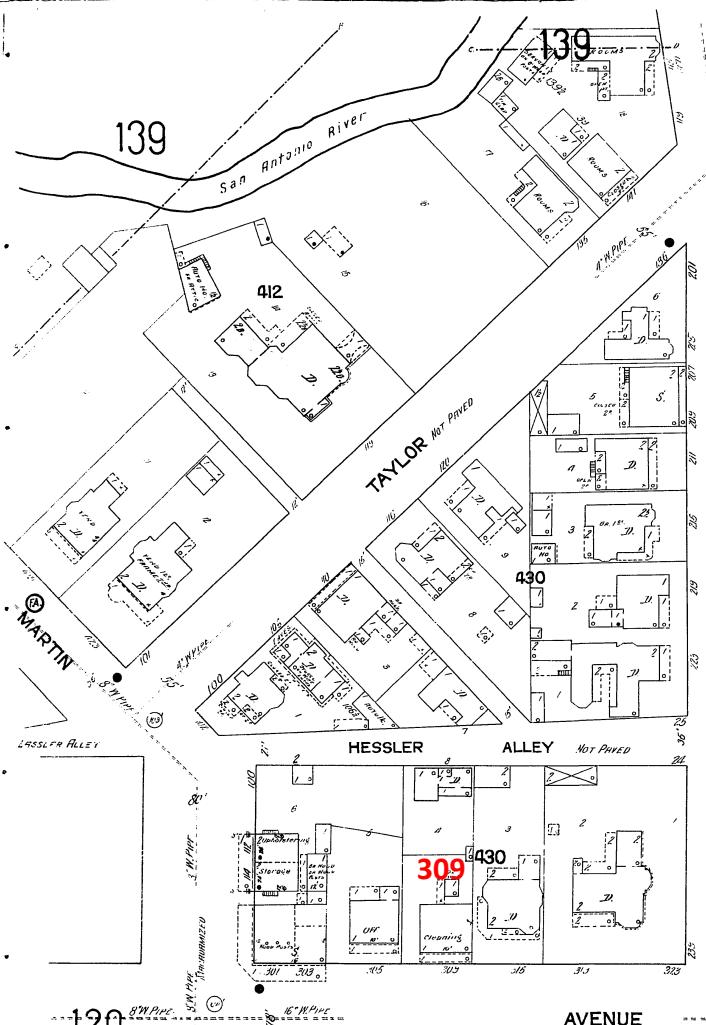
1904 SANBORN MAP

San Antonio Vol. II

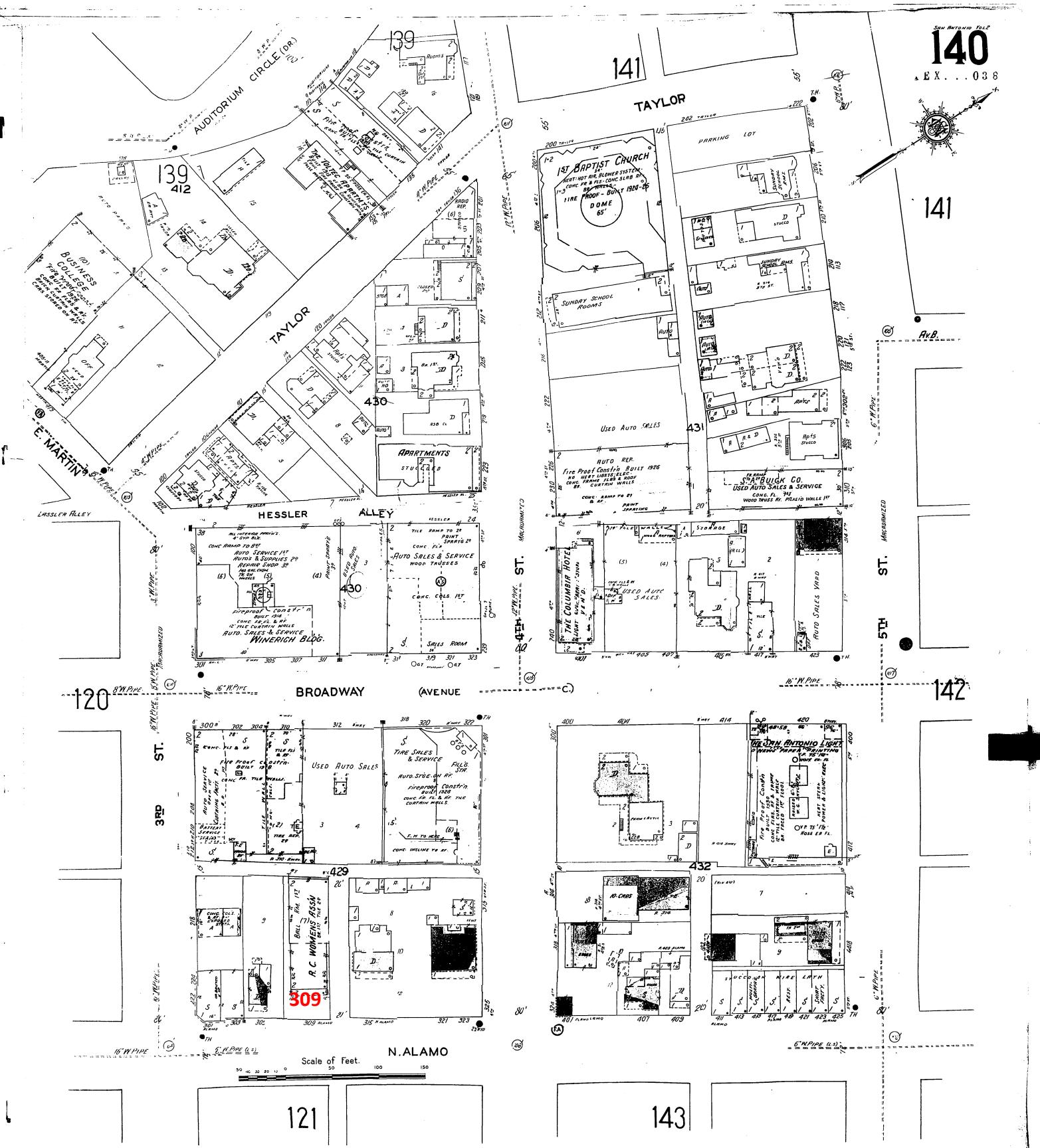
142



1912 SANBORN MAP



1951 SANBORN MAP



H C HANSCO, INC. H C
Demolition-Excavation-Site work

11927 Rail Dr San Antonio, TX 78233
P: (210) 669-2002 F: (210) 998-2710

Date: 4/20/17

TO: City of San Antonio

ATTN: Plan Reviewer

RE: Commercial Structure
309 N. Alamo
San Antonio, Texas 78205

DEMOLITION PLAN

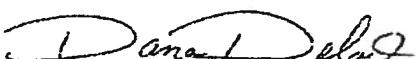
HANSCO will demolish the rear (1940's addition) 2-story portion of the structure utilizing heavy hydraulic equipment, back to the original 2-story (1899 main structure). The 1899 structure will remain unaltered until possible future development which would be presented to Office of Historic Preservation department and city permitting process. The rear wall of the 1899 structure appears to be un altered from its original construction (see attached pictures reflecting this wall). It is also apparent that this wall will not require any modifications after the rear structure is demolished.

The demolition will be performed in coordination with the Engineers Letter, (Davy L. Beicker, PE Engineers letter is attached to this demolition plan). The demolition will start at the top of the structure and work down through the foundation. The debris will be generally segregated into three (3) types of materials. One is the trash, another is metals and the last is hardfill (concrete/stone/and asphalt).

The trash will be loaded into haul trucks and taken, (following the best direct path), to Waste Management's Covel Gardens Landfill on Covel Road for disposal. The metals will be loaded into haul trucks and taken, (following the best direct path), to Monterrey Metals on Frio City Road for recycling. The hardfill materials will be loaded into haul trucks and taken, (following the best direct path), to one of several permitted site around San Antonio for recycling and or fill.

If you have any questions regarding this plan, please do not hesitate to contact me. I can be reached at (210)418-9603 or dana@hanscodemo.com.

Sincerely,



Dana Delao,
Project Manager/ Estimator

Davy L Beicker, PE, llc
16403 Turkey Point
San Antonio, Texas 78232

December 16, 2016

Mr. Paul Covey
GrayStreet Partners
4515 San Pedro Avenue
San Antonio, Texas 782

Re: Flannery Building Addition
309 North Alamo Avenue
San Antonio, Texas

Dear Mr. Covey:

At your request, I have investigated the condition of the building at the referenced address. This structure consists of an original boarding house built in the 1800s with a rear addition built in the 1940s. The rear addition is a totally separate structure from the front original building. You plan to demolish only the rear addition.

The rear building is a two-story commercial type structure built with a structural steel framed roof and cast-in-place concrete first and second floors supported by concrete columns on concrete footings.

We have discussed your plans and schedule to demolish this building with your demolition contractor, Mr. Shane Hanson with Hansco, Inc. His plans and schedule include the following:

- (a) No structural or load-supporting members, which would affect the stability of the structure, will be cut or removed from any story until all construction materials above such a story have been completely demolished and removed.
- (b) No material will be dropped to any point outside the exterior walls of the structure except in enclosed chutes.
- (c) The demolition of exterior masonry walls will be removed and dropped into the interior building space as they are being dropped.
- (d) Structural steel roof frame members bracing the top of walls will be left in place during the demolition of masonry walls, or temporary shoring will be installed until the braced wall no longer needs braced. All steel beams and similar structural supports will be cleared of all loose material as the masonry demolition progresses.
- (e) No wall or other structural part will be left at the end of each shift in such condition that it may collapse due to wind, vibration or any other cause.
- (f) Upon the completion of demolition operations, the site will be completely cleared of rubbish, brush and other debris. The site will be left free of ponds. Underground tanks, if discovered, will be removed and the excavated area will be filled in. Basement slabs, if discovered, will be broken up to allow drainage. Septic tanks, wells, cesspools, and cisterns, if discovered, will be broken open and filled in.
- (g) Safety measures by the contractor shall be employed before, during, and after the demolition to protect the public and adjacent properties. Safety during demolition, along with demolition plans and scheduling (2012 IBC 3303.1) and possible methods of demolition remain the sole responsibility of the demolition contractor.
- (h) The site will be secure from public access during non-working hours.
- (i) The contractor will coordinate with the City of San Antonio any necessary blocking of walkways, thoroughfares and alleys to protect the public during the demolition.
- (j) No explosives will be used in demolishing this building.

This letter is based on professional engineering judgment of the specific condition described herein. Please be advised that this report is based on only one site observation.

As denoted by the engineering seal on this letter, we believe we have fulfilled our obligations as an engineer under
dlb

the Texas Engineering Practice Act pursuant to its requirements to protect the public health, safety, and welfare in the practice of engineering.

If you have any questions, please call.
Respectfully,

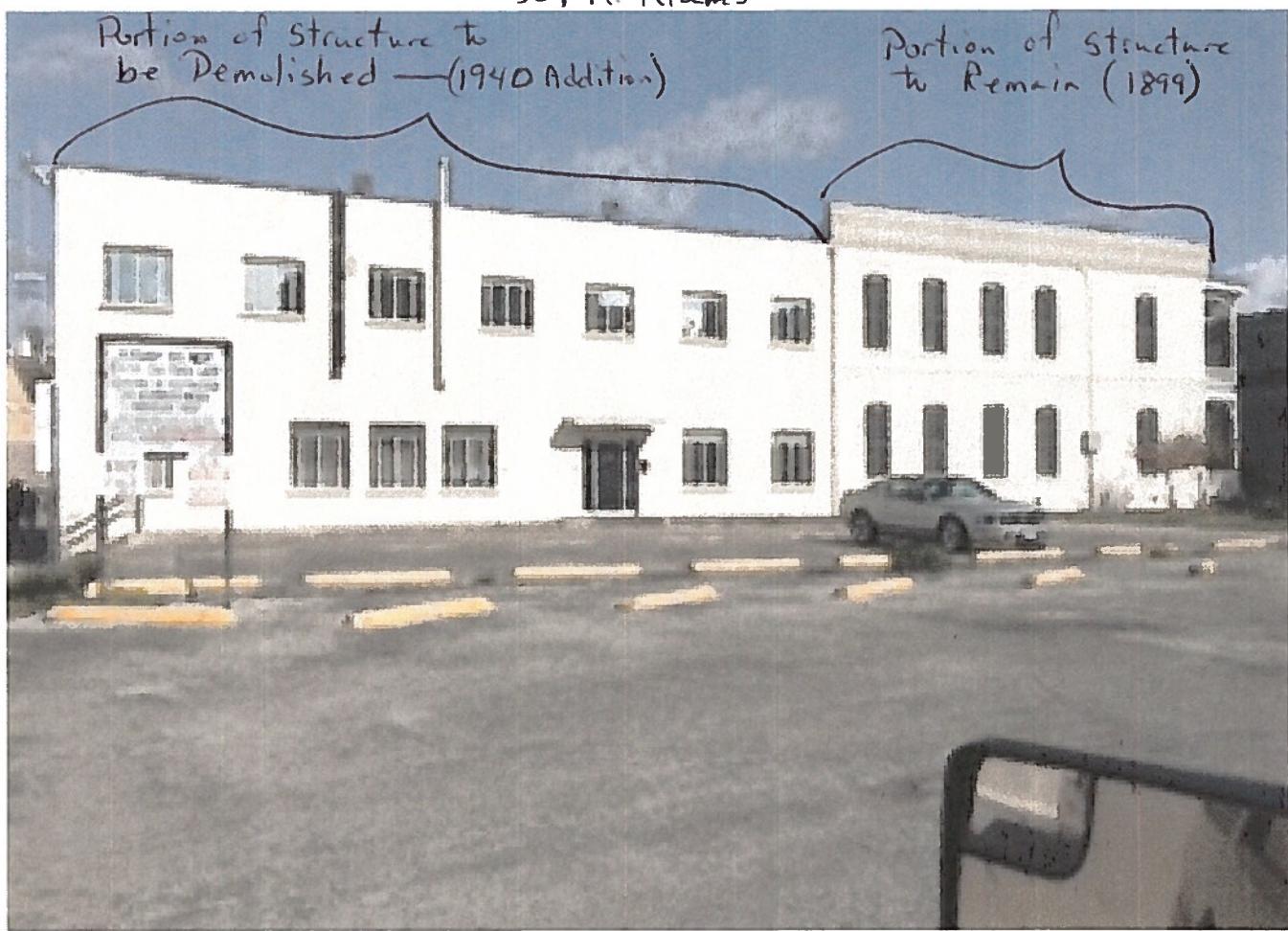


Davy L Beicker, PE
President, Davy L Beicker, PE, llc
Texas Professional Engineer License 50565
TBPE Firm 17605



cc: Mr. Shane Hanson with Hansco, Inc.

309 N. Adams



Front



309 N. Alamo

Portion to be Demolished Rear (1940 Addition)



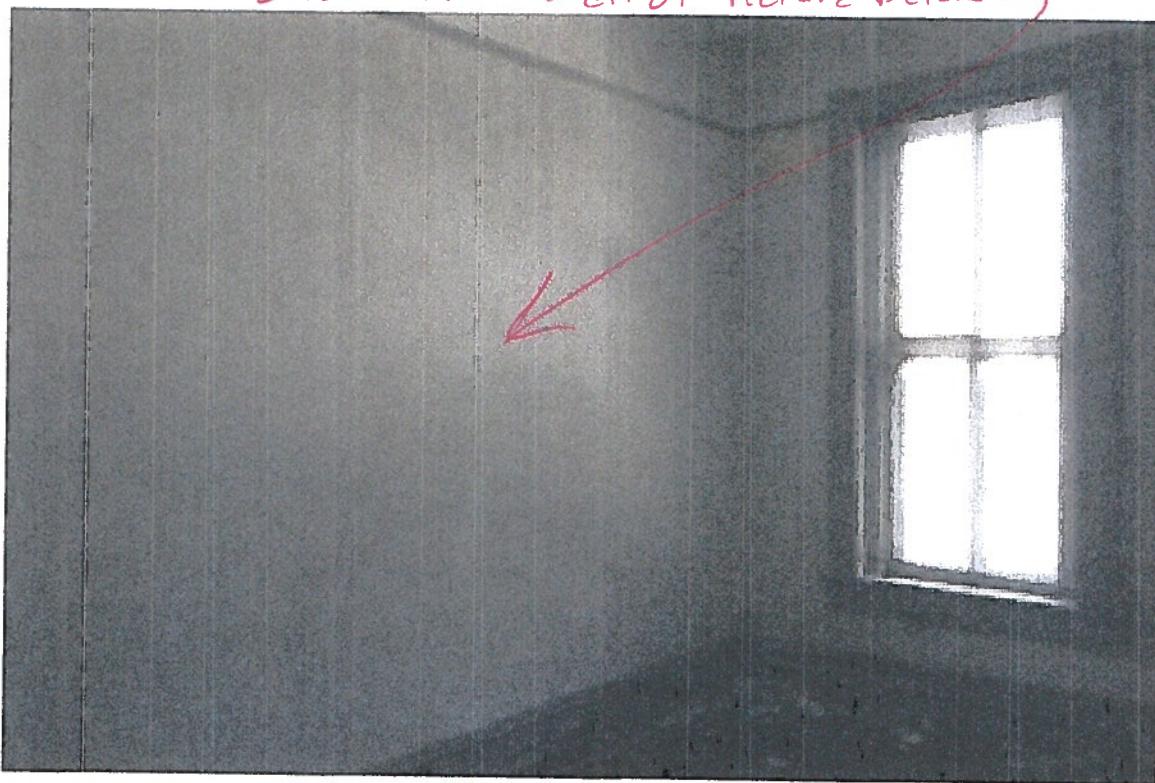
Portion to Remain (1899)

Portion to be Demolished
(1940 Addition)

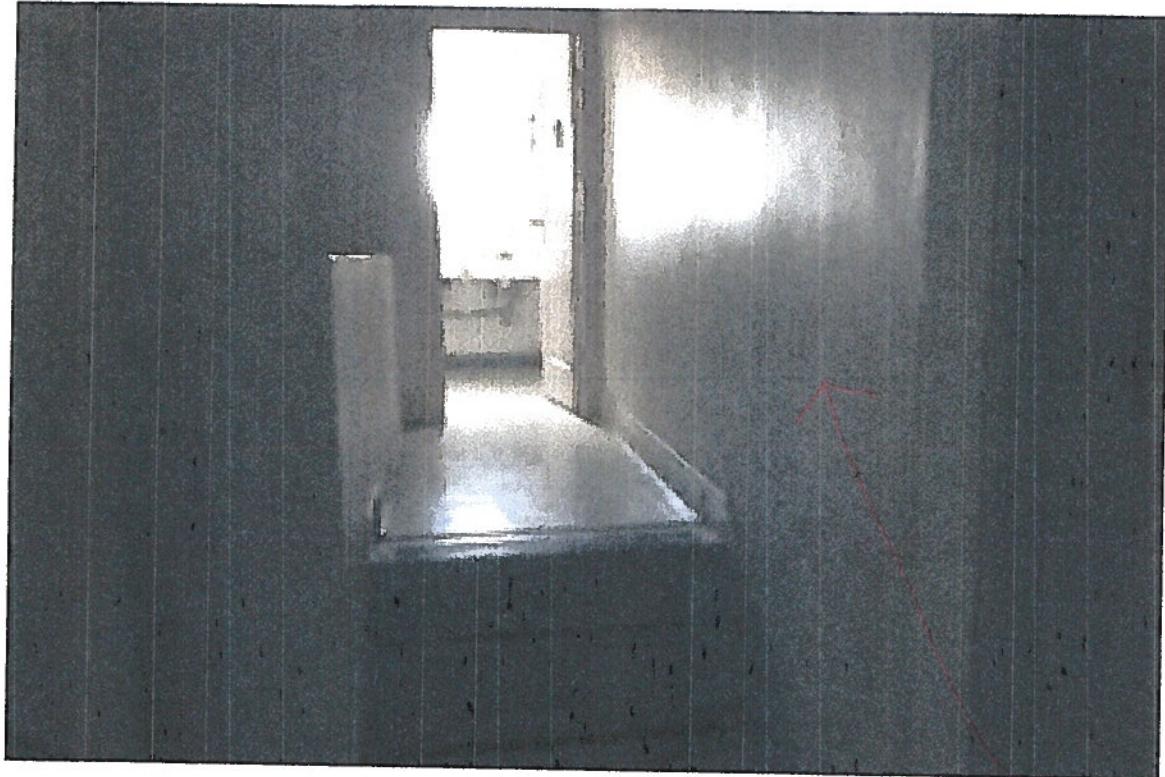


309 N. Alamo 2nd Floor

Interior Plaster Wall of Picture Below ↗

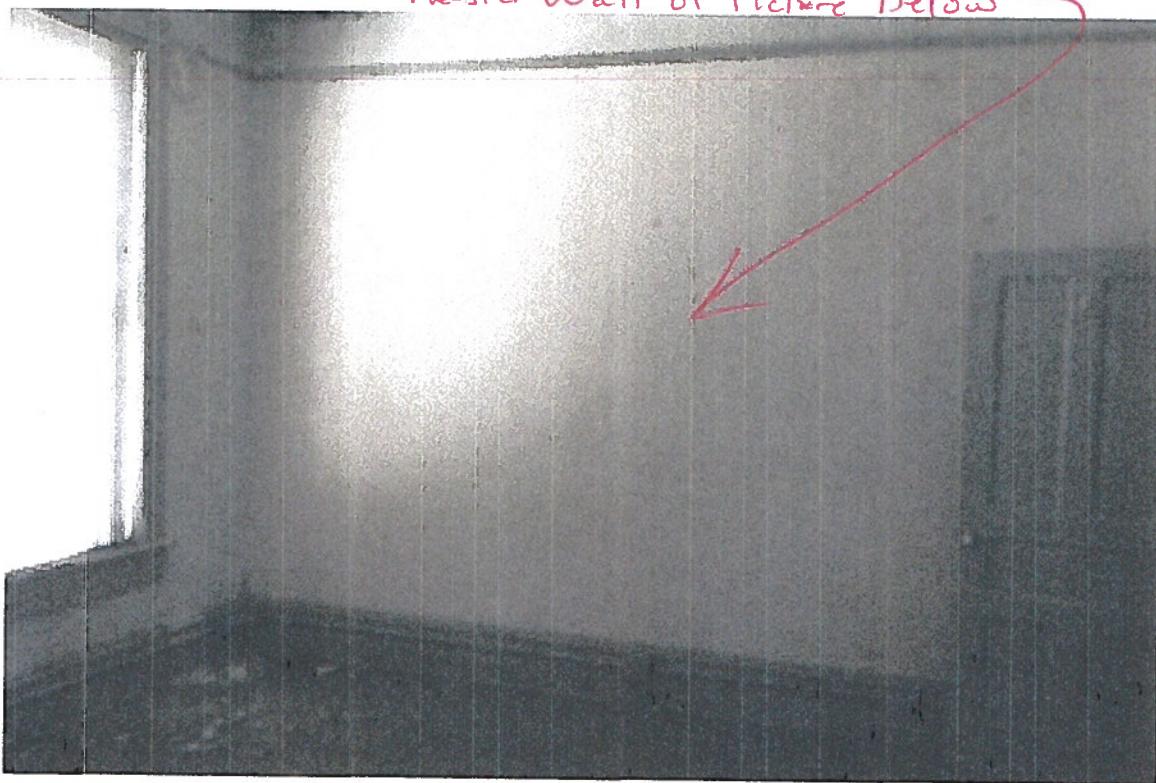


Exterior Plaster wall of 1899 structure ↗

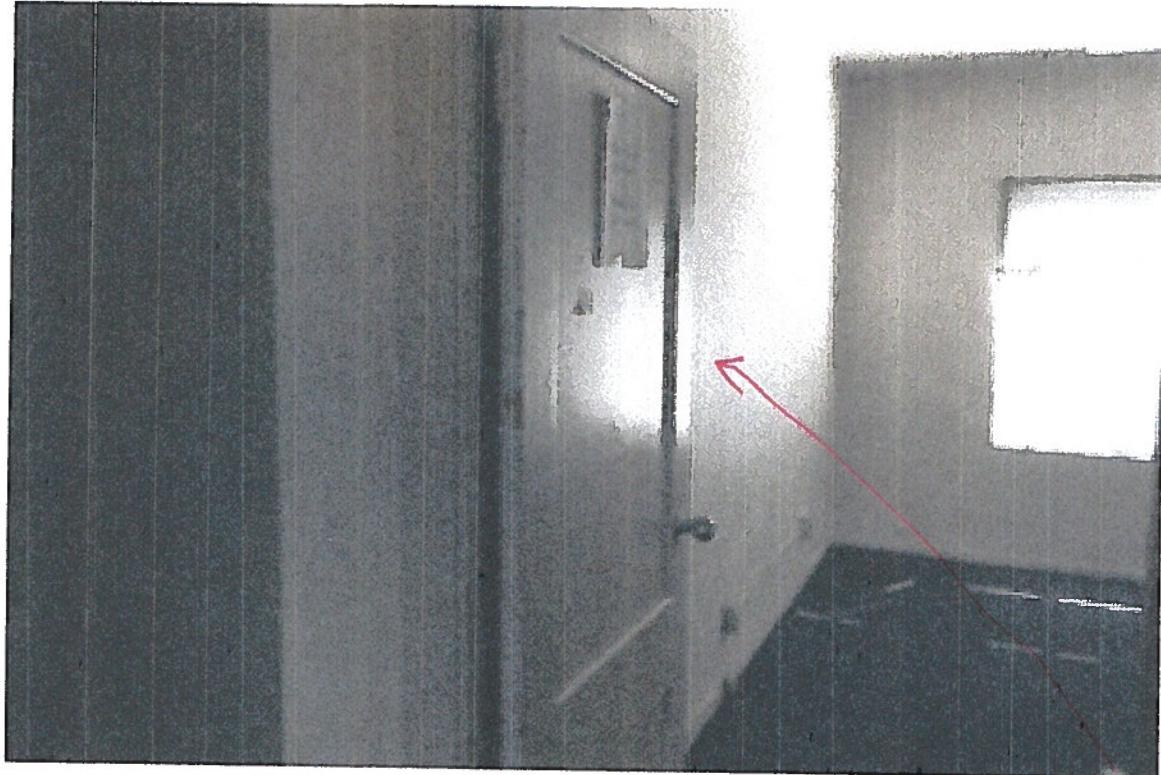


309 N. Alamo 2nd Floor

Interior Plaster Wall of Picture Below ↗

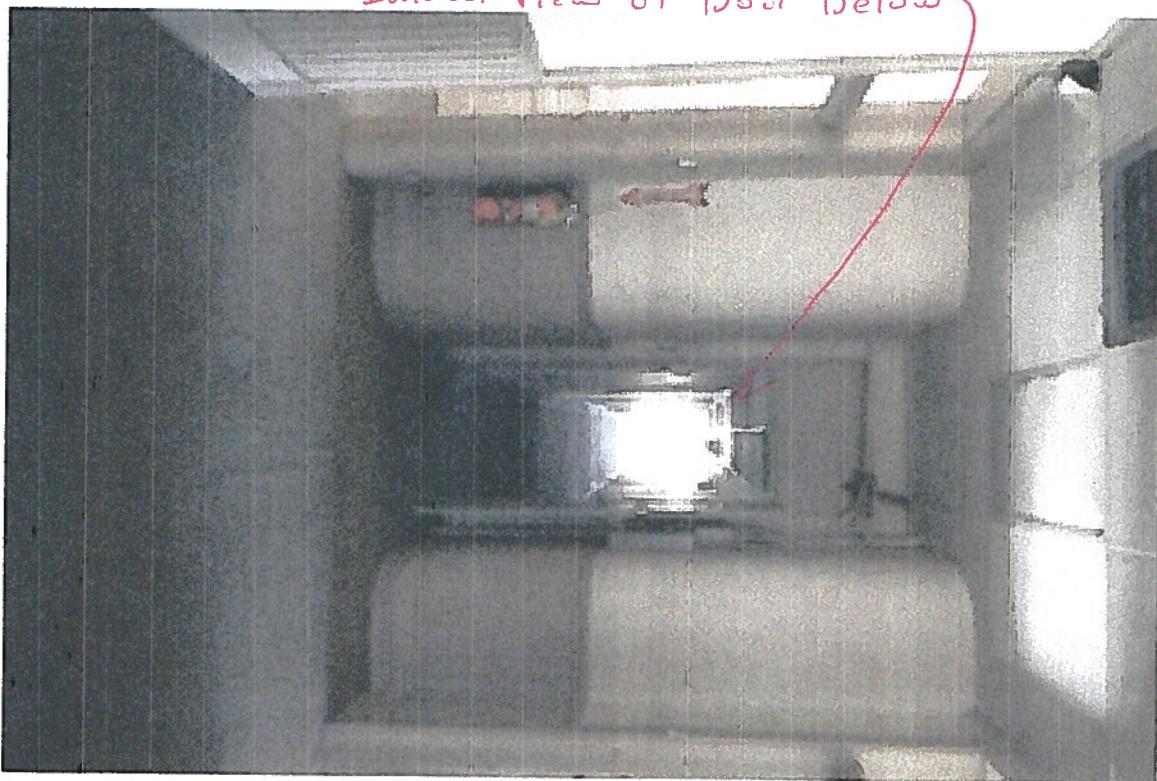


Exterior Plaster Wall of 1899 structure ↗



309 N. Alamo 2ND Floor

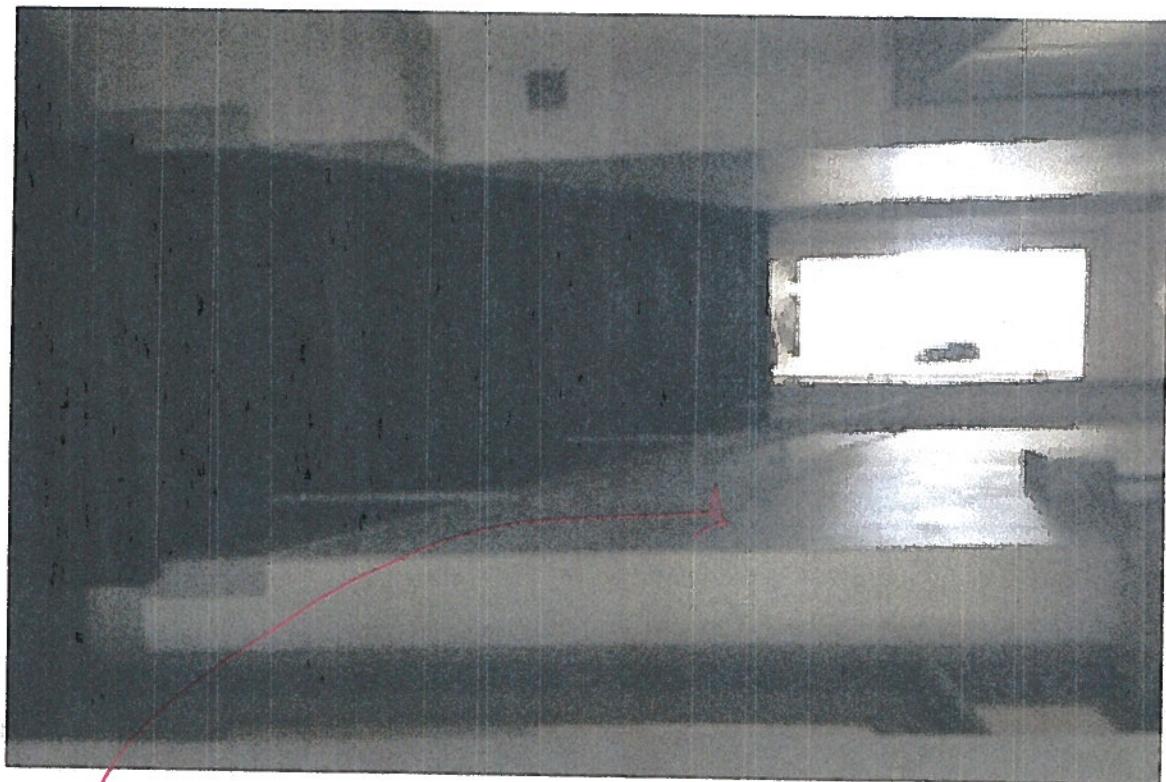
Interior View of Door Below)



(Rear Exterior Door of 1899 structure wall (Plaster))

309 N. Alamo 1st Floor

Interior wall at Rear Exterior wall (Interior of wall below)
(Plaster)



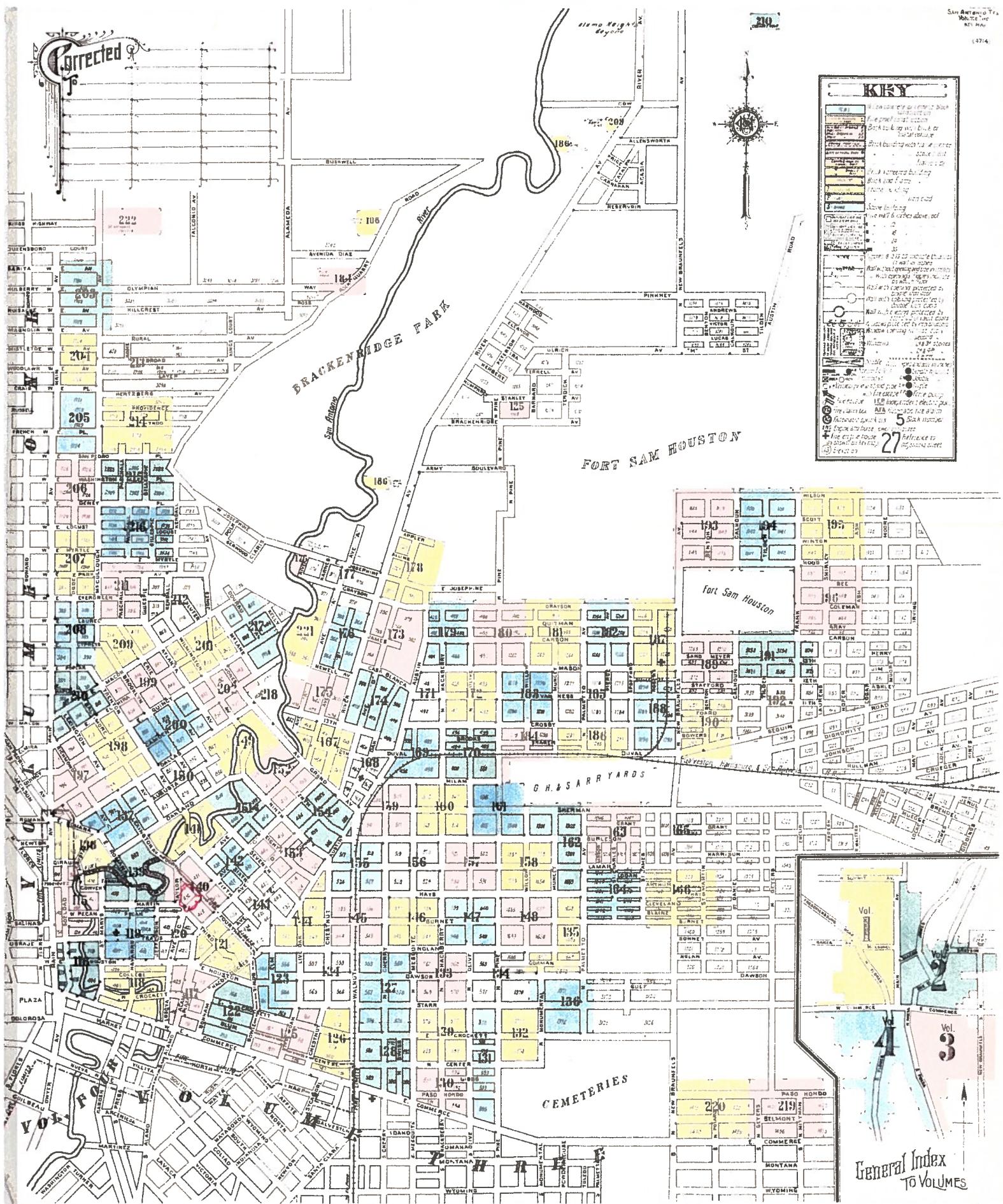
Rear wall at Exterior of 1899 structure
(Plaster)

309 N Alamo Formerly Ave C.

SAN ANTONIO Tex
YOUTLE 116
N.Y. MAY

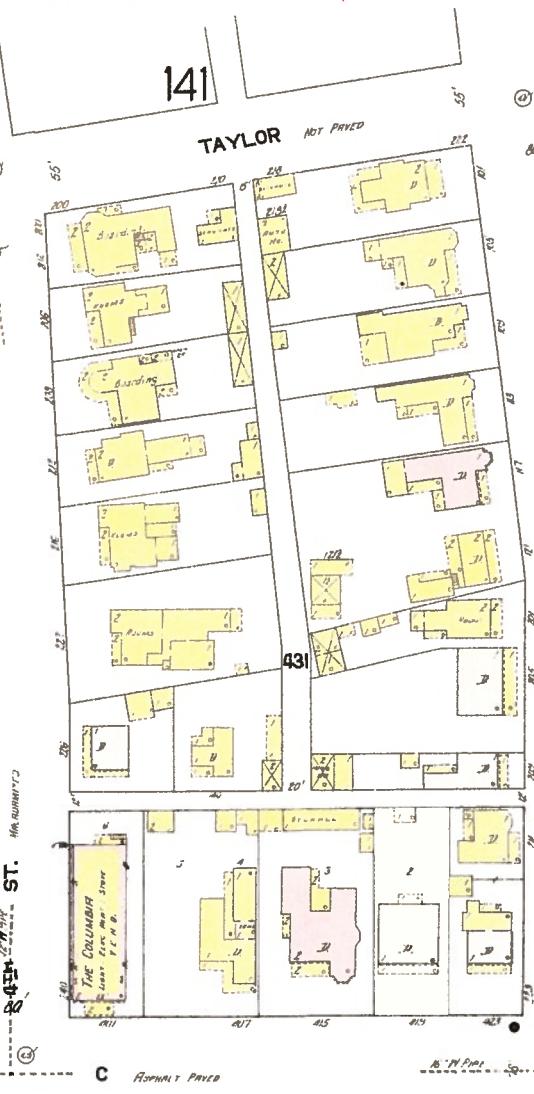
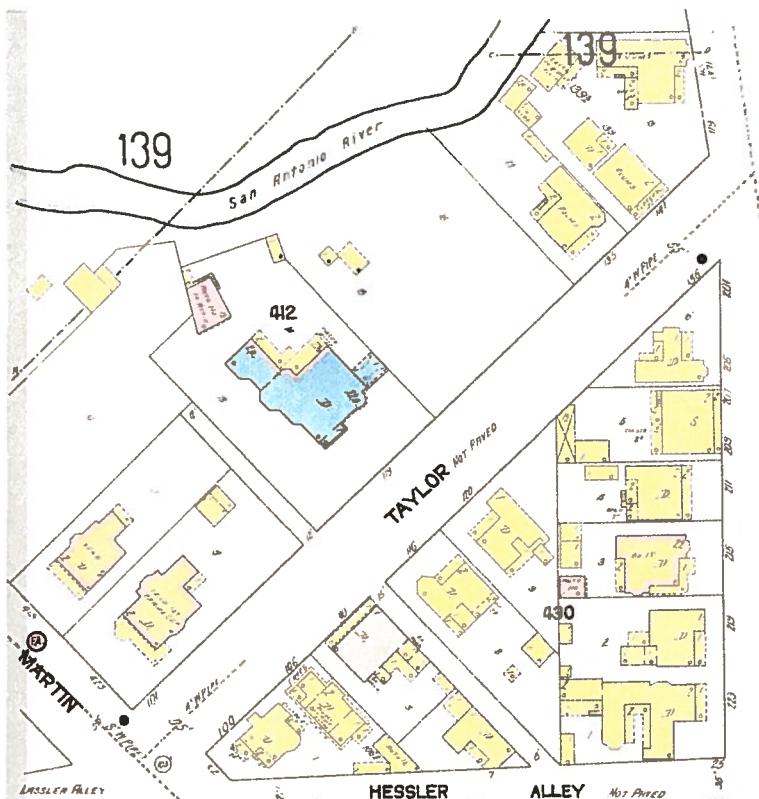
(47:4)

Corrected



Original located at the Dolph Briscoe Center for American History, University of Texas at Austin

309 N. Alamo Formely Arc C



121

143

Original located at the Dolph Briscoe Center for American History, University of Texas at Austin