

AN ORDINANCE 2016-05-19-0383

AMENDING THE OFFICIAL ZONING MAP OF THE CITY OF SAN ANTONIO BY AMENDING CHAPTER 35, UNIFIED DEVELOPMENT CODE, SECTION 35-304, OF THE CITY CODE OF SAN ANTONIO, TEXAS BY CHANGING THE ZONING DISTRICT BOUNDARY OF CERTAIN PROPERTY.

\* \* \* \* \*

WHEREAS, a public hearing was held after notice and publication regarding this amendment to the Official Zoning Map at which time parties in interest and citizens were given an opportunity to be heard; and

WHEREAS, the Zoning Commission has submitted a final report to the City Council regarding this amendment to the Official Zoning Map of the City of San Antonio; **NOW THEREFORE,**

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SAN ANTONIO:**

**SECTION 1.** Chapter 35, Unified Development Code, Section 35-304, Official Zoning Map, of the City Code of San Antonio, Texas is amended by changing the zoning district boundary of 2.25 acres of land out of NCB 15911 from "C-3 AHOD" General Commercial Airport Hazard Overlay District to "I-1 AHOD" General Industrial Airport Hazard Overlay District.


**SECTION 2.** A description of the property is attached as **Exhibit "A"** and made a part hereof and incorporated herein for all purposes.

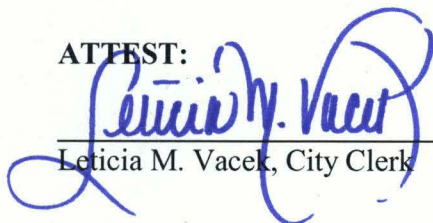
**SECTION 3.** All other provisions of Chapter 35 except those expressly amended by this ordinance shall remain in full force and effect including the penalties for violations as made and provided for in Section 35 - 491.

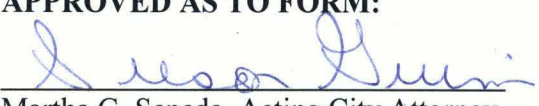
**SECTION 4.** The Director of Development Services shall change the zoning records and maps in accordance with this ordinance and the same shall be available and open to the public for inspection.

**SECTION 5.** This ordinance shall become effective May 29, 2016.

**PASSED AND APPROVED** this 19th day of May, 2016.

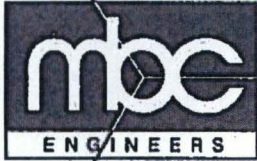
  
M A Y O R  
Ivy R. Taylor

ATTEST:  
  
\_\_\_\_\_  
Leticia M. Vacek, City Clerk

APPROVED AS TO FORM:  
  
\_\_\_\_\_  
for  
Martha G. Sepeda, Acting City Attorney

<b>Agenda Item:</b>	<b>Z-10 ( in consent vote: P-1, Z-2, Z-3, Z-6, Z-7, Z-8, P-2, Z-9, P-3, Z-10 )</b>						
<b>Date:</b>	05/19/2016						
<b>Time:</b>	02:11:34 PM						
<b>Vote Type:</b>	Motion to Approve						
<b>Description:</b>	ZONING CASE #Z2016124 (Council District 10): An Ordinance amending the Zoning District Boundary from "C-3 AHOD" General Commercial Airport Hazard Overlay District and "I-1 AHOD" General Industrial Airport Hazard Overlay District to "I-1 AHOD" General Industrial Airport Hazard Overlay District on 2.25 acres of land out of NCB 15911 located 11357 N IH 35. Staff and Zoning Commission recommend Approval, pending Plan Amendment. (Associated Plan Amendment 16033)						
<b>Result:</b>	Passed						
<b>Voter</b>	<b>Group</b>	<b>Not Present</b>	<b>Yea</b>	<b>Nay</b>	<b>Abstain</b>	<b>Motion</b>	<b>Second</b>
Ivy R. Taylor	Mayor		x				
Roberto C. Treviño	District 1		x			x	
Alan Warrick	District 2		x				x
Rebecca Viagran	District 3		x				
Rey Saldaña	District 4		x				
Shirley Gonzales	District 5		x				
Ray Lopez	District 6		x				
Cris Medina	District 7		x				
Ron Nirenberg	District 8	x					
Joe Krier	District 9		x				
Michael Gallagher	District 10		x				





**MACINA • BOSE • COPELAND and ASSOCIATES, INC**  
CONSULTING ENGINEERS AND LAND SURVEYORS

Texas Registered Engineering Firm F-784  
TBPLS Firm Registration # 100117005  
1035 Central Parkway North, San Antonio, Texas 78232  
(210) 545-1122 FAX (210) 545-9302  
www.mbcengineers.com

22016124

**METES AND BOUNDS DESCRIPTION  
TO ACCOMPANY ZONING EXHIBIT**

BEING A 2.250 ACRE (98,006 SQUARE FEET +/-) TRACT OF LAND OUT OF A 9.185 ACRE TRACT OF LAND (TRACT III) AS DESCRIBED IN SPECIAL WARRANTY DEED RECORDED IN VOLUME 10232, PAGE 859, OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS; AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

**COMMENCING** at a 1/2-Inch Iron Rod Found on the Southwest Right-of-Way Line of O'Conner Road marking the Eastern most corner of Lot 12, Block 1, New City Block 15911, The Curve Subdivision according to plat thereof recorded in Volume 8500, Page 131 of the Deed and Plat Records of Bexar County, Texas and the Northern most corner of a 6.000 Acre Tract (Tract IV) of the Official Public Records of Bexar County, Texas;

**THENCE** S 42°59'34" W a distance of 403.60 feet departing the Southwest Right-of-Way line of said O'Conner Road along and with the Southeast line of said Lot 12, Block 1, to a 1/2-Inch Iron Rod with cap stamped "MBC" Found on the Northeast line of said 9.185 Acre Tract and marking the Southernmost corner of Said Lot 12, Block 1;

**THENCE** N 10°08'34" W a distance of 143.54 feet along the common line of said 9.185 Acre Tract and said Lot 12, Block 1, to a 1/2-Inch Iron Rod with cap stamped "MBC" Set for the **POINT OF BEGINNING**;

**THENCE** S 41°27'34" W a distance of 394.54 feet departing the common line of said 9.185 Acre Tract and Lot 12, Block 1, to a Point on the Southwest line of said 9.185 Acre Tract and the Northeast line of a 135 foot wide C.P.S.B. Easement recorded in Volume 6189, Page 599 of the Official Public Records of Bexar County, Texas;

**THENCE** N 48°30'29" W a distance of 186.72 feet along and with the common line of said 9.185 Acre Tract and 135 foot wide C.P.S.B. Easement to a Point;

**THENCE** N 04°26'29" W a distance of 220.44 feet departing the common line of said 9.185 Acre Tract and 135 foot wide C.P.S.B. Easement to a Point;

**THENCE** N 85°33'31" E a distance of 390.58 feet to a Point on the Northeast line of said 9.185 Acre tract and the Southwest line of said Lot 12, Block 1;

**THENCE** S 20°13'17" E a distance of 83.17 feet along with the common line of said 9.185 Acre Tract and Lot 12, Block 1, to the **POINT OF BEGINNING** and containing 2.250 Acres of land, (98,006 SQUARE FEET +/-) more or less as surveyed by Macina, Bose, Copeland, and Associates, Inc. under the direct supervision of Joel Christian Johnson, R.P.L.S.;

Note: A Survey Sketch that is made a part hereof and shall accompany this instrument.



Z2016124

I, Joel Christian Johnson, Registered Professional Land Surveyor No. 5578, do hereby affirm that this description is based on the results of a survey made on the ground by the firm of Macina, Bose, Copeland and Associates, Inc., of which a survey map has been prepared.



03/09/15

Joel Christian Johnson, R.P.L.S. No.5578  
TBPLS FIRM REGISTRATION #10011700

31442-1674  
March 09, 2015  
jja

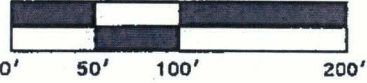


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NOTE:  
THE PURPOSE OF THIS EXHIBIT AND METES AND BOUNDS  
DESCRIPTION IS FOR A CHANGE OF ZONING CASE WITH THE  
CITY OF SAN ANTONIO.



SCALE: 1" = 100'



LEGEND

- ⊙ 1/2" IRON ROD W/CAP  
"MBC" SET OR FOUND
- 1/2" IRON ROD FOUND

16' SAN. SEWER ESMT  
(VOL. 9695, PG. 28 DPR)

TRACT III  
9.185 ACRES  
(VOL. 10232, PG. 859 OPR)

THE CURVE SUBDIVISION  
LOT 12  
BLOCK 1  
NCB 15911  
(VOL. 8500, PG. 131 DPR)

POINT OF  
BEGINNING

2.250 ACRES  
(98,006 SQ. FT. +/-)

TRACT IV  
6.000 ACRES  
(VOL. 10232, PG. 859 OPR)

TRACT III  
9.185 ACRES  
(VOL. 10232, PG. 859 OPR)



1035 Central Parkway North  
San Antonio, Texas 78232  
(210) 545-1122  
FAX (210) 545-9302  
TEXAS REGISTERED  
ENGINEERING FIRM F-784

PAGE 3 OF 3

ZONING EXHIBIT

BEING A 2.250 ACRE (98,006 SQUARE FEET +/-) TRACT OF LAND OUT  
OF A 9.185 ACRE TRACT OF LAND (TRACT III) AS DESCRIBED IN SPECIAL  
WARRANTY DEED RECORDED IN VOLUME 10232, PAGE 859, OF THE  
OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS.

DESIGN	TOO
DRAWN	JJA
DATE	03-10-2016
JOB NO.	31442-1674



*[Signature]*  
JOEL C. JOHNSON R.P.L.S. No. 5578 03/09/16

P:\1674\31442-O'Connor Boat Storage\Exhibit\Ex1 Boat Storage\Ex1 -31442.dgn jaranda 3/10/2016 2:23:17 PM