

CATTLEMAN SQUARE LOFTS

CIVIL CONSTRUCTION PLANS

811 W HOUSTON STREET SAN ANTONIO, TEXAS 78207

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OWNER / DEVELOPER:
ACG CATTLEMAN SQUARE LOFTS GP, LLC.
4100 EAST PIEDRAS DR., SUITE 200
SAN ANTONIO, TEXAS 78228
(210) 751-0300
CONTACT: JENNIFER GONZALEZ

GEOTECHNICAL/ENGINEER:
ROCK ENGINEERING & TESTING LAB
10856 VANDALE ST.
SAN ANTONIO, TEXAS 78216
(210) 495-8000
CONTACT: JR. EICHELBERGER, III, P.E.

MEP ENGINEER:
PHA CONSULTING ENGINEERS, INC.
1101 E. ARAPACHO RD., STE. 130
RICHARDSON, TEXAS 75081
(972) 235-2192
CONTACT: ANDREW J. ALLEN, P.E.

CIVIL ENGINEER:
WGI, INC.
5710 W. HAUSMAN ROAD, SUITE 115
SAN ANTONIO, TX 78249
(210) 860-9224
CONTACT: GERARDO ROMERO MURGUIA, P.E.

LANDSCAPE ARCHITECT:
SAGE GROUP, INC.
6106 BROADWAY ST.
SAN ANTONIO, TEXAS 78209
(210) 493-3747
CONTACT: AUSTIN DOVE, ASLA

MEP ENGINEER:
SAGE ARCHITECTURE, INC.
6106 BROADWAY ST.
SAN ANTONIO, TEXAS 78209
(210) 493-3747
CONTACT: JAMES D. RAHE

SURVEYOR:
DA MAYER LAND SURVEYING, INC.
5151 W. STATE HIGHWAY 46
NEW BRAUNFELS, TEXAS 78132
(210) 325-0858
CONTACT: DREW A. MAYER, RPLS

ARCHITECT:
SAGE ARCHITECTURE, INC.
6106 BROADWAY ST.
SAN ANTONIO, TEXAS 78209
(210) 493-3747
CONTACT: JAMES D. RAHE

FLOODPLAIN INFORMATION:
THIS PROPERTY IS LOCATED WITHIN ZONE 'X'. AREAS DETERMINED TO BE OUTSIDE THE 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD, THAT HAS A 1% CHANCE OF BEING EQUALLED OR EXCEED IN ANY GIVEN YEAR. THE SPECIAL FLOOD HAZARD AREA IS THE AREA SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD, AS SHOWN ON F.I.R.M. PANEL NO. 48029C0395G, BEXAR COUNTY, TEXAS DATED SEPTEMBER 29, 2010.

THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

WATERSHED:
THIS PROPERTY IS LOCATED WITHIN THE UPPER SAN ANTONIO RIVER WATERSHED.

BENCHMARK:
CP #1: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APROX. 143.4' OF THE NORTHEAST OF THE PROPERTY CORNER ELEV = 656.19
CP #2: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APROX. 520.2' OF THE NORTHEAST OF THE PROPERTY CORNER ELEV = 655.03
CP #3: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APROX. 458.3' OF THE EAST OF THE PROPERTY CORNER ELEV = 653.78
CP #4: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APROX. 364.6' OF THE SOUTHEAST OF THE PROPERTY CORNER ELEV = 653.27
CP #5: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APROX. 32.9' OF THE EAST OF THE PROPERTY CORNER ELEV = 655.47

SURVEY BASIS:
ALL BEARINGS ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, GRID NORTH, SOUTH CENTRAL ZONE, (4204), NAD83, AND NAVD88. COORDINATES SHOWN ARE GRID COORDINATES.

LEGAL DESCRIPTION:
BEING A TOTAL OF 1.571 ACRES OF LAND OUT OF LOT 25, BLOCK 27, NEW CITY BLOCK 286, SITUATED IN THE CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS AS RECORDED IN DOC. 20190214498 OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS.

HISTORIC:
THIS SITE IS LOCATED WITHIN THE CATTLEMAN SQUARE HISTORICAL DISTRICT. THE SITE CONTAINS A HISTORICAL BUILDING (TALERICO STORE AND HOMESTEAD). EXERCISE CAUTION WHILE WORKING IN THIS AREA.

ZONING:
DOWNTOWN (D); HISTORIC DISTRICT (H); HISTORIC LANDMARK SITES (HS)

UTILITY PROVIDERS:

GAS:
CPS ENERGY
145 NAVARRO
SAN ANTONIO, TX 78205
(210) 353-2376

CABLE:
SPECTRUM
1900 BLUE CREST LANE
SAN ANTONIO, TX 78247
(210) 244-0900

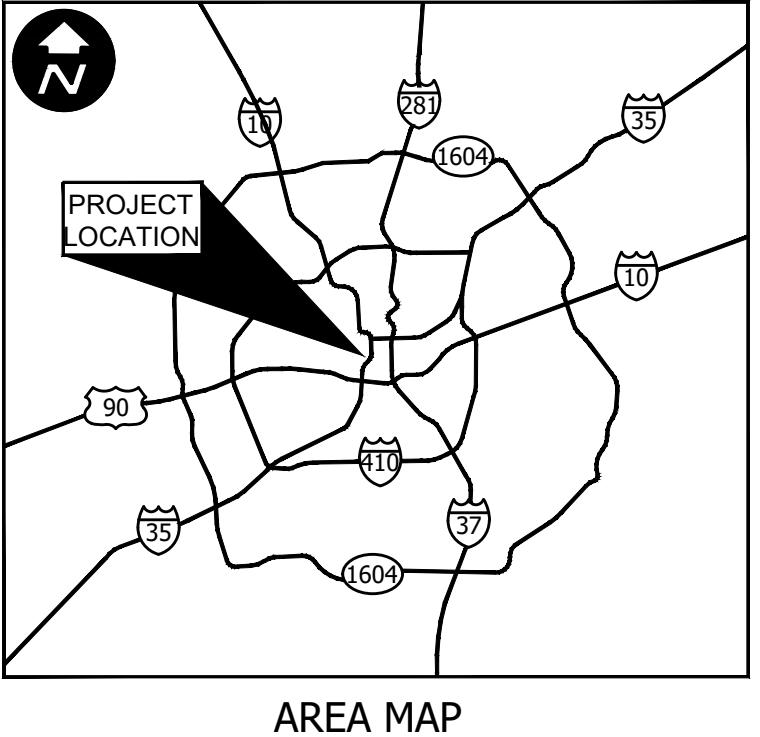
ELECTRIC:
CPS ENERGY
145 NAVARRO
SAN ANTONIO, TX 78205
(210) 353-2376

WATER & WASTEWATER:
SAN ANTONIO WATER SYSTEM
2800 U.S. Hwy 281 NORTH
SAN ANTONIO, TX 78212
(210) 233-2009

NOTES:

1. RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.
2. BY THE ACT OF SUBMITTING A BID FOR THE PROPOSED CONTRACT, THE BIDDER WARRANTS THAT THE BIDDER, AND ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS HE INTENDS TO USE HAVE CAREFULLY AND THOROUGHLY REVIEWED THE DRAWINGS AND SPECIFICATIONS AND OTHER CONTRACT DOCUMENTS AND HAVE FOUND THEM COMPLETE AND FREE FROM ANY AMBIGUITIES AND SUFFICIENT FOR THE PURPOSE INTENDED. THE BIDDER FURTHER WARRANTS THAT TO THE BEST OF HIS OR HIS SUBCONTRACTORS AND MATERIAL SUPPLIERS KNOWLEDGE ALL MATERIALS AND PRODUCTS SPECIFIED OR INDICATED HEREIN ARE ACCEPTABLE FOR ALL APPLICABLE CODES AND AUTHORITIES.
3. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAS BEEN BASED UPON RECORD INFORMATION AND/OR A FIELD SURVEY, AND MAY NOT MATCH LOCATIONS AS CONSTRUCTED. THE CONTRACTOR SHALL CONTACT THE 'ONE CALL' SYSTEM @ 811, OR THE OWNER OF EACH INDIVIDUAL UTILITY, FOR ASSISTANCE IN DETERMINING EXISTING UTILITY LOCATIONS PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF UTILITY CROSSING PRIOR TO BEGINNING CONSTRUCTION.
4. ALL CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION. (OSHA) STANDARDS MAY BE PURCHASED FROM THE GOVERNMENT PRINTING OFFICE. INFORMATION AND RELATED REFERENCE MATERIALS MAY BE PURCHASED FROM OSHA, WASHINGTON SQUARE BLVD, SUITE 203, 800 DOLOROSA ST, SAN ANTONIO, TEXAS 78207-4599.
5. CONTRACTOR SHALL RESTORE ALL SIGNS AND PAVEMENT MARKINGS TO EXISTING CONDITIONS FOLLOWING THE COMPLETION OF EACH PHASE OF CONSTRUCTION. CONTRACTORS SHALL REFER TO THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TUMTCD) FOR SIGN AND MARKING DIMENSIONS AND COLORS.

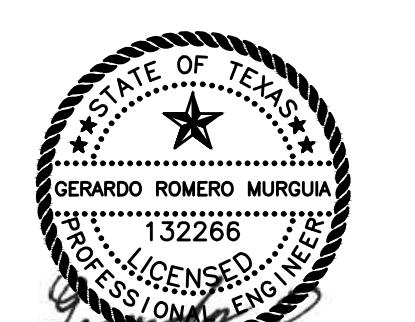
PLAT NO. 20-11800007 | AP No. _____



VICINITY MAP
N.T.S.

SUBMITTAL DATE:
JANUARY 31, 2021

SUBMITTED BY :



JANUARY 31, 2021

GERARDO ROMERO MURGUIA, P.E.
LICENSED PROFESSIONAL ENGINEER NO. 132266
WGI, INC.
5710 W. HAUSMAN RD., SUITE 115
SAN ANTONIO, TX 78249
(210) 860-9224

I CERTIFY THAT THESE ENGINEERING DOCUMENTS ARE COMPLETE, ACCURATE AND ADEQUATE FOR THE INTENDED PURPOSES, INCLUDING CONSTRUCTION, BUT ARE NOT AUTHORIZED FOR CONSTRUCTION PRIOR TO FORMAL CITY APPROVAL.

CIVIL SHEET INDEX

Sheet Number	Sheet Title
C001	COVER SHEET
C002	GENERAL NOTES
C003	FINAL PLAT
C100	EXISTING CONDITIONS PLAN
C200	EROSION & SEDIMENTATION CONTROL PLAN
CD100	DEMOLITION PLAN
CS100	SITE & PAVING PLAN
CS200	FIRE PROTECTION PLAN
CG100	GRADING PLAN
CG200	DRAINAGE PLAN
CU100	UTILITY PLAN
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C600	CONSTRUCTION DETAILS
C601	COSA DETAILS
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C700	WASTEWATER DETAILS
C800	WATER SYSTEM DETAILS

CATTLEMAN SQUARE LOFTS
811 WEST HOUSTON STREET
SAN ANTONIO, TEXAS 78207

PROJECT: _____
SHEET TITLE: _____
SHEET: C001
01 OF 21
HUD NO. 115-35930

FIRM NO. F-15085
PHONE NO.: _____
SELECT CORRECT ADDRESS FROM DROPODOWN



3 01/31/2021
2 01/31/2020
1 11/25/2020
DATE

MMW
MMW
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GENERAL CONSTRUCTION NOTES:

GENERAL NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF SAN ANTONIO STANDARD SPECIFICATIONS FOR CONSTRUCTION JUNE 2008, OR LATEST.
2. NO EXTRA PAYMENT SHALL BE ALLOWED FOR WORK CALLED FOR ON THE PLANS, BUT NOT INCLUDED IN THE BID PROPOSAL. THIS INCIDENTAL WORK WILL BE REQUIRED AND SHALL BE INCLUDED IN THE PAY ITEM TO WHICH IT RELATES.
3. THE CONTRACTOR SHALL PROVIDE ACCESS FOR THE DELIVERY OF MAIL BY THE U.S. POSTAL SERVICE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION ANY DAMAGE DONE TO EXISTING FENCES, CONCRETE ISLANDS, STREET PAVING, CURBS, SHRUBS, BUSHES OR DRIVEWAYS. (NO SEPARATE PAY ITEM).
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SEE THAT ALL SIGNS AND BARRICADES ARE PROPERLY INSTALLED AND MAINTAINED. ALL LOCATIONS AND DISTANCES WILL BE DECIDED UPON IN THE FIELD BY THE CONTRACTOR, USING THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". THE CITY'S CONSTRUCTION INSPECTOR AND TRAFFIC ENGINEERING REPRESENTATIVE WILL ONLY BE RESPONSIBLE TO INSPECT BARRICADES AND SIGNS. IF, IN THE OPINION OF THE TRAFFIC ENGINEERING REPRESENTATIVE AND THE CONSTRUCTION INSPECTOR, THE BARRICADES AND SIGNS DO NOT CONFORM TO ESTABLISHED STANDARDS OR ARE INCORRECTLY PLACED OR ARE INSUFFICIENT IN QUANTITY TO PROTECT THE GENERAL PUBLIC, THE CONSTRUCTION INSPECTOR SHALL HAVE THE OPTION TO STOP OPERATIONS UNTIL SUCH TIME AS THE CONDITIONS ARE CORRECTED.
6. IF THE NEED ARISES, ADDITIONAL BARRICADES AND DIRECTIONAL DEVICES MAY BE ORDERED BY THE TRAFFIC ENGINEERING REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
7. DUE TO FEDERAL REGULATIONS TITLE 49, PART 192.171 C.P.S. MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
8. CONTRACTOR SHALL NOTIFY THE CITY INSPECTOR TWENTY FOUR (24) HOURS PRIOR TO BACKFILL OF ANY UTILITY TRENCHES TO SCHEDULE FOR DENSITY TEST AS REQUIRED.
9. CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES, MARKS, ETC. IF ANY ARE DESTROYED OR REMOVED BY THE CONTRACTOR OR HIS EMPLOYEES, THEY SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
10. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION TO DETERMINE THE LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY THE FOLLOWING AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO EXCAVATION OPERATION:

SAN ANTONIO WATER SYSTEM (SAWS)	210-233-2010
WATER & SEWER EMERGENCIES	210-704-7297
STORM DRAINAGE (CITY OF SAN ANTONIO)	210-207-8022
SIGNAL OPERATIONS (CITY OF SAN ANTONIO)	210-207-8022
TEXAS STATE WIDE ONE CALL LOCATOR	811
CPS ENERGY (GAS & ELECTRIC)	210-353-2000
CPS ELECTRIC/GAS ISSUES OR EMERGENCIES	210-353-4357
SPECTRUM CABLE	210-244-0500
AT&T	210-820-7301
11. THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM AVAILABLE RECORDS AND ARE NOT GUARANTEED, BUT SHALL BE INVESTIGATED AND VERIFIED BY THE CONTRACTOR BEFORE STARTING WORK. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO AND FOR THE MAINTENANCE AND PROTECTION OF THE EXISTING UTILITIES EVEN IF THEY ARE NOT SHOWN ON THE PLANS. LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HERE ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION AND HE SHALL BE RESPONSIBLE FOR PROTECTION OF SAME DURING CONSTRUCTION.
12. ALL WASTE MATERIAL SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE HIS SOLE RESPONSIBILITY TO DISPOSE OF THIS MATERIAL OFF THE LIMITS OF THE PROJECT. NO WASTE MATERIAL SHALL BE PLACED IN EXISTING LOWS THAT WILL BLOCK OR ALTER FLOW LIMITS OF EXISTING ARTIFICIAL OR NATURAL DRAINAGE.
13. THE CONTRACTOR SHALL NOT PLACE ANY WASTE MATERIAL IN THE 100-YEAR FLOOD PLAIN WITHOUT FIRST OBTAINING AN APPROVED FLOOD PLAIN DEVELOPMENT PERMIT.
14. THE CONTRACTOR SHALL MAINTAIN ALL ADJOINING STREETS AND TRAVELED ROUTES FREE FROM SPILLED AND/OR TRACKED CONSTRUCTION MATERIALS AND/OR DEBRIS.
15. IF THE CONTRACTOR ENCOUNTERS ANY ARCHAEOLOGICAL DEPOSITS DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR MUST STOP EXCAVATION IMMEDIATELY, CONTACT THE CITY INSPECTOR, AND CALL THE CITY HISTORIC PRESERVATION OFFICE AT 210-215-9274 FOR AN ARCHAEOLOGICAL INVESTIGATION. THE CONTRACTOR CANNOT BEGIN EXCAVATION AGAIN WITHOUT WRITTEN PERMISSION FROM THE CITY.

IF MORE THAN THREE (3) DAYS ARE REQUIRED FOR INVESTIGATION (NOT INCLUDING HOLIDAY AND WEEKENDS) AND IF THE CONTRACTOR IS UNABLE TO WORK IN OTHER AREAS, THEN THE CONTRACTOR WILL BE ALLOWED TO NEGOTIATE FOR ADDITIONAL CONSTRUCTION TIME UPON WRITTEN REQUEST WITHIN TEN (10) DAYS AFTER THE FIRST NOTICE TO THE CITY OF SAN ANTONIO ARCHAEOLOGICAL INVESTIGATION FOR EACH EVENT.

IF THE TIME REQUIRED FOR INVESTIGATION IS LESS THAN OR EQUAL TO THREE (3) DAYS FOR EACH EVENT, CONTRACT DURATION WILL NOT BE EXTENDED.

16. IF SUSPECTED CONTAMINATION IS ENCOUNTERED DURING CONSTRUCTION OPERATIONS, C.O.S.A. SHALL BE NOTIFIED IMMEDIATELY WHEN CONTAMINATED SOILS AND/OR GROUNDWATER ARE ENCOUNTERED AT LOCATIONS NOT IDENTIFIED IN THE PLANS. THE NOTIFICATION SHOULD INCLUDE THE STATION NUMBER, TYPE OF CONTAMINATED MEDIA, EVIDENCE OF CONTAMINATION AND MEASURES TAKEN TO CONTAIN THE CONTAMINATED MEDIA AND PREVENT PUBLIC ACCESS. THE CONTAMINATED SOIL AND/OR GROUNDWATER SHALL NOT BE REMOVED FROM THE LOCATION WITHOUT PRIOR C.O.S.A. APPROVAL. THE CONTRACTOR MUST STOP THE EXCAVATION IMMEDIATELY AND CONTACT THE C.O.S.A. INSPECTOR. THE CONTRACTOR CANNOT BEGIN EXCAVATION ACTIVITIES WITHOUT WRITTEN PERMISSION FROM THE CITY.
17. CONTRACTOR IS TO INCLUDE A MAILBOX POST BLOCKOUT FOR VACANT LOTS AND ALL RESIDENCES WHICH DO NOT HAVE MAILBOXES AT THE CURB. BLOCKOUTS ARE PROVIDED FOR FUTURE USE BY THE POST OFFICE.
18. FOR SOILS INFORMATION REFER TO GEOTECHNICAL REPORT PREPARED BY ROCK ENGINEERING AND TESTING LABORATORY, INC. DATED AUGUST 21, 2020, PROJECT #220372.

GENERAL GRADING & DRAINAGE NOTES:

1. ALL GRADES AND CONTOURS SHOWN ARE FINAL, TOP OF FINISHED SURFACE ELEVATIONS, CONTRACTOR SHALL SUBTRACT PAVEMENT, BASE, TOPSOIL, MULCH, ...ETC. TO OBTAIN PROPER SUBGRADE ELEVATIONS.
2. POSITIVE DRAINAGE SHALL BE MAINTAINED ON ALL AREAS WITHIN THE SCOPE OF THIS PROJECT. DRAINAGE SHALL BE DIRECTED AWAY FROM ALL BUILDING FOUNDATIONS. CONTRACTOR SHOULD TAKE PRECAUTIONS NOT TO ALLOW ANY PONDING OF WATER. MINIMUM SLOPE 0.50%.
3. NO ABRUPT CHANGE OF GRADE SHALL OCCUR.
4. ALL DISTURBED AREAS SHALL BE REVEGETATED, BY THE CONTRACTOR, IN ACCORDANCE WITH PROJECT SPECIFICATIONS, AND LANDSCAPE ARCHITECTURAL PLANS.
5. THE CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL EXISTING DRAINAGE STRUCTURES WHETHER SHOWN ON THE PLAN OR NOT. THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES PRIOR TO CONSTRUCTION TO VERIFY SIZE, GRADE, AND LOCATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DEVIATIONS FROM PLANS PRIOR TO BEGINNING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR, AT HIS EXPENSE.
6. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT WHERE NOT SPECIFICALLY COVERED IN THE PROJECT SPECIFICATIONS SHALL CONFORM TO ALL APPLICABLE CITY OF SAN ANTONIO SPECIFICATIONS FOR CONSTRUCTION, TXDOT STANDARD SPECIFICATIONS, AND/OR BEXAR COUNTY PUBLIC WORKS STANDARD SPECIFICATIONS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH NECESSARY UTILITY COMPANIES FOR PROVIDING TEMPORARY UTILITY SERVICES DURING CONSTRUCTION.
8. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS, OF DIMENSIONS OR GRADES NECESSARY FOR CONSTRUCTION OF THIS PROJECT.
9. THE CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT AT NEW PAVEMENT AND CURB JUNCTURES. NO JAGGED OR IRREGULAR CUTS IN PAVEMENT WILL BE ACCEPTED.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
11. ALL EXCAVATION IS UNCLASSIFIED.
12. ALL ON-SITE CURBS ARE 6" HIGH UNLESS OTHERWISE SPECIFIED. (CURBS WITHIN R.O.W. SHALL BE INSTALLED PER CITY OF SAN ANTONIO SPECIFICATIONS)
13. SEE CIVIL COVER SHEET FOR PROJECT BENCHMARK.
14. CONTRACTOR TO RAISE/LOWER ALL UTILITY BOXES, COVERS, GRATES, VALVES BOXES, MANHOLES, CLEANOUTS, ETC., TO MATCH PROPOSED FINISHED GRADE ELEVATIONS.
15. ALL DISTURBED AREAS WHICH ARE NOT TO BE PAVED SHALL BE COVERED WITH 6" MIN. CLEAN TOPSOIL UNLESS OTHERWISE NOTED. CUT OR FILL SHALL BE ADJUSTED TO ALLOW FOR TOPSOIL IN ORDER TO MAINTAIN PROPOSED ELEVATIONS. AREAS FOR LANDSCAPING SHOULD BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECTS PLANS.
16. PROVIDE THE REQUIRED MINIMUM DENSITY AND MOISTURE CONTENT OF COMPACTED FILL IN ACCORDANCE WITH THE SOILS REPORT AND THE REQUIREMENTS OF THE PROFESSIONAL ENGINEER (GEOTECH AND CIVIL).
17. FOR SOILS INFORMATION REFER TO GEOTECHNICAL REPORT PREPARED BY ROCK ENGINEERING AND TESTING LABORATORY, INC. DATED AUGUST 21, 2020, PROJECT #220372.
18. PAVEMENT REPAIR LIMITS WILL BE DETERMINED BY CITY OF SAN ANTONIO PUBLIC WORKS (COSA PW) DISCRETION AT THE TIME OF CONSTRUCTION. CONTRACTOR TO REFERENCE CITY OF SAN ANTONIO UTILITY EXCAVATION CRITERIA MANUAL (UECM) FOURTH EDITION EDITION FOR GENERAL REQUIREMENTS AND PROCEDURES FOR EXCAVATION IN CITY OF SAN ANTONIO PUBLIC RIGHT-OF-WAYS.

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WHERE A SEWER MAIN CROSSES OVER A WATER MAIN AND THE SEPARATION DISTANCE IS LESS THAN 9 FEET, ALL PORTIONS OF THE SEWER MAIN WITHIN NINE FEET OF THE WATER LINE SHALL BE CONSTRUCTED USING 150 PSI PRESSURE RATED DUCTILE IRON, CAST IRON OR PVC PIPE AND JOINED WITH EQUALLY PRESSURE RATED PRESSURE RING GASKET CONNECTIONS OR CORROSION PROTECTED MECHANICAL COUPLING DEVICES OF A CAST IRON OR DUCTILE IRON MATERIAL. A SECTION OF 150 PSI PRESSURE RATED PIPE AT LEAST EIGHTEEN (18) FEET IN LENGTH MAY BE CENTERED ON THE WATER MAIN IN LIEU OF PIPE CONNECTION REQUIREMENTS. (NO SEPARATE PAY ITEM).

WHERE A SEMI-RIGID OR RIGID SEWER MAIN CROSSES UNDER A WATER MAIN AND THE SEPARATION DISTANCE IS LESS THAN NINE FEET BUT GREATER THAN TWO FEET, THE INITIAL BACKFILL SHALL BE CEMENT STABILIZED SAND (TWO OR MORE BAGS OF CEMENT PER CUBIC YARD OF SAND) FOR ALL SECTIONS OF THE SEWER WITHIN NINE FEET OF THE WATER MAIN.

WHERE A SEWER MAIN CROSSES UNDER A WATER MAIN AND THE SEPARATION DISTANCE IS LESS THAN TWO FEET, THE SEWER MAIN SHALL BE CONSTRUCTED OF CAST IRON, DUCTILE IRON, OR PVC WITH A MINIMUM PRESSURE RATING OF 150 PSI WITHIN NINE FEET OF THE WATER MAIN, SHALL HAVE A SEGMENT OF SEWER PIPE CENTERED ON THE WATER MAIN, SHALL BE PLACED NO CLOSER THAN SIX INCHES BETWEEN OUTER DIAMETERS, AND SHALL BE JOINED WITH PRESSURE RING GASKET CONNECTIONS OR CORROSION PROTECTED MECHANICAL COUPLING DEVICES OF A CAST IRON OR DUCTILE IRON MATERIAL. A SECTION OF 150 PSI PRESSURE RATED PIPE OF A LENGTH GREATER THAN EIGHTEEN (18) FEET MAY BE CENTERED ON THE WATER MAIN IN LIEU OF PIPE CONNECTION REQUIREMENTS. (NO SEPARATE PAY ITEM).

WHERE A SEWER MAIN PARALLELS A WATER MAIN AND THE SEPARATION DISTANCE IS LESS THAN NINE FEET, THE SEWER MAIN SHALL BE BELOW THE WATER MAIN, SHALL BE CONSTRUCTED OF CAST IRON, DUCTILE IRON, OR PVC WITH A MINIMUM PRESSURE RATING OF 150 PSI FOR BOTH PIPE AND JOINTS FOR A DISTANCE OF NINE FEET BEYOND THE POINT OF CONFLICT, SHALL MAINTAIN A MINIMUM SEPARATION DISTANCE BETWEEN OUTER DIAMETERS OF TWO FEET VERTICALLY AND FOUR FEET HORIZONTALLY, AND SHALL BE JOINED WITH PRESSURE RING GASKET CONNECTIONS OR CORROSION PROTECTED MECHANICAL COUPLING DEVICES OF A CAST IRON OR DUCTILE IRON MATERIAL.

WS GENERAL WATER NOTES:

ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS PROJECT SHALL BE APPROVED BY THE SAN ANTONIO WATER SYSTEM (SAWS) AND COMPLY WITH THE FOLLOWING AS APPLICABLE:

CURRENT "SAN ANTONIO WATER SYSTEM STANDARD SPECIFICATIONS FOR CONSTRUCTION"
CURRENT "SAN ANTONIO WATER SYSTEM UTILITY SERVICE REGULATIONS"
CURRENT CITY OF SAN ANTONIO "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION"
CURRENT TXDOT " STANDARD SPECIFICATION FOR CONSTRUCTION OF HIGHWAYS, STREETS AND DRAINAGE"
CURRENT CITY OF SAN ANTONIO "RIGHT - OF - WAY ORDINANCE AND CRITERIA MANUAL".

THE CONTRACTOR SHALL NOT PROCEED WITH ANY PIPE INSTALLATION WORK UNTIL THEY OBTAIN A COPY OF THE APPROVED G.C.P. FROM THE CONSULTANT AND HAS BEEN NOTIFIED BY SAWs CONSTRUCTION INSPECTION DIVISION TO PROCEED WITH THE WORK AND HAS ARRANGED A MEETING WITH THE INSPECTOR AND CONSULTANT FOR THE WORK REQUIREMENTS.

SUPPLEMENTARY & ADDITIONAL WATER NOTES:

EXTRA-PAYMENT SHALL BE ALLOWED FOR WORK CALLED FOR ON THE PLANS BUT NOT INCLUDED ON THE BID SCHEDULE. THIS INCIDENTAL WORK WILL BE REQUIRED AND SHALL BE INCLUDED UNDER THE PAY ITEM TO WHICH IT RELATES.

THE DEVELOPER DEDICATES THE WATER MAINS UPON COMPLETION BY THE DEVELOPER AND ACCEPTANCE BY THE SAN ANTONIO WATER SYSTEM. THE SAN ANTONIO WATER SYSTEM WILL OWN AND MAINTAIN SAID WATER MAINS WHICH ARE LOCATED WITHIN THIS PARTICULAR SUBDIVISION. (AS APPLICABLE)

CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES. THE CONTRACTOR'S IMPLEMENTATION OF THE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLIES WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

WORK COMPLETED BY THE CONTRACTOR WHICH HAS NOT RECEIVED A WORK ORDER OR THE NOTICE TO PROCEED WITH THE SAN ATNIONO WATER SYSTEM CONSTRUCTION
SPECTION DIVISION WILL BE SUBJECT TO REMOVAL AND REPLACEMENT BY AND AT THE EXPENSE OF THE CONTRACTOR.

THE CONTRACTOR WILL KEEP THE AREA ON TOP OF AND AROUND THE WATER METER BOX FREE OF ALL OBJECTS AND DEBRIS.

WATER SYSTEM TO BE COMPLETELY RESTRAINED. RESTRAINED LENGTH CALCULATIONS ARE FOR P.V.C. PIPE BEDDED IN COMPACTED GRANULAR MATERIAL EXTENDING TO THE TOP OF THE PIPE. THE NATIVE SOIL MATERIAL IS ASSUMED TO BE INORGANIC CLAY OF HIGH PLASTICITY. DEPTH OF BURY IS ASSUMED TO BE 4 FEET.

SE CALCULATIONS ARE PROVIDED FOR REFERENCE. THE RESTRAINED LENGTHS SHALL BE DESIGNED BASED UPON THE CONDITIONS ENCOUNTERED DURING THE INSTALLATION. SAW SPECIFICATION BOOK.

ENCL EXCAVATION SAFETY PROTECTION

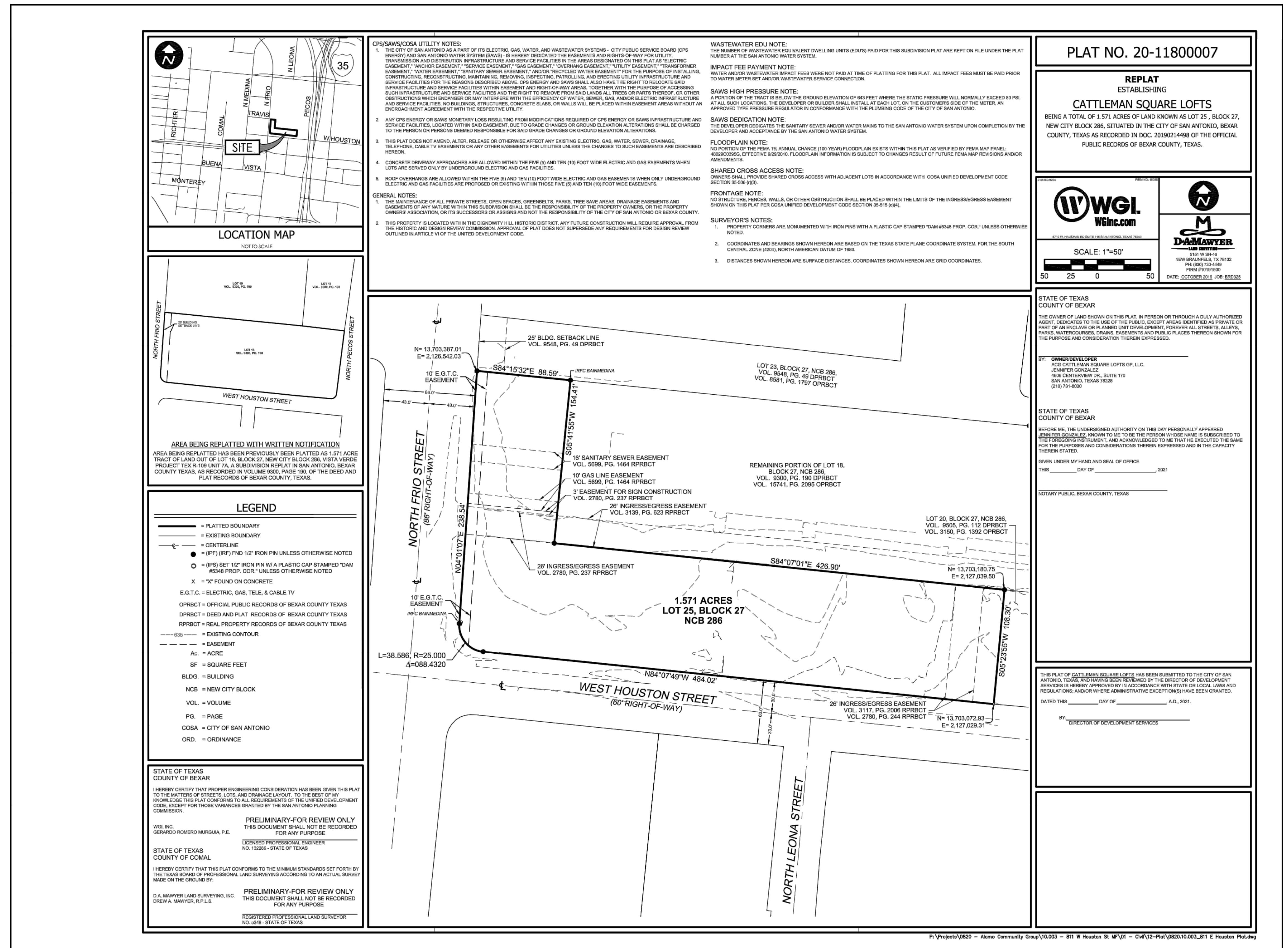
TRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO DETERMINE CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATIONS SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING

CAUTION: CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGTESS @ 1-800-DIG-TESS FOR LOCATION OF ALL UTILITIES, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.

ATTLEMAN SQUARE LOFTS 811 WEST HOUSTON STREET

GENERAL NOTES

PROJECT:	SHEET TITLE:	
SHEET		
C002		
02	OF	21
HUD NO.	115-359	



P:\Projects\0820 - Alamo Community Group\10.003 - 811 W Houston St\01 - Civil\12-Plat\0820.10.003_811 W Houston Plat.dwg

CAUTION:
CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGESTS @ 1-800-DIG-TESS FOR LOCATION OF ALL UTILITIES, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.

PROJECT:	CATTLEMAN SQUARE LOFTS 811 WEST HOUSTON STREET SAN ANTONIO, TEXAS 78207	
SHEET TITLE:	FINAL PLAT	
SHEET:	C003	
03 OF 21		
HUD NO.	115-35930	
LAST MODIFIED BY: KYLE KOMA LAST MODIFIED ON: 2/20/2020 6:59 AM FILED BY: KYLE KOMA PLOTTED WITH: DWG2PDF TO PDF PC3 PLAT SHEET: v1.0 BIRD PRODUCTION'S AWARD C16	3 01/31/2021 ISSUE FOR PERMIT SET (REVISED)	2 10/14/2020 ISSUE FOR PERMIT SET
	1 11/25/2020 INTERVIEW & REVIEW SET	DATE

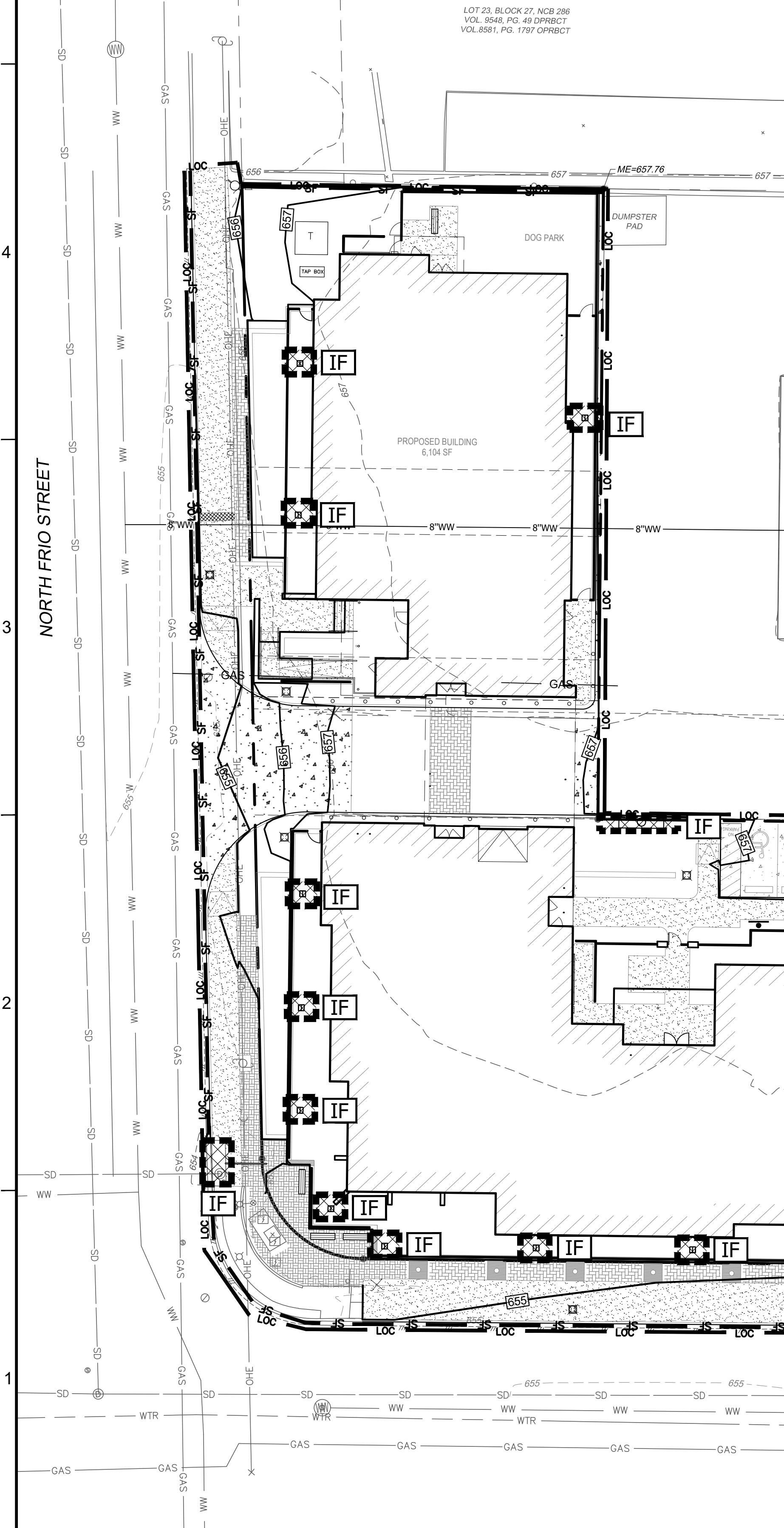
WGI
WGInC.com

SELECT CORRECT ADDRESS FROM DROPODOWN

PHONE: _____

STATE OF TEXAS
LICENSED PROFESSIONAL ENGINEER
GERARDO ROMERO MURGUIA
NO. 13226 - STATE OF TEXAS
01/31/2021

LOT 23, BLOCK 27, NCB 286
VOL. 8548, PG. 49 OPRBCT
VOL. 8581, PG. 1797 OPRBCT



OVERALL SITE NOTES

ZONING: DOWNTOWN (D); HISTORIC DISTRICT (H); HISTORIC LANDMARK SITES (HS)

FLOODPLAIN:

A PORTION OF THIS PROPERTY IS LOCATED WITHIN ZONE 'X', AREAS DETERMINED TO BE OUTSIDE THE 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD, THAT HAS A 1% CHANCE OF BEING EQUALLED OR EXCEEDED IN ANY GIVEN YEAR. THE SPECIAL FLOOD HAZARD AREA IS THE AREA SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD, AS SHOWN ON F.I.R.M. PANEL NO. 48029C0956, BEXAR COUNTY, TEXAS DATED SEPTEMBER 29, 2010.

THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

WATERSHED:

THIS SITE IS LOCATED WITHIN THE UPPER SAN ANTONIO RIVER WATERSHED. THIS SITE IS NOT LOCATED WITHIN THE EDWARDS AQUIFER RECHARGE OR CONTRIBUTION ZONE.

BENCHMARKS:

CP #1: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APROX. 143.4' OF THE NORTHEAST OF THE PROPERTY CORNER ELEV = 656.19

CP #2: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APROX. 520.2' OF THE NORTHEAST OF THE PROPERTY CORNER ELEV = 655.03

CP #3: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APROX. 458.3' OF THE EAST OF THE PROPERTY CORNER ELEV = 653.78

CP #4: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APROX. 364.6' OF THE SOUTHEAST OF THE PROPERTY CORNER ELEV = 653.27

CP #5: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APROX. 32.9' OF THE EAST OF THE PROPERTY CORNER ELEV = 655.47

LEGAL DESCRIPTION:

BEING 1.571 ACRES OF LAND OUT OF LOT 25, BLOCK 27, NEW CITY BLOCK 286, SITUATED IN THE CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS, AS RECORDED IN DOC. 20190214995 OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS.

HISTORIC:

THIS SITE IS LOCATED WITHIN THE CATTLEMAN'S SQUARE HISTORICAL DISTRICT. THE SITE CONTAINS A HISTORICAL BUILDING (TALERO STORE AND HOMESTEAD). EXERCISE CAUTION WHILE WORKING IN THIS AREA.

NOTES:

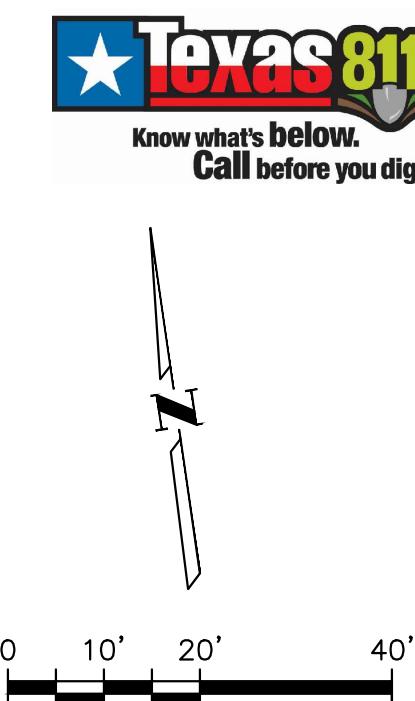
1. EROSION/SEDIMENTATION CONTROL AND TREE PROTECTION MUST BE INSTALLED PRIOR TO ANY DEMOLITION. REFERENCE EROSION & SEDIMENTATION CONTROL PLAN SHEET.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASICALLY ON REQUESTS OF VARIOUS UTILITY COMPANIES WHERE POSSIBLE. MEASUREMENTS TAKEN IN THE FIELD AND INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG TEST" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO DETERMINE THE EXACT LOCATION OF UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN PER THE APPROPRIATE REMEDIAL ACTION AGREED UPON BY THE ENGINEER.
3. WHERE A STATE OR LOCAL MUNICIPAL STANDARD DETAIL DUPLICATES A DETAIL SHOWN IN THE PLANS, THE MORE STRINGENT DETAIL, AS DETERMINED BY THE REVIEWING AGENCY, SHALL APPLY.
4. NO SITE DISTURBANCE SHALL OCCUR UNTIL THE PRECONSTRUCTION MEETING WITH THE ENVIRONMENTAL INSPECTOR IS HELD.
5. ALL DEMOLITION OF EXISTING CURBING AND SIDEWALKS MUST BE DONE BY HAND WHEN WORKING WITHIN THE 1/2 CRITICAL ROOT ZONE OF EXISTING TREES.
6. TREE PROTECTION FENCE MOVED DURING CONSTRUCTION MUST BE RE-INSTATED AS SOON AS DEMOLITION WORK IS COMPLETED. ANY WORK BEING DONE WITHIN THE TREE PROTECTION FENCE AREA MUST NOT IMPACT TREE(S); NO ROOT DAMAGE AND NO BRANCH OR TRUNK DAMAGE. ADD A 12" LAYER OF MULCH WITHIN THE TREE PROTECTION FENCE AREA PRIOR TO CONDUCTING ANY WORK INSIDE FENCE AREA.
7. REFERENCE TREE LIST* ON EXISTING CONDITION & DEMOLITION PLAN SHEETS FOR TREE INFORMATION.

EROSION CONTROL QUANTITIES

LIMITS OF CONSTRUCTION	±1.89 ACRES
TOTAL LENGTH OF CONSTRUCTION FENCING	1,666 LF
TOTAL LENGTH OF SILT FENCE	843 LF
TOTAL LENGTH OF TREE PROTECTION	188 LF
TOTAL NUMBER OF INLET PROTECTION	27 EACH
STABILIZED CONSTRUCTION ENTRANCE	1 EACH

LEGEND

- Boundary / Right of Way
- XXX — Existing Grade Elevations
- = Storm Drain Line
- TP Tree Protection Fence per COA Details 610S-1 & 610S-2
- SF Silt Fence
- LOC Limits of Construction / Disturbance
- LOC Limits of Temporary Parking, Storage, Spoils, and Staging Area
- Stabilized Construction Entrance
- CW Concrete Washout
- IF Inlet Filter



Texas 811
Know what's below.
Call before you dig.

3 01/31/2021	ISSUE FOR PERMIT SET (REVISED)
2 10/14/2020	ISSUE FOR PERMIT SET
1 11/25/2020	INTERVIEW / REVIEW SET
NO DATE	NO DATE

WGL.com
SELECT CORRECT ADDRESS FROM DROPODOWN

PHONE NO: _____

STATE OF TEXAS
GERARDO ROMERO MURGU
132260
LICENSED PROFESSIONAL ENGINEER
01/31/2021

CATTLEMAN SQUARE LOFTS
811 WEST HOUSTON STREET
SAN ANTONIO, TEXAS 78207

PROJECT: _____

SHEET TITLE: EROSION & SEDIMENTATION CONTROL PLAN

SHEET: C200

05 OF 21

HUD NO. 115-35930

LOT 23, BLOCK 27, NCB 286
VOL. 8548, PG. 49 OPRBCT
VOL. 8581, PG. 1797 OPRBCT

DEMOLITION NOTES

1. EROSION/SEDIMENTATION CONTROL AND TREE PROTECTION MUST BE INSTALLED PRIOR TO ANY DEMOLITION. REFERENCE EROSION & SEDIMENTATION CONTROL PLAN.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES IS UNKNOWN AND IS NOT SHOWN ON THESE PLANS. AT THE START OF CONSTRUCTION, THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG TEST" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION AND PROTECTION PROCEDURES WITH THE OWNER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ANY EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN FOR THE APPROPRIATE REMEDIAL ACTION AGREED UPON BY THE ENGINEER.
3. WHERE A STATE OR LOCAL MUNICIPAL STANDARD DETAIL DUPLICATES A DETAIL SHOWN IN THE PLANS, THE MORE STRINGENT DETAIL, AS DETERMINED BY THE REVIEWING AGENCY, SHALL APPLY.
4. NO SITE DISTURBANCE SHALL OCCUR UNTIL THE PRECONSTRUCTION MEETING WITH THE ENVIRONMENTAL INSPECTOR IS HELD.
5. ALL DEMOLITION OF EXISTING CURBING AND SIDEWALKS MUST BE DONE BY HAND WHEN WORKING WITHIN THE 1/2 CRITICAL ROOT ZONE OF EXISTING TREES.
6. TREE PROTECTION FENCE MOVED DURING CONSTRUCTION MUST BE RE-INSTATED AS SOON AS DEMOLITION WORK IS COMPLETED AND WORK BEING DONE WITHIN THE TREE PROTECTION FENCE MUST NOT IMPACT TREE(S) OR ROOT DAMAGE AND NO BRANCH OR TRUNK DAMAGE. ADD A 12" LAYER OF DIRT WITHIN THE TREE PROTECTION FENCE AREA PRIOR TO CONDUCTING ANY WORK INSIDE FENCE AREA.
7. LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN.
8. PAVEMENT REPAIR LIMITS WILL BE DETERMINED BY CITY OF SAN ANTONIO PUBLIC WORKS (COSA) PW DISCRETION AT THE TIME OF CONSTRUCTION. CONTRACTOR TO REFERENCE CITY OF SAN ANTONIO UTILITY EXCAVATION CRITERIA MANUAL (UECM) FOURTH EDITION EDITION FOR GENERAL REQUIREMENTS AND PROCEDURES FOR EXCAVATION IN CITY OF SAN ANTONIO PUBLIC RIGHT-OF-WAYS.

OVERALL SITE NOTES

ZONING: DOWNTOWN (D); HISTORIC DISTRICT (H); HISTORIC LANDMARK SITES (HS)
FLOODPLAIN:
A PORTION OF THIS PROPERTY IS LOCATED WITHIN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD. THAT HAS A 1% CHANCE OF BEING EQUALLED OR EXCEEDED IN ANY GIVEN YEAR. THE SPECIAL FLOOD-HAZARD AREA IS THE AREA SUBJECT TO FLOODING IN THE 1% ANNUAL CHANCE FLOOD, AS SHOWN ON F.I.R.M. PANEL NO. 402320395G, BEAR COUNTY, TEXAS DATED SEPTEMBER 29, 2010.

THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

WATERSHED:
THIS SITE IS LOCATED WITHIN THE UPPER SAN ANTONIO RIVER WATERSHED. THIS SITE IS NOT LOCATED WITHIN THE EDWARDS AQUIFER RECHARGE OR CONTRIBUTION ZONE.

BENCHMARKS:
CP #1: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 143.4' OF THE NORTHEAST OF THE PROPERTY CORNER ELEV = 656.19

CP #2: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 502.0' OF THE NORTHEAST OF THE PROPERTY CORNER ELEV = 655.03

CP #3: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 458.3' OF THE EAST OF THE PROPERTY CORNER ELEV = 653.78

CP #4: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 364.6' OF THE SOUTH OF THE PROPERTY CORNER ELEV = 653.27

CP #5: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 32.9' OF THE EAST OF THE PROPERTY CORNER ELEV = 655.47

LEGAL DESCRIPTION:

BEING 1.571 ACRES OF LAND OUT OF LOT 25, BLOCK 27, NEW CITY BLOCK 286, SITUATED IN THE CITY OF SAN ANTONIO, BEAR COUNTY, TEXAS, AS RECORDED IN DOC. 2019024498 OF THE OFFICIAL PUBLIC RECORDS OF BEAR COUNTY, TEXAS.

HISTORIC:
THIS SITE IS LOCATED WITHIN THE CATTLEMAN SQUARE HISTORICAL DISTRICT. THE SITE CONTAINS A HISTORICAL BUILDING (TALERICO STORE AND HOMESTEAD). EXERCISE CAUTION WHILE WORKING IN THIS AREA.

DEMOLITION KEY NOTES

- 1) CAUTION TREE TO REMAIN.
- 2) CAUTION HISTORIC STRUCTURE TO REMAIN. EXERCISE CAUTION IN THIS AREA.
- 3) CAUTION PRIVATE GAS SERVICE IN THIS AREA. CONTRACTOR TO VERIFY LOCATION PRIOR TO EXCAVATION.
- 4) REMOVE ASPHALT PAVING AND STRIPING.
- 5) REMOVE CONCRETE PAVING AND STRIPING.
- 6) REMOVE SIGNAGE.
- 7) REMOVE CONCRETE CURB.
- 8) REMOVE CONCRETE SIDEWALK.
- 9) REMOVE CONCRETE RAMP.
- 10) REMOVE FENCING.
- 11) REMOVE CONCRETE PAD AND MECHANICAL EQUIPMENT.
- 12) REMOVE CONCRETE DRIVEWAY.
- 13) REMOVE STORM DRAIN AND INLETS.
- 14) REMOVE LANDSCAPING.
- 15) REMOVE TREE.
- 16) REMOVE COURTYARD FLATWORK & LANDSCAPING.
- 17) REMOVE CPS ENERGY SERVICE POLE & OVERHEAD SERVICES. CONTRACTOR TO COORDINATE WITH CPS ENERGY, ATT, & SPECTRUM-CHARTER PRIOR TO REMOVAL.
- 18) REMOVE SAW'S WATER METER & CAP SERVICE AT PROPERTY LINE. REFERENCE SHEET CU102.
- 19) REMOVE SANITARY SEWER CLEAN-OUT AND CAP LATERAL AT PROPERTY LINE. REFERENCE SHEET CU101.
- 20) REMOVE BOLLARDS.
- 21) REMOVE MISCELLANEOUS CPS ENERGY SERVICE INFRASTRUCTURE. CONTRACTOR TO COORDINATE WITH CPS ENERGY, ATT, & SPECTRUM-CHARTER PRIOR TO REMOVAL.
- 22) EXISTING EXTERIOR STAIRS AND CONCRETE FOOTINGS TO REMAIN.
- 23) REMOVE BRICK PAVERS.
- 24) CONTRACTOR TO STUB STORMWATER DRAIN LINE BEING REMOVED AS PART OF IMPROVEMENTS. INLET TO REMAIN.
- 25) FLOW-FILL STORM PIPE IN PLACE. CAUTION, PIPE IN TREE ROOT PROTECTION ZONE.
- 26) EXISTING OVERHEAD LIGHT POLE. REFERENCE LANDSCAPE ARCHITECTURE PLANS FOR RELOCATION/REMOVAL INFORMATION.
- 27) TELECOMMUNICATIONS UNDERGROUND INFRASTRUCTURE MANHOLE. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER FOR RELOCATION AND OR ADJUSTING MANHOLE ELEVATION.
- 28) GAS VALVE BOX, CAP AND SERVICE LATERAL TO BE REMOVED. CONTRACTOR TO CAP AT INTERIOR PROPERTY LINE.



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PLOTTED WITH: DWG TO PDF PC3
PLOT STYLE: V10 BIRD PRODUCTION/ARCHITECTURE

5

0 10' 20' 40'

LEGEND

— Boundary / Right of Way

— XXXX — Existing Grade Elevations

— SD — Storm Drain Line

— WTR — Water Line

— WW — Wastewater Line

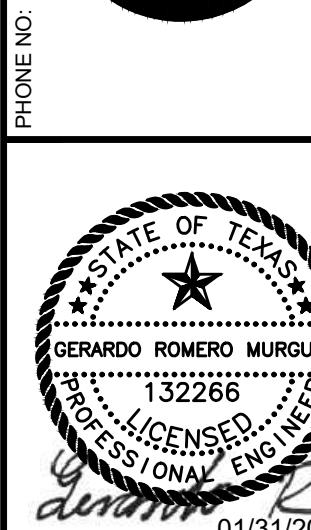
— OHE — Overhead Utility Line

DEMOLITION AREA:
ALL ITEMS WITHIN THIS AREA
TO BE REMOVED OR
RELOCATED AS NOTED

TREE TO REMAIN

TREE TO BE REMOVED

SELECT CORRECT ADDRESS FROM DROPODOWN



01/31/2021

CATTLEMAN SQUARE LOFTS
811 WEST HOUSTON STREET
SAN ANTONIO, TEXAS 78207

DEMOLITION PLAN
PROJECT: CD100
SHEET TITLE: SHEET CD100
06 OF 21
HUD NO. 115-35930

DEMOLITION OF BUILDING
TO BE UNDER SEPARATE PERMIT

CAUTION:
CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND
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WEST HOUSTON STREET

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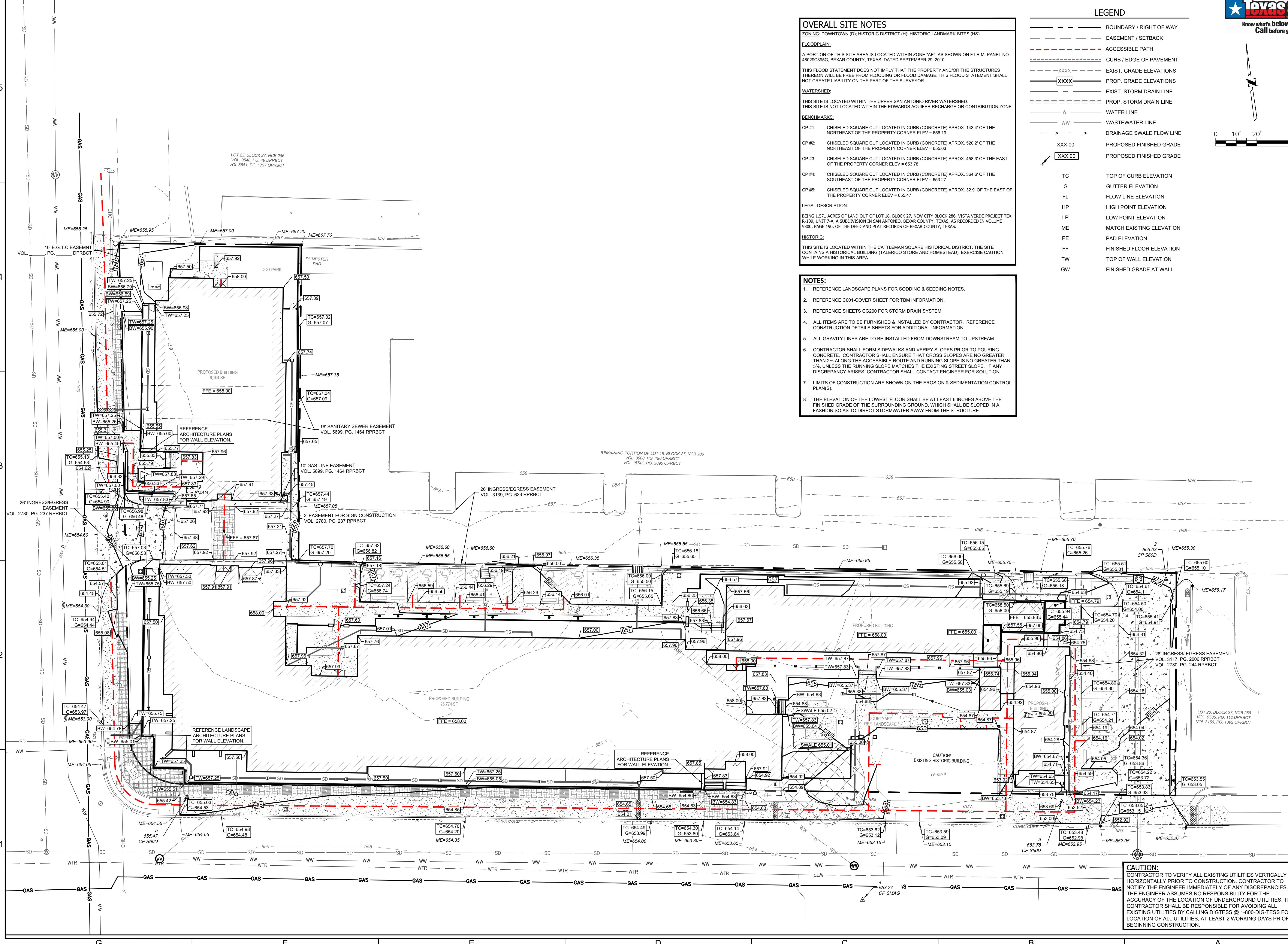
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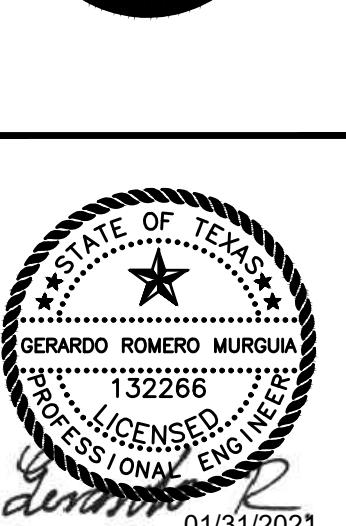
LEGEND



Know what's below.
Call before you dig.



WG **WGinc.com**



CATTLEMAN SQUARE LOFTS
811 WEST HOUSTON STREET
SAN ANTONIO, TEXAS 78207

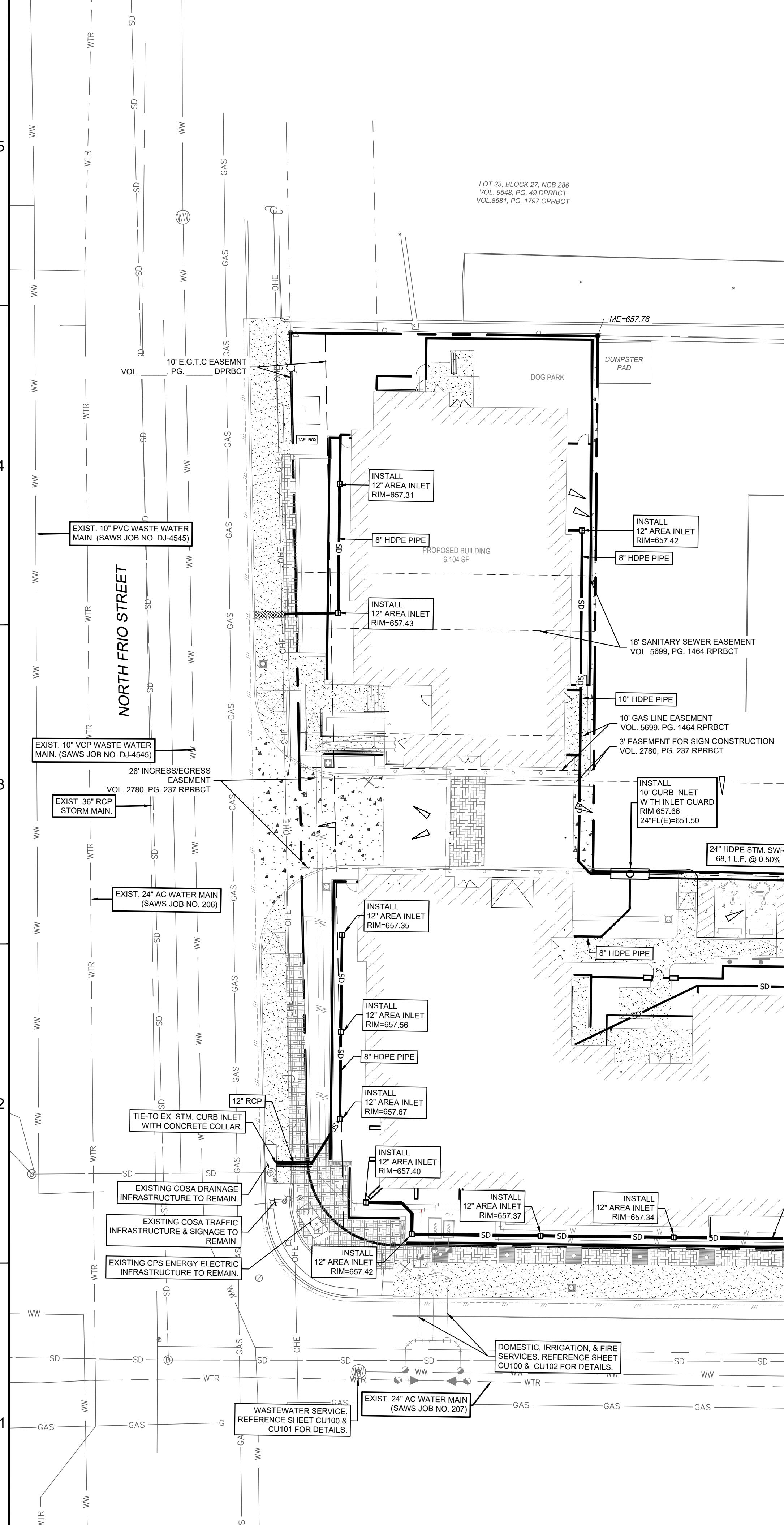
PROJECT: SHEET TITLE: CG100
09 OF 21
HUD NO. 115-35930

CAUTION:
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LAST MODIFIED BY KYE KANA
LAST MODIFIED ON 2/20/2020 10:29 AM
PLOTTED WITH - DWG TO PDF PC3
PLT STYL: V10 BDR PROD/STY:ADAR/CTB

3 01/31/2021 ISSUE FOR PERMIT SET/REVISED
2 02/14/2020 ISSUE FOR PERMIT SET
1 01/25/2020 INTERVIEW/REVIEW SET
NO DATE

ISSUE FOR PERMIT SET/REVISED
01/25/2020
INTERVIEW/REVIEW SET
NO DATE



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OVERALL SITE NOTES

ZONING: DOWNTOWN (D); HISTORIC DISTRICT (H); HISTORIC LANDMARK SITES (HS)

FLOODPLAIN:

A PORTION OF THIS PROPERTY IS LOCATED WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD, THAT HAS A 1% CHANCE OF BEING EQUALLED OR EXCEEDED IN ANY GIVEN YEAR. THE SPECIAL FLOOD HAZARD AREA IS THE AREA SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD, AS SHOWN ON F.I.R.M. PANEL NO. 48029030956, BEXAR COUNTY, TEXAS DATED SEPTEMBER 29, 2010.

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WATERSHED:

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THIS SITE IS NOT LOCATED WITHIN THE EDWARDS AQUIFER RECHARGE OR CONTRIBUTION ZONE.

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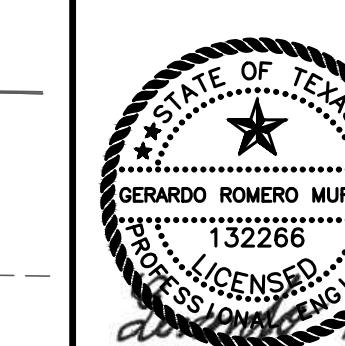
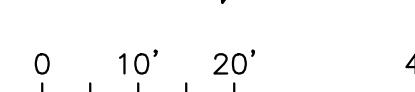
BEING 1.571 ACRES OF LAND OUT OF LOT 25, BLOCK 27, NEW CITY BLOCK 286, SITUATED IN THE CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS, AS RECORDED IN DOC. 20190214490 OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS.

HISTORIC:

THIS SITE IS LOCATED WITHIN THE CATTLEMAN'S SQUARE HISTORICAL DISTRICT. THE SITE CONTAINS A HISTORICAL BUILDING (TALERICO STORE AND HOMESTEAD). EXERCISE CAUTION WHILE WORKING IN THIS AREA.

LEGEND

- BOUNDARY / RIGHT OF WAY
- EASEMENT / SETBACK
- CURB / EDGE OF PAVEMENT
- XXXX PROP. GRADE ELEVATIONS
- SD EXISTING STORM DRAIN LINE
- PROP. STORM DRAIN LINE
- SD PROP. SECONDARY STORM DRAIN LINE
- WTR EXISTING WATER LINE
- W WATER LINE
- WW WASTEWATER LINE
- DRAINAGE SWALE FLOW LINE
- DIRECTION OF FLOW



CATTLEMAN SQUARE LOFTS
811 WEST HOUSTON STREET
SAN ANTONIO, TEXAS 78207

PROJECT: SHEET TITLE:

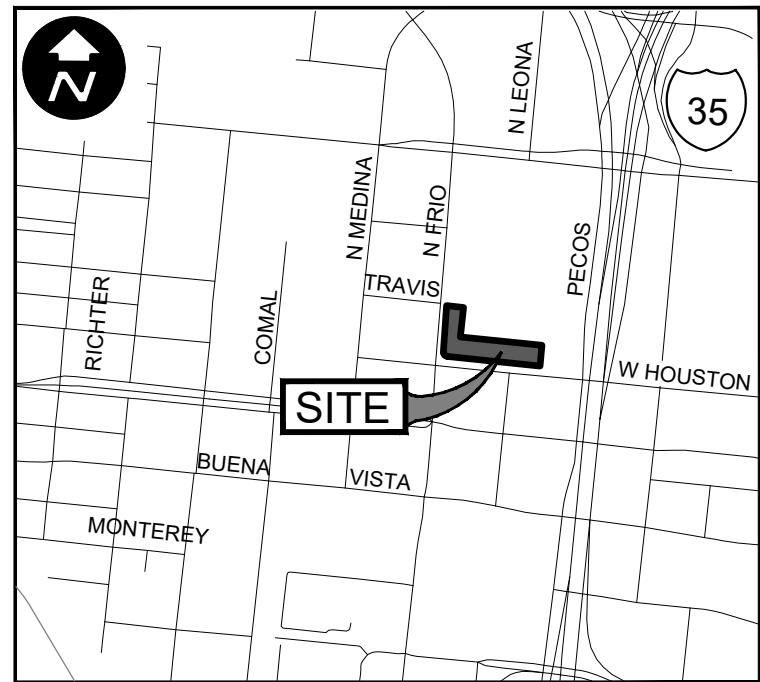
SHEET

CG200

10 OF 21

PLAT NO.: 20-1180007

CAUTION:
CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND
HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO
NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE
LOCATION OF UNDERGROUND UTILITIES. THE
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EXISTING UTILITIES BY CALLING DIG-TESS @ 1-800-DIG-TESS FOR
LOCATION OF ALL UTILITIES, AT LEAST 2 WORKING DAYS PRIOR TO
BEGINNING CONSTRUCTION.



PROPERTY ADDRESS:

811 W. HOUSTON ST.
SAN ANTONIO, TEXAS 78207

LEGAL DESCRIPTION:

BEING A TOTAL OF 1.571 ACRES OF LAND KNOWN AS
LOT 25, BLOCK 27, LOT 286, BLOCK 286, LOCATED IN
THE CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS AS
RECORDED IN DOC. 20190214498 OF THE OFFICIAL
PUBLIC RECORDS OF BEXAR COUNTY, TEXAS.

UTILITY PLAN NOTES

- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS PROJECT SHALL BE APPROVED BY THE SAN ANTONIO WATER SYSTEM (SAWS) AND COMPLY WITH THE FOLLOWING REQUIREMENTS:

 - CURRENT SAN ANTONIO WATER SYSTEM STANDARD SPECIFICATIONS FOR CONSTRUCTION
 - CURRENT SAN ANTONIO WATER SYSTEM UTILITY SERVICE REGULATIONS
 - CURRENT CITY OF SAN ANTONIO "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION"
 - CURRENT CITY OF SAN ANTONIO "RIGHT - OF - WAY ORDINANCE AND CRITERIA MANUAL".
 - THE CONTRACTOR SHALL NOT PROCEED WITH ANY PIPE INSTALLATION WORK UNTIL THEY OBTAIN A COPY OF THE APPROVED G.C. FROM THE CONSULTANT AND HAS BEEN NOTIFIED BY THE CONSTRUCTION INSPECTION DIVISION TO PROCEED WITH THE WORK AND HAS ARRANGED A MEETING WITH THE INSPECTOR AND CONSULTANT FOR THE WORK REQUIREMENTS.
 - THE LOCATIONS AND DEPTHS OF EXISTING UTILITIES, AND SERVICE LATERALS SHOWN ON THE PLANS ARE UNDERSTOOD TO BE APPROXIMATE ACTUAL LOCATIONS AND DEPTHS MUST BE FIELD VERIFIED BY THE CONTRACTOR. LEAVE A WEEK PRIOR TO CONSTRUCTION, THE CONTRACTOR MUST NOTIFY THE CITY SIDEWALK AND TRENCHING DIVISION OF ANY SERVICE LINES REQUIRED FOR CONSTRUCTION AND TO PROTECT THEM DURING CONSTRUCTION AT NO COST TO SAWs.
 - THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UNDERGROUND UTILITIES AND DRAINAGE STRUCTURES AT LEAST 1-2 WEEKS PRIOR TO CONSTRUCTION WHETHER SHOWN ON PLANS OR NOT. PLEASE ALLOW UP TO 7 BUSINESS DAYS FOR LOCATES REQUESTING PIPE LOCATION MARKERS ON SAWs FACILITIES. THE FOLLOWING CONTACT INFORMATION ARE SUPPLIED FOR VERIFICATION PURPOSES:

 - SAN ANTONIO WATER SYSTEM (WATER, SEWER & RECYCLE WATER)
 - COSA DRAINAGE
 - CITY SIDEWALK AND TRENCHING DIVISION
 - COSA TRAFFIC SIGNAL OPERATIONS
 - COSA STREETS

 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION FROM DAMAGE DONE TO EXISTING FENCES, CURBS, STREETS, DRIVEWAYS, LANDSCAPING AND STRUCTURES.
 - THE CONTRACTOR SHALL AVOID CUTTING ROOTS LARGER THAN ONE INCH IN DIAMETER WHILE EXCAVATING. IF CUTTING ROOTS ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE CITY ARBORIST AT (210) 207-8053 AND THE SAWs CONSTRUCTION INSPECTOR FOR GUIDANCE.
 - HOLIDAY WORK: CONTRACTORS WILL NOT BE ALLOWED TO PERFORM SAWs WORK ON SAWs RECOGNIZED HOLIDAYS. REQUEST SHOULD BE SENT TO CONSTROWREQ@SAWS.ORG. WEEKEND WORK: CONTRACTORS ARE REQUIRED TO NOTIFY THE SAWs INSPECTION CONSTRUCTION DEPARTMENT 48 HOURS IN ADVANCE TO REQUEST WEEKEND WORK. REQUEST SHOULD BE SENT TO CONSTROWREQ@SAWS.ORG. ANY AND ALL SAWs UTILITY WORK REQUESTED ON A SAWs HOLIDAY/WEEKEND APPROVAL WILL BE SUBJECT TO BE UNCOVERED FOR PROPER INSPECTION.
 - THE CONTRACTOR SHALL NOT PLACE ANY WASTE MATERIALS IN THE 100-YEAR FLOOD PLAIN WITHOUT FIRST OBTAINING AN APPROVED FLOOD PLAIN PERMIT.
 - THE CONTRACTOR SHALL OBTAIN THE SAWs STANDARD DETAILS FROM THE SAWs WEBSITE, [HTTP://WWW.SAWS.ORG/BUSINESS_CENTER/SPECs](http://WWW.SAWS.ORG/BUSINESS_CENTER/SPECs). UNLESS OTHERWISE NOTED WITHIN THE DESIGN PLANS.
 - THE CONTRACTOR IS TO MAKE ARRANGEMENTS WITH THE SAWs CONSTRUCTION INSPECTION DIVISION AT (210) 232-2973, ON NOTIFICATION PROCEDURES THAT WILL BE USED TO NOTIFY AFFECTED HOME RESIDENTS AND/OR PROPERTY OWNERS 48 HOURS PRIOR TO BEGINNING ANY WORK.
 - COMPACTATION NOTE (ITEM 804): THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE COMPACTATION REQUIREMENTS ON ALL TRENCH BACKFILL AND FOR PAYING FOR THE TESTS PERFORMED BY A THIRD PARTY. COMPACTATION TESTS WILL BE DONE AT ONE LOCATION POINT FOR DETERMINATION OF THE AVERAGE LOOSE LIFT. THE CONTRACTOR SHALL PAY THE ADMINISTRATOR, PER EACH 12-INCH LOOSE LIFT PER 400 LINEAR FEET AT A MINIMUM. THIS PROJECT WILL NOT BE ACCEPTED AND FINALIZED BY SAWs WITHOUT THIS REQUIREMENT BEING MET AND VERIFIED BY PROVIDING ALL NECESSARY DOCUMENTED TEST RESULTS.
 - A COPY OF ALL TESTING REPORTS SHALL BE FORWARDED TO SAWs CONSTRUCTION INSPECTION DIVISION.
 - THIS SITE IS WITHIN THE UTILITY SERVICE AGREEMENT (USA) 23535 RECORDED IN FEBRUARY 24, 2020 AS DOCUMENT NO. 20200038723 IN THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS.

SAWs CONSTRUCTION, INC.
VOL. 9548, PG. 49 DPRBCT
VOL. 8581, PG. 1797 DPRBCT

SAWs CONSTRUCTION, INC.
VOL. 2780, PG. 237 DPRBCT

SAWs CONSTRUCTION, INC.
VOL. 3139, PG. 623 DPRBCT

SAWs CONSTRUCTION, INC.
VOL. 3000, PG. 190 DPRBCT
VOL. 15741, PG. 2089 DPRBCT

SAWs CONSTRUCTION, INC.
VOL. 3117, PG. 2006 DPRBCT
VOL. 2780, PG. 244 DPRBCT

SAWs CONSTRUCTION, INC.
VOL. 3505, PG. 112 DPRBCT
VOL. 3150, PG. 1392 DPRBCT

SEWER NOTES

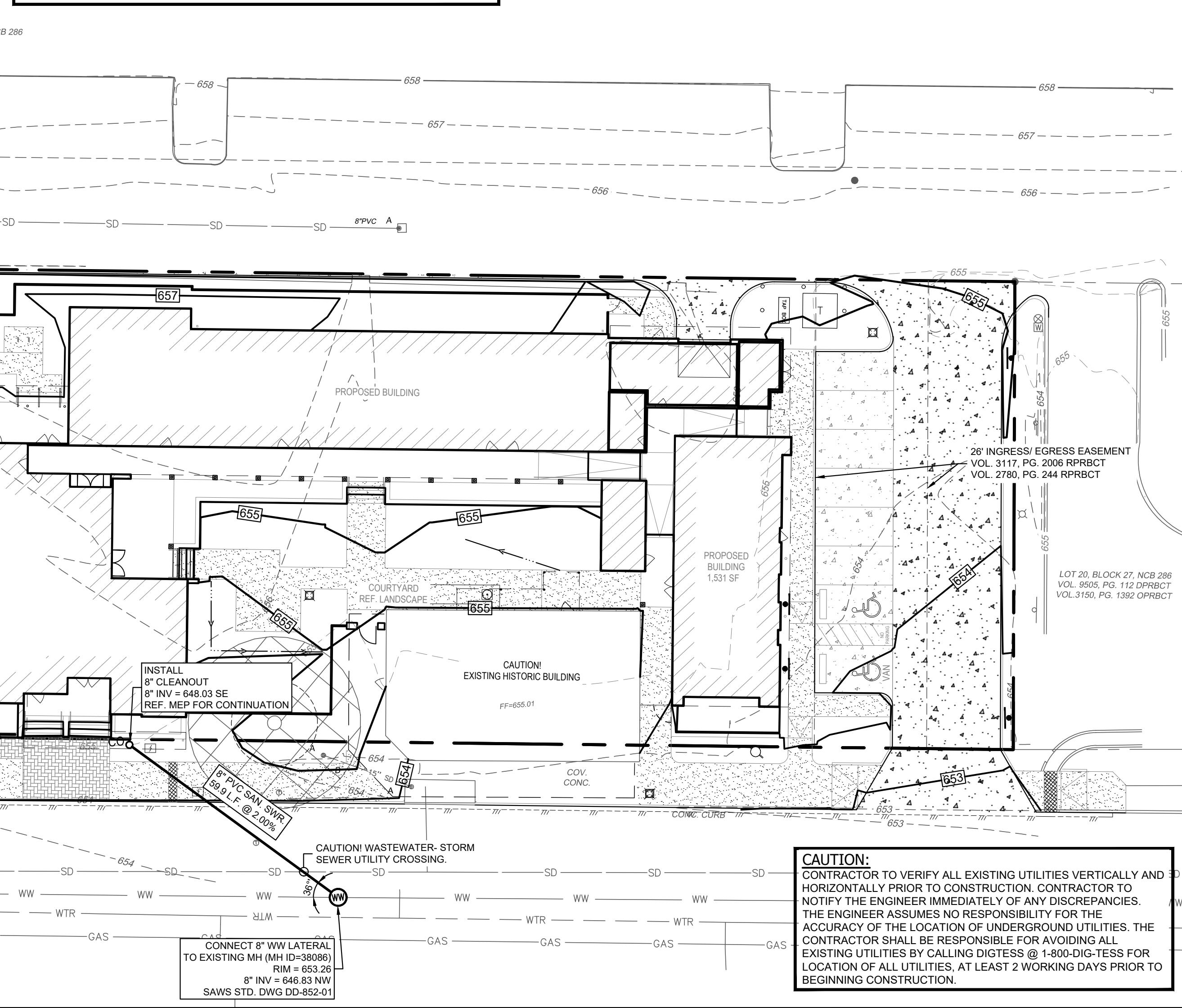
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT NO SANITARY SEWER OVERFLOW (SSO) OCCURS AS A RESULT OF THEIR WORK. ALL CONTRACTOR PERSONNEL RESPONSIBLE FOR SSO PREVENTION AND CONTROL SHALL BE TRAINED ON PROPER RESPONSE. SHOULD AN SSO OCCUR, THE CONTRACTOR SHALL NOTIFY THE SAN ANTONIO WATER SYSTEM (SAWS) EMERGENCY OPERATIONS CENTER (EOC) IMMEDIATELY AT (210) 233-2014. PROVIDE THE ADDRESS OF THE SPILL AND AN ESTIMATED VOLUME OR FLOW.
- ATTEMPT TO ELIMINATE THE SOURCE OF THE SSO.
- CONTAIN SEWAGE FROM THE SSO TO THE EXTENT OF PREVENTING A POSSIBLE CONTAMINATED SPILL.
- CLEAN UP SPILL SITE (RETURN CONTAINED SEWAGE TO THE COLLECTION SYSTEM IF POSSIBLE) AND PROPERLY DISPOSE OF CONTAMINATED SOLIMATERIALS.
- CLEAN THE AFFECTED SEWER MAINS AND REMOVE ANY DEBRIS.
- MEET ALL POST-SSO REQUIREMENTS AS PER THE EPA CONSENT DEGREE, INCLUDING LINE CLEANING AND TELEVISION SURVEYS.
- SHOULD THE CONTRACTOR FAIL TO ADDRESS AN SSO IMMEDIATELY AND TO SAWs SATISFACTION, THEY WILL BE RESPONSIBLE FOR ALL COSTS INCURRED BY TE SAWs, INCLUDING ANY FINES FROM EPA, TCEO AND/OR ANY OTHER FEDERAL, STATE OR LOCAL AGENCIES.
- NO UNNECESSARY MEASUREMENT OR PAYMENT SHALL BE MADE FOR THIS WORK. ALL WORK SHALL BE DONE ACCORDING TO GUIDELINES SET BY THE TCEO AND SAWs
- IF BYPASS PUMPING IS REQUIRED, THE CONTRACTOR SHALL PERFORM SUCH WORK IN ACCORDANCE WITH SAWs STANDARD SPECIFICATION FOR WATER AND SANITARY SEWER CONSTRUCTION, ITEM NO. 864 "BYPASS PUMPING".
- PRIOR TO TIE-INS AND SHUTDOWN OF EXISTING FORCE MAINS OF ANY SIZE MUST BE COORDINATED WITH THE SAWs CONSTRUCTION INSPECTION DIVISION AT (210) 232-2973 AT LEAST ONE WEEK IN ADVANCE OF THE SHUTDOWN. THE CONTRACTOR MUST ALSO PROVIDE A SEQUENCE OF WORK AS RELATED TO THE TIE-INS. THIS IS AT NO ADDITIONAL COST TO SAWs OR THE PROJECT AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SEQUENCE THE WORK ACCORDINGLY.
- SEWER LINES THAT CROSSES SHALL BE 100 PSI AND MEET THE REQUIREMENTS OF ASTM D2241, D2773 AND TCEO 2004-04(E)(4)(B). CONTRACTOR SHALL CENTER A 200 JOINT AT 160 PSI PRESSURE RATED PVC AT THE PROPOSED WATER CROSSING.
- LEVELS POSTED FOR TOP OF MANHOLES ARE FOR REFERENCE ONLY; IT SHALL BE THE RESPONSIBILITY FOR THE CONTRACTOR TO MAKE ALLOWANCES AND ADJUSTMENTS FOR TOP OF MANHOLES TO MATCH THE FINISH GRADE OF THE PROJECT IMPROVEMENTS (NSPI).
- SHOULD A SPILL OCCUR, OR DISCHARGE OF SPILLED MATERIALS, SPILL, LEAK, OR DISCHARGES OF WASTEWATER, RECYCLED WATER, PETROLEUM PRODUCTS, OR CHEMICALS MUST BE REPORTED IMMEDIATELY TO THE SAWs INSPECTOR ASSIGNED TO THE COUNTER PERMIT OR GENERAL CONSTRUCTION PERMIT (GCP). THE REQUIREMENTS APPLIES TO EVERY SPILL, OVERFLOW, OR DISCHARGE REGARDLESS OF SIZE.
- MANHOLE AND PIPE TESTS INCLUDING THE TIE-INS MUST BE PERFORMED AND PASSED PRIOR TO FINAL FIELD ACCEPTANCE BY THE SAWs CONSTRUCTION INSPECTION DIVISION, AS PER THE SAWs SPECIFICATIONS FOR WATER AND SANITARY SEWER CONSTRUCTION.
- ALL PVC PIPE OVER 14 FEET OF COVER SHALL BE EXTRA STRENGTH WITH MINIMUM PIPE STIFFNESS OF 115 PSI.
- PROPOSED WATER AND WASTEWATER MAINS AND SERVICES SHOWN ON THESE PLANS SHALL MEET THE MINIMUM MATERIAL AND INSTALLATION STANDARDS DESCRIBED IN THE SAN ANTONIO WATER SYSTEM STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE SAN ANTONIO WATER SYSTEM UTILITY SERVICE REGULATIONS.

PAVEMENT RESTORATION NOTE

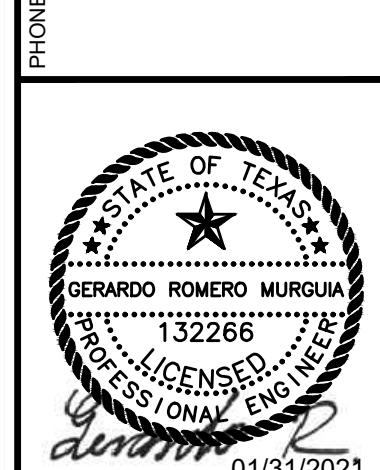
PAVEMENT REPAIR LIMITS WILL BE DETERMINED BY THE CITY OF SAN ANTONIO PUBLIC WORKS DEPARTMENT DISCRETION AT THE TIME OF CONSTRUCTION. CONTRACTOR TO REFERENCE CITY OF SAN ANTONIO UTILITY EXCAVATION CRITERIA CRITERIA (UECM) FOURTH EDITION FOR GENERAL REQUIREMENTS AND PROCEDURES FOR EXCAVATION IN CITY OF SAN ANTONIO PUBLIC RIGHT-OF-WAYS.

TRENCH EXCAVATION SAFETY PROTECTION

CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE INFORMATION AND DETERMINE THE APPROPRIATE TRENCHING METHODS AND PROCEDURES FOR THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION ON THE CONSTRUCTION SITE AS A MINIMUM. OSHA STANDARDS FOR TRENCH EXCAVATION, PROVIDED BY THE CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.



Know what's below.
Call before you dig.



CATTLEMAN SQUARE LOFTS
811 WEST HOUSTON STREET
SAN ANTONIO, TEXAS 78207

PROJECT: CU101
SHEET TITLE: SHEET 12 OF 21
HUD NO. 115-35930

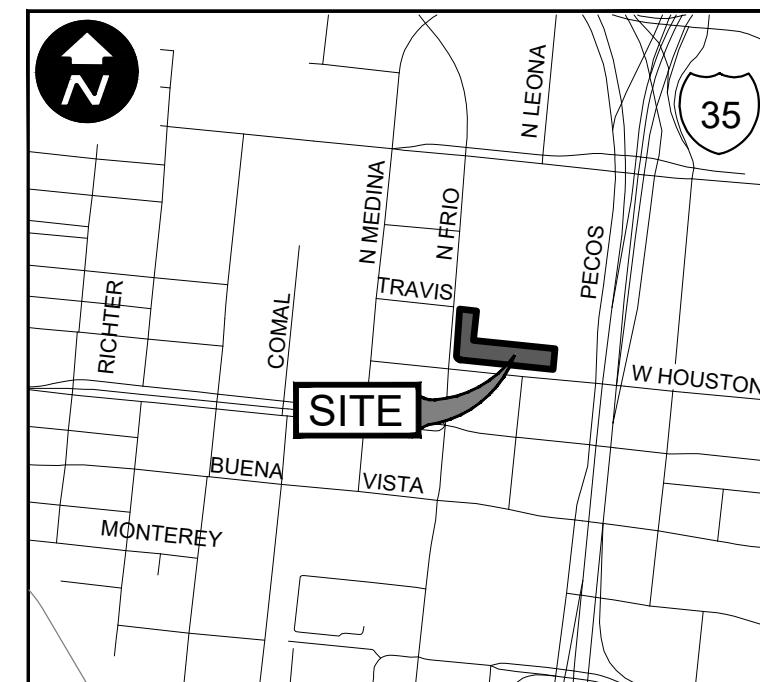
LEGEND

—	BOUNDARY / RIGHT OF WAY
—	EASEMENT / SETBACK
—	CURB / EDGE OF PAVEMENT
—	EXIST. GRADE ELEVATIONS
XXXX	PROP. GRADE ELEVATIONS
—	STORM DRAIN LINE
—	EXISTING STORM DRAIN
W	WATER LINE
WW	WASTEWATER LINE
OHE	OVERHEAD UTILITY LINE
UE	UNDERGROUND ELECTRIC
G	GAS LINE

0 10' 20' 40'

3 03/31/2021	ISSUE FOR PERMIT SET (REVISED)
2 10/1/2020	ISSUE FOR PERMIT SET
1 11/25/2020	INTERVIEW/REVIEW SET

NO DATE


 LOCATION MAP
N.T.S.

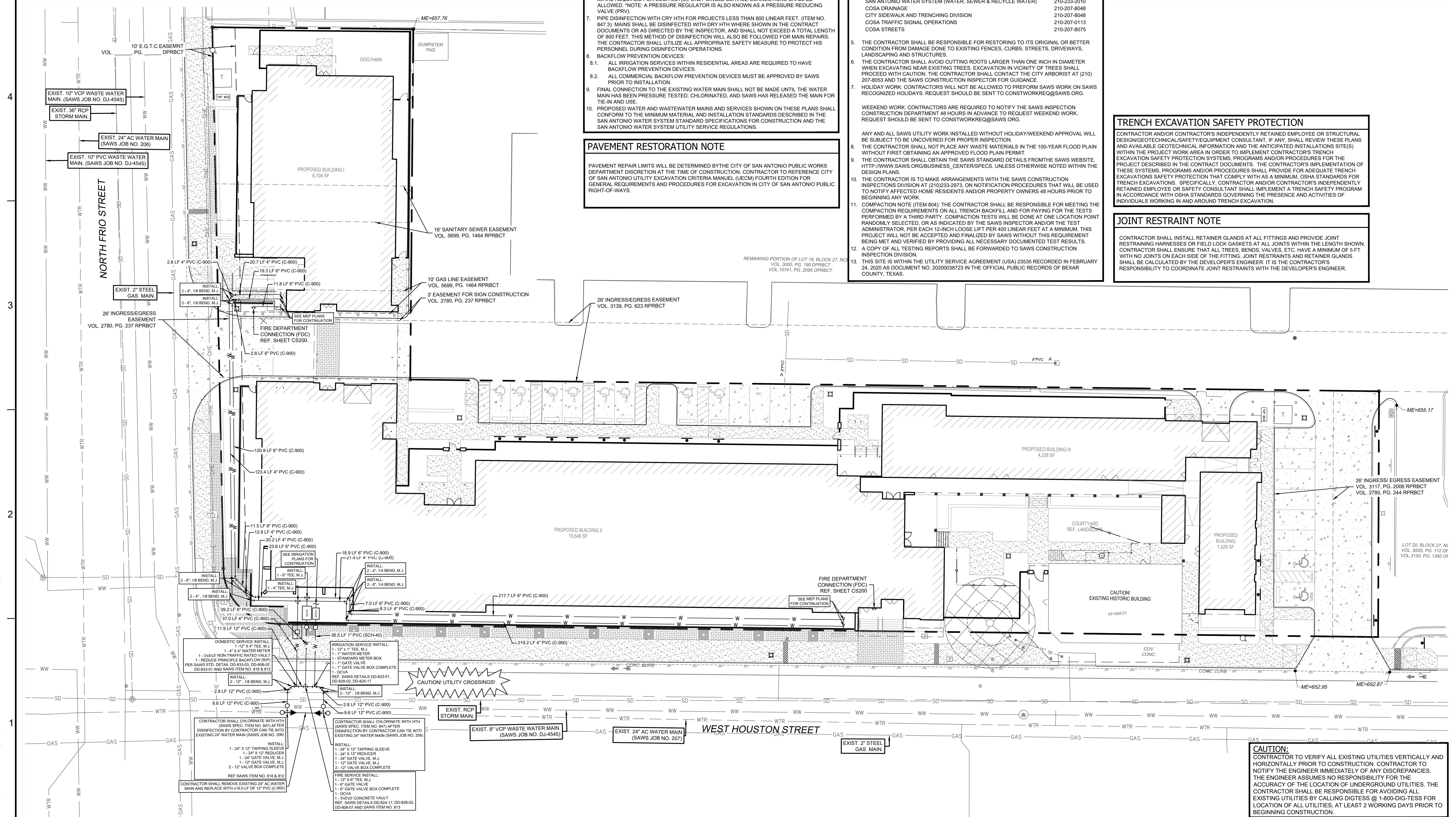
PROPERTY ADDRESS:

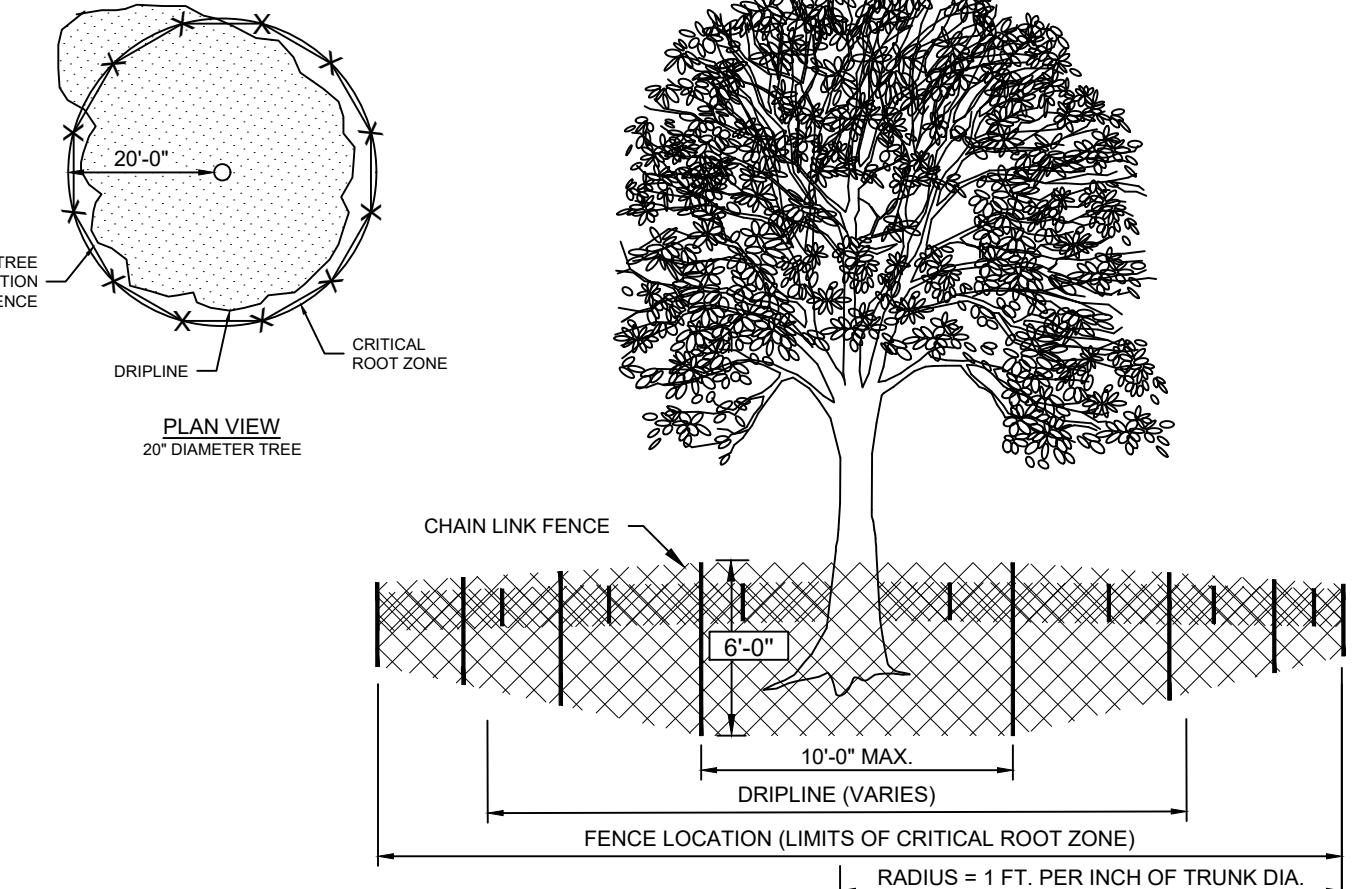
 811 W. HOUSTON ST.
SAN ANTONIO, TEXAS 78207

LEGAL DESCRIPTION:

BEING A TOTAL OF 1.571 ACRES OF LAND KNOWN AS
LOT 25, BLOCK 27, NEW CITY BLOCK 286, SITUATED IN
THE CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS AS
RECORDED IN DOC. 20190214498 OF THE OFFICIAL
PUBLIC RECORDS OF BEXAR COUNTY, TEXAS.

5





NOTES FOR TREE AND NATURAL AREA PROTECTION:

- PROTECTION FENCE SHALL BE CHAIN LINK WITH POSTS.
- ALL TREES AND NATURAL AREAS SHOWN ON PLAN TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION WITH TEMPORARY FENCING.
- PROTECTIVE FENCES SHALL BE ERECTED ACCORDING TO STANDARDS FOR TREE PROTECTION.
- PROTECTIVE FENCES SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING OR GRADING) AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT.
- EROSION AND SEDIMENTATION CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILD-UP WITHIN TREE DRIP LINES.
- PROTECTIVE FENCES SHALL SURROUND THE TREES OR GROUP OF TREES, AND WILL BE POSITIONED SO AS TO NOT DAMAGE THE LIMBS (DRIP LINE) FOR NATURAL AREAS. PROTECTIVE FENCES SHALL FOLLOW THE LIMIT OF CONSTRUCTION LINE, IN ORDER TO PREVENT THE FOLLOWING:
 - SOIL COMPACTION IN THE DRIP LINE AREA RESULTING FROM VEHICULAR TRAFFIC OR OTHER CONSTRUCTION EQUIPMENT OR ACTIVITIES.
 - ROOT ZONE DISTURBANCES DUE TO GRADE CHANGES (GREATER THAN 6 INCHES CUT OR FILL), OR TRENCHING.
 - WATERING OF THE TRUNK OR LIMBS BY MECHANICAL EQUIPMENT.
 - OTHER ACTIVITIES DETERMINED TO TREES SUCH AS STORAGE, CEMENT TRUCK CLEANING, AND FIRES.
- EXCEPTIONS TO INSTALLING FENCES AT TREE DRIP LINES MAY BE PERMITTED IN THE FOLLOWING CASES:
 - WHERE THERE IS AN APPROVED GRADE CHANGE, IMPERMEABLE PAVING SURFACE, TREE WELL, OR OTHER SUCH SITE DEVELOPMENT, ERECT THE FENCE APPROXIMATELY 2 TO 4 FEET BEYOND THE AREA DISTURBED.
 - WHERE THE DRAINAGE SYSTEM IS LOCATED OUTSIDE THE TREE'S DRIP LINE, ERECT THE FENCE AT THE OUTER LIMITS OF THE PERMEABLE PAVING AREA (PRIOR TO SITE GRADING SO THAT THE AREA IS GRADED SEPARATELY PRIOR TO PAVING, NOT TO THE DRIP LINE).
 - WHERE TREES ARE CLOSE TO PROPOSED BUILDINGS, ERECT THE FENCE TO ALLOW 6 TO 12 FEET OF CLEARANCE SPACE BETWEEN THE FENCE AND THE BUILDING.
 - WHERE THERE ARE NO SPACE CONSTRAINTS DUE TO TRACTOR SIZE, OR OTHER SPECIAL REQUIREMENTS.

SPECIAL NOTE: FOR THE PROTECTION OF NATURAL AREAS, NO EXCEPTIONS TO INSTALLING FENCES AT THE LIMIT OF CONSTRUCTION LINE WILL BE

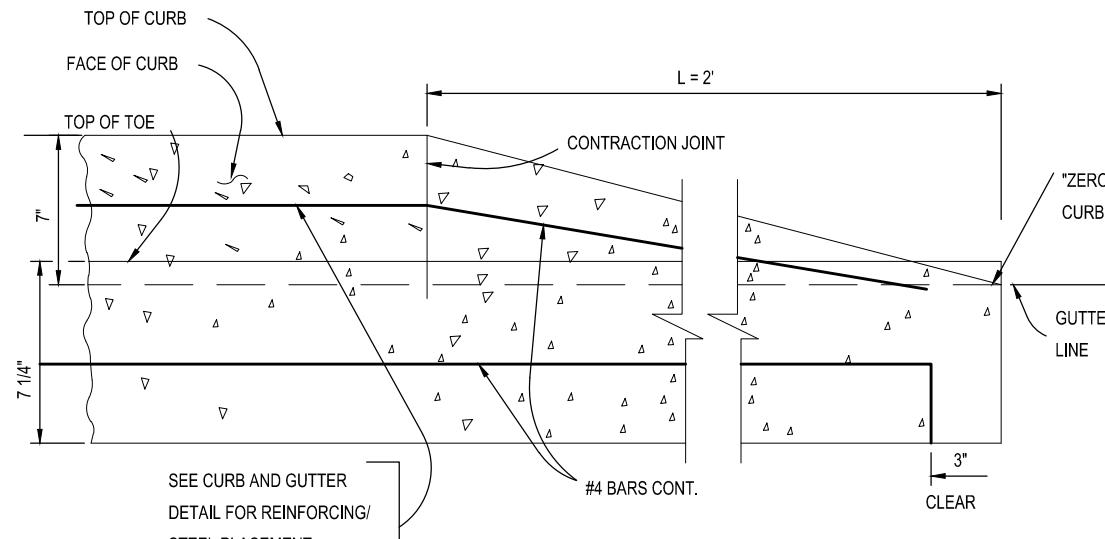
9 TREE PROTECTION

SCALE: N.T.S.

STORM WATER POLLUTION PREVENTION PLAN / TPDES:

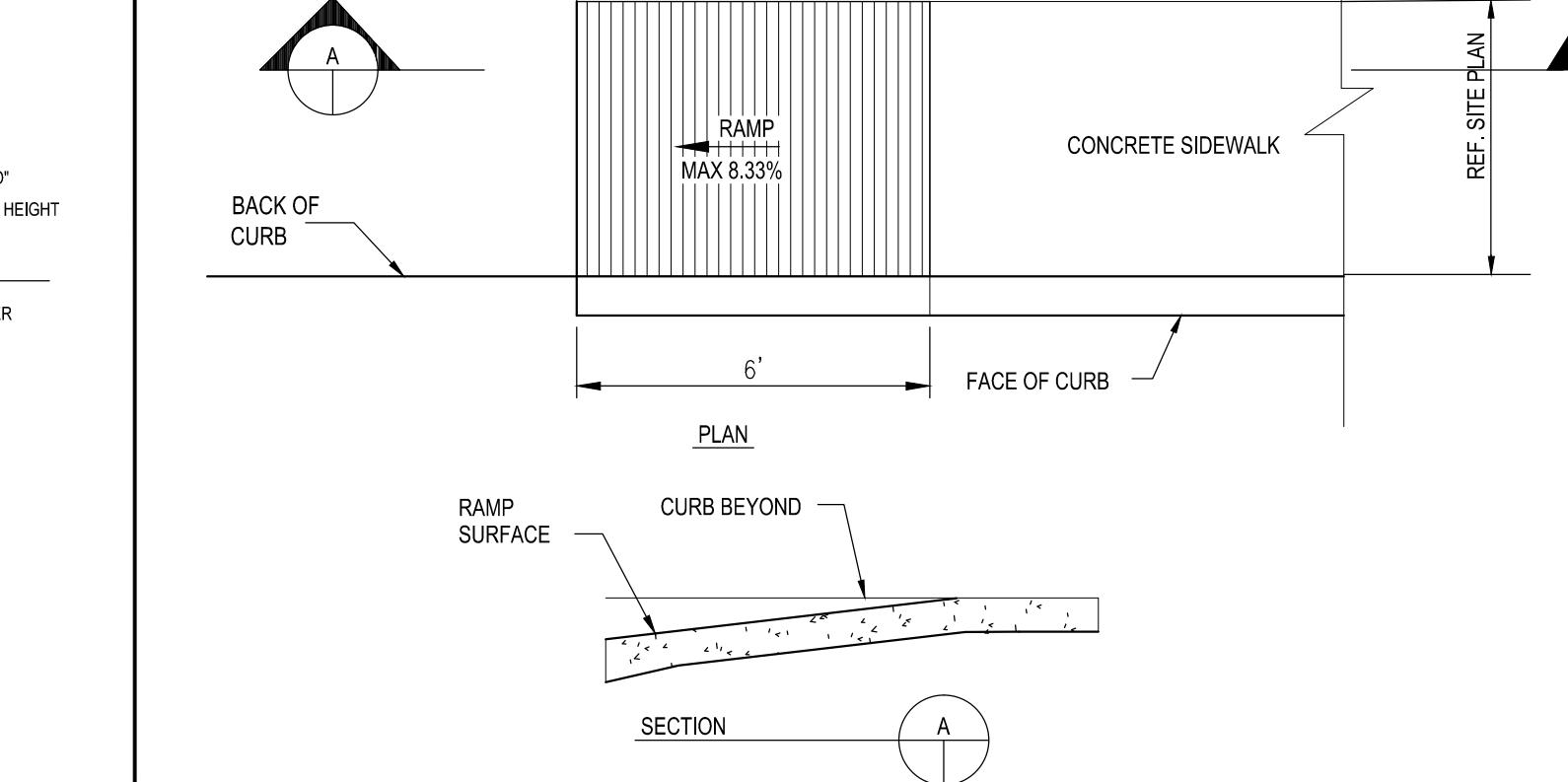
FURNISH AND INSTALL TEMPORARY AND PERMANENT STORM WATER POLLUTION PREVENTION CONTROL MEASURES SHOWN IN THE PLANS. CONSTRUCT IMPROVEMENTS IN COMPLIANCE WITH THE INTENT OF SUCH POLLUTION CONTROL MEASURES, TPDES PERMITS, OR OTHER LOCAL WATERWAY DEVELOPMENT PERMITS.

- CONTRACTOR IS RESPONSIBLE FOR ALL POLLUTION PREVENTION MEASURES SHOWN IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP).
- SUBMIT A STORM WATER TPDES GENERAL PERMIT NOTICE OF INTENT (NOI) AT LEAST TWO DAYS PRIOR TO START OF CONSTRUCTION TO THE APPROPRIATE AGENCY SHOWN ON THE SWPPP.
- POST SIGNED AND COMPLETED NOI POSTING NOTICE OR CONSTRUCTION SITE NOTICE (CSN) AT THE CONSTRUCTION ENTRANCE FOR PUBLIC VIEWING, AND KEEP A COPY OF THE CSN AT THE JOB SITE AT ALL TIMES.
- INSTALL AND MAINTAIN POLLUTION CONTROL MEASURES IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND WITH PROJECT SPECIFICATIONS.
- INSTALL EROSION CONTROL MEASURES AND CONSTRUCTION ENTRANCES AS SHOWN IN THE SWPPP PRIOR TO BEGINNING CONSTRUCTION. POLLUTION CONTROL MEASURES SHALL BE REPAIRED, REESTABLISHED, ADJUSTED OR REINSTALLED WITH EACH SUBSEQUENT PHASE OF CONSTRUCTION IN ACCORDANCE WITH THE SWPPP.
- CONTRACTOR IS RESPONSIBLE FOR ANY SEDIMENT THAT ESCAPES THE CONSTRUCTION SITE, AND SHALL REMOVE THE ACCUMULATION OF OFF-SITE SEDIMENT PROMPTLY.
- MAINTAIN SEDIMENT TRAPS OR SEDIMENTATION BASINS.
- OFF-SITE MATERIAL STORAGE AREAS USED SOLELY BY THE PROJECT ARE CONSIDERED PART OF THE PROJECT.
- MAINTAIN RECORDS OF PROJECT MILESTONE DATES AND FIELD CHANGES AS REQUIRED BY THE SWPPP.
- INSPECT POLLUTION CONTROL MEASURES EVERY 14 DAYS AND WITHIN 24 HOURS AFTER A STORM EVENT GREATER THAN 0.5 INCHES OF RAINFALL. AN INSPECTION REPORT SHALL BE RECORDED AS REQUIRED BY THE SWPPP.
- DEFICIENCIES NOTED DURING THE INSPECTION WILL BE CORRECTED AND DOCUMENTED WITHIN SEVEN CALENDAR DAYS OR BEFORE THE NEXT ANTICIPATED STORM EVENT.
- PRIOR TO CONSTRUCTION, MAKE CERTAIN THE NOTICE OF INTENT (NOI) OR CONSTRUCTION SITE NOTICE (CSN) HAS BEEN FILED AND POSTED ON SITE FOR PUBLIC VIEWING AND THE TPDES REPORT AND SWPPP ARE AVAILABLE AT THE TRAILER.
- INSTALL STORM WATER POLLUTION PREVENTION CONTROLS PRIOR TO ANY SITE PREPARATION WORK (CLEARING, GRUBBING, EXCAVATION).
- THE PLACEMENT OF STORM WATER POLLUTION PREVENTION CONTROLS SHALL BE IN ACCORDANCE WITH THE APPROVED STORM WATER POLLUTION PREVENTION CONTROL PLAN.
- A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD ON-SITE WITH THE CONTRACTOR AND ENGINEER AFTER INSTALLATION OF THE STORM WATER POLLUTION PREVENTION CONTROLS AND PRIOR TO BEGINNING ANY SITE PREPARATION WORK IF REQUIRED BY THE LOCAL REQUIREMENTS.
- ANY MAJOR VARIATION IN MATERIALS OR LOCATIONS OF CONTROLS OR FENCES FROM THOSE SHOWN ON THE APPROVED PLANS WILL REQUIRE A REVISION AND MUST BE APPROVED BY THE ENGINEER AS APPROPRIATE. MINOR CHANGES TO BE MADE AS FIELD REVISIONS TO THE STORM WATER POLLUTION PREVENTION CONTROL PLAN MAY BE REQUIRED BY THE ENGINEER DURING THE COURSE OF CONSTRUCTION TO CORRECT CONTROL INADEQUACIES.
- THE CONTRACTOR IS REQUIRED TO INSPECT THE CONTROLS AND FENCES AT INTERVALS OF AT LEAST ONCE EVERY TWO (2) WEEKS AND IMMEDIATELY AFTER SIGNIFICANT RAINFALL EVENTS TO INSURE THAT THEY ARE FUNCTIONING PROPERLY. THE PERSON(S) RESPONSIBLE FOR MAINTENANCE OF CONTROLS AND FENCES SHALL IMMEDIATELY MAKE ANY NECESSARY REPAIRS TO DAMAGED AREAS. SILT ACCUMULATION AT CONTROLS MUST BE REMOVED WHEN THE DEPTH REACHES SIX (6) INCHES.
- PRIOR TO FINAL ACCEPTANCE BY THE CITY, HAUL ROADS AND WATERWAY CROSSINGS CONSTRUCTED FOR TEMPORARY CONTRACTOR ACCESS MUST BE REMOVED, ACCUMULATED SEDIMENT REMOVED FROM THE WATERWAY AND THE AREA RESTORED TO THE ORIGINAL GRADE AND REVEGETATED. ALL LAND CLEARING DEBRIS SHALL BE DISPOSED OF PROPERLY.
- WHERE SILT FENCE CANNOT BE PROPERLY INSTALLED USE TRIANGULAR FILTRATION DIKE.
- SOIL DISTURBANCES SHALL BE MINIMIZED BY EXPOSING ONLY THE SMALLEST PRACTICAL AREA OF LAND REQUIRED FOR THE CLEARING AND GRADING ACTIVITY AND FOR THE CONSTRUCTION ACTIVITY, FOR THE SHORTEST PRACTICAL PERIOD OF TIME.
- STABILIZATION MEASURES WILL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, AND EXCEPT AS PROVIDED BELOW, WILL BE INITIATED NO MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
- WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN TWENTY-ONE (21) DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF SITE.
- TRAFFIC LEAVING THE CONSTRUCTION SITE WILL EXIT THROUGH A STABILIZED CONSTRUCTION EXIT AS LOCATED ON THE PLANS. WHEN SOILS HAVE COLLECTED ON THE STABILIZED VEHICULAR EXIT TO AN EXTENT WHICH REDUCES ITS INTENDED EFFECTIVENESS, THE SURFACE WILL BE CLEANED AND REESTABLISHED FOR THE INTENDED PURPOSE.
- MUD/DIRT INADVERTENTLY TRACKED OFF-SITE AND INTO PUBLIC STREETS SHALL BE REMOVED IMMEDIATELY.
- PERMANENT EROSION CONTROL: REFER TO LANDSCAPE PLAN FOR PLANTING REQUIREMENTS. IF NOT ADDRESSED BY LANDSCAPE PLAN, THE FOLLOWING SHALL APPLY:



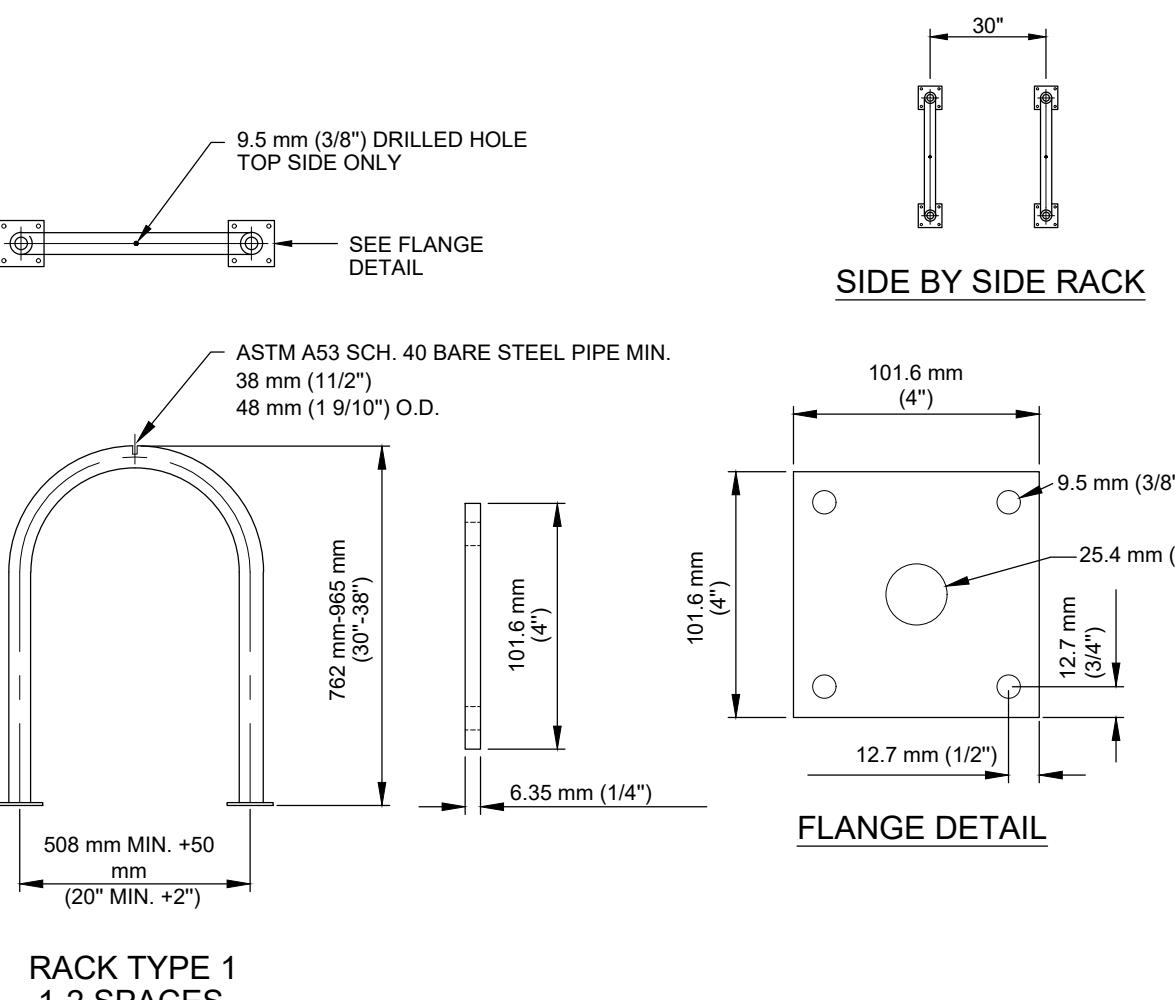
12 TRANSITION/MATCH EXISTING CURB DETAIL

SCALE: N.T.S.



11 CURB RAMP DETAIL

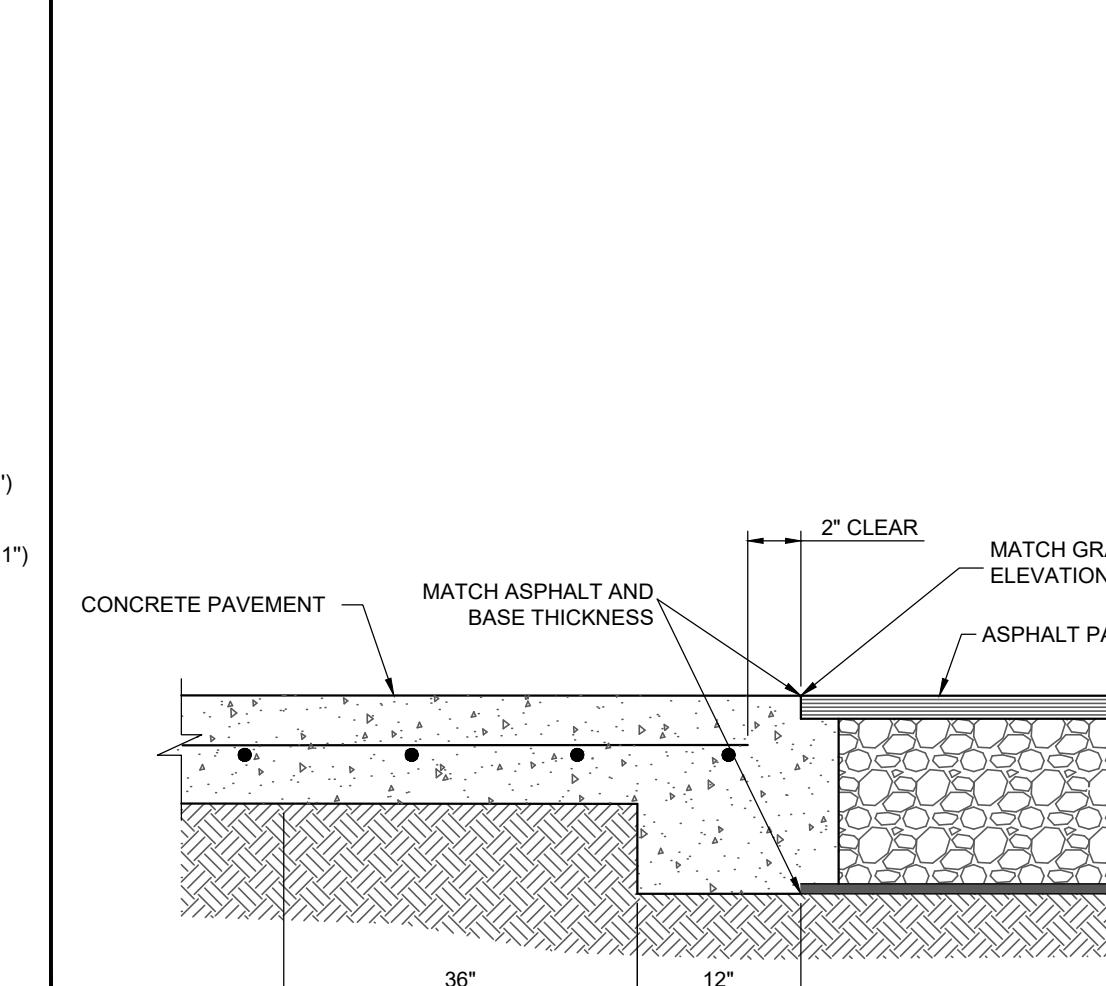
SCALE: N.T.S.



NOTE:
1. ALL BICYCLE PARKING PROVIDED SHOULD BE SET IN CONCRETE
OR FLANGE MOUNTED ON CONCRETE, AND LOCATED A MIN. OF
24" FROM PARALLEL WALL, AND 30" FROM THE CLOSEST BICYCLE RACK.

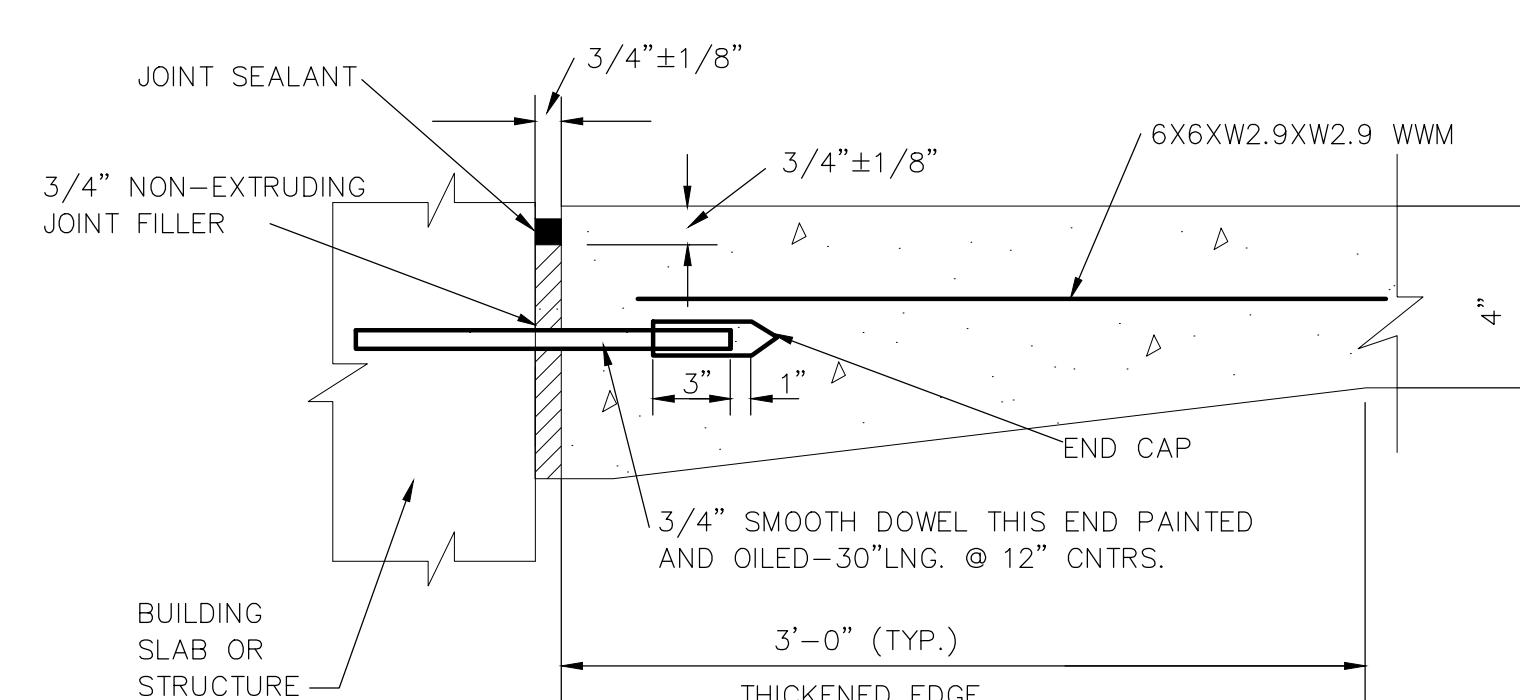
8 BICYCLE RACK, INVERTED U-SHAPE

SCALE: N.T.S.



7 CONCRETE/ASPHALT JUNCTION DETAIL

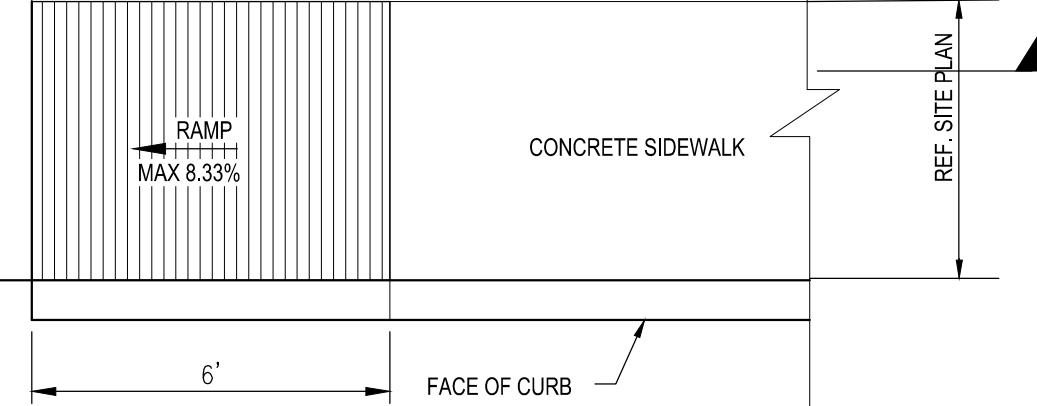
SCALE: N.T.S.



NOTES:
1. DOWELS TO BE INSTALLED AT 12" O.C. AT ALL DOORWAYS AND 5
FEET ON EITHER SIDE OF EACH DOORWAY WHERE SIDEWALK
ABUTS BUILDING

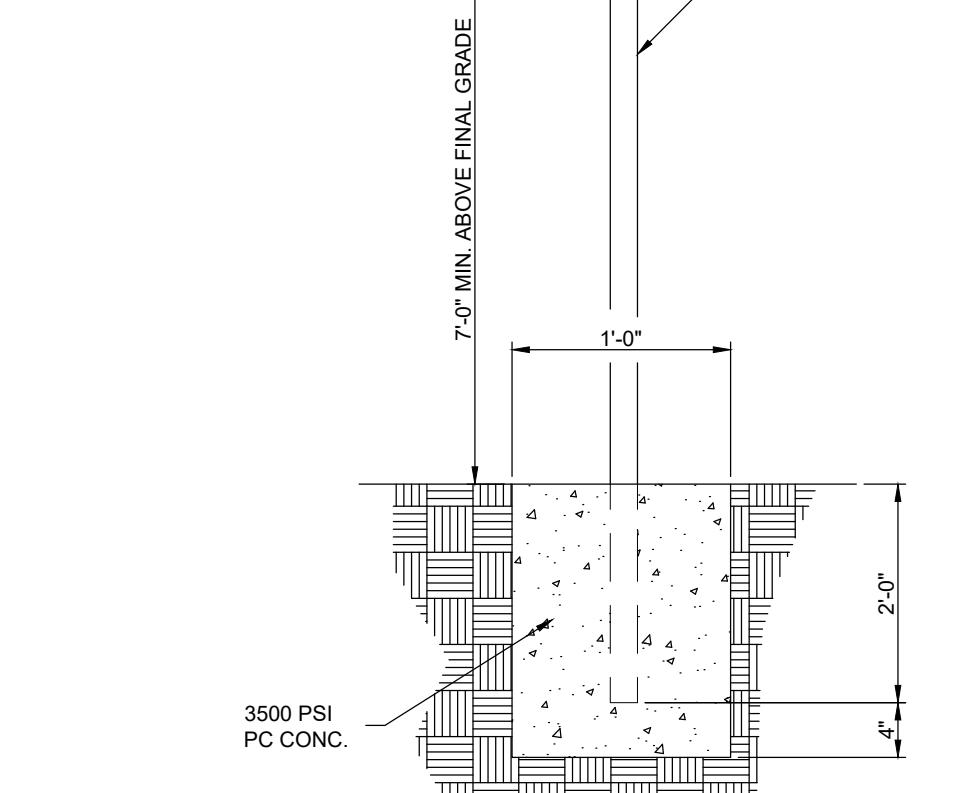
5 SIDEWALK ABUTTING BUILDING

SCALE: N.T.S.



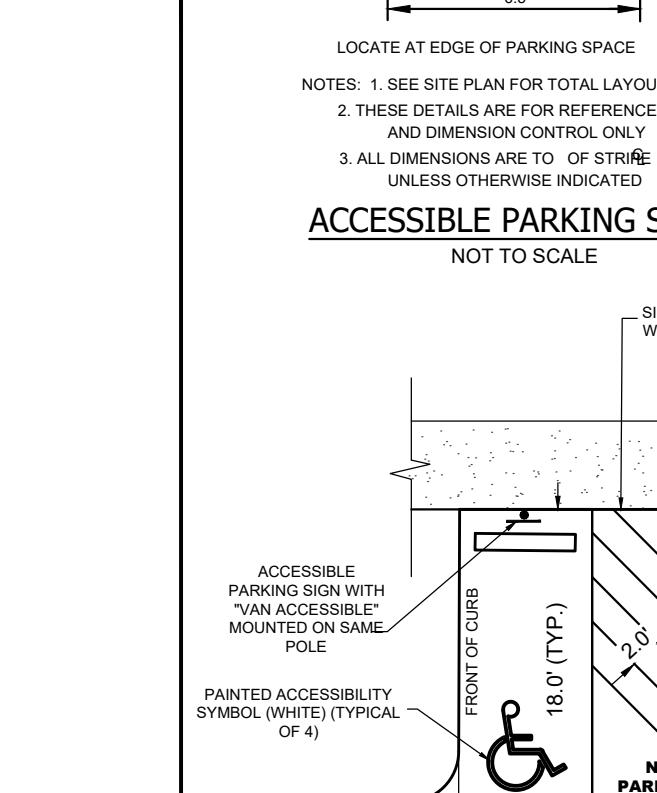
4 STANDARD 6" CURB DETAIL

SCALE: N.T.S.



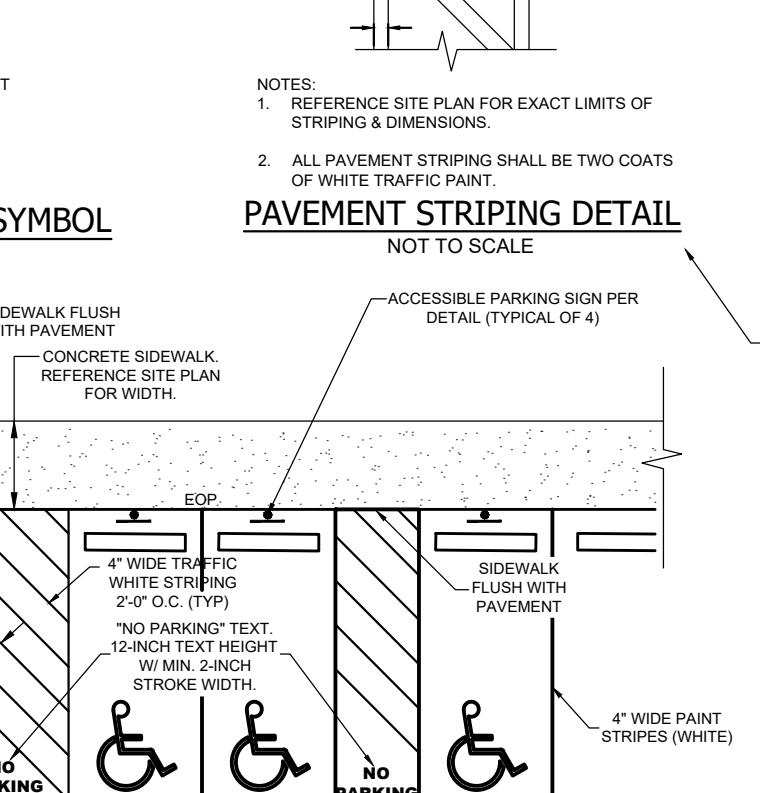
10 STANDARD SIGN BASE DETAIL

SCALE: N.T.S.



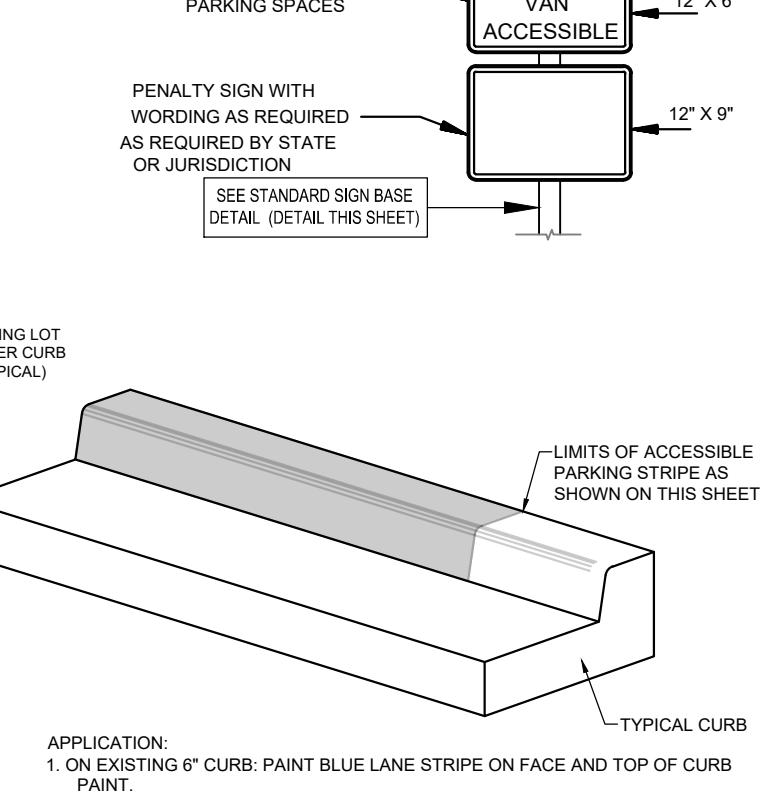
NOT TO SCALE
ACCESsible PARKING SYMBOL

SCALE: N.T.S.



NOT TO SCALE
Pavement STRIPING DETAIL

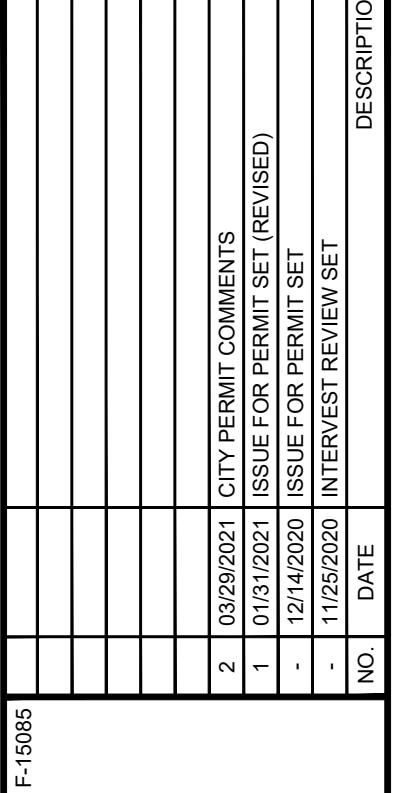
SCALE: N.T.S.



NOT TO SCALE

9 ACCESSIBLE STRIPING, CURB MARKING, AND SIGNAGE DETAIL

SCALE: N.T.S.

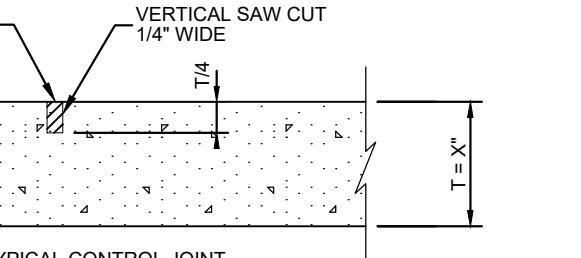


2 080.0224



CATTLEMAN SQUARE LOFTS
811 WEST HOUSTON STREET
SAN ANTONIO, TEXAS 78207

CONSTRUCTION DETAILS
PROJECT: C600
SHEET TITLE: C600
SHEET: C600
16 OF 21
PLAT NO.: 20-1180007



PAVEMENT RECOMMENDATIONS

ASPHALT (FLEXIBLE)

SECTION COMPONENT MATERIAL THICKNESS (INCHES) MATERIAL THICKNESS (INCHES)

HMAC, TYPE D LIGHT DUTY 2.0 2.0

CRUSHED LIMESTONE BASE MATERIAL 8.0 12.0

TENSAR GEOGRID TX-15 TX-15

COMPACTED SUBGRADE 12.0 12.0

REINFORCED CONCRETE (RIGID)

SECTION COMPONENT MATERIAL THICKNESS (INCHES) MATERIAL THICKNESS (INCHES)

CONCRETE LIGHT DUTY 6.0 7.0

COMPACTED SUBGRADE 12.0 12.0

NOTES:

REFERENCE SUBSURFACE EXPLORATION & PAVEMENT ANALYSIS REPORT PROVIDED BY ROCK ENGINEERING AND TESTING LABORATORY, INC. PROJECT NO. 220272 ON AUGUST 21, 2020, FOR COMPACTION, PAVEMENT SELECTION, AND REINFORCEMENT SPECIFICATIONS.

CONTRACTOR SHALL VERIFY PAVEMENT SECTION WITH GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION.

NOTES: (FOR CONCRETE PAVEMENT ONLY)

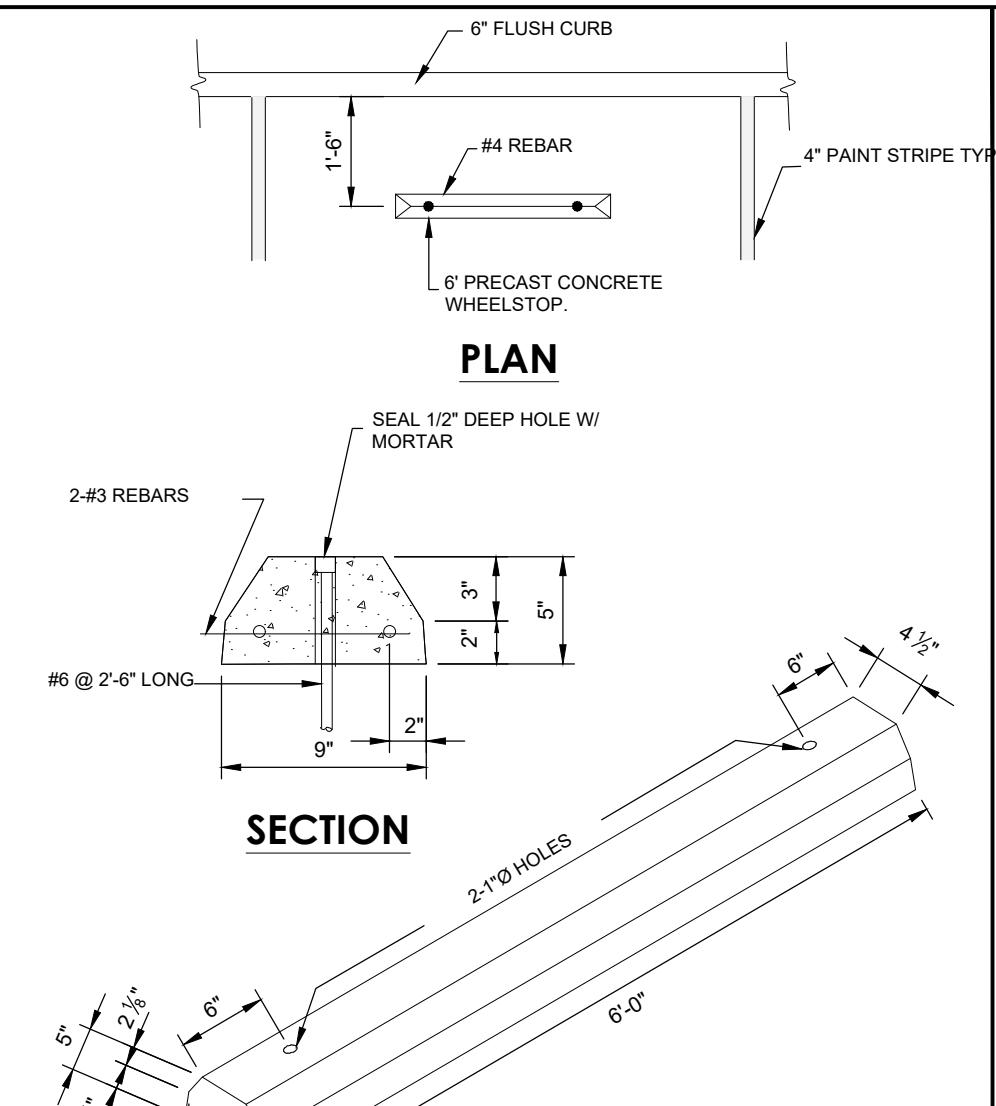
JOINTING AND SPACING SHOULD CONFORM TO THE AMERICAN CONCRETE INSTITUTE GUIDE FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS, ACI REPORT 330R-08, PER GEOTECHNICAL REPORT.

VERIFY JOINT SPACING AND REINFORCEMENT WITH GEOTECHNICAL ENGINEER/ REPORT PRIOR TO CONSTRUCTION.

HEAVY DUTY CONCRETE AT TRASH DUMPSTER PAD SHOULD BE 8.0". REFERENCE REPORT FOR MORE INFORMATION.

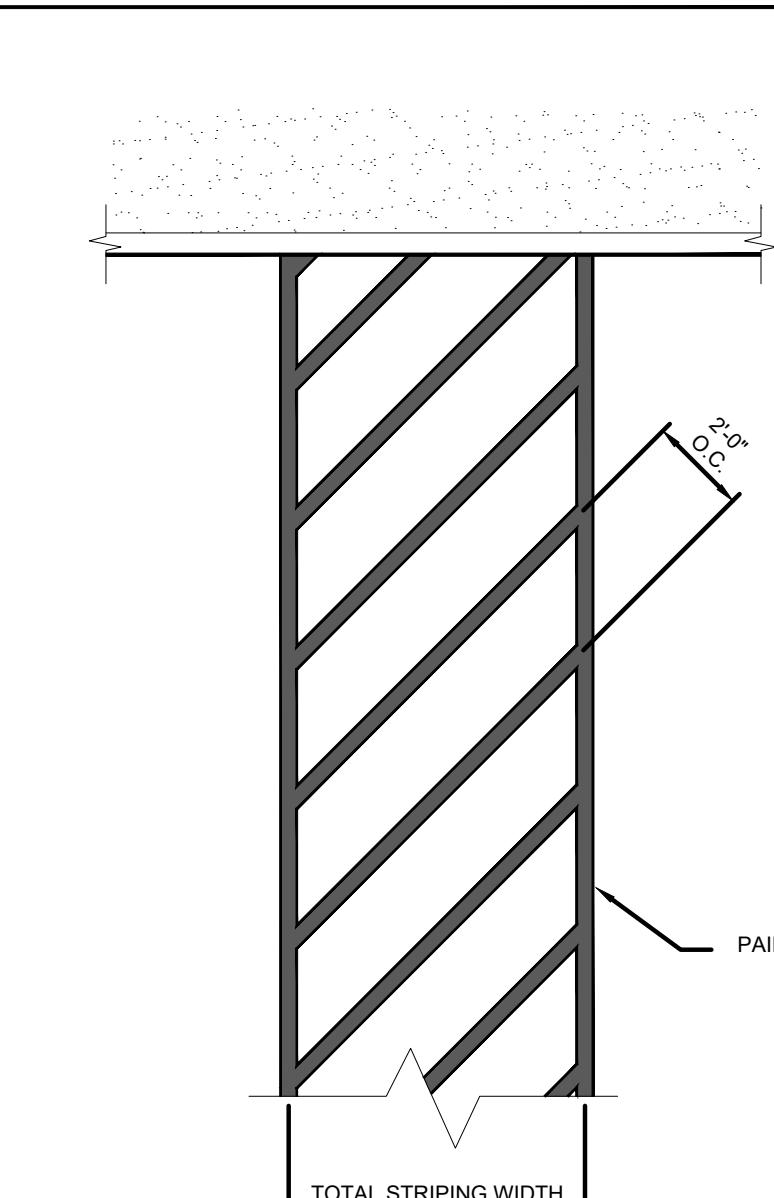
PAVEMENT JOINT DETAILS

N.T.S.



3 WHEELSTOP DETAIL

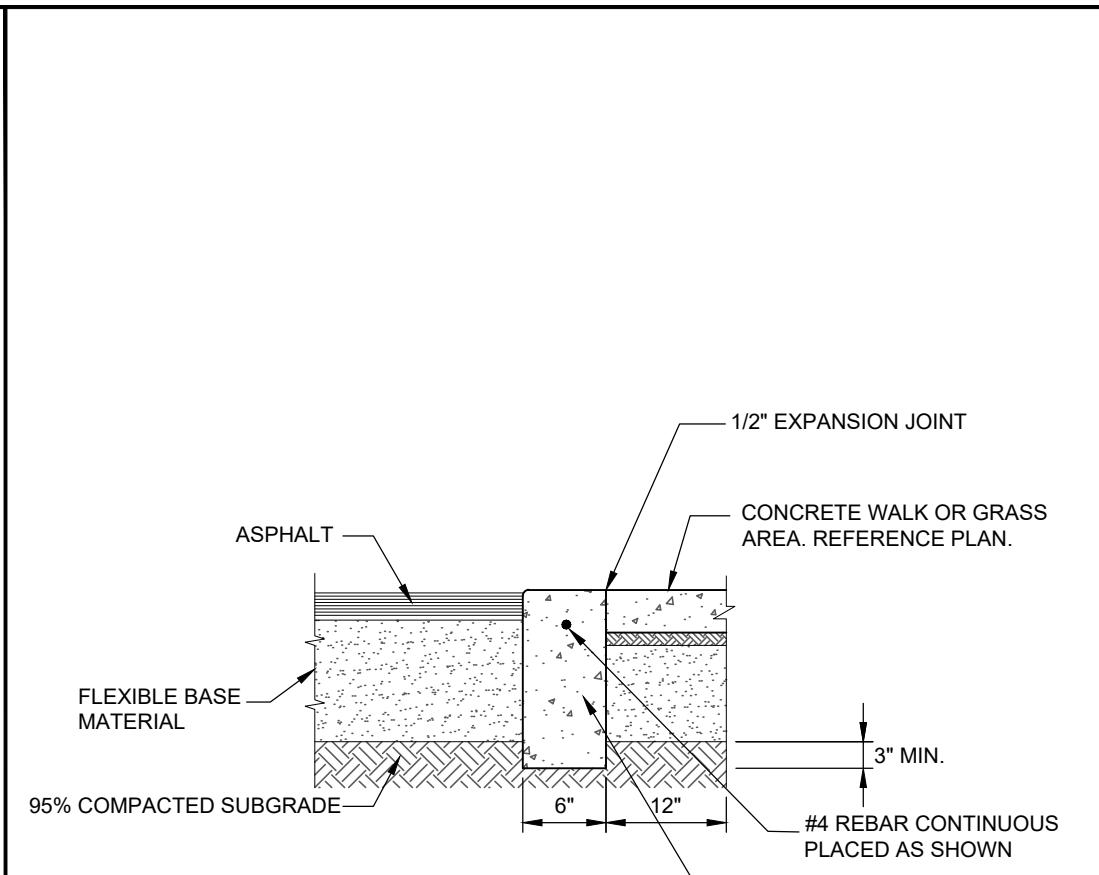
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NOTES:
1. PEDESTRIAN CROSSWALKS MUST BE STRIPPED AT A MINIMUM WIDTH OF 5 FEET.

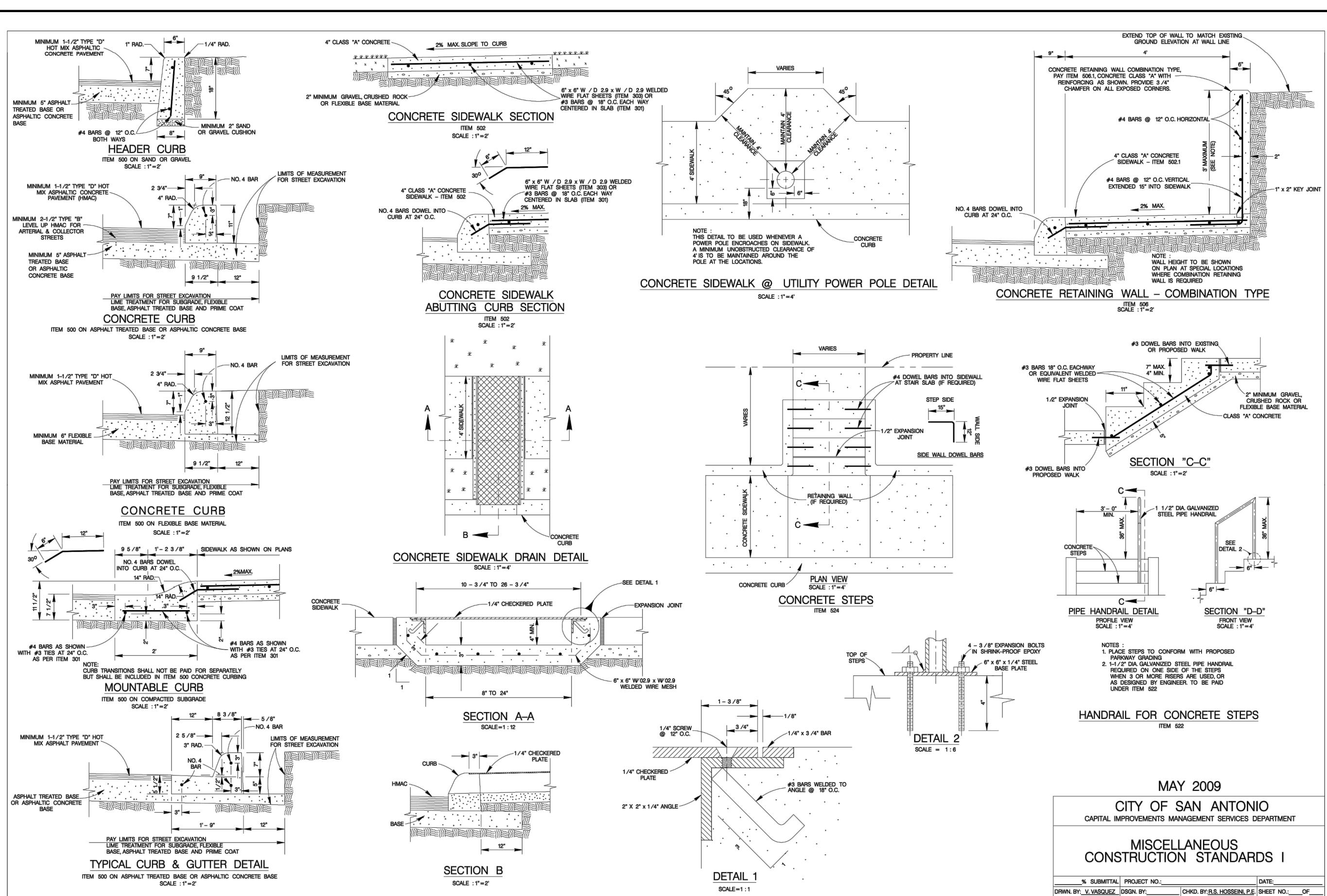
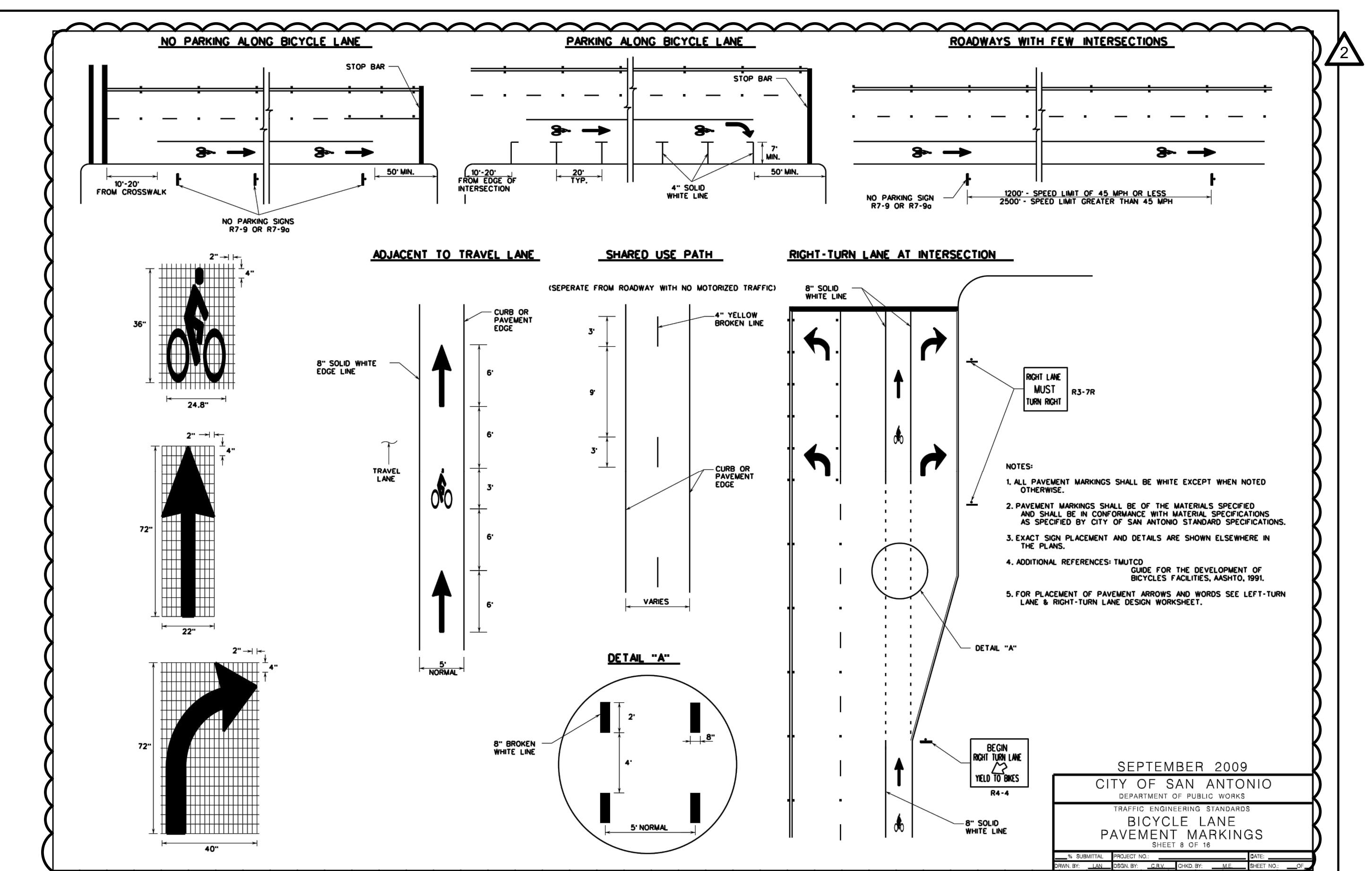
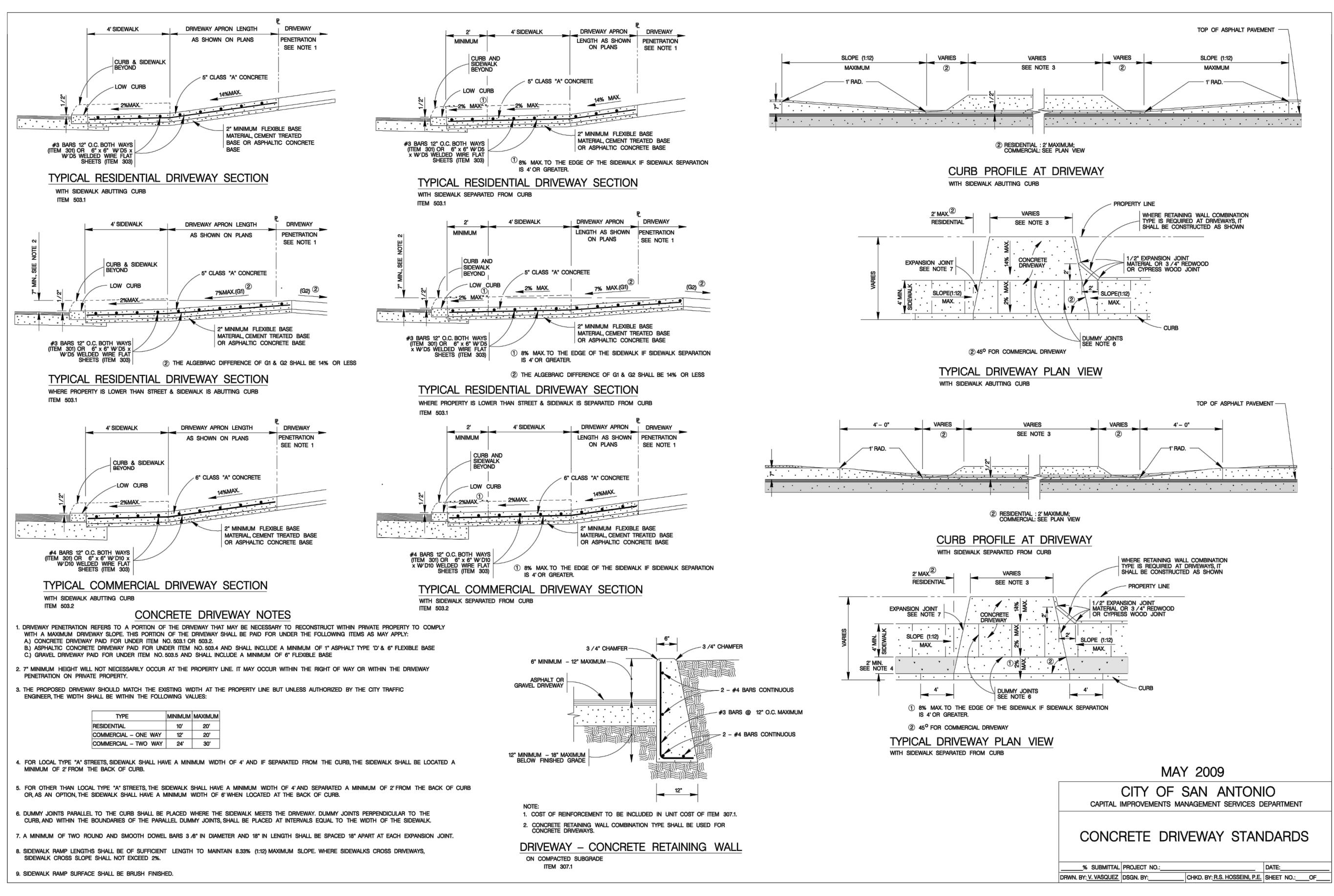
NOTES:
1. PEDESTRIAN CROSSWALKS MUST BE STRIPPED AT A MINIMUM WIDTH OF 5 FEET.

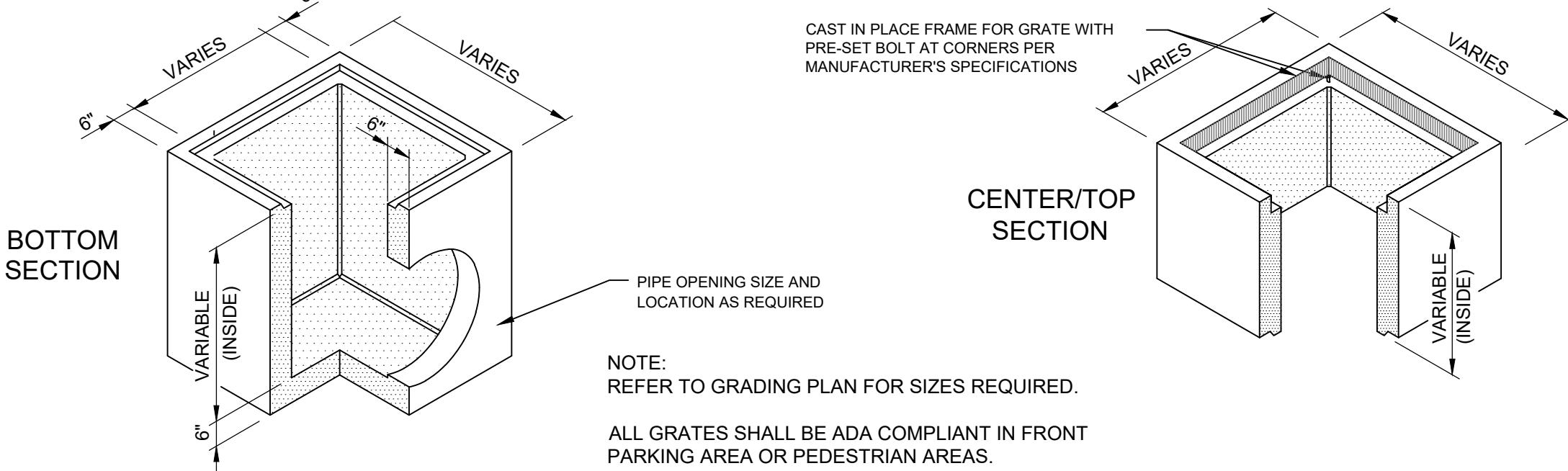
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1 FLUSH CURB

SCALE: N.T.S.





NOTE:
REFER TO GRADING PLAN FOR SIZES REQUIRED.
ALL GRATES SHALL BE ADA COMPLIANT IN FRONT PARKING AREA OR PEDESTRIAN AREAS.

NOTES:
ALL CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4500 psi.
REINFORCING STEEL SHALL COMPLY WITH ASTM A615 GRADE 60, A706 GRADE 60 OR A497 GRADE 70. BAR BENDING AND PLACEMENT SHALL COMPLY WITH THE LATEST ACI STANDARDS.
STANDARD STRUCTURAL DESIGN IS BASED ON AASHTO HS 20 WHEEL LOADING.
WATER TABLE IS AT 3'-0" BELOW GRADE FOR STANDARD STRUCTURAL DESIGN.

THE STANDARD DESIGN IS BASED ON THE TOP AT GRADE AND THE BASE AT 8'-0" MAX. BELOW GRADE.

THE STRUCTURE SHALL BE PLACED ON A COMPACTED GRANULAR BASE TO INSURE UNIFORM DISTRIBUTION OF SOIL PRESSURES.

SPECIAL DESIGNS BASED ON OTHER LOADINGS OR DEEPER INSTALLATION DEPTHS ARE AVAILABLE ON REQUEST.

KNOCKOUTS, OR PIPE OPENINGS CAN BE PROVIDED IN THE SIZE AND LOCATIONS REQUIRED.

ACCESSIBLE GRATE INLET

NOTES

APPROXIMATE
CENTER SECTION WEIGHTS
2'-0" INSIDE 2200 LBS.
2'-6" INSIDE 2700 LBS.
3'-0" INSIDE 3200 LBS.
3'-6" INSIDE 3700 LBS.
4'-0" INSIDE 4300 LBS.

APPROXIMATE
BOTTOM WEIGHTS
2'-0" INSIDE 3400 LBS.
2'-6" INSIDE 3900 LBS.
3'-0" INSIDE 4400 LBS.
3'-6" INSIDE 4900 LBS.

MINIMUM EXCAVATION
6'-0" x 6'-0"

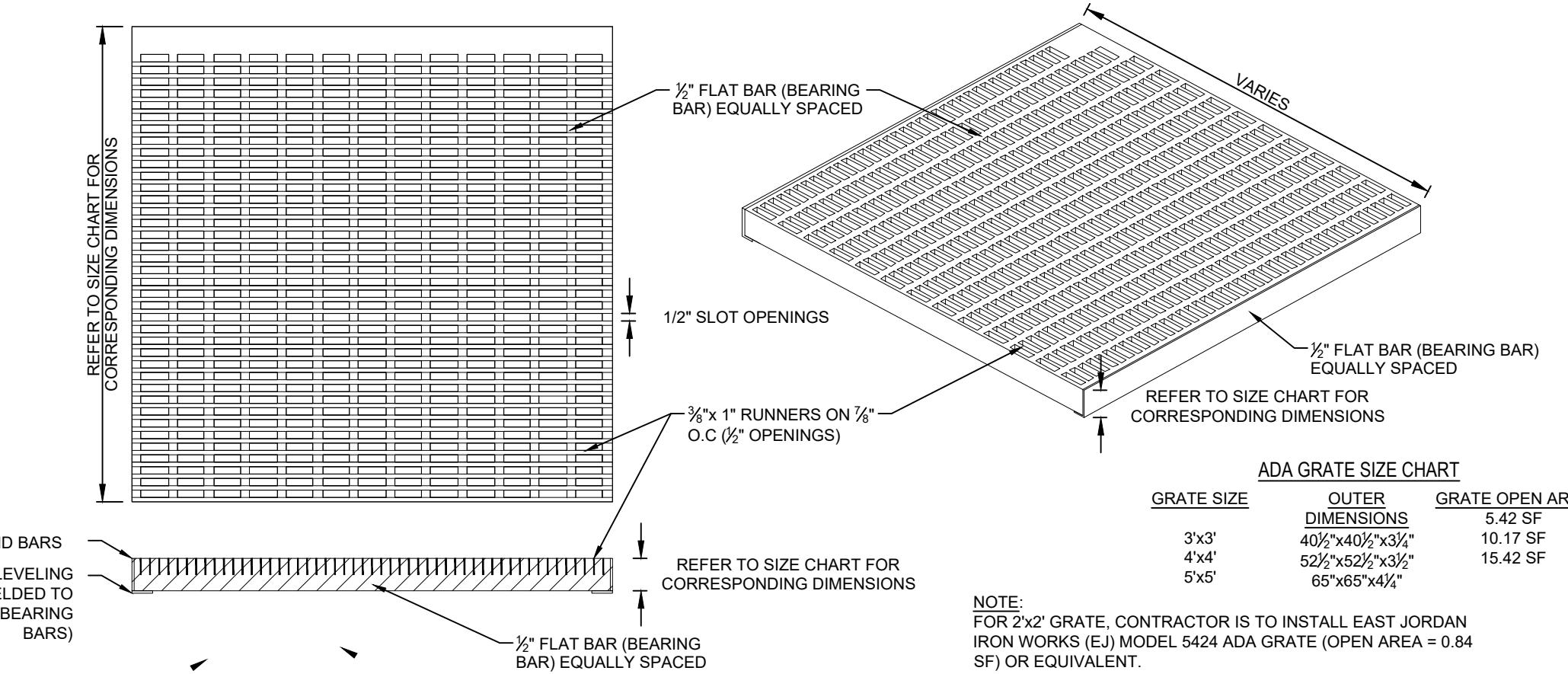
NOTES:
ALL GRATES SHALL BE BOLTED TO THE INLET FOR LOSS PREVENTION.
ALL GRATES SHALL MEET HS20 LOADING REQUIREMENTS.
GRATES SHALL BE SIZED PER MANUFACTURER'S RECOMMENDATIONS.
CROSS BARS WITHIN THE GRATE SHALL BE PROVIDED AS REQUIRED TO MEET HS20 LOADING REQUIREMENTS PER THE MANUFACTURER RECOMMENDATIONS.

CONTRACTOR TO SUBMIT GRATE DETAILS TO ENGINEER OF RECORDED PRIOR TO CONSTRUCTION TO ALLOW FOR REVIEW AND CONFIRMATION THAT HYDRAULIC CAPACITY IS MET PER THE CONSTRUCTION DOCUMENTS.

GRATES SHALL BE SET SO OPENINGS ARE PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAFFIC AS NOT TO CAUSE A HAZARD.

REFER TO GRADING PLAN FOR THE SIZE OF GRATE INLET REQUIRED.

THE SIZE OF THE GRATE OPENING IS SPECIFIED WITHIN THE GRADING PLAN.
CONTRACTOR TO REVIEW PLANS AND SELECT APPROPRIATE BASE UNIT PER STORM DRAIN PIPE DIAMETERS AND PIPE GEOMETRY.

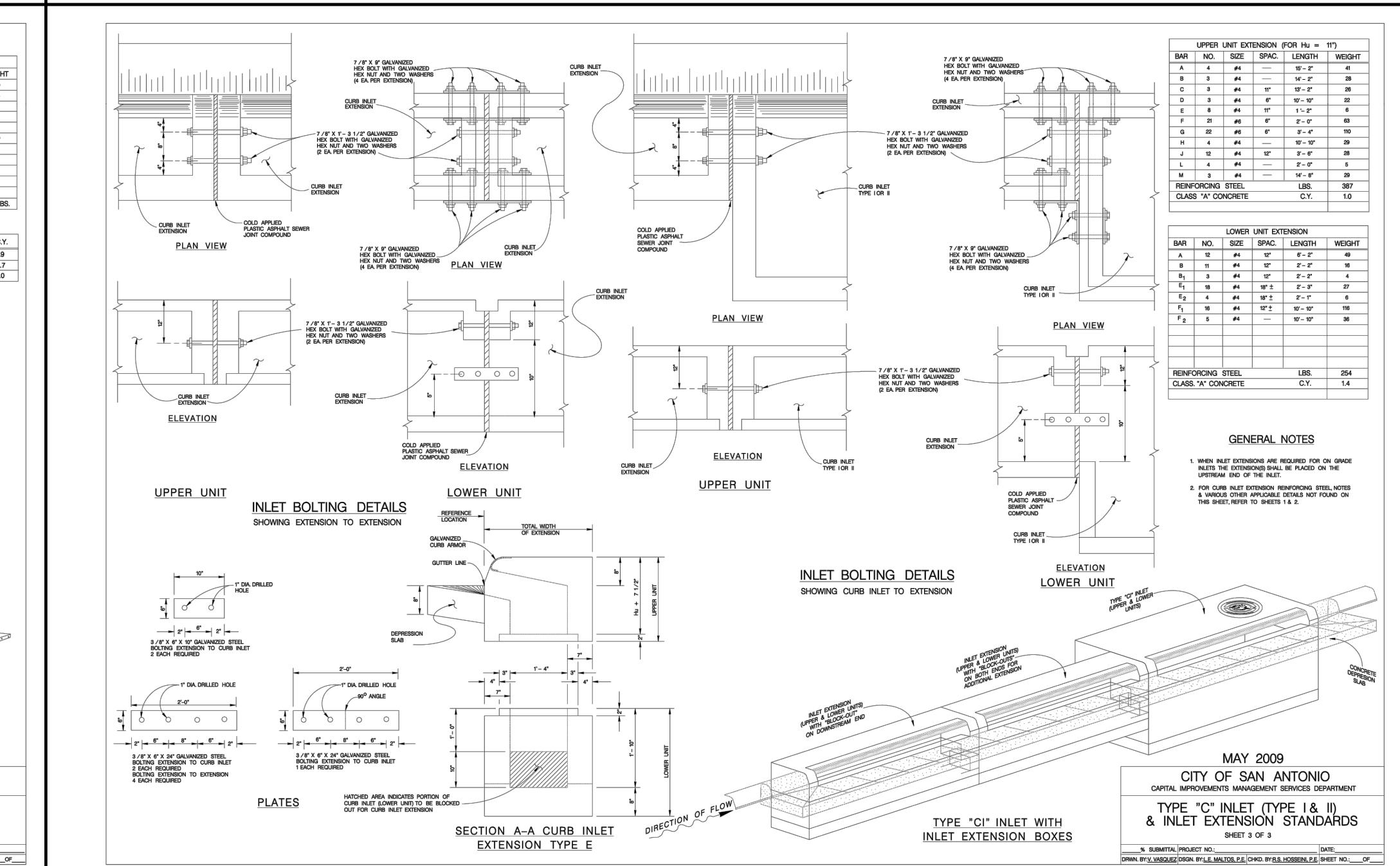
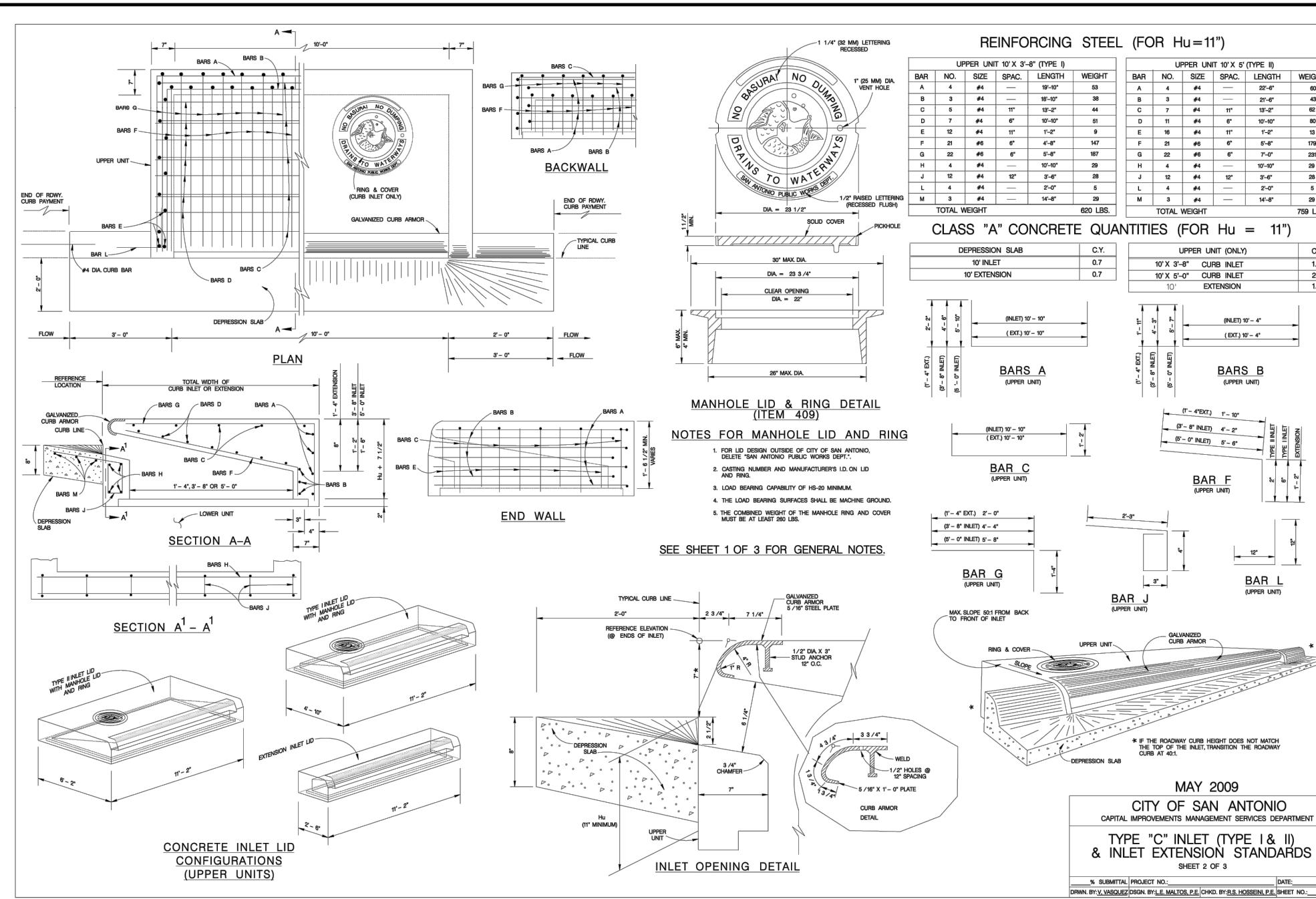
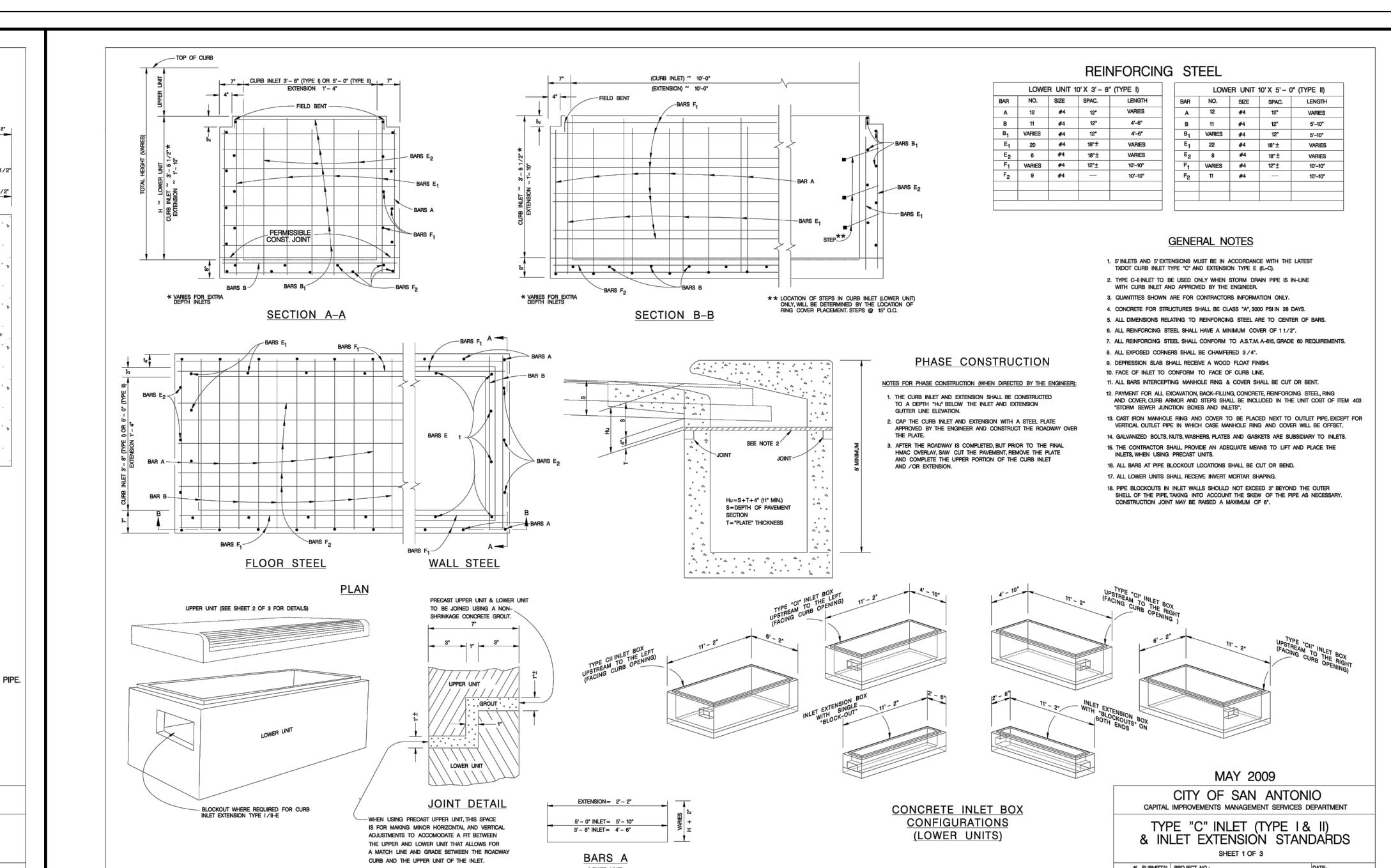
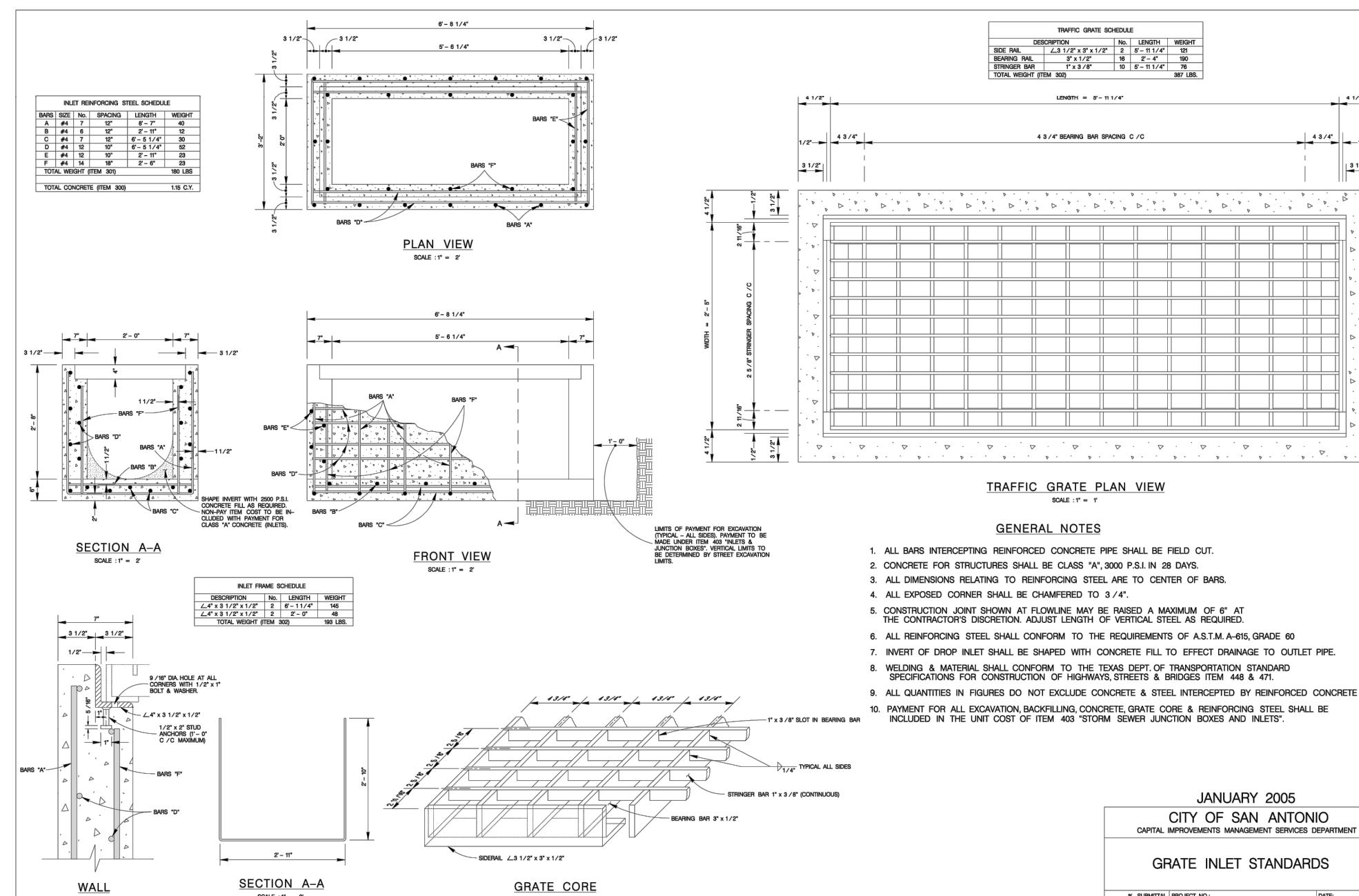


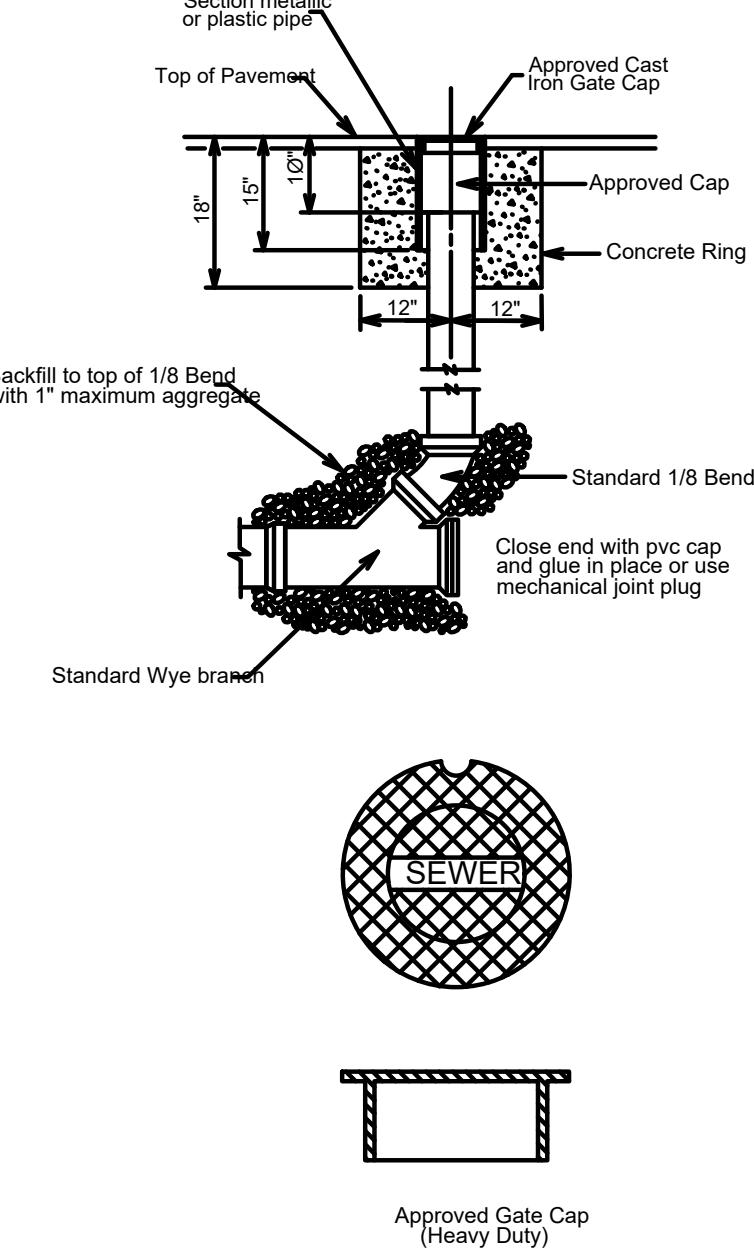
ADA GRATE SIZE CHART

GRATE SIZE	OUTER DIMENSIONS	GRATE OPEN AREA
3'x3'	40 1/2" x 40 1/2"	5.42 SF
4'x4'	52 1/2" x 52 1/2"	15.42 SF
5'x5'	65 1/2" x 65 1/2"	

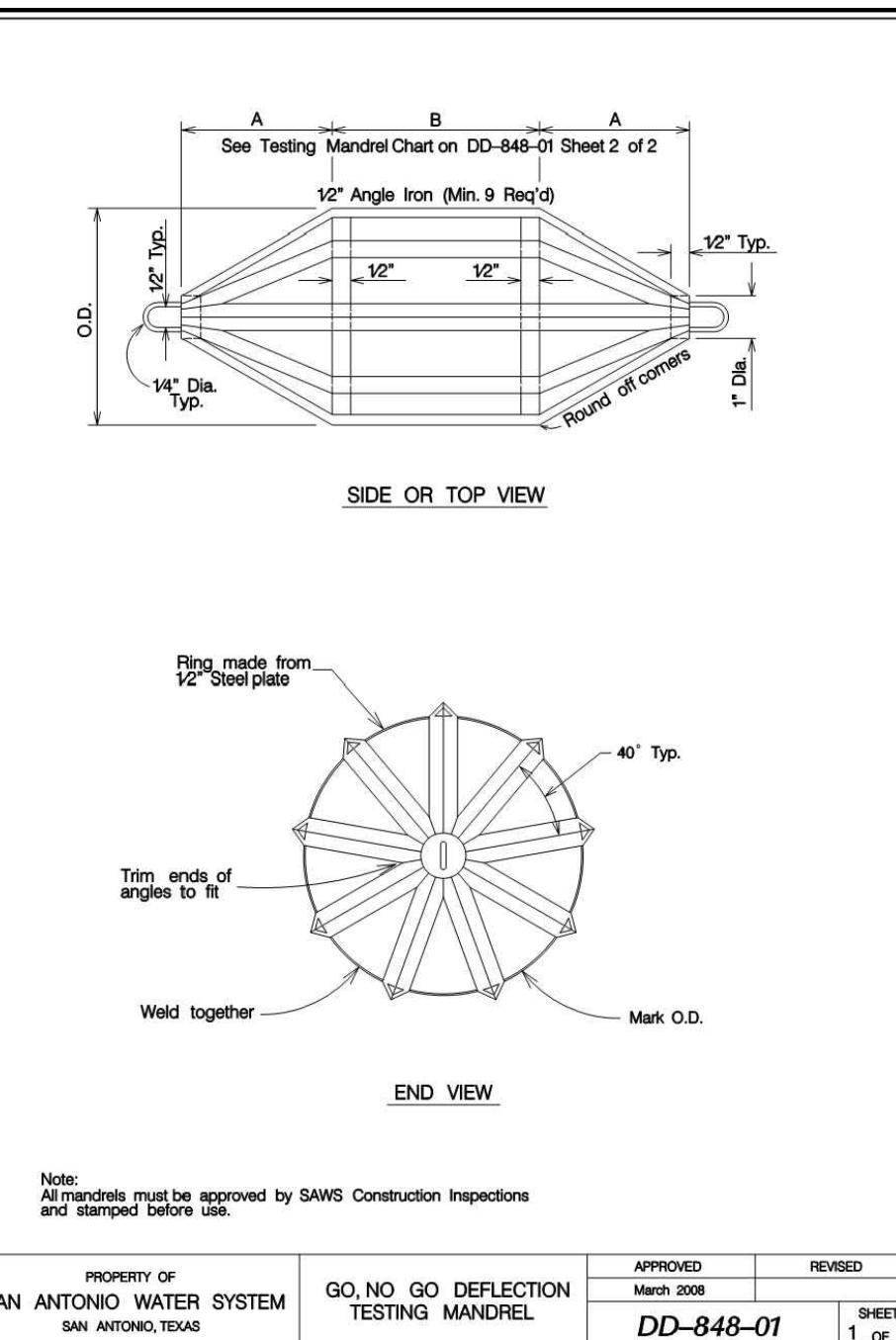
NOTE:
FOR 2'x2' GRATE, CONTRACTOR IS TO INSTALL EAST JORDAN IRON WORKS (EJ) MODEL 5424 ADA GRATE (OPEN AREA = 0.84 SF) OR EQUIVALENT.

TRAFFIC GRATE PLAN VIEW

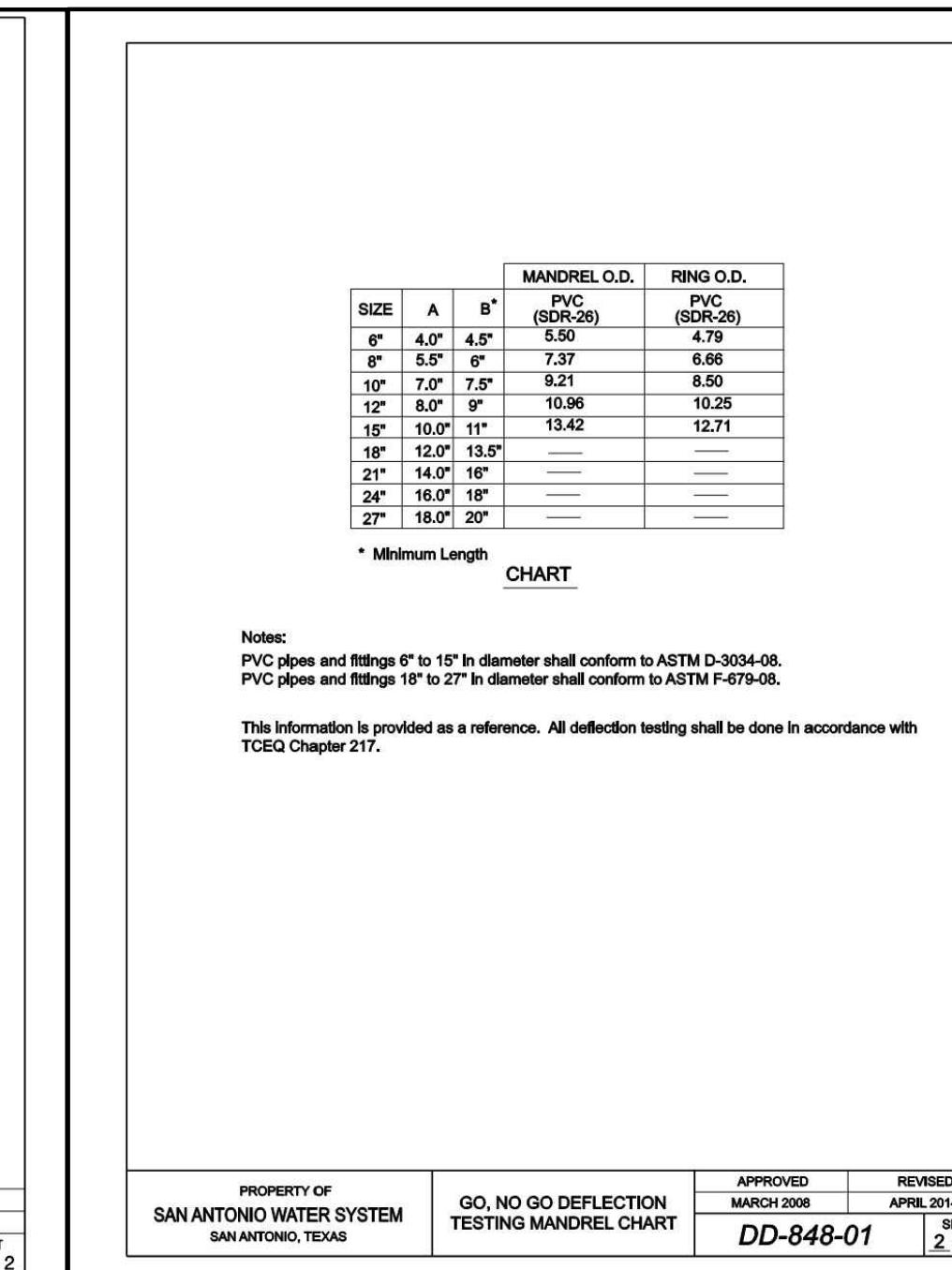




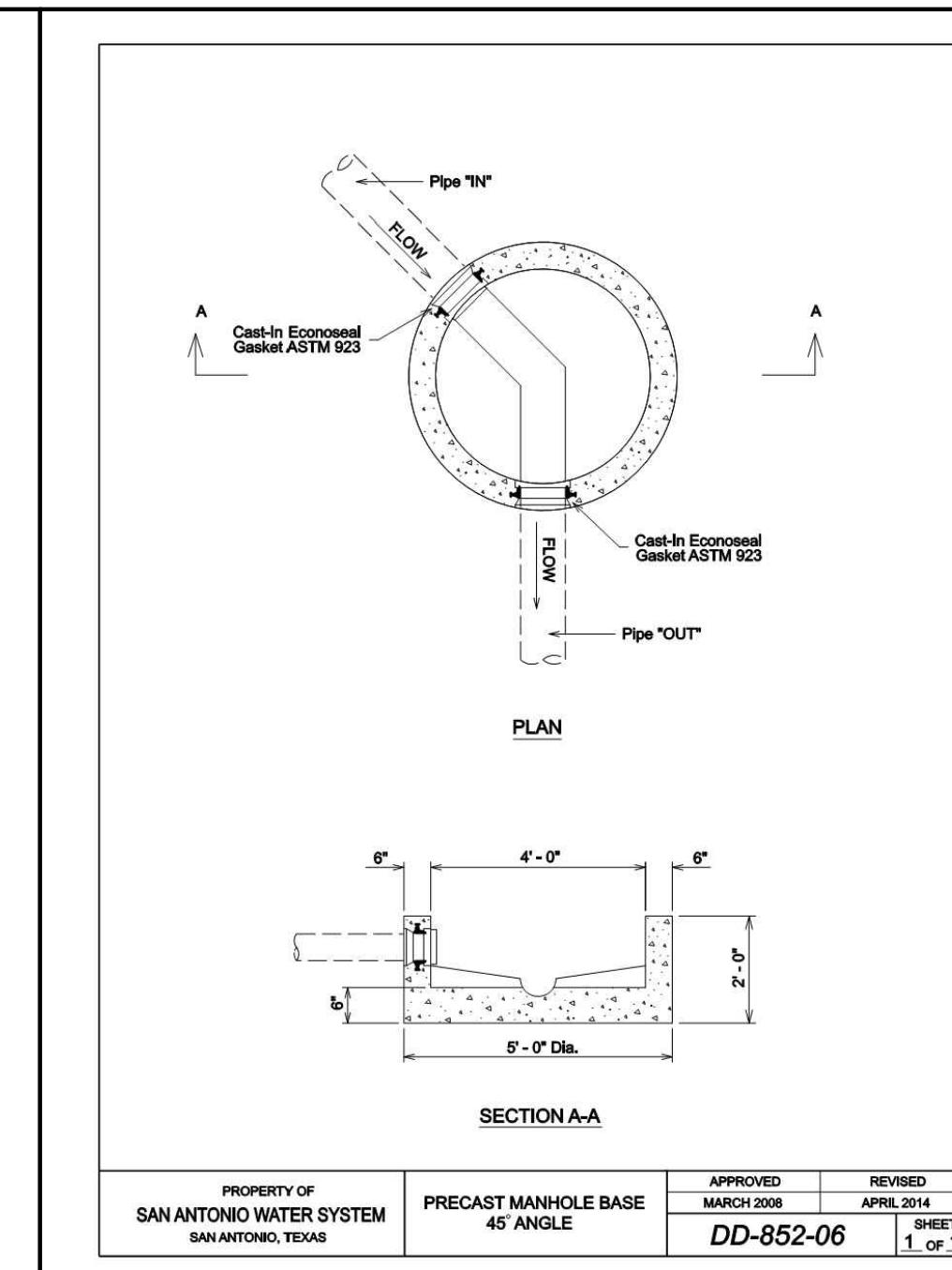
SANITARY SEWER GATE VALVE CAP
NOT TO SCALE



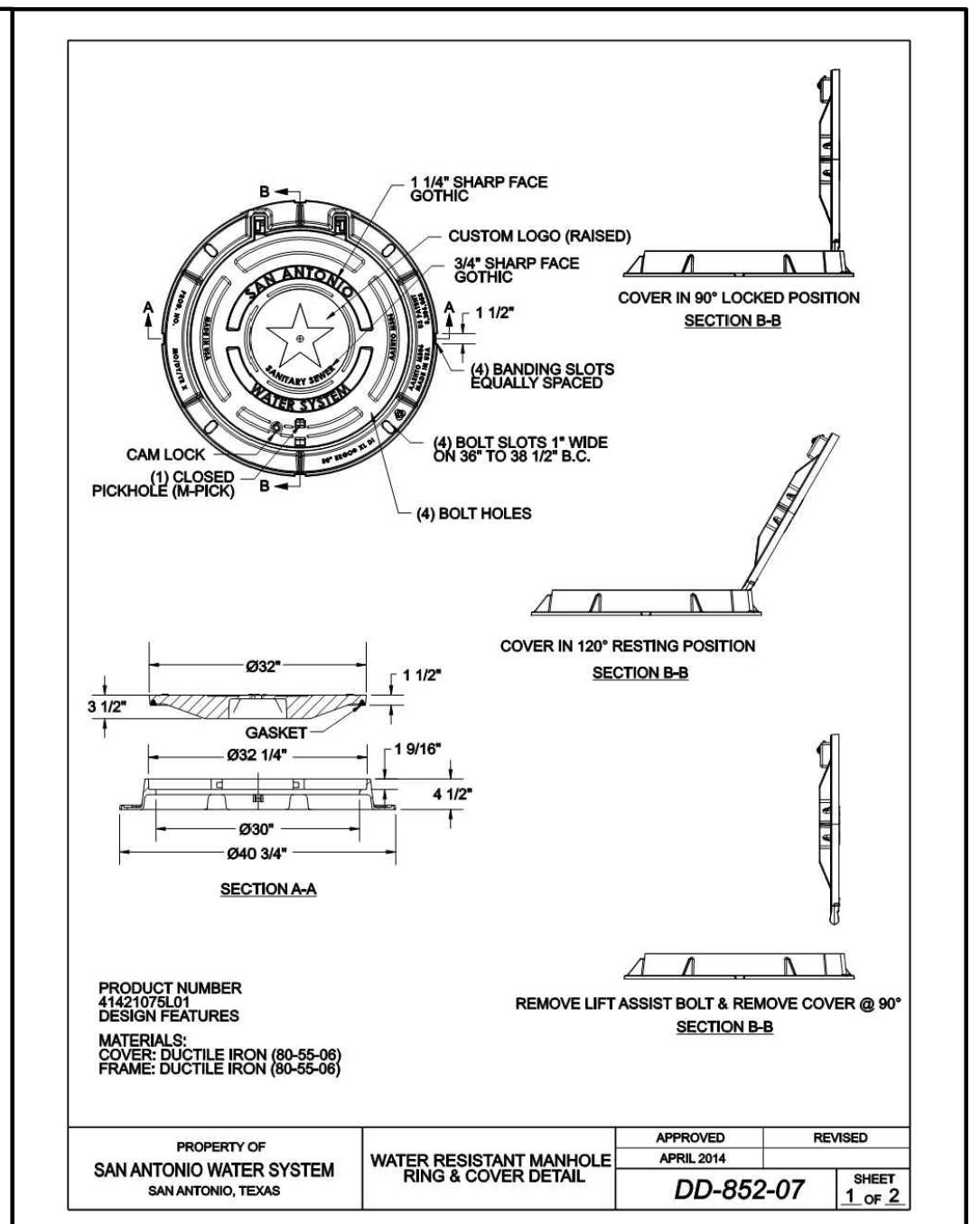
PROPERTY OF SAN ANTONIO WATER SYSTEM GO, NO GO DEFLECTION TESTING MANDREL APPROVED MARCH 2008 REVISED MARCH 2008 SHEET 1 of 2



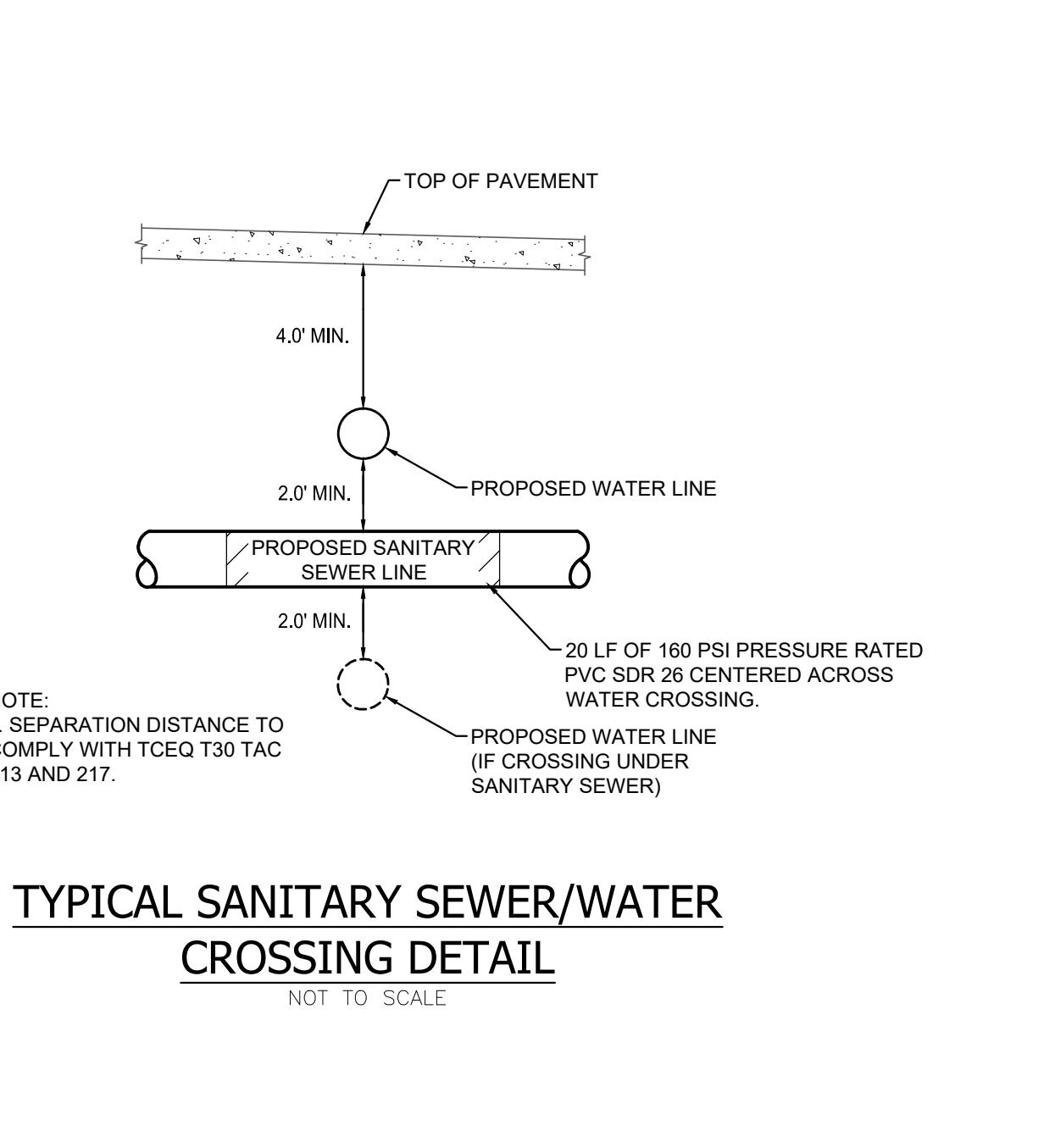
PROPERTY OF SAN ANTONIO WATER SYSTEM GO, NO GO DEFLECTION TESTING MANDREL APPROVED MARCH 2008 REVISED APRIL 2014 SHEET 2 of 2



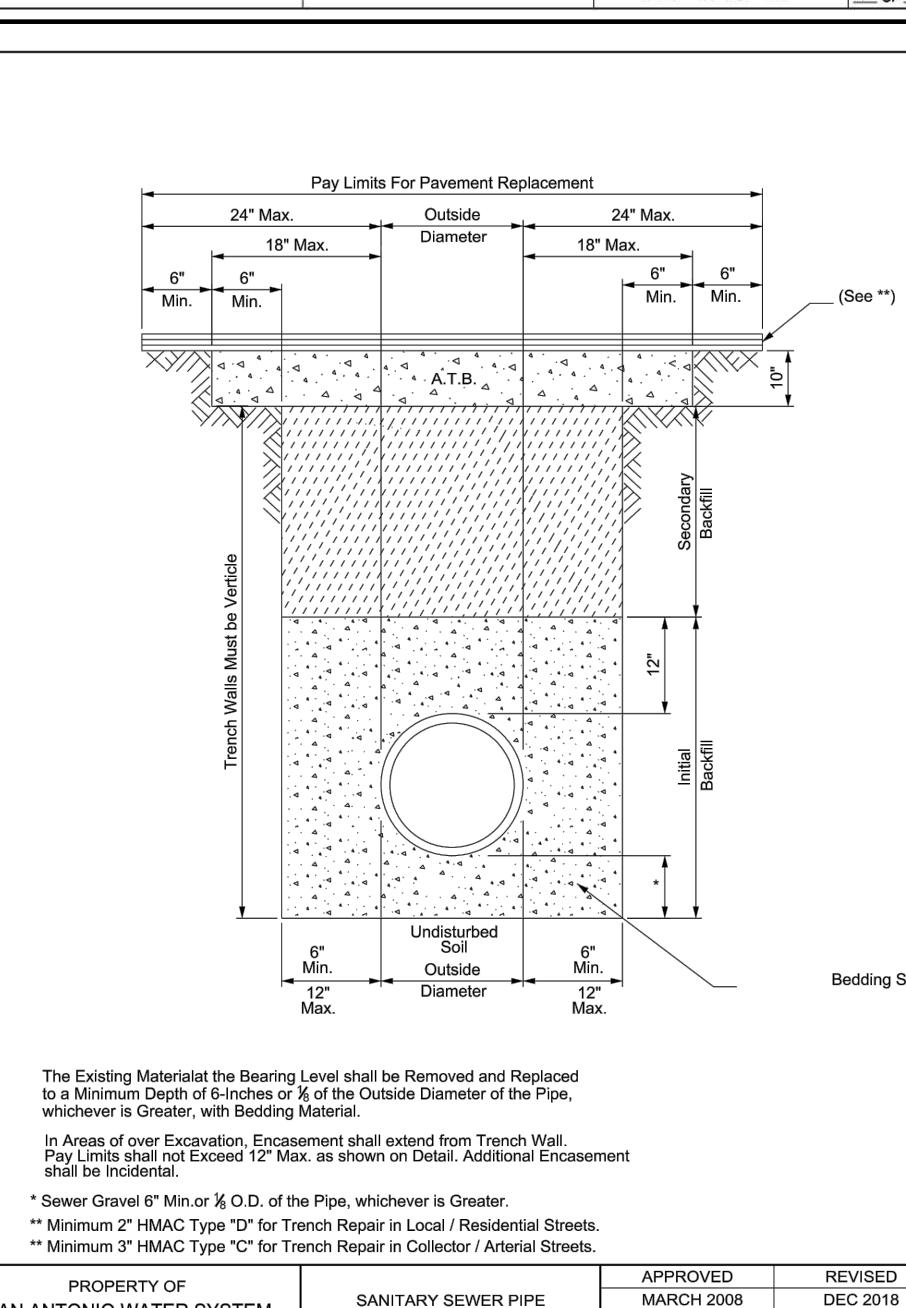
PROPERTY OF SAN ANTONIO WATER SYSTEM PRECAST MANHOLE BASE 45 ANGLE APPROVED MARCH 2008 REVISED APRIL 2014 SHEET 1 of 1



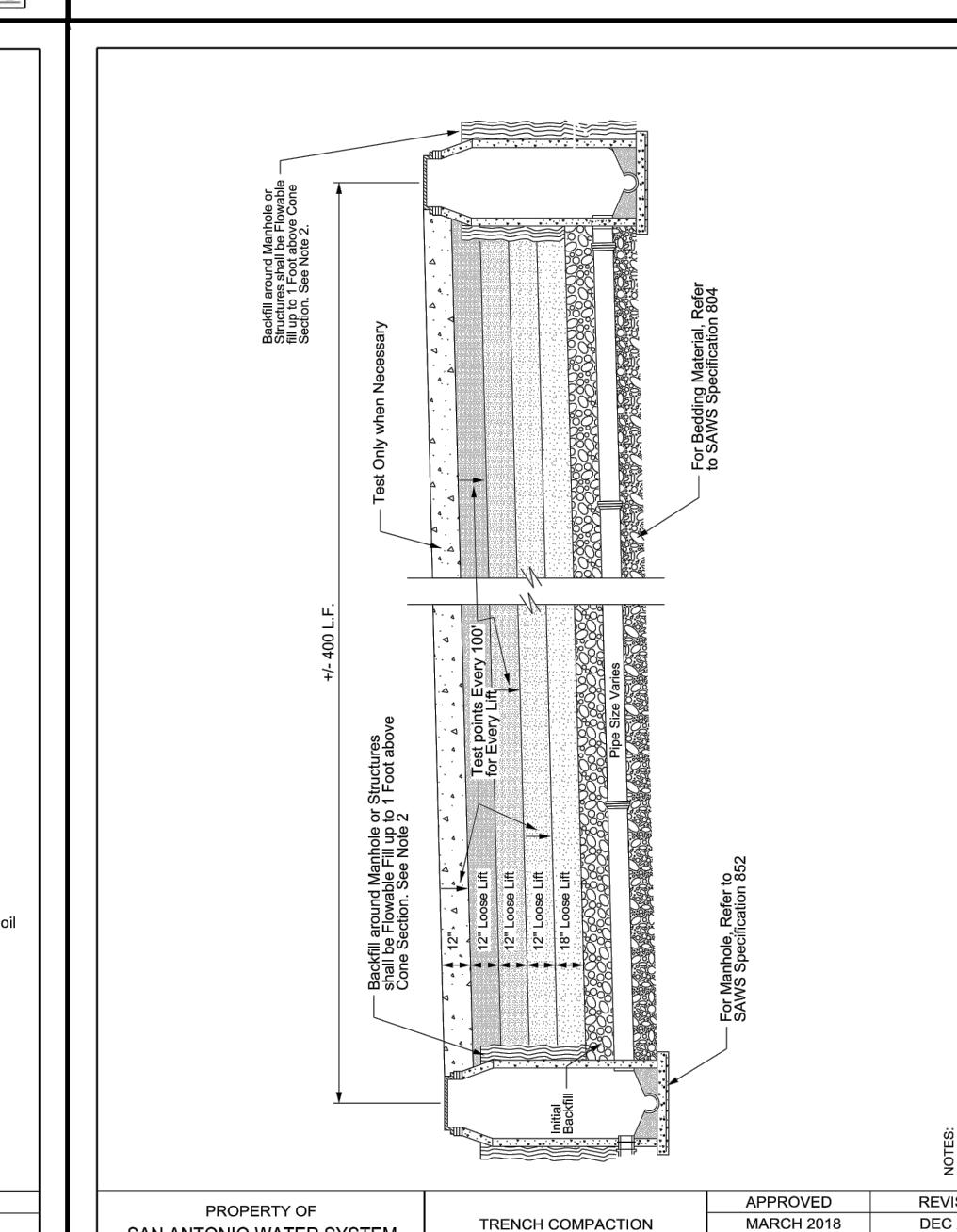
PROPERTY OF SAN ANTONIO WATER SYSTEM WATER RESISTANT MANHOLE RING & COVER DETAIL APPROVED APRIL 2014 REVISED APRIL 2014 SHEET 1 of 2



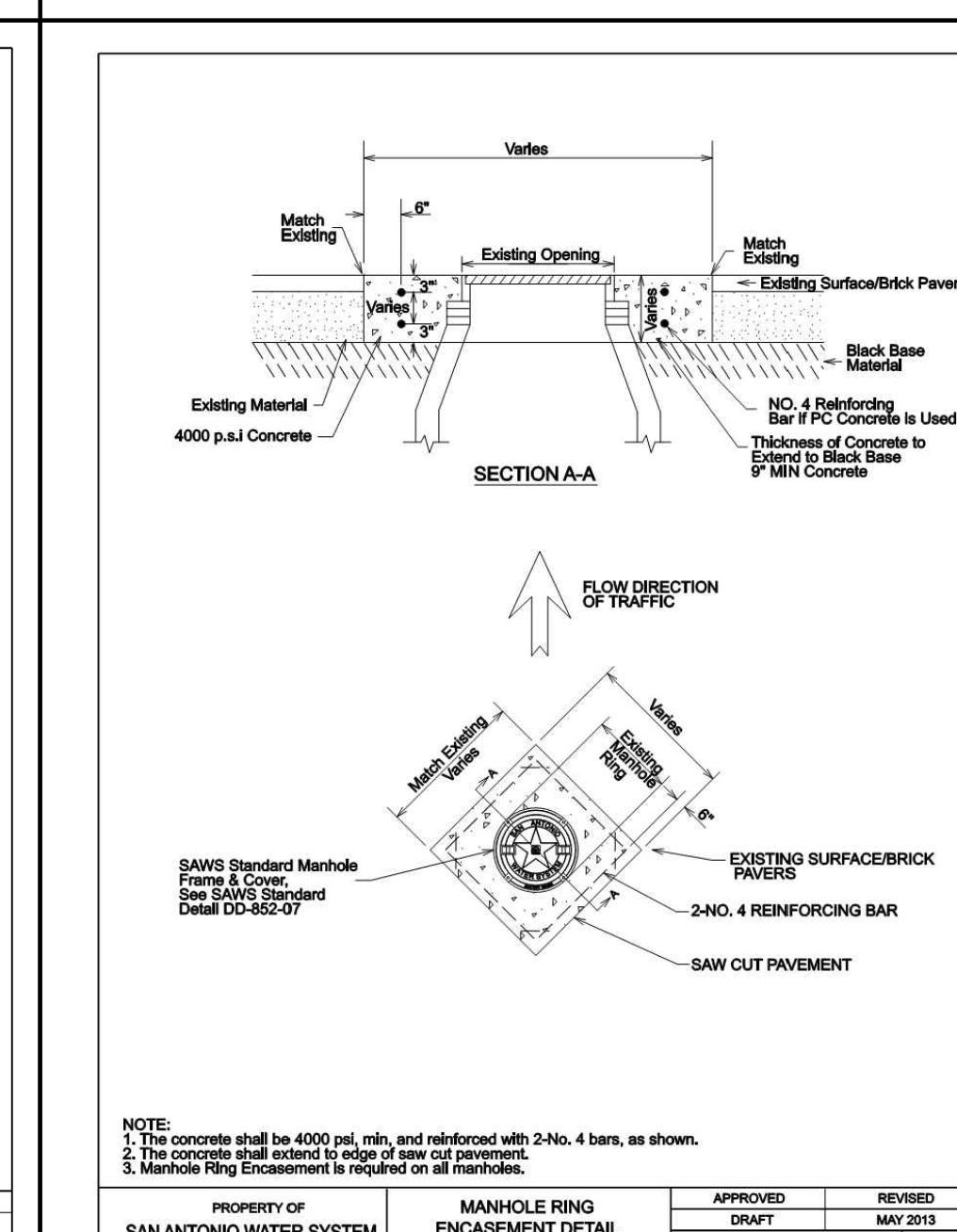
TYPICAL SANITARY SEWER/WATER CROSSING DETAIL
NOT TO SCALE



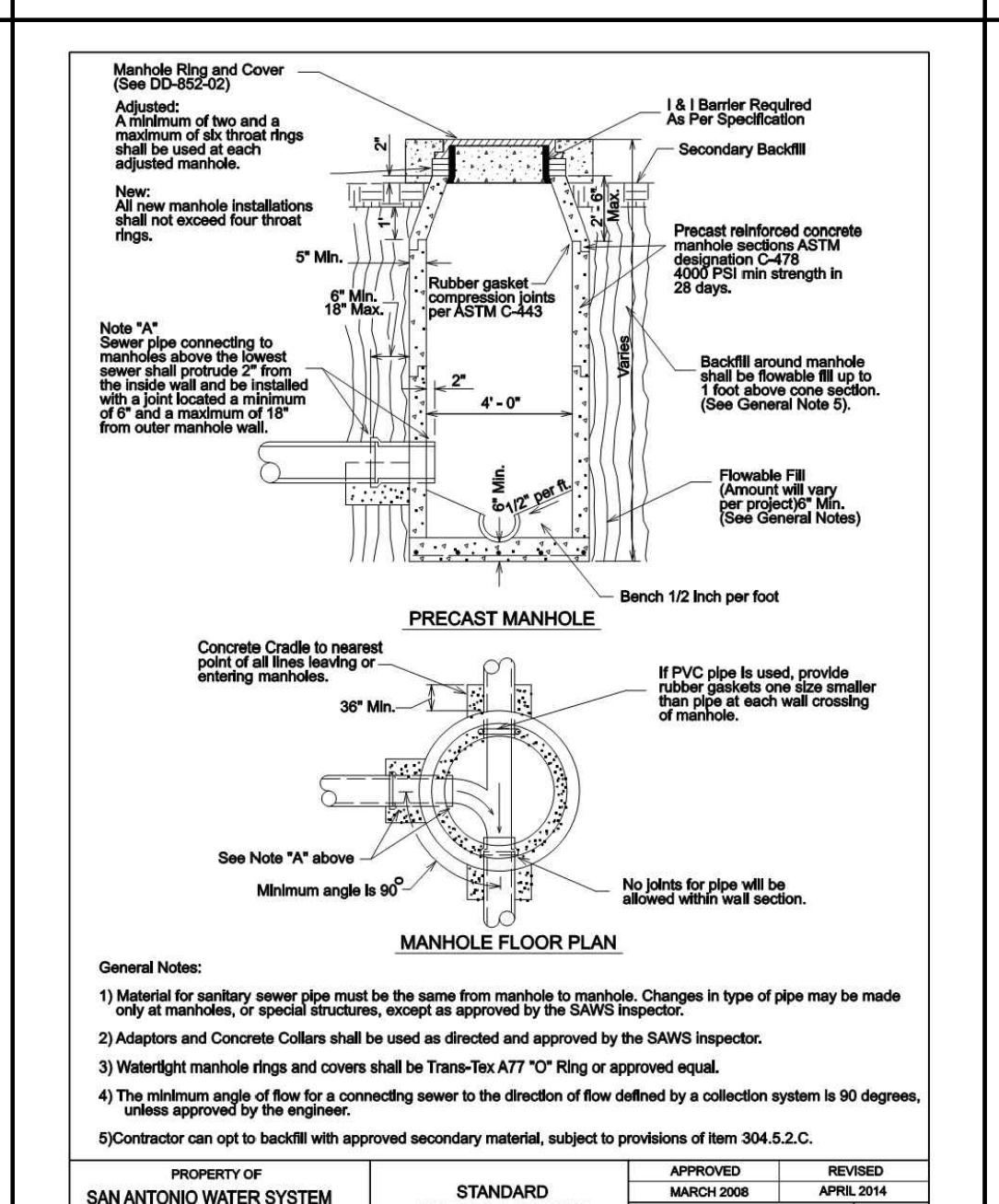
PROPERTY OF SAN ANTONIO WATER SYSTEM SANITARY SEWER PIPE LAID IN TRENCH APPROVED MARCH 2008 REVISED DECEMBER 2010 SHEET 1 of 1



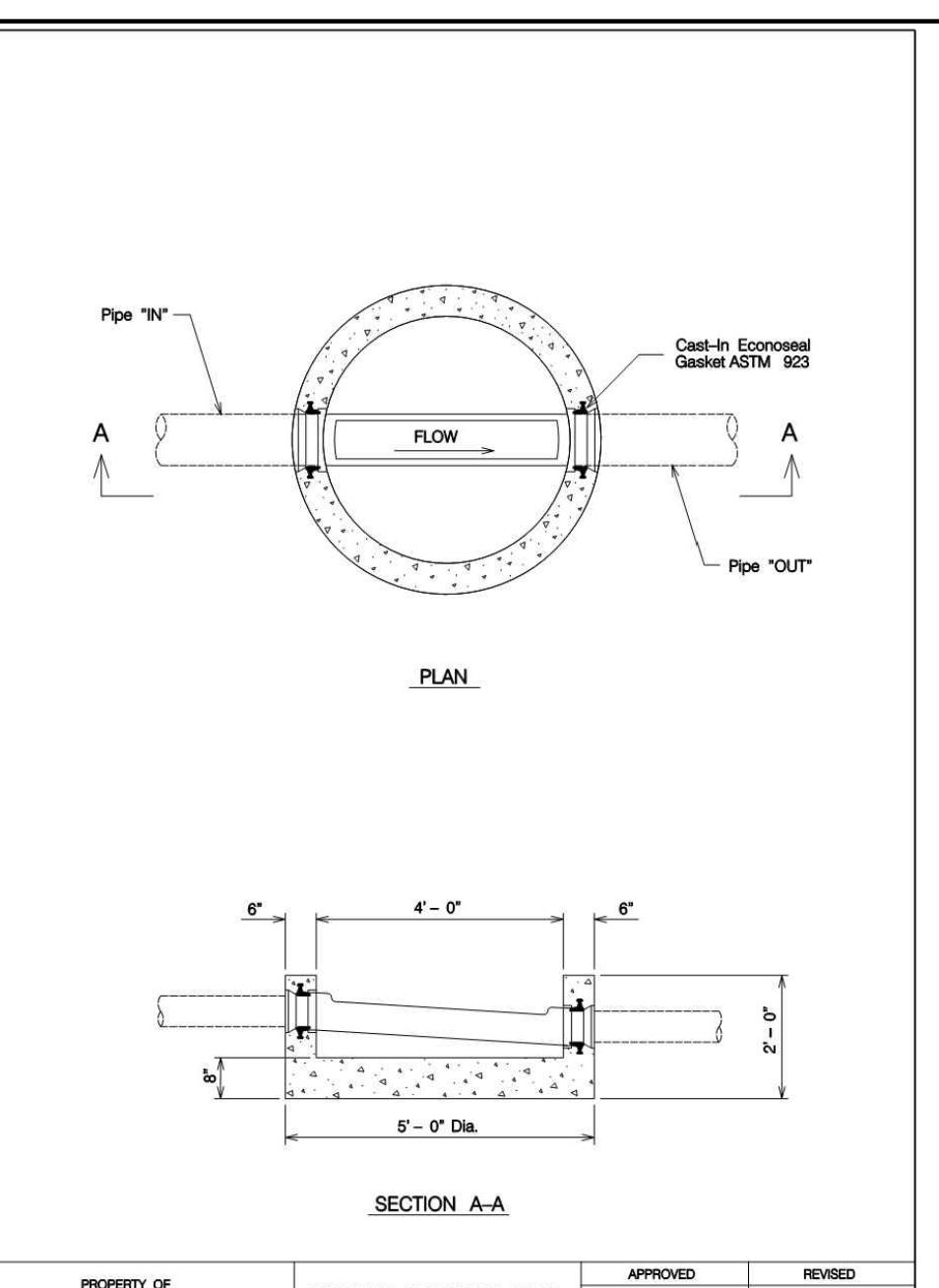
PROPERTY OF SAN ANTONIO WATER SYSTEM TRENCH COMPACTION DETAIL APPROVED MARCH 2010 REVISED DECEMBER 2010 SHEET 1 of 1



PROPERTY OF SAN ANTONIO WATER SYSTEM MANHOLE RING ENCASEMENT DETAIL (DOWNTOWN LOCATIONS ONLY) APPROVED DRAFT MAY 2010 REVISED MAY 2010 SHEET 2 of 2



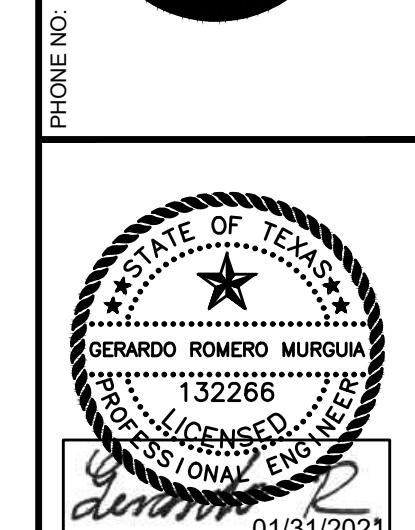
PROPERTY OF SAN ANTONIO WATER SYSTEM STANDARD PRECAST MANHOLE APPROVED MARCH 2008 REVISED APRIL 2014 SHEET 1 of 1



PROPERTY OF SAN ANTONIO WATER SYSTEM PRECAST MANHOLE BASE STRAIGHT APPROVED MARCH 2008 REVISED APRIL 2014 SHEET 1 of 1

FRM NO. F-15085	ISSUE FOR PERMIT SET (REVISED)
	2 10/14/2020
	1 11/25/2020
	INTEREST REVIEW SET
	DATE

WG WGinc.com



01/01/2021

CATTLEMAN SQUARE LOFTS
811 WEST HOUSTON STREET
SAN ANTONIO, TEXAS 78207

WASTEWATER DETAILS
PROJECT: C700
SHEET TITLE: C700
SHEET: 20 OF 21
HUD NO. 115-35930

