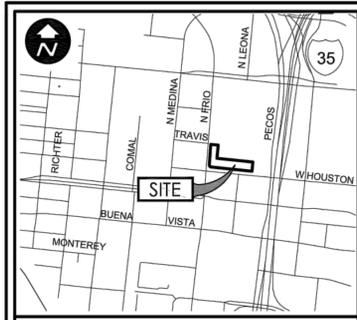
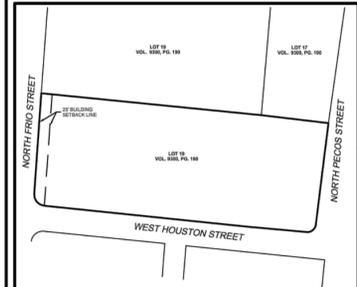


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FILENAME: P:\Projects\0820 - Alamo Community Group\10.003 - 811 W Houston St MP\01 - Chk\12-Plot\0820.10.003_811 E Houston Plat.dwg
 C:\Users\jmurphy\OneDrive\Documents\0820 - Alamo Community Group\10.003 - 811 W Houston St MP\01 - Chk\12-Plot\0820.10.003_811 E Houston Plat.dwg



LOCATION MAP
NOT TO SCALE



AREA BEING REPLATTED WITH WRITTEN NOTIFICATION
AREA BEING REPLATTED HAS BEEN PREVIOUSLY BEEN PLATTED AS 1.571 ACRE TRACT OF LAND OUT OF LOT 18, BLOCK 27, NEW CITY BLOCK 286, VISTA VERDE PROJECT TEX R-109 UNIT 7A, A SUBDIVISION REPLAT IN SAN ANTONIO, BEAR COUNTY TEXAS, AS RECORDED IN VOLUME 9300, PAGE 190, OF THE DEED AND PLAT RECORDS OF BEAR COUNTY, TEXAS.

LEGEND

- = PLATTED BOUNDARY
- - - = EXISTING BOUNDARY
- +— = CENTERLINE
- = (IPF) (IRF) FND 1/2" IRON PIN UNLESS OTHERWISE NOTED
- = (IPS) SET 1/2" IRON PIN W/ A PLASTIC CAP STAMPED "DAM #348 PROP. COR." UNLESS OTHERWISE NOTED
- x = "X" FOUND ON CONCRETE
- E.G.T.C. = ELECTRIC, GAS, TELE, & CABLE TV
- OPRBC = OFFICIAL PUBLIC RECORDS OF BEAR COUNTY TEXAS
- DPRBC = DEED AND PLAT RECORDS OF BEAR COUNTY TEXAS
- RPRBC = REAL PROPERTY RECORDS OF BEAR COUNTY TEXAS
- = EXISTING CONTOUR
- - - = EASEMENT
- Ac. = ACRE
- SF = SQUARE FEET
- BLDG. = BUILDING
- NCB = NEW CITY BLOCK
- VOL. = VOLUME
- PG. = PAGE
- COSA = CITY OF SAN ANTONIO
- ORD. = ORDINANCE

STATE OF TEXAS
COUNTY OF BEAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS, AND DRAINAGE LAYOUT, TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

WGL, INC.
GERARDO ROMERO MURGUIA, P.E.
LICENSED PROFESSIONAL ENGINEER
NO. 132269 - STATE OF TEXAS

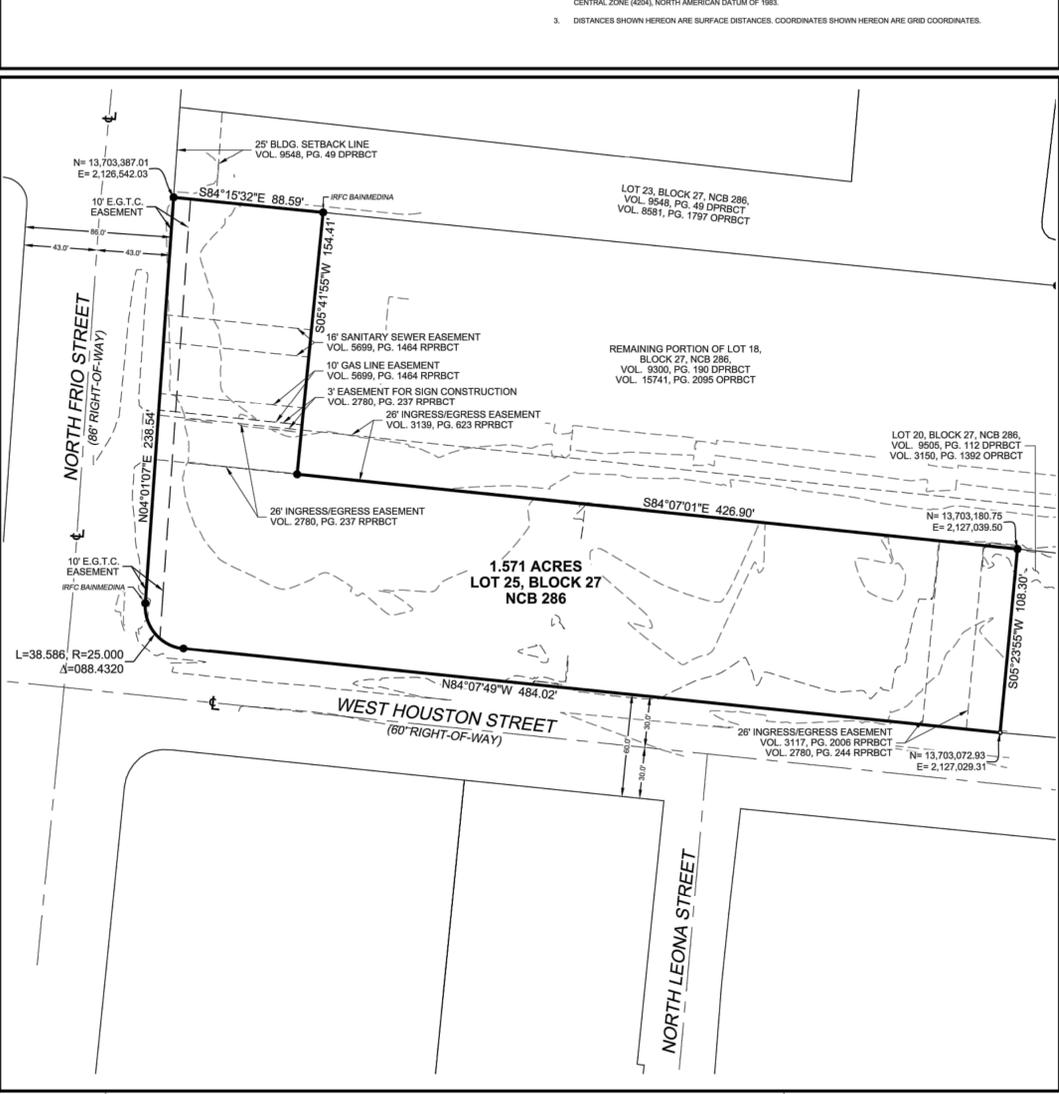
STATE OF TEXAS
COUNTY OF COMAL

I HEREBY CERTIFY THAT THIS PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY:

D.A. MAWYER LAND SURVEYING, INC.
DREW A. MAWYER, R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 8348 - STATE OF TEXAS

- CPS/SANS/COSA UTILITY NOTES:**
- THE CITY OF SAN ANTONIO AS A PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEM (SAWS) IS HEREBY DEDICATING THE EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT", "ANCHOR EASEMENT", "SERVICE EASEMENT", "GAS EASEMENT", "OVERHANG EASEMENT", "UTILITY EASEMENT", "TRANSFORMER EASEMENT", "WATER SEWER EASEMENT", AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID AREAS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES, NO BUILDINGS, STRUCTURES, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.
 - ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENT, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.
 - THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.
 - CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.
 - ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.
- GENERAL NOTES:**
- THE MAINTENANCE OF ALL PRIVATE STREETS, OPEN SPACES, GREENBELTS, PARKS, TREE SAVES AREAS, DRAINAGE EASEMENTS AND EASEMENTS OF ANY NATURE WITHIN THIS SUBDIVISION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS, OR THE PROPERTY OWNERS ASSOCIATION, OR ITS SUCCESSORS OR ASSIGNS AND NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO OR BEAR COUNTY.
 - THIS PROPERTY IS LOCATED WITHIN THE DIXON/MY HILL HISTORIC DISTRICT. ANY FUTURE CONSTRUCTION WILL REQUIRE APPROVAL FROM THE HISTORIC AND DESIGN REVIEW COMMISSION. APPROVAL OF PLAT DOES NOT SUPERSEDE ANY REQUIREMENTS FOR DESIGN REVIEW OUTLINED IN ARTICLE VI OF THE UNIFIED DEVELOPMENT CODE.

- WASTEWATER EDU NOTE:**
THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDUs) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE UNDER THE PLAT NUMBER AT THE SAN ANTONIO WATER SYSTEM.
- IMPACT FEE PAYMENT NOTE:**
WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE CONNECTION.
- SAWS HIGH PRESSURE NOTE:**
A PORTION OF THE TRACT IS BELOW THE GROUND ELEVATION OF 643 FEET WHERE THE STATIC PRESSURE WILL NORMALLY EXCEED 80 PSI. AT ALL SUCH LOCATIONS, THE DEVELOPER OR BUILDER SHALL INSTALL, AT EACH LOT, ON THE CUSTOMER'S SIDE OF THE METER, AN APPROVED TYPE PRESSURE REGULATOR IN CONFORMANCE WITH THE PLUMBING CODE OF THE CITY OF SAN ANTONIO.
- SAWS DEDICATION NOTE:**
THE DEVELOPER DEDICATES THE SANITARY SEWER AND/OR WATER MAINS TO THE SAN ANTONIO WATER SYSTEM UPON COMPLETION BY THE DEVELOPER AND ACCEPTANCE BY THE SAN ANTONIO WATER SYSTEM.
- FLOODPLAIN NOTE:**
NO PORTION OF THE FEMA 1% ANNUAL CHANCE (100-YEAR) FLOODPLAIN EXISTS WITHIN THIS PLAT AS VERIFIED BY FEMA MAP PANEL: 480202096G, EFFECTIVE 9/29/2010. FLOODPLAIN INFORMATION IS SUBJECT TO CHANGES RESULT OF FUTURE FEMA MAP REVISIONS AND/OR AMENDMENTS.
- SHARED CROSS ACCESS NOTE:**
OWNERS SHALL PROVIDE SHARED CROSS ACCESS WITH ADJACENT LOTS IN ACCORDANCE WITH COSA UNIFIED DEVELOPMENT CODE SECTION 35-509 (I)(3).
- FRONTAGE NOTE:**
NO STRUCTURE, FENCES, WALLS, OR OTHER OBSTRUCTION SHALL BE PLACED WITHIN THE LIMITS OF THE INGRESS/EGRESS EASEMENT SHOWN ON THIS PLAT PER COSA UNIFIED DEVELOPMENT CODE SECTION 35-515 (c)(4).
- SURVEYOR'S NOTES:**
- PROPERTY CORNERS ARE MONUMENTED WITH IRON PINS WITH A PLASTIC CAP STAMPED "DAM #348 PROP. COR." UNLESS OTHERWISE NOTED.
 - COORDINATES AND BEARINGS SHOWN HEREON ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, FOR THE SOUTH CENTRAL ZONE (68N), NORTH AMERICAN DATUM OF 1983.
 - DISTANCES SHOWN HEREON ARE SURFACE DISTANCES. COORDINATES SHOWN HEREON ARE GRID COORDINATES.



PLAT NO. 20-1180007

REPLAT ESTABLISHING CATTLEMAN SQUARE LOFTS
BEING A TOTAL OF 1.571 ACRES OF LAND KNOWN AS LOT 25, BLOCK 27, NEW CITY BLOCK 286, SITUATED IN THE CITY OF SAN ANTONIO, BEAR COUNTY, TEXAS AS RECORDED IN DOC. 20190214498 OF THE OFFICIAL PUBLIC RECORDS OF BEAR COUNTY, TEXAS.

WGL WGLinc.com
SCALE: 1"=50'
DATE: OCTOBER 2021 JOB: 082003

D.A. MAWYER LAND SURVEYING, INC.
DREW A. MAWYER, R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 8348 - STATE OF TEXAS

STATE OF TEXAS
COUNTY OF BEAR

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

BY: OWNER/DEVELOPER
ACC CATTLEMAN SQUARE LOFTS GP, LLC
JENNIFER GONZALEZ
4608 CENTERVIEW DR., SUITE 170
SAN ANTONIO, TEXAS 78228
(210) 731-6030

STATE OF TEXAS
COUNTY OF BEAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED JENNIFER GONZALEZ, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE
THIS _____ DAY OF _____, 2021

NOTARY PUBLIC, BEAR COUNTY, TEXAS

THIS PLAT OF CATTLEMAN SQUARE LOFTS HAS BEEN SUBMITTED TO THE CITY OF SAN ANTONIO, TEXAS, AND HAVING BEEN REVIEWED BY THE DIRECTOR OF DEVELOPMENT SERVICES IS HEREBY APPROVED BY IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS; AND/OR WHERE ADMINISTRATIVE EXCEPTIONS HAVE BEEN GRANTED.

DATED THIS _____ DAY OF _____ A.D., 2021.

BY: _____
DIRECTOR OF DEVELOPMENT SERVICES

STATE OF TEXAS
COUNTY OF BEAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS, AND DRAINAGE LAYOUT, TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION.

WGL, INC.
GERARDO ROMERO MURGUIA, P.E.
LICENSED PROFESSIONAL ENGINEER
NO. 132269 - STATE OF TEXAS

STATE OF TEXAS
COUNTY OF COMAL

I HEREBY CERTIFY THAT THIS PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY:

D.A. MAWYER LAND SURVEYING, INC.
DREW A. MAWYER, R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 8348 - STATE OF TEXAS

P:\Projects\0820 - Alamo Community Group\10.003 - 811 W Houston St MP\01 - Chk\12-Plot\0820.10.003_811 E Houston Plat.dwg

PROJECT: CATTLEMAN SQUARE LOFTS
811 WEST HOUSTON STREET
SAN ANTONIO, TEXAS 78207

SHEET TITLE: FINAL PLAT

SHEET: C003
03 OF 21

HUD NO. 115-35930

WGL WGLinc.com
SELECT CORRECT ADDRESS FROM DROPDOWN

PHONE NO: 512-326-1111

01/31/2021

CAUTION:
CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGITEST @ 1-800-DIG-TEST FOR LOCATION OF ALL UTILITIES, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.

DEMOLITION NOTES

- EROSION/SEDIMENTATION CONTROL AND TREE PROTECTION MUST BE INSTALLED PRIOR TO ANY DEMOLITION. REFERENCE EROSION & SEDIMENTATION CONTROL PLAN SHEET.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG TEST" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN PER THE APPROPRIATE REMEDIAL ACTION AGREED UPON BY THE ENGINEER.
- WHERE A STATE OR LOCAL MUNICIPAL STANDARD DETAIL DUPLICATES A DETAIL SHOWN IN THE PLANS, THE MORE STRINGENT DETAIL, AS DETERMINED BY THE REVIEWING AGENCY, SHALL APPLY.
- NO SITE DISTURBANCE SHALL OCCUR UNTIL THE PRECONSTRUCTION MEETING WITH THE ENVIRONMENTAL INSPECTOR IS HELD.
- ALL DEMOLITION OF EXISTING CURBING AND SIDEWALKS MUST BE DONE BY HAND WHEN WORKING WITHIN THE 1/2 CRITICAL ROOT ZONE OF EXISTING TREES.
- TREE PROTECTION FENCE MOVED DURING CONSTRUCTION MUST BE RE-INSTATED AS SOON AS DEMOLITION WORK IS COMPLETED. ANY WORK DONE WITHIN THE TREE PROTECTION FENCE AREA MUST NOT IMPACT TREES; NO ROOT DAMAGE AND NO BRANCH OR TRUNK DAMAGE. ADD A 12" LAYER OF MULCH WITHIN THE TREE PROTECTION FENCE AREA PRIOR TO CONDUCTING ANY WORK INSIDE FENCE AREA.
- LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN.
- PAVEMENT REPAIR LIMITS WILL BE DETERMINED BY CITY OF SAN ANTONIO PUBLIC WORKS (COSA PW) DISCRETION AT THE TIME OF CONSTRUCTION. CONTRACTOR TO REFERENCE CITY OF SAN ANTONIO UTILITY EXCAVATION CRITERIA MANUEL (UECM) FOURTH EDITION EDITION FOR GENERAL REQUIREMENTS AND PROCEDURES FOR EXCAVATION IN CITY OF SAN ANTONIO PUBLIC RIGHT-OF-WAYS.

OVERALL SITE NOTES

ZONING: DOWNTOWN (D); HISTORIC DISTRICT (H); HISTORIC LANDMARK SITES (HS)

FLOODPLAIN:
A PORTION OF THIS PROPERTY IS LOCATED WITHIN ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD, THAT HAS A 1% CHANCE OF BEING EQUALED OR EXCEEDED IN ANY GIVEN YEAR. THE SPECIAL FLOOD HAZARD AREA IS THE AREA SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD, AS SHOWN ON F.I.R.M. PANEL NO. 48029C0395G, BEAR COUNTY, TEXAS DATED SEPTEMBER 29, 2019.

WATERSHED:
THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

BENCHMARKS:
CP #1: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 143.4' OF THE NORTHEAST OF THE PROPERTY CORNER ELEV = 656.19
CP #2: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 520.2' OF THE NORTHEAST OF THE PROPERTY CORNER ELEV = 655.03
CP #3: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 458.3' OF THE EAST OF THE PROPERTY CORNER ELEV = 653.78
CP #4: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 364.6' OF THE SOUTHEAST OF THE PROPERTY CORNER ELEV = 653.27
CP #5: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 32.9' OF THE EAST OF THE PROPERTY CORNER ELEV = 655.47

LEGAL DESCRIPTION:
BEING 1.571 ACRES OF LAND OUT OF LOT 25, BLOCK 27, NEW CITY BLOCK 206, SITUATED IN THE CITY OF SAN ANTONIO, BEAR COUNTY, TEXAS, AS RECORDED IN DOC. 20190214498 OF THE OFFICIAL PUBLIC RECORDS OF BEAR COUNTY, TEXAS.

HISTORIC:
THIS SITE IS LOCATED WITHIN THE CATTLEMAN SQUARE HISTORICAL DISTRICT. THE SITE CONTAINS A HISTORICAL BUILDING (TALERICO STORE AND HOMESTEAD). EXERCISE CAUTION WHILE WORKING IN THIS AREA.

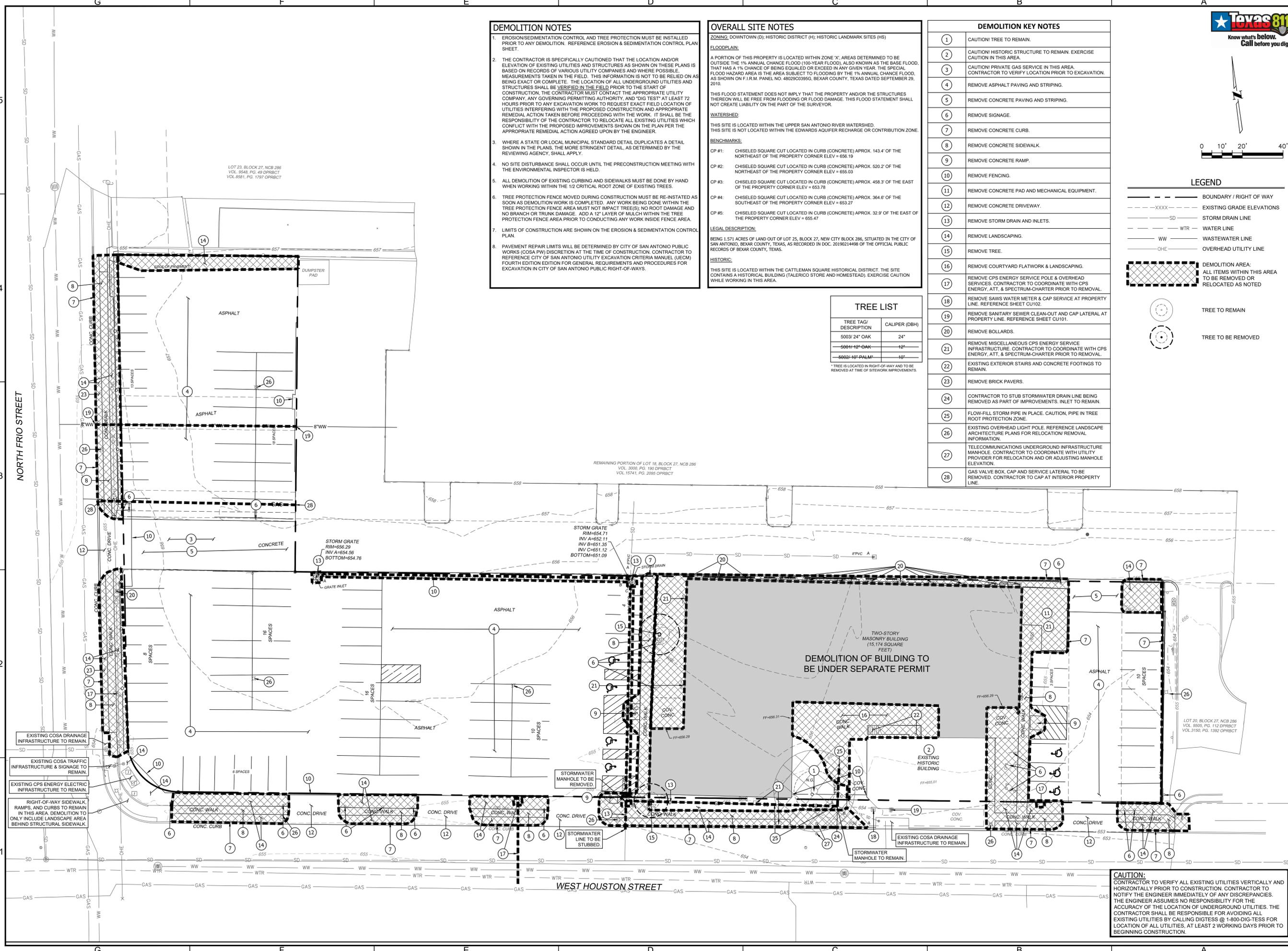
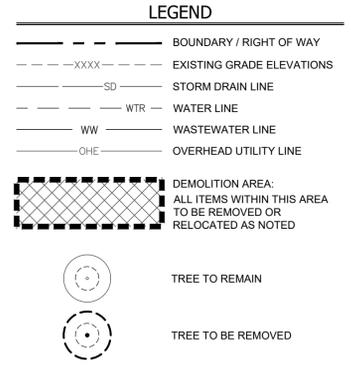
DEMOLITION KEY NOTES

1	CAUTION! TREE TO REMAIN.
2	CAUTION! HISTORIC STRUCTURE TO REMAIN. EXERCISE CAUTION IN THIS AREA.
3	CAUTION! PRIVATE GAS SERVICE IN THIS AREA. CONTRACTOR TO VERIFY LOCATION PRIOR TO EXCAVATION.
4	REMOVE ASPHALT PAVING AND STRIPING.
5	REMOVE CONCRETE PAVING AND STRIPING.
6	REMOVE SIGNAGE.
7	REMOVE CONCRETE CURB.
8	REMOVE CONCRETE SIDEWALK.
9	REMOVE CONCRETE RAMP.
10	REMOVE FENCING.
11	REMOVE CONCRETE PAD AND MECHANICAL EQUIPMENT.
12	REMOVE CONCRETE DRIVEWAY.
13	REMOVE STORM DRAIN AND INLETS.
14	REMOVE LANDSCAPING.
15	REMOVE TREE.
16	REMOVE COURTYARD FLATWORK & LANDSCAPING.
17	REMOVE CPS ENERGY SERVICE POLE & OVERHEAD SERVICES. CONTRACTOR TO COORDINATE WITH CPS ENERGY, ATT, & SPECTRUM-CHARTER PRIOR TO REMOVAL.
18	REMOVE SAWS WATER METER & CAP SERVICE AT PROPERTY LINE. REFERENCE SHEET CU102.
19	REMOVE SANITARY SEWER CLEAN-OUT AND CAP LATERAL AT PROPERTY LINE. REFERENCE SHEET CU101.
20	REMOVE BOLLARDS.
21	REMOVE MISCELLANEOUS CPS ENERGY SERVICE INFRASTRUCTURE. CONTRACTOR TO COORDINATE WITH CPS ENERGY, ATT, & SPECTRUM-CHARTER PRIOR TO REMOVAL.
22	EXISTING EXTERIOR STAIRS AND CONCRETE FOOTINGS TO REMAIN.
23	REMOVE BRICK PAVERS.
24	CONTRACTOR TO STUB STORMWATER DRAIN LINE BEING REMOVED AS PART OF IMPROVEMENTS. INLET TO REMAIN.
25	FLOW-FILL STORM PIPE IN PLACE. CAUTION, PIPE IN TREE ROOT PROTECTION ZONE.
26	EXISTING OVERHEAD LIGHT POLE. REFERENCE LANDSCAPE ARCHITECTURE PLANS FOR RELOCATION/REMOVAL INFORMATION.
27	TELECOMMUNICATIONS UNDERGROUND INFRASTRUCTURE MANHOLE. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER FOR RELOCATION AND/OR ADJUSTING MANHOLE ELEVATION.
28	GAS VALVE BOX, CAP AND SERVICE LATERAL TO BE REMOVED. CONTRACTOR TO CAP AT INTERIOR PROPERTY LINE.

TREE LIST

TREE TAG/ DESCRIPTION	CALIPER (DBH)
5003J 24" OAK	24"
5001H 12" OAK	12"
5002I 10" PALM	10"

* TREE IS LOCATED IN RIGHT-OF-WAY AND TO BE REMOVED AT TIME OF SITEWORK IMPROVEMENTS.



CAUTION:
CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGITEST @ 1-800-DIG-TEST FOR LOCATION OF ALL UTILITIES. AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.

PROJECT: CATTLEMAN SQUARE LOFTS
811 WEST HOUSTON STREET
SAN ANTONIO, TEXAS 78207

SHEET TITLE: DEMOLITION PLAN

SHEET: CD100
06 OF 21
HUD NO. 115-35930

PHONE NO: F-15085

WGL Inc. logo and contact information.

Professional Engineer Seal for Gerardo Romero Murguia, License No. 132266, State of Texas, dated 01/31/2021.

LAST MODIFIED: 03/20/2024
 PLOTTED BY: REGAN W. BRAND
 PLOTTED WITH DWG TO PDF PLOT
 PLOT STYLE: BRN.ctb

OVERALL SITE NOTES

ZONING: DOWNTOWN (D); HISTORIC DISTRICT (H); HISTORIC LANDMARK SITES (HS)

FLOODPLAIN:
 A PORTION OF THIS PROPERTY IS LOCATED WITHIN ZONE 'X'. AREAS DETERMINED TO BE OUTSIDE THE 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD, THAT HAS A 1% CHANCE OF BEING EQUALED OR EXCEEDED IN ANY GIVEN YEAR. THE SPECIAL FLOOD HAZARD AREA IS THE AREA SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD, AS SHOWN ON F.I.R.M. PANEL NO. 48029C03950, BEXAR COUNTY, TEXAS DATED SEPTEMBER 29, 2010.

THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

WATERSHED:
 THIS SITE IS LOCATED WITHIN THE UPPER SAN ANTONIO RIVER WATERSHED.
 THIS SITE IS NOT LOCATED WITHIN THE EDWARDS AQUIFER RECHARGE OR CONTRIBUTION ZONE.

BENCHMARKS:
 CP #1: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 143.4' OF THE NORTHEAST OF THE PROPERTY CORNER ELEV = 656.19
 CP #2: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 520.2' OF THE NORTHEAST OF THE PROPERTY CORNER ELEV = 655.03
 CP #3: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 458.3' OF THE EAST OF THE PROPERTY CORNER ELEV = 653.78
 CP #4: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 384.6' OF THE SOUTHEAST OF THE PROPERTY CORNER ELEV = 653.27
 CP #5: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 32.9' OF THE EAST OF THE PROPERTY CORNER ELEV = 655.47

LEGAL DESCRIPTION:
 BEING 1.571 ACRES OF LAND OUT OF LOT 25, BLOCK 27, NEW CITY BLOCK 286, SITUATED IN THE CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS, AS RECORDED IN DOC. 2019021498 OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS.

HISTORIC:
 THIS SITE IS LOCATED WITHIN THE CATTLEMAN SQUARE HISTORIC DISTRICT. THE SITE CONTAINS A HISTORICAL BUILDING (TALERICO STORE AND HOMESTEAD). EXERCISE CAUTION WHILE WORKING IN THIS AREA.

SITE PLAN KEY NOTES

1	SIDEWALK. SEE SITE PLAN FOR DIMENSIONS.	20	STANDARD TO FLUSH CURB TRANSITION. SEE SHEET C600.	36	ROOF DRAIN. REFERENCE SHEET CG100 FOR DRAINAGE CONNECTIVITY AND ARCHITECTURE PLANS FOR SPECIFICATION DETAIL.
2	MATCH EXISTING PAVEMENT. SEE SHEET CG100.	21	LANDSCAPE WALL. SEE SHEET CG100 FOR WALL ELEVATIONS. REFERENCE LANDSCAPE ARCHITECTURE PLANS FOR WALL SPECIFICATIONS AND DETAILS.	37	SITE LIGHTING. REFERENCE MEP ENGINEERING PLANS FOR DETAIL.
3	MATCH EXISTING GRADES FOR DRIVEWAY TIE-IN. SEE SHEET CG100.	22	FENCING. REFERENCE LANDSCAPE ARCHITECTURE PLANS.	38	8" WIDE WHITE (TYP.) REFLECTIVE THERMOPLASTIC TRAFFIC STRIPE & COSA BICYCLE LANE STRIPING. SEE SHEET C600 & C601.
4	FIRE STRIPING (TYP.) SEE SHEET CS200.	23	VEHICLE WHEEL STOPS. SEE SHEET C600.		
5	FIRE LANE NO PARKING SIGNAGE. SEE SHEET CS200.	24	LIGHT DUTY CONCRETE PAVEMENT. SEE SHEET C600.		
6	INSTALL 3x3" GRATE INLET. SEE SHEET CG200.	25	CONCRETE STAIRS.		
7	ADA STRIPING, SIGNAGE AND WHEELSTOP. SEE SHEET C600 FOR DETAIL.	26	PAVERS. REFERENCE LANDSCAPE ARCHITECTURE PLANS.		
8	PAVERS. REFERENCE LANDSCAPE ARCHITECTURE PLANS.	27	SIDEWALK BOX (DRAIN). SEE SHEET C601.		
9	CAUTION! EXISTING HISTORIC BUILDING TO REMAIN! EXERCISE CAUTION IN THIS AREA!	28	EXISTING UTILITY MANHOLE(S) & VAULT(S) ELEVATION TO BE ADJUSTED TO FINAL GRADE PER SHEET CG100.		
10	INSTALL 4x4" GRATE INLET (ACCESSIBLE GRATE). SEE SHEET CG200.	29	2x2' STORM JUNCTION BOX. SEE SHEET CG200.		
11	BOLLARDS. SEE SHEET C600 FOR DETAIL.	30	BUILDING FOUNDATION. REFERENCE STRUCTURAL AND ARCHITECTURAL PLANS. SEE SHEET CG100 (CIVIL SET) FOR FINISHED FLOOR ELEVATION.		
12	TIE INTO EXISTING CURB AND SIDEWALK.	31	TREE WELLS. REFERENCE LANDSCAPE ARCHITECTURE PLANS FOR DETAILS.		
13	CAUTION! PRIVATE 2-INCH STEEL GAS SERVICE IN THIS AREA! CONTRACTOR TO VERIFY LOCATION PRIOR TO SITE DISTURBANCE.	32	BIKE LANE SIGNAGE (TMUTCD R3-17). SEE SHEET C600.		
14	FLUSH CURB. SEE SHEET C600 FOR DETAIL.	33	AIR CONDITIONING CONDENSERS. REFERENCE ARCHITECTURE AND MEP PLANS FOR DETAILS.		
15	CPSE TRANSFORMER & TAP-BOX CONCRETE PAD AND RISER POLE. SEE SHEET CU103 FOR ADDITIONAL DETAIL.	34	LANDSCAPE AREA DRAIN. REFERENCE SHEET CG100 FOR DRAINAGE CONNECTIVITY AND LANDSCAPE ARCHITECTURE PLANS FOR SPECIFICATION DETAIL.		
16	HEAVY DUTY CONCRETE. SEE SHEET C600 FOR DETAIL.	35	BICYCLE RACK, INVERTED U-SHAPE. REFERENCE SHEET C600 FOR DETAIL.		
17	INSTALL 10' CURB INLET (PROTECTED). SEE SHEET CG200.				
18	STANDARD 6" CURB. SEE SHEET C600.				
19	STANDARD CURB RAMP. SEE SHEET C600.				

PARKING REQUIREMENTS*

COSA UDC 35-526, TABLE 526-3a

USE	UNITS	MINIMUM	MAXIMUM
MULTI-FAMILY	140	1.5 SPACES PER UNIT	2 SPACES PER UNIT
		210	280

BICYCLE PARKING REQUIREMENTS**

COSA UDC 35-526(B)(8)(9)

USE	UNITS	MINIMUM	MAXIMUM
MULTI-FAMILY	140	25% OF MIN. VEHICLE SPACE REQUIREMENT	24
		24	

ON-SITE PARKING SUMMARY

ON-SITE PARKING SPACES:	20
REGULAR ACCESSIBLE SPACES:	9
VAN ACCESSIBLE SPACES:	1
REGULAR SPACES:	10
BIKE SPACES:	4

*DOWNTOWN (D) ZONING WAIVES PARKING REQUIREMENTS
 **BICYCLE PARKING PROVIDED WITHIN STRUCTURE. REFERENCE ARCHITECTURAL DRAWINGS.

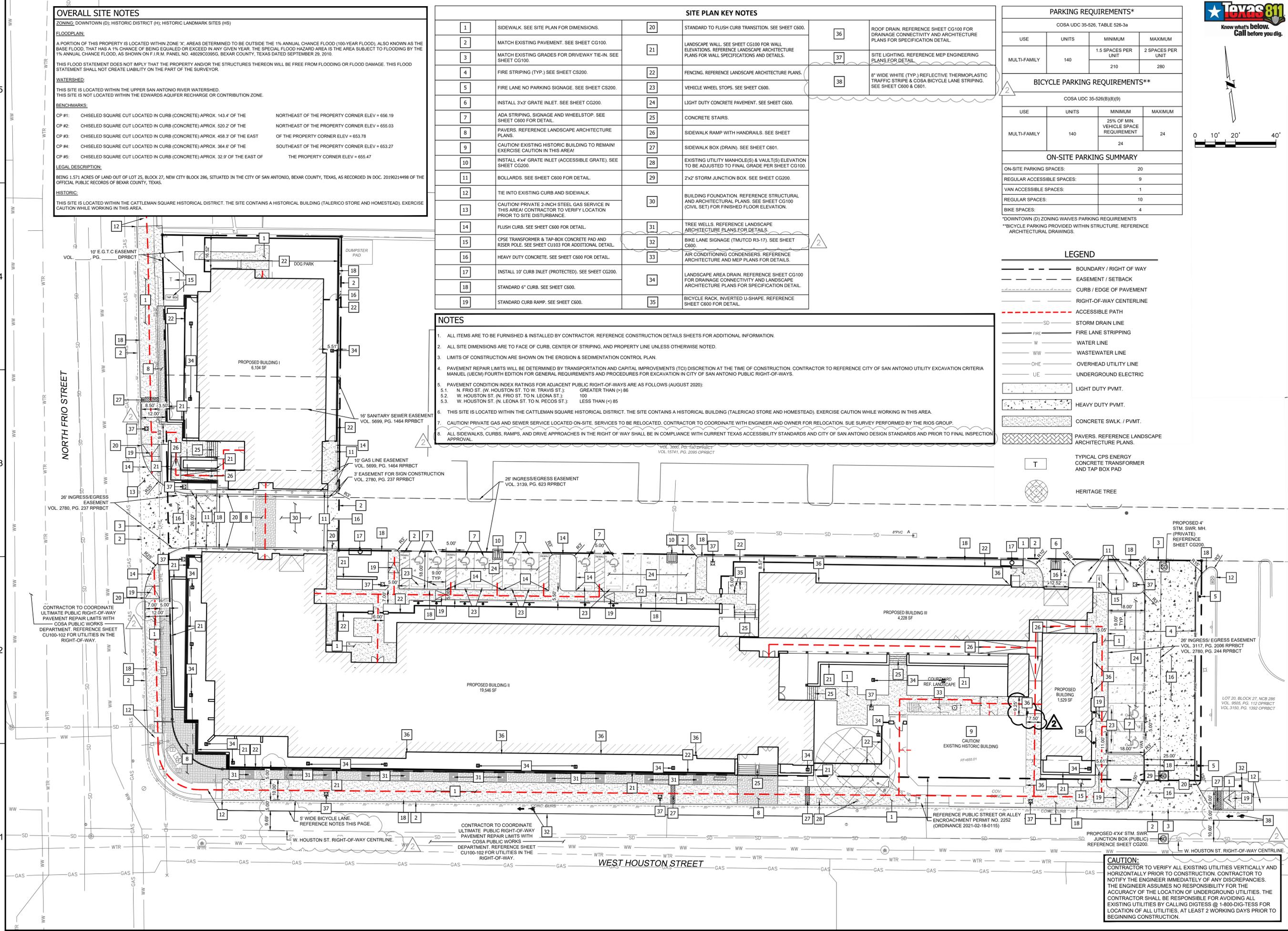


LEGEND

- BOUNDARY / RIGHT OF WAY
- EASEMENT / SETBACK
- CURB / EDGE OF PAVEMENT
- RIGHT-OF-WAY CENTERLINE
- ACCESSIBLE PATH
- STORM DRAIN LINE
- FIRE LANE STRIPING
- WATER LINE
- WASTEWATER LINE
- OVERHEAD UTILITY LINE
- UNDERGROUND ELECTRIC
- LIGHT DUTY P.V.M.T.
- HEAVY DUTY P.V.M.T.
- CONCRETE SWLK. / P.V.M.T.
- PAVERS. REFERENCE LANDSCAPE ARCHITECTURE PLANS.
- TYPICAL CPSE ENERGY CONCRETE TRANSFORMER AND TAP BOX PAD
- HERITAGE TREE

NOTES

- ALL ITEMS ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAILS SHEETS FOR ADDITIONAL INFORMATION.
- ALL SITE DIMENSIONS ARE TO FACE OF CURB, CENTER OF STRIPING, AND PROPERTY LINE UNLESS OTHERWISE NOTED.
- LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN.
- PAVEMENT REPAIR LIMITS WILL BE DETERMINED BY TRANSPORTATION AND CAPITAL IMPROVEMENTS (TCI) DISCRETION AT THE TIME OF CONSTRUCTION. CONTRACTOR TO REFERENCE CITY OF SAN ANTONIO UTILITY EXCAVATION CRITERIA MANUAL (UECM) FOURTH EDITION FOR GENERAL REQUIREMENTS AND PROCEDURES FOR EXCAVATION IN CITY OF SAN ANTONIO PUBLIC RIGHT-OF-WAYS.
- PAVEMENT CONDITION INDEX RATINGS FOR ADJACENT PUBLIC RIGHT-OF-WAYS ARE AS FOLLOWS (AUGUST 2020):
 5.1 N. FRIO ST. (W. HOUSTON ST. TO W. TRAVIS ST.): GREATER THAN (>) 86
 5.2 W. HOUSTON ST. (N. FRIO ST. TO N. LEONA ST.): 100
 5.3 W. HOUSTON ST. (N. LEONA ST. TO N. PECOS ST.): LESS THAN (<) 85
- THIS SITE IS LOCATED WITHIN THE CATTLEMAN SQUARE HISTORIC DISTRICT. THE SITE CONTAINS A HISTORICAL BUILDING (TALERICO STORE AND HOMESTEAD). EXERCISE CAUTION WHILE WORKING IN THIS AREA.
- CAUTION! PRIVATE GAS AND SEWER SERVICE LOCATED ON-SITE. SERVICES TO BE RELOCATED. CONTRACTOR TO COORDINATE WITH ENGINEER AND OWNER FOR RELOCATION. SUE SURVEY PERFORMED BY THE RIOS GROUP.
- ALL SIDEWALKS, CURBS, RAMPS, AND DRIVE APPROACHES IN THE RIGHT OF WAY SHALL BE IN COMPLIANCE WITH CURRENT TEXAS ACCESSIBILITY STANDARDS AND CITY OF SAN ANTONIO DESIGN STANDARDS AND PRIOR TO FINAL INSPECTION APPROVAL.



PROJECT: CATTLEMAN SQUARE LOFTS
 811 WEST HOUSTON STREET
 SAN ANTONIO, TEXAS 78207

SHEET TITLE: SITE & PAVING PLAN

SHEET: CS100
 07 OF 21
 PLAT NO.: 20-1180007

FILENAME: P:\Projects\2024 - Metro Community Group\2024 - 811 W Houston St.MPG - Civil\10-2024\2024-08-15 - CS100 SITE PAVING - LAYOUT CS100 SITE & PAVING PLAN

210.860.9224

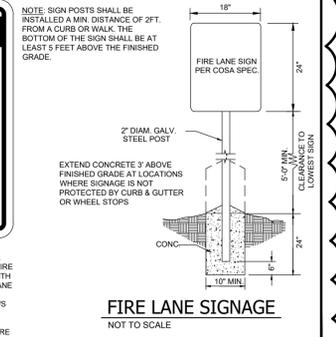
FORM NO. F-15085

WGL
 WGLinc.com

5710 W. HAUSMAN RD. SUITE 115 SAN ANTONIO, TEXAS 78249

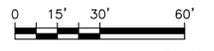
STATE OF TEXAS
 GERARDO ROMERO MURQUIA
 132266
 LICENSED PROFESSIONAL ENGINEER
 05/14/2021

LAST REVISION: 05/14/2021
 PLOTTED BY: WGL
 PLOTTED WITH: DWG TO PDF
 PLOT STYLE: V1:USPLOTTERNAME.DWT



NOTE: SIGN POSTS SHALL BE INSTALLED A MIN. DISTANCE OF 2FT. FROM A CURB OR WALK. THE BOTTOM OF THE SIGN SHALL BE AT LEAST 5 FEET ABOVE THE FINISHED GRADE.

2. CONTRACTOR TO CARRY \$2,500 FOR FIRE LANE SIGNAGE.



LEGEND

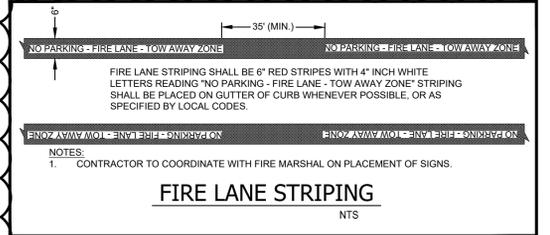
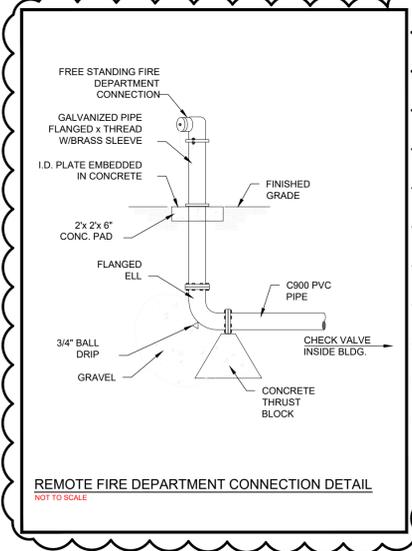
---	BOUNDARY / RIGHT OF WAY LINE
---	FIRE LANE
---	HP HAND PULL LINE
---	TP TRUCK PULL LINE
---	W FIRE LINE / WATER LINE

FIRE PROTECTION MEASURES

1	FIRE LANE STRIPING (TYPICAL), REFERENCE DETAIL THIS SHEET.
2	FIRELANE NO PARKING SIGN.
3	EXISTING FIRE HYDRANT.
4	KNOX BOX, REF. LANDSCAPE ARCHITECTURAL PLANS.
5	FIRE RISER ROOM.
6	FIRE DEPARTMENT CONNECTION (FDC).

FIRE PROTECTION SUMMARY

TOTAL TRUCK PULL (LF)	1,438
TOTAL HAND PULL (LF)	1,013
TOTAL ON-SITE FIRE HYDRANTS (EA)	0
AERIAL APPARATUS PROTECTION	
TOTAL BUILDING PERIMETER (LF)	1,472
AERIAL APPARATUS COVERAGE (LF)	381
AERIAL APPARATUS COVERAGE, HISTORIC BUILDING (LF)	67
BUILDING COVERED:	30.43%

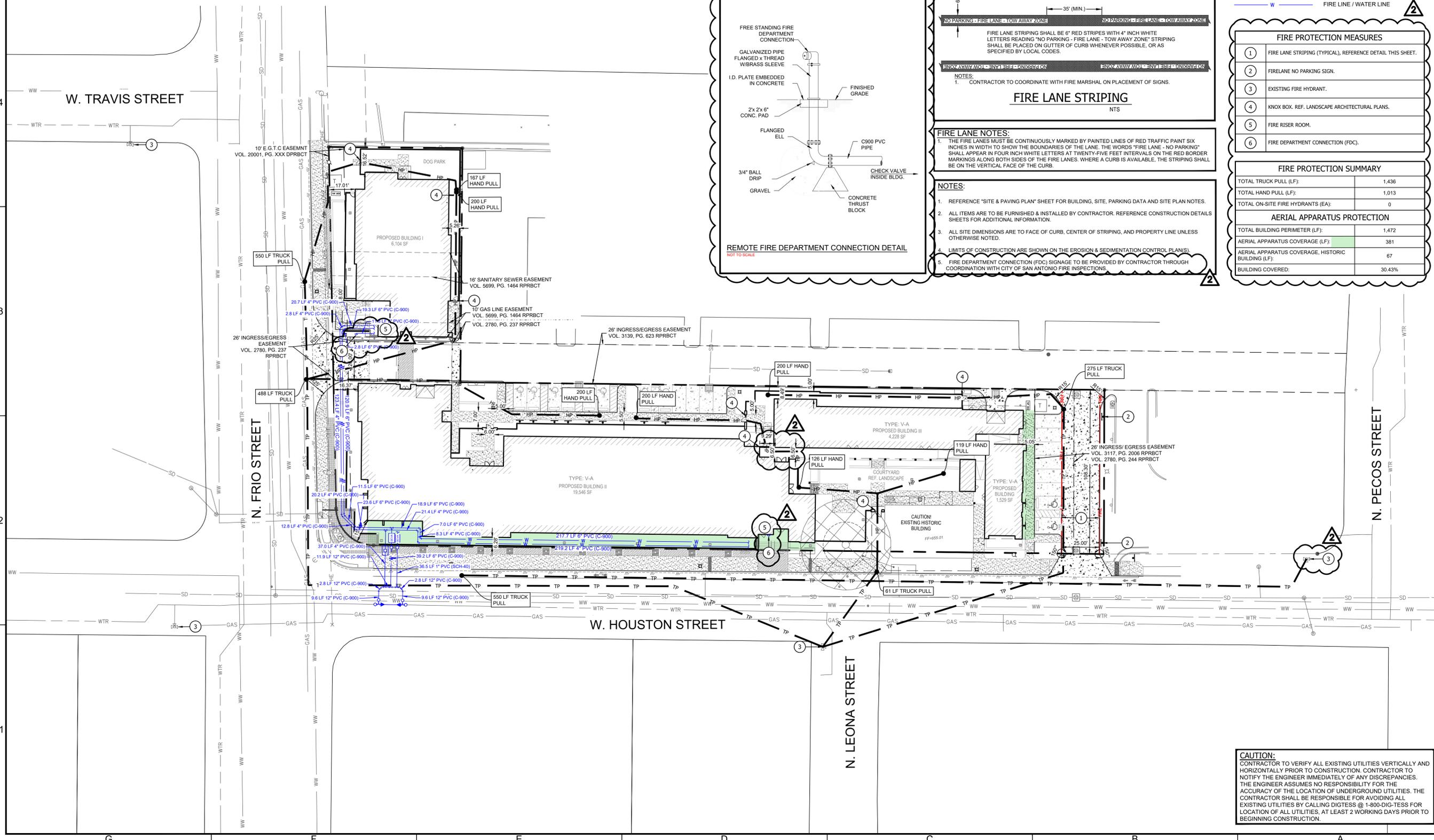


FIRE LANE NOTES:

- THE FIRE LANES MUST BE CONTINUOUSLY MARKED BY PAINTED LINES OF RED TRAFFIC PAINT SIX INCHES IN WIDTH TO SHOW THE BOUNDARIES OF THE LANE. THE WORDS "FIRE LANE - NO PARKING" SHALL APPEAR IN FOUR INCH WHITE LETTERS AT TWENTY-FIVE FEET INTERVALS ON THE RED BORDER MARKINGS ALONG BOTH SIDES OF THE FIRE LANES. WHERE A CURB IS AVAILABLE, THE STRIPING SHALL BE ON THE VERTICAL FACE OF THE CURB.

NOTES:

- REFERENCE "SITE & PAVING PLAN" SHEET FOR BUILDING, SITE, PARKING DATA AND SITE PLAN NOTES.
- ALL ITEMS ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAILS SHEETS FOR ADDITIONAL INFORMATION.
- ALL SITE DIMENSIONS ARE TO FACE OF CURB, CENTER OF STRIPING, AND PROPERTY LINE UNLESS OTHERWISE NOTED.
- LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLANS.
- FIRE DEPARTMENT CONNECTION (FDC) SIGNAGE TO BE PROVIDED BY CONTRACTOR THROUGH COORDINATION WITH CITY OF SAN ANTONIO FIRE INSPECTIONS.



CAUTION:
 CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGITEST @ 1-800-DIG-TEST FOR LOCATION OF ALL UTILITIES, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.

PROJECT: CATTLEMAN SQUARE LOFTS
 811 WEST HOUSTON STREET
 SAN ANTONIO, TEXAS 78207

SHEET TITLE: FIRE PROTECTION PLAN

SHEET: CS200
 08 OF 21
 PLAT NO.: 20-11800007

WGL inc.com
 5710 W. HAUSMAN RD. SUITE 115 SAN ANTONIO, TEXAS 78249

210.860.9224

STATE OF TEXAS
 GERARDO ROMERO MURQUIA
 LICENSED PROFESSIONAL ENGINEER
 05/14/2021

OVERALL SITE NOTES

ZONING: DOWNTOWN (D), HISTORIC DISTRICT (H), HISTORIC LANDMARK SITES (HS)

FLOODPLAIN:
A PORTION OF THIS SITE AREA IS LOCATED WITHIN ZONE "AE", AS SHOWN ON F.I.R.M. PANEL NO. 48029C395G, BEXAR COUNTY, TEXAS, DATED SEPTEMBER 29, 2010.
THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

WATERSHED:
THIS SITE IS LOCATED WITHIN THE UPPER SAN ANTONIO RIVER WATERSHED.
THIS SITE IS NOT LOCATED WITHIN THE EDWARDS AQUIFER RECHARGE OR CONTRIBUTION ZONE.

BENCHMARKS:
CP #1: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 143.4' OF THE NORTHEAST OF THE PROPERTY CORNER ELEV = 656.19
CP #2: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 520.2' OF THE NORTHEAST OF THE PROPERTY CORNER ELEV = 655.03
CP #3: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 458.3' OF THE EAST OF THE PROPERTY CORNER ELEV = 653.79
CP #4: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 384.6' OF THE SOUTHEAST OF THE PROPERTY CORNER ELEV = 653.27
CP #5: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 32.9' OF THE EAST OF THE PROPERTY CORNER ELEV = 655.47

LEGAL DESCRIPTION:
BEING 1.571 ACRES OF LAND OUT OF LOT 18, BLOCK 27, NEW CITY BLOCK 286, VISTA VERDE PROJECT TEX. R-109, UNIT 7-A, A SUBDIVISION IN SAN ANTONIO, BEXAR COUNTY, TEXAS, AS RECORDED IN VOLUME 9300, PAGE 150, OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS.

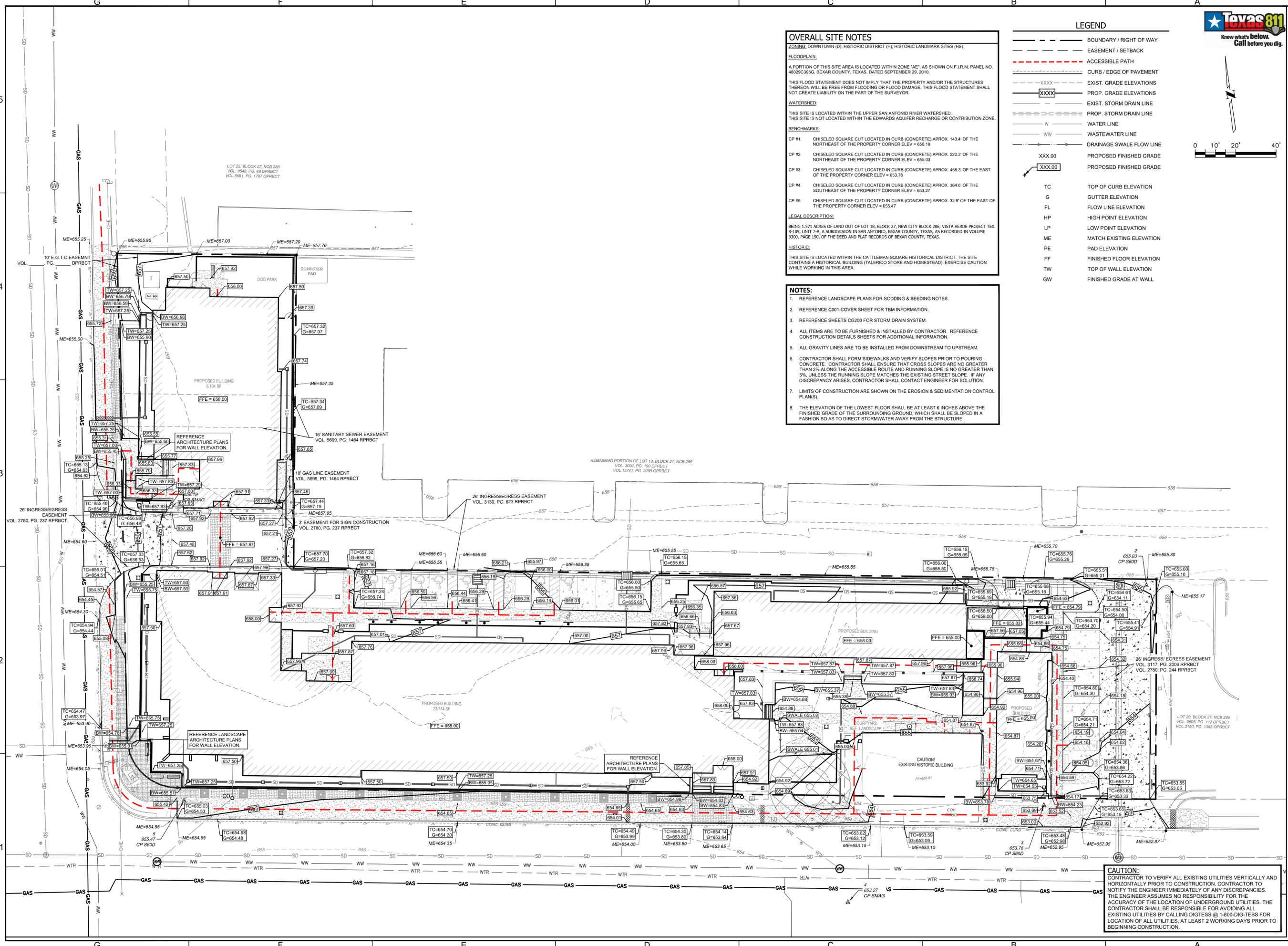
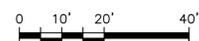
HISTORIC:
THIS SITE IS LOCATED WITHIN THE CATTLEMAN SQUARE HISTORICAL DISTRICT. THE SITE CONTAINS A HISTORICAL BUILDING (TALERICO STORE AND HOMESTEAD). EXERCISE CAUTION WHILE WORKING IN THIS AREA.

NOTES:

- REFERENCE LANDSCAPE PLANS FOR SODDING & SEEDING NOTES.
- REFERENCE C001-COVER SHEET FOR TBM INFORMATION.
- REFERENCE SHEETS CG200 FOR STORM DRAIN SYSTEM.
- ALL ITEMS ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAILS SHEETS FOR ADDITIONAL INFORMATION.
- ALL GRAVITY LINES ARE TO BE INSTALLED FROM DOWNSTREAM TO UPSTREAM.
- CONTRACTOR SHALL FORM SIDEWALKS AND VERIFY SLOPES PRIOR TO POURING CONCRETE. CONTRACTOR SHALL ENSURE THAT CROSS SLOPES ARE NO GREATER THAN 2% ALONG THE ACCESSIBLE ROUTE AND RUNNING SLOPE IS NO GREATER THAN 5%. UNLESS THE RUNNING SLOPE MATCHES THE EXISTING STREET SLOPE. IF ANY DISCREPANCY ARISES, CONTRACTOR SHALL CONTACT ENGINEER FOR SOLUTION.
- LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN(S).
- THE ELEVATION OF THE LOWEST FLOOR SHALL BE AT LEAST 6 INCHES ABOVE THE FINISHED GRADE OF THE SURROUNDING GROUND, WHICH SHALL BE SLOPED IN A FASHION SO AS TO DIRECT STORMWATER AWAY FROM THE STRUCTURE.

LEGEND

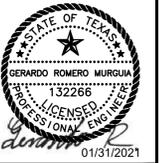
- BOUNDARY / RIGHT OF WAY
- EASEMENT / SETBACK
- ACCESSIBLE PATH
- CURB / EDGE OF PAVEMENT
- EXIST. GRADE ELEVATIONS
- PROP. GRADE ELEVATIONS
- EXIST. STORM DRAIN LINE
- PROP. STORM DRAIN LINE
- WATER LINE
- WASTEWATER LINE
- DRAINAGE SWALE FLOW LINE
- XXX.00 PROPOSED FINISHED GRADE
- XXX.00 PROPOSED FINISHED GRADE
- TC TOP OF CURB ELEVATION
- G GUTTER ELEVATION
- FL FLOW LINE ELEVATION
- HP HIGH POINT ELEVATION
- LP LOW POINT ELEVATION
- ME MATCH EXISTING ELEVATION
- PE PAD ELEVATION
- FF FINISHED FLOOR ELEVATION
- TW TOP OF WALL ELEVATION
- GW FINISHED GRADE AT WALL



CAUTION:
CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGITESS @ 1-800-DIG-TESS FOR LOCATION OF ALL UTILITIES. AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.

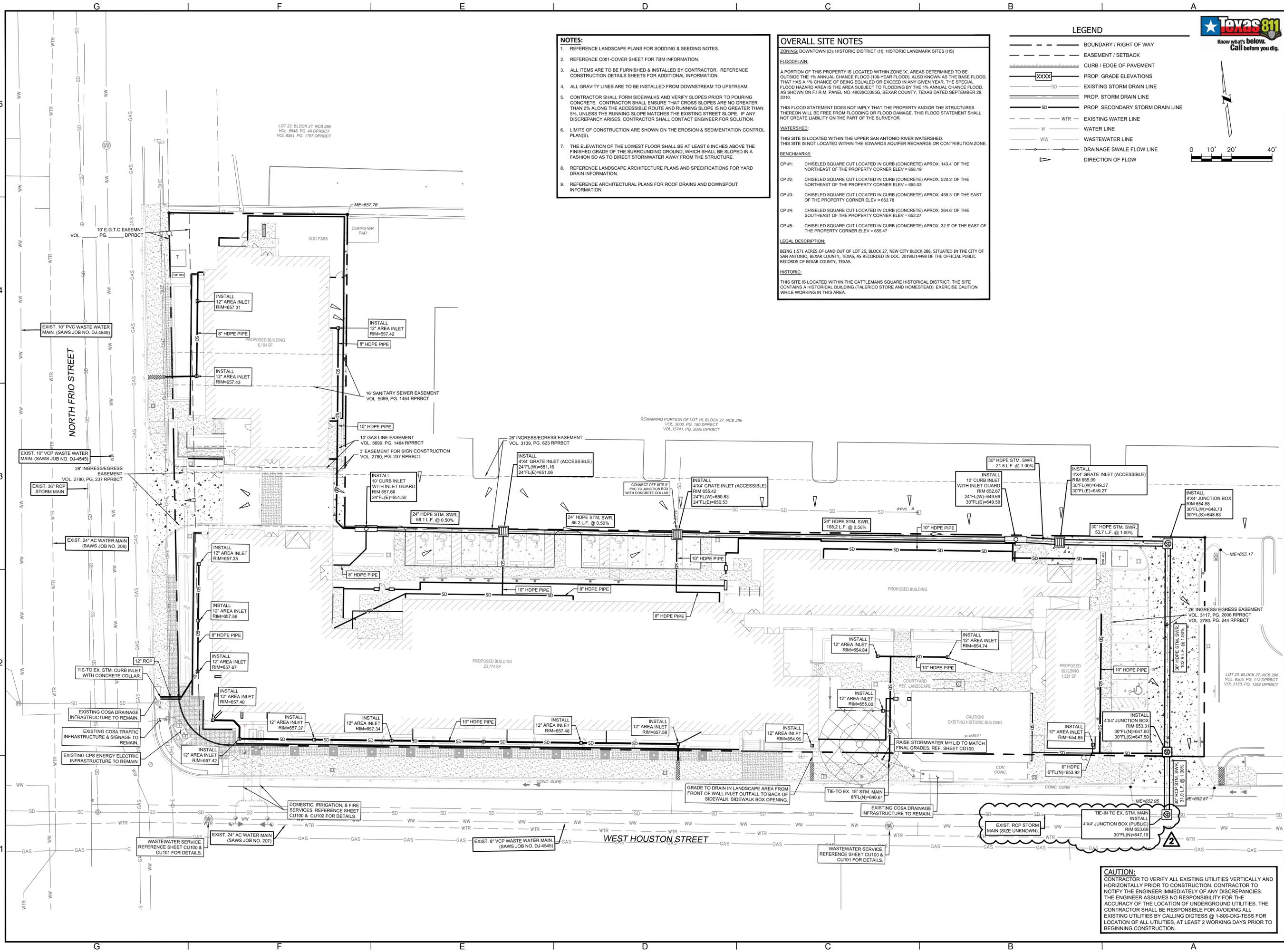
NO.	DATE	DESCRIPTION
3	01/31/2021	ISSUE FOR PERMIT SET (REVISED)
2	12/14/2020	ISSUE FOR PERMIT SET
1	11/25/2020	INTERVIEW REVIEW SET

PHONE NO: **WGL**
WGLinc.com
SELECT CORRECT ADDRESS FROM DROPDOWN



PROJECT: CATTLEMAN SQUARE LOFTS
811 WEST HOUSTON STREET
SAN ANTONIO, TEXAS 78207

LAYOUT TITLE: CATTLEMAN SQUARE LOFTS - CG200 DRAINAGE PLAN - LAYOUT - CDDRD DRAINAGE PLAN
 FILENAME: P:\Projects\CG200 - Cattleman Square Lofts - CG200 DRAINAGE PLAN - LAYOUT - CDDRD DRAINAGE PLAN.dwg
 DATE: 03/29/2021
 DRAWN BY: J. W. HANSEN
 CHECKED BY: J. W. HANSEN
 PLOT DATE: 03/29/2021
 PLOT SCALE: 1"=20'-0"



- NOTES:**
1. REFERENCE LANDSCAPE PLANS FOR SODDING & SEEDING NOTES.
 2. REFERENCE C001-COVER SHEET FOR TBM INFORMATION.
 3. ALL ITEMS ARE TO BE FURNISHED & INSTALLED BY CONTRACTOR. REFERENCE CONSTRUCTION DETAILS SHEETS FOR ADDITIONAL INFORMATION.
 4. ALL GRAVITY LINES ARE TO BE INSTALLED FROM DOWNSTREAM TO UPSTREAM.
 5. CONTRACTOR SHALL FORM SIDEWALKS AND VERIFY SLOPES PRIOR TO POURING CONCRETE. CONTRACTOR SHALL ENSURE THAT CROSS SLOPES ARE NO GREATER THAN 2% ALONG THE ACCESSIBLE ROUTE AND RUNNING SLOPE IS NO GREATER THAN 5% UNLESS THE RUNNING SLOPE MATCHES THE EXISTING STREET SLOPE. IF ANY DISCREPANCY ARISES, CONTRACTOR SHALL CONTACT ENGINEER FOR SOLUTION.
 6. LIMITS OF CONSTRUCTION ARE SHOWN ON THE EROSION & SEDIMENTATION CONTROL PLAN(S).
 7. THE ELEVATION OF THE LOWEST FLOOR SHALL BE AT LEAST 6 INCHES ABOVE THE FINISHED GRADE OF THE SURROUNDING GROUND, WHICH SHALL BE SLOPED IN A FASHION SO AS TO DIRECT STORMWATER AWAY FROM THE STRUCTURE.
 8. REFERENCE LANDSCAPE ARCHITECTURE PLANS AND SPECIFICATIONS FOR YARD DRAIN INFORMATION.
 9. REFERENCE ARCHITECTURAL PLANS FOR ROOF DRAINS AND DOWNSPOUT INFORMATION.

OVERALL SITE NOTES

ZONING: DOWNTOWN (D); HISTORIC DISTRICT (H); HISTORIC LANDMARK SITES (HS)

FLOODPLAIN:
 A PORTION OF THIS PROPERTY IS LOCATED WITHIN ZONE 'X', AREAS DETERMINED TO BE OUTSIDE THE 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD, THAT HAS A 1% CHANCE OF BEING EQUALED OR EXCEED IN ANY GIVEN YEAR. THE SPECIAL FLOOD HAZARD AREA IS THE AREA SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD, AS SHOWN ON F.I.R.M. PANEL NO. 48029C0395G, BEXAR COUNTY, TEXAS DATED SEPTEMBER 29, 2010.
 THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

WATERSHED:
 THIS SITE IS LOCATED WITHIN THE UPPER SAN ANTONIO RIVER WATERSHED. THIS SITE IS NOT LOCATED WITHIN THE EDWARDS AQUIFER RECHARGE OR CONTRIBUTION ZONE.

BENCHMARKS:

- CP #1: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 143.4' OF THE NORTHEAST OF THE PROPERTY CORNER ELEV = 656.19
- CP #2: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 520.2' OF THE NORTHEAST OF THE PROPERTY CORNER ELEV = 655.03
- CP #3: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 458.9' OF THE EAST OF THE PROPERTY CORNER ELEV = 653.78
- CP #4: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 384.8' OF THE SOUTHEAST OF THE PROPERTY CORNER ELEV = 653.27
- CP #5: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 32.9' OF THE EAST OF THE PROPERTY CORNER ELEV = 655.47

LEGAL DESCRIPTION:
 BEING 1.571 ACRES OF LAND OUT OF LOT 25, BLOCK 27, NEW CITY BLOCK 286, SITUATED IN THE CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS, AS RECORDED IN DOC. 20190214998 OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS.

HISTORIC:
 THIS SITE IS LOCATED WITHIN THE CATTLEMAN SQUARE HISTORICAL DISTRICT. THE SITE CONTAINS A HISTORICAL BUILDING (TALERICO STORE AND HOMESTEAD). EXERCISE CAUTION WHILE WORKING IN THIS AREA.

LEGEND

- BOUNDARY / RIGHT OF WAY
- CURB / SETBACK
- EASEMENT / SETBACK
- PROP. GRADE ELEVATIONS
- EXISTING STORM DRAIN LINE
- PROP. STORM DRAIN LINE
- PROP. SECONDARY STORM DRAIN LINE
- EXISTING WATER LINE
- WATER LINE
- WASTEWATER LINE
- DRAINAGE SWALE FLOW LINE
- DIRECTION OF FLOW

0 10' 20' 40'



NO.	DATE	DESCRIPTION
1	03/29/2021	CITY PERMIT COMMENTS
2	03/29/2021	ISSUE FOR PERMIT SET (REVISED)
3	12/14/2020	ISSUE FOR PERMIT SET
4	11/25/2020	INTEREST REVIEW SET

FIRM NO. F-15085

WGL INC. WGLinc.com

210.880.9224

5710 W. HAUSMAN RD. SUITE 115 SAN ANTONIO, TEXAS 78249



PROJECT: CATTLEMAN SQUARE LOFTS
 811 WEST HOUSTON STREET
 SAN ANTONIO, TEXAS 78207

SHEET TITLE: DRAINAGE PLAN

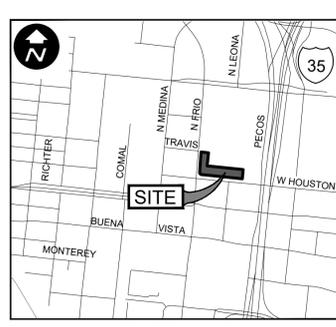
SHEET: CG200

10 OF 21

PLAT NO.: 20-11800007

CAUTION:
 CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGITESS @ 1-800-DIG-TESS FOR LOCATION OF ALL UTILITIES. AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.

LAST MODIFIED ON 2/20/2025 10:00 AM
 PLANNED BY: WGL INC.
 DRAWN BY: WGL INC.
 CHECKED BY: WGL INC.
 PROJECT NO. 111-35930



PROPERTY ADDRESS:

811 W. HOUSTON ST.
 SAN ANTONIO, TEXAS 78207

LEGAL DESCRIPTION:

BEING A TOTAL OF 1.571 ACRES OF LAND KNOWN AS LOT 25, BLOCK 27, NEW CITY BLOCK 286, SITUATED IN THE CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS AS RECORDED IN DOC. 20190214498 OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS.

UTILITY PLAN NOTES

- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS PROJECT SHALL BE APPROVED BY THE SAN ANTONIO WATER SYSTEM (SAWS) AND COMPLY WITH THE FOLLOWING AS APPLICABLE:
 - CURRENT SAN ANTONIO WATER SYSTEM STANDARD SPECIFICATIONS FOR CONSTRUCTION
 - CURRENT "SAN ANTONIO WATER SYSTEM UTILITY SERVICE REGULATIONS"
 - CURRENT CITY OF SAN ANTONIO "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION"
 - CURRENT CITY OF SAN ANTONIO "RIGHT - OF - WAY ORDINANCE AND CRITERIA MANUAL"
- THE CONTRACTOR SHALL NOT PROCEED WITH ANY PIPE INSTALLATION WORK UNTIL THEY OBTAIN A COPY OF THE APPROVED G.C.P. FROM THE CONSULTANT AND HAS BEEN NOTIFIED BY SAWS CONSTRUCTION INSPECTION DIVISION TO PROCEED WITH THE WORK AND HAS ARRANGED A MEETING WITH THE INSPECTOR AND CONSULTANT FOR THE WORK REQUIREMENTS.
- THE LOCATIONS AND DEPTHS OF EXISTING UTILITIES, AND SERVICE LATERALS SHOWN ON THE PLANS ARE UNDERSTOOD TO BE APPROXIMATE. ACTUAL LOCATIONS AND DEPTHS MUST BE FIELD VERIFIED BY THE CONTRACTOR AT LEAST 1 WEEK PRIOR TO CONSTRUCTION. IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITY SERVICE LINES AS REQUIRED FOR CONSTRUCTION AND TO PROTECT THEM DURING CONSTRUCTION AT NO COST TO SAWS.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UNDERGROUND UTILITIES AND DRAINAGE STRUCTURES AT LEAST 12 WEEKS PRIOR TO CONSTRUCTION WHETHER SHOWN ON PLANS OR NOT. PLEASE ALLOW UP TO 7 BUSINESS DAYS FOR LOCATES REQUESTING PIPE LOCATION MARKERS ON SAWS FACILITIES. THE FOLLOWING CONTACT INFORMATION ARE SUPPLIED FOR VERIFICATION PURPOSES:

SAN ANTONIO WATER SYSTEM (WATER, SEWER & RECYCLE WATER)	210-233-2010
COSA DRAINAGE	210-207-8048
CITY SIDEWALK AND TRENCHING DIVISION	210-207-8048
COSA TRAFFIC SIGNAL OPERATIONS	210-207-0113
COSA STREETS	210-207-8075
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION FROM DAMAGE DONE TO EXISTING FENCES, CURBS, STREETS, DRIVEWAYS, LANDSCAPING AND STRUCTURES.
- THE CONTRACTOR SHALL AVOID CUTTING ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATING NEAR EXISTING TREES. EXCAVATION IN VICINITY OF TREES SHALL PROCEED WITH CAUTION. THE CONTRACTOR SHALL CONTACT THE CITY ARBORIST AT (210) 207-8053 AND THE SAWS CONSTRUCTION INSPECTOR FOR GUIDANCE.
- HOLIDAY WORK: CONTRACTORS WILL NOT BE ALLOWED TO PREFORM SAWS WORK ON SAWS RECOGNIZED HOLIDAYS. REQUEST SHOULD BE SENT TO CONSTRUCTION@SAWS.ORG. WEEKEND WORK: CONTRACTORS ARE REQUIRED TO NOTIFY THE SAWS INSPECTION CONSTRUCTION DEPARTMENT 48 HOURS IN ADVANCE TO REQUEST WEEKEND WORK. REQUEST SHOULD BE SENT TO CONSTRUCTION@SAWS.ORG. ANY AND ALL SAWS UTILITY WORK INSTALLED WITHOUT HOLIDAY/WEEKEND APPROVAL WILL BE SUBJECT TO BE UNCOVERED FOR PROPER INSPECTION.
- THE CONTRACTOR SHALL NOT PLACE ANY WASTE MATERIALS IN THE 100-YEAR FLOOD PLAIN WITHOUT FIRST OBTAINING AN APPROVED FLOOD PLAN PERMIT.
- THE CONTRACTOR SHALL OBTAIN THE SAWS STANDARD DETAILS FROM THE SAWS WEBSITE, [HTTP://WWW.SAWS.ORG/BUSINESS_CENTERS/SPECS](http://WWW.SAWS.ORG/BUSINESS_CENTERS/SPECS), UNLESS OTHERWISE NOTED WITHIN THE DESIGN PLANS.
- THE CONTRACTOR IS TO MAKE ARRANGEMENTS WITH THE SAWS CONSTRUCTION INSPECTION DIVISION AT (210)233-2973, ON NOTIFICATION PROCEDURES THAT WILL BE USED TO NOTIFY AFFECTED HOME RESIDENTS AND/OR PROPERTY OWNERS 48 HOURS PRIOR TO BEGINNING ANY WORK.
- COMPACTION NOTE (ITEM 804): THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE COMPACTION REQUIREMENTS ON ALL TRENCH BACKFILL AND FOR PAYING FOR THE TESTS PERFORMED BY A THIRD PARTY. COMPACTION TESTS WILL BE DONE AT ONE LOCATION POINT RANDOMLY SELECTED, OR AS INDICATED BY THE SAWS INSPECTOR AND/OR THE TEST ADMINISTRATOR. PER EACH 12-INCH LOOSE LIFT PER 400 LINEAR FEET AT A MINIMUM. THIS PROJECT WILL NOT BE ACCEPTED AND FINALIZED BY SAWS WITHOUT THIS REQUIREMENT BEING MET AND VERIFIED BY PROVIDING ALL NECESSARY DOCUMENTED TEST RESULTS.
- A COPY OF ALL TESTING REPORTS SHALL BE FORWARDED TO SAWS CONSTRUCTION INSPECTION DIVISION.
- THIS SITE IS WITHIN THE UTILITY SERVICE AGREEMENT (USA) 23535 RECORDED IN FEBRUARY 24, 2020 AS DOCUMENT NO. 20200038723 IN THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS.

SEWER NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT NO SANITARY SEWER OVERFLOW (SSO) OCCURS AS A RESULT OF THEIR WORK. ALL CONTRACTOR PERSONNEL RESPONSIBLE FOR SSO PREVENTION AND CONTROL SHALL BE TRAINED ON PROPER RESPONSE. SHOULD AN SSO OCCUR, THE CONTRACTOR SHALL:
 - IDENTIFY THE SOURCE OF THE SSO AND NOTIFY SAWS EMERGENCY OPERATIONS CENTER (EOC) IMMEDIATELY AT (210) 233-2014. PROVIDE THE ADDRESS OF THE SPILL AND AN ESTIMATED VOLUME OR FLOW.
 - ATTEMPT TO ELIMINATE THE SOURCE OF THE SSO.
 - CONTAIN SEWAGE FROM THE SSO TO THE EXTENT OF PREVENTING A POSSIBLE CONTAMINATION OF WATERWAYS.
 - CLEAN UP SPILL SITE (RETURN CONTAINED SEWAGE TO THE COLLECTION SYSTEM IF POSSIBLE) AND PROPERLY DISPOSE OF CONTAMINATED SOIL/MATERIALS.
 - CLEAN THE AFFECTED SEWER MAINS AND REMOVE ANY DEBRIS.
 - MEET ALL POST-SSO REQUIREMENTS AS PER THE EPA CONSENT DECREE, INCLUDING LINE CLEANING AND TELEVISIONING THE AFFECTED SEWER MAINS (AT SAWS DIRECTION) WITHIN THE 24 HOURS.
 - SHOULD THE CONTRACTOR FAIL TO ADDRESS AN SSO IMMEDIATELY AND TO SAWS SATISFACTION, THEY WILL BE RESPONSIBLE FOR ALL COSTS INCURRED BY TE SAWS, INCLUDING ANY FINES FROM EPA, TCEQ AND/OR ANY OTHER FEDERAL, STATE OR LOCAL AGENCIES.
 - NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE FOR THIS WORK. ALL WORK SHALL BE DONE ACCORDING TO GUIDELINES SET BY THE TCEQ AND SAWS.
- IF BYPASS PUMPING IS REQUIRED, THE CONTRACTOR SHALL PERFORM SUCH WORK IN ACCORDANCE WITH SAWS STANDARD SPECIFICATION FOR WATER AND SANITARY SEWER CONSTRUCTION, ITEM NO. 864, "BYPASS PUMPING."
- FOR TIE-INS, ANY SHUTDOWNS FOR EXISTING FORCE MAINS OF ANY SIZE MUST BE COORDINATED WITH THE SAWS CONSTRUCTION INSPECTION DIVISION AT (210) 233-2973 AT LEAST ONE WEEK IN ADVANCE OF THE SHUTDOWN. THE CONTRACTOR MUST PROVIDE A SEQUENCE OF WORK AS RELATED TO THE TIE-INS. THIS IS AT NO ADDITIONAL COST TO SAWS OR THE PROJECT AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SEQUENCE THE WORK ACCORDINGLY.
- SEWER PIPE WHERE WATER LINE CROSSES SHALL BE 160 PSI AND MEET THE REQUIREMENTS OF ASTM D241, TAC 217.53 AND TACO 290.44E(1)(B). CONTRACTOR SHALL CENTER A 20" JOINT OF 160 PSI PRESSURE RATED PVC AT THE PROPOSED WATER CROSSING.
- ELEVATIONS POSTED FOR TOP OF MANHOLES ARE FOR REFERENCE ONLY. IT SHALL BE THE RESPONSIBILITY FOR THE CONTRACTOR TO MAKE ALLOWANCES AND ADJUSTMENTS FOR TOP OF MANHOLES TO MATCH THE FINISHED GRADE OF THE PROJECT'S IMPROVEMENTS. (NSP)
- SPILLS, OVERFLOWS, OR DISCHARGES OF WASTEWATER: ALL SPILLS, OVERFLOWS, OR DISCHARGES OF WASTEWATER, RECYCLED WATER, PETROLEUM PRODUCTS, OR CHEMICALS MUST BE REPORTED IMMEDIATELY TO THE SAWS INSPECTOR ASSIGNED TO THE COUNTER PERMIT OR GENERAL CONSTRUCTION PERMIT (GCP). THIS REQUIREMENT APPLIES TO EVERY SPILL, OVERFLOW, OR DISCHARGE REGARDLESS OF SIZE.
- MANHOLE AND ALL PIPE TESTING (INCLUDING THE TV INSPECTION) MUST BE PERFORMED AND PASSED PRIOR TO FINAL FIELD ACCEPTANCE BY SAWS CONSTRUCTION INSPECTION DIVISION, AS PER THE SAWS SPECIFICATIONS FOR WATER AND SANITARY SEWER CONSTRUCTION.
- ALL PVC PIPE OVER 14 FEET OF COVER SHALL BE EXTRA STRENGTH WITH MINIMUM PIPE STIFFNESS OF 115 PSI
- PROPOSED WATER AND WASTEWATER MAINS AND SERVICES SHOWN ON THESE PLANS SHALL CONFORM TO THE MINIMUM MATERIAL AND INSTALLATION STANDARDS DESCRIBED IN THE SAN ANTONIO WATER SYSTEM STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE SAN ANTONIO WATER SYSTEM UTILITY SERVICE REGULATIONS.

PAVEMENT RESTORATION NOTE

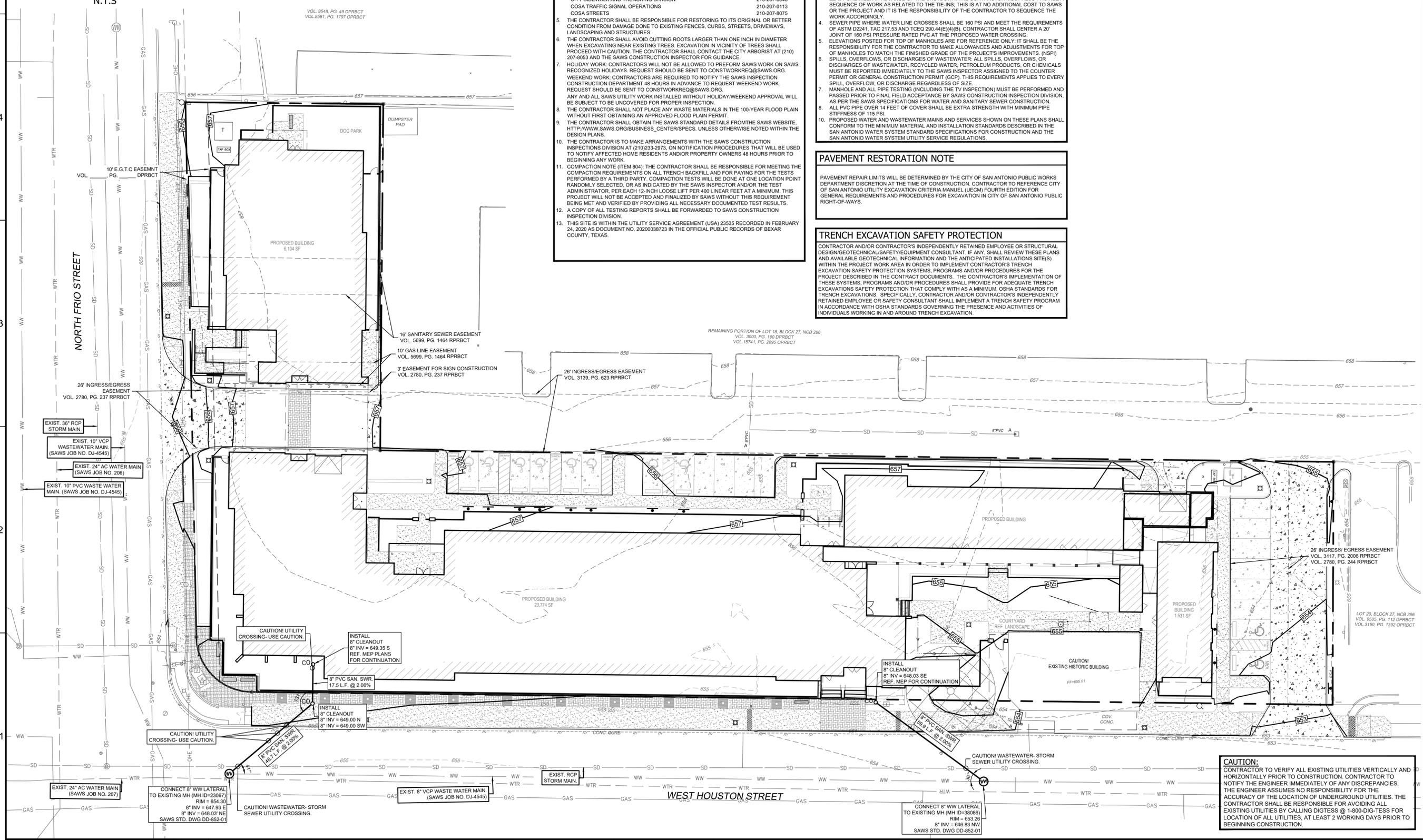
PAVEMENT REPAIR LIMITS WILL BE DETERMINED BY THE CITY OF SAN ANTONIO PUBLIC WORKS DEPARTMENT DISCRETION AT THE TIME OF CONSTRUCTION. CONTRACTOR TO REFERENCE CITY OF SAN ANTONIO UTILITY EXCAVATION CRITERIA MANUAL (UECM) FOURTH EDITION FOR GENERAL REQUIREMENTS AND PROCEDURES FOR EXCAVATION IN CITY OF SAN ANTONIO PUBLIC RIGHT-OF-WAYS.

TRENCH EXCAVATION SAFETY PROTECTION

CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATIONS SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATIONS SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

LEGEND

- BOUNDARY / RIGHT OF WAY
- EASEMENT / SETBACK
- CURB / EDGE OF PAVEMENT
- EXIST. GRADE ELEVATIONS
- PROP. GRADE ELEVATIONS
- STORM DRAIN LINE
- EXISTING STORM DRAIN
- WATER LINE
- WASTEWATER LINE
- OVERHEAD UTILITY LINE
- UNDERGROUND ELECTRIC
- GAS LINE



CAUTION: CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGITEST AT 1-800-475-5888 FOR LOCATION OF ALL UTILITIES. AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.

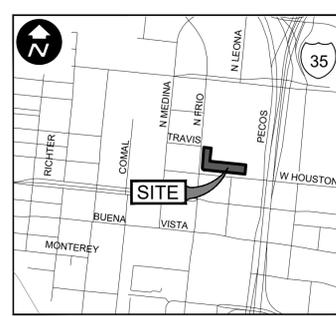
NO.	DATE	DESCRIPTION
3	01/31/2021	ISSUE FOR PERMIT SET (REVISED)
2	12/14/2020	ISSUE FOR PERMIT SET
1	11/26/2020	INTERVIEW REVIEW SET



PROJECT: CATTLEMAN SQUARE LOFTS
 811 WEST HOUSTON STREET
 SAN ANTONIO, TEXAS 78207



G F E D C B A



PROPERTY ADDRESS:
811 W. HOUSTON ST.
SAN ANTONIO, TEXAS 78207

LEGAL DESCRIPTION:
BEING A TOTAL OF 1.571 ACRES OF LAND KNOWN AS LOT 25, BLOCK 27, NEW CITY BLOCK 286, SITUATED IN THE CITY OF SAN ANTONIO, BEAR COUNTY, TEXAS AS RECORDED IN DOC. 20190214498 OF THE OFFICIAL PUBLIC RECORDS OF BEAR COUNTY, TEXAS.

WATER NOTES

- PRIOR TO TIE-INS, ANY SHUTDOWNS OF EXISTING MAINS OF ANY SIZE MUST BE COORDINATED WITH THE SAWS CONSTRUCTION INSPECTION DIVISION AT LEAST ONE WEEK IN ADVANCE OF THE SHUTDOWN. THE CONTRACTOR MUST ALSO PROVIDE A SEQUENCE OF WORK AS RELATED TO TIE-INS. THIS IS AT NO ADDITIONAL COST TO SAWS OR THE PROJECT AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SEQUENCE THE WORK ACCORDINGLY.
 - FOR WATER MAIN 12" OR HIGHER: SAWS EMERGENCY OPERATIONS CENTER (210) 233-2014
- ASBESTOS-CONTAINING (AC) PIPE, ALSO KNOWN AS TRANSITE PIPE WHICH IS KNOWN TO CONTAIN ASBESTOS-CONTAINING MATERIAL (ACM), MAY BE LOCATED WITHIN THE PROJECT LIMITS. SPECIAL WASTE MANAGEMENT PROCEDURES AND HEALTH AND SAFETY REQUIREMENTS WILL BE APPLICABLE WHEN REMOVAL AND/OR DISTURBANCE OF THIS PIPE OCCURS. SUCH WORK IS TO BE MADE UNDER SPECIAL SPECIFICATION ITEM NO. 3000, "SPECIAL SPECIFICATION FOR HANDLING ASBESTOS CEMENT PIPE."
- VALVE REMOVAL: WHERE THE CONTRACTOR IS TO ABANDON A WATER MAIN, THE CONTROL VALVE LOCATED ON THE ABANDONING BRANCH WILL BE REMOVED AND REPLACED WITH A CAPPLUG (NSP).
- SUITABLE ANCHORAGE/THRUST BLOCKING OR JOINT RESTRAINT SHALL BE PROVIDED AT ALL OF THE FOLLOWING MAIN LOCATIONS: DEAD ENDS, PLUGS, CAPS, TEES, CROSSES, VALVES, AND BENDS, IN ACCORDANCE WITH THE STANDARD DRAWINGS DD-839 SERIES AND ITEM NO. 839 IN THE SAWS STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- ALL VALVES SHALL READ "OPEN RIGHT."
- PRVS REQUIRED: CONTRACTOR TO VERIFY THAT NO PORTION OF THE TRACT IS BELOW GROUND ELEVATION OF 643 FEET WHERE THE STATIC PRESSURE WILL NORMALLY EXCEED 80PSI. AT ALL SUCH LOCATIONS WHERE THE GROUND LEVEL IS BELOW 643 FEET, THE DEVELOPER OR BUILDER SHALL INSTALL AT EACH LOT, ON THE CUSTOMER'S SIDE OF THE METER, AN APPROVED TYPE PRESSURE REGULATOR IN CONFORMANCE WITH THE PLUMBING CODE OF THE CITY OF SAN ANTONIO. NO DUAL SERVICES ALLOWED FOR ANY LOT(S) IF "PRV" IS/ARE REQUIRED FOR SUCH LOT(S). ONLY SINGLE SERVICE CONNECTIONS SHALL BE ALLOWED. NOTE: A PRESSURE REGULATOR IS ALSO KNOWN AS A PRESSURE REDUCING VALVE (PRV).
- PIPE DISINFECTION WITH CRY HTH FOR PROJECTS LESS THAN 800 LINEAR FEET. (ITEM NO. 847.3). MAINS SHALL BE DISINFECTED WITH DRY HTH WHERE SHOWN IN THE CONTRACT DOCUMENTS OR AS DIRECTED BY THE INSPECTOR, AND SHALL NOT EXCEED A TOTAL LENGTH OF 800 FEET. THIS METHOD OF DISINFECTION WILL ALSO BE FOLLOWED FOR MAIN REPAIRS. THE CONTRACTOR SHALL UTILIZE ALL APPROPRIATE SAFETY MEASURE TO PROTECT HIS PERSONNEL DURING DISINFECTION OPERATIONS.
- BACKFLOW PREVENTION DEVICES:
 - ALL IRRIGATION SERVICES WITHIN RESIDENTIAL AREAS ARE REQUIRED TO HAVE BACKFLOW PREVENTION DEVICES.
 - ALL COMMERCIAL BACKFLOW PREVENTION DEVICES MUST BE APPROVED BY SAWS PRIOR TO INSTALLATION.
- FINAL CONNECTION TO THE EXISTING WATER MAIN SHALL NOT BE MADE UNTIL THE WATER MAIN HAS BEEN PRESSURE TESTED, CHLORINATED, AND SAWS HAS RELEASED THE MAIN FOR TIE-IN AND USE.
- PROPOSED WATER AND WASTEWATER MAINS AND SERVICES SHOWN ON THESE PLANS SHALL CONFORM TO THE MINIMUM MATERIAL AND INSTALLATION STANDARDS DESCRIBED IN THE SAN ANTONIO WATER SYSTEM STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE SAN ANTONIO WATER SYSTEM UTILITY SERVICE REGULATIONS.

GENERAL NOTES

- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS PROJECT SHALL BE APPROVED BY THE SAN ANTONIO WATER SYSTEM (SAWS) AND COMPLY WITH THE FOLLOWING AS APPLICABLE:
 - CURRENT "SAN ANTONIO WATER SYSTEM STANDARD SPECIFICATIONS FOR CONSTRUCTION"
 - CURRENT "SAN ANTONIO WATER SYSTEM UTILITY SERVICE REGULATIONS"
 - CURRENT CITY OF SAN ANTONIO "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION"
 - CURRENT "TxDOT" STANDARD SPECIFICATION FOR CONSTRUCTION OF HIGHWAYS, STREETS AND DRAINAGE"
 - CURRENT CITY OF SAN ANTONIO "RIGHT - OF - WAY ORDINANCE AND CRITERIA MANUAL."
 - THE CONTRACTOR SHALL NOT PROCEED WITH ANY PIPE INSTALLATION WORK UNTIL THEY OBTAIN A COPY OF THE APPROVED G.C.P. FROM THE CONSULTANT AND HAS BEEN NOTIFIED BY SAWS CONSTRUCTION INSPECTION DIVISION TO PROCEED WITH THE WORK AND HAS ARRANGED A MEETING WITH THE INSPECTOR AND CONSULTANT FOR THE WORK REQUIREMENTS.
 - THE LOCATIONS AND DEPTHS OF EXISTING UTILITIES, AND SERVICE LATERALS SHOWN ON THE PLANS ARE UNDERSTOOD TO BE APPROXIMATE. ACTUAL LOCATIONS AND DEPTHS MUST BE FIELD VERIFIED BY THE CONTRACTOR AT LEAST 1 WEEK PRIOR TO CONSTRUCTION. IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITY SERVICE LINES AS REQUIRED FOR CONSTRUCTION AND TO PROTECT THEM DURING CONSTRUCTION AT NO COST TO SAWS.
 - THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UNDERGROUND UTILITIES AND DRAINAGE STRUCTURES AT LEAST 1-2 WEEKS PRIOR TO CONSTRUCTION WHETHER SHOWN ON PLANS OR NOT. PLEASE ALLOW UP TO 7 BUSINESS DAYS FOR LOCATES REQUESTING PIPE LOCATION MARKERS ON SAWS FACILITIES. THE FOLLOWING CONTACT INFORMATION ARE SUPPLIED FOR VERIFICATION PURPOSES:

SAN ANTONIO WATER SYSTEM (WATER, SEWER & RECYCLE WATER)	210-233-2010
COSA DRAINAGE	210-207-8048
CITY SIDEWALK AND TRENCHING DIVISION	210-207-8048
COSA TRAFFIC SIGNAL OPERATIONS	210-207-0113
COSA STREETS	210-207-8075
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION FROM DAMAGE DONE TO EXISTING FENCES, CURBS, STREETS, DRIVEWAYS, LANDSCAPING AND STRUCTURES.
 - THE CONTRACTOR SHALL AVOID CUTTING ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATING NEAR EXISTING TREES. EXCAVATION IN VICINITY OF TREES SHALL PROCEED WITH CAUTION. THE CONTRACTOR SHALL CONTACT THE CITY ARBORIST AT (210) 207-8053 AND THE SAWS CONSTRUCTION INSPECTOR FOR GUIDANCE.
 - HOLIDAY WORK: CONTRACTORS WILL NOT BE ALLOWED TO PERFORM SAWS WORK ON SAWS RECOGNIZED HOLIDAYS. REQUEST SHOULD BE SENT TO CONSWORKREQ@SAWS.ORG.
- WEEKEND WORK: CONTRACTORS ARE REQUIRED TO NOTIFY THE SAWS INSPECTION CONSTRUCTION DEPARTMENT 48 HOURS IN ADVANCE TO REQUEST WEEKEND WORK. REQUEST SHOULD BE SENT TO CONSWORKREQ@SAWS.ORG.

- ANY AND ALL SAWS UTILITY WORK INSTALLED WITHOUT HOLIDAY/WEEKEND APPROVAL WILL BE SUBJECT TO BE UNCOVERED FOR PROPER INSPECTION.
- THE CONTRACTOR SHALL NOT PLACE ANY WASTE MATERIALS IN THE 100-YEAR FLOOD PLAIN WITHOUT FIRST OBTAINING AN APPROVED FLOOD PLAIN PERMIT.
 - THE CONTRACTOR SHALL OBTAIN THE SAWS STANDARD DETAILS FROM THE SAWS WEBSITE, [HTTP://WWW.SAWS.ORG/BUSINESS_CENTER/SPECS](http://www.saws.org/business_centers/specs). UNLESS OTHERWISE NOTED WITHIN THE DESIGN PLANS.
 - THE CONTRACTOR IS TO MAKE ARRANGEMENTS WITH THE SAWS CONSTRUCTION INSPECTION DIVISION AT (210)233-2973. ON NOTIFICATION PROCEDURES THAT WILL BE USED TO NOTIFY AFFECTED HOME RESIDENTS AND/OR PROPERTY OWNERS 48 HOURS PRIOR TO BEGINNING ANY WORK.
 - COMPACTION NOTE (ITEM 804): THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE COMPACTION REQUIREMENTS ON ALL TRENCH BACKFILL AND FOR PAYING FOR THE TESTS PERFORMED BY A THIRD PARTY. COMPACTION TESTS WILL BE DONE AT ONE LOCATION POINT RANDOMLY SELECTED, OR AS INDICATED BY THE SAWS INSPECTOR AND/OR THE TEST ADMINISTRATOR, PER EACH 12-INCH LOOSE LIFT PER 400 LINEAR FEET AT A MINIMUM. THIS PROJECT WILL NOT BE ACCEPTED AND FINIALIZED BY SAWS WITHOUT THIS REQUIREMENT BEING MET AND VERIFIED BY PROVIDING ALL NECESSARY DOCUMENTED TEST RESULTS.
 - A COPY OF ALL TESTING REPORTS SHALL BE FORWARDED TO SAWS CONSTRUCTION INSPECTION DIVISION.
 - THIS SITE IS WITHIN THE UTILITY SERVICE AGREEMENT (USA) 23535 RECORDED IN FEBRUARY 24, 2020 AS DOCUMENT NO. 20200038723 IN THE OFFICIAL PUBLIC RECORDS OF BEAR COUNTY, TEXAS.

PAVEMENT RESTORATION NOTE

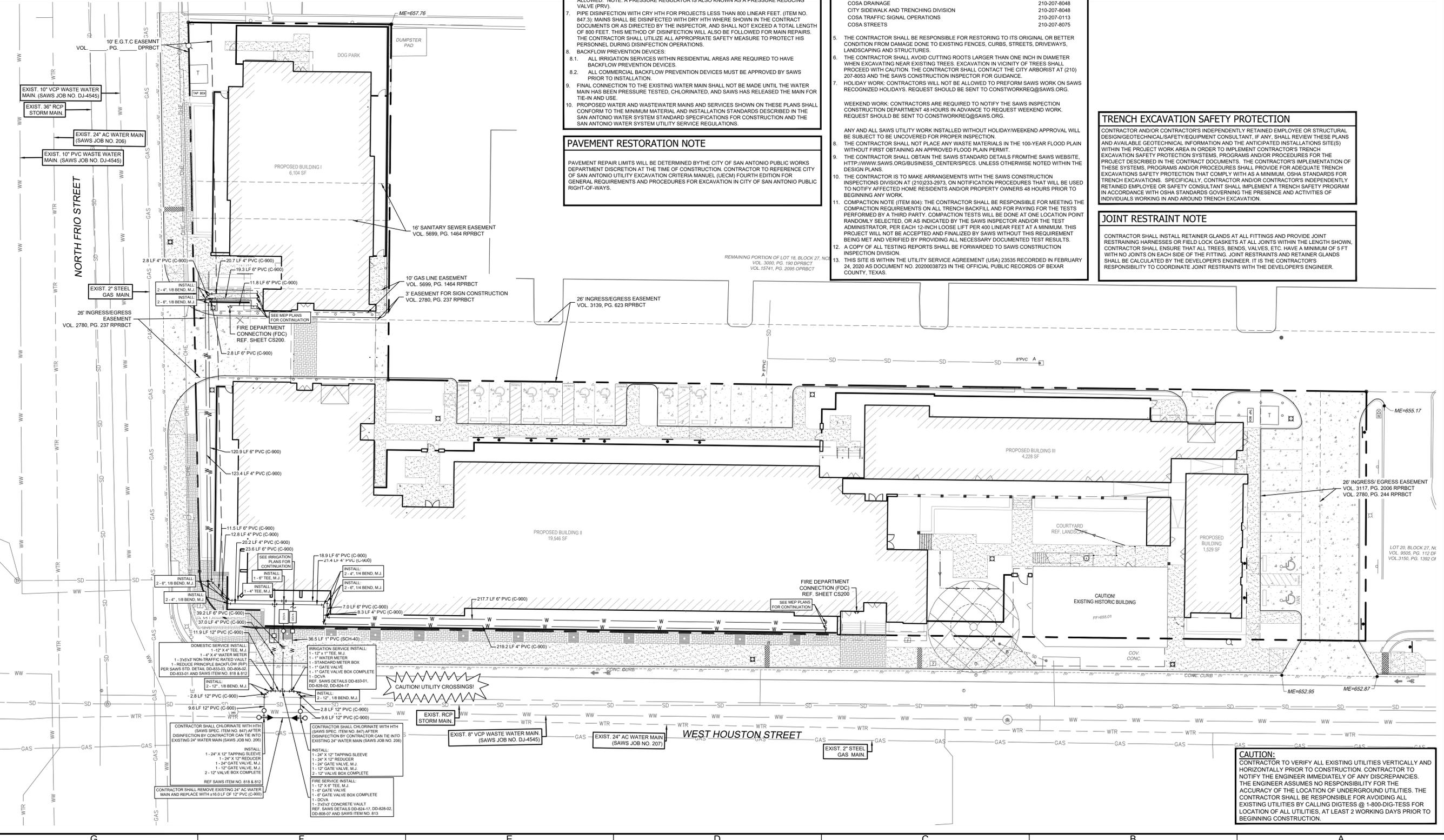
PAVEMENT REPAIR LIMITS WILL BE DETERMINED BY THE CITY OF SAN ANTONIO PUBLIC WORKS DEPARTMENT DISCRETION AT THE TIME OF CONSTRUCTION. CONTRACTOR TO REFERENCE CITY OF SAN ANTONIO UTILITY EXCAVATION CRITERIA MANUAL (UECM) FOURTH EDITION FOR GENERAL REQUIREMENTS AND PROCEDURES FOR EXCAVATION IN CITY OF SAN ANTONIO PUBLIC RIGHT-OF-WAYS.

TRENCH EXCAVATION SAFETY PROTECTION

CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATIONS SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATIONS SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

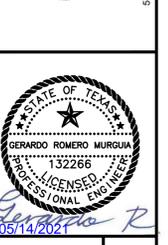
JOINT RESTRAINT NOTE

CONTRACTOR SHALL INSTALL RETAINER GLANDS AT ALL FITTINGS AND PROVIDE JOINT RESTRAINING HARNESSES OR FIELD LOCK GASKETS AT ALL JOINTS WITHIN THE LENGTH SHOWN. CONTRACTOR SHALL ENSURE THAT ALL TREES, BENDS, VALVES, ETC. HAVE A MINIMUM OF 5 FT WITH NO JOINTS ON EACH SIDE OF THE FITTING. JOINT RESTRAINTS AND RETAINER GLANDS SHALL BE CALCULATED BY THE DEVELOPER'S ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE JOINT RESTRAINTS WITH THE DEVELOPER'S ENGINEER.



CAUTION:
CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGITEST @ 1-800-DIG-TEST FOR LOCATION OF ALL UTILITIES, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.

NO.	DATE	DESCRIPTION
1	03/14/2021	CITY PERMIT COMMENTS
2	03/22/2021	ISSUE FOR PERMIT SET (REVISED)
3	03/22/2021	ISSUE FOR PERMIT SET
4	12/14/2020	INTEREST REVIEW SET
5	11/25/2020	INTEREST REVIEW SET

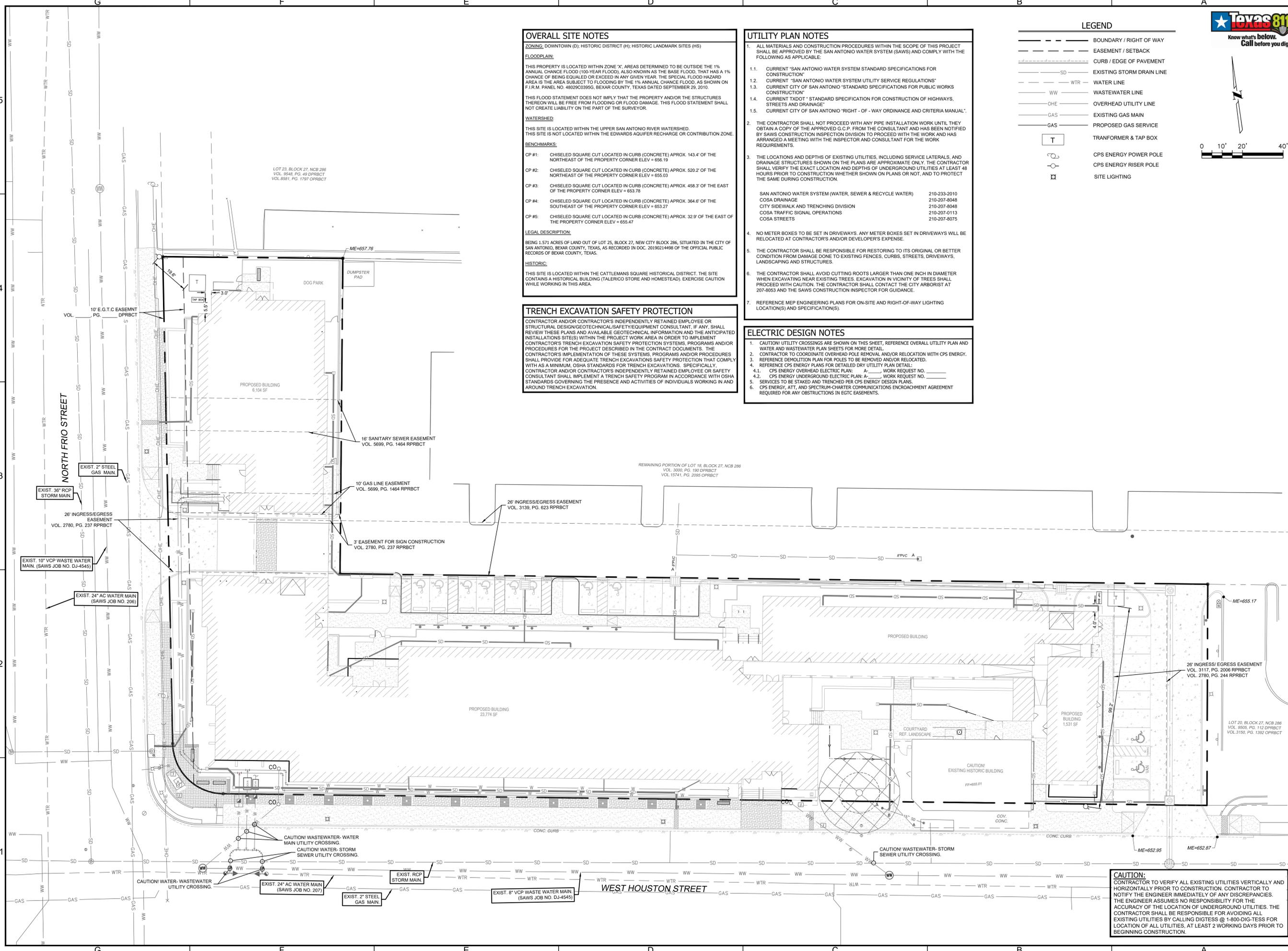


PROJECT: CATTLEMAN SQUARE LOFTS
811 WEST HOUSTON STREET
SAN ANTONIO, TEXAS 78207

SHEET: CU102
13 OF 21
PLAT NO.: 20-11800007

WATER PLAN

FILENAME: P:\Projects\030 - Alamo Community Center\030 - Alamo Community Center - CU103 DRY UTILITY PLAN.dwg - C:\Users\BAMR\OneDrive - City of San Antonio\Documents\030 - Alamo Community Center - CU103 DRY UTILITY PLAN.dwg - LAST MODIFIED ON 2/22/2024 12:17 PM
 PLOT DATE: 2/22/2024 12:17 PM
 PLOT BY: B. M. R. (BAMR)
 PLOT SCALE: 1/8" = 1'-0"
 PLOT STATUS: PLOTTED WITH DWG TO PDF PLOT
 LAST MODIFIED ON 2/22/2024 12:17 PM
 PLOT DATE: 2/22/2024 12:17 PM
 PLOT BY: B. M. R. (BAMR)
 PLOT SCALE: 1/8" = 1'-0"
 PLOT STATUS: PLOTTED WITH DWG TO PDF PLOT



OVERALL SITE NOTES

ZONING: DOWNTOWN (D); HISTORIC DISTRICT (H); HISTORIC LANDMARK SITES (HS)

FLOODPLAIN:

THIS PROPERTY IS LOCATED WITHIN ZONE 'X'. AREAS DETERMINED TO BE OUTSIDE THE 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD, THAT HAS A 1% CHANCE OF BEING EQUALLED OR EXCEEDED IN ANY GIVEN YEAR. THE SPECIAL FLOOD HAZARD AREA IS THE AREA SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD, AS SHOWN ON F.I.R.M. PANEL NO. 48029C0395G, BEKAR COUNTY, TEXAS DATED SEPTEMBER 29, 2010.

THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

WATERSHED:

THIS SITE IS LOCATED WITHIN THE UPPER SAN ANTONIO RIVER WATERSHED. THIS SITE IS NOT LOCATED WITHIN THE EDWARDS AQUIFER RECHARGE OR CONTRIBUTION ZONE.

BENCHMARKS:

CP #1: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 143.4' OF THE NORTHEAST OF THE PROPERTY CORNER ELEV = 656.19
 CP #2: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 520.2' OF THE NORTHEAST OF THE PROPERTY CORNER ELEV = 655.05
 CP #3: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 458.3' OF THE EAST OF THE PROPERTY CORNER ELEV = 653.78
 CP #4: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 384.6' OF THE SOUTHEAST OF THE PROPERTY CORNER ELEV = 653.27
 CP #5: CHISELED SQUARE CUT LOCATED IN CURB (CONCRETE) APPROX. 32.9' OF THE EAST OF THE PROPERTY CORNER ELEV = 655.47

LEGAL DESCRIPTION:

BEING 1.571 ACRES OF LAND OUT OF LOT 25, BLOCK 27, NEW CITY BLOCK 286, SITUATED IN THE CITY OF SAN ANTONIO, BEKAR COUNTY, TEXAS, AS RECORDED IN DOC. 20190214998 OF THE OFFICIAL PUBLIC RECORDS OF BEKAR COUNTY, TEXAS.

HISTORIC:

THIS SITE IS LOCATED WITHIN THE CATTLEMAN SQUARE HISTORICAL DISTRICT. THE SITE CONTAINS A HISTORIC BUILDING (TALERICO STORE AND HOMESTEAD). EXERCISE CAUTION WHILE WORKING IN THIS AREA.

UTILITY PLAN NOTES

- ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS PROJECT SHALL BE APPROVED BY THE SAN ANTONIO WATER SYSTEM (SAWS) AND COMPLY WITH THE FOLLOWING AS APPLICABLE:
 - CURRENT "SAN ANTONIO WATER SYSTEM STANDARD SPECIFICATIONS FOR CONSTRUCTION"
 - CURRENT "SAN ANTONIO WATER SYSTEM UTILITY SERVICE REGULATIONS"
 - CURRENT CITY OF SAN ANTONIO "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION"
 - CURRENT "TXDOT" - STANDARD SPECIFICATION FOR CONSTRUCTION OF HIGHWAYS, STREETS AND DRAINAGE"
 - CURRENT CITY OF SAN ANTONIO "RIGHT - OF - WAY ORDINANCE AND CRITERIA MANUAL"
- THE CONTRACTOR SHALL NOT PROCEED WITH ANY PIPE INSTALLATION WORK UNTIL THEY OBTAIN A COPY OF THE APPROVED G.C.P. FROM THE CONSULTANT AND HAS BEEN NOTIFIED BY SAWS CONSTRUCTION INSPECTION DIVISION TO PROCEED WITH THE WORK AND HAS ARRANGED A MEETING WITH THE INSPECTOR AND CONSULTANT FOR THE WORK REQUIREMENTS.
- THE LOCATIONS AND DEPTHS OF EXISTING UTILITIES, INCLUDING SERVICE LATERALS, AND DRAINAGE STRUCTURES SHOWN ON THE PLANS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND DEPTHS OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION WHETHER SHOWN ON PLANS OR NOT, AND TO PROTECT THE SAME DURING CONSTRUCTION.

SAN ANTONIO WATER SYSTEM (WATER, SEWER & RECYCLE WATER)	210-233-2010
COSA DRAINAGE	210-207-8048
CITY SIDEWALK AND TRENCHING DIVISION	210-207-8048
COSA TRAFFIC SIGNAL OPERATIONS	210-207-0113
COSA STREETS	210-207-8075
- NO METER BOXES TO BE SET IN DRIVEWAYS. ANY METER BOXES SET IN DRIVEWAYS WILL BE RELOCATED AT CONTRACTOR'S AND/OR DEVELOPER'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL OR BETTER CONDITION FROM DAMAGE DONE TO EXISTING FENCES, CURBS, STREETS, DRIVEWAYS, LANDSCAPING AND STRUCTURES.
- THE CONTRACTOR SHALL AVOID CUTTING ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATING NEAR EXISTING TREES. EXCAVATION IN VICINITY OF TREES SHALL PROCEED WITH CAUTION. THE CONTRACTOR SHALL CONTACT THE CITY ARBORIST AT 207-8053 AND THE SAWS CONSTRUCTION INSPECTOR FOR GUIDANCE.
- REFERENCE MEP ENGINEERING PLANS FOR ON-SITE AND RIGHT-OF-WAY LIGHTING LOCATION(S) AND SPECIFICATION(S).

TRENCH EXCAVATION SAFETY PROTECTION

CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITE(S) WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATIONS SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

ELECTRIC DESIGN NOTES

- CAUTION! UTILITY CROSSINGS ARE SHOWN ON THIS SHEET, REFERENCE OVERALL UTILITY PLAN AND WATER AND WASTEWATER PLAN SHEETS FOR MORE DETAIL.
- CONTRACTOR TO COORDINATE OVERHEAD POLE REMOVAL AND/OR RELOCATION WITH CPS ENERGY.
- REFERENCE DEMOLITION PLAN FOR POLES TO BE REMOVED AND/OR RELOCATED.
- REFERENCE CPS ENERGY PLANS FOR DETAILED DRY UTILITY PLAN DETAIL:
 - CPS ENERGY OVERHEAD ELECTRIC PLAN: A-____, WORK REQUEST NO. _____
 - CPS ENERGY UNDERGROUND ELECTRIC PLAN: A-____, WORK REQUEST NO. _____
- SERVICES TO BE STAKED AND TRENCHED PER CPS ENERGY DESIGN PLANS.
- CPS ENERGY, ATT, AND SPECTRUM-CHARTER COMMUNICATIONS ENCROACHMENT AGREEMENT REQUIRED FOR ANY OBSTRUCTIONS IN EGTC EASEMENTS.

LEGEND

- BOUNDARY / RIGHT OF WAY
- - - EASEMENT / SETBACK
- CURB / EDGE OF PAVEMENT
- SD --- EXISTING STORM DRAIN LINE
- WTR --- WATER LINE
- WW --- WASTEWATER LINE
- OHE --- OVERHEAD UTILITY LINE
- GAS --- EXISTING GAS MAIN
- GAS --- PROPOSED GAS SERVICE
- T --- TRANSFORMER & TAP BOX
- --- CPS ENERGY POWER POLE
- --- CPS ENERGY RISER POLE
- --- SITE LIGHTING

0 10' 20' 40'



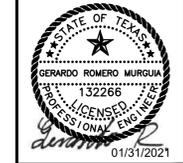
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2	12/14/2023	ISSUE FOR PERMIT SET
1	11/25/2023	INTEREST REVIEW SET

FIRM NO. F-15085

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PHONE NO. _____

SELECT CORRECT ADDRESS FROM DROPDOWN



PROJECT: CATTLEMAN SQUARE LOFTS
 811 WEST HOUSTON STREET
 SAN ANTONIO, TEXAS 78207

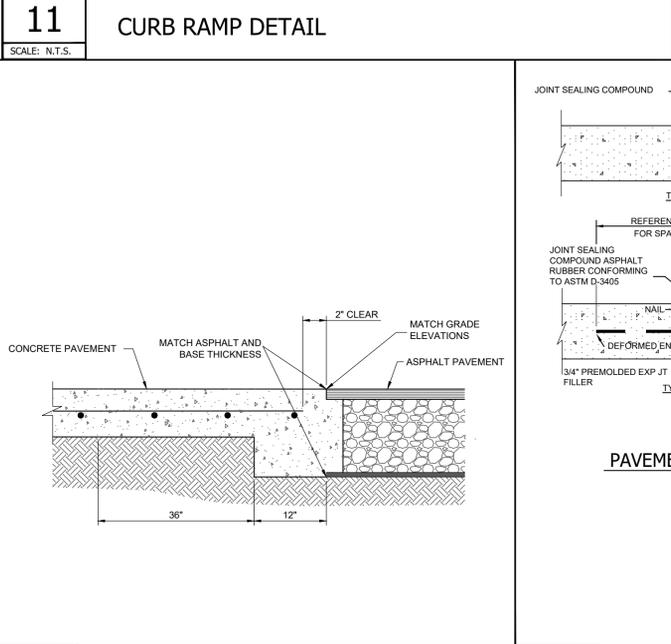
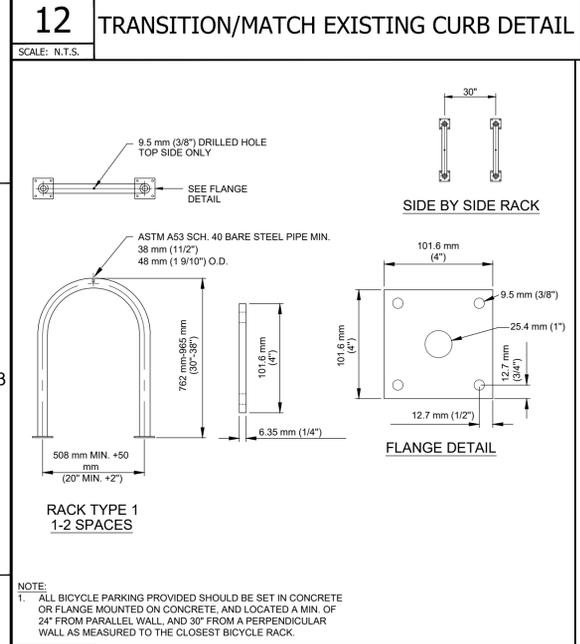
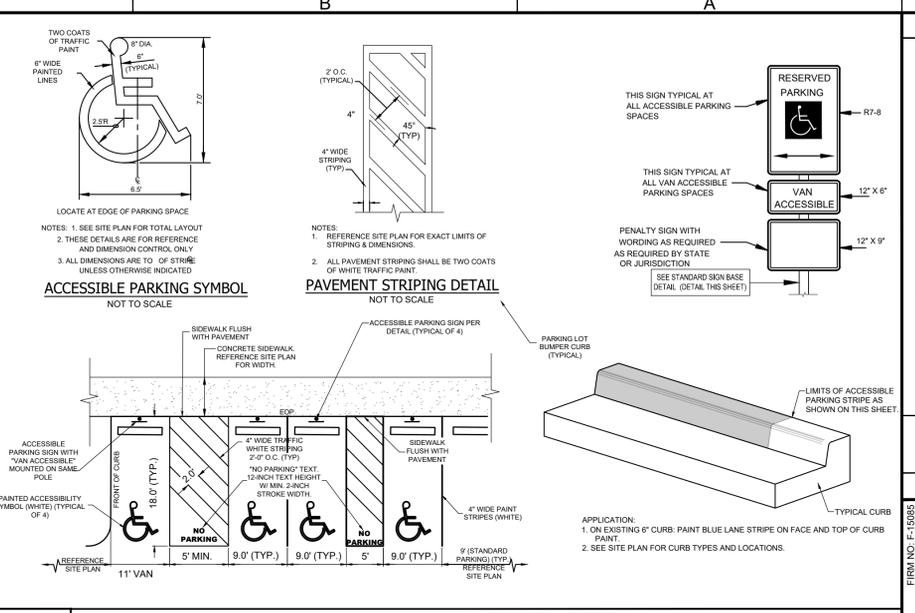
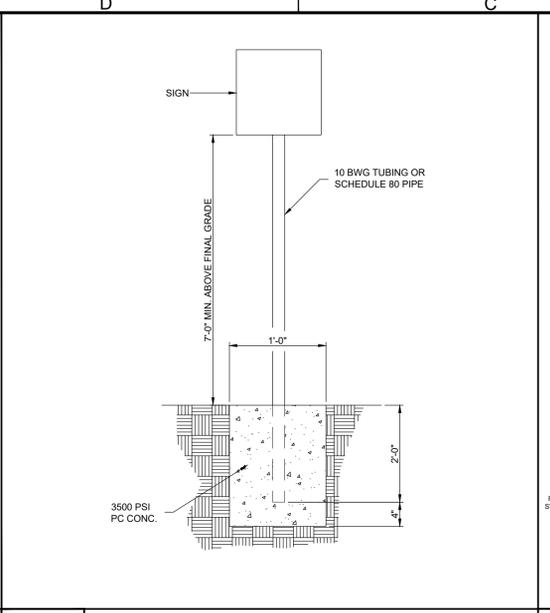
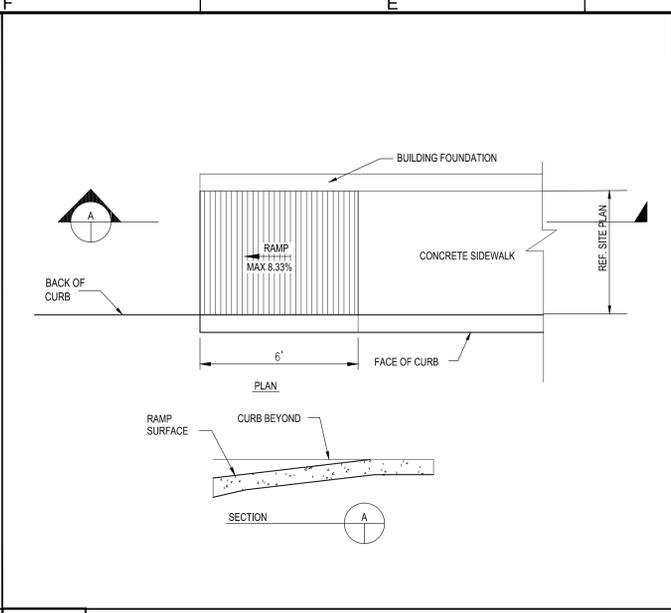
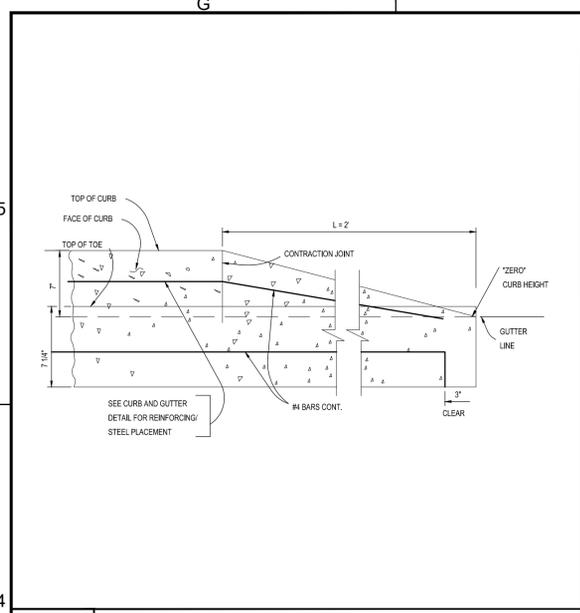
SHEET TITLE: DRY UTILITY PLAN

SHEET: CU103
 14 OF 21

HUD NO. 115-35930

CAUTION:
 CONTRACTOR TO VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AVOIDING ALL EXISTING UTILITIES BY CALLING DIGITEST @ 1-800-DIG-TEST FOR LOCATION OF ALL UTILITIES, AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.

LAYOUT BY: MARIANNA WILSON
 PLOTTED BY: MARIANNA WILSON
 LAST MODIFIED ON: 03/29/2021 2:25 PM
 PLOTTED WITH: DWG TO PDF PLOT
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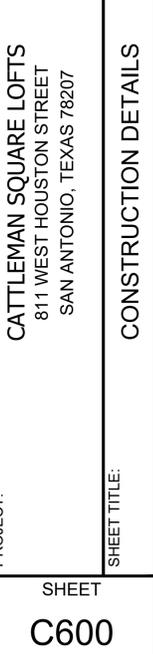
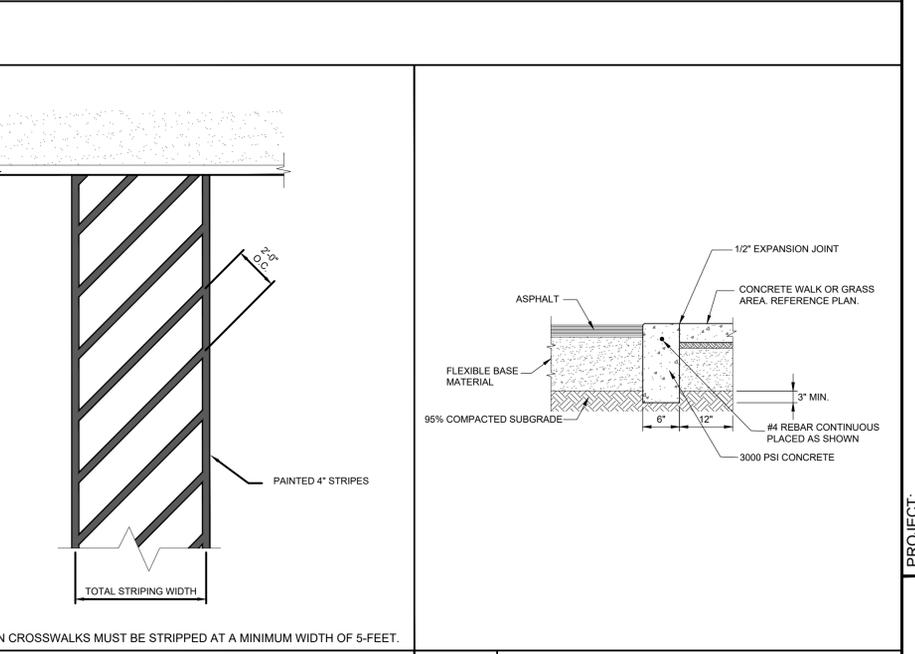
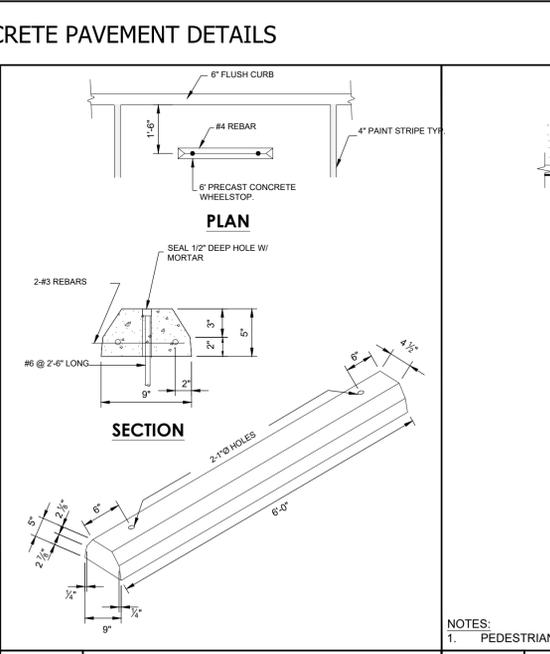
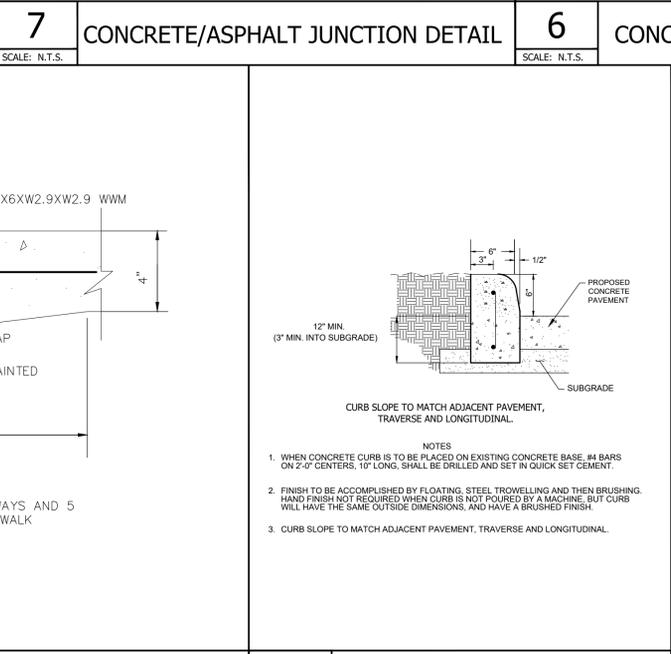
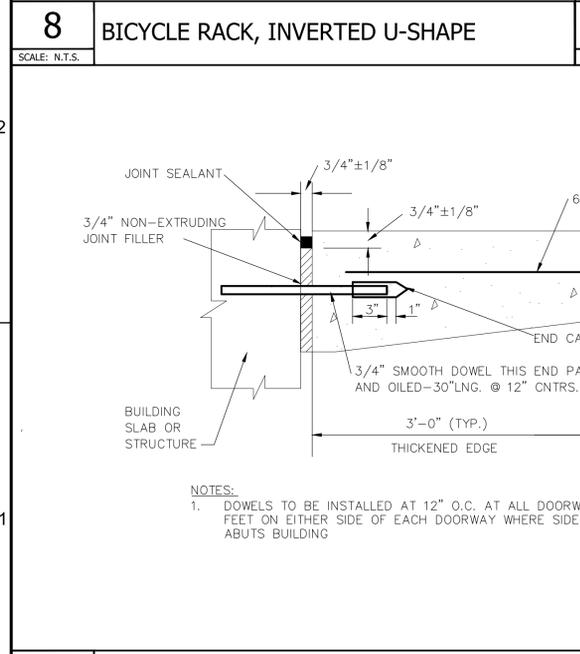
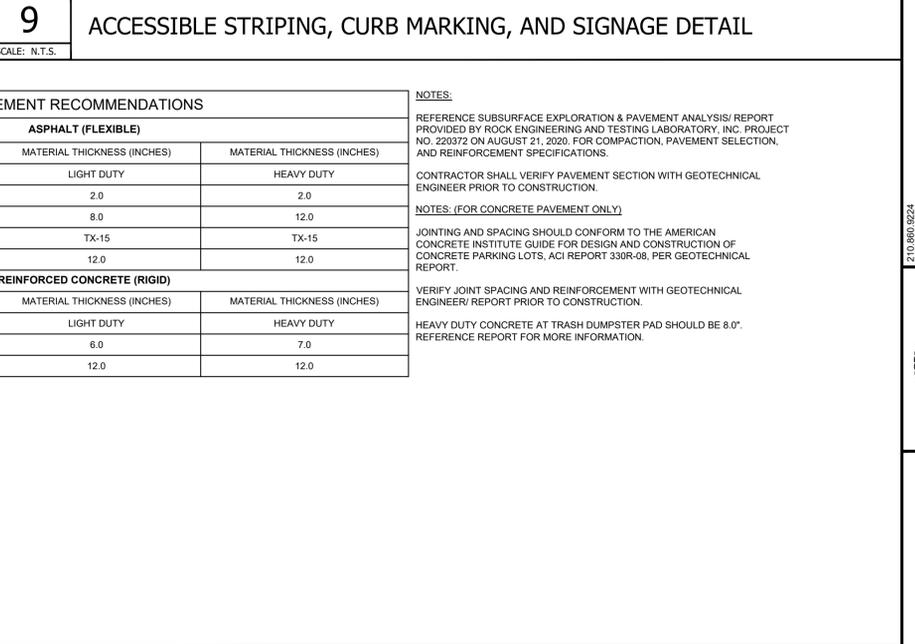


PAVEMENT RECOMMENDATIONS

SECTION COMPONENT	ASPHALT (FLEXIBLE)	
	MATERIAL THICKNESS (INCHES)	MATERIAL THICKNESS (INCHES)
HMAC, TYPE D	2.0	2.0
CRUSHED LIMESTONE BASE MATERIAL	8.0	12.0
TENSAR GEOGRID	TX-15	TX-15
COMPACTED SUBGRADE	12.0	12.0

SECTION COMPONENT	REINFORCED CONCRETE (RIGID)	
	MATERIAL THICKNESS (INCHES)	MATERIAL THICKNESS (INCHES)
CONCRETE	6.0	7.0
COMPACTED SUBGRADE	12.0	12.0

NOTES:
 REFERENCE SUBSURFACE EXPLORATION & PAVEMENT ANALYSIS/ REPORT PROVIDED BY ROCK ENGINEERING AND TESTING LABORATORY, INC. PROJECT NO. 220372 ON AUGUST 21, 2020. FOR COMPACTION, PAVEMENT SELECTION, AND REINFORCEMENT SPECIFICATIONS.
 CONTRACTOR SHALL VERIFY PAVEMENT SECTION WITH GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION.
NOTES: (FOR CONCRETE PAVEMENT ONLY)
 JOINTING AND SPACING SHOULD CONFORM TO THE AMERICAN CONCRETE INSTITUTE GUIDE FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS, ACI REPORT 330R-08, PER GEOTECHNICAL REPORT.
 VERIFY JOINT SPACING AND REINFORCEMENT WITH GEOTECHNICAL ENGINEER/ REPORT PRIOR TO CONSTRUCTION.
 HEAVY DUTY CONCRETE AT TRASH DUMPSTER PAD SHOULD BE 8.0". REFERENCE REPORT FOR MORE INFORMATION.



FILENAME: P:\Projects\030 - Alamo Community College\030-001-111 W Houston BLMP10 - C600 CONSTRUCTION DETAILS.dwg - LAYOUT 0800 CONSTRUCTION DETAILS
 2/10/2021 10:00:00 AM

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2	03/29/2021	ISSUE FOR PERMIT SET (REVISED)
3	03/29/2021	ISSUE FOR PERMIT SET
4	03/29/2021	INTEREST REVIEW SET

FIRM NO. F-15085

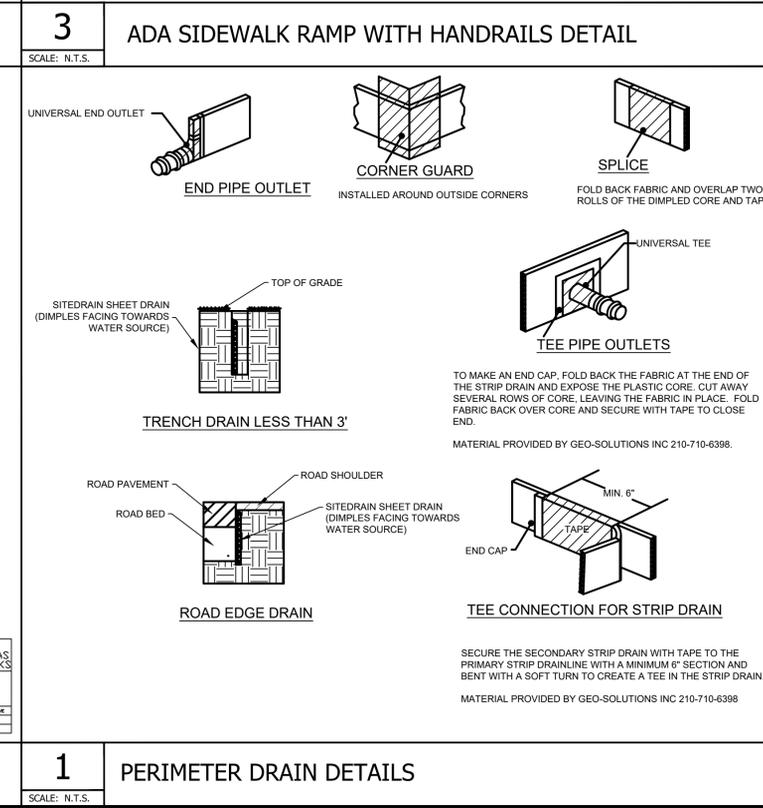
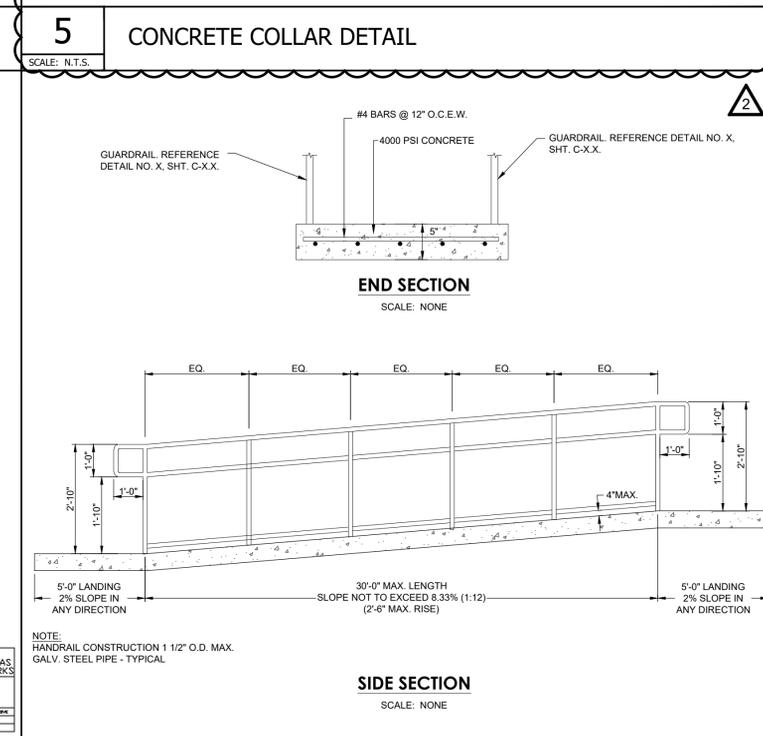
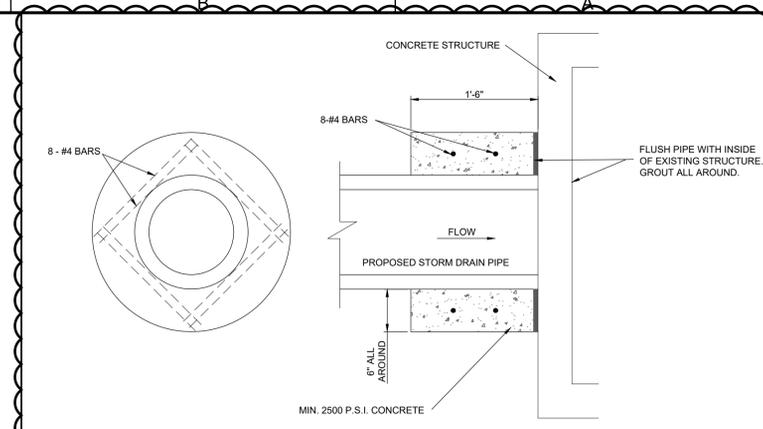
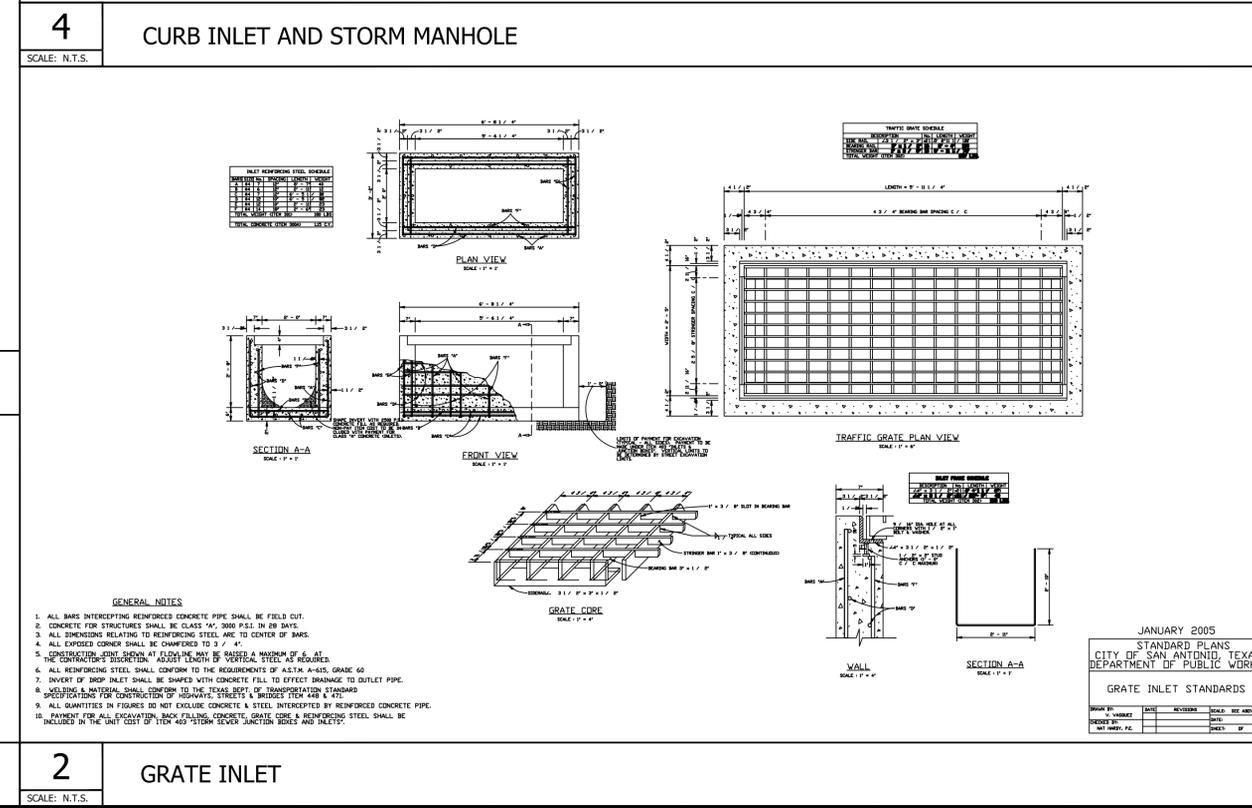
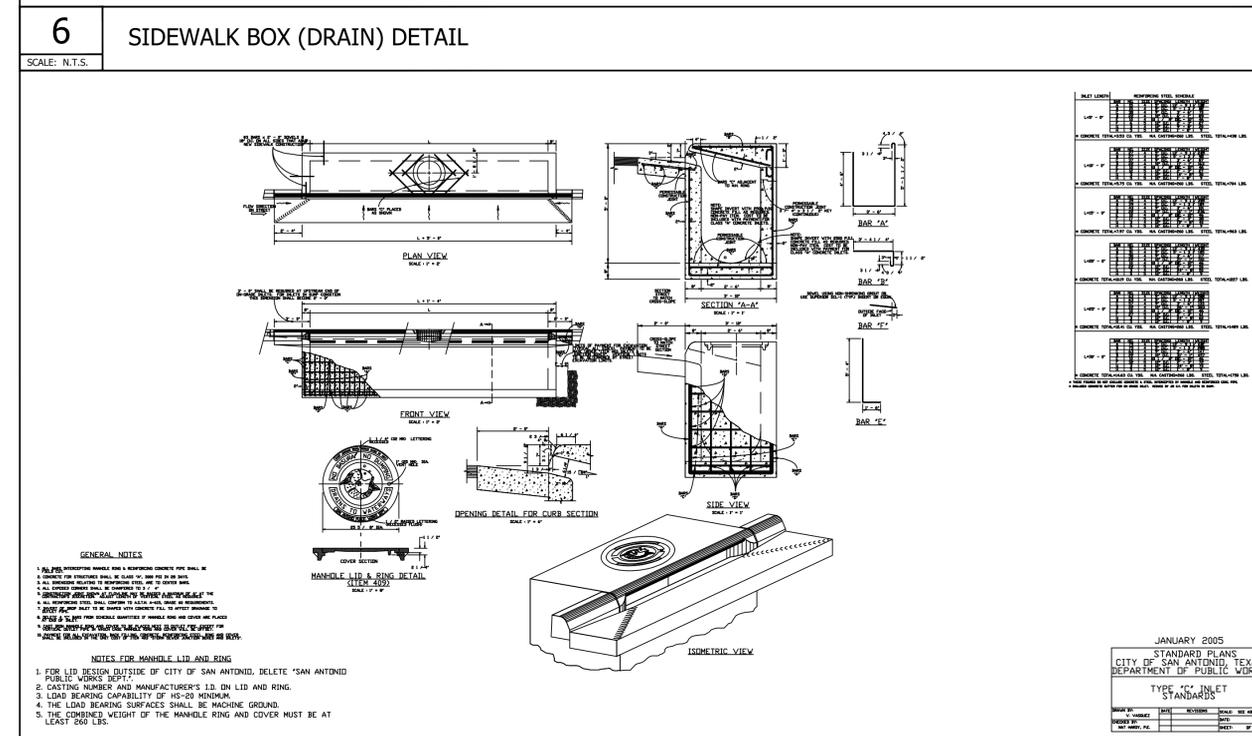
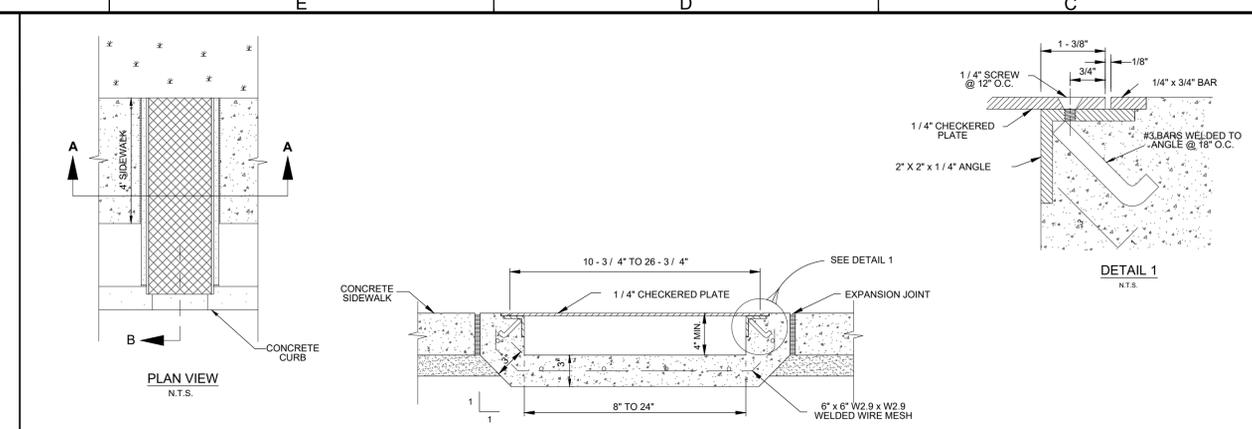
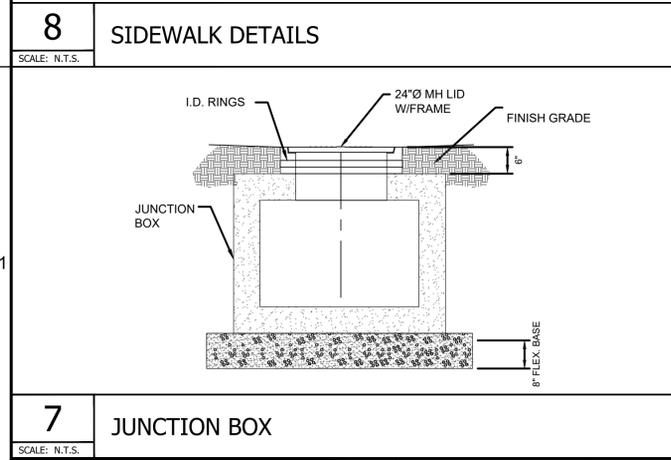
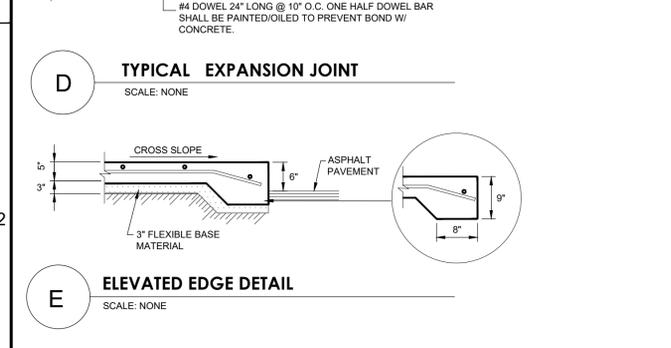
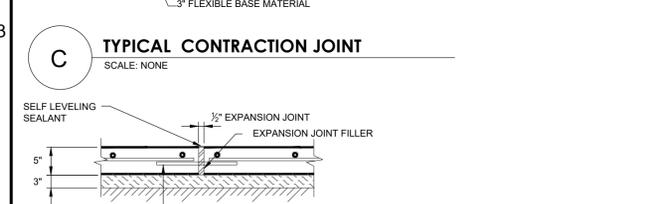
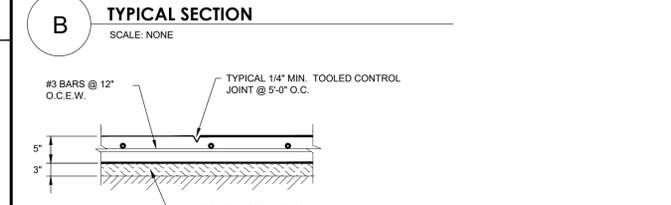
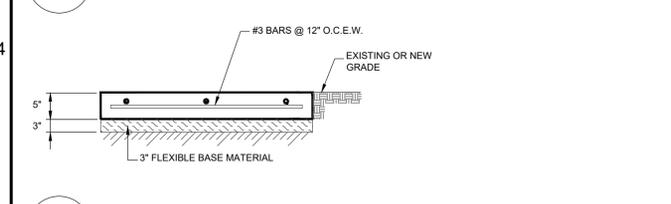
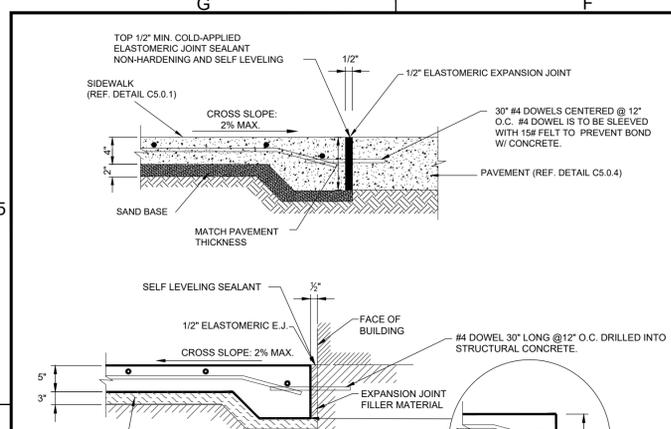
 WGL Inc.
 5710 W. HAUSMAN RD. SUITE 115 SAN ANTONIO, TEXAS 78249
 210.860.9224

STATE OF TEXAS
 132266
 GEORJO ROMERO MURRAY
 LICENSED PROFESSIONAL ENGINEER
 03/29/2021

PROJECT: CATTLEMAN SQUARE LOFTS
 811 WEST HOUSTON STREET
 SAN ANTONIO, TEXAS 78207
 SHEET TITLE: CONSTRUCTION DETAILS
 SHEET: C600
 16 OF 21
 PLAT NO.: 20-11800007

LAST REVISION: 03/29/2021
 PLOTTED BY: MORGAN HANCOCK
 LAST MODIFIED ON: 03/29/2021 2:25 PM
 PLOTTED WITH: DWG TO PDF PLOT
 PLOT STYLE: V1 (US) - PLOTSTYLETABLE.ctb

FILENAME: P:\Projects\0300 - Alamo Community Center\0300 - 811 W Houston - 811.MFG - Civil-10-08110000-10.010 - CONSTRUCTION DETAILS.dwg - LAYOUT 0002 - GRADING AND STORM DETAILS

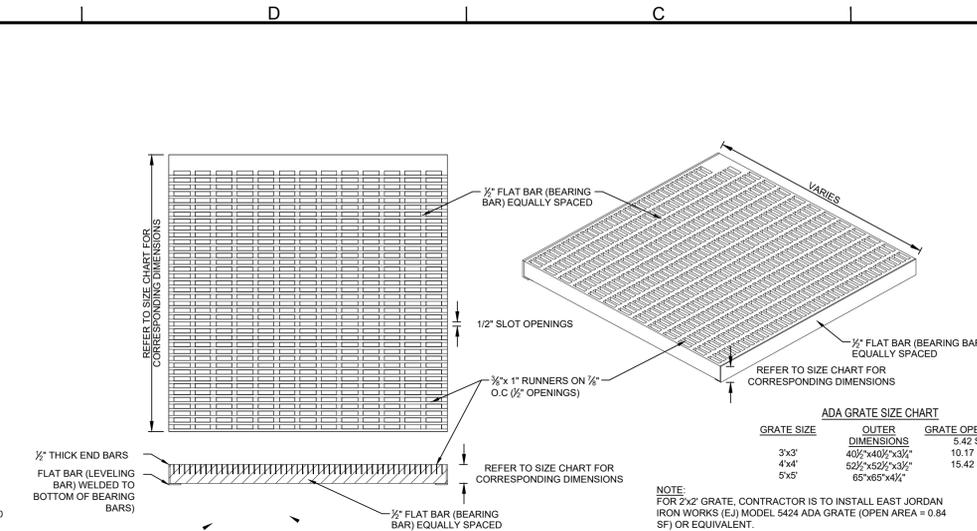
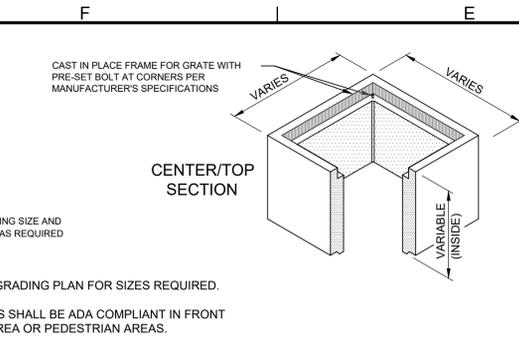
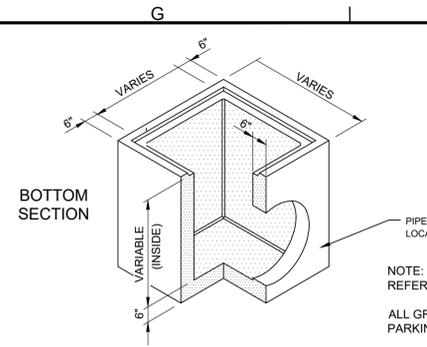


NO.	DATE	DESCRIPTION
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2	03/29/2021	ISSUE FOR PERMIT SET (REVISED)
3	12/14/2020	ISSUE FOR PERMIT SET
4	11/29/2020	INTEREST REVIEW SET

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 5710 W. HAUSMAN RD. SUITE 115 SAN ANTONIO, TEXAS 78249
 210.880.9224
 STATE OF TEXAS
 PROFESSIONAL ENGINEER
 132266
 GONZALO ROMERO MURRAY
 03/29/2021

PROJECT: CATTLEMAN SQUARE LOFTS
 811 WEST HOUSTON STREET
 SAN ANTONIO, TEXAS 78207
 SHEET TITLE: GRADING AND STORM DETAILS
 SHEET: C602
 18 OF 21
 PLAT NO.: 20-1180007

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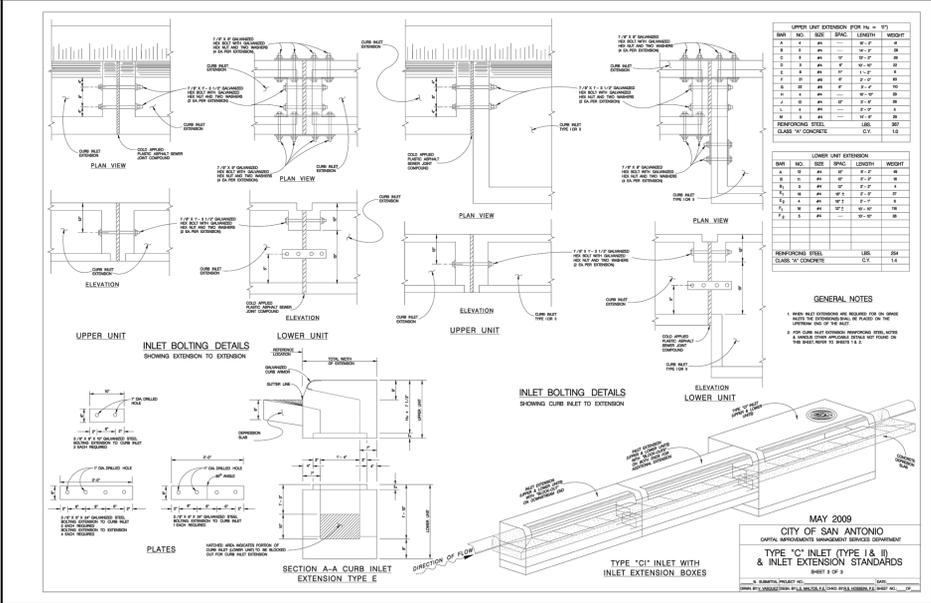
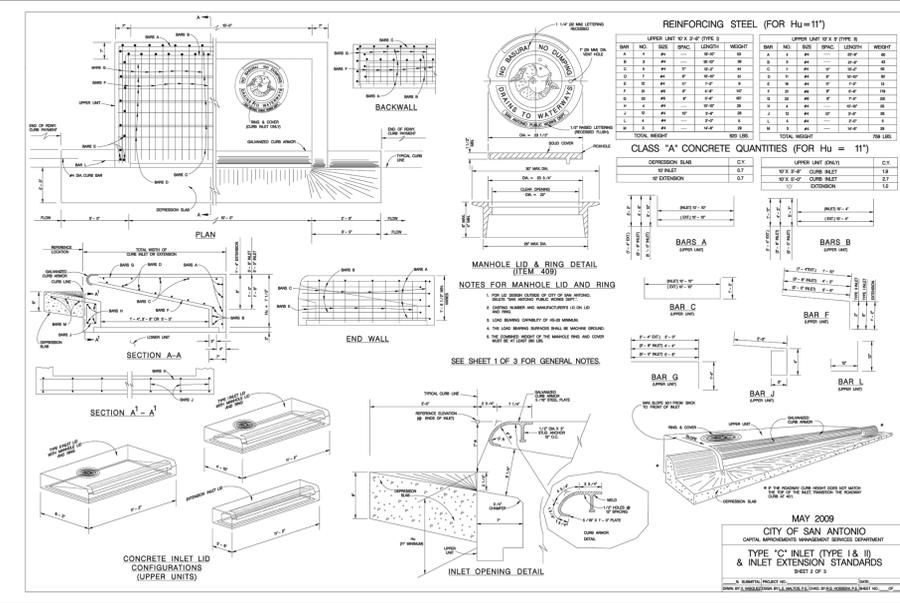
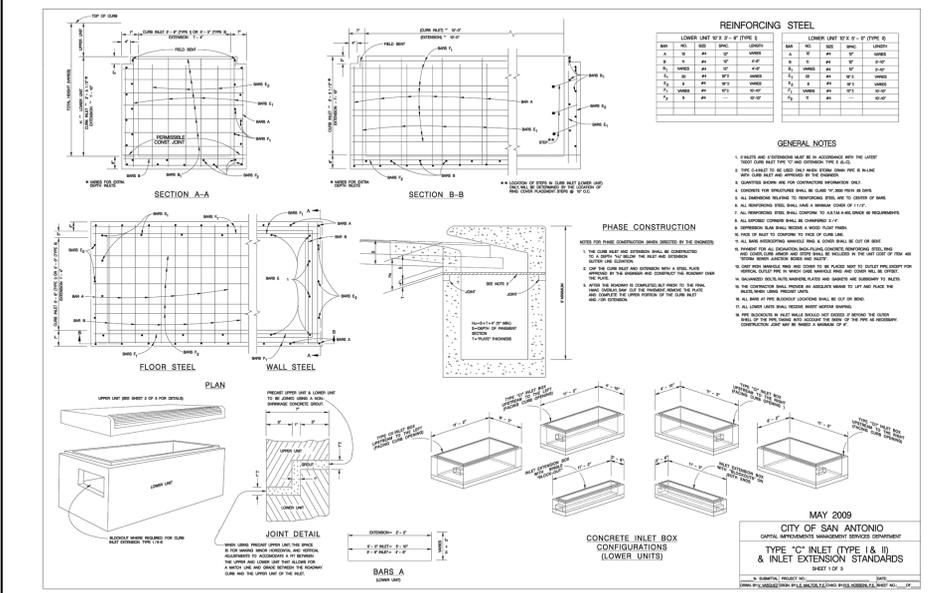
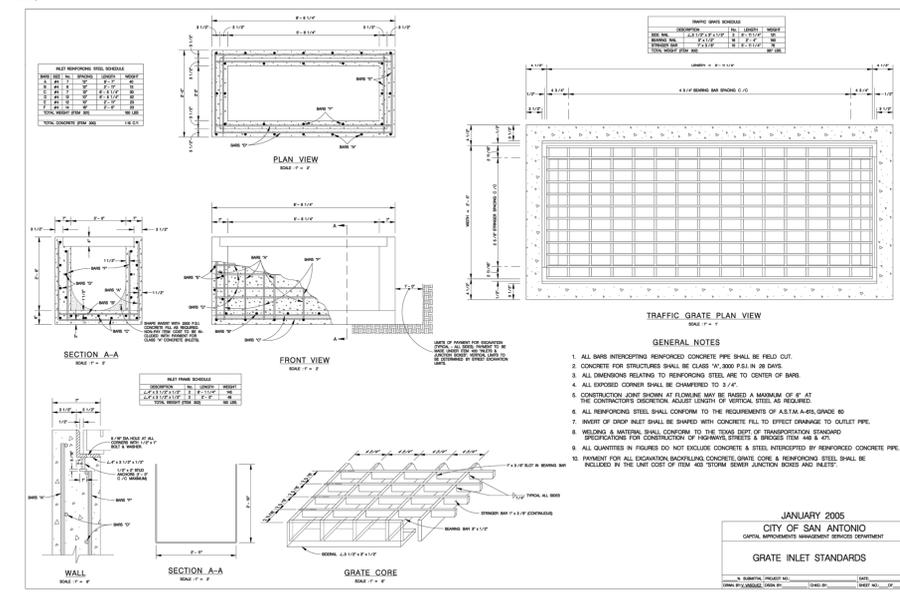
NOTES:
 ALL CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4500 PSI.
 REINFORCING STEEL SHALL COMPLY WITH ASTM A615 GRADE 60, A706 GRADE 60 OR A497 GRADE 70. BAR BENDING AND PLACEMENT SHALL COMPLY WITH THE LATEST ACI STANDARDS.
 STANDARD STRUCTURAL DESIGN IS BASED ON AASHTO HS 20 WHEEL LOADING.
 WATER TABLE IS AT 3'-0" BELOW GRADE FOR STANDARD STRUCTURAL DESIGN.
 THE STANDARD DESIGN IS BASED ON THE TOP AT GRADE AND THE BASE AT 8'-0" MAX. BELOW GRADE.
 THE STRUCTURE SHALL BE PLACED ON A COMPACTED GRANULAR BASE TO INSURE UNIFORM DISTRIBUTION OF SOIL PRESSURES.
 SPECIAL DESIGNS BASED ON OTHER LOADINGS OR DEEPER INSTALLATION DEPTHS ARE AVAILABLE ON REQUEST.
 KNOCKOUTS, OR PIPE OPENINGS CAN BE PROVIDED IN THE SIZE AND LOCATIONS REQUIRED.

APPROXIMATE CENTER SECTION WEIGHTS
 2'-0" INSIDE 2200 LBS.
 2'-6" INSIDE 2700 LBS.
 3'-0" INSIDE 3200 LBS.
 3'-6" INSIDE 3700 LBS.
 4'-0" INSIDE 4300 LBS.

APPROXIMATE BOTTOM WEIGHTS
 2'-0" INSIDE 3400 LBS.
 2'-6" INSIDE 3900 LBS.
 3'-0" INSIDE 4400 LBS.
 3'-6" INSIDE 4900 LBS.
 MINIMUM EXCAVATION 6'-0" x 8'-0"

NOTES:
 ALL GRATES SHALL BE BOLTED TO THE INLET FOR LOSS PREVENTION.
 ALL GRATES SHALL MEET HS20 LOADING REQUIREMENTS.
 GRATES SHALL BE SIZED PER MANUFACTURER'S RECOMMENDATIONS.
 CROSS BARS WITHIN THE GRATE SHALL BE PROVIDED AS REQUIRED TO MEET HS20 LOADING REQUIREMENTS PER THE MANUFACTURER RECOMMENDATIONS.
 CONTRACTOR TO SUBMIT GRATE DETAILS TO ENGINEER OF RECORDED PRIOR TO CONSTRUCTION TO ALLOW FOR REVIEW AND CONFIRMATION THAT HYDRAULIC CAPACITY IS MET PER THE CONSTRUCTION DOCUMENTS.
 GRATES SHALL BE SET SO OPENINGS ARE PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAFFIC AS NOT TO CAUSE A HAZARD.
 REFER TO GRADING PLAN FOR THE SIZE OF GRATE INLET REQUIRED.
 THE SIZE OF THE GRATE OPENING IS SPECIFIED WITHIN THE GRADING PLAN.
 CONTRACTOR TO REVIEW PLANS AND SELECT APPROPRIATE BASE UNIT PER STORM DRAIN PIPE DIAMETERS AND PIPE GEOMETRY.

ACCESSIBLE GRATE INLET



1 COSA DETAILS

NO.	DATE	DESCRIPTION
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2	12/14/2020	ISSUE FOR PERMIT SET
1	11/25/2020	INTEREST REVIEW SET

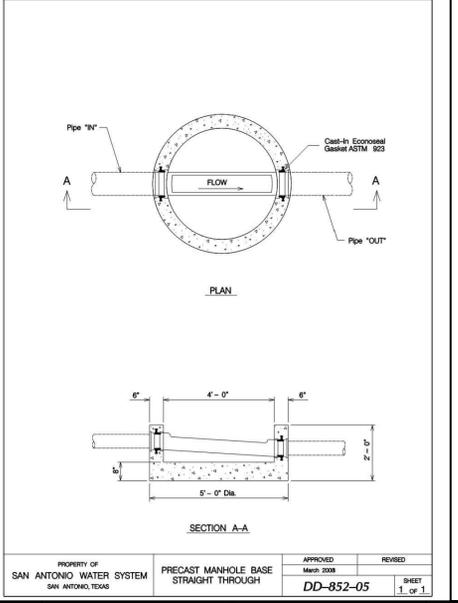
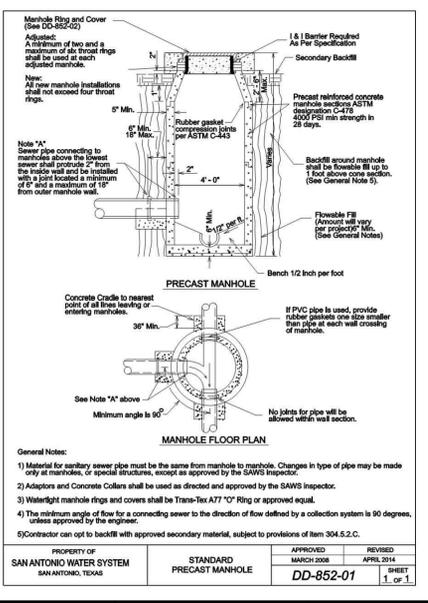
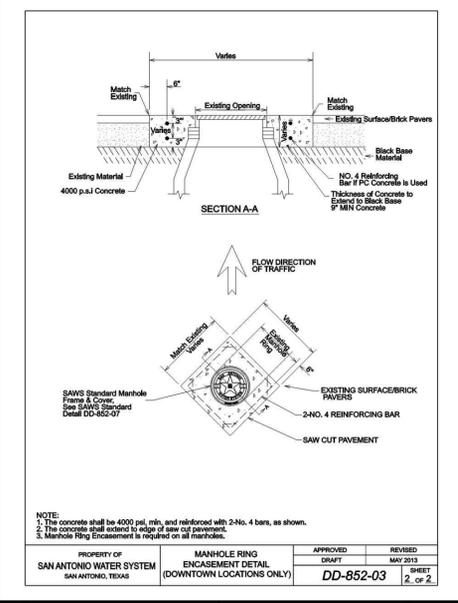
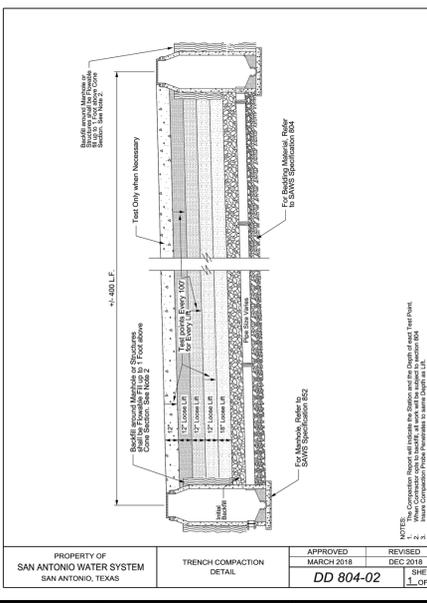
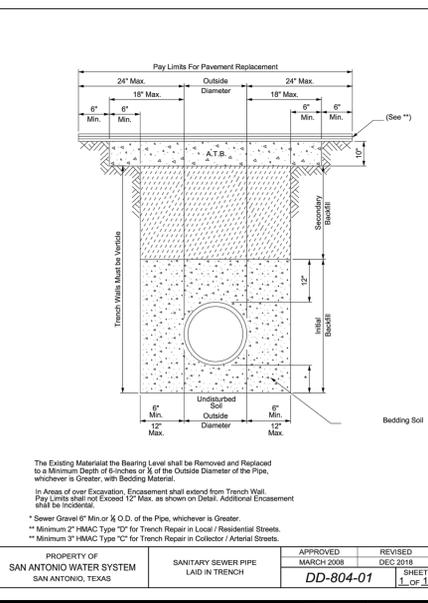
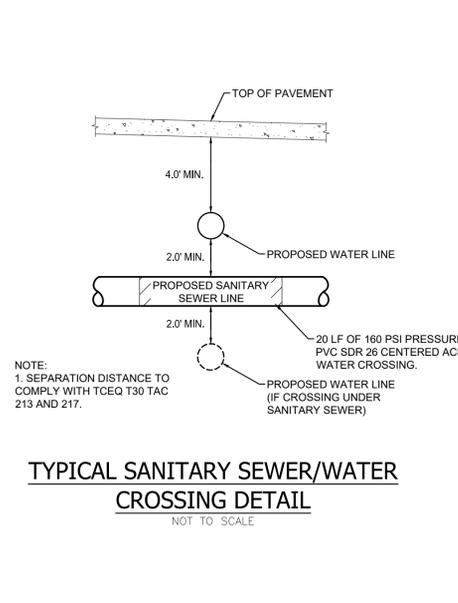
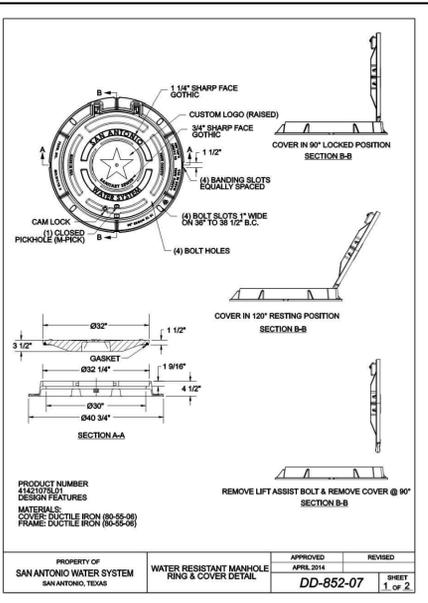
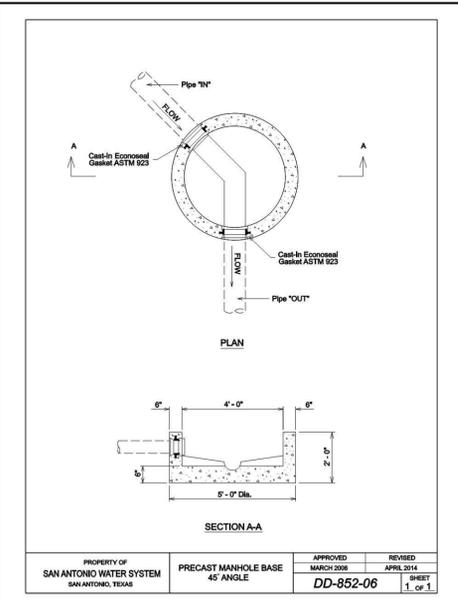
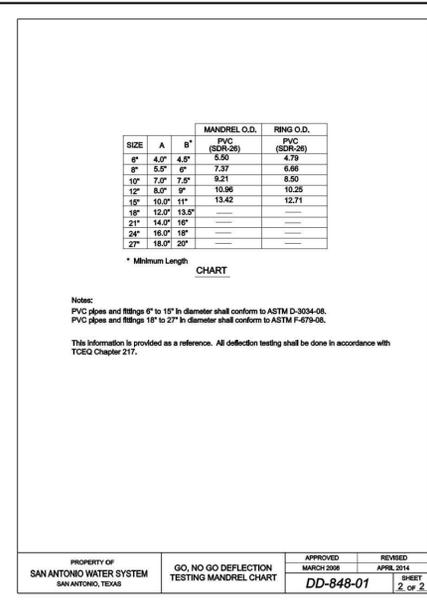
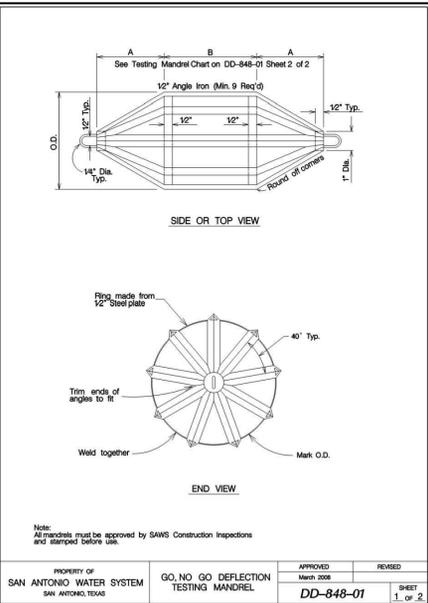
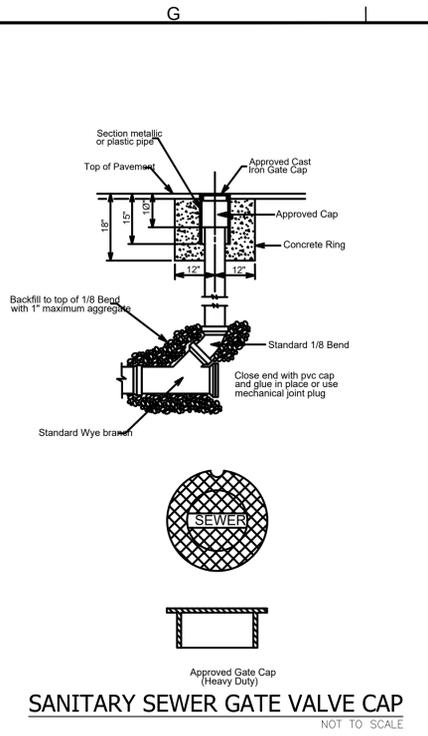
PHONE NO: **WGL**
wglinc.com
 SELECT CORRECT ADDRESS FROM DROPDOWN

STATE OF TEXAS
 GERARDO ROMERO MURQUIA
 LICENSED PROFESSIONAL ENGINEER
 CIVIL
 04/24/2021

PROJECT: CATTLEMAN SQUARE LOFTS
 811 WEST HOUSTON STREET
 SAN ANTONIO, TEXAS 78207

SHEET TITLE: GRADING AND STORM DETAILS

SAN ANTONIO WATER SYSTEM
 1000 DOWNEY AVENUE
 SAN ANTONIO, TEXAS 78204
 PHONE: (214) 747-2000
 FAX: (214) 747-2001
 WWW: www.sawater.com
 LAST MODIFIED: 04/20/2014 11:00 AM
 PLOTTED WITH: DWG TO PDF PLOT
 PLOT STYLE: V1:SPRINTPLOT.dwt (SCALE: 1.00)



PROJECT: CATTLEMAN SQUARE LOFTS
 811 WEST HOUSTON STREET
 SAN ANTONIO, TEXAS 78207
 SHEET TITLE: WASTEWATER DETAILS
 SHEET: C700
 20 OF 21
 HUD NO. 115-35930

FIRM NO. F-15085

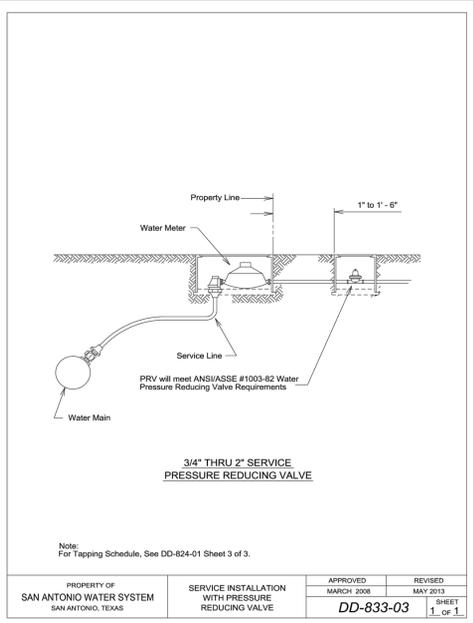
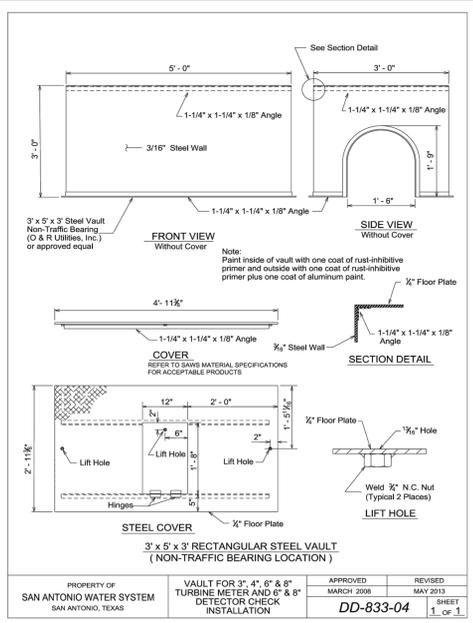
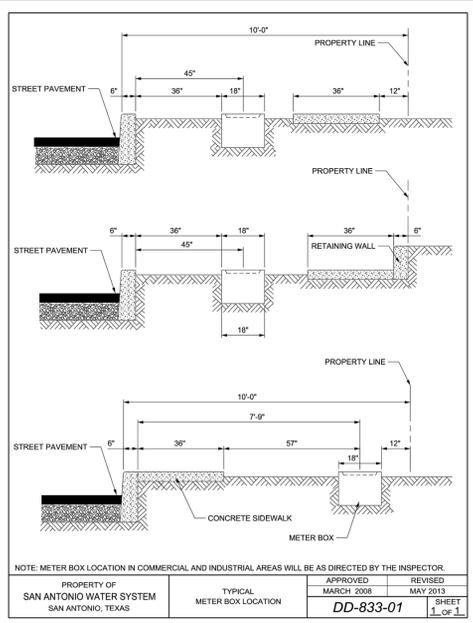
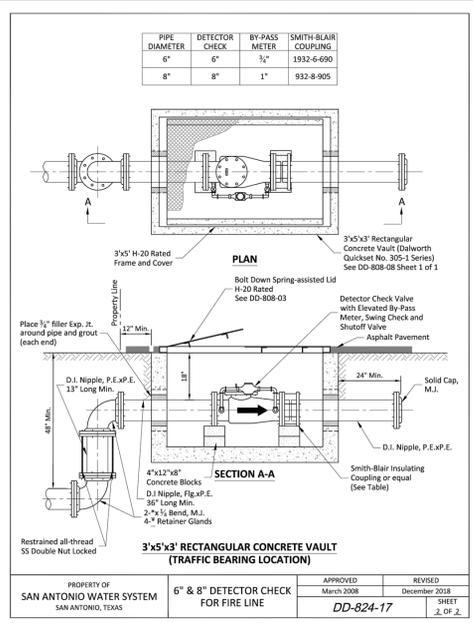
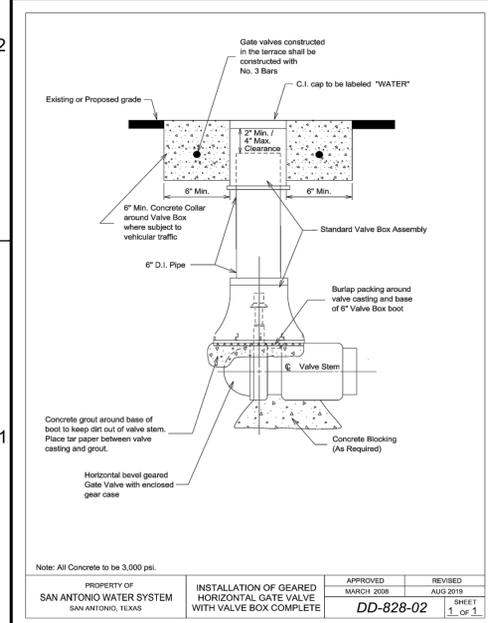
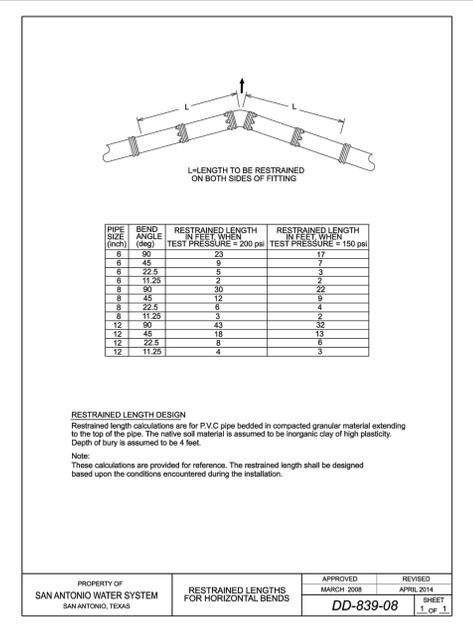
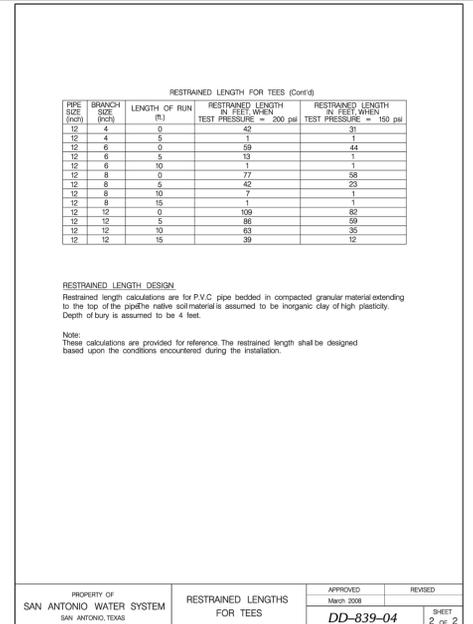
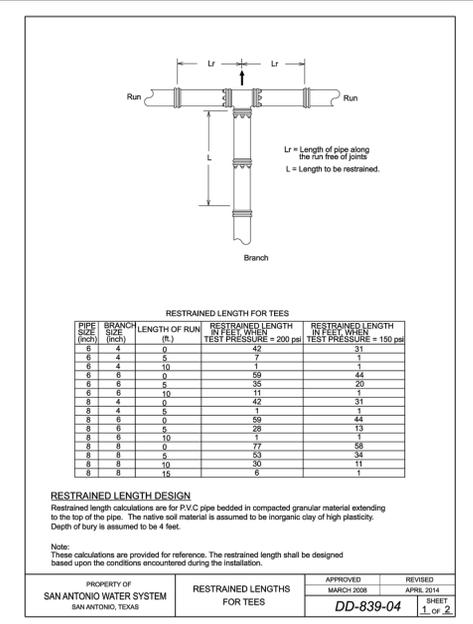
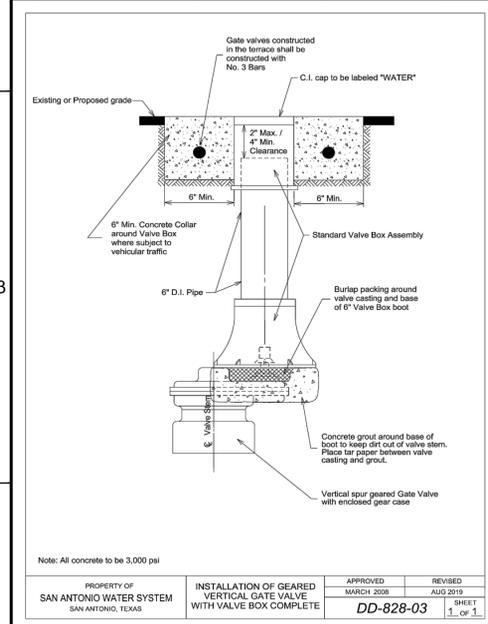
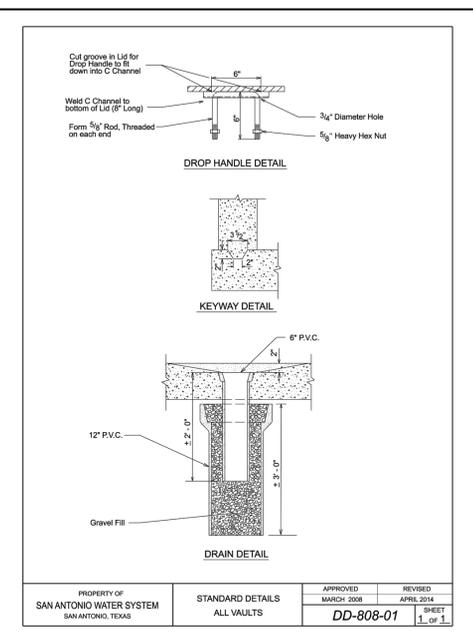
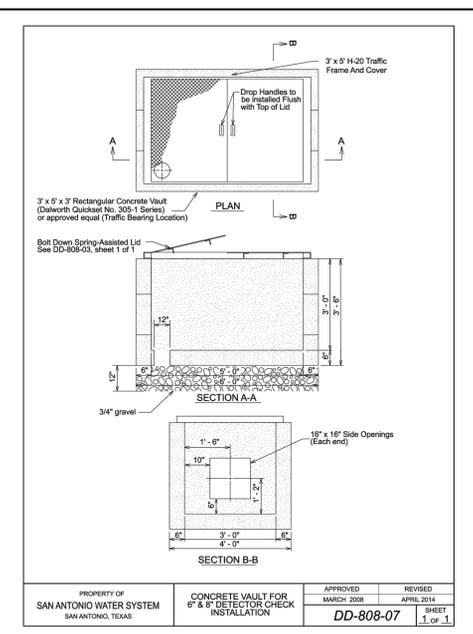
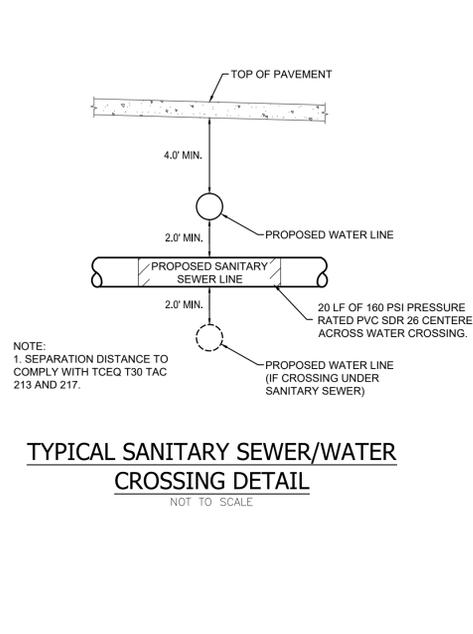
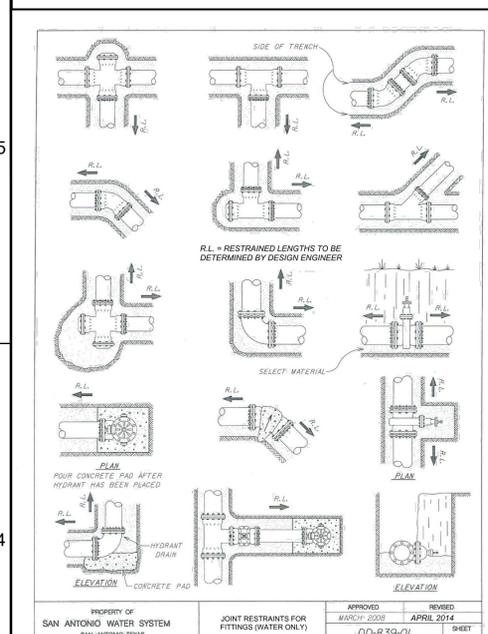
 WGL Inc.
 SELECT CORRECT ADDRESS FROM DROPDOWN

PHONE NO.:

 DATE:

NO.	DATE	DESCRIPTION
3	01/31/2024	ISSUE FOR PERMIT SET (REVISED)
2	12/14/2023	ISSUE FOR PERMIT SET
1	11/25/2023	INTEREST REVIEW SET

FILENAME: P:\Projects\0300 - Alamo Community College\0300-001 - 311 W Houston Bluff - C800 WATER SYSTEM DETAILS.dwg - LAYOUT C800 WATER SYSTEM DETAILS
 LAST MODIFIED: 08/20/2014 11:09 AM
 PLOTTED BY: JAVIER RAMIREZ
 PLOTTED WITH: DWG TO PDF PLOT
 PLOT STYLE: V1 (US)



PHONE NO: 214-261-1111

FIRM NO. F-15085

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PROJECT: CATTLEMAN SQUARE LOFTS
811 WEST HOUSTON STREET
SAN ANTONIO, TEXAS 78207

SHEET TITLE: WATER SYSTEM DETAILS

SHEET C800

21 OF 21

HUD NO. 115-35930

NO.	DATE	DESCRIPTION
3	01/13/2021	ISSUE FOR PERMIT SET (REVISED)
2	12/14/2020	ISSUE FOR PERMIT SET
1	11/25/2020	INTEREST REVIEW SET