

HISTORIC AND DESIGN REVIEW COMMISSION

October 7, 2020

HDRC CASE NO: 2020-342
ADDRESS: 7914 KENNEDY HILL
LEGAL DESCRIPTION: NCB 10879 P-126 (NON ADJ REMS)
ZONING: C-3
CITY COUNCIL DIST.: 3
APPLICANT: Leo Gomez, Brooks Development Authority
OWNER: Brooks Development Authority
TYPE OF WORK: Removal of historic designation

REQUEST:

The applicant seeks a recommendation from the Historic and Design Review Commission to remove the designation from the property at 7914 Kennedy Hill.

APPLICABLE CITATIONS:

Unified Development Code Sec. 35-606. - Designation Process Historic Landmarks.

- g. **Removal of Designation.** Upon recommendation of the historic and design review commission based upon new and compelling evidence and negative evaluation according to the same criteria and following the same procedures set forth herein for designation, a designation made under subsection (a) of this section may be removed by city council following recommendation by the historic and design review commission.

Unified Development Code Sec. 35-607. – Designation Criteria for Historic Districts and Landmarks.

- a. **Process for Considering Designation of Historic Districts and Landmarks.** Historic districts and landmarks shall be evaluated for designation using the criteria listed in subsection (b) and the criteria applied to evaluate properties for inclusion in the National Register. In order to be eligible for historic landmark designation, properties shall meet at least three (3) of the criteria listed. Historic districts shall consist of at least two (2) or more structures within a legally defined boundary that meet at least three (3) of the criteria. Additionally, all designated landmarks and districts shall demonstrate clear delineation of the legal boundaries of such designated resources.

FINDINGS:

- a. The property at 7914 Kennedy Hill was designated historic as part of the School of Aerospace Medicine local historic district by City Council Ordinance 97449 on April 10, 2003. The boundary runs along the east side of Building 186, southwest to intersect with Sidney Brooks. The designated area comprises about half of the subject parcel in question.
- b. The current property owner submitted a request for removal of designation for the property at 7914 Kennedy Hill. Consistent with the UDC Sec 35-606(g), the applicant must present new and compelling evidence that the property no longer meets the criteria for historic designation.
 - 1. The boundary description included in the February 5, 2003, Historic and Design Review Commission case materials and the March 18, 2003, Zoning Commission case materials are identical; see Boundary A in the attached exhibit titled “Reference for Boundaries of School of Aerospace Medicine Historic District.” However, Ordinance 97449 contains a slightly different boundary description, which included an undeveloped area south of Building 186; see Boundary B on the attached exhibit.
 - 2. There is no indication that there was an error in the final boundary approved by City Council (Boundary B on the attached exhibit). Staff found no discussion regarding the boundary in the City Council minutes from April 10, 2003. The boundary described in City Council Ordinance 97449 has been correctly displayed on City maps since designation in 2003.
 - 3. The request for removal of designation suggests an entirely new boundary (Boundary C on the attached exhibit), which would remove the eastern frontage of Kennedy Hill Rd from the district. Applying consistent design review guidelines to both sides of this road is integral to maintaining the district's character. Projects visible from the right-of-way will impact the context of the significant historic resources that the district is designed to protect. It is worth noting that the designated portion of the multifamily infill project to the north of Building 186 was reviewed and approved by this Commission.

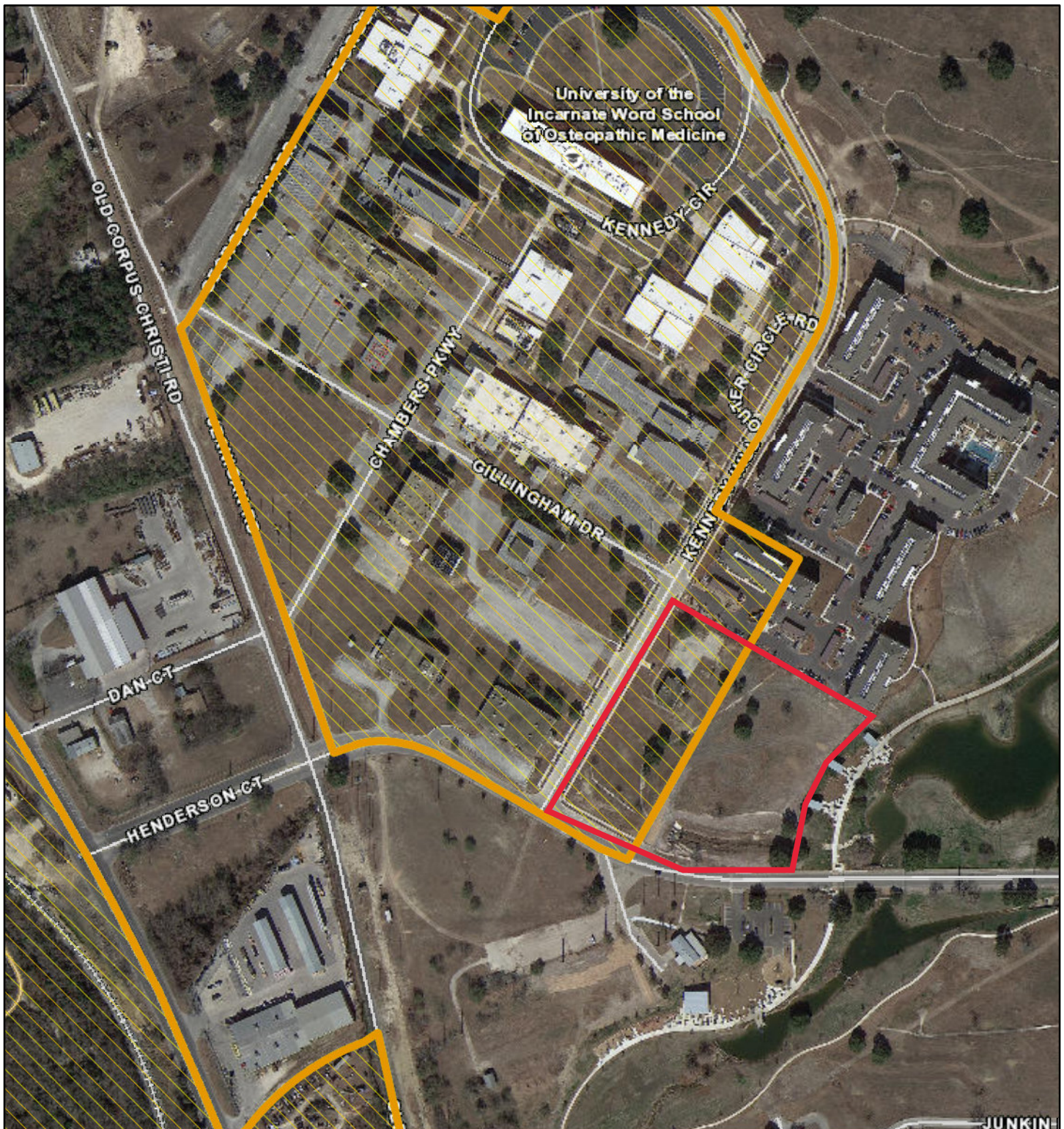
- c. The evidence provided by the applicant does not meet the threshold for designation removal; the contributing structure, Building 186, found on the site at the time of designation, remains eligible, and the boundary as described in Ordinance 97449 is correctly drawn to include a portion of the property at 7914 Kennedy Hill.
- d. On September 28, 2020, OHP staff proposed a compromise that retains a 30' buffer along the east side of Kennedy Hill Dr within the district (Boundary D on the attached exhibit).

RECOMMENDATION:



Staff recommends approval of the applicant's request to remove designation from 7914 Kennedy Hill Dr with the stipulation that the new boundary for the Brooks School of Aerospace Medicine Historic District follows Boundary D as proposed by staff and included in the exhibit titled "Reference for Boundaries of School of Aerospace Medicine Historic District" based on finding b.3.

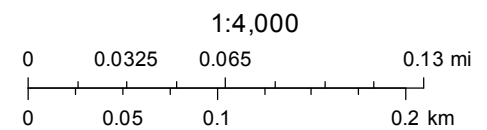
CASE MANAGER: Jessica Anderson

City of San Antonio One Stop



July 27, 2020

-  Historic Districts
-  COSA City Limit Boundary



CoSA

Reference for Boundaries of School of Aerospace Medicine Historic District

BOUNDARY A

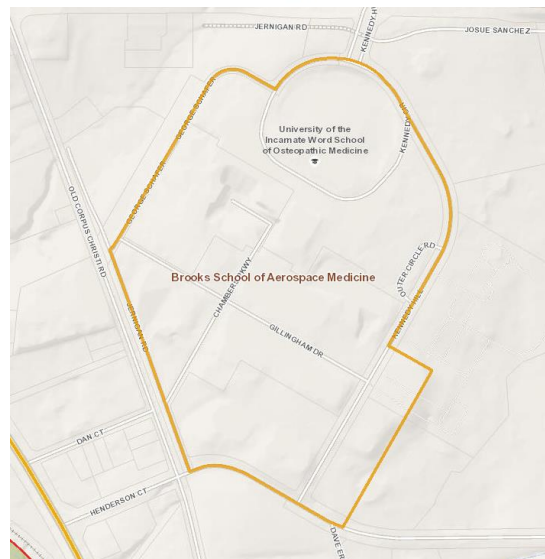
As described in HDRC and
Zoning Commission case files,
heard February 5 and
March 18, 2003, respectively



ANN BENSON MCGLOTH LLC + ALAMO ARCHITECTS | 3

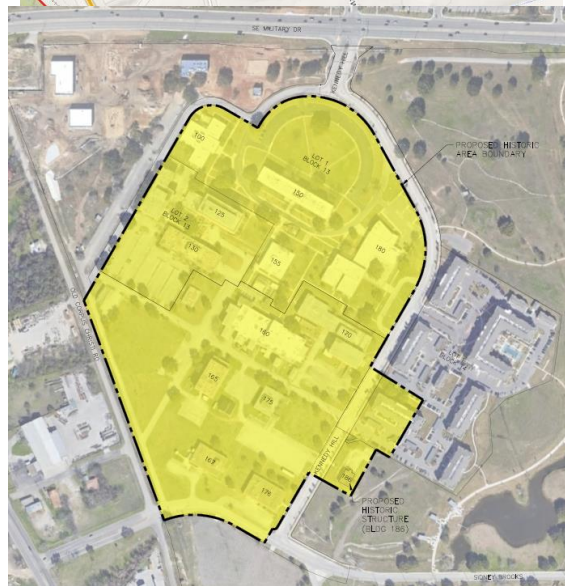
BOUNDARY B

As described by City Council
Ordinance 97449,
approved April 10, 2003



BOUNDARY C

Boundary reflecting designation
removal proposed by applicant



Reference for Boundaries of School of Aerospace Medicine Historic District

BOUNDARY D

Proposed compromise by
OHP staff, shared with
applicant 29 September 2020



**REGULAR MEETING OF THE CITY COUNCIL OF THE CITY OF SAN
ANTONIO, HELD IN THE COUNCIL CHAMBERS, MUNICIPAL PLAZA
BUILDING, THURSDAY, APRIL 10, 2003.**

* * * *

2003-14 The City Council convened in an informal "B" Session at 10:30 A.M., at 1901 South Alamo, to consider the following item(s):

- A) **The Development and Business Services Center Ribbon Cutting and Building Tour.** (Presented by Rebecca Waldman, Director, Asset Management Department).

2003-14 The regular meeting was called to order at 1:00 P.M. by the Presiding Officer, Mayor Ed Garza, with the following members present: Perez, Sanders, Moorhouse, Martin, Herrera, Barrera, Castro, Conner, Schubert, Carpenter, Garza. ABSENT: None.

2003-14 Invocation by Reverend John G. Hargis, Laurel Heights Methodist Church.

2003-14 Pledge of Allegiance to the flag of the United States.

2003-14 **PRESENTATION OF PROCLAMATION FOR NATIONAL CRIME VICTIMS' RIGHTS WEEK.**

Mayor Garza read a Proclamation proclaiming National Crime Victims' Rights Week and then invited Ms. Kathryn Babbitt, representing District Attorney Susan Reed, Sheriff Ralph Lopez and Police Chief Albert Ortiz to come forward to accept the Proclamation.

OF BENTLY DRIVE AND WALZEM ROAD, FROM "C-3" COMMERCIAL DISTRICT TO "MF-33" MULTI-FAMILY DISTRICT.

* * * *

— — —

4D.) CASE NUMBER #Z2003027 - The request of City of San Antonio, Historic Preservation Officer, Applicant, for Brooks Development Authority, Juvencio Lopez, Owner(s), for a change in zoning to designate Historic Significance on Building 671, Hangar 9, Brooks City Base, 8081 Inner Circle Road. Staff's recommendation was for approval.

Zoning Commission has recommended approval. (Council District 3)

Mr. John Jacks, Land Development Services, explained the proposed rezoning case.

Councilwoman Moorhouse made a motion to approve the proposed rezoning. Councilman Martin seconded the motion.

After consideration, the motion, carrying with it the passage of the following Ordinance, prevailed by the following vote: **AYES:** Sanders, Moorhouse, Martin, Herrera, Barrera, Castro, Conner, Carpenter. **NAYS:** None. **ABSENT:** Perez, Schubert, Garza.

AN ORDINANCE 97448

AMENDING CHAPTER 35 OF THE CITY CODE THAT CONSTITUTES THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF SAN ANTONIO BY CHANGING THE CLASSIFICATION OF AND REZONING CERTAIN PROPERTY DESCRIBED HEREIN AS BUILDING 671, HANGAR 9, BROOKS CITY BASE, 8081 INNER CIRCLE ROAD, TO DESIGNATE HISTORIC SIGNIFICANCE.

* * * *

— — —

4E.) CASE NUMBER #Z2003028 - The request of City of San Antonio, Historic Preservation Officer, Applicant, for Brooks Development Authority, Juvencio

Lopez, Owner(s), for a change in zoning to designate as a Historic District on a 15 acre tract of land in the northwest corner of Brooks City Base. Staff's recommendation was for approval.

Zoning Commission has recommended approval. (Council District 3)

Mr. John Jacks, Land Development Services, explained the proposed rezoning case.

Councilwoman Moorhouse made a motion to approve the proposed rezoning. Councilman Martin seconded the motion.

After consideration, the motion, carrying with it the passage of the following Ordinance, prevailed by the following vote: **AYES:** Sanders, Moorhouse, Martin, Herrera, Barrera, Castro, Conner, Carpenter. **NAYS:** None. **ABSENT:** Perez, Schubert, Garza.

AN ORDINANCE 97449

AMENDING CHAPTER 35 OF THE CITY CODE THAT CONSTITUTES THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF SAN ANTONIO BY CHANGING THE CLASSIFICATION OF AND REZONING CERTAIN PROPERTY DESCRIBED HEREIN AS A 15-ACRE TRACT OF LAND IN THE NORTHWEST CORNER OF BROOKS CITY BASE, TO DESIGNATE AS A HISTORIC DISTRICT.

* * * *

THE REZONING AND RECLASSIFICATION OF PROPERTY TO DESIGNATE AS A HISTORIC DISTRICT ON THE PROPERTY LISTED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE CENTERLINES ON SIDNEY BROOKS AND JERNIGAN ROAD;

THENCE, FOLLOWING THE CENTERLINE OF JERNIGAN ROAD NORTHWEST TO ITS INTERSECTION WITH THE CENTERLINE OF GEORGE SHAFER;

THENCE, FOLLOWING THE CENTERLINE OF GEORGE SHAFER NORTHEAST TO ITS INTERSECTION WITH THE CENTERLINE OF KENNEDY CIRCLE;

THENCE, FOLLOWING THE CENTERLINE OF KENNEDY CIRCLE IN AN ARC NORTH AND EAST TO ITS INTERSECTION WITH THE CENTERLINE OF DAVE ERWIN DRIVE;

Design Guidelines and Master Plan for the School of Aerospace Medicine Historic District

Brooks Development Authority
June 5, 2013



CITY OF
SAN ANTONIO



CITY OF SAN ANTONIO
OFFICE OF HISTORIC PRESERVATION
BROOKS DEVELOPMENT AUTHORITY

SCHOOL OF AEROSPACE MEDICINE HISTORIC DISTRICT
DESIGN GUIDELINES AND MASTER PLAN

June 5, 2013

ANN BENSON MCGLONE, LLC + ALAMO ARCHITECTS

SCHOOL OF AEROSPACE MEDICINE HISTORIC DISTRICT DESIGN GUIDELINES AND MASTER PLAN

ACKNOWLEDGMENTS

CITY COUNCIL

<i>Julián Castro, Mayor</i>	<i>Ray Lopez</i>
<i>Diego M. Bernal</i>	<i>Cris Medina</i>
<i>Ivy R. Taylor</i>	<i>W. Reed Williams</i>
<i>Leticia Ozuna</i>	<i>Elisa Chan</i>
<i>Rey Saldana</i>	<i>Carlton Soules</i>
<i>David Medina, Jr</i>	
<i>Sheryl Sculley, City Manager</i>	

BROOKS DEVELOPMENT AUTHORITY BOARD

<i>Manuel Pelaez-Prada, Chair</i>	<i>Manuel Villa</i>
<i>Reba Malone, Vice-Chair</i>	<i>Dr. Jack Leifer</i>
<i>John Jennings</i>	<i>Steven Goldberg</i>
<i>Margaret Anaglia</i>	<i>Jesse Hereford</i>
<i>Ramiro Cavazos</i>	<i>Iñigo Arzac</i>
<i>Mark Pacheco</i>	

Mac McCarthy, Director of Facilities and Infrastructure
Greg Hammer, Environmental, Health & Safety Manager

HISTORIC and DESIGN REVIEW COMMISSION

<i>Timothy B. Cone, Chair</i>	<i>Scott W. Carpenter, Vice Chair</i>
<i>Jacob Valenzuela</i>	<i>Harry J. Shafer</i>
<i>Norman C. Barrera</i>	<i>Victor Salas</i>
<i>Scott S. Tak</i>	<i>Michael C. Connor</i>
<i>Kathryn D. Rodriguez</i>	<i>Michael S. Guarino</i>
<i>John Laffoon</i>	<i>Jesse Zuniga</i>
<i>Shanon Shea Miller, OHP</i>	

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6.A ESTABLISHING A CRITERIA FOR DEMOLITION

HISTORICAL SIGNIFICANCE



CONSTRUCTION DATE



Materials Submitted by Applicant

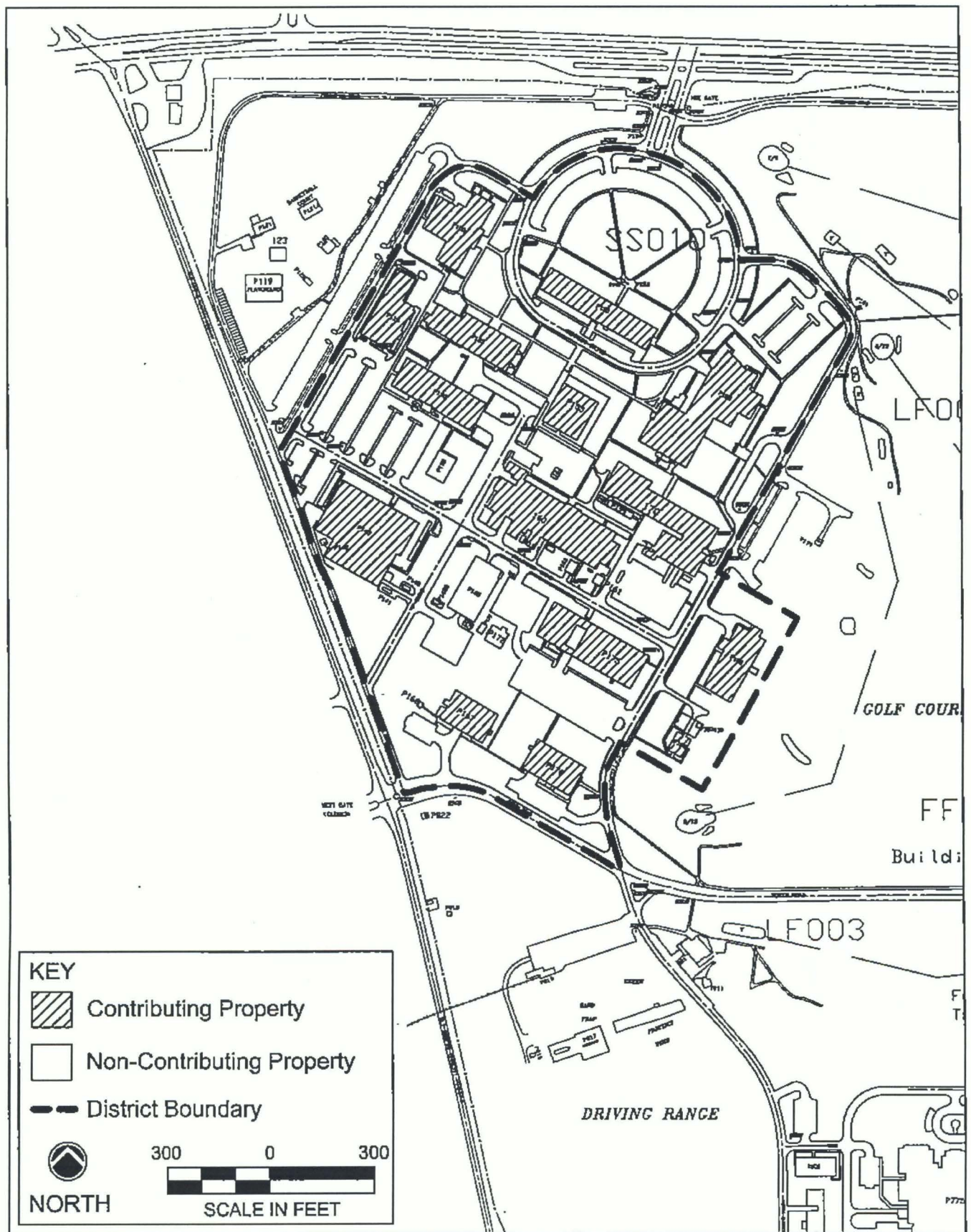


Figure 2. USAFSAM 100-Area Historic District Site Boundary Map

**SAN ANTONIO HISTORIC AND DESIGN REVIEW
COMMISSION
OFFICIAL MINUTES
FEBRUARY 5, 2003**

1. The Historic and Design Review Commission of the City of San Antonio met in regular session in the Council Chambers of the Municipal Plaza Building at 3 p.m.
2. The meeting was called to order by Commissioner Charles Schubert, Chairperson, and the roll was called by the Secretary.

PRESENT: Schubert, Laffoon, Garcia, Van Steenberg, Braxton, Braubach, McNeel, Fetzer

ABSENT: Douglas, Williams, Solis, Rodriguez, Cockrell, Jones

3. Emil Moncivais, Planning Department Director, opened up the floor for Chairperson nominations.

Commissioner Fetzer nominated Commissioner Charles Schubert for HDRC Chairperson. Commissioner Garcia nominated himself for HDRC Chairperson.

Emil Moncivais, Planning Department Director, closed the nominations for HDRC Chairperson.

A written vote was taken and Commissioner Charles Schubert was voted for HDRC Chairperson.

Commissioner Charles Schubert opened up the floor for Vice-Chair nominations.

Commissioner Van Steenberg nominated Jeff Fetzer for Vice-Chair.

No other nominations were made for Vice-Chair.

Vote for Vice-Chair Commissioner Jeff Fetzer was unanimous.

4. Chairman's Statement.
5. Citizens to be heard.
6. The Commission then considered the Consent Agenda which consisted of:

Case No. 2003-020	Brooks City-Base
Case No. 2003-021	3250 Sidney Brooks
Case No. 2003-022	8081 Inner Circle Road
Case No. 2003-023	Fredericksburg Road

Case No. 2003-024	114 West Commerce
Case No. 2003-025	726 Fredericksburg Road
Case No. 2003-026	118 West French Place
Case No. 2003-027	123 Furr
Case No. 2003-028	326 Washington
Case No. 2003-029	527 Donaldson Avenue
Case No. 2003-030	128 Jefferson
Case No. 2003-031	527 RiverWalk
Case No. 2002-062	240 East Houston Street

Commissioner Van Steenberg requested that case no. 2002-062 be pulled from the Consent Agenda and be heard under Individual Consideration.

The motion was made by Commissioner Braxton and seconded by Commissioner Laffoon to approve the remaining cases on the Consent Agenda.

AYES: Schubert, Laffoon, Garcia, Van Steenberg, Braxton, Braubach, McNeel, Fetzer

NAYS: None

THE MOTION CARRIED.

7. HDRC NO. 2002-062

Applicant: Beaty & Partners Architects

Address: 240 East Houston Street

The applicant is requesting a Certificate of Appropriateness for final approval to perform the following work on the north façade of the Mid City Garage:

- (1) add pre-cast concrete colonnade to the street level of the garage and facing to the first two parking levels and partial third level;
- (2) add painted decorative steel metal mesh in-fill panels;
- (3) add painted metal plate graphics for street level retail; and
- (4) provide new lighting for the walkway and the façade.

The staff recommends the approval of this request as submitted. On April 3, 2002, the HDRC granted conceptual approval to the City of San Antonio to perform exterior renovations and add new signage to three city parking garages. The approved work is being implemented in stages. The first stage was the signage component, which received final approval from the HDRC on June 19, 2003. The proposed exterior renovations to the Mid-City Parking Garage are essentially unchanged from the conceptual review. The proposed changes are architecturally and esthetically appropriate for this municipal parking garage.

COMMISSION ACTION:

The motion was made by Commissioner Van Steenberg and seconded by Commissioner Braxton to approve with the stipulation that hours of construction be from 7:00 A.M. to 4:00 P.M.

AYES: Schubert, Laffoon, Garcia, Van Steenberg, Braxton, Braubach, McNeel, Fetzer

NAYS: None

THE MOTION CARRIED.

8. HDRC CASE NO. 2003-008

Applicant: Frank & Gregoria Cortez

Address: 514 Broadway

The applicant is requesting a Certificate of Appropriateness for approval to:

- (1) construct an addition at the rear of the existing house; and
- (2) repaint the existing house and the new addition with the following colors: Dusk, light gray, PEC-28, for the main body color; Night, dark gray, Pec-29, for the trim; and Candle, dusty red, for the accent color.

The staff recommends approval of this request as submitted. The proposed colors are architecturally and esthetically appropriate for this house. The proposed addition is compatible in design and style with the main house. The existing windows and window trim will be reused on the addition. The addition will be appropriate due to its location at the rear of the historic structure.

COMMISSION ACTION

The motion was made by Commissioner Fetzer and seconded by Commissioner Braxton to approve with the stipulation that the shed roof be replaced with a hip roof.

AYES: Schubert, Laffoon, Garcia, Van Steenberg, Braxton, Braubach, McNeel, Fetzer

NAYS: None

THE MOTION CARRIED.

9. HDRC CASE NO. 2003-010

Applicant: Jim Walters Homes

Address: 801 Dawson Street

The applicant is requesting a Certificate of Appropriateness for conceptual approval to construct a new house on the property.

The staff recommends approval of this request as submitted. The design of the proposed house is appropriate to, and compatible with, adjacent buildings. This new construction does not copy existing structures, but is consistent with the character, style and scale of those structures.

COMMISSION ACTION:

The motion was made by Commissioner Garcia and seconded by Commissioner Braxton to approve as presented.

AYES: Schubert, Laffoon, Garcia, Van Steenberg, Braxton, Braubach, McNeel, Fetzer

NAYS: None

THE MOTION CARRIED.

10. HDRC CASE NO. 2003-011

Applicant: Keller Custom Signs

Address: 108-116 Navarro

The applicant is requesting a Certificate of Appropriateness for approval to install an internally illuminated sign on the rear façade of the building, the dimensions of the sign would be 30"x15' with a forest green background with ivory and gold details.

The staff has concerns about the placement of an internally illuminated sign on the rear façade of the building. The staff does not feel that it is appropriate to have an internally illuminated sign that is visible from La Villita.

COMMISSION ACTION:

The motion was made by Commissioner Braxton and seconded by Commissioner Garcia to approve as presented.

AYES: Schubert, Laffoon, Garcia, Van Steenberg, Braxton, Braubach, McNeel, Fetzer

NAYS: None

THE MOTION CARRIED.

11. HDRC CASE NO. 2003-015

Applicant: Ford, Powell & Carson Architects & Planners, Inc.

Address: 723 Donaldson

The applicant is requesting a Certificate of Appropriateness for conceptual approval to perform renovations at Thomas Jefferson Senior High School. See attached for description of work.

The staff is recommending approval of this request as submitted. The proposed renovations and alterations are appropriate for this historic building and are in keeping with the building's preservation plan.

COMMISSION ACTION:

The motion was made by Commissioner Braxton and seconded by Commissioner Garcia to grant approval as presented.

AYES: Schubert, Laffoon, Garcia, Van Steenberg, Braxton, Braubach, McNeel, Fetzer

NAYS: None

THE MOTION CARRIED.

12. HDRC CASE NO. 2003-007

Applicant: Catherine Nored

Address: 224 West Mulberry Avenue

The applicant is requesting a Certificate of Appropriateness for conceptual approval to:

- (1) remove existing decaying garage and pool pumphouse;
- (2) construct a new poolhouse studio and storage room;
- (3) construct a new pumphouse;
- (4) reconfigure fence line at the end of the driveway;
- (5) raise the rear porch deck, replace the steps and replace the rear porch columns; and
- (6) relocate the rear kitchen door.

The staff recommends approval of this request with the following stipulation: the roof of the new poolhouse be a composition roof to match the main house rather than a standing seam metal roof. Provided this stipulation is met, the proposed modifications and new construction will be architecturally and esthetically appropriate for the setting and will have no adverse effects on the property or the district.

COMMISSION ACTION:

The motion was made by Commissioner Braxton and seconded by Commissioner Braubach to grant conceptual approval as presented.

AYES: Schubert, Laffoon, Garcia, Van Steenberg, Braxton, Braubach, McNeel, Fetzer

NAYS: None

THE MOTION CARRIED.

13. Prior to losing quorum, Commissioner Fetzer made a motion and seconded by Commissioner Van Steenberg to refer the following cases as a group to the Architectural Committee for further consideration:

HDRC CASE NO. 2003-032

Applicant: Susan H. White
Address: 305 Club Drive

HDRC CASE No. 2003-036

Applicant: Sue Ann Pemberton
Address: 101 West Commerce

HDRC CASE NO. 2003-037

Applicant: Western Waterproofing
Address: 204 Alamo Plaza

HDRC CASE NO. 2003-041

Applicant: Alamo Forest Partnership
Address: 600 Soledad

AYES: Schubert, Laffoon, Garcia, Van Steenberg, Braxton, Braubach, McNeel, Fetzer

NAYS: None

THE MOTION CARRIED.

14. Prior to losing quorum, Commissioner Fetzer made a motion and seconded by Commissioner Braubach to approve the following cases as a group:

HDRC CASE NO. 2003-033

Applicant: Lewis S. Fisher
Address: 335 East Crockett St.

HDRC CASE NO. 2003-034

Applicant: Anthony J. & Elizabeth Price
Address: 519 Shook Ave.

HDRC CASE NO. 2003-035

Applicant: Tony Longoria
Address: 9750 Espada Road

HDRC CASE NO. 2003-039

Applicant: Marmon Mok, L.L.P.
Address: 1115 Mission Road

AYES: Schubert, Laffoon, Garcia, Van Steenberg, Braxton, Braubach, McNeel, Fetzer

NAYS: None

THE MOTION CARRIED.

15. HDRC CASE NO. 2003-038

Applicant: Blake Dietzmann

Address: 2317 North Main

The applicant is requesting a Certificate of Appropriateness for approval to:

- (1) remove the existing building in the rear of the property;
- (2) remove the existing carport from the south side of the house;
- (3) remove the existing asphalt and brick and install a concrete drive and parking area in the rear of the property;
- (4) install railings and simple square balusters along the front porch;
- (5) paint the house the following colors: Van Deusen Blue, HC-156, for the main body color; Palace White, 956, for the trim color; and Sandy Hook Gray, HC-108, for the shutter color;
- (6) install a 30"x36" wooden sign, the sign would be painted Palace White, 956, with Van Deusen Blue, HC-156, lettering; and
- (7) install a new 2' wide planting area around the west and north side of the property and plant Red Top shrubs or other evergreen shrub.

The staff recommends approval of this request as submitted. The proposed modifications will help to return this building to its original appearance. The proposed paint colors are appropriate for this building. The proposed signage meets all code requirements and is architecturally and esthetically appropriate for its location. This building formally had a sign and the proposed sign will be hung using the former sign's hardware.

COMMISSION ACTION

The motion was made by Commissioner Fetzer and seconded by Commissioner Braubach to approve with the stipulation that the applicant returns with more detail of the railing.

AYES: Schubert, Laffoon, Garcia, Van Steenberg, Braxton, Braubach, McNeel, Fetzer

NAYS: None

THE MOTION CARRIED.

16. HDRC CASE NO. 2002-250

Applicant: Sherry Kruiak, Mission Restaurant Supply

Address: 1315 South St. Mary's

The applicant is requesting a Certificate of Appropriateness for approval to add signage to the front of the building. The proposed sign would be 5'x5' with the text "Mission Restaurant Supply, Open to the Public" in cream on a green background.

The staff recommends approval of this request as submitted. The applicant has worked with staff in addressing staff concerns. The proposed signage meets all code requirements and is architecturally and esthetically appropriate for its location. It will have no adverse effects to this building.

COMMISSION ACTION

The motion was made by Commissioner Garcia and seconded by Commissioner Fetzer to approve as presented.

AYES: Schubert, Laffoon, Garcia, Van Steenberg, Braxton, Braubach, McNeel, Fetzer

NAYS: None

THE MOTION CARRIED.

DUE TO LACK OF A QUORUM AT THIS TIME (3:50) **THE MEETING PROCEEDED WITH THE FOLLOWING** **BRIEFING**

BRIEFING

- 17. Briefing by George A. Geis on a proposed project located at 1215 Broadway, 1200 & 1201 Avenue B, 200 Avenue A and 303 Roy Smith Drive, located in RIO-2 District.**

There being no further business, the briefing by George A. Geis ended at 5:00 p.m.

APPROVED



Charles Schubert
Chairman

018

SAN ANTONIO HISTORIC AND DESIGN REVIEW COMMISSION

February 05, 2003

3:00 P.M.

Charles Schubert - Chairman

John Laffoon - Vice-Chairman

Marianna C. Jones

Eduardo Garcia

Lucille A. Cockrell

John S. Braxton

Virginia Van Steenberg

Jeffrey Fetzer

Bernice B. Williams

Robert Braubach

Noah Rodriguez

Martha Clifton McNeel

Andrew T. Douglas

Vincent Solis

RECEIVED
CITY OF SAN ANTONIO
CITY CLERK
2003 JAN 30 AM 9:23

- 3:00 P.M. - Call to Order - Council Chambers, Municipal Plaza Building
- Roll Call
- Chairman's Statement
- Election of Officers

CONSENT AGENDA

1 . Case No. 2003-020

Brooks City -Base, Texas, 78235
Brooks Development Authority,
Juvencio Lopez

Historic District Designation

2 . Case No. 2003-021

3250 Sidney Brooks, Brooks City Base
Brooks Development Authority,
Juvencio Lopez

Historic Landmark Designation

3 . Case No. 2003-022

8081 Inner Circle Road, Building 1,
Brooks City-Base
Brooks Development Authority,
Juvencio Lopez

Historic Landmark Designation

4 . Case No. 2003-023

Fredericksburg Road
CSF Tile, Colleen Frost

Design Enhancement

5 . Case No. 2003-024

114 West Commerce
City of San Antonio

Public Art

- | | | |
|-------------------------------|---|-------------|
| 6 . <u>Case No. 2003-025</u> | 726 Fredericksburg Road
City of San Antonio, Planning Department,
Joe Mendoza | Public Art |
| 7 . <u>Case No. 2003-026</u> | 118 West French Place
Kitty and Chris Casseb | Landscaping |
| 8 . <u>Case No. 2003-027</u> | 123 Furr
Dunn-Wright Remodeling, Inc. | Addition |
| 9 . <u>Case No. 2003-028</u> | 326 Washington
Murphy Construction | Addition |
| 10 . <u>Case No. 2003-029</u> | 527 Donaldson Avenue
Macon Concrete Products | Driveway |
| 11 . <u>Case No. 2003-030</u> | 128 Jefferson
Genie Jordan, Fast Signs | Signage |
| 12 . <u>Case No. 2003-031</u> | 527 RiverWalk
Bret Mullins, Aetna Sign Group | Signage |
| 13 . <u>Case No. 2002-062</u> | 240 East Houston Street
Beaty & Partners Architects | Renovation |

RECEIVED
CITY OF SAN ANTONIO
CITY CLERK
2003 JAN 30 AM 9:23

INDIVIDUAL CONSIDERATION

RETURNING CASES

- | | | |
|-------------------------------|---|--------------------|
| 14 . <u>Case No. 2003-008</u> | 514 Mission Street
Frank and Gregoria Cortez | Addition, Painting |
| 15 . <u>Case No. 2003-010</u> | 801 Dawson Street
Jim Walters Homes | New Construction |
| 16 . <u>Case No. 2003-011</u> | 108 -116 Navarro
Keller Custom Signs | Signage |
| 17 . <u>Case No. 2002-250</u> | 1315 South St. Mary's
Sherry Kruiak, Mission Restaurant Supply | Signage |

18. Case No. 2003-015

723 Donaldson
Ford, Powell & Carson Architects and
Planners, Inc.

Interior and Exterior
Renovations

19. Case No. 2003-007

224 West Mulberry
Catherine Nored

Demolition, New
Construction

HISTORIC CASES

20. Case No. 2003-032

305 Club Drive
Susan H. White

Retaining Wall

21. Case No. 2003-033

335 East Crockett Street
Lewis S. Fisher, AIA, Fisher*Heck, Inc.
Architects

Renovation, Fencing

22. Case No. 2003-034

519 Shook Avenue
Anthony J. and Elizabeth C. Price

Addition

23. Case No. 2003-035

9750 Espada Road
Tony Longoria

House Relocation,
Renovation

24. Case No. 2003-036

101 West Commerce
Sue Ann Pemberton - Mainstreet Architects

Windows, Canopy

25. Case No. 2003-037

204 Alamo Plaza
Western Waterproofing Company of
America

Exterior Renovations

26. Case No. 2003-038

2317 North Main
Blake Dietzmann

Demolition, Painting,
Renovation, Signage

27. Case No. 2003-039

1115 Mission Road
Marmon Mok, L.L.P.

Addition, New Construction

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CITY CLERK
2003 JUN 30 AM 9:23

RIVER OVERLAY CASES

28. Case No. 2003-040

1215 Broadway, 1200 and 1201 Ave. B, New Construction
200 Ave. A, and 303 Roy Smith Dr.
George A. Geis

PUBLIC PROPERTY CASES

29. Case No. 2003-041

600 Soledad Landscaping
Alamo Forest Partnership, Debbie Reid

BRIEFING:

- HDRC Case #2002-241, 915 Mulberry - Update

OTHER ITEMS:

- Citizens to be Heard
- Approval of December 4 and December 18 minutes.
- Staff Report
- Executive Session: Consultation on attorney - client matters
- Adjournment.

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CITY OF SAN ANTONIO
CITY CLERK
2003 JAN 30 AM 9:23

THE MUNICIPAL PLAZA BUILDING IS WHEELCHAIR ACCESSIBLE. ACCESSIBLE PARKING SPACES ARE AVAILABLE UPON REQUEST. INTERPRETERS FOR THE DEAF MUST BE REQUESTED AT LEAST 48 HOURS PRIOR TO THE MEETING BY CALLING 207-7245/TDD.

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**SAN ANTONIO ZONING COMMISSION
OFFICIAL MINUTES
March 18, 2003**

1. The Zoning Commission of the City of San Antonio met in the Council Chambers of the Municipal Plaza Building, 103 N. Main.

2. Roll Call.

**PRESENT: Martinez, Grau, Kissling, McGowan, Hophan, Sherrill, McAden, Avila,
Morell, Mehringer**

ABSENT: Cardenas-Gamez

3. Briefing on Southside Initiative Plan.

Bill Burman, Planning Department, presented the Southside Initiative Plan. He stated they have scheduled a series of public meeting dates to further discuss the Southside Initiative Plan with the stakeholders. They would be holding their first public meeting/workshop on Saturday, April 5, 2003.

4. Director's Report.

Roderick Sanchez, Assistant Director, stated a special Zoning meeting would be held on Monday, March 24, 2003 at 9 am in the Municipal Plaza Building, 4th Floor Conference Room to consider Resolution of the Zoning Commission's Position on the Mayor's Committee on Integrity and Trust.

5. Approval of February 18, 2003 and March 4, 2003 Minutes.

1:00 P.M. - Public hearings and consideration of zoning cases:

6. Zoning Commission Appointment to the Land Development Services Committee.

Commissioner Steve Grau made a motion to nominate Commissioner Ralph Mehringer and was seconded by Commissioner Jerry Morell. Commissioner Ralph Mehringer accepted the nomination.

AYES: Martinez, Grau, Kissling, McGowan, Hophan, Sherrill, McAden, Avila, Morell
NAYS: None

THE MOTION CARRIED.

7. **AMENDMENT 1** - Adoption of provisions amending provisions of Article III, Section 35-344, Planned Unit Development District ("PUD"), include but not limited to the reduction of density ratios, increases in park/open space dedication requirements and revision of provisions addressing the ownership and management of "Common Areas" in accordance with current State statutes.

Bill Telford, Development Services, stated this amendment is to the existing PUD Ordinance. The changes in the PUD Ordinance are the reduction in the densities that were allowed previously. He stated "RE" has been reduced from 1 unit per acre to .75, "R-20" Residential has been reduced from 2 units per acre to 1.5; "R-6" from 6 units to 5 units per acre; "RM-6" from 7 units to 5 units per acre; "R-5" from 8 to 6 units per acre; "RM-5" from 9 to 6 units per acre; "R-4" from 10 to 7 units per acre; "RM-4" from 11 to 7 units per acre. He also stated they have added a provision that the perimeter setbacks on a PUD are to meet the residential areas surrounding.

COMMISSION ACTION

The motion was made by Commissioner Sherrill and seconded by Commissioner McAden to recommend approval.

AYES: Martinez, Grau, Kissling, McGowan, Hophan, Sherrill, McAden, Avila, Morell, Mehringer

NAYS: None

THE MOTION CARRIED.

8. **AMENDMENT 2** - Adoption of provisions to amend section 35-202 to provide for the development of "Enclave Subdivisions" with private streets under the same standards as presently afforded to "Conventional Subdivisions".

Bill Telford, Development Services, stated this amendment is the adoption revisions to the subdivision regulations 35-202 formerly Conventional Subdivisions is now Conventional Enclave Subdivisions. He stated PUD's were being used strictly for the purpose of being able to gate a subdivision. They have developed an Enclave Subdivision, which is a subdivision with private streets, which still allows the flexibility to be gated by the property owners. He stated the difference between a PUD and an Enclave is that the PUD has no interior lot requirements and no interior setbacks. The Enclave has the same setbacks throughout the entire development as thus the perimeter.

FAVOR

Fred Bennet, stated if the maximum cap is removed would there be a minimum size for Enclave.

COMMISSION ACTION

The motion was made by Commissioner Sherrill and seconded by Commissioner Morell to recommend approval with removal of 30-acre cap be eliminated.

AYES: Martinez, Grau, Kissling, McGowan, Hophan, Sherrill, McAden, Avila, Morell, Mehringer

NAYS: None

THE MOTION CARRIED.

CHAIRMAN MARTINEZ RECOMMENDED A MOTION BE MADE TO RECONSIDER AMENDMENT 1 FOR PUBLIC COMMENT.

COMMISSION ACTION

The motion was made by Commissioner Kissling and seconded by Commissioner Grau to reopen Amendment 1 for public comment. The commission approved with a unanimous voice vote.

9. **AMENDMENT 1** - Adoption of provisions amending provisions of Article III, Section 35-344, Planned Unit Development District ("PUD"), include but not limited to the reduction of density ratios, increases in park/open space dedication requirements and revision of provisions addressing the ownership and management of "Common Areas" in accordance with current State statutes.

Mary Lee Buettner, 10334 Old Farm Road, Board Member of Heritage Neighborhood Association, stated she addressed Planning Commission on the "R-3" changes. She expressed concerns on the density ratios. She feels this would deteriorate neighborhoods.

COMMISSION ACTION

The motion was made by Commissioner Morell and seconded by Commissioner Sherrill to recommend approval.

AYES: Martinez, Grau, Kissling, McGowan, Hophan, Sherrill, McAden, Avila, Morell, Mehringer

NAYS: None

THE MOTION CARRIED.

10. **AMENDMENT 3** – Adoption of a new zoning district under section 35-310.05a and titled "R-3" Single Family Residential District to provide for single-family development utilizing a 3,000 sq. ft. minimum lot size.

Bill Telford, stated amendment 3 is a small lot subdivision district. The setbacks are 10 feet front yard, 20 foot for garage, 5-foot side yard minimum and a 16-foot rear yard. He stated this designates mandatory dedication of parkland as a high rate due to the small lot size. This would require 1 acre per 80 dwelling units. He stated this also requires development with a present public street standard. There is no maximum or minimum size.

OPPOSE

Nancy Engleberg, 10486 Pine Glade, expressed concerns with the small density. She stated this would have a negative impact on the neighborhood. This would occur overcrowding in the neighborhoods.

Mary Lee Buettner, 10334 Old Farm Road, stated the homes in her area are zoned "R-6". She stated she feels this change in density would negatively affect the appearance of the neighborhood. She does not support this change.

COMMISSION ACTION

The motion was made by Commissioner Morell and seconded by Commissioner Grau to recommend approval.

AYES: Martinez, Grau, Kissling, McGowan, Hophan, Sherrill, McAden, Avila, Morell, Mehringer

NAYS: None

THE MOTION CARRIED.

11. ZONING CASE NO. Z2002276 C

Applicant: George Gordiary

Zoning Request: "R-6" Residential Single Family District to "R-6" C Residential Single Family District with a conditional use for a Barber or Beauty Shop.

THIS CASE HAS BEEN WITHDRAWN AT THE APPLICANT'S REQUEST.

12. ZONING CASE NO. Z2003005

Applicant: Roy Y. Munoz

Zoning Request: "R-6" Single Family Residence District to "MF-25" Multi Family District.

THIS CASE HAS BEEN WITHDRAWN AT THE APPLICANT'S REQUEST.

13. ZONING CASE NO. Z2003008

Applicant: Brad Galo, ABG Development, Ltd.

Zoning Request: "C-2" Commercial District to "C-3" Commercial District.

Michael Gallie, 18210 Apache Springs Drive, representing the owner, stated their intent is to expand their facility, Legacy Oaks Business Park.

Staff stated there were 8 notices mailed out to the surrounding property owners, 0 returned in opposition and 0 returned in favor.

Everyone present, for and against having been heard and the results of the written notices having been received, the Chairman declared the public hearing closed.

COMMISSION ACTION

The motion was made by Commissioner McAden and seconded by Commissioner Grau to recommend approval.

1. Property is located on 0.92 acres out of a 32.70 acres of NCB 13732 at 14800 Block of Jones Maltsberger Road.
2. There were 8 notices mailed, 0 returned in opposition and 0 returned in favor.
3. Staff recommends approval.

AYES: Martinez, Grau, Kissling, McGowan, Hophan, McAden, Avila, Morell, Mehringer

NAYS: None

ABSTAIN: Sherrill

THE MOTION CARRIED.

14. ZONING CASE NO. Z2003023 C

Applicant: Mark A. Gutierrez

Zoning Request: "C-2" Commercial District and "C-2NA" Commercial Non-Alcoholic Sales District to "C-2" Commercial Districts with a conditional use for an Auto Body Repair and Painting Center.

Andy Guerrero, representing the applicant, stated they would like to request a continuance to have more time to meet with the neighborhood association.

FAVOR

Mark Gutierrez, owner, stated he has owned the property for 9 ½ years. He further stated they are proposing to expand their facility to better serve his clients.

Staff stated there were 18 notices mailed out to the surrounding property owners, 2 returned in opposition and 2 returned in favor and no response from Babcock North Neighborhood Association and Tanglewood Resident's Association however the Northwest Interstate Coalition is in opposition.

Everyone present, for and against having been heard and the results of the written notices having been received, the Chairman declared the public hearing closed.

COMMISSION ACTION

The motion was made by Commissioner Morell and seconded by Commissioner Grau to recommend a continuance until April 1, 2003.

1. Property is located 4.165 acres out of NCB 16455 and NCB 15823 at 6400 Block of Babcock Road.
2. There were 18 notices mailed, 2 returned in opposition and 2 returned in favor.
3. Staff recommends approval.

AYES: Martinez, Grau, Kissling, McGowan, Hophan, Sherrill, Avila, Morell, Mehringer

NAYS: None

THE MOTION CARRIED.

15. ZONING CASE NO. Z2003026

Applicant: Mary M. Carroll

Zoning Request: "C-2" Commercial District to "R-4" Residential Single-Family District.

Roger De La Cruz, Neighborhood Action Department, representing the owner, stated the purpose of this request is to demolish the existing home and construct a new single family home from Mrs. Carroll. He stated an inspection was made of the home and found that it is economically structurally infeasible for rehabilitation.

Staff stated there were 24 notices mailed out to the surrounding property owners, 0 returned in opposition and 4 returned in favor and Denver Heights Neighborhood Association.

Everyone present, for and against having been heard and the results of the written notices having been received, the Chairman declared the public hearing closed.

COMMISSION ACTION

The motion was made by Commissioner Kissling and seconded by Commissioner McAden to recommend approval.

1. Property is located on Lots 5 and 6, Block 58, NCB 1586 at 117 Aransas Avenue.
2. There were 24 notices mailed, 0 returned in opposition and 4 in favor.
3. Staff recommends approval.

AYES: Martinez, Grau, Kissling, McGowan, Hophan, Sherrill, McAden, Avila, Morell, Mehringer

NAYS: None

THE MOTION CARRIED.

16. ZONING CASE NO. Z2003027

Applicant: City of San Antonio-Historic Preservation Office

Zoning Request: To designate Historic Significance.

Ann McGlone, Historic Preservation Officer, stated Hangar 9 one of the few buildings in the city that is listed as a National Historic Landmark. It has been presented before the Historic and Design Review Commission on February 5, 2003 and was recommended a finding of historic significance for the property. She further stated the property meets the criteria for local historic designation.

FAVOR

Loretta Huddleston, representing the San Antonio Conservation Society, stated they support this request. This structure meets the criteria of the local historic designation.

Everyone present, for and against having been heard and the results of the written notices having been received, the Chairman declared the public hearing closed.

COMMISSION ACTION

The motion was made by Commissioner Hophan and seconded by Commissioner Avila to recommend approval.

1. Property is located on 8081 Inner Circle Road, Building 671, Hangar 9.
2. Staff recommends approval.

AYES: Grau, Kissling, McGowan, Hophan, Sherrill, McAden, Avila, Morell, Mehringer

NAYS: None

RECUSED: Martinez

THE MOTION CARRIED.

17. ZONING CASE NO. Z2003028

Applicant: City of San Antonio-Historic Preservation Office

Zoning Request: To designate Historic Significance.

Ann McGlone, Historic Preservation Officer, stated this would become their 22nd Historic District in San Antonio. This case was presented before Historic and Design Review Commission on February 5, 2003 and was recommended a finding of historic significance for the property.

Everyone present, for and against having been heard and the results of the written notices having been received, the Chairman declared the public hearing closed.

COMMISSION ACTION

The motion was made by Commissioner Hophan and seconded by Commissioner Avila to recommend approval.

1. Property is located within the Brooks City Base.
2. Staff recommends approval.

AYES: Grau, Kissling, McGowan, Hophan, Sherrill, McAden, Avila, Morell, Mehringer

NAYS: None

RECUSED: Martinez

THE MOTION CARRIED.

18. ZONING CASE NO. Z2003029

Applicant: City of San Antonio-Historic Preservation Office

Zoning Request: To designate Historic Significance.

Ann McGlone, Historic Preservation Officer, stated this structure was built in the 1920's. She further stated this structure meets the criteria for local historic designation.

Everyone present, for and against having been heard and the results of the written notices having been received, the Chairman declared the public hearing closed.

COMMISSION ACTION

The motion was made by Commissioner Hophan and seconded by Commissioner Avila to recommend approval.

1. Property is located on 3250 Sidney Brooks, Building 538, Brooks City Base.
2. Staff recommends approval.

AYES: Grau, Kissling, McGowan, Hophan, Sherrill, McAden, Avila, Morell, Mehringer

NAYS: None

RECUSED: Martinez

THE MOTION CARRIED.

19. ZONING CASE NO. Z2003030

Applicant: Angela Marie Sanders

Zoning Request: "R-6" Residential Single Family District to "C-2" Commercial District.

Philip Mendoza, representing the owner, stated they are proposing to operate retail uses on the subject property.

Staff stated there were 34 notices mailed out to the surrounding property owners, 1 returned in opposition and 10 returned in favor.

Everyone present, for and against having been heard and the results of the written notices having been received, the Chairman declared the public hearing closed.

COMMISSION ACTION

The motion was made by Commissioner Avila and seconded by Commissioner McAden recommend approval of "C-2PNA".

1. Property is located on Lots 10, 11 and 12, Block 6, NCB 7800 at 5305, 5311 and 5319 South Flores Street.
2. There were 34 notices mailed, 1 returned in opposition and 10 in favor.
3. Staff recommends denial of the request and approval of "C-1".

AYES: Martinez, Grau, Kissling, McGowan, Hophan, Sherrill, McAden, Avila, Morell, Mehringer

NAYS: None

THE MOTION CARRIED.

20. ZONING CASE NO. Z2003031

Applicant: Paul Bishop

Zoning Request: "BP" Business Park and "I-1" General Industrial District to "RM-4" Residential Single Family District.

Applicant/Representative not present.

Jerry Rankin, Aviation Department, stated this property is adjacent to the 65 DNL. He stated it does meet compatible land use however with the future development of the airport they feel it is inappropriate for residential uses.

Staff stated there were 28 notices mailed out to the surrounding property owners, 3 returned in opposition and 2 returned in favor and no response from Ridgestone Homeowners Association and Oakgrove Estates Neighborhood Association.

Everyone present, for and against having been heard and the results of the written notices having been received, the Chairman declared the public hearing closed.

COMMISSION ACTION

The motion was made by Commissioner McAden and seconded by Commissioner Morell to recommend approval.

1. Property is located on NCB 15678 at 11000 Wetmore Road.
2. There were 28 notices mailed, 3 returned in opposition and 2 in favor.
3. Staff recommends denial.

AYES: Martinez, Kissling, McGowan, Hophan, Sherrill, McAden, Avila, Morell, Mehringer

NAYS: None

ABSTAIN: Grau

THE MOTION CARRIED.

21. ZONING CASE NO. Z2003032 C S

Applicant: Jesse Diaz and Romeo Garcia

Zoning Request: "C-1" S Commercial District with a Specific Use Authorization for an Athletic Field to "C-2" C S Commercial District with a Conditional Use for an outdoor Flea Market and Specific Use Authorization for an Athletic Field.

Joe Rodriguez, representing the owner, stated the purpose of this request is to allow open-air flea market to be operated in conjunction with an existing football field and concession stand. He stated the flea market would be adjacent to the football field.

Staff stated there were 12 notices mailed out to the surrounding property owners, 0 returned in opposition and 3 returned in favor and no response from Pecan Valley Neighborhood Association and have received 5 letters in support of the request.

Everyone present, for and against having been heard and the results of the written notices having been received, the Chairman declared the public hearing closed.

COMMISSION ACTION

The motion was made by Commissioner McGowan and seconded by Commissioner McAden to recommend approval.

1. Property is located on Tract 25D, NCB 10782 (2.5623 acres) at 3667 Roland Avenue.
2. There were 12 notices mailed, 0 returned in opposition and 3 in favor.
3. Staff recommends approval.

AYES: Martinez, Grau, Kissling, McGowan, Hophan, Sherrill, McAden, Mehringer

NAYS: None

ABSTAIN: Avila

THE MOTION CARRIED.

22. ZONING CASE NO. Z2003033

Applicant: Barbara Brown

Zoning Request: "R-6" Residential Single Family District to "C-3NA" Commercial Non-Alcoholic Sales District.

Applicant/Representative not present.

Staff stated there were 9 notices mailed out to the surrounding property owners, 0 returned in opposition and 1 returned in favor.

Everyone present, for and against having been heard and the results of the written notices having been received, the Chairman declared the public hearing closed.

COMMISSION ACTION

The motion was made by Commissioner Morell and seconded by Commissioner Grau to recommend a continuance until April 1, 2003.

1. Property is located on 0.851 of an acre out of NCB 16051 at 8203 Leslie Road.
2. There were 9 notices mailed, 0 returned in opposition and 1 in favor.
3. Staff recommends denial.

AYES: Martinez, Grau, Kissling, McGowan, Hophan, Sherrill, McAden, Avila, Morell, Mehringer

NAYS: None

THE MOTION CARRIED.

23. ZONING CASE NO. Z2003034

Applicant: Roy Rosin, Joel Johnson

Zoning Request: "R-5" Residential Single Family District to "O-1" Office District.

Jerry Rankin, Aviation Department, stated this property does meet the requirements of the compatible land. He stated this property lies outside the noise contours. He feels this development would be suitable.

Joel Johnson, 11925 Starcrest, stated they are proposing to construct a 6,000 square foot office building on the subject property. He stated this development is compatible with the surrounding properties. He further stated they have met with the members of Knollcreek Neighborhood Association who are in support of this request.

Staff stated there were 35 notices mailed out to the surrounding property owners, 1 returned in opposition and 0 returned in favor and no response from Knollcreek Homeowners Association.

Everyone present, for and against having been heard and the results of the written notices having been received, the Chairman declared the public hearing closed.

COMMISSION ACTION

The motion was made by Commissioner Grau and seconded by Commissioner McAden to recommend approval.

1. Property is located on Lot 60, Block 20, NCB 17726 at Northwest corner of Classen Road and Knollcreek.
2. There were 35 notices mailed, 1 returned in opposition and 0 in favor.
3. Staff recommends approval.

AYES: Martinez, Grau, Kissling, McGowan, Hophan, Sherrill, McAden, Avila, Morell, Mehringer

NAYS: None

THE MOTION CARRIED.

24. ZONING CASE NO. Z2003035

Applicant: David Pleasant

Zoning Request: "R-6" Residential Single Family District to "O-1" Office District.

Jerry Rankin, Aviation Department, stated they recommend this residential property be converted to office use. He stated it is very compatible to Part 150 and this would not be affected by noise.

David Pleasant, 14015 Flairwood, owner, stated he is requesting this change in zoning to allow the property to be used as a Real Estate office. He stated he feels this property is suitable for this type of use. He further stated the property is unsafe for residential use due to the high volume of traffic flow in the area.

FAVOR

Anita Pleasant, 14015 Flairwood, stated she would be operating the real estate office. She stated she has been in the real estate business for several years now and feels this property is appropriate for this use. She stated she has been in contact with the surrounding neighbors who are in support of this request.

OPPOSE

Fabian Castillo, 506 Shropshire Drive, stated he strongly opposes this request. He expressed concerns with the increase in traffic flow in the area. He stated this change in zoning would cause commercialization to overrun their boundaries. He stated subject property parking lot would overlap their driveway.

Manuel Castillo, 2641 Nacogdoches, stated he does not support this zoning change. He also expressed concerns with traffic and parking. He stated he has had problems in the past with vehicles blocking his driveway. He feels another business in their neighborhood would create more parking problems.

REBUTTAL

David Pleasant, stated he has tried to reach an agreement with the Castillo Family but no agreement has been made. He stated he has been in contact with City staff to have a curb cut to construct another driveway for parking.

Staff stated there were 19 notices mailed out to the surrounding property owners, 4 returned in opposition and 3 returned in favor.

Everyone present, for and against having been heard and the results of the written notices having been received, the Chairman declared the public hearing closed.

COMMISSION ACTION

The motion was made by Commissioner Grau and seconded by Commissioner McAden to recommend a continuance until April 1, 2003.

1. Property is located on Lot 16, Block 2, NCB 12452 at 415 Haverford Drive.
2. There were 19 notices mailed, 4 returned in opposition and 3 in favor.
3. Staff recommends denial.

AYES: Martinez, Grau, Kissling, McGowan, Hophan, Sherrill, McAden, Avila, Morell

NAYS: Mehringer

THE MOTION CARRIED.

25. ZONING CASE NO. Z2003036

Applicant: Earl & Brown, P. C.

Zoning Request: "MF-33" Residential Multi-Family District, "C-3R" Commercial Restrictive Alcoholic Sales District and "R-6" Residential Single-Family District to "R-5" Residential Single-Family District on the southern 46.04 acres and from "R-6" Residential Single-Family District on the northern 12.06 acres.

Ken Brown, 111 Soledad, representing the owner, stated he would like to request a two-week continuance. He further stated he has met with one neighborhood association however he would like to meet with the other neighborhood association to discuss the proposed development. He stated they are eliminating high-density multi-family. He feels this is an appropriate land plan for this area.

OPPOSE

Nancy Engleberg, 10486 Pine Glade, President of the Heritage Neighborhood Association, stated she would like to request a two-week continuance to meet with the representatives of this development.

Staff stated there were 36 notices mailed out to the surrounding property owners, 1 returned in opposition and 3 returned in favor.

Everyone present, for and against having been heard and the results of the written notices having been received, the Chairman declared the public hearing closed.

COMMISSION ACTION

The motion was made by Commissioner Avila and seconded by Commissioner McAden to recommend a continuance until April 1, 2003.

1. Property is located on 79.335 acres out of NCB 18159 at Southside Marbach Road between Hunt Lane and South Ellison Drive.
2. There were 36 notices mailed, 1 returned in opposition and 3 in favor.
3. Staff recommends approval.

AYES: Martinez, Kissling, McGowan, Hophan, Sherrill, McAden, Avila, Morell, Mehringer

NAYS: None

THE MOTION CARRIED.

26. ZONING CASE NO. Z2003037

Applicant: Earl & Brown, P. C.

Zoning Request: "MXD" Mixed Use District to "R-4" Residential Single-Family District on 80.986 acres and "MF-25" Multi-Family District on 20.080 acres.

Ken Brown, 111 Soledad, representing the owner, stated they are proposing single and multi-Family development on the subject property. He further stated he would like to request a two-week continuance.

OPPOSE

Bertha Villegas, 9149 S. Presa, stated she would like to request this case be continued to have time to meet with the applicant to better understand this development.

Staff stated there were 16 notices mailed out to the surrounding property owners, 5 returned in opposition and 0 returned in favor.

Everyone present, for and against having been heard and the results of the written notices having been received, the Chairman declared the public hearing closed.

COMMISSION ACTION

The motion was made by Commissioner Hophan and seconded by Commissioner McAden to recommend a continuance until April 1, 2003.

1. Property is located on 101.06 acres out of NCB 10920 at 9102 South Presa Street.
2. There were 16 notices mailed, 5 returned in opposition and 0 in favor.
3. Staff recommends approval.

AYES: Martinez, Kissling, McGowan, Hophan, Sherrill, McAden, Avila, Morell, Mehringer

NAYS: None

THE MOTION CARRIED.

27. ZONING CASE NO. Z2003038

Applicant: AAMA Bentley Place Apartments, Inc.

Zoning Request: "C-3" Commercial District to "MF-33" Multi-Family District.

Ernest Miestes, 518 E. Ramsey, stated they own the property adjacent to the subject property and the purpose of this request is to have the zoning compatible with the surrounding area.

Staff stated there were 9 notices mailed out to the surrounding property owners, 0 returned in opposition and 0 returned in favor.

Everyone present, for and against having been heard and the results of the written notices having been received, the Chairman declared the public hearing closed.

COMMISSION ACTION

The motion was made by Commissioner McGowan and seconded by Commissioner Grau to recommend approval.

1. Property is located on 1.244 acres out of NCB 15894 at Southern part of Bently and Walzem.
2. There were 9 notices mailed, 0 returned in opposition and 0 in favor.
3. Staff recommends approval.

AYES: Martinez, Grau, Kissling, McGowan, Hophan, Sherrill, McAden, Avila, Morell, Mehringer

NAYS: None

THE MOTION CARRIED.

28. ZONING CASE NO. Z2003040

Applicant: Armadillo Construction Company, Ltd.

Zoning Request: "R-6" Residential Single-Family District to "R-5" Residential Single-Family District.

Ken Brown, 111 Soledad, representing the applicant, stated they are proposing to develop single-family homes on approximately 400 lots. He stated this is consistent with the surrounding uses in the area.

Staff stated there were 101 notices mailed out to the surrounding property owners, 7 returned in opposition and 2 returned in favor and no response from Sunrise Neighborhood Coalition.

Everyone present, for and against having been heard and the results of the written notices having been received, the Chairman declared the public hearing closed.

COMMISSION ACTION

The motion was made by Commissioner McGowan and seconded by Commissioner Grau to recommend approval.

1. Property is located on Lot P-12A and 12B, NCB 1661 at Summerfest and Seguin Road.
2. There were 101 notices mailed, 7 returned in opposition and 2 in favor.
3. Staff recommends approval.

AYES: Martinez, Grau, Kissling, McGowan, Hophan, Sherrill, McAden, Avila, Morell, Mehringer

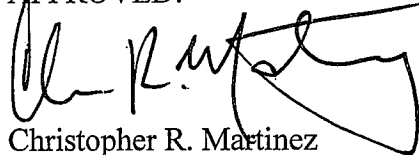
NAYS: None

THE MOTION CARRIED.

29. ADJOURNMENT

Having no further business, the meeting adjourned at 3:50 P.M.

APPROVED:



Christopher R. Martinez
Chairman

ATTEST:



Executive Secretary

**REGULAR MEETING OF THE CITY COUNCIL OF THE CITY OF SAN
ANTONIO, HELD IN THE COUNCIL CHAMBERS, MUNICIPAL PLAZA
BUILDING, THURSDAY, APRIL 10, 2003.**

* * * *

2003-14 The City Council convened in an informal "B" Session at 10:30 A.M., at 1901 South Alamo, to consider the following item(s):

- A) **The Development and Business Services Center Ribbon Cutting and Building Tour.** (Presented by Rebecca Waldman, Director, Asset Management Department).

2003-14 The regular meeting was called to order at 1:00 P.M. by the Presiding Officer, Mayor Ed Garza, with the following members present: Perez, Sanders, Moorhouse, Martin, Herrera, Barrera, Castro, Conner, Schubert, Carpenter, Garza. ABSENT: None.

2003-14 Invocation by Reverend John G. Hargis, Laurel Heights Methodist Church.

2003-14 Pledge of Allegiance to the flag of the United States.

2003-14 **PRESENTATION OF PROCLAMATION FOR NATIONAL CRIME VICTIMS' RIGHTS WEEK.**

Mayor Garza read a Proclamation proclaiming National Crime Victims' Rights Week and then invited Ms. Kathryn Babbitt, representing District Attorney Susan Reed, Sheriff Ralph Lopez and Police Chief Albert Ortiz to come forward to accept the Proclamation.

Ms. Babbitt, Sheriff Lopez and Police Chief Ortiz thanked the Mayor and City Council for helping to bring attention to this very important observance.

Several members of the Council thanked everyone involved in making the public aware of the suffering of citizens in our community who are hurt by crimes. They thanked those who work individually as well as organizations that strive to bring justice for crime victims.

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2003-14 **RECOGNITION OF THE FIESTA COMMISSION.**

Mayor Garza stated that the upcoming Fiesta San Antonio would begin on April 19, 2003 and then invited Ms. Irma Flores, President of The Fiesta San Antonio Commission, to come forward to speak to this exciting time in San Antonio—Fiesta Week.

Ms. Flores introduced other members of the Fiesta San Antonio Commission who were accompanying her and encouraged all the Council to attend their Fiesta kick-off event. She then presented each Council member with mementos of Fiesta Week.

Several members of the Council thanked the Commission for its work and for providing all San Antonians with an opportunity to have a good time.

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2003-14 **PRESENTATION OF PROCLAMATION FOR BUILDING SAFETY WEEK.**

Mayor Garza invited Mr. Florencio Pena, Director of Development Services, and Mr. Michael Clack, Asst. Dir. Field Operations of Development Services, to come forward to accept a Proclamation, proclaiming Building Safety Week 2003 in San Antonio.

Mr. Pena introduced some members of his staff whose jobs involved assuring compliance with the Codes and the safety of our buildings.

Councilman Martin spoke to the very important work that employees in the Development Services Department perform with relation to code enforcement in our community.

2003-14 **ON A POINT OF PERSONAL PRIVILEGE.**

On a point of personal privilege, Mayor Garza presented Ms. Nancy Englebert, Heritage Neighborhood Association, a certificate of appreciation for the work that she and her Association have performed to bring the Heritage Neighborhood pool up to safety standards. Ms. Englehart was also presented with a check from District 4 funds to assist with the cost of the project.

On behalf of her Association, Ms. Englebert thanked the Mayor and Councilman Martin for the recognition and needed funds.

2003-14 **ON A POINT OF PERSONAL PRIVILEGE**

On a point of personal privilege, Councilman Castro introduced Ms. Delia Guajardo, representing the U.S. Military Veterans Parade Association, and asked her to provide the Council with information on an upcoming event.

Ms. Guajardo spoke to a POW/MIA Candlelight Vigil planned for April 16, 2003 at St. Paul's Community Center from 7:00 P.M. to 9:00 P.M. She invited everyone to participate in this event.

She then introduced Mr. Ruben Salas, Vice President of the Parade Association, who thanked the Council for their support of the veterans' annual parade.

At this point, the Mayor called for a moment of silence in honor of San Antonio's Private Anthony Scott Miller, a 2001 John Jay High School graduate, who was killed in action in Iraq. He asked that Private Miller and his family be remembered in everyone's thoughts and prayers.

2003-14 **ON A POINT OF PERSONAL PRIVILEGE**

On a point of personal privilege, Councilwoman Moorhouse recognized members of the community who had participated in the Basura Bash, for their efforts to beautify the San Antonio River. She spoke to the amount of garbage that the group had collected during their recent clean-up event.

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2003-14 **ON A POINT OF PERSONAL PRIVILEGE**

Councilman Schubert spoke to the on-going conflict in Iraq. He spoke to the actions of the military forces and commended them for their work. He further spoke to today's happenings in Baghdad and stated that they signified a great day for America and a great day for the people in Iraq.

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2003-14 Minutes of the regular City Council meetings of March 6 and March 27, 2003 were approved as presented.

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2003-14 **CONSENT AGENDA – CITIZEN COMMENTS**

Mr. Jack Finger, P. O. Box 12048, commended the Marines for their work in Iraq. He also spoke to Item 15, approving a Lease Agreement with Milton Boniuk, M.D. for space at 310 Valley Hi Drive, noting that Dr. Boniuk had not filed an ethics disclosure statement and to Item 22, authorizing payment for the settlement of a lawsuit.

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2003-14 **CONSENT AGENDA**

Councilman Perez made a motion to approve Agenda Items 6 through 24D, constituting the Consent Agenda, except for Item 12, which was pulled for individual consideration. Councilman Carpenter seconded the motion.

After consideration, the motion, carrying with it the passage of the following Ordinances, prevailed by the following vote: **AYES:** Perez, Sanders, Moorhouse, Martin, Herrera, Barrera, Conner, Schubert, Carpenter, Garza. **NAYS:** None. **ABSENT:** Castro.

AN ORDINANCE 97420

AUTHORIZING THE PURCHASE OF VIDEO IMAGE VEHICLE DETECTION SYSTEMS FOR THE CITY OF SAN ANTONIO PUBLIC WORKS DEPARTMENT

UTILIZING A CONTRACT BETWEEN TEXAS HIGHWAY PRODUCTS, LTD. AND THE TEXAS DEPARTMENT OF TRANSPORTATION FOR A TOTAL COST OF \$78,304.20.

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AN ORDINANCE 97421

ACCEPTING THE BIDS OF VARIOUS COMPANIES TO PROVIDE THE CITY OF SAN ANTONIO WITH A DATABASE LICENSE AGREEMENT, BOTTLED WATER, SELF CONTAINED BREATHING APPARATUS REPAIR PARTS & SERVICE, BACK SUPPORT BELTS AND HARRINGTON VALVE REPAIR PARTS ON AN ANNUAL CONTRACT BASIS FOR FY 2003-2004 FOR A TOTAL SUM OF APPROXIMATELY \$415,579.00.

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AN ORDINANCE 97422

AUTHORIZING A 48 MONTH LEASE OF MULTI-FUNCTION PRINTERS FOR THE DEVELOPMENT AND BUSINESS SERVICES CENTER UTILIZING A LEASE AGREEMENT BETWEEN IKON OFFICE SOLUTIONS, INC. AND THE TEXAS LOCAL GOVERNMENT PURCHASING COOPERATIVE FOR THE CITY OF SAN ANTONIO PLANNING, DEVELOPMENT SERVICES AND ECONOMIC DEVELOPMENT DEPARTMENTS FOR AN APPROXIMATE COST OF \$148,848.00.

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AN ORDINANCE 97423

ACCEPTING THE LOW QUALIFIED BID OF ARCHITECTURAL GRAPHICS, INC. IN THE AMOUNT OF \$569,301.00 FOR THE SIGNAGE UPGRADE PROJECT AT SAN ANTONIO INTERNATIONAL AIRPORT AND AUTHORIZING EXECUTION OF A CONSTRUCTION CONTRACT; AUTHORIZING \$56,930.00 FOR CONSTRUCTION CONTINGENCIES; APPROPRIATING FUNDS; REVISING THE BUDGET; AND PROVIDING FOR PAYMENT.

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AN ORDINANCE 97424

SELECTING INDEPENDENT DESIGN TO PROVIDE ARCHITECTURAL SERVICES IN CONNECTION WITH THE NORTHEAST YMCA BUILDING IMPROVEMENTS COMMUNITY DEVELOPMENT BLOCK GRANT (CDBG) PROJECT, LOCATED IN CITY COUNCIL DISTRICT 10; AUTHORIZING THE NEGOTIATION AND EXECUTION OF A 26TH YEAR COMMUNITY DEVELOPMENT BLOCK GRANT (CDBG) FUNDED PROFESSIONAL SERVICES CONTRACT IN THE AMOUNT NOT TO EXCEED \$4,990.00; AUTHORIZING \$1,000.00 FOR MISCELLANEOUS ARCHITECTURAL CONTINGENCY EXPENSES; AUTHORIZING \$1,000.00 FOR BID ADVERTISING AND PRINTING EXPENSES, FOR A TOTAL AMOUNT OF \$6,990.00; APPROPRIATING FUNDS; REVISING THE PROJECT BUDGET; AND PROVIDING FOR PAYMENT.

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AN ORDINANCE 97425

AUTHORIZING ADDITIONAL FUNDS IN THE AMOUNT OF \$1,500.00 FROM 1999 PARK BOND FUNDS PAYABLE TO K.M. NG AND ASSOCIATES (S/D/MBE) FOR ADDITIONAL ENGINEERING SERVICES IN CONNECTION WITH THE WALKER RANCH HISTORIC LANDMARK PARK IMPROVEMENTS - PHASE II PROJECT, LOCATED IN COUNCIL DISTRICT 9; AUTHORIZING \$4,935.00 TO THE UNIVERSITY OF TEXAS AT SAN ANTONIO FOR ADDITIONAL ARCHEOLOGICAL SURVEY FEES, FOR A TOTAL SUM OF \$6,435.00; REVISING THE BUDGET; APPROPRIATING FUNDS; AND PROVIDING FOR PAYMENT.

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AN ORDINANCE 97426

AUTHORIZING THE EXECUTION OF A FIVE (5) YEAR LEASE AGREEMENT WITH T.R.S. OF SAN ANTONIO, LTD., D/B/A PIECA D'ITALIA FOR APPROXIMATELY 512.5 SQUARE FEET OF RIVERWALK SIDEWALK SPACE IN CITY COUNCIL DISTRICT 1 TO BE USED FOR OUTDOOR DINING PURPOSES FOR ANNUAL RENT OF \$8,533.68 IN YEAR ONE, \$8,742.72 IN YEAR TWO, \$8,951.76 IN YEAR THREE, \$9,185.40 IN YEAR FOUR AND \$9,431.40 IN YEAR FIVE.

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AN ORDINANCE 97427

RESCINDING THE LICENSE AGREEMENTS APPROVED BY ORDINANCE NO. 61887, PASSED ON NOVEMBER 25, 1985, AND ORDINANCE NO. 62468, PASSED ON MARCH 13, 1986, WITH THE FAIRMOUNT HOTEL COMPANY AND AUTHORIZING A LICENSE AGREEMENT WITH PATRIOT AMERICAN HOSPITALITY PARTNERSHIP, L.P. FOR THE USE OF PUBLIC RIGHT OF WAY FOR TWO (2) EXISTING PORCHES AND FOUR (4) EXISTING AREAWAYS AT THE SOUTHWEST CORNER OF ALAMO AND NUEVA STREETS AND AN EXISTING PORTE COCHERE ON ALAMO STREET, AT THE FAIRMOUNT HOTEL LOCATED AT 401 SOUTH ALAMO, WITHIN NEW CITY BLOCK 155, FOR A TOTAL LICENSE FEE OF \$12,139.00 FOR A TEN (10) YEAR TERM.

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AN ORDINANCE 97428

APPROVING A LEASE AGREEMENT WITH MILTON BONIUK, M.D. OF SAN ANTONIO, TEXAS FOR 1,530 SQUARE FEET OF OFFICE SPACE AT 310 VALLEY HI DRIVE, SPACE #107, BY THE YOUTH SERVICES DIVISION OF COMMUNITY INITIATIVES DEPARTMENT, FOR A THIRTEEN MONTH TERM BEGINNING APRIL 1, 2003 AND ENDING APRIL 30, 2004 AT A BASE MONTHLY RENTAL RATE OF \$850.00 FOR THE TERM OF THE LEASE AGREEMENT; AUTHORIZING THE EXECUTION OF A LEASE AGREEMENT AND ANY OTHER NECESSARY DOCUMENTS IN CONNECTION THEREWITH; AND AUTHORIZING THE PAYMENT OF THE MONTHLY LEASE RENTAL AND UTILITIES.

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AN ORDINANCE 97429

DECLARING A PUBLIC NECESSITY FOR THE ACQUISITION OF A TEMPORARY CONSTRUCTION EASEMENT AND PERMANENT ELECTRIC TRANSMISSION AND DISTRIBUTION LINES EASEMENT AND ANY OTHER NECESSARY OR DESIRABLE PROPERTY RIGHTS OVER, ACROSS, UPON, AND UNDER CERTAIN PRIVATELY OWNED REAL PROPERTY FOR THE LEON CREEK TO PLEASANTON PROJECT, ALSO KNOWN AS THE LEON CREEK - PLEASANTON 138 KV TRANSMISSION LINE REBUILD PROJECT; SUCH EASEMENT, AND OTHER NECESSARY OR DESIRABLE PROPERTY RIGHTS

BEING LOCATED ON THE FOLLOWING DESCRIBED REAL PROPERTY
LOCATED IN BEXAR COUNTY, TEXAS:

BEING TRACT 9, CONTAINING 5.00 ACRES IN THE HELEN
JOHNSON SUBDIVISION, BEXAR COUNTY, TEXAS ACCORDING
TO PLAT THEREOF RECORDED IN VOLUME 2222, PAGE 54 OF
THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS
AND BEING OUT OF THE DIONICIO MARTINEZ SURVEY NO. 1,
ABSTRACT NO. 9, COUNTY BLOCK 4012, BEXAR COUNTY,
TEXAS.

FOR THE PUBLIC PURPOSES OF THE CONSTRUCTION, RECONSTRUCTION,
REFURBISHMENT, OPERATION, AND MAINTENANCE OF THE LEON CREEK
TO PLEASANTON ELECTRIC TRANSMISSION AND DISTRIBUTION LINES,
TOGETHER WITH ALL NECESSARY OR DESIRABLE APPURTENANCES
THERE TO, AND A COMMUNICATION SYSTEM FOR THE CITY OF SAN
ANTONIO ELECTRIC AND GAS SYSTEM; AUTHORIZING ALL APPROPRIATE
ACTION OF THE CITY OF SAN ANTONIO, ACTING BY AND THROUGH THE
CITY PUBLIC SERVICE BOARD OF SAN ANTONIO, IN THE INSTITUTION AND
PROSECUTION OF CONDEMNATION PROCEEDINGS TO ACQUIRE SUCH
NEEDED TEMPORARY AND PERMANENT EASEMENTS AND ANY OTHER
NECESSARY OR DESIRABLE PROPERTY RIGHTS THAT CANNOT BE
ACQUIRED THROUGH NEGOTIATION; AND RATIFYING AND AFFIRMING
ALL PRIOR ACTS AND PROCEEDINGS DONE OR INITIATED BY ATTORNEYS,
AGENTS AND EMPLOYEES ACTING FOR THE CITY OF SAN ANTONIO, BY
AND THROUGH THE CITY PUBLIC SERVICE BOARD OF SAN ANTONIO, TO
ACQUIRE SUCH EASEMENTS AND ANY OTHER NECESSARY OR DESIRABLE
PROPERTY RIGHTS; AUTHORIZING ALL OTHER LAWFUL ACTION
NECESSARY OR INCIDENTAL TO SUCH ACQUISITIONS OR EMINENT
DOMAIN PROCEEDINGS TO SURVEY, SPECIFY, CLARIFY, DEFINE AND
ACQUIRE THE NECESSARY PROPERTY RIGHTS; AND DECLARING THE
SECTIONS OF THE ORDINANCE TO BE SEVERABLE ONE FROM THE OTHER
IN THE EVENT ANY SECTION OF THIS ORDINANCE IS DETERMINED TO BE
INVALID.

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AN ORDINANCE 97430

AUTHORIZING THE ACCEPTANCE OF \$10,500.00 FROM THE UNITED WAY OF
SAN ANTONIO AND BEXAR COUNTY, ON BEHALF OF THE ALAMO AREA
COMMUNITY INFORMATION SYSTEM TO SUPPORT COMMUNITY

TECHNOLOGY CENTERS ESTABLISHED AT CITY-OPERATED LEARNING AND LEADERSHIP DEVELOPMENT CENTERS; AUTHORIZING THE EXECUTION OF ANY NECESSARY DOCUMENTS IN CONNECTION THEREWITH; AND AUTHORIZING AN AMENDED BUDGET FOR SAID PROGRAM.

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AN ORDINANCE 97431

AUTHORIZING THE EXECUTION OF A HOUSING ASSISTANCE PAYMENTS CONTRACT WITH THE SAN ANTONIO HOUSING AUTHORITY IN AN AMOUNT NOT TO EXCEED \$288,573.00 FOR CONTINUATION OF THE DWYER CENTER SINGLE ROOM OCCUPANCY PROGRAM FOR THE TERM OF SEPTEMBER 17, 2002 TO SEPTEMBER 16, 2003.

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AN ORDINANCE 97432

AUTHORIZING THE EXECUTION OF LICENSE AGREEMENTS WITH BIDDERS FOR THEIR USE OF CITY KITCHENS TO PROVIDE MEAL SAMPLES AS PART OF THE EVALUATION PROCESS OF THE COMPREHENSIVE NUTRITION PROJECT (CNP) BEST VALUE BID.

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AN ORDINANCE 97433

NAMING A TRAILHEAD LOCATED WITHIN THE LEON CREEK GREENWAY ON BABCOCK ROAD IN CITY COUNCIL DISTRICT 8 THE "BUDDY CALK TRAILHEAD."

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AN ORDINANCE 97434

AUTHORIZING THE ACCEPTANCE OF A GRANT IN THE AMOUNT OF \$15,000.00 FROM COURTESY ASSOCIATES AT THE REQUEST OF THE NATIONAL INSTITUTE OF ENVIRONMENTAL HEALTH SCIENCES (NIEHS) TO SUPPORT THE COMMUNITY ENVIRONMENTAL HEALTH EDUCATION

PROGRAM OF THE SAN ANTONIO METROPOLITAN HEALTH DISTRICT (SAMHD) DURING THE PERIOD FEBRUARY 20, 2003 THROUGH FEBRUARY 19, 2004; ESTABLISHING A FUND; ADOPTING A BUDGET; AND AUTHORIZING RELATED PAYMENTS.

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AN ORDINANCE 97435

AUTHORIZING PAYMENT IN THE AMOUNT OF \$325,000.00 FOR THE FULL AND FINAL SETTLEMENT OF THE LAWSUIT STYLED JEFF KAPCHE V. CITY OF SAN ANTONIO, CAUSE NO. SA-CA-1215-EP, UNITED STATES DISTRICT COURT, WESTERN DISTRICT OF TEXAS.

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AN ORDINANCE 97436

APPROVING A PARADE PERMIT AND AUTHORIZING THE TEMPORARY CLOSURE OF CERTAIN STREETS NEAR WOODLAWN LAKE IN CONNECTION WITH THE EARTH DAY 5K FUN RUN TO BE HELD ON SATURDAY, APRIL 19, 2003 FROM 7:00 A.M. UNTIL 8:30 A.M.

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AN ORDINANCE 97437

APPOINTING CHERYL DIANNE SHAW (CONSUMER CATEGORY - DISTRICT 9) TO THE TRANSPORTATION ADVISORY BOARD FOR A TERM OF OFFICE TO EXPIRE ON JANUARY 26, 2004.

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AN ORDINANCE 97438

APPOINTING BETH EBY (MAYOR) TO THE TAX PHASE-IN ADVISORY COMMITTEE FOR A TERM OF OFFICE TO EXPIRE ON MAY 18, 2004.

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AN ORDINANCE 97439

APPOINTING DORA RAMOS (DISTRICT 5) TO THE MAYOR'S COMMISSION ON THE STATUS OF WOMEN FOR A TERM OF OFFICE TO EXPIRE ON DECEMBER 15, 2004.

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AN ORDINANCE 97440

APPOINTING ALFRED P. ROCHA (DISTRICT 5) TO KEEP SAN ANTONIO BEAUTIFUL, INC. FOR A TERM OF OFFICE TO EXPIRE ON DECEMBER 22, 2004.

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2003-14 The Clerk read the following Ordinance:

AN ORDINANCE 97441

RATIFYING THE EXECUTION OF TWO CONTRACTS WITH H. KARP COMPANY IN THE AMOUNT OF \$42,160.00 AND \$63,620.00 TO PROVIDE THE CITY WITH EMERGENCY REPAIRS TO SIXTEEN (16) CITY-OWNED HOUSES IN CONNECTION WITH THE CITY'S HOUSING ASSET RECOVERY PROGRAM (HARP); AUTHORIZING CONSTRUCTION CONTINGENCIES IN THE AMOUNTS OF \$1,000.00 AND \$9,000.00 RESPECTIVELY, AND PROVIDING FOR PAYMENT.

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Councilman Perez made a motion to approve the proposed Ordinance. Councilwoman Moorhouse seconded the motion.

Mr. David D. Garza, Director, Neighborhood Action Department, made a presentation on the sixteen single-family dwellings located in the inner city that would be rehabilitated and sold to residents in our City. He provided a status report on this project and stated that the City was looking for a 10% return on its investment. He further advised the Council about a Housing Fair scheduled for Sunday, April 13th in conjunction with Springview and the Fanny Mae Foundation to make residents aware of these homes. He

added that many of these homes had been moved from the area of the Martinez flood and some were donated by HEB.

Councilman Perez stated that he wanted to highlight the progress of this project and spoke to the Housing Fair as being a positive activity. He commended Mr. Garza for his work on the project.

After consideration, the motion, carrying with it the passage of the Ordinance, prevailed by the following vote: **AYES:** Perez, Sanders, Moorhouse, Martin, Herrera, Barrera, Conner, Schubert, Carpenter, Garza. **NAYS:** None. **ABSENT:** Castro.

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2003-14 The Clerk read the following Ordinance:

AN ORDINANCE 97442

APPOINTING ROBERT J. DAVIS (CLERGY CATEGORY - DISTRICT 2) TO THE SOUTH FORT SAM HOUSTON DEVELOPMENT ADVISORY BOARD FOR A TERM OF OFFICE TO EXPIRE ON JANUARY 28, 2005.

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Councilman Perez made a motion to approve the proposed Ordinance. Councilwoman Moorhouse seconded the motion.

After consideration, the motion, carrying with it the passage of the Ordinance, prevailed by the following vote: **AYES:** Perez, Sanders, Moorhouse, Martin, Herrera, Barrera, Conner, Schubert, Carpenter, Garza. **NAYS:** None. **ABSENT:** Castro.

— — —
2003-14 **NOMINATIONS FOR THE METROPOLITAN TRANSIT AUTHORITY.**

Ms. Yolanda Ledesma, Acting City Clerk presented the nominations for the Metropolitan Transit Authority brought forward from April 3, 2003 "B" Session which included Ms. Nancy Englebert, District 4; Mr. Martin Bartlett, District 3; and Ms. Laurie (Annie) Gruenbeck, District 3.

Councilman Martin made a motion to approve the proposed Ordinance appointing Ms. Nancy Englebert to serve on the Metropolitan Transit Authority. Councilwoman Moorhouse seconded the motion.

After consideration, the motion, carrying with it the passage of the Ordinance, prevailed by the following vote: **AYES:** Perez, Sanders, Moorhouse, Martin, Herrera, Barrera, Castro, Conner, Schubert, Carpenter, Garza. **NAYS:** None. **ABSENT:** None.

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AN ORDINANCE 97443

APPOINTING NANCY ENGLEBERT (DISTRICT 4) TO THE METROPOLITAN TRANSIT AUTHORITY FOR A TERM OF OFFICE TO EXPIRE ON DECEMBER 31, 2004.

2003-14 **NOMINATIONS FOR THE CITIZENS ADVISORY ACTION BOARD.**

Ms. Yolanda Ledesma, Acting City Clerk presented the nominations for the Citizens Advisory Action Board brought forward from April 3, 2003 "B" Session which included Ms. Laura Zuniga, Council as a Whole; Mr. James Devlin, Council as a Whole; and Mr. Lawrence Schoenfeld, Council as a Whole.

Councilman Perez made a motion to approve the proposed Ordinance appointing Ms. Laura Zuniga to serve on the Citizens Advisory Action Board. Councilman Castro seconded the motion.

After consideration, the motion, carrying with it the passage of the Ordinance, prevailed by the following vote: **AYES:** Perez, Sanders, Moorhouse, Martin, Herrera, Barrera, Castro, Conner, Schubert, Carpenter, Garza. **NAYS:** None. **ABSENT:** None.

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AN ORDINANCE 97444

APPOINTING LAURA ZUNIGA (COUNCIL AS A WHOLE) TO THE CITIZENS ADVISORY ACTION BOARD FOR A TERM OF OFFICE TO EXPIRE ON JANUARY 28, 2004.

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2003-14 Item 25D being a proposed ordinance appointing ten members to the Air Transportation Advisory Commission for staggered terms of office. [Nominees: Edward Carrola (Aviation Industry Category - Mayor); Richard Kelley (Aviation Industry Category - Mayor/District 8); Edward A. Benson (Aviation Industry Category - Mayor); Marsha Hendler (Travel & Tourism Category - Mayor); Siegfried Richter (Travel & Tourism Category - Mayor); Marco Barros (Community Representative Category - District 6); Mary Briseno (Community Representative Category - Mayor); Richard Green II (Community Representative Category - District 6); Manuel Fuentes (Community Representative Category - District 3); Loren Wood (Business Category - Mayor); Mark Tafolla (Business Category - Mayor); and Timothy Tuggey (Business Category - Mayor)], was pulled from consideration.

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2003-14 **NOMINATIONS FOR THE NOISE ABATEMENT COMMITTEE.**

Ms. Yolanda Ledesma, Acting City Clerk presented the nominations for the Noise Abatement Advisory Committee, noting the nominees had been interviewed at the "B" Session held on April 3, 2003.

Councilman Schubert made a motion to approve the proposed Ordinance appointing Mr. Gerald Jewell and re-appointing Mr. Orlene Kolm and Mr. Gary Pape to serve on the Noise Abatement Advisory Committee. Councilman Carpenter seconded the motion.

After consideration, the motion, carrying with it the passage of the following Ordinance, prevailed by the following vote: **AYES:** Perez, Sanders, Moorhouse, Martin, Herrera, Barrera, Castro, Conner, Schubert, Carpenter, Garza. **NAYS:** None. **ABSENT:** None.

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AN ORDINANCE 97445

APPOINTING GERALD JEWELL (NEIGHBORHOOD ASSOCIATION CATEGORY - DISTRICT 10) FOR A TERM OF OFFICE TO EXPIRE ON DECEMBER 15, 2005 AND REAPPOINTING ORLINE KOLM (NEIGHBORHOOD ASSOCIATION CATEGORY - DISTRICT 9) AND GARY PAPE (AVIATION INDUSTRY - DISTRICT 9) FOR TERMS OF OFFICE TO EXPIRE ON DECEMBER 15, 2004 TO THE NOISE ABATEMENT ADVISORY COMMITTEE.

2003-14 **ZONING CASES**

4A.) CASE NUMBER #Z2002272 - The request of Jerry Arredondo, Applicant, for Jesus M. and Olga V. Raygoza, Owner(s), for a change in zoning from "R-5" Single-Family Residential District to "C-2 NA" Commercial Non-Alcoholic Sales District on Lot 20, Block 6, NCB 9194, 302 West Hermosa Drive. Staff's recommendation was for denial.

Zoning Commission has recommended denial. (Council District 1)

Mr. John Jacks, Land Development Services, explained the proposed rezoning case.

The following citizen(s) appeared to speak:

Mr. Andy Guerrero, representing the applicant, stated that a retail furniture store with imports from Mexico was being proposed for the property. He added that the project would be oriented to San Pedro Avenue, not Hermosa Street.

Mrs. Olga Raygoza, owner, spoke to the many improvements that she and her husband had made to the property and to the type of business that would be operated at the address. She added that the neighbors had signed a petition supporting her request for C2 NA zoning

Ms. Margie Torres, 319 W. Wildwood, representing the Olmos Park Terrace Neighborhood Association, spoke to her opposition to the rezoning citing possible increased traffic into the neighborhood.

Mr. Albert Eng, representing the Office of State Representative Mike Villarreal, spoke to their opposition to this rezoning request stating it went against the land use development

element of the North Central Neighborhoods Community Plans. He asked the Council to vote against this request.

Ms. Betty Eckert, 233 W. Wildwood, spoke in opposition to the rezoning citing the North Central Neighborhoods Community Plan which stated that no business encroachment would be allowed within residential areas. She added that granting this rezoning would go against the land use designation of the Neighborhood Plan and the City Master Plan. She asked that Council oppose this zoning in order to retain a neighborly-oriented atmosphere. She submitted a petition (which is on file with the papers of this meeting) signed by residents asking the Council to oppose this rezoning.

(At this point, Mayor Garza was obliged to leave the meeting. Councilman Carpenter presided.)

Mr. Jack Finger, P. O. Box 12048, asked that the Council vote against the rezoning. He spoke to the number of residents who had responded "no" when asked to state their preference on this zoning request.

Ms. Esther De Leon spoke about the proposed business and to the condition of the house before the present owners had taken possession. She also spoke to the businesses that already exist in the area.

Mr. Juan Ramirez, 603 Clower, spoke to the type of business that the Raygozas were planning to establish and to the amount of money that they had invested to improve the property.

Mr. Andy Guerrero spoke to the zoning of nearby properties along San Pedro Avenue and noted that there already was some community intrusion in the area.

Mr. Jerry Arredondo, the applicant, noted that the Edison Neighborhood Association had written a letter of support for the proposed rezoning (which is filed with the papers of this meeting) and spoke to the positive impact of this zoning for the neighborhood.

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In response to questions by Councilman Perez, Mr. John Jacks, Land Development Services, stated that the Planning Department had reviewed the neighborhood plan and made a recommendation for denial based on the area map that indicated the area was residential. Mr. Rod Sanchez, Asst. Director of Development Services, stated that a traffic impact analysis had not been made in this case because the peak hour trips in the

area did not go over 100 trips per hour. He added that a business of this small scale would not trigger an analysis requirement.

Councilman Perez stated that he normally was against the rezoning of residential properties to commercial use but, in this instance, he intended to allow the zoning with the issuance of a Special Use Permit as protection to the area should the business not survive

Councilman Perez made a motion to continue this rezoning case until the City Council meeting of April 24, 2003. Councilman Martin seconded the motion.

After consideration, the motion to continue this case until April 24, 2003, prevailed by the following vote: **AYES:** Perez, Sanders, Martin, Herrera, Barrera, Castro, Conner, Carpenter. **NAYS:** None. **ABSENT:** Moorhouse, Schubert, Garza.

Zoning Case #Z2002272 was continued to the Council meeting of April 24, 2003.

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4B.) CASE NUMBER #Z2003026 - The request of Mary M Carroll, Applicant, for Mary M. Carroll, Owner(s), for a change in zoning from "C-2" Commercial District to "R-4" Residential Single-Family District on Lots 5 and 6, Block 58, NCB 1586, 117 Aransas Avenue. Staff's recommendation was for approval.

Zoning Commission has recommended approval. (Council District 1)

Mr. John Jacks, Land Development Services, explained the proposed rezoning case.

Councilman Perez made a motion to approve the proposed rezoning. Councilman Sanders seconded the motion.

After consideration, the motion, carrying with it the passage of the following Ordinance, prevailed by the following vote: **AYES:** Perez, Sanders, Martin, Herrera, Barrera, Castro, Conner, Carpenter. **NAYS:** None. **ABSENT:** Moorhouse, Schubert, Garza.

AN ORDINANCE 97446

AMENDING CHAPTER 35 OF THE CITY CODE THAT CONSTITUTES THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF SAN ANTONIO BY CHANGING THE CLASSIFICATION OF AND REZONING CERTAIN PROPERTY

DESCRIBED HEREIN AS LOTS 5 AND 6, BLOCK 58, NCB 1586, 117 ARANSAS AVENUE, FROM "C-2" COMMERCIAL DISTRICT TO "R-4" RESIDENTIAL SINGLE-FAMILY DISTRICT.

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4C.) CASE NUMBER #Z2003038 - The request of AAMA Bentley Place Apartments, Inc., Applicant, for AAMA Bentley Place Apartments, Inc., Owner(s), for a change in zoning from "C-3" Commercial District to "MF-33" Multi-Family District on 1.246 acres out of NCB 15894, Southern part of Bently Drive and Walzem Road. Staff's recommendation was for approval.

Zoning Commission has recommended approval. (Council District 2)

Mr. John Jacks, Land Development Services, explained the proposed rezoning case.

Councilman Sanders made a motion to approve the proposed rezoning. Councilman Martin seconded the motion.

In response to a question by Councilman Sanders, a representative for AAMA Bentley Place Apartments, Inc stated that he did not have a design of the proposed apartment complex. Ms. Sandra Williams, Executive Director of the Alamo Area Mutual Housing Association, stated that the apartment complex would house 208 units and that 80% of the units would be classified as affordable and 20% would be at market rate.

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After consideration, the motion, carrying with it the passage of the following Ordinance, prevailed by the following vote: **AYES:** Sanders, Martin, Herrera, Barrera, Castro, Conner, Carpenter. **NAYS:** None. **ABSENT:** Perez, Moorhouse, Schubert, Garza.

AN ORDINANCE 97447

AMENDING CHAPTER 35 OF THE CITY CODE THAT CONSTITUTES THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF SAN ANTONIO BY CHANGING THE CLASSIFICATION OF AND REZONING CERTAIN PROPERTY DESCRIBED HEREIN AS 1.246 ACRES OUT OF NCB 15894, SOUTHERN PART

OF BENTLY DRIVE AND WALZEM ROAD, FROM "C-3" COMMERCIAL DISTRICT TO "MF-33" MULTI-FAMILY DISTRICT.

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4D.) CASE NUMBER #Z2003027 - The request of City of San Antonio, Historic Preservation Officer, Applicant, for Brooks Development Authority, Juvencio Lopez, Owner(s), for a change in zoning to designate Historic Significance on Building 671, Hangar 9, Brooks City Base, 8081 Inner Circle Road. Staff's recommendation was for approval.

Zoning Commission has recommended approval. (Council District 3)

Mr. John Jacks, Land Development Services, explained the proposed rezoning case.

Councilwoman Moorhouse made a motion to approve the proposed rezoning. Councilman Martin seconded the motion.

After consideration, the motion, carrying with it the passage of the following Ordinance, prevailed by the following vote: **AYES:** Sanders, Moorhouse, Martin, Herrera, Barrera, Castro, Conner, Carpenter. **NAYS:** None. **ABSENT:** Perez, Schubert, Garza.

AN ORDINANCE 97448

AMENDING CHAPTER 35 OF THE CITY CODE THAT CONSTITUTES THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF SAN ANTONIO BY CHANGING THE CLASSIFICATION OF AND REZONING CERTAIN PROPERTY DESCRIBED HEREIN AS BUILDING 671, HANGAR 9, BROOKS CITY BASE, 8081 INNER CIRCLE ROAD, TO DESIGNATE HISTORIC SIGNIFICANCE.

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4E.) CASE NUMBER #Z2003028 - The request of City of San Antonio, Historic Preservation Officer, Applicant, for Brooks Development Authority, Juvencio

Lopez, Owner(s), for a change in zoning to designate as a Historic District on a 15 acre tract of land in the northwest corner of Brooks City Base. Staff's recommendation was for approval.

Zoning Commission has recommended approval. (Council District 3)

Mr. John Jacks, Land Development Services, explained the proposed rezoning case.

Councilwoman Moorhouse made a motion to approve the proposed rezoning. Councilman Martin seconded the motion.

After consideration, the motion, carrying with it the passage of the following Ordinance, prevailed by the following vote: **AYES:** Sanders, Moorhouse, Martin, Herrera, Barrera, Castro, Conner, Carpenter. **NAYS:** None. **ABSENT:** Perez, Schubert, Garza.

AN ORDINANCE 97449

AMENDING CHAPTER 35 OF THE CITY CODE THAT CONSTITUTES THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF SAN ANTONIO BY CHANGING THE CLASSIFICATION OF AND REZONING CERTAIN PROPERTY DESCRIBED HEREIN AS A 15-ACRE TRACT OF LAND IN THE NORTHWEST CORNER OF BROOKS CITY BASE, TO DESIGNATE AS A HISTORIC DISTRICT.

* * * *

THE REZONING AND RECLASSIFICATION OF PROPERTY TO DESIGNATE AS A HISTORIC DISTRICT ON THE PROPERTY LISTED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE CENTERLINES ON SIDNEY BROOKS AND JERNIGAN ROAD;

THENCE, FOLLOWING THE CENTERLINE OF JERNIGAN ROAD NORTHWEST TO ITS INTERSECTION WITH THE CENTERLINE OF GEORGE SHAFER;

THENCE, FOLLOWING THE CENTERLINE OF GEORGE SHAFER NORTHEAST TO ITS INTERSECTION WITH THE CENTERLINE OF KENNEDY CIRCLE;

THENCE, FOLLOWING THE CENTERLINE OF KENNEDY CIRCLE IN AN ARC NORTH AND EAST TO ITS INTERSECTION WITH THE CENTERLINE OF DAVE ERWIN DRIVE;

THENCE, FOLLOWING THE LINE PARALLEL TO AND 30 FEET NORTH OF THE NORTHERN FACADE OF BUILDING 185 SOUTHEAST TO ITS INTERSECTION WITH A LINE PARALLEL TO AND 30 FEET EAST OF THE EASTERN FACADE OF BUILDING 185;

THENCE, FOLLOWING THE CENTERLINE OF SIDNEY BROOKS NORTHWEST
TO THE POINT OF BEGINNING.

SECTION 2: All other provisions of Chapter 35, as amended, shall remain in full force and effect, including the penalties for violations as made and provided in Section 35 – 491.

* * * *

Zoning Commission has recommended approval. (Council District 3)

Councilwoman Moorhouse made a motion to approve the proposed rezoning. Councilman Martin seconded the motion.

After consideration, the motion, carrying with it the passage of the following Ordinance, prevailed by the following vote: **AYES:** Moorhouse, Martin, Herrera, Barrera, Castro, Conner, Carpenter. **NAYS:** None. **ABSENT:** Perez, Sanders, Schubert, Garza.

AN ORDINANCE 97450

AMENDING CHAPTER 35 OF THE CITY CODE THAT CONSTITUTES THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF SAN ANTONIO BY CHANGING THE CLASSIFICATION OF AND REZONING CERTAIN PROPERTY DESCRIBED HEREIN AS BUILDING 538, BROOKS CITY BASE, TO DESIGNATE HISTORIC SIGNIFICANCE.

* * * *

4G.) CASE NUMBER #Z2003030 - The request of Angela Marie Sanders, Applicant, for Angela Marie Sanders, Owner(s), for a change in zoning from "R-6" Residential Single-Family District to "C-2 P NA" Commercial Non-Alcoholic Sales District on Lot 10, Lot 11, and Lot 12, Block 6, NCB 7800, 5305, 5311 and 5319 South Flores Street. Staff's recommendation was for approval.

Zoning Commission has recommended approval. (Council District 4)

Mr. John Jacks, Land Development Services, explained the proposed rezoning case.

Councilman Martin made a motion to approve the proposed rezoning. Councilwoman Moorhouse seconded the motion.

After consideration, the motion, carrying with it the passage of the following Ordinance, prevailed by the following vote: **AYES:** Sanders, Moorhouse, Martin, Herrera, Barrera, Castro, Conner, Carpenter. **NAYS:** None. **ABSENT:** Perez, Schubert, Garza.

AN ORDINANCE 97451

AMENDING CHAPTER 35 OF THE CITY CODE THAT CONSTITUTES THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF SAN ANTONIO BY CHANGING THE CLASSIFICATION OF AND REZONING CERTAIN PROPERTY DESCRIBED HEREIN AS LOT 10, LOT 11, AND LOT 12, BLOCK 6, NCB 7800.

5305, 5311 AND 5319 SOUTH FLORES STREET, FROM "R-6" RESIDENTIAL SINGLE-FAMILY DISTRICT TO "C-2 P NA" COMMERCIAL NON-ALCOHOLIC SALES DISTRICT.

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4H.) CASE NUMBER #Z2002258 - The request of City of San Antonio, Applicant, for WOH Holdings, Inc. c/o Charles Martin Wender, Owner(s), for a change in zoning from "R-6" Residential Single-Family District to "R-6 PUD" Residential Single-Family Planned Unit Development District on 92.34 acre tract of land out of NCB 17642, 4100 Block of Wiseman Road. Staff's recommendation was for approval.

Zoning Commission has recommended denial. (Council District 6)

Mr. John Jacks, Land Development Services, explained the proposed rezoning case.

Councilman Barrera stated that both sides had agreed to continue this case to allow more time for consideration. He made a motion to continue this rezoning case until the City Council meeting of May 8, 2003. Councilman Martin seconded the motion.

After consideration, the motion to continue this case until May 8, 2003, prevailed by the following vote: **AYES:** Sanders, Moorhouse, Martin, Herrera, Barrera, Castro, Conner, Schubert, Carpenter. **NAYS:** None. **ABSENT:** Perez, Garza.

Zoning Case #Z2002258 was continued to the Council meeting of May 8, 2003.

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4I.) CASE NUMBER #Z2002271 - The request of Jerry Arredondo, Applicant, for Gary D. Skinner, Owner(s), for a change in zoning from "R-5" Single-Family Residence District to "MF-25" Multi-Family District on Lots 237, 238, 239, 240 and 241, Block E, NCB 11549, 700 Block of Oak Knoll Drive. Staff's recommendation was for approval.

Zoning Commission has recommended denial. (Council District 7)

Mr. John Jacks, Land Development Services, explained the proposed rezoning case.

Councilman Castro made a motion to continue this rezoning case until the City Council meeting of April 24, 2003 as the project had been altered and further consideration was needed. Councilman Martin seconded the motion.

After consideration, the motion to continue this case until April 24, 2003, prevailed by the following vote: **AYES:** Moorhouse, Martin, Herrera, Barrera, Castro, Conner, Schubert, Carpenter. **NAYS:** None. **ABSENT:** Perez, Sanders, Garza.

Zoning Case #Z2002271 was continued but direction was revised later in the meeting. See page 28 for the final outcome of this zoning case.

4J.) CASE NUMBER #Z2003008 - The request of Brad Galo, ABG Development, Ltd, Applicant, for Brad Galo, ABG Development, Ltd, Owner(s), for a change in zoning from "C-2" Commercial District to "C-3" Commercial District on 0.92 acres out of NCB 13732, 14800 Block of Jones Maltsberger Road. Staff's recommendation was for approval.

Zoning Commission has recommended approval. (Council District 9)

Mr. John Jacks, Land Development Services, explained the proposed rezoning case.

Councilman Schubert made a motion to approve the proposed rezoning. Councilwoman Moorhouse seconded the motion.

After consideration, the motion, carrying with it the passage of the following Ordinance, prevailed by the following vote: **AYES:** Moorhouse, Martin, Herrera, Barrera, Castro, Conner, Schubert, Carpenter. **NAYS:** None. **ABSENT:** Perez, Sanders, Garza.

AN ORDINANCE 97452

AMENDING CHAPTER 35 OF THE CITY CODE THAT CONSTITUTES THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF SAN ANTONIO BY CHANGING THE CLASSIFICATION OF AND REZONING CERTAIN PROPERTY DESCRIBED HEREIN AS 0.92 ACRES OUT OF NCB 13732, 14800 BLOCK OF JONES MALTSBERGER ROAD, FROM "C-2" COMMERCIAL DISTRICT TO "C-3" COMMERCIAL DISTRICT.

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4K.) CASE NUMBER #Z2003031 - The request of Paul Bishop, Applicant, for Maverick Oil Company, Inc., Owner(s), for a change in zoning from "BP" Business Park and "I-1" General Industrial District to "RM-4" Residential Mixed District on 6.506 acres out of NCB 15678, 11000 Wetmore Rd. Staff's recommendation was for approval.

Zoning Commission has recommended approval. (Council District 9)

Mr. John Jacks, Land Development Services, explained the proposed rezoning case.

Councilman Schubert made a motion to approve the proposed rezoning. Councilwoman Moorhouse seconded the motion.

In response to a question by Councilman Schubert, Paul Bishop, the applicant, stated that the issue of utilities had been resolved and they would be installed underground.

* * * *

After consideration, the motion, carrying with it the passage of the following Ordinance, prevailed by the following vote: **AYES:** Moorhouse, Martin, Barrera, Castro, Conner, Schubert, Carpenter. **NAYS:** None. **ABSENT:** Perez, Sanders, Herrera, Garza.

AN ORDINANCE 97453

AMENDING CHAPTER 35 OF THE CITY CODE THAT CONSTITUTES THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF SAN ANTONIO BY CHANGING THE CLASSIFICATION OF AND REZONING CERTAIN PROPERTY DESCRIBED HEREIN AS 6.506 ACRES OUT OF NCB 15678, 11000 WETMORE RD, FROM "BP" BUSINESS PARK AND "I-1" GENERAL INDUSTRIAL DISTRICT TO "RM-4" RESIDENTIAL MIXED DISTRICT.

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4L.) CASE NUMBER #Z2003034 - The request of Roy Rosin/Joel Johnson, Applicant, for Placid Investments Attn: Dale Kane, Owner(s), for a change in zoning from "R-5" Residential Single-Family District to "O-1" Office District on Lot 60, Block 20, NCB 17726, Northwest corner of Classen Road and Knollcreek. Staff's recommendation was for approval.

Zoning Commission has recommended approval. (Council District 10)

Mr. John Jacks, Land Development Services, explained the proposed rezoning case.

Councilman Carpenter made a motion to approve the proposed rezoning. Councilwoman Moorhouse seconded the motion.

After consideration, the motion, carrying with it the passage of the following Ordinance, prevailed by the following vote: **AYES:** Moorhouse, Martin, Barrera, Castro, Conner, Schubert, Carpenter. **NAYS:** None. **ABSENT:** Perez, Sanders, Herrera, Garza.

AN ORDINANCE 97454

AMENDING CHAPTER 35 OF THE CITY CODE THAT CONSTITUTES THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF SAN ANTONIO BY CHANGING THE CLASSIFICATION OF AND REZONING CERTAIN PROPERTY DESCRIBED HEREIN AS LOT 60, BLOCK 20, NCB 17726, NORTHWEST CORNER OF CLASSEN ROAD AND KNOLLCREEK, FROM "R-5" RESIDENTIAL SINGLE-FAMILY DISTRICT TO "O-1" OFFICE DISTRICT.

* * * *

2003-14 **CORRECTION TO AGENDA ITEM 4G**

Councilwoman Moorhouse noted that, for the record, Zoning Case 4G on today's agenda was identified as being located in District 4 but it should have been listed as being in District 3.

(Mayor Garza returned to the meeting and presided.)

— — —
2003-14 The Clerk read the following Ordinance:

AN ORDINANCE 97455

AUTHORIZING THE EXECUTION OF A TEN (10) YEAR LICENSE AGREEMENT WITH THE SAN ANTONIO CONSERVATION SOCIETY FOR THEIR ANNUAL "A NIGHT IN OLD SAN ANTONIO" EVENT IN LA VILLITA IN CONJUNCTION WITH FIESTA.

* * * *

Councilwoman Moorhouse made a motion to approve the proposed Ordinance. Councilman Martin seconded the motion.

Mr. Malcolm Matthews, Director, Parks and Recreation Department, narrated a slide presentation on the license agreement with Night in Old San Antonio (NIOA) for the years 2003-2012 (a copy of which presentation is filed with the papers of this meeting). The presentation included the history of NIOA, including their payment and contract history, payment summary, attendance records, terms of the license agreement, and proposed City revenues.

Councilwoman Conner commended the San Antonio Conservation Society for its work and reiterated, from the agreement, some of the monies that this event generates.

In response to questions from Councilman Schubert, Mr. Matthews spoke to the reason for diverting portions of NIOA revenue funds from the City's General Fund to a specific Historic Preservation Account to be used for La Villita, HemisFair Park and city-wide historic preservation for City facilities.

Councilman Schubert reiterated Mr. Matthews' comments stating that the public needed to understand that these monies were being "locked" into specific uses and that there may be other projects that would not be able to be funded. He further expressed his concern in designating monies for specific projects.

After consideration, the motion, carrying with it the passage of the Ordinance, prevailed by the following vote: **AYES:** Perez, Sanders, Moorhouse, Herrera, Barrera, Castro, Conner, Schubert, Garza. **NAYS:** None. **ABSENT:** Martin, Carpenter.

- B) Discuss legal issues relating to Robert Milam v. City of San Antonio, SA-01-CA-1123-EP, and Robert Milam v. G. Escobedo, R. Coronado, R. Land, No. 2000-CI-17517; 150th Judicial District, pursuant to Texas Government Code Section 551.071 (consultation with attorney).

The City Council adjourned the Executive Session at 4:45 P.M. and reconvened in regular session, at which time Mayor Garza stated that the City Council had been briefed on the above-styled matters and had given staff direction, but had taken no official action.

— — —

2003-14 At this point, Councilwoman Moorhouse made a motion to postpone for one week Item #27, being an ordinance supporting a license agreement with the Dallas Cowboys Football Club to hold its 2003 Training Camp at the Alamodome from the approximate dates of July 24, 2003 through August 20, 2003. Councilman Castro seconded the motion.

The following citizen(s) appeared to speak:

Ms. Rachel Cywinski, P. O. Box 90747, spoke to some of Austin's bad experiences when the Dallas Cowboys held their training camp there at St. Edwards University. She then stated that City staff had advised her that there had been an advisory issued by Homeland Security that necessitated that the handicapped access entrance to City Hall be kept locked. She stated that she had called Washington, D.C. and had been informed by a representative from Homeland Security that no such advisory had been issued. She further stated that the City could be fined for denying handicapped persons access to City Hall.

Ms. Leticia Vela, 615 W. Lynwood Avenue, spoke against this proposed ordinance citing the many citizens in San Antonio who need basic services. She added that the monies to be used to bring the Dallas Cowboys to San Antonio would be better spent providing these basic services.

Mr. Jack Finger, P. O. Box 12048, spoke to the Dallas Cowboys' record and against using City monies to negotiate bringing the Dallas Cowboys' training camp to San Antonio.

* * * *

After discussion, the motion, to postpone for one week, prevailed by the following vote:
AYES: Perez, Sanders, Moorhouse, Martin, Herrera, Barrera, Castro, Conner, Schubert, Garza. **NAYS:** None. **ABSENT:** Carpenter.

Consideration of Item 27 was postponed for one week.

— — —
2003-14 The Clerk read the following Ordinance:

AN ORDINANCE 97456

GRANTING A WAIVER OF THE INTERIM DEVELOPMENT CONTROLS ADOPTED ON FEBRUARY 6, 2003 BY ORDINANCE 97173 TO SHANE ROAD PARTNERS, L.P. AND PULTE HOMES OF TEXAS, L.P., AS SUCH INTERIM CONTROLS APPLY TO ZONING AND PLATTING FOR HERITAGE OAKS SUBDIVISION, PLAT NUMBER 000363, HERITAGE OAKS.

* * * *

Councilwoman Moorhouse made a motion to approve the proposed Ordinance. Councilman Perez seconded the motion.

Mr. Florencio Pena, Director, Development Services, narrated a slide presentation on the petition for waiver of interim development controls in the Limited Purpose Annexation area for Plat Number 000363, Heritage Oaks, southwest of Loop 410 and Southton Road.

He spoke to the background of interim development controls, waiver criteria, developer's agreement, and requirements for granting of a waiver, a copy of which is on file with the papers of this meeting.

Mayor Garza thanked the developer and all others involved in this project for working with his office to make this a great addition to San Antonio's neighborhoods.

Councilwoman Moorhouse made a motion to amend the proposed Ordinance to state that the waiver of the interim development controls was conditional upon the sale of the property to Pulte Homes only. Councilman Sanders seconded the motion.

In response to a question by Councilman Schubert, City Attorney Martin stated that, on this type of request, it was within the Council's authority to limit the sale of the property to only one group.

The amendment to the motion as presented by Councilwoman Moorhouse was approved by the following vote: **AYES:** Perez, Sanders, Moorhouse, Martin, Garcia, Barrera, Castro, Conner, Schubert, Carpenter, Garza. **NAYS:** None. **ABSENT:** None.

The main motion, as amended, prevailed by the following vote: **AYES:** Perez, Sanders, Moorhouse, Martin, Garcia, Barrera, Castro, Conner, Schubert, Carpenter, Garza. **NAYS:** None. **ABSENT:** None.

— — —
2003-14 The Clerk read the following Ordinance:

AN ORDINANCE 97457

AUTHORIZING PAYMENT TO TICOR TITLE COMPANY IN THE AMOUNT OF \$500,450.00 AS ESCROW AGENT FOR FEE SIMPLE PURCHASE OF A 83.717-ACRE TRACT OF LAND SITUATED BETWEEN THE WINDGATE RANCH AND HIGHWAY 211 IN NORTHWEST BEXAR COUNTY, TEXAS, UNDER THE AUSPICES OF THE PROPOSITION THREE EDWARDS LAND ACQUISITION AND PARK EXPANSION PROJECT; ACCEPTING BY DONATION AT 6.987-ACRE TRACT OF LAND SITUATED IN MEDINA COUNTY; AUTHORIZING PAYMENT OF \$5,000.00 TO THE TRUST FOR PUBLIC LAND FOR ITS SERVICES IN NEGOTIATING, INVESTIGATING AND PURCHASING SAID PROPERTY; AUTHORIZING THE EXECUTION OF A REAL ESTATE PURCHASE CONTRACT TO ACCOMPLISH SAID PURCHASE.

* * * *

Councilman Perez made a motion to approve the proposed Ordinance. Councilwoman Moorhouse seconded the motion.

Ms. Susan Valis Crane, Special Project Manager, narrated a slide presentation in which she spoke to the tract of land acquired for the Edwards Aquifer Land Acquisition and Park Expansion Program and acceptance of a land donation in Medina County, a copy of which is on file with the papers of this meeting. She spoke to the status of acquisitions, particulars on this tract of land, and acquisition costs.

Ms. Crane showed the Council a short video on a track of land that had just been recently purchased known as the Salado Creekway Project.

Councilwoman Conner spoke to the importance of almost 5,000 acres of land over the Edwards Aquifer Recharge Zone being protected under this program.

After consideration, the motion, carrying with it the passage of the Ordinance, prevailed by the following vote: **AYES:** Perez, Sanders, Martin, Herrera, Castro, Conner, Schubert, Carpenter, Garza. **NAYS:** None. **ABSENT:** Moorhouse, Barrera.

— — —
2003-14 The Clerk read the following Ordinance:

AN ORDINANCE 97458

RATIFYING THE SUBMISSION OF A PROPOSAL AND TECHNICAL SUBMISSIONS TO THE U.S. DEPARTMENT OF HOUSING & URBAN DEVELOPMENT (HUD) IN CONNECTION WITH THE 2002 CONTINUUM OF CARE HOMELESS ASSISTANCE SUPPORTIVE HOUSING PROGRAM (SHP); AUTHORIZING THE ACCEPTANCE OF A MULTI-YEAR GRANT IN AN AMOUNT UP TO \$4,533,729.00 IN CONNECTION WITH SAID PROPOSAL; AND AUTHORIZING THE EXECUTION OF GRANT AGREEMENTS WITH HUD FOR SERVICES TO BE PROVIDED BY VARIOUS AGENCIES.

* * * *

Councilman Perez made a motion to approve the proposed Ordinance. Councilman Carpenter seconded the motion.

Mr. Dennis J. Campa, Director, Community Initiatives, narrated a slide presentation in which he spoke to the purpose and background of the Ordinance, the funding history, proposed action, and accountability measures, a copy of which is on file with the papers of this meeting.

After consideration, the motion, carrying with it the passage of the Ordinance, prevailed by the following vote: **AYES:** Perez, Sanders, Martin, Herrera, Barrera, Castro, Schubert, Carpenter, Garza. **NAYS:** None. **ABSENT:** Moorhouse, Conner.

2003-14 The Clerk read the following Ordinance:

AN ORDINANCE 97459

ALLOCATING \$400,000.00 FROM 1999 G.O. LIBRARY BOND FUNDS FOR THE PURCHASE OF THE OPENING DAY MATERIALS COLLECTION OF THE MYSTIC PARK BRANCH LIBRARY, LOCATED IN THE 8700 BLOCK OF MYSTIC PARK, BETWEEN GUILBEAU ROAD AND BANDERA ROAD IN COUNCIL DISTRICT 7.

* * * *

Councilman Schubert made a motion to approve the proposed Ordinance. Councilwoman Herrera seconded the motion.

Councilman Castro thanked Library Director Laura Isenstein, Mayor Garza and Councilwoman Conner for the work that had been done to assure that the Mystic Park Branch Library became a reality.

Councilwoman Conner spoke to her pleasure at seeing this library completed.

Mayor Garza commended the community for coming together to see this project through to fruition.

After consideration, the motion, carrying with it the passage of the Ordinance, prevailed by the following vote: **AYES:** Perez, Sanders, Martin, Herrera, Barrera, Castro, Conner, Schubert, Carpenter, Garza. **NAYS:** None. **ABSENT:** Moorhouse.

2003-14 **CITY MANAGER'S REPORT**

City Manager Terry Brechtel stated that there were two items that needed to be reported to the Council.

Mr. Dennis Campa provided information on the Human Development Services Fund Mid-year Update. His report included the purpose of the Fund, its background, impact on the Volunteer Income Tax Assistance, VITA, expenditures by population, by public purpose, total number of investments, and accountability system (a copy of which is filed with the papers of this meeting).

Mr. Jim Campbell, External Relations Director, provided a legislative update that reflected the activities in the last two weeks of the State Initiatives Program, 78th Legislature. He spoke to major bills being considered, testimonies presented by the Mayor, Councilwoman Moorhouse and members of the staff, significant actions, and early successes. (A copy of his slide presentation is filed with the papers of this meeting.)

In response to questions by several Councilmembers, Mr. Campbell spoke to the status of various bills.

— — —
2003-14

CITIZENS TO BE HEARD

MR. JAIME P. MARTINEZ

Mr. Jaime P. Martinez, UFW, AFL-CIO, read from an open letter to the community (a copy of which is filed with the papers of this meeting) in which he spoke to the struggle for employees' right to organize a union at the Adam's Mark Hotel and Resort, to the firing of Mr. Abel Arriaga, Leader of the United Farm Works volunteer organizing committee and to a hearing scheduled for May 22, 2003 before a government administrative law judge. Mr. Martinez asked every City official to help hotel workers in San Antonio by writing a letter to the general manager of the Adam's Mark asking him to immediately reinstate Mr. Arriaga to his former job.

A brief discussion ensued between Councilman Martin and Mr. Martinez on the circumstances of Mr. Arriaga's dismissal.

* * * *

MR. ABEL ARRIAGA

Mr. Abel Arriaga, UFW, AFL-CIO, spoke to his efforts to help employees unionize at the Adam's Mark Hotel and reiterated Mr. Martinez' request for the Council to express its support by writing to the general manager of the hotel, asking for his reinstatement.

* * * *

MS. NINFA CARDENAS

Ms. Ninfa Cardenas, 1101 San Francisco, spoke to a recent problem she had encountered with Code Compliance relative to some food she had disposed of and to subsequent citations that she had been given for various code violations.

* * * *

MR. RICHARD ALLES

Mr. Richard Alles, Citizens Tree Coalition, provided a slide presentation in which he spoke to the root protection zone issue on residential development. He further expressed the Coalition's concerns that the development industry did not want root protection at all. He offered a proposal for the root protection zone.

* * * *

MR. NAZARITE RUBEN FLORES PEREZ

Mr. Nazarite Ruben Flores Perez, 627 Hearne Avenue, spoke in favor of a strong tree ordinance and read passages from scripture related to trees. He also spoke to the SEIU Union, Local 1967, whose representatives were making promises to get people to sign up with them.

* * * *

MR. HAROLD JUNG

Mr. Harold Jung, Citizens Tree Coalition, spoke of his opposition to the City spending monies to bring the Dallas Cowboys to San Antonio stating that he felt the City could use the money on more prudent investments. He also narrated a slide presentation in which he spoke to the root protection zone and the prevention of flooding.

* * * *

MS. MICHELE PETTY

Ms. Michele Petty, San Antonio Global Renaissance Alliance, provided a cost benefit analysis on bringing the Dallas Cowboys to San Antonio for training camp, adding it was a misuse of tax money. She also requested that the Council not approve the Worth Industries deal stating that it was not good to encourage development over the Edwards Recharge Zone. She then offered a slide presentation on the tree ordinance, citing that it

needs to call for a 50% residential protection of trees and 100% heritage tree protection. She urged the City Council to pass the strongest tree protection ordinance in Texas.

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MR. JERRY MORRISEY

Mr. Jerry Morrisey, Sierra Club, continued the slide presentation and spoke to developers wanting to exempt large areas from preserving trees. He spoke of few trees being left in some neighborhoods. He noted that exemptions work against preservation goals and new developments are stripping the land. He asked Council to find incentives to save trees on property that had been grandfathered.

* * * *

MS. JULIE IRIS OLDHAM

Ms. Julie Iris Oldham spoke of the City providing a forum where City Council candidates can debate and to hosting a homeless convention in the Henry B. Gonzalez Convention Center.

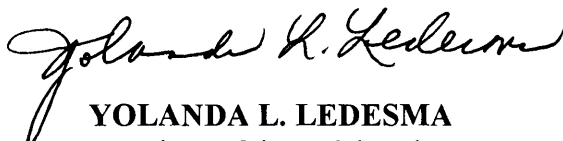
— — —
2003-14 There being no further business to come before the Council, the meeting was adjourned at 6:20 P.M.

A P P R O V E D



EDWARD D. GARZA
M A Y O R

Attest:



YOLANDA L. LEDESMA
Acting City Clerk



HISTORIC & DESIGN REVIEW COMMISSION APPLICATION FORM

[Print Form](#)

CITY OF SAN ANTONIO

OFFICE OF HISTORIC PRESERVATION
1901 S. ALAMO, SAN ANTONIO, TEXAS 78204
P: 210.215.9274 E: OHP@SANANTONIO.GOV

DATE RECEIVED

Date Complete: _____
Staffs Initials: _____
Date of Scheduled HDRC
Meeting: _____
60 Day Review: _____

Property Address **Brooks - Intersection of Kennedy Hill Dr. & Sidney Brooks**Historic District **SCHOOL OF AEROSPACE MEDICINE HISTORIC DISTRICT** Landmark Name☐ River Improvement Overlay ☐ Public Property ☐ OtherParcel ID: NCB **10879** Block Lot Zoning **C3 - H**Name of Property Owner **BROOKS DEVELOPMENT AUTHORITY**Mailing Address: **3201 SIDNEY BROOKS ST** Zip Code **78235**Phone Number: **210-678-3357** Email Address: **marques@livebrooks.com**Name of Applicant/Authorized Representative **Leo Gomez**Mailing Address: **3201 Sidney Brooks** Zip Code **78235**Phone Number: **210-678-3300** Email Address: **leo@livebrooks.com****BELOW PROVIDE A DETAILED DESCRIPTION OF THE PROJECT (USE AN ADDITIONAL PAGE IF NECESSARY)**☐ Conceptual Approval ☒ Final ApprovalOriginal HDRC Hearing Date: **02-05-2003**

Request to rectify historic boundary per original Brooks Authority application Metes & Bounds (February, 05, 2003).

SEE THE FOLLOWING PAGE FOR REQUIRED EXHIBITS. NO CASE WILL BE SCHEDULED FOR A HEARING
UNTIL ALL SUPPORTING MATERIALS ARE RECEIVED.

This completed form and attachments are to be submitted in person to 1901 S. Alamo.

REQUIRED ATTACHMENTS: (No case will be scheduled for a hearing until all supporting materials are received.)

☐ **ONE ORIGINAL PRINTED COPY OF ALL MATERIALS LISTED BELOW**

☐ **COPY OF ALL EXHIBITS, DRAWINGS, AND PHOTOS ON A COMPACT DISC IN PDF OR JPEG FORMAT**

☐ Completed HDRC Application

☐ Photos of all sides of the structure and site (color photos no smaller than 4" X 6")

☐ Written narrative explaining the proposed work

☐ Site plan

☐ Elevation drawings and floorplans of planned addition or alterations (8 1/2" X 11" reproducible sheets)

☐ Specifications of materials to be used

☐ Documentation of all materials, finishes, and/or fabrics

☐ Signage mock-up

☐ FEES: Commercial Projects: \$100; Sign Applications: \$100

TIP: Submit sufficient materials and information so that someone would be able to understand your project without speaking with you.

LETTER OF AUTHORIZATION

IF THE PROPERTY OWNER DOES NOT APPEAR PERSONALLY BEFORE THE COMMISSION, A LETTER OR SIGNATURE OF AUTHORIZATION MUST BE PRESENTED TO THE HISTORIC PRESERVATION OFFICER OR THE CASE WILL NOT BE HEARD.

I hereby authorize Robert G. Hanley, AIA of Hanley PM Services
(Name of Representative) (company or agency)

222 Ridgcrest Drive, San Antonio, Texas 78209 to represent me in the matters pertaining to this case.
(Address)

PLEASE BE ADVISED THAT THE COMMISSION HAS A POLICY OF ONLY HEARING A CASE WHEN THE OWNER OR THE OWNER'S REPRESENTATIVE IS PRESENT TO PRESENT THE CASE.

A STAFF MEMBER FROM THE OFFICE OF HISTORIC PRESERVATION MAY VIDEO TAPE OR PHOTOGRAPH YOUR PROPERTY FOR THE HISTORIC AND DESIGN REVIEW COMMISSION MEETING AND PLACE A NOTICE SIGN ON THE PROPERTY.

Applicant understands the following:

1. If the Commission fails to approve any portion of a request and recommends that changes be made in the plans and specifications, the applicant will have (5) days in which to inform the Historic Preservation Officer as to whether the applicant agrees to recommended changes.
2. Following each meeting, the City Manager or designee is notified of the Commission's action. Within ten (10) days from receipt of the recommendation, the City Manager or designee shall notify the applicant as to whether their request has been approved, conditionally approved, or denied.
3. If the applicant does not concur with the Commission's recommendation, appeal to the Zoning Board of Adjustment may be made within thirty (30) days after receipt of notification.

APPROVAL BY THE COMMISSION DOES NOT TAKE THE PLACE OF A BUILDING PERMIT. PERMITS MUST BE OBTAINED FROM THE CITY OF SAN ANTONIO, DEPARTMENT OF PLANNING AND DEVELOPMENT SERVICES, 1901 S. ALAMO, AFTER COMMISSION APPROVAL.

I HAVE READ AND UNDERSTAND THE ABOVE INFORMATION AND I CERTIFY TO THE BEST OF MY KNOWLEDGE THAT ALL INFORMATION PROVIDED IN THIS APPLICATION AND ATTACHMENTS IS CORRECT.


SIGNATURE OF PROPERTY OWNER

07-17-2020
DATE



Brooks Historical Boundary

Presented by:

Leo Gomez

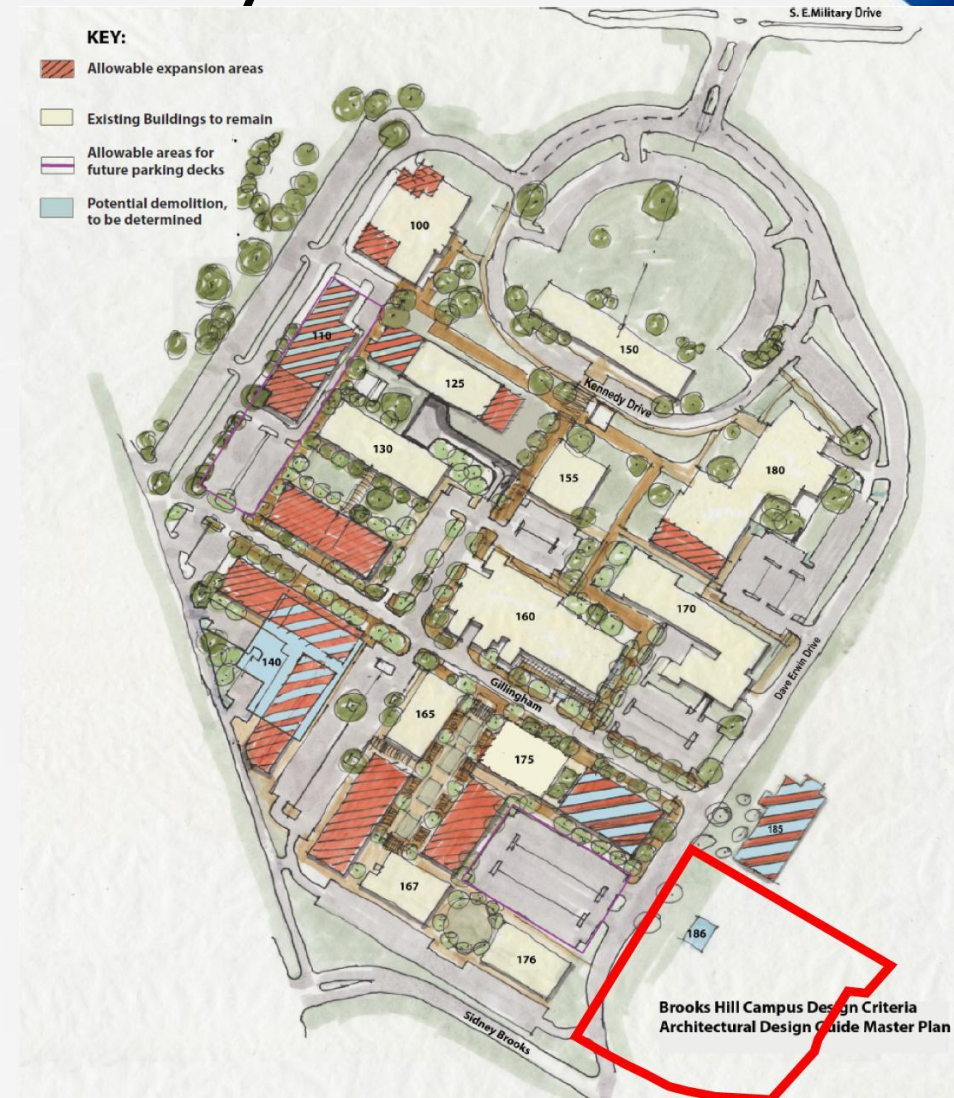
President & CEO of Brooks

A DYNAMIC
COMMUNITY

WHERE PEOPLE LIVE,
WORK, LEARN, PLAY, STAY



Historic Boundary Exhibit



* Source: City of San Antonio - Design Guidelines and Master Plan for the School of Aerospace Medicine Historic District; Brooks Development Authority June 5, 2013

Office of Historic Preservation Staff Proposal



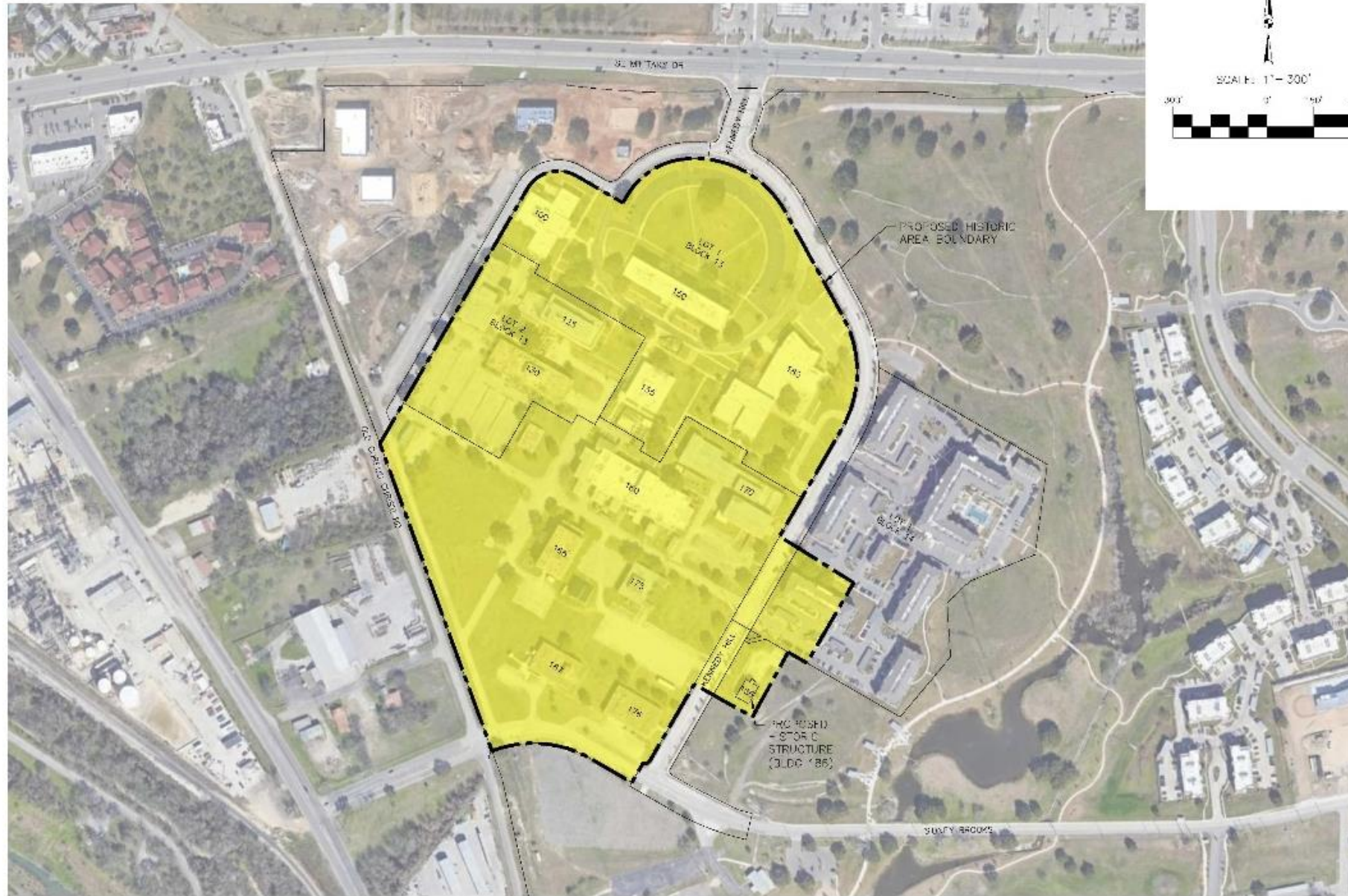
Brooks Proposal



**PAPE-DAWSON
ENGINEERS**
SAN ANTONIO, TEXAS
1900 W. LAMAR AVE. SUITE 100
SAN ANTONIO, TEXAS 78207
TEL: 214.343.1111 FAX: 214.343.1112

BROOKS
SAN ANTONIO, TEXAS
"BROOKS HISTORIC BOUNDARY" - OPTION 1

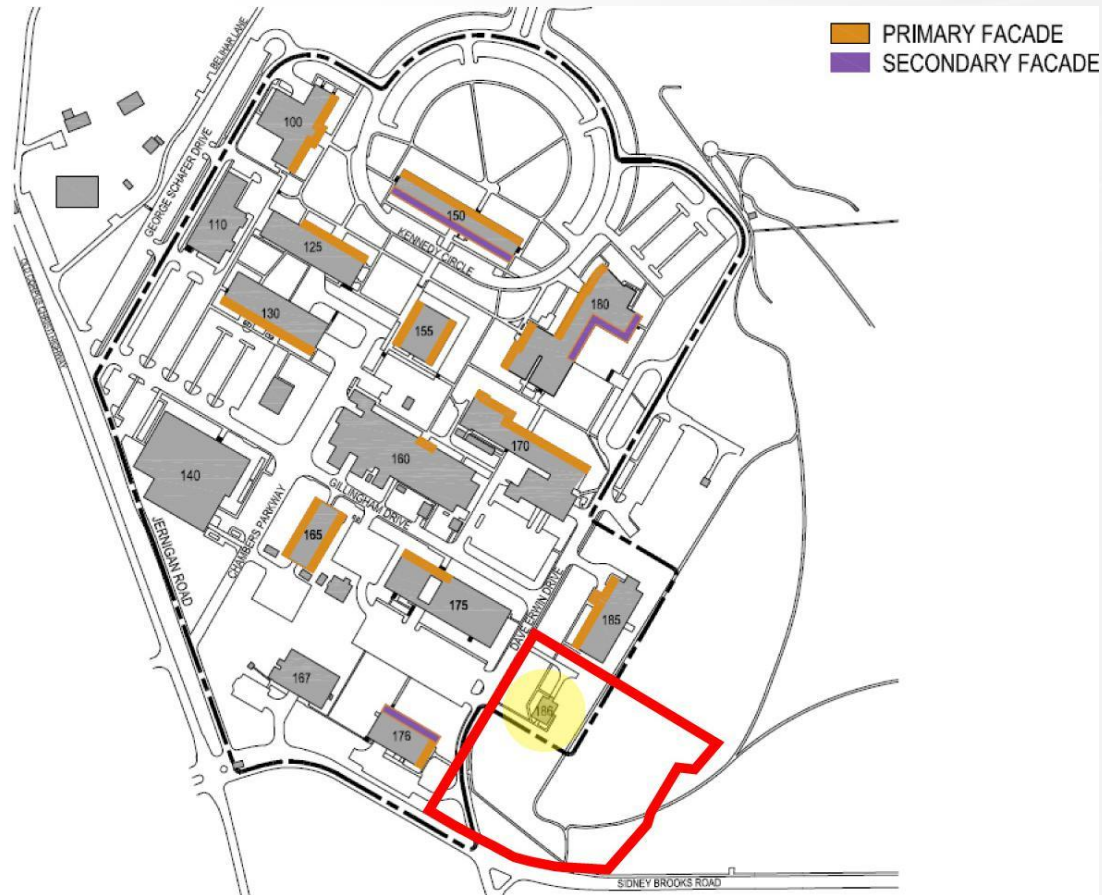
JOB NO. 8700-52
DATE: DECEMBER 2020
DESIGNER: JCL
CHECKED: JCL
DRAWN: JCL
SHEET EX. 1.0



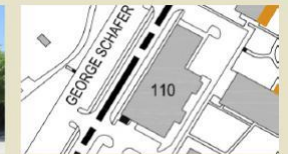
Respecting our History through Design and Public Art



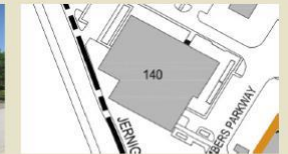
Building 186 Architectural Context



110 INSIGNIFICANT FACADES
Building 110 contains no significant facade and can be modified on any side of the building.



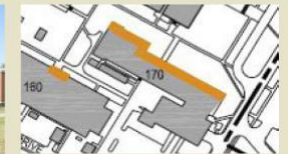
140 INSIGNIFICANT FACADES
Building 140 contains no significant facade and can be modified on any side of the building.



167 INSIGNIFICANT FACADES
Building 167 contains no significant facade and can be modified on any side of the building.



170 INSIGNIFICANT/PRIMARY FACADES
Building 170 contains a significant facade on the north side and all other facades can be modified on any side of the building.



185 INSIGNIFICANT FACADES
Building 185 contains no significant facade and can be modified on any side of the building.



186 INSIGNIFICANT FACADES
Building 186 contains no significant facade and can be modified on any side of the building.



CASE NO: Z2003028

Staff and Zoning Commission Recommendation - City Council

Date: April 10, 2003
Zoning Commission Meeting Date: March 18, 2003
Council District: 3
Ferguson Map: 651 DB
Appeal: No

Applicant: Owner
City of San Antonio: Brooks Development Authority, Juvenio Lopez

Zoning Request: To designate as a Historic District

The proposed Historic District boundary follows Dave Erwin Drive southward to a line parallel to and 30 feet north of the northern façade of Building 185, where it follows the north and east exterior walls at a distance of 30 feet. The boundary line then continues southward to a line 30 feet south of the southern façade of Building 186, where it returns to rejoin Dave Erwin Drive, following the road southward until it intersects with Sidney Brooks. The boundary line follows Sidney Brooks a short distance westward before meeting Jernigan Road. It then follows Jernigan Road northwestward until it joins George Schafer, then heading northward to ultimately Kennedy Circle, forming a complete circuit. The proposed Historic District boundary follows Dave Erwin Drive southward to a line parallel to and 30 feet north of the northern façade of Building 185, where it follows the north and east exterior walls at a distance of 30 feet. The boundary line then continues southward to a line 30 feet south of the southern façade of Building 186, where it returns to rejoin Dave Erwin Drive, following the road southward until it intersects with Sidney Brooks. The boundary line follows Sidney Brooks a short distance westward before meeting Jernigan Road. It then follows Jernigan Road northwestward until it joins George Schafer, then heading northward to ultimately Kennedy Circle, forming a complete circuit.

Property Location: A 15 acre tract of land in the northwest corner of Brooks City Base

Proposal: To designate as a Historic District

Neighborhood Association: None

Neighborhood Plan: None

TIA Statement: A traffic impact analysis is not required.

Staff Recommendation:
Approval:

On February 5, 2003, the Historic and Design Review Commission recommended a finding of historic significance for the property in question. The aforementioned property clearly meets the criteria for local historic designation as defined by Section 35-007 (b) 1, (b) 2, (b) 9, (c) 1A and (c) 2A of the Unified Development Code.

Zoning Commission Recommendation:

Approval:
CASE MANAGER : Elvin J. Gant, Jr. 207-5876

VOTE	
FOR	10
AGAINST	0
ABSTAIN	0
RECUSAL	0

To designate as a Historic District

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**METES & BOUNDS REQUESTED MATCHES BOUNDARY IN
“DESIGN GUIDELINES AND MASTER PLAN FOR THE SCHOOL OF AEROSPACE MEDICINE
HISTORIC DISTRICT; BROOKS DEVELOPMENT AUTHORITY JUNE 5, 2013”**

AN ORDINANCE 97449

AMENDING CHAPTER 35 OF THE CITY CODE THAT CONSTITUTES
THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF
SAN ANTONIO BY CHANGING THE CLASSIFICATION OF AND
REZONING CERTAIN PROPERTY DESCRIBED HEREIN.

* * * * *

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SAN ANTONIO:

SECTION 1. Section 35-304 of the Unified Development Code which is Chapter 35 of the City Code and constitutes the comprehensive zoning ordinance of the City of San Antonio is hereby amended so that it shall hereafter include the following described changes of classification and the rezoning of the hereinafter designated property to-wit:

CASE NO. Z2003028

The rezoning and reclassification of property to designate as a Historic District on the property listed as follows:

Beginning at the intersection of the centerlines of Sidney Brooks and Jernigan Road;
Thence, following the centerline of Jernigan Road northwest to its intersection with the centerline of George Shafer;
Thence, following the centerline of George Shafer northeast to its intersection with the centerline of Kennedy Circle;
Thence, following the centerline of Kennedy Circle in an arc north and east to its intersection with the centerline of Dave Erwin Drive;
Thence, following the centerline of Dave Erwin Drive to its intersection with a line parallel to and 30 feet north of the northern facade of Building 185;
Thence, following the line parallel to and 30 feet north of the northern facade of Building 185 southeast to its intersection with a line parallel to and 30 feet east of the eastern facade of Building 185;
Thence, following the line parallel to and 30 feet east of the eastern facade of Building 185 southwest to its intersection with the centerline of Sidney Brooks;
Thence, following the centerline of Sidney Brooks northwest to the point of beginning.

CASE NO. Z2003028

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Beginning at the intersection of the centerlines of Sidney Brooks and Jernigan Road;

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Thence, following the centerline of George Shafer northeast to its intersection with the centerline of Kennedy Circle;

Thence, following the centerline of Kennedy Circle in an arc north and east to its intersection with the centerline of Dave Erwin Drive;

Thence, following the centerline of Dave Erwin Drive to its intersection with a line parallel to and 30 feet north of the northern facade of Building 185;

Thence, following the line parallel to and 30 feet north of the northern facade of Building 185 southeast to its intersection with a line parallel to and 30 feet east of the eastern facade of Building 185;

Thence, following the line parallel to and 30 feet east of the eastern facade of Building 185 southwest to its intersection with the centerline of Sidney Brooks;

Thence, following the centerline of Sidney Brooks northwest to the point of beginning.

RECORDED METES & BOUNDS DOES NOT MATCHES REQUESTED BOUNARY IN APPLICATION OR BOUNDARY IN "DESIGN GUIDELINES AND MASTER PLAN FOR THE SCHOOL OF AEROSPACE MEDICINE HISTORIC DISTRICT; BROOKS DEVELOPMENT AUTHORITY JUNE 5, 2013"

Questions?

<http://www.livebrooks.com>

3201 Sidney Brooks

San Antonio, TX 78235



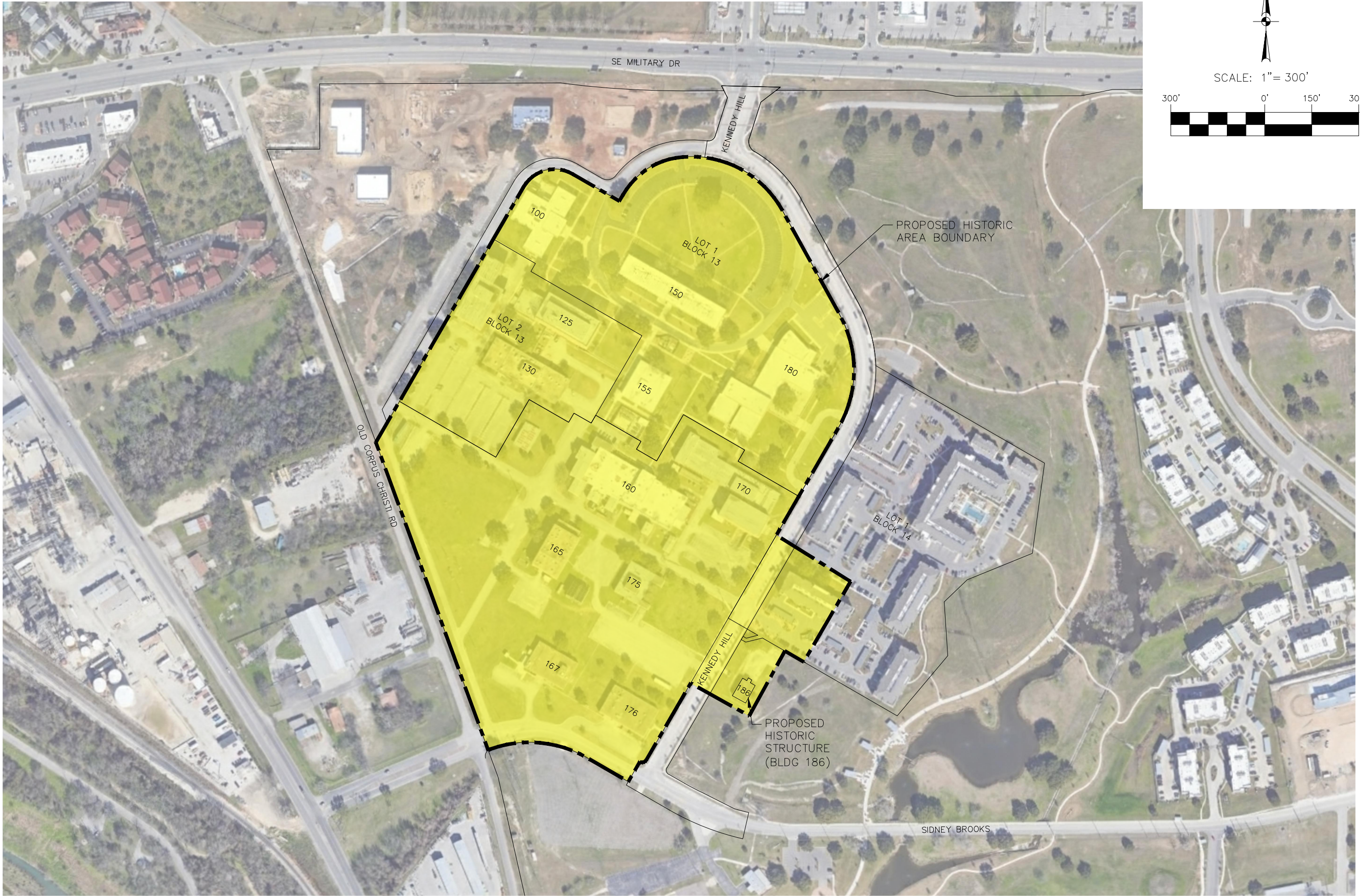
A DYNAMIC
COMMUNITY

WHERE PEOPLE LIVE,
WORK, LEARN, PLAY, STAY



Date: Oct 01, 2020, 11:47am User ID: jvazquez
File: P:\87\0052\Design\Exhibits\201001-Brooks Historic Boundary (option 1).dwg

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BROOKS

SAN ANTONIO, TEXAS

"BROOKS HISTORIC BOUNDARY" - OPTION 1



SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TEPE FIRM REGISTRATION #470 | TPBLS FIRM REGISTRATION #1028800

JOB NO.	8700-52
DATE	OCTOBER 2020
DESIGNER	CEL
CHECKED	
DRAWN	JV
SHEET	EX. 1.0

2003-14
April 10, 2003
mr

19 of 36

Lopez, Owner(s), for a change in zoning to designate as a Historic District on a 15 acre tract of land in the northwest corner of Brooks City Base. Staff's recommendation was for approval.

Zoning Commission has recommended approval. (Council District 3)

Mr. John Jacks, Land Development Services, explained the proposed rezoning case.

Councilwoman Moorhouse made a motion to approve the proposed rezoning. Councilman Martin seconded the motion.

After consideration, the motion, carrying with it the passage of the following Ordinance, prevailed by the following vote: **AYES:** Sanders, Moorhouse, Martin, Herrera, Barrera, Castro, Conner, Carpenter. **NAYS:** None. **ABSENT:** Perez, Schubert, Garza.

AN ORDINANCE 97449

AMENDING CHAPTER 35 OF THE CITY CODE THAT CONSTITUTES THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF SAN ANTONIO BY CHANGING THE CLASSIFICATION OF AND REZONING CERTAIN PROPERTY DESCRIBED HEREIN AS A 15-ACRE TRACT OF LAND IN THE NORTHWEST CORNER OF BROOKS CITY BASE, TO DESIGNATE AS A HISTORIC DISTRICT.

* * * *

THE REZONING AND RECLASSIFICATION OF PROPERTY TO DESIGNATE AS A HISTORIC DISTRICT ON THE PROPERTY LISTED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE CENTERLINES ON SIDNEY BROOKS AND JERNIGAN ROAD;

THENCE, FOLLOWING THE CENTERLINE OF JERNIGAN ROAD NORTHWEST TO ITS INTERSECTION WITH THE CENTERLINE OF GEORGE SHAFER;

THENCE, FOLLOWING THE CENTERLINE OF GEORGE SHAFER NORTHEAST TO ITS INTERSECTION WITH THE CENTERLINE OF KENNEDY CIRCLE;

THENCE, FOLLOWING THE CENTERLINE OF KENNEDY CIRCLE IN AN ARC NORTH AND EAST TO ITS INTERSECTION WITH THE CENTERLINE OF DAVE ERWIN DRIVE.

Lopez, Owner(s), for a change in zoning to designate as a Historic District on a 15 acre tract of land in the northwest corner of Brooks City Base. Staff's recommendation was for approval.

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THENCE, FOLLOWING THE CENTERLINE OF KENNEDY CIRCLE IN AN ARC NORTH AND EAST TO ITS INTERSECTION WITH THE CENTERLINE OF DAVE ERWIN DRIVE;

THENCE, FOLLOWING THE LINE PARALLEL TO AND 30 FEET NORTH OF THE NORTHERN FACADE OF BUILDING 185 SOUTHEAST TO ITS INTERSECTION WITH A LINE PARALLEL TO AND 30 FEET EAST OF THE EASTERN FACADE OF BUILDING 185;

THENCE, FOLLOWING THE CENTERLINE OF SIDNEY BROOKS NORTHWEST
TO THE POINT OF BEGINNING.

SECTION 2: All other provisions of Chapter 35, as amended, shall remain in full force and effect, including the penalties for violations as made and provided in Section 35 – 491.

* * * *

Councilwoman Moorhouse made a motion to approve the proposed rezoning.
Councilman Martin seconded the motion.

6. The Commission then considered the Consent Agenda which consisted of:

Case No. 2003-020	Brooks City-Base
Case No. 2003-021	3250 Sidney Brooks
Case No. 2003-022	8081 Inner Circle Road
Case No. 2003-023	Fredericksburg Road

February 5, 2003

2

Case No. 2003-024	114 West Commerce
Case No. 2003-025	726 Fredericksburg Road
Case No. 2003-026	118 West French Place
Case No. 2003-027	123 Furr
Case No. 2003-028	326 Washington
Case No. 2003-029	527 Donaldson Avenue
Case No. 2003-030	128 Jefferson
Case No. 2003-031	527 RiverWalk
Case No. 2002-062	240 East Houston Street

Commissioner Van Steenberg requested that case no. 2002-062 be pulled from the Consent Agenda and be heard under Individual Consideration.

The motion was made by Commissioner Braxton and seconded by Commissioner Laffoon to approve the remaining cases on the Consent Agenda.

AYES: Schubert, Laffoon, Garcia, Van Steenberg, Braxton, Braubach, McNeel, Fetzer
NAYS: None

THE MOTION CARRIED.

17. ZONING CASE NO. Z2003028

Applicant: City of San Antonio-Historic Preservation Office

Zoning Request: To designate Historic Significance.

Ann McGlone, Historic Preservation Officer, stated this would become their 22nd Historic District in San Antonio. This case was presented before Historic and Design Review Commission on February 5, 2003 and was recommended a finding of historic significance for the property.

Everyone present, for and against having been heard and the results of the written notices having been received, the Chairman declared the public hearing closed.

COMMISSION ACTION

The motion was made by Commissioner Hophan and seconded by Commissioner Avila to recommend approval.

1. Property is located within the Brooks City Base.
2. Staff recommends approval.

AYES: Grau, Kissling, McGowan, Hophan, Sherrill, McAden, Avila, Morell, Mehringer

NAYS: None

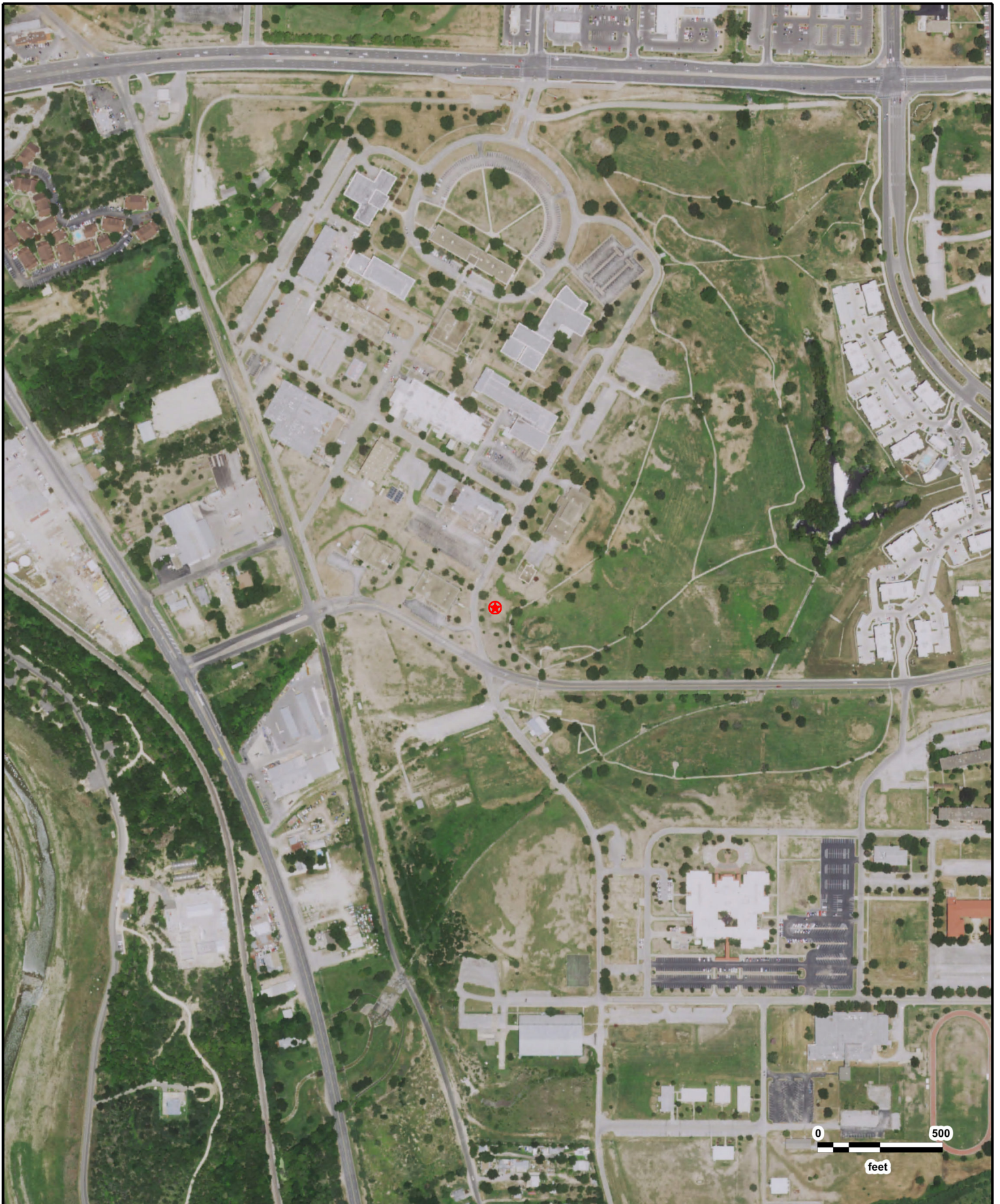
RECUSED: Martinez

THE MOTION CARRIED.



5.7 Acres of Land
USDA
2016

GeoSearch



5.7 Acres of Land
USDA
2014

GeoSearch





5.7 Acres of Land
USDA
2010

GeoSearch





5.7 Acres of Land
USDA
2006

GeoSearch



0 500
feet



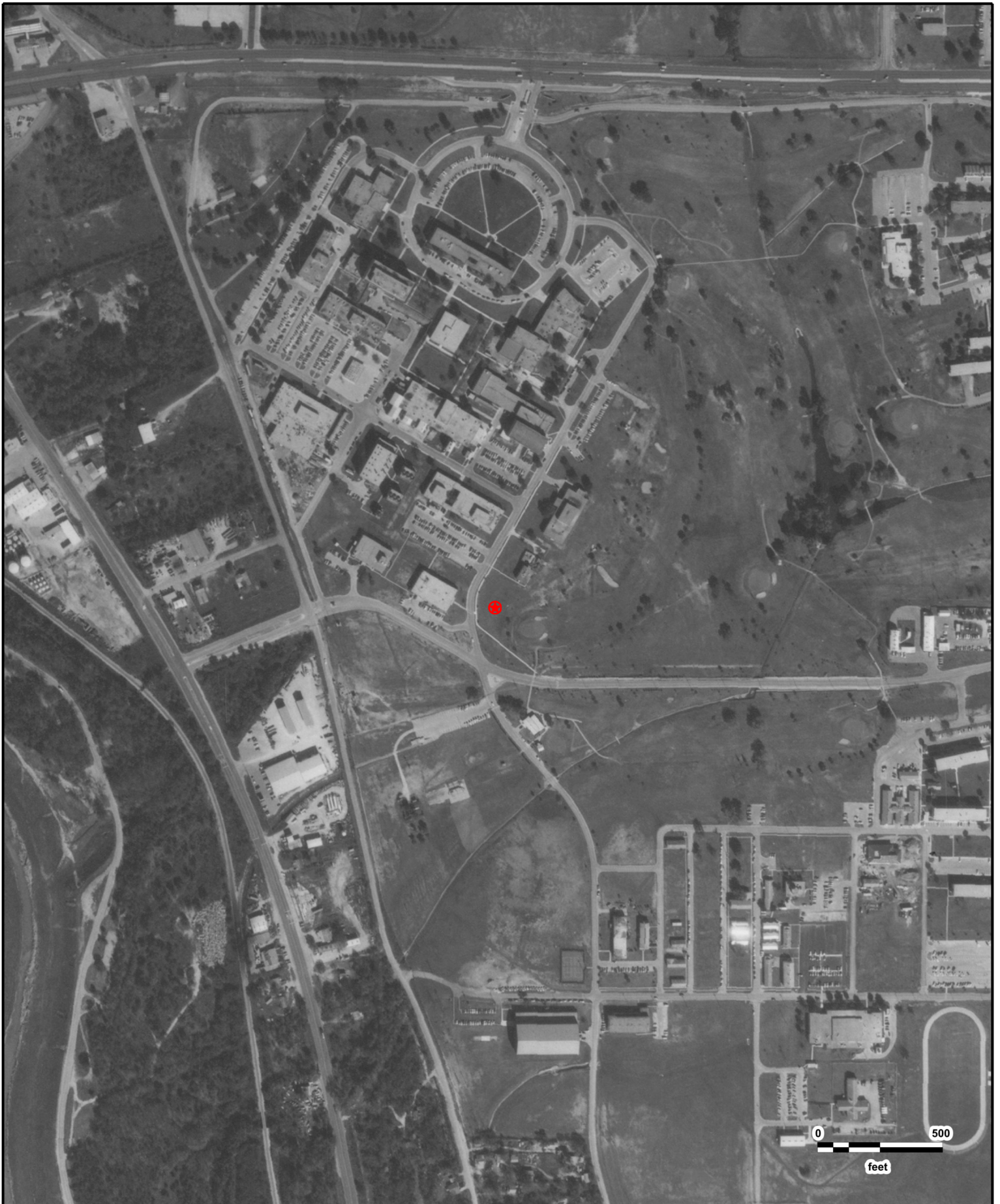
5.7 Acres of Land
USDA
2004

GeoSearch



5.7 Acres of Land
USGS
01/07/1995

GeoSearch



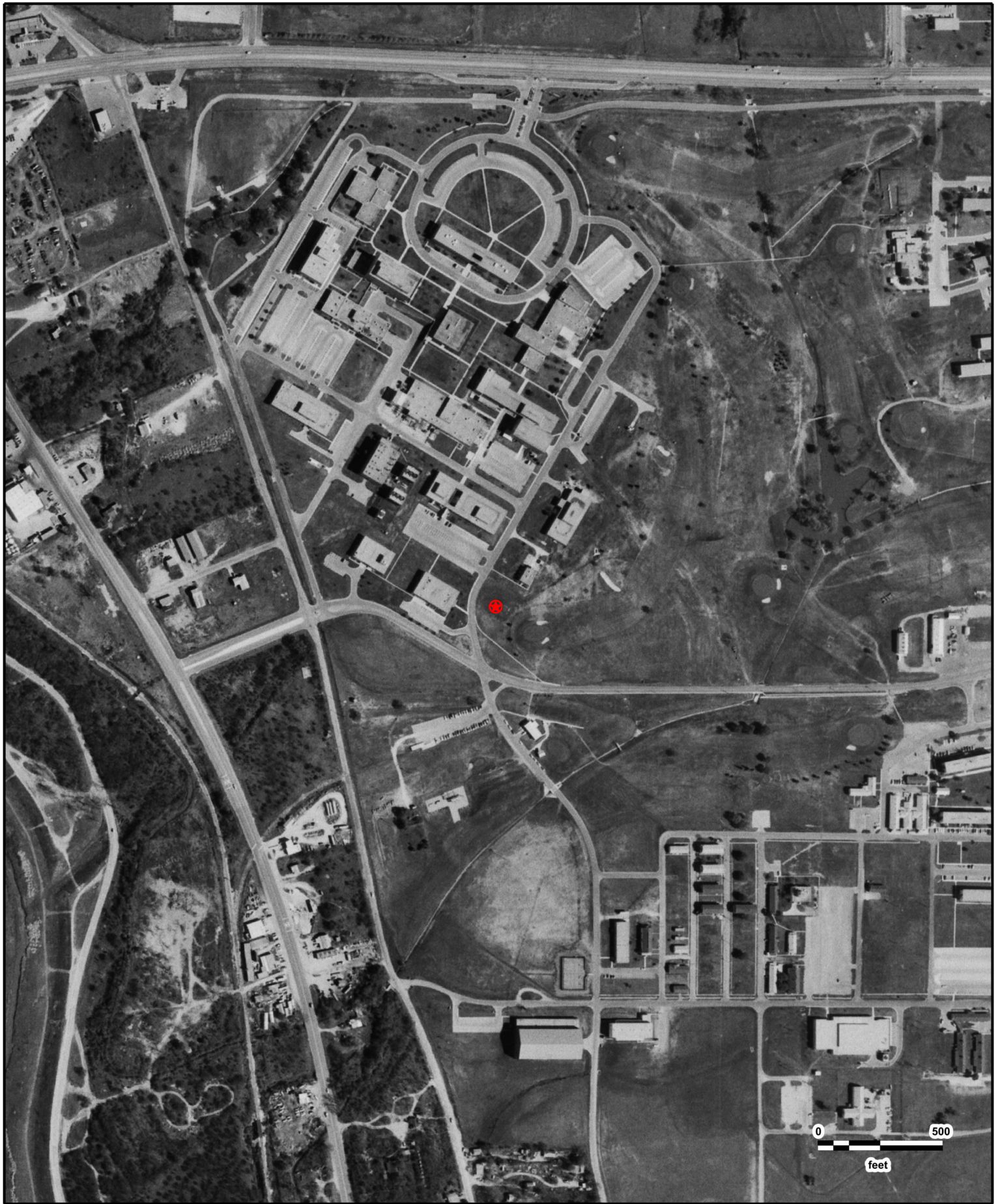
5.7 Acres of Land
TXDOT
12/05/1985

GeoSearch



5.7 Acres of Land
TXDOT
04/22/1977

GeoSearch

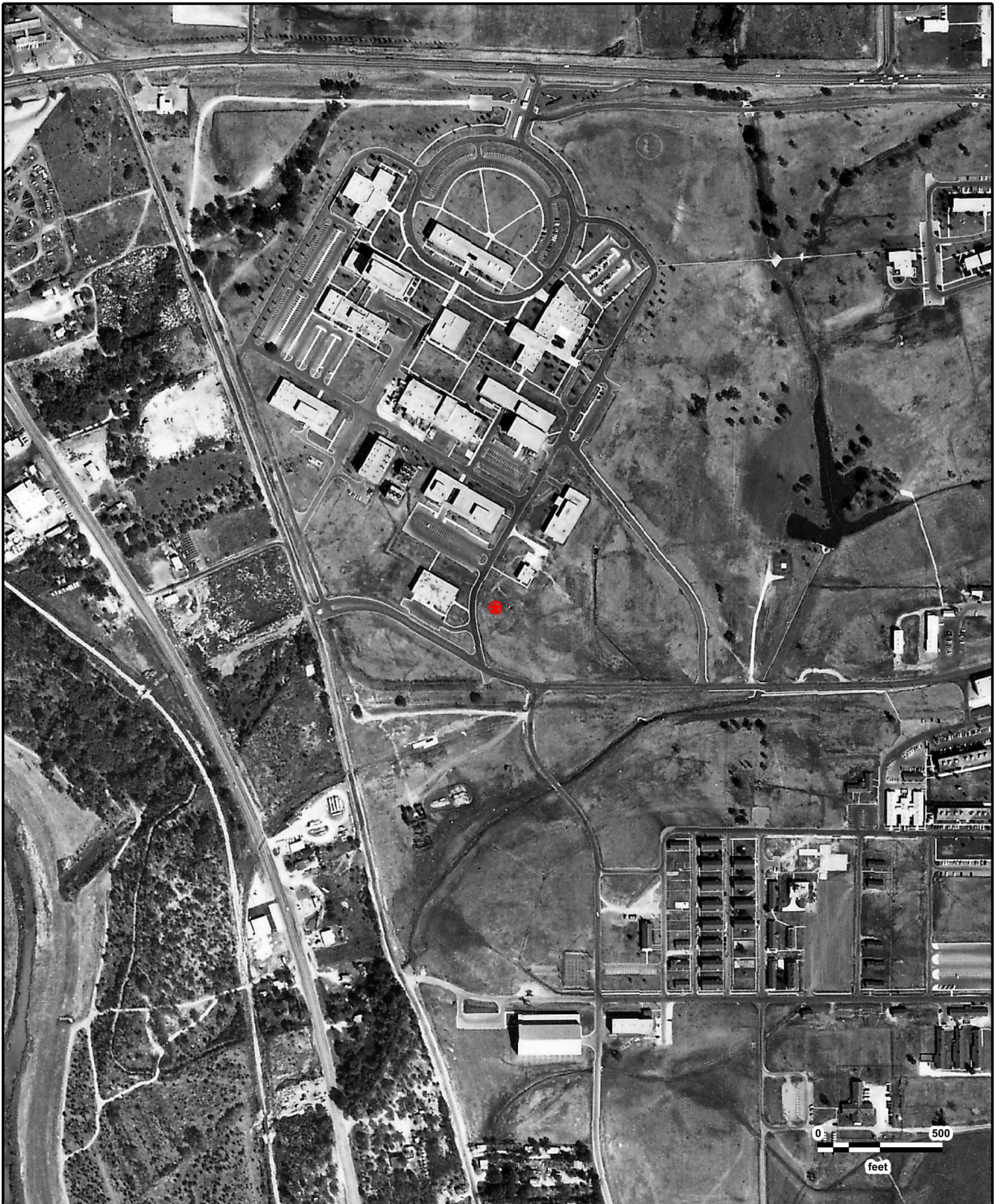


0 500
feet



5.7 Acres of Land
USGS
03/16/1973

GeoSearch



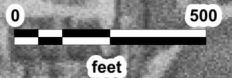
5.7 Acres of Land
ASCS
10/29/1966

GeoSearch



5.7 Acres of Land
ASCS
10/25/1959

GeoSearch



5.7 Acres of Land
AMS
04/24/1953

GeoSearch



5.7 Acres of Land
ASCS
07/08/1938

GeoSearch

AN ORDINANCE

97449

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Thence, following the centerline of Dave Erwin Drive to its intersection with a line
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Thence, following the line parallel to and 30 feet north of the northern facade of
Building 185 southeast to its intersection with a line parallel to and 30 feet east of
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Thence, following the line parallel to and 30 feet east of the eastern facade of
Building 185 southwest to its intersection with the centerline of Sidney Brooks;

Thence, following the centerline of Sidney Brooks northwest to the point of
beginning.

SECTION 2. All other provisions of Chapter 35, as amended, shall remain in full force and effect, including the penalties for violations as made and provided in Section 35 -491.

SECTION 3. The Director of Planning shall change the zoning records and maps in accordance herewith and the same shall be available and open to the public for inspection.

PASSED AND APPROVED THIS 10th DAY OF April 2023

MAYOR:

EDWARD D. GATZA

ATTEST:

John de L. Ledesma
City Clerk

APPROVED AS TO FORM:

for William E. Reed
CITY ATTORNEY

03 - 14

ALAMODOME
ASSET MANAGEMENT
AVIATION
CITY ATTORNEY
MUNICIPAL COURT
REAL ESTATE (FASSNIDGE)
REAL ESTATE (WOOD)
RISK MANAGEMENT
CITY MANAGER
SPECIAL PROJECTS
CITY PUBLIC SERVICE - GENERAL MANAGER
CITY PUBLIC SERVICE - MAPS AND RECORDS
CODE COMPLIANCE
COMMERCIAL RECORDER
COMMUNITY INITIATIVES
CONVENTION AND VISITORS BUREAU
CONVENTION CENTER EXPANSION OFFICE
CONVENTION FACILITIES
COUNCIL OFFICES
CULTURAL AFFAIRS
CUSTOMER SERVICE/311 SYSTEM
DEVELOPMENT SERVICES
HOUSE NUMBERING
LAND DEVELOPMENT SERVICES
TRAFFIC & DRAINAGE PLAN REVIEW
ECONOMIC DEVELOPMENT
ENVIRONMENTAL SERVICES
SOLID WASTE
EXTERNAL RELATIONS
PUBLIC INFORMATION OFFICE
FINANCE - DIRECTOR
FINANCE - ASSESSOR
FINANCE - CONTROLLER
FINANCE - GRANTS
FINANCE - PUBLIC UTILITIES SUPERVISOR
FINANCE- TREASURY
FIRE DEPARTMENT
HOUSING AND COMMUNITY DEVELOPMENT
HUMAN RESOURCES (PERSONNEL)
INFORMATION SERVICES
INTERNAL REVIEW
INTERNATIONAL AFFAIRS
LIBRARY
MANAGEMENT & BUDGET (OFFICE OF) OMB
MAYOR'S OFFICE
METROPOLITAN HEALTH DISTRICT
MUNICIPAL CODE CORPORATION
MUNICIPAL COURT
NEIGHBORHOOD ACTION
PARKS AND RECREATION
MARKET SQUARE
YOUTH INITIATIVES
PLANNING DEPARTMENT - NEIGHBORHOOD PLNG:
URBAN DESIGN/HISTORIC PRESERVATION
DISABILITY ACCESS OFFICE
POLICE DEPARTMENT
GROUND TRANSPORTATION
PUBLIC WORKS DIRECTOR
CAPITAL PROJECTS
CENTRAL MAPPING
ENGINEERING
PARKING DIVISION
REAL ESTATE DIVISION
TRAFFIC ENGINEERING
PURCHASING AND GENERAL SERVICES
SAN ANTONIO WATER SYSTEMS (SAWS)
VIA

AGENDA ITEM NUMBER:

4 E.

DATE:

APR 10 2003

MOTION:

ORDINANCE NUMBER:

97449

RESOLUTION NUMBER:

ZONING CASE NUMBER:

Z 2003028

TRAVEL AUTHORIZATION:

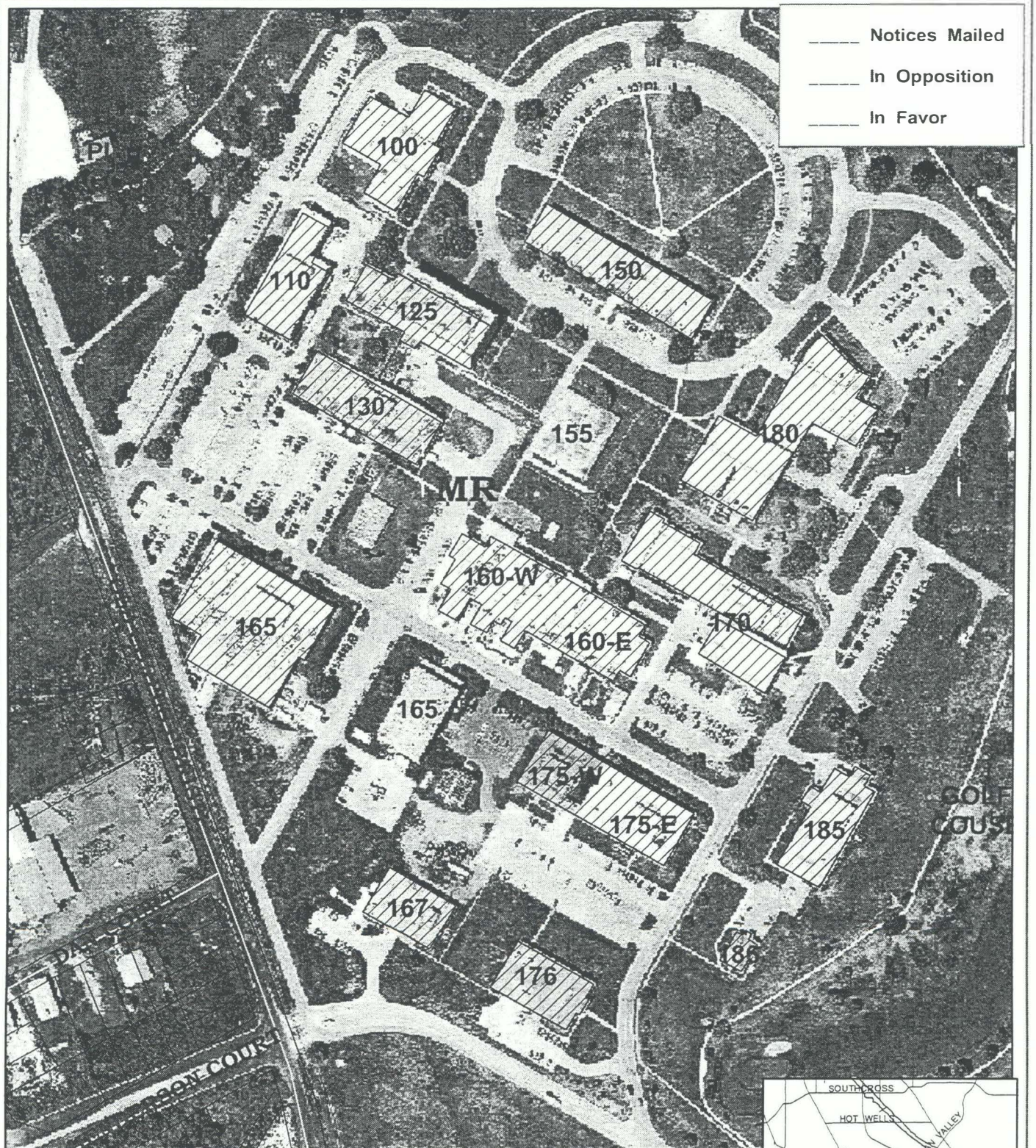
NAME	ROLL	AYE	NAY
BOBBY PEREZ District 1		<i>absent</i>	
JOHN H. SANDERS District 2		<i>/</i>	
ANTONIETTE "TONI" MOORHOUSE District 3		<i>/</i>	
ENRIQUE "KIKE" MARTIN District 4		<i>/</i>	
NORA X. HERRERA District 5		<i>/</i>	
ENRIQUE M. BARRERA District 6		<i>/</i>	
JULIAN CASTRO District 7		<i>/</i>	
BONNIE CONNER District 8		<i>/</i>	
CARROLL SCHUBERT District 9		<i>absent</i>	
DAVID CARPENTER District 10		<i>/</i>	
EDWARD D. GARZA Mayor		<i>absent</i>	

Staff recommends approval.

ZC recommends approval.

03-14

1



ZONING CASE: Z2003-028

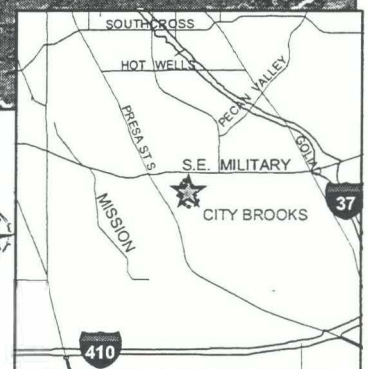
City Council District NO. 3
 Requested Zoning Change
 To "HISTORIC DESIGNATION"
 Date: April 10, 2003
 Scale: 1" = 250'

- ☐ Subject Property
- ☐ 200' Notification

T-10
 p.568
 C-5



C:\MAR_18_2003



Z2003028

ZONING CASE NO. Z2003028 March 18, 2003

Applicant: City of San Antonio-Historic Preservation Office

Zoning Request: To designate Historic Significance.

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Everyone present, for and against having been heard and the results of the written notices having been received, the Chairman declared the public hearing closed.

COMMISSION ACTION

The motion was made by Commissioner Hophan and seconded by Commissioner Avila to recommend approval.

1. Property is located within the Brooks City Base.
2. Staff recommends approval.

AYES: Grau, Kissling, McGowan, Hophan, Sherrill, McAden, Avila, Morell, Mehringer

NAYS: None

RECUSED: Martinez

THE MOTION CARRIED.

RESULTS OF NOTICE FOR COUNCIL HEARING

To be provided at Council hearing.

CASE NO: Z2003028

Staff and Zoning Commission Recommendation - City Council

Date: April 10, 2003

Zoning Commission Meeting Date: March 18, 2003

Council District: 3

Ferguson Map: 651 D8

Appeal: No

Applicant:

City of San Antonio

Owner:

Brooks Development Authority, Juvencio Lopez

Zoning Request:

To designate as a Historic District

The proposed Historic District boundary follows Dave Erwin Drive southward to a line parallel to and 30 feet north of the northern façade of Building 185, where it follows the north and east exterior walls at a distance of 30 feet. The boundary line then continues southward to a line 30 feet south of the southern façade of Building 186, where it returns to rejoin Dave Erwin Drive, following the road southward until it intersects with Sidney Brooks. The boundary line follows Sidney Brooks a short distance westward before meeting Jernigan Road. It then follows Jernigan Road northwestward until it joins George Schafer, then heading northward to ultimately Kennedy Circle, forming a complete circuit. The proposed Historic District boundary follows Dave Erwin Drive southward to a line parallel to and 30 feet north of the northern façade of Building 185, where it follows the north and east exterior walls at a distance of 30 feet. The boundary line then continues southward to a line 30 feet south of the southern façade of Building 186, where it returns to rejoin Dave Erwin Drive, following the road southward until it intersects with Sidney Brooks. The boundary line follows Sidney Brooks a short distance westward before meeting Jernigan Road. It then follows Jernigan Road northwestward until it joins George Schafer, then heading northward to ultimately Kennedy Circle, forming a complete circuit.

Property Location:

A 15 acre tract of land in the northwest corner of Brooks City Base

Proposal:

To designate as a Historic District

Neighborhood Association:

None

Neighborhood Plan:

None

TIA Statement:

A traffic impact analysis is not required.

Staff Recommendation:

Approval.

On February 5, 2003, the Historic and Design Review Commission recommended a finding of historic significance for the property in question. The aforementioned property clearly meets the criteria for local historic designation as defined by Section 35-607 (b) 1, (b) 2, (b) 9, (c) 1A and (c) 2A of the Unified Development Code.

Zoning Commission Recommendation:

Approval

CASE MANAGER : Elvin J. Gant, Jr. 207-5876

VOTE

FOR	10
AGAINST	0
ABSTAIN	0
RECUSAL	0



Z2003028

HISTORIC AND DESIGN REVIEW COMMISSION
CERTIFICATE OF APPROPRIATENESS

February 05, 2003

HDRC CASE NO: 2003-020

ADDRESS: Brooks City -Base, Texas, 78235

APPLICANT: Brooks Development Authority, Juvencio Lopez
8030 Challenger Drive

OWNER: SAME

TYPE OF WORK: Historic District Designation

REQUEST:

The proposed Brooks Air Force Base (AFB) US Air Force School of Aerospace Medicine (USAFSAM) 100-Area Historic District is a cohesive, geographically definable area containing 15 buildings contributing to the district's significance as a site associated with events of both local and national significance. Between 1959-70, the buildings were the site of scientific research on the potential effects of space travel on the human body. The research carried out here was an integral part of the US Man-in-Space effort, which culminated in the Apollo missions of the late 1960s. The 15 buildings of the Brooks ARB 100-Area Historic District (see inventory) serve as visible reminders of San Antonio's important contribution to aerospace medicine. A detailed history of the proposed district is included in the packet.

RECOMMENDATION:

The staff recommends approval of this request as submitted. The proposed district meets City of San Antonio Designation Criteria (b)1, (b)2, (b)9, (c)1A, and (c)2A as defined in the San Antonio Unified Development Code, Article VI, 35-607. The proposed district serves as a visible reminder of both local and national heritage. Its location is the site of significant local and national events. The proposed district has character as a geographically definable area possessing a significant concentration of buildings united by past events and aesthetically by physical development.

COMMISSION ACTION:

Approved as presented.

Ann Benson McGlone
Historic Preservation Officer

AN ORDINANCE

97449

**AMENDING CHAPTER 35 OF THE CITY CODE THAT CONSTITUTES
THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF
SAN ANTONIO BY CHANGING THE CLASSIFICATION OF AND
REZONING CERTAIN PROPERTY DESCRIBED HEREIN.**

* * * * *

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SAN ANTONIO:
SECTION 1. Section 35-304 of the Unified Development Code which is
Chapter 35 of the City Code and constitutes the comprehensive zoning
ordinance of the City of San Antonio is hereby amended so that it shall
hereafter include the following described changes of classification and the
rezoning of the hereinafter designated property to-wit:

CASE NO. Z2003028

The rezoning and reclassification of property to designate as a Historic District on
the property listed as follows:

Beginning at the intersection of the centerlines of Sidney Brooks and Jernigan
Road;

Thence, following the centerline of Jernigan Road northwest to its intersection
with the centerline of George Shafer;

Thence, following the centerline of George Shafer northeast to its intersection
with the centerline of Kennedy Circle;

Thence, following the centerline of Kennedy Circle in an arc north and east to its
intersection with the centerline of Dave Erwin Drive;

Thence, following the centerline of Dave Erwin Drive to its intersection with a line
parallel to and 30 feet north of the northern facade of Building 185;

Thence, following the line parallel to and 30 feet north of the northern facade of
Building 185 southeast to its intersection with a line parallel to and 30 feet east of
the eastern facade of Building 185;

Thence, following the line parallel to and 30 feet east of the eastern facade of
Building 185 southwest to its intersection with the centerline of Sidney Brooks;

Thence, following the centerline of Sidney Brooks northwest to the point of
beginning.

SECTION 2. All other provisions of Chapter 35, as amended, shall remain in full force and effect, including the penalties for violations as made and provided in Section 35 -491.

SECTION 3. The Director of Planning shall change the zoning records and maps in accordance herewith and the same shall be available and open to the public for inspection.

PASSED AND APPROVED THIS 10th DAY OF April 2023

MAYOR:

EDUARDO D. GARCIA

ATTEST:

Flora L. Lohman
City Clerk

APPROVED AS TO FORM:

for CITY ATTORNEY

Book 9999 Page 650



STATE OF TEXAS
COUNTY OF BEXAR
CITY OF SAN ANTONIO

}

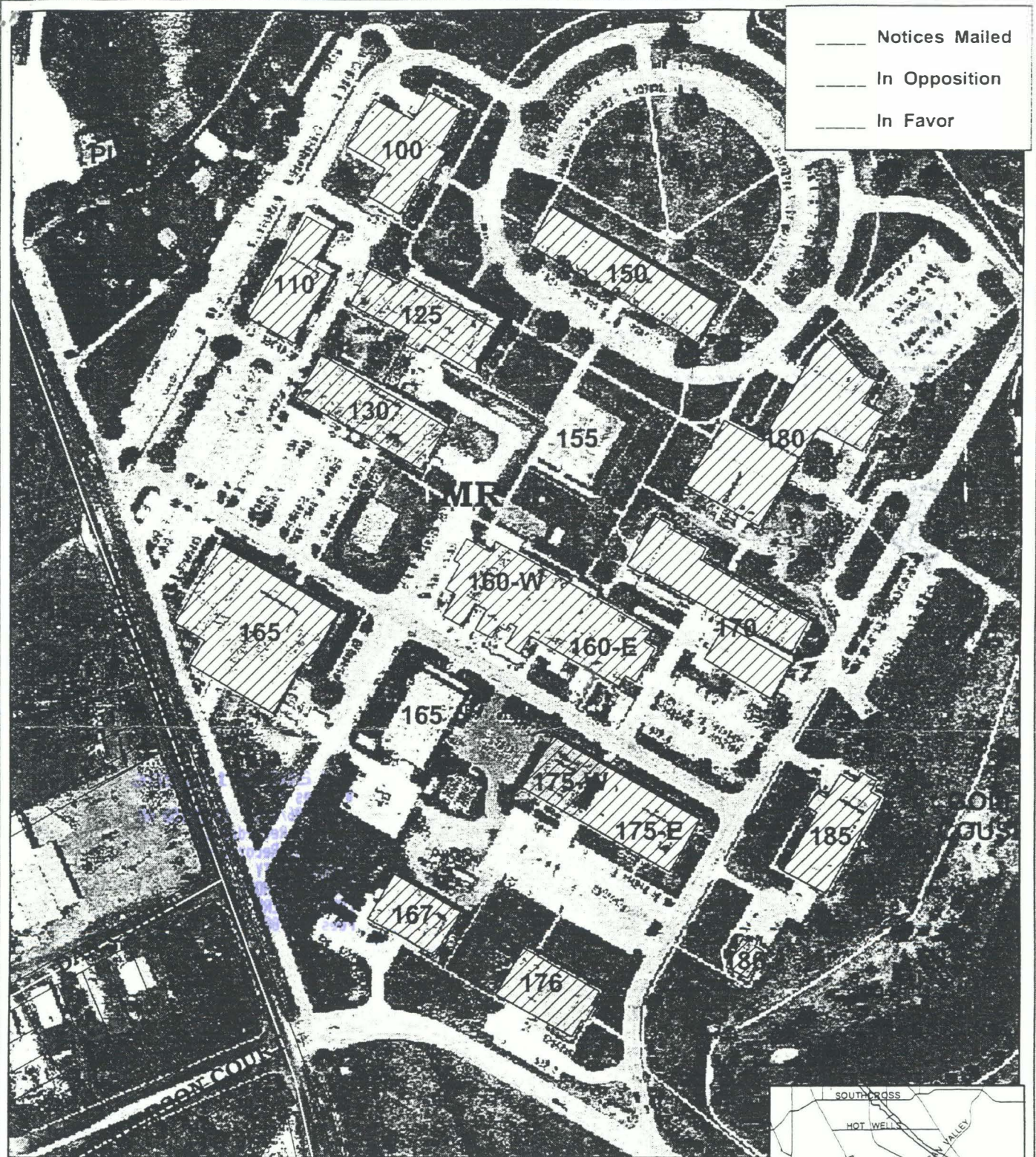
SS.

CERTIFIED COPY

The undersigned, the City Clerk of the City of San Antonio in the State and County afore said, does by these presents certify that the attached and foregoing is a true and exemplified copy of a part of the records, papers and books in the Office of the City Clerk; and, that I am the custodian of such papers, books and records as an officer of the City of San Antonio.

Given under my hand and the official seal of the City of San Antonio, this 6th day of May, A. D. 2023
(SEAL)

Melinda S. Lopez
for City Clerk, City of San Antonio.

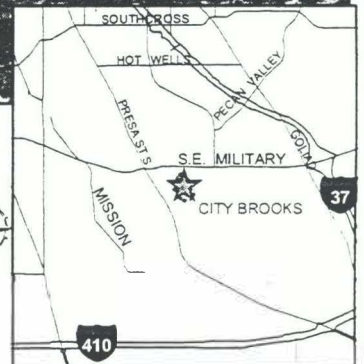


ZONING CASE: Z2003-028

City Council District NO. 3
 Requested Zoning Change
 To "HISTORIC DESIGNATION"
 Date: April 10, 2003
 Scale: 1" = 250'

Subject Property
 200' Notification

T-10
 p.568
 C-5



C:\MAR 18 2003

Any provision herein which restricts the sale, or use of the described real property because of race is invalid and unenforceable under Federal law
STATE OF TEXAS, COUNTY OF BEXAR

I hereby certify that this instrument was FILED in File Number Sequence on the date and at the time stamped herein by me and was duly RECORDED in the Official Public Record of Real Property of Bexar County, Texas on:

MAY 06 2003



Gerry Rickhoff
COUNTY CLERK BEXAR COUNTY, TEXAS

RECORDER'S MEMORANDUM

AT THE TIME OF RECORDATION, THIS INSTRUMENT WAS FOUND TO BE INADEQUATE FOR THE BEST PHOTOGRAPHIC REPRODUCTION BECAUSE OF ILLEGIBILITY, CARBON OR PHOTO COPY, DISCOLORED PAPER, ETC.

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Pages 4
05/06/2003 08:35:50 AM
Filed & Recorded in
Official Records of
BEXAR COUNTY
GERRY RICKHOFF
COUNTY CLERK
Fees \$15.00

Affidavit of Publisher

STATE OF TEXAS,

COUNTY OF BEXAR

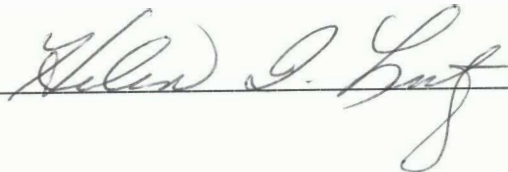
CITY OF SAN ANTONIO

PUBLIC NOTICE

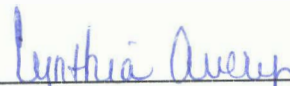
AN ORDINANCE 97449

AMENDING CHAPTER 35 OF THE CITY CODE THAT CONSTITUTES THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF SAN ANTONIO BY CHANGING THE CLASSIFICATION AND REZONING OF CERTAIN PROPERTY DESCRIBED HEREIN AS: 8081 Inner Circle Road To designate as a Historic District. "THE PENALTY FOR VIOLATION IS A FINE NOT TO EXCEED \$1,000.00".
4/21

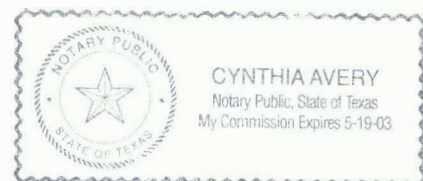
Before me, the undersigned authority, on this day personally appeared Helen I. Lutz, who being by me duly sworn, says on oath that she is Publisher of the Commercial Recorder, a newspaper of general circulation in the City of San Antonio, in the State and County aforesaid, and that the City Of San Antonio-City Clerk-Ordinance 97449 hereto attached has been published in every issue of said newspaper on the following days, to-wit: April 21, 2003.

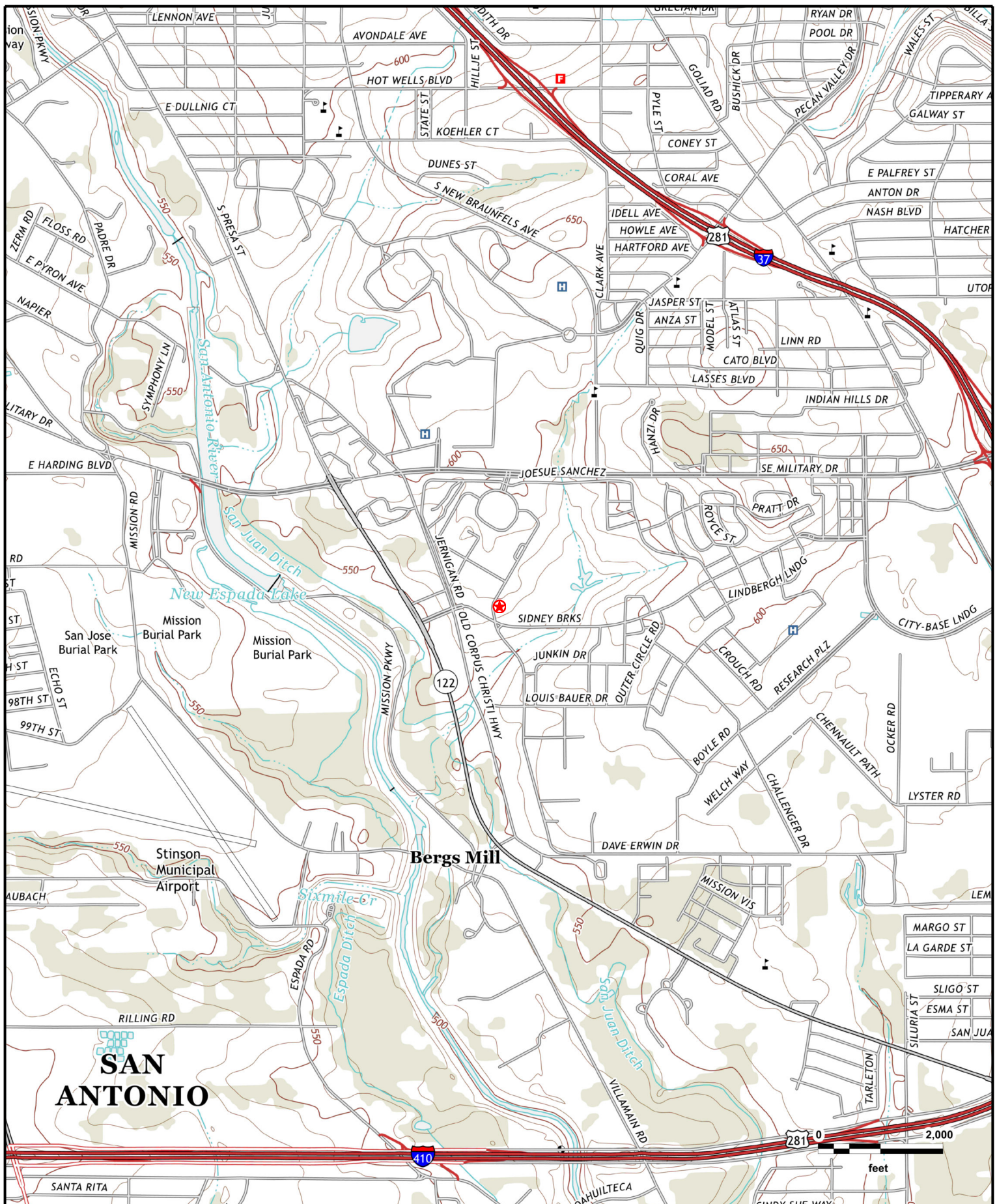


Sworn to and subscribed before me this 21st day of April, 2003.



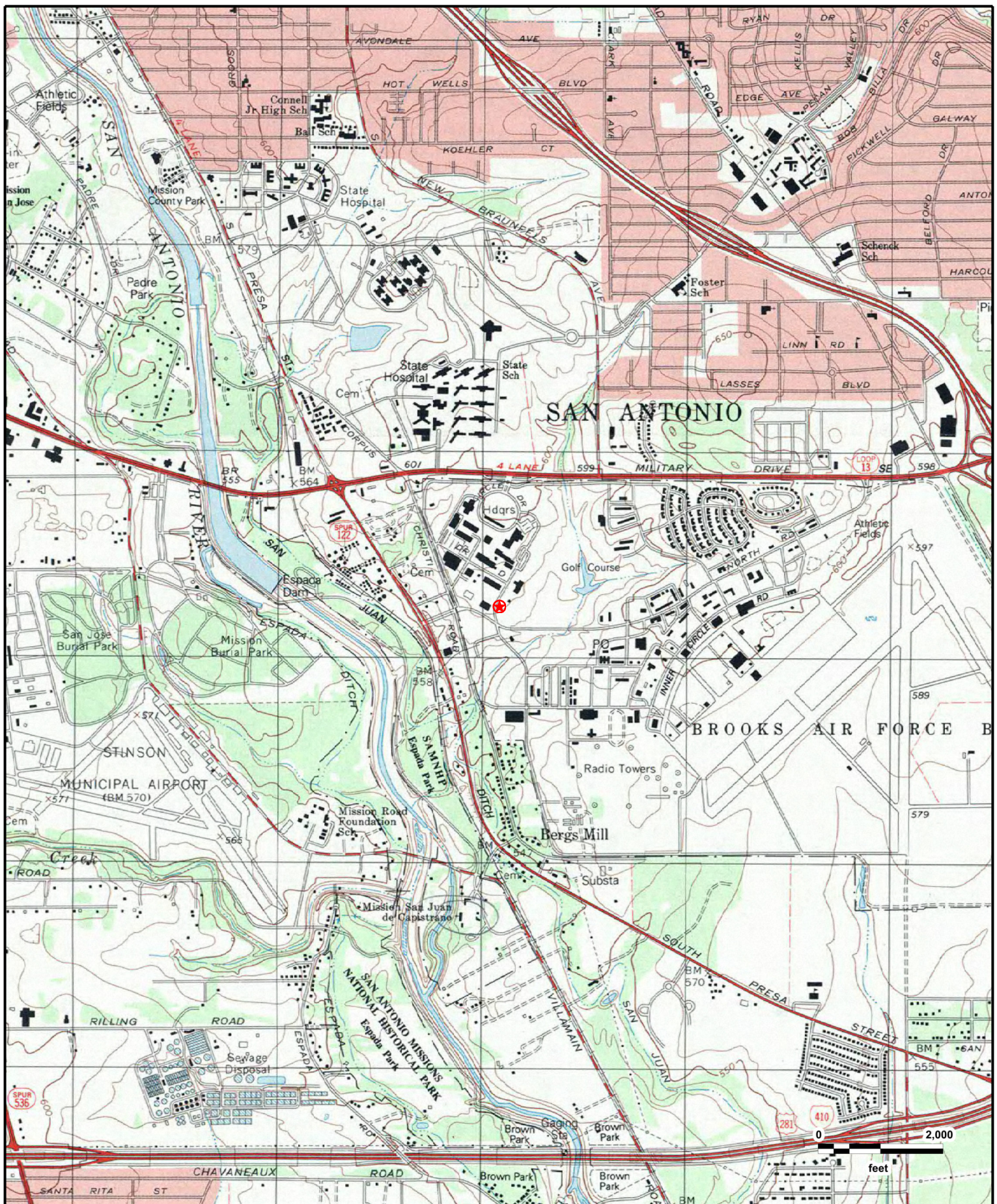
Notary Public in and for Bexar County, Texas





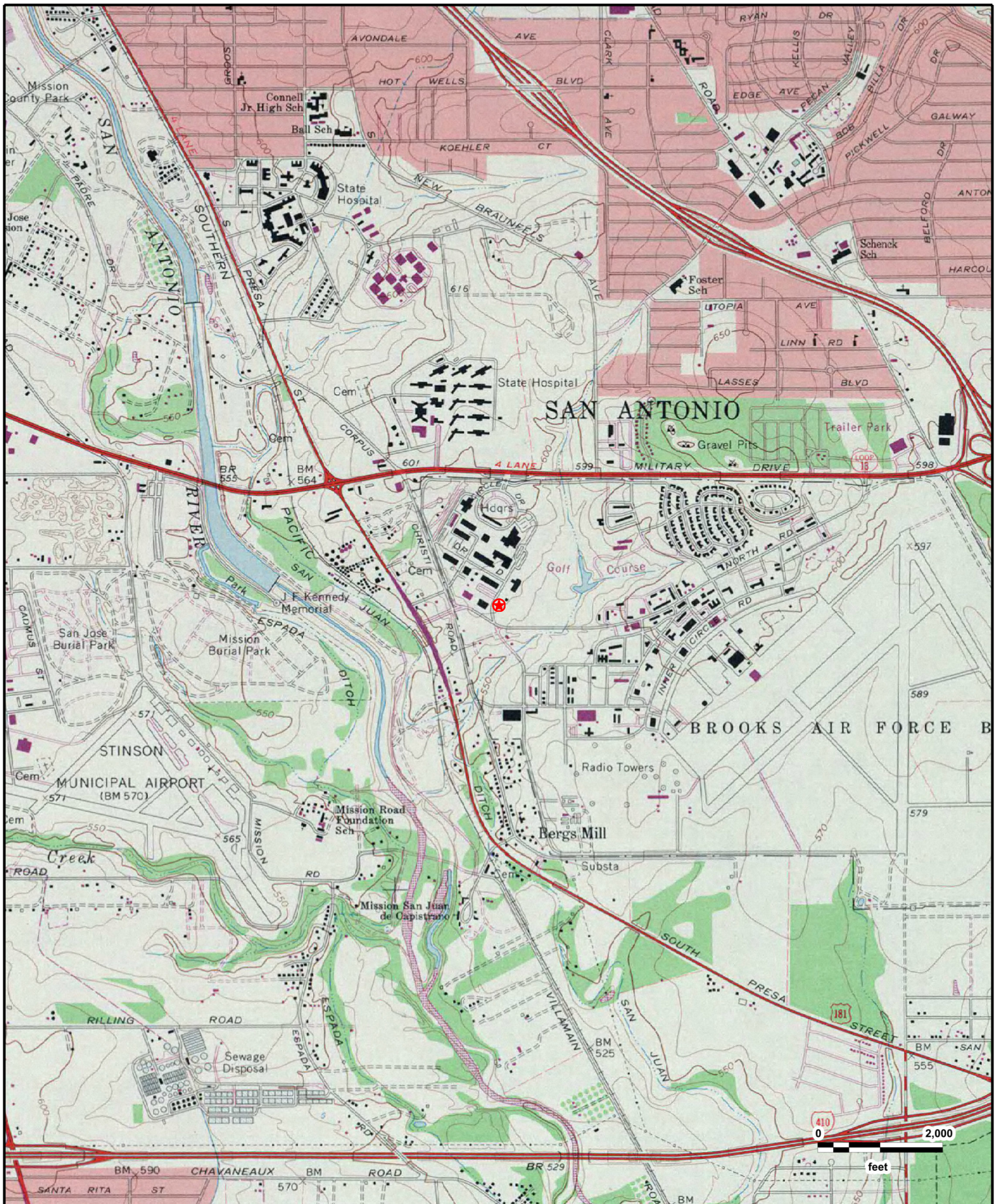
5.7 Acres of Land
Southton, TX (2013)

GeoSearch



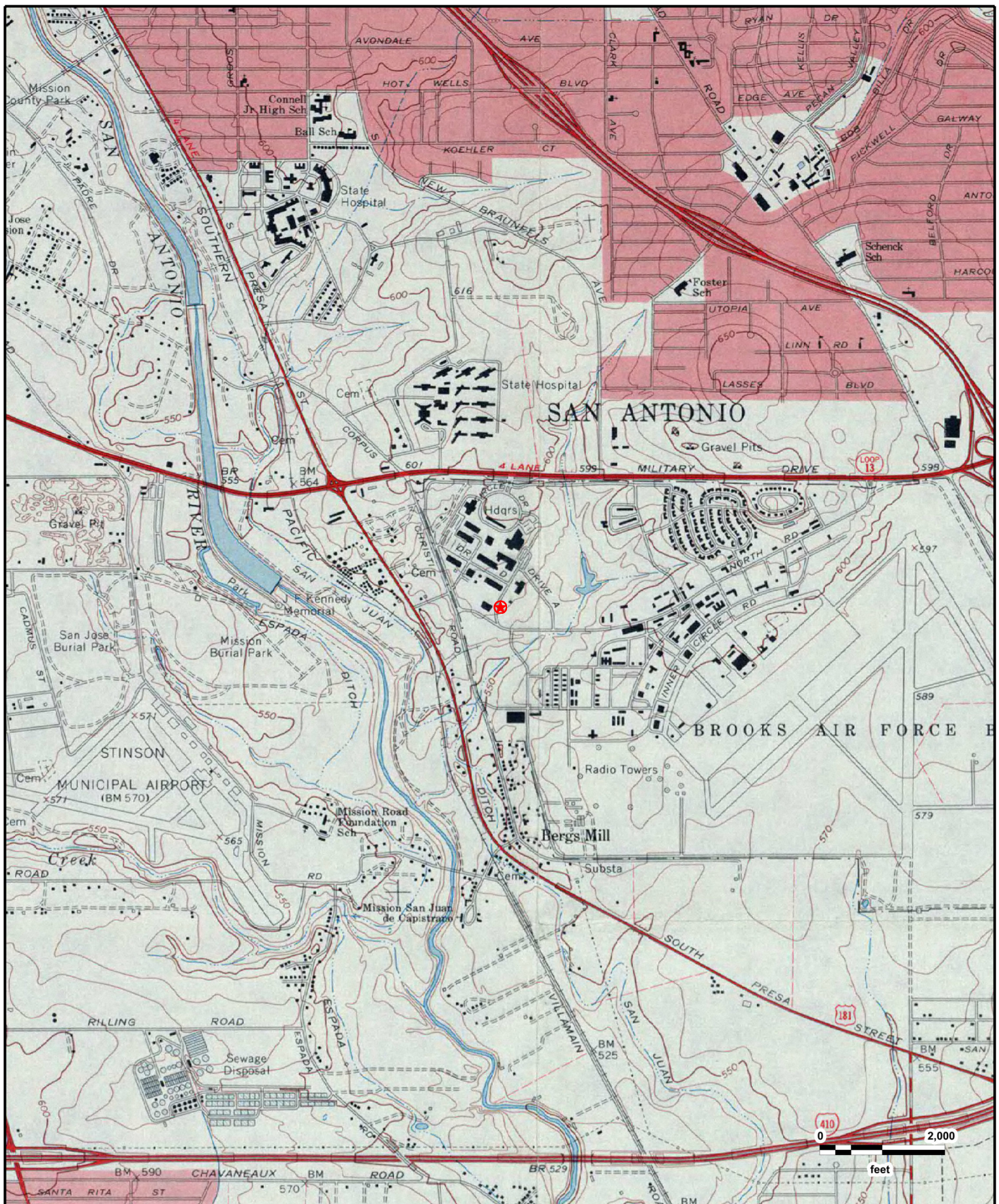
5.7 Acres of Land
Southton, TX (1992)

GeoSearch



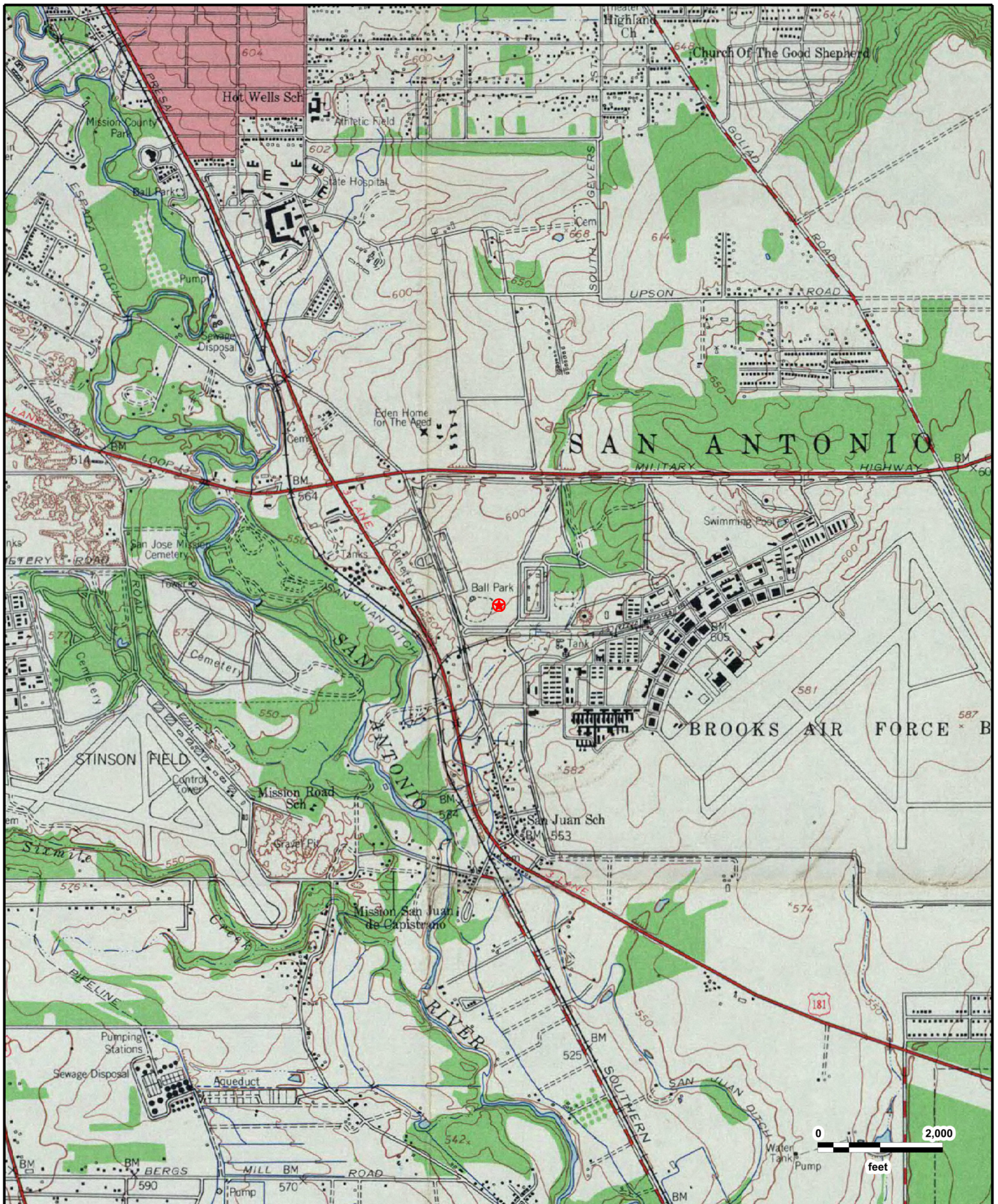
5.7 Acres of Land
Southton, TX (1973)

GeoSearch



**5.7 Acres of Land
Southton, TX (1967)**

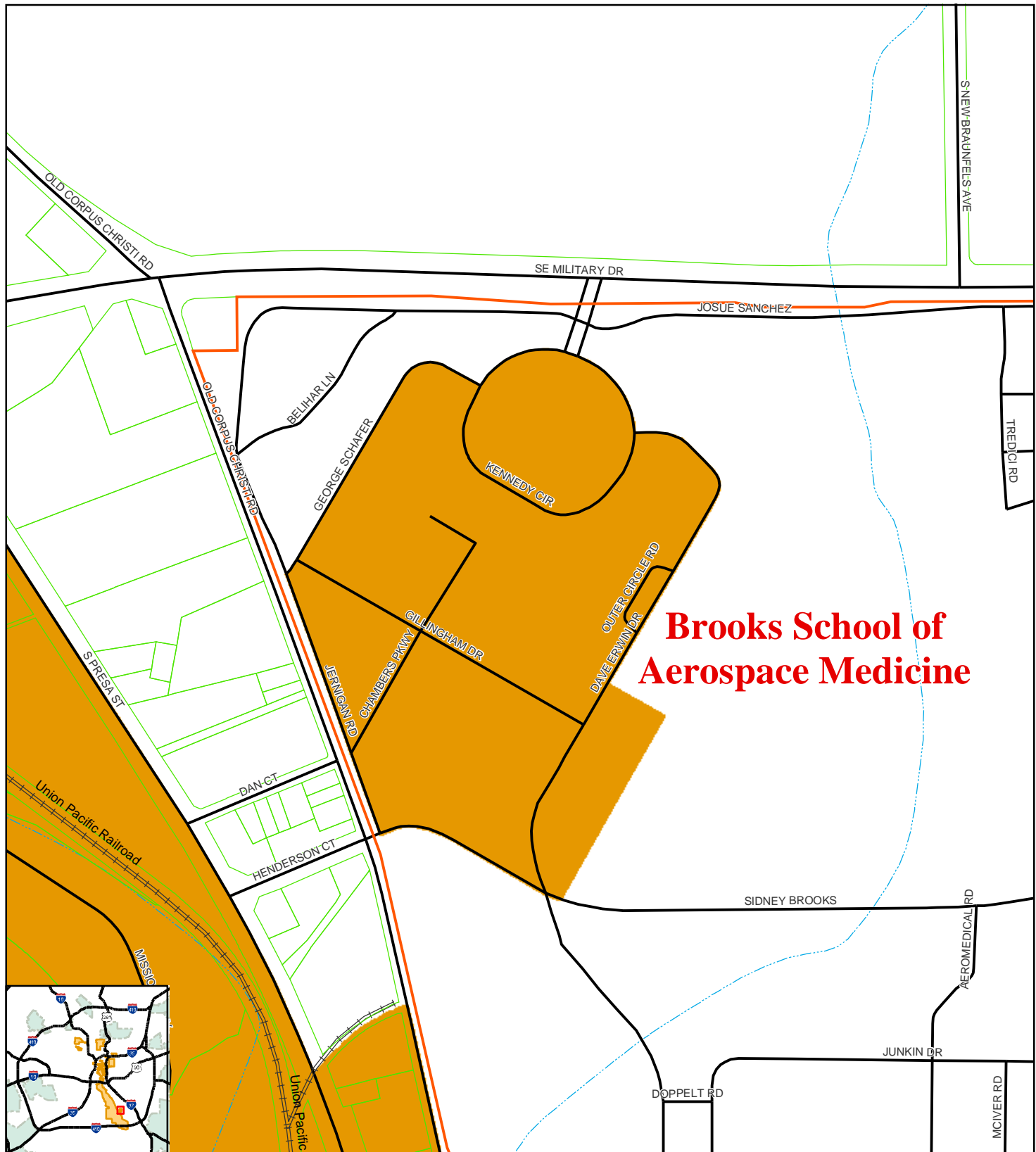
GeoSearch



5.7 Acres of Land
Southton, TX (1953)

GeoSearch

Brooks School of Aerospace Medicine Historic District



City of San Antonio
Historic Preservation Division



Brooks School of Aerospace Medicine
Historic District

Gillingham Dr

2485

7714

Dave Erwin Dr

2484

C-3 H

2486

7888

MF-33

C-3 H

2415

Dave Erwin Dr

7914

Vacant Bldg.

C-3 H

(IDZ-2 H)

Vacant Lot

C-3

(IDZ-2)

C-3

MF-33

Sidney Brooks

7935

Sidney Brooks

MR

C-3

MF-33

MF-33

2510

Dave Erwin Dr



Location Map



Zoning Case Notification Plan

Case Z-2020-10700108

Council District: 3

School District: San Antonio I.S.D.

Scale: 1" approx. = 200 Feet

Subject Property Legal Description(s): NCB: 10879 - LOT: P-126 (Non Adj Rems)

Legend

- Subject Property(ies) (5.7600 Acres)
- 200 Ft. Notification Area
- Single Family Residential...1R
- Current Land Use Description...TEXT
- Current Zoning...TEXT
- Requested Zoning Change...TEXT

- Creek / River Region
- City Limits
- Corridor Overlay
- ERZD Region
- MLOD Region
- AHOD Region

Note: All Current and Requested Zoning include AHOD / HISTORIC Overlay Districts

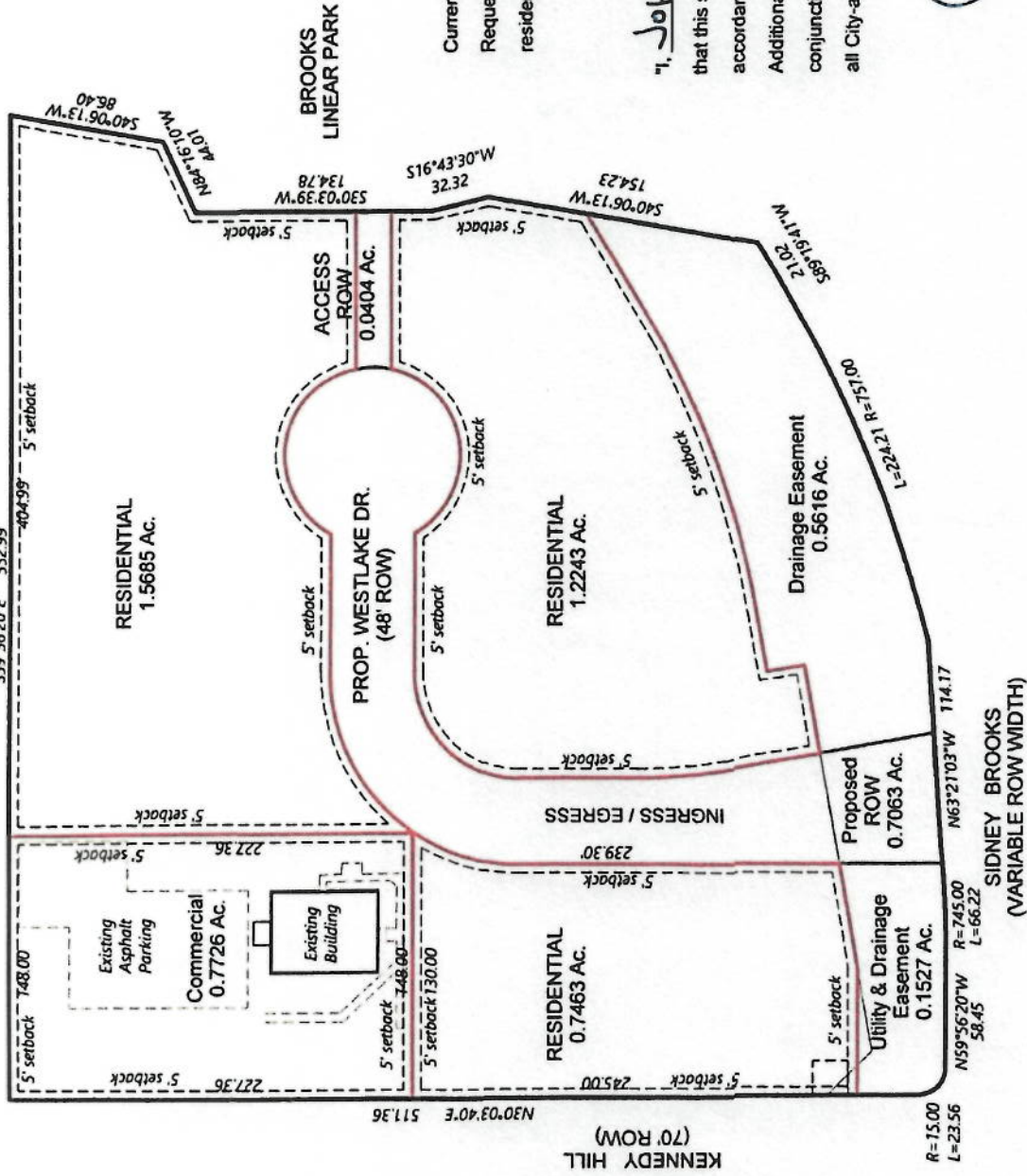
ITSD GIS Data Senior Analyst: Rudolph R. Martinez
City of San Antonio - Development Services Dept.
Case Manager: Michael Pope
Date: 5/12/2020

BROOK PARCEL #4

MASTER PLAN

APRIL 10, 2020

LAND USE SUMMARY	
Land Use	Acreage
Commercial / Retail	0.7726
Residential	3.5391
Proposed ROW / Public Access	0.7467
Drainage Easements & U.E.	0.7143
TOTAL PLATTED AREA	5.7727
Proposed Units	70
Proposed Density Per Residential Acre	19.77



Current Zoning: C-3 (HHS)

Requested Zoning: IDZ-2 with uses permitted in C-2 and single-family residential units (19.77 units per AC)

"I, John Coughlin, the property owner, acknowledge that this site plan submitted for the purpose of rezoning this property is in accordance with all applicable provisions of the Unified Development Code. Additionally, I understand that City Council approval of a site plan in conjunction with a rezoning case does not relieve me from adherence to all City-adopted Codes at the time of plan submittal for building permits."

[Signature]

Design Guidelines and Master Plan for the School of Aerospace Medicine Historic District

Brooks Development Authority
June 5, 2013



CITY OF
SAN ANTONIO



CITY OF SAN ANTONIO
OFFICE OF HISTORIC PRESERVATION
BROOKS DEVELOPMENT AUTHORITY

SCHOOL OF AEROSPACE MEDICINE HISTORIC DISTRICT
DESIGN GUIDELINES AND MASTER PLAN

June 5, 2013

ANN BENSON MCGLONE, LLC + ALAMO ARCHITECTS

SCHOOL OF AEROSPACE MEDICINE HISTORIC DISTRICT DESIGN GUIDELINES AND MASTER PLAN

ACKNOWLEDGMENTS

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<i>Sheryl Sculley, City Manager</i>	

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<i>Reba Malone, Vice-Chair</i>	<i>Dr. Jack Leifer</i>
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<i>Mark Pacheco</i>	

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Greg Hammer, Environmental, Health & Safety Manager

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<i>Shanon Shea Miller, OHP</i>	

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ORGANIZATION and USE of GUIDELINES



INTRODUCTION

The introduction to these guidelines provides a very brief background and history of the creation of Brooks City-Base and specifically The Hill campus, known as the School of Aerospace Medicine Historic District. It describes the forces that have shaped it over time and the factors leading to the preparation of these Design Guidelines. The district boundaries are described as well as the purpose and goals of the design guidelines project.

It is recommended that all users of the Guidelines review this section to gain an understanding of the essential historic importance of the campus and the intent of the guidelines.

CHAPTER 1

MASTER PLAN

Chapter 2 provides a Master Plan showing non-contributing structures that may be removed, expansion areas, existing buildings that must remain, and areas for future parking decks. It also describes these allowable additions and changes in relation to the context of the site.

CHAPTER 2

USER'S GUIDE

Chapter 3 provides basic information on the use of the Guidelines including a description of the process for renovation of existing buildings, infill development and additions, as well as new construction. Chapter 2 specifically addresses the design review process.

CHAPTER 3



CHARACTER OF THE CAMPUS

Chapter 4 contains a general description of the character defining features of the campus in three important areas. The Public Realm includes the public areas such as streets, walkways, landscape, and historic elements; Site Character is defined by the configuration and relationship of buildings to one another and to the street as well as the placements of the principal and secondary facades; and Architectural Character refers to the style of the architecture.

CHAPTER 4



DESIGN GUIDELINES

Chapter 5 provides guidelines that address the Public Realm – streets, sidewalks, parking, landscaping, retaining walls, fences, and service locations. Site Development guidelines address the relationship of buildings to one another, location of additions and new construction, as well as building orientation. Building/Structure Design Guidelines identify the defining architectural elements specific to each building for alterations and modifications to existing structures such as massing, foundations, roof shape, window, entrances, and building materials. Additions and New Construction are also addressed in similar fashion. The chapter addresses common issues such as accessibility, exterior lighting, green features, and signage.

CHAPTER 5



DEMOLITION

Chapter 6 addresses issues of demolition for contributing and non-contributing structures by establishing a criteria for demolition including historical significance, construction date, environmental concerns, configuration, and conformance with the Master Plan.

CHAPTER 6



CHAPTER 1: INTRODUCTION

1.A PURPOSE

The School of Aerospace Medicine Historic District is a locally designated historic district situated within Brooks City-Base. The buildings and campus are an important part of San Antonio's history celebrating the community's role in the development of the United States Man in Space Program. It was here that many of the early experiments that led to manned space flight were developed and conducted. The purpose of the Design Guidelines is to recognize the historic importance of the campus, identify the significant design and architectural characteristics, and insure that as the campus and buildings are re-purposed in the future that they maintain their important sense of place and exterior architectural integrity.

The following design guidelines are a companion piece of the City of San Antonio Historic District Guidelines and were developed specifically for the School of Aerospace Medicine Historic District. The intent of the Design Guidelines is to provide specific guidance for the Brooks Development Authority (BDA), their tenants, and potential business owners as the campus of the former School of Aerospace

Medicine Historic District develops and expands over time. The guidelines are also intended to provide the City of San Antonio and the Historic and Design Review Commission (HDRC) with a consistent set of standards for evaluating potential changes to the campus.

The Design Guidelines are intended to encourage development that conforms to the size, orientation, and setting of existing buildings on the campus, reduce the need for lengthy review processes, foster development that is compatible, conserve historic resources, maintain property values, and encourage investment.

The guidelines should lay the groundwork for positive dialogue between the BDA, the City's Office of Historic Preservation (OHP), and other stakeholders. The hope is that the guidelines will be a source of inspiration that will help future tenants understand what it means to build structures that are compatible with the historic campus.

1.B AUTHORITY AND JURISDICTION

1.B. AUTHORITY AND JURISDICTION

1.B.1 Brooks Development Authority

Brooks Development Authority is the developer and owner of the School of Aerospace Medicine Historic District.

In 2000, Congress enacted Public Law 106-246, authorizing the creation of Brooks City-Base, a collaboration between the Air Force and the City of San Antonio to improve Air Force mission effectiveness and reduce the cost of providing quality installation support at Brooks. The resulting partnership also encouraged and enhanced future development in southeast San Antonio.

The 2005 Base Realignment and Closure (BRAC) decision relocated Air Force missions to other installations and brought to an end 95 years of active military operations at Brooks. In September of 2011 a new era of innovation began at Brooks City-Base as the Air Force officially left the development. For the first time in more than 95 years, Brooks City-Base became an open campus as part of that transition.

Today, Brooks City-Base represents a master planned community offering affordable housing and more than 1,200 acres of real estate for mixed-use development, including up to 400,000 square feet of available space for office, light industrial and retail opportunities. The Brooks Development Authority offers a variety of creative financial assistance programs to encourage business attraction and expansion.

1.B.2 City of San Antonio Office of Historic Preservation

The School of Aerospace Medicine Historic District is a City of San Antonio Historic District located within the boundaries of Brooks City-Base. The City of San Antonio Historic Design Guidelines ("Historic Design Guidelines") establish baseline guidelines for historic preservation and design. The Historic Design Guidelines apply to all exterior modifications for properties that are individually designated landmarks or within a locally designated historic district. All applicants are encouraged to review the Historic Design Guidelines early in their project to facilitate an efficient review process. In addition to compliance with the Unified Development Code ("UDC"), applicants must obtain a Certifi-

cate of Appropriateness ("COA") from the Office of Historic Preservation ("OHP") for all proposed exterior modifications as described in the Using the Historic Design Guidelines section of the Historic Design Guidelines.

The district-specific design guidelines for SAM have been developed to work alongside the Citywide provisions as an appendix and will be used by the OHP staff and the HDRC to review applications for Certificates of Appropriateness.

The OHP protects the historical, cultural, architectural, and archaeological resources that make San Antonio unique. The OHP promote preservation through the creation of local historic districts and local individual landmarks. Along with the Historic and Design Review Commission (HDRC), the OHP oversees a design review process for exterior alterations to historic landmarks and districts to ensure that modifications and changes are appropriate for historic resources.

1.B.3 National Historic Preservation Act and The Texas Historical Commission

The National Historic Preservation Act (NHPA) of 1966, as amended, requires that federal agencies take into account the effects of their undertakings on historic properties. In addition to direct actions of the federal government, federal undertakings are projects involving a permit or license, funding, or other assistance or approval from a federal agency. Section 106 of the NHPA and its implementing regulations at 36 CFR Part 800 lay out review procedures that ensure historic properties are considered in federal planning processes.

The Texas Historical Commission (The State Historic Preservation Office of Texas) reviews all projects within the School of Aerospace Medicine Historic District that use federal funds, or require federal permits.

SITE PLAN



1.C BACKGROUND AND HISTORY



Figure 1: USAFSCHOOL OF AEROSPACE MEDICINE zero-g experiments using jet trainers, 1959.

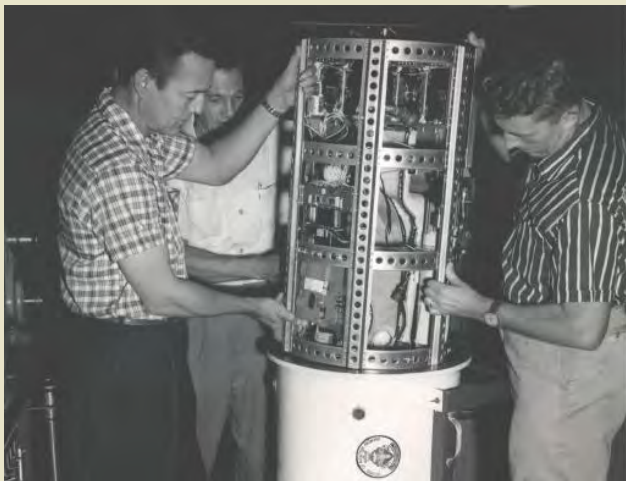


Figure 2: USAFSCHOOL OF AEROSPACE MEDICINE personnel preparing Bio-Pak capsule, 1959.



Figure 3: Brooks AFB volunteers in the two-man simulator at USAFSCHOOL OF AEROSPACE MEDICINE.

1.C HISTORY OF THE SCHOOL OF AEROSPACE MEDICINE HISTORIC DISTRICT

1960's

After the launch of Sputnik I in 1957 by the Soviets, the United States began an intensive effort known as the Man-In-Space Program. Crucial to such an endeavor was the work of the School of Aerospace Medicine, which developed innovative research involving man's ability to survive in space. School of Aerospace Medicine developed an early relationship with the National Aeronautics and Space Administration (NASA), providing it with vital aeromedical research which aided NASA's plan (Project Mercury) to send man into space.

Using specialized equipment such as F-100F aircraft, centrifuges, and space cabin simulators, School of Aerospace Medicine scientists tested and developed numerous aerospace medical innovations, including oxygen environments for space cabins, spacesuits, and onboard life-support systems for NASA's space program. School of Aerospace Medicine contributed much of its research to the Air Force's Manned Orbiting Laboratory (MOL) program, in which scientists studied the long-term effects of space on astronauts. MOL research included space food development, further spacesuit testing, and testing of cabin environments. Contributions by School of Aerospace Medicine during this decade proved essential to the success of NASA's Mercury, Gemini, and Apollo programs as well as the later Skylab and space shuttle programs.

President Kennedy visited Brooks on November 21, 1963 to dedicate the new School of Aerospace Medicine buildings. With a large crowd in attendance, Kennedy spoke in front of Building 150 and emphasized the importance of Brooks AFB and its contributions to aerospace medicine. Sadly, the visit marked Kennedy's last official act as President; the following day, November 22, Kennedy began his fateful day in Dallas.

During the mid-1960s, School of Aerospace Medicine introduced wartime medical research because of the growing war in Vietnam. School of Aerospace Medicine scientists provided the U.S. Air Force with military applications related to the safety and enhancement of its mission in Southeast Asia. The air evacuation program at

Brooks AFB proved vital to the care of wounded personnel in the Vietnam War.

1970s

Entering the 1970s, Brooks AFB expanded with the addition of the U.S. Air Force Occupational and Environmental Health Laboratory in 1976. The laboratory gave Brooks AFB the ability to analyze chemicals in any substance, and isolate chemicals that might prove harmful to Air Force personnel. Brooks AFB also was home to the Epidemiology Laboratory which was created to study diseases and how they might impact Air Force personnel.

1980s

In 1983, the Air Force Human Resources Laboratory was assigned to the base, greatly enhancing its research capabilities. No longer focused just on basic research, the laboratories and research centers of the Aerospace Medical Division (AMD - headquartered at Brooks AFB), incorporated engineering and development programs which allowed it to develop its own theoretical research into actual products, a shift known as technology transition. Examples of projects that utilized this shift involved chemical defense, on-board oxygen generating systems, crew systems technology, aeromedical system development, and epidemiological studies.

1990s

To meet the demands of the post-Cold War environment in 1991, Brooks was selected to house one of four super laboratories. The Air Force Center for Environmental Excellence (AFCEE) also was created and located at Brooks. The center was responsible for managing base closure clean up and ensuring environmental safety at Air Force installations.

After the 1995 Base Realignment and Closure (BRAC) process identified Brooks for possible closure, Air Force and San Antonio leadership began to develop a unique "City-Base" concept to benefit both parties. Following enactment of federal, state and local statutes in 2000 and 2001, the Air Force transferred ownership of Brooks to The Brooks Development Authority in July 2002.

(Note all historic photos from the BDA archives.)



Figure 4: Oxygen generating photosynthesis experiments at USAFSCHOOL OF AEROSPACE MEDICINE, ca. 1966.



Figure 5: Captain May O'Hara (left) exhibits examples of US-AFSCHOOL OF AEROSPACE MEDICINE space food.



Figure 6: Rows of Curtiss JN-4 Trainers at Brooks Field, 1923.

1.D GOALS

GOALS of the DESIGN GUIDELINES

The goals of the for the School of Aerospace Medicine Historic District Design Guidelines are to serve as the over-arching ideals upon which all other guidelines are based. They are intended to capture the breadth and the depth of the vision for The Hill campus as the historic district changes, adapts, and grows into the future.

The goals are a reminder of the original intent to future stakeholders. They help to clarify and define the original reasons for the creation of the Design Guidelines. They represent the objectives of both the Brooks Development Authority and the City of San Antonio through it's Office of Historic Preservation. In the future when questions regarding the intentions or purpose of the guidelines are raised, the goals will help to inform all interested parties.



1

Retain existing historic character by preserving the visual continuity of the district.



2

Create a sustainable vision for long term value that protects BDA's property values and investment.



3

Create a framework for appropriate additions and modifications that ensures additions, alterations and new infill construction is compatible.



4

Encourage good design without stifling creativity.



5

Create a Marketing Tool to inform potential tenants what is possible within the campus.



6

Develop Guidelines that will guide OHP staff and the HDRC in making recommendations for approval of a Certificate of Appropriateness.



7

Establish additional criteria for determining when demolition is appropriate.





CHAPTER 2: MASTER PLAN

Design Guidelines are specifically intended to provide direction for the future development of the School of Aerospace Medicine Historic District. For this historic area to become a viable and thriving campus in the future, it is inevitable that changes will need to occur. Buildings will be added, some buildings removed and new uses will transform unused space into workable offices and classrooms for the future.

This Master Plan is an illustrative plan for a future that ensures the historic integrity of the original campus is maintained, while being responsive to the needs and challenges of future development. The Master Plan is also a shared vision of both the Brooks Development Authority and the City of San Antonio's Historic and Design Review Commission. It reflects both the desire to provide an economically feasible development opportunity and the desire to preserve the historic integrity of the Historic District.

It is important that Historic Districts remain an integral part of communities. They should not be locked into one historical moment as museum piece, but should move into the future with a clear plan that both respects and retains the character of the existing campus, The Master Plan provides the vision to achieve both goals.

MASTER PLAN



THE MASTER PLAN

The School of Aerospace Medicine Historic District is a visual reminder of a time and place in San Antonio when Brooks Air Force Base played an important national role in the development of space travel. As Brooks City-Base now transforms The Hill campus into a viable development with new uses and new tenants, the challenge is to manage the change in such a way that the historical integrity of the original campus remains.

A clear vision or Master Plan of what the area might become is an essential tool for both the Brooks Development Authority and the Office of Historic Preservation. The Master Plan establishes where and how the campus might grow in the future and still retain the historical identity of the past.

Campus Atmosphere

The original Master Plan of the campus by Ellerbe & Associates was completed in 1952. The plan envisioned the site to resemble a medical school campus. That original vision remains true today and is in fact one of the most character defining features of the campus. Rather than a formal, ceremonial layout, the architects chose an informal setting. Buildings were loosely located by function but rigorously arranged along an axis 30 degrees off of north.

The new Master Plan strives to preserve the campus-like atmosphere, while respecting the established patterns of the existing buildings. New buildings are grouped, perhaps by function, creating smaller campuses within the larger whole.

Common Greenspace

With the addition of the 1963 buildings, a significant green space was created between Buildings 150, 125, 155, 100 and 180. This green space helped reinforce the campus like atmosphere and united the campus with a series of sidewalks. The Master Plan recognizes the historic importance of the green lawn in front of Building 150, assuring that it remains an open green space. The Master Plan continues this tradition by creating two more campus clusters on the south, and one on the west. The clusters are connected through a series of paths.

As the campus expands and changes in the future it will be flexible enough that a cluster may house one company in multiple buildings, or provide a focal point for a number of different tenant groups.

Additions and Demolitions

The Master Plan anticipates that some buildings will be added in the future. Strategically locating new buildings in such a way that the new construction or additions reinforce the historic integrity of the campus is important. The Master Plan also anticipates the need for some demolition. The intent of the Master Plan is to reuse as many existing historic buildings as possible. However the Master Plan provides recommendations for replacement building footprints when demolition can not be avoided. As in the case of Building 175 the Master Plan anticipates that the new building uses the exact footprint of the original building, thereby preserving the character defining breezeway. For further discussion on Demolitions see Chapter 5.

Importance of Streets

The historic pattern of streets should be reinforced. New buildings should line Gillingham Drive, giving the street an edge. New street trees will help reinforce the importance of the street. Kennedy Circle is an important landscape feature and should remain. The perimeter streets of Dave Erwin Drive and George Schafer continue to ring the campus, allowing access to the perimeter parking.

Parking

The Master Plan generally has parking on the perimeter of campus. Two parking lots, one south of Building 110 and the other south of Building 175 are sized to be able to be converted to parking decks/garages if in the future additional parking is required.

New parking should not disrupt any historic landscape feature or spatial relationships within the campus.

3



CHAPTER 3: USER'S GUIDE

The User's Guide provides potential tenants, architects, engineers, designers, and others with an overview and general description of the steps to be used when considering maintenance and alterations, additions, and new construction in the School of Aerospace Medicine Historic District. The Guide is meant to assist anyone contemplating improvements to the grounds or buildings in an orderly process of evaluation, study of alternatives, and recommendations with BDA staff, City staff, and the Historic and Design Review Commission.

USE of GUIDELINES and APPLICATION PROCESS

1

TENANT OR OWNER INITIATES A PROJECT

A tenant decides to begin a project within the School of Aerospace Medicine Historic District. The project could be an interior remodel project with no exterior changes, an interior remodel with modifications to the exterior, a project requiring an addition to an existing building, construction of a new building, or a change of site such as with parking or mechanical equipment.

2

PROJECT IS "INTERIOR ONLY" WITH NO EXTERIOR CHANGES

Design Guidelines are for exterior projects. No review is required by the Office of Historic Preservation. The design does require coordination and approval from the BDA.

3

ALL OTHER PROJECTS: READ CHAPTER 1 TO UNDERSTAND THE PURPOSE AND AUTHORITIES

Chapter 1 will help the tenant/owner understand the purpose for the Guidelines, the Goals, and the future vision of the School of Aerospace Medicine Historic District as agreed upon by both the BDA and the City of San Antonio.

4

READ CHAPTER 3 TO BECOME FAMILIAR WITH ESTABLISHED CHARACTER OF THE DISTRICT

Chapter 3 will assist the architects/engineers/designers in understanding the character of the Historic District. This Chapter lays out those Public Realm, Site, and Building characteristics that distinguish School of Aerospace Medicine Historic District as a historically significant place.

5

READ CHAPTER 4 FOR THE SPECIFIC DESIGN GUIDELINES

This is the heart of the Design Guidelines. Section 4A guides the project in the public realm - the larger framework of the The Hill campus. Section 4B makes sure the building fits within the site. 4C gives specific architectural guidelines for alterations, additions, and new construction. There is also guidance on accessibility, lighting, green features, and signage.

6

READ CHAPTER 5 BEFORE CONTEMPLATING A DEMOLITION

Demolition is an order of last resort and should not be entered into lightly. This chapter provides insight into the criteria for determining whether demolition is even possible.

7

MEET WITH BDA STAFF

Meet with the BDA staff to review your general objectives for the project and your initial conclusions regarding specific guidelines. Review with staff any additional issues pertinent to the project such as provisions for utility services, trash, and access.

8

WORK WITH YOUR ARCHITECT/ENGINEER/DESIGNER

Work with your project designer, Architect, or Engineer to prepare a conceptual Design for the proposed project.

9

REVIEW WITH BDA STAFF FOR CONCEPTUAL APPROVAL, POSSIBLE OHP REVIEW

Projects should review Conceptual Design with the BDA staff for approval. Large projects at this point might want to initiate a meeting with OHP for staff review to make sure the projects in proceeding within the framework of the Design Guidelines.

10

FINISH PROJECT DESIGN DOCUMENTS

Make necessary adjustments after staff discussions and proceed with final documents.

11

SUBMIT TO BDA FOR PROJECT APPROVAL, THEN SUBMIT TO THE OHP

Gain approval of project from the BDA staff who will attest that the project meets the School of Aerospace Medicine Historic District Design Guidelines. Submit an application to the OHP for a Certificate of Appropriateness.

12

REVIEW OF APPLICATION BY THE HDRC

If project meets all of the Design Guidelines, the application will be recommended for approval and placed on the Consent Agenda. If Project deviates from the Design Guidelines, the Tenant will be required to individually present their project to the Historic and Design Review Commission following the standard HDRC application process.



CHAPTER 4: CHARACTER of the HISTORIC DISTRICT

Having an understanding of the existing architectural character of the School of Aerospace Medicine Historic District creates the basis for the Design Guidelines. If the Design Guidelines are to assist developers, business owners, and tenants in designing modifications, additions, and new construction to fit within the historic character of the established district, it is important to have a clear and agreed upon understanding of the existing character.

The intent of Chapter 3 is to establish what design elements make the historic district special and unique. The chapter defines what the architectural character of the district is, so that in the future, when change occurs they do not destroy or fundamentally alter the look and feel of the campus.

Defining the Character of the District in the beginning of the Guidelines will hopefully alleviate and inform future conflicts and discussions about what is important within the district. Design professionals can better spend their time designing within an established context, rather than having to re-invent the design priorities on each project.

The primary characteristic of the School of Aerospace Medicine Historic District, which distinguishes it from most other Historic Districts within San Antonio, is the campus like atmosphere. The design intent of the original architects was to create the feel of a medical school campus, rather than a military base. The Brooks Development Authority refers to this part of Brooks as The Hill campus, reinforcing the concept of a school setting.

Based on the importance of the campus atmosphere, the chapter looks at the character of the district at three different levels. First it looks at the public realm, the public areas between the buildings that create the campus environment. Second it looks at the way the buildings are placed within the site that contribute to the connectivity on the campus, and finally it looks at the architectural character of the buildings that create a cohesive design vocabulary.

4.A CHARACTER OF THE PUBLIC REALM



Figure 7: An aerial view of The School of Aerospace Medicine Historic District.



Site plan showing the boundary of the historic district, network of streets, sidewalks, and green spaces.

4.A CHARACTER OF THE PUBLIC REALM

The Public Realm is the area that can be seen from the public streets. It is the open space around the buildings, that blends the campus together. The Public Realm is also the streets and sidewalks that link place to place and provides a path of travel through the district. Parking is part of the Public Realm as it contributes to the overall campus experience.

4.A.1 Network of Streets

The School of Aerospace Medicine Historic District reflects the original street and block configuration of the campus that was laid out in the 1950's and 1960's. There are no "ordinary" rectangular blocks - in a traditional grid pattern. Rather the layout of the campus is more fluid, developed over a number of years, primarily between 1959 and 1969.

The most important street pattern is the semicircular street plan on the northern edge of the district. Accessed directly off South East Military Drive, the main entrance to this portion of the campus leads directly to the semicircular road located in front of Building 150. The road creates a large lawn in front of Building 150. A double loaded parking area is placed between the lawn and the road, creating parking on the perimeter of the lawn.

On either side of the semicircular drive a road extends to the east and west from the mid-point of the circle. These roads bend south on either side of the campus creating a visual edge to the east and west sides of the campus.

A connector road about two-thirds of the way through the campus connects these two side roads. This road serves as the primary east-west access through the campus. The southside of the road is lined with a number of one story buildings. Streets are asphalt with concrete curbs.

4.A. 2 Courtyards and Open Space

Lawns and open space are an important part of the character of the School of Aerospace Medicine Historic District. From the formal lawn in front of Building 150 the precedent is set that landscaping is important. As the circular drive continues behind Building 150, the road slices through a lovely open green space. Not a formal courtyard, the open space is nonetheless, an area surrounded by buildings filled with trees and other landscaping.

The plan of the campus is not a formal plan, therefore the open spaces created are more fluid and informal. Rather than a rigid or planned grid, the open spaces created by the placement of the buildings link spaces and places in an informal way.

The layout of the northern part of campus with its semicircular drives and subsequent lawn is an important feature of the historic campus. Linking of buildings through shared open space is also an important part of the character of the district.

4.A.3 Sidewalks

Sidewalks crisscross the landscaped open spaces helping to connect the buildings for pedestrians. The sidewalks are laid out in straight runs, parallel to the buildings, intersecting at right angles. Sidewalks don't meander, nor do they represent a pathway of convenience created by years of foot traffic from one place to another.

The sense of connectivity is an important characteristic of the campus. It is a pedestrian campus. This sense of walkability enhances the feeling of a campus environment. Sidewalks are constructed of grey concrete.



The exterior of Building 155 provides a pedestrian link to the building next to it, as well as an informal public space.



The exterior courtyard of this building is surrounded by a low brick wall to enclose the space.



Stairs lead to the raised courtyard behind a low wall, creating a semi-enclosed public space.

4.A CHARACTER OF THE PUBLIC REALM



Figure 8: The building orientation is thirty degrees off of north and arranged in a linear pattern.



Stairs lead down from the ground floor to a submerged parking and service area.



Submerged parking and service area.

4.A.4 Pattern of Building Location

The plan of the School of Aerospace Medicine Historic District campus reflects the mid-century planning aesthetics of suburban development. Formality and grid patterns were shunned. The semicircular curve on the north side of campus is a reflection of the sweeping curves found in many suburban neighbors from the same period.

The buildings are located within easy walking distance of one another, adding to the campus feel.

The buildings are all aligned and parallel, thirty degrees off of north. The placement of buildings within the site was determined much more by the function of the building rather than a prearranged formal pattern.

4.A.5 Parking

Parking on the campus is primarily located on the periphery, off of the main roads. A significant parking lot is located adjacent to the large curved street at the north side of campus. The parking location reinforces the curve, leaving a large swath of grass between the parking and Building 150. Similarly on the west side of campus, the parking is four rows wide, and parallel to the street, located away from campus. This historic arrangement of parking on the site emphasizes that the original designers did not allow parking to dominate the campus. Instead they tucked it away on the outside edges of the campus.

When parking was allowed in the interior, it was sometimes submerged below the natural grade, screening it from view. An example of this can be found between Buildings 125 and 130. The area also serves as a service area.

The two parking lots on the east are more typical of large-lot suburban parking. Trees help buffer some of the lots from the street.

CHAPTER 4 CHARACTER OF THE HISTORIC DISTRICT

4.A.6 Landscaping

Landscaping on the campus is dominated by drought resistant or native plants tolerant of the arid conditions of South Texas. With the exception of the front semicircular lawn, the landscaping is not irrigated.

Trees are intermittently spaced in a random pattern throughout the campus. There are some trees that align along the street edges, but these are not consistent or spaced in a perceivable pattern. It is difficult to tell whether this random pattern is intentional or is due to loss of original trees.

Shrubs tend to be adjacent to buildings and can usually be found in clusters near front doors or secondary entrances. They are also sometimes located in internal corners of buildings.

Tended flower beds do not exist. Some buildings such as Building 130 have raised stone planter boxes near the front door that are currently unattended.

A walled garden courtyard can be found at Buildings 100 and 180. Some of the original garden plants can still be seen, although currently overgrown and unattended. These spaces have the potential to once again become a special amenity to the building and a destination point of the campus.



Clusters of shrubs frame the entry to this building.

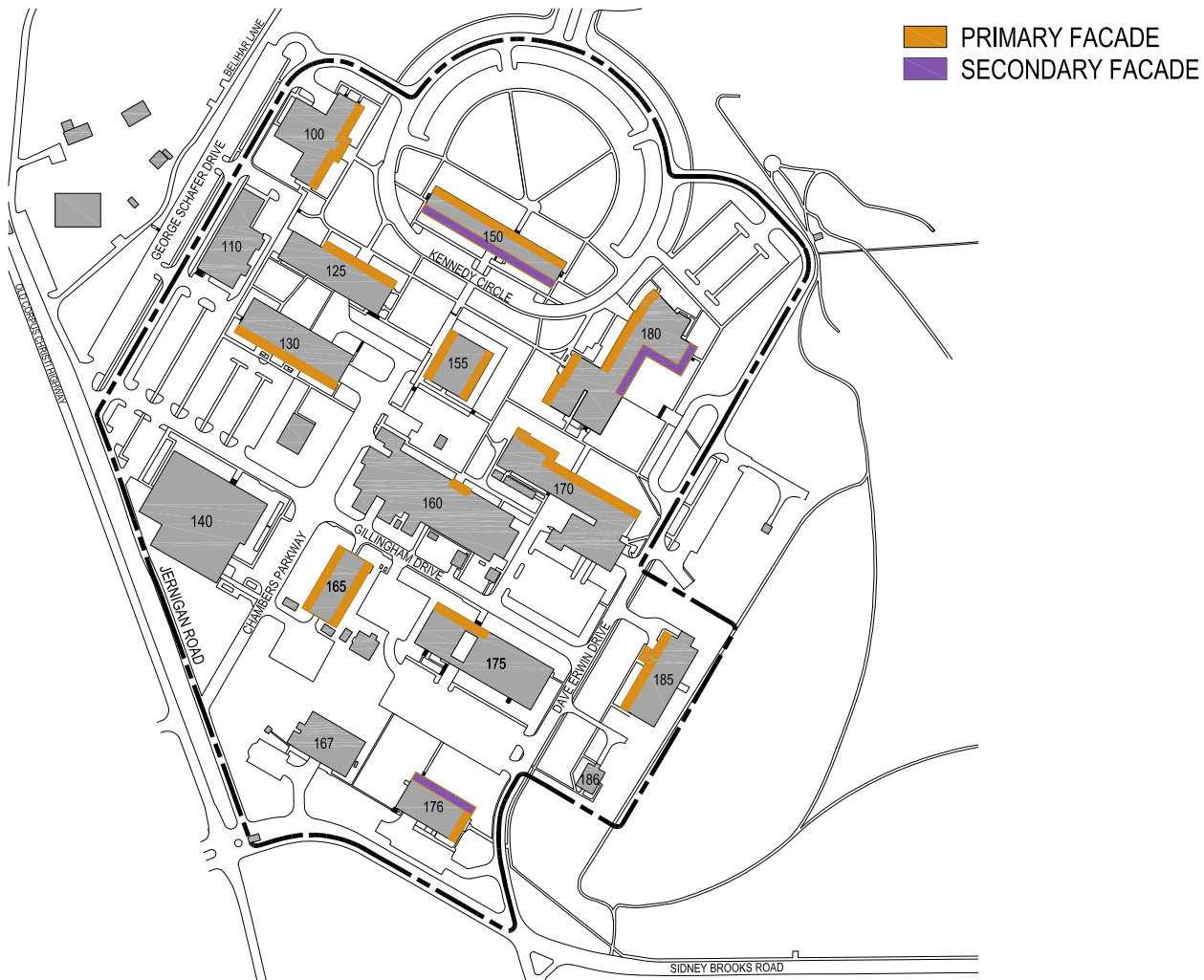


Trees line a street crossing through the campus. These define the pathways and provide shade for the pedestrian walks.



Interior courtyard

4.B CHARACTER OF THE SITE



4.B CHARACTER OF THE SITE

The Site refers to the way in which an individual building is situated within the campus. How buildings are oriented, where the front doors are located and where the service areas are placed are important elements in maintaining the historic campus feel. Location of service areas - the area ways, the loading docks, and the utility yards that provide the infrastructure for the campus - also contribute to the character of the campus.

4.B.1 Building Orientation

While there is not an established pattern for the direction of building fronts - there is a tendency to orient entrances either toward the center of campus or toward a major street. On the northern side of campus few buildings turn their backs to campus; however, on the southern end of campus, buildings are more likely to be oriented to the street.

4.B.2 Primary and Secondary Facades

Most buildings on campus have a primary facade, a secondary facade, and non-significant facades. The illustration above identifies the hierarchy of facades for each building. This diagram begins to identify the order of importance of the existing facades. See page 32-33.

Primary facades are those facades that contribute significantly to the character of campus. These facades are the most important. It is possible for a building to have more than one primary facade.

Secondary facades are those facades that have public entrances, or have some contributing architectural character, but are not the most important facades of the building.

All other facades are non-significant.

CHAPTER 4 CHARACTER OF THE HISTORIC DISTRICT

4.B.3 Service Areas

Service areas were originally placed so that they were unseen or visually unobtrusive. A number of design devices were used to help obscure the mechanical equipment, loading docks, and service areas.

Loading docks were located in the rear of buildings usually at different grade elevations. The change in grade visually hides these more unsightly areas. Low retaining walls or fences at the grade change helps to obscure the service areas.

A second method used to hide mechanical equipment was the use of an attractive brick screen. These brick screens are located throughout campus and are an effective way of improving an unsightly condition. More recent additions of mechanical equipment to the campus have not incorporated the brick screens instead surrounding the equipment with a chain link fence. These service areas are planned to receive screening.

A third method of hiding mechanical equipment was by locating it on the roof, set back significantly from the building edge. By placing the mechanical equipment away from the edge of the building, sight lines masked the equipment from ground level,



Loading dock located at the rear of a building.



Mechanical equipment screened behind a patterned brick wall.



Mechanical equipment located on the roof of a building to hide it from direct view.

4.C CHARACTER OF THE ARCHITECTURE

4.C.1 ARCHITECTURAL STYLE - MID-CENTURY MODERN



Mid-Century Modern Style

The Modern Style gained popularity among architects and their avant-garde clients between World War I and World War II, but didn't gain wide-spread popularity in the U.S. until the mid-1950's. A derivation of the International Style, Mid-Century Modern style has a unique set of common attributes that are readily identifiable.

Mid-century modern style buildings have clean lines, a strong horizontal emphasis, and expanses of unadorned walls. Structures are often low and feature a broad, raised foundation that serves as a base or platform for the main mass. The façade composition is asymmetrical, and usually features floor to ceiling windows, uninterrupted wall planes, exposed roof beams, deep eaves, and clerestory windows. Windows are often grouped as ribbons which can be either vertical or horizontal.

In general the Mid-Century Modern buildings of the School of Aerospace Medicine Historic District campus are unadorned simple rectangular shapes with little ornament. Buildings are typically brick with flat roofs. Floor to ceiling window openings, are offset by large sections of blank,

windowless walls. Vertical aluminum window with inset color panels are typical.

The façade is often asymmetrical but not always. Front entrances are subtle openings within the wall plane.

The typical materials used on the buildings are a light terra-cotta colored brick in a running bond pattern. The roofs and eaves are concrete. The windows are aluminum, and the color panels are generally small mosaic tiles that vary in color from light blue to turquoise. Metal spandrel panels are also common.

CHAPTER 4 CHARACTER OF THE HISTORIC DISTRICT

4.C.1.a MASSING/FORM

Massing is rectilinear - no curves, no angles. In plan and elevation the massing is simple and uncomplicated without setbacks or protrusions. Straight walls extend from foundation to roof.



4.C.1.b ROOF FORM

Roofs are flat. Roofs are not visible, except when the roof is extended as a flat cantilever above from the wall plane.



4.C.1.c WINDOWS

Windows are clear anodized aluminum. Generally they are vertical in configuration. Vertical strip windows with blue colored panels are the most common.



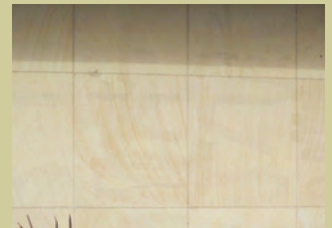
4.C.1.d FOUNDATIONS

Exposed foundations are concrete. They are recessed from the wall plane approximately one (1) foot.



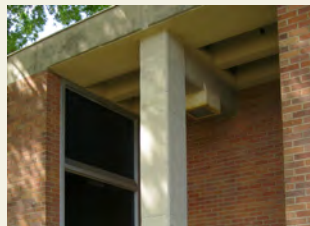
4.C.1.e BUILDING MATERIALS

The primary building material is light terra-cotta brick in a bond pattern. Faceted metal panels are found only on utilitarian buildings and on mechanical rooms located on roofs. Limestone is used for surrounds and at entrances.



4.C.1.f ARCHITECTURAL ELEMENTS

Architectural details include flat slab canopies, cut stone door surrounds, capped walls, brick screens, suspended slab stairs, and ceramic tile insets.



5



CHAPTER 5: DESIGN GUIDELINES

The Design Guidelines for the School of Aerospace Medicine Historic District are intended to help maintain and enhance the character of the Historic District by providing direction for the design and construction of new facilities, additions, and modifications of the existing buildings.

While Chapter 3 described the existing character of the Historic District and is a valuable resource when determining if a design is compatible, Chapter 4 attempts to articulate the “how” of compatibility.

The guidelines deal first with the larger issues of the public realm. The purpose is to maintain the campus like atmosphere of the Historic District ensuring that as the campus develops and expands it does so in the spirit of the original campus. Open space, green space, configuration of roads, sidewalks, and landscaping are included in this portion of the guidelines.

The next level is to look at how the additions and new construction align with current site patterns. The assumption is that if the site design aligns with

the patterns of the campus and is in context with the historic buildings on the campus, then the design has already come a long way toward becoming compatible.

Finally if the design is in alignment with both the public realm and the site design, the architectural style and detailing can be applied in a productive manner. The long and arduous task of using architectural details to solve fundamental siting or scale issues can be avoided.

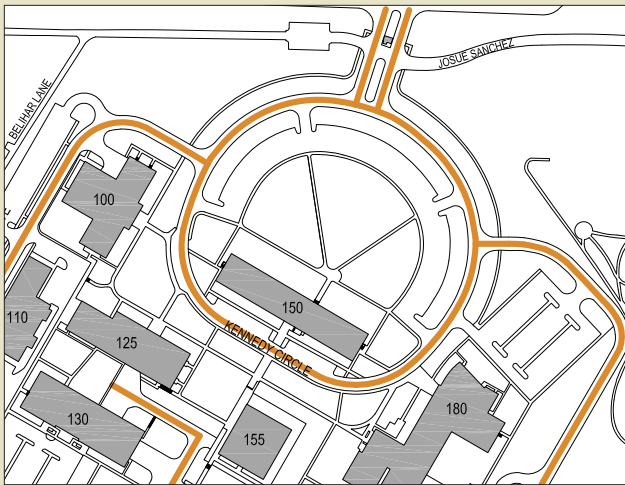
5.A PUBLIC REALM GUIDELINES



Retaining walls used on the campus to deal with changes in topographic elevations.



Streets are composed of asphalt or concrete with simple concrete curbs.



The semicircular drive on the north end of campus is a unique feature in the design of the streets.

5.A. PUBLIC REALM GUIDELINES

The intent of the Public Realm Guidelines is to maintain the natural and built elements that make the campus a unique and special place including the topography, vegetation, street patterns, and sidewalks.

5.A.1 Topography

- a. Original topographic elevations should be maintained. Earth work can occur during construction for subterranean development but upon completion the original topographic elevation should be retained.
- b. Change in topographic elevations should incorporate the use of retaining walls. When the change in elevation is less than 18 inches the retaining wall should appear as a curb on the higher elevation. When a larger change in elevation is required, the retaining wall should be capped with a low brick wall on the higher elevation.
- c. When there is a steep grade change across the building site, the floor elevation should be closer to the high end elevation, and the site should be sloped up to the floor on the lower elevation, similar to buildings on the south side of campus.

5.A.2 Street Patterns and Materials

- a. Improvements to the public right-of-way should retain the original layout of street patterns, especially the semicircular drive on the north end of campus, the two flanking streets, and the major cross streets. Slight modifications are acceptable, but the semicircular lawn defined by the parking pattern should remain.
- b. The width of existing streets contributes to the character of the districts and should be maintained.
- c. Streets should be constructed with asphalt or plain concrete with simple concrete curbs in keeping with the typical aesthetics of the 1950's and 1960's. Brick paving or stamped concrete in vehicular streets is not appropriate.

5.A.3 Street Trees

- a. Street trees should generally be planted along the edges of all streets.
- b. They should be planted between the building and the sidewalk, rather than in the parkway between the curb and the sidewalk. Planting the trees close to the sidewalk will help define the street edge, but the tree species should be kept in mind when choosing an appropriate distance from the sidewalk.
- c. Street trees found on the campus include live oak, sycamore, and cedar elm. A complete list of appropriate tree species can be found in Appendix A.
- d. Planting trees along the north side of the semicircular should be done in such away as to avoid blocking the view of the main campus, especially Building 150, from the South East Military Drive entrance.

5.A.4 Sidewalks

- a. Sidewalks should be constructed of grey concrete.
- b. Sidewalks should be laid out in a linear fashion, parallel to adjacent buildings or streets. Change in direction should generally be at right angles. Wandering, curvilinear sidewalks or meandering pathways are not appropriate.
- c. Generally sidewalks are 5-6 feet wide. At entrances to buildings they can align with the width of the entrance and can be much wider.
- d. Sidewalks adjacent to streets can be either directly adjacent to the street curb or can be inset with a parkway between the curb and the sidewalk.



Currently, there are trees lining many of the campus streets in a somewhat irregular manner.



Sidewalks are laid out in a linear fashion, which should be maintained with any additional sidewalks.



Sidewalk running perpendicular to meet a building.

5.A PUBLIC REALM GUIDELINES



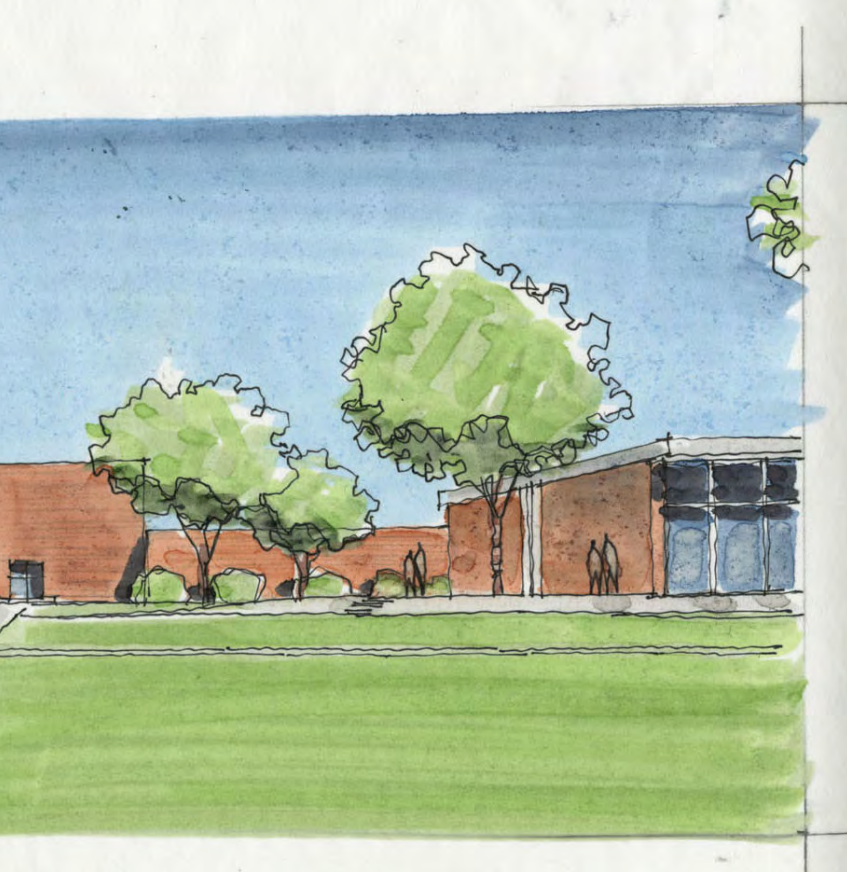
5.A.5 Parking

- a. Parking should not impinge on existing green spaces, except for parking identified in the Master Plan.
- b. Parking should be screened from the street with perimeter tree planting, at a rate of 1 tree for every 4 perimeter spaces.
- c. Use of trees in the interior of parking lots to provide shade is encouraged. The shade coverage should be no less than what is required by City Code.
- d. The parking layout should provide continuous flow of traffic through the lot.
- e. The design should allow safe movement of pedestrians from parking to buildings.
- f. The design should allow for appropriate landscaping of the parking areas without conflicting with site lighting.

- g. The use of pervious materials such as parking pavers or pervious concrete is encouraged.
- h. In general, parking lots should be located on the rear or side of buildings. The standard suburban model of parking adjacent to the front door should be avoided.

5.A.6 Landscaping

- a. The circular lawn in front of Building 150 is a significant part of the character of the district. It is also an important historic site and should be retained as an open green space.
- b. Landscape materials and plants should be tolerant of the arid south Texas climate. Avoid the use of plant material that requires excessive water. An approved plant list can be found in Appendix A.
- c. Shade trees such as Live Oaks, Mexican Sycamores, and Cedar Elms are commonly found on the campus. The continued use of these trees is encouraged. Other acceptable trees are



Landscaping connects the buildings on campus with public green space.

Pecan, Shumard Red Oak, Mesquite, Burr Oak, and Pin Oak.

- d. Mountain Laurels, Persimmons, Texas Redbud, Esperanza, and Pride of Barbados are also appropriate.
- e. Formal planted flower beds should be avoided as they are not in keeping with the traditional landscape of the district.
- f. Lawns and open green space should use native grasses or drought tolerant species appropriate for the climate.

5.A.7 Retaining Walls, Fences and Screens

- a. Retaining walls taller than 18 inches should be clad in brick to match existing terra-cotta colored brick found on the campus. Walls should be topped with a 4 inch grey concrete cap.
- b. Fences should be constructed of terra-cotta colored brick. Fences may be solid or open, in patterns found historically on the campus.

- c. Screen walls around equipment and trash containers should be constructed of terra-cotta colored brick in patterns found on the historic campus.

5.A.8 Service Areas

- a. Service areas should be located away from the primary facade of a structure whenever possible.
- b. Change of grade should be considered when locating service areas as this is the historic precedent found in the district.
- c. Take into consideration the view of the service area from other campus buildings, and minimize the impact.
- d. If possible use landscaping and screening to mitigate the view of service areas.
- e. All trash containers should be screened from view.

5.B SITE DEVELOPMENT GUIDELINES



5.B. SITE DESIGN GUIDELINES

The intent of the Site Design Guidelines is to provide direction in the placement and orientation of structures so that the “campus-like” character of the district is maintained. Respect and maintain the traditional relationships to the street, adjacent buildings, established configuration of open space, and the common orientation of structures.

5.B.1 Location & Scale of Additions

Refer to the Master Plan for appropriate locations of additions.

- a. It is acceptable to make additions to almost every building on the campus with the exception of Building 150 and Building 155. These two buildings are iconic to the district. They each have numerous sides that can be seen as architecturally significant. They are situated such that they can be seen from a variety of viewpoints. Therefore an addition on any side would significantly alter the character of the site.
- b. New additions should not be made to the Primary Facades of structures. See 4.B.3 for a listing of primary facades.
- c. New additions should not obscure or demolish character defining features of the original structure. Additions should be located inconspicuously on the least character defining elevation.
- d. New additions should not be so large that they overwhelm the original architecture because of location, size, height, or scale.
- e. Additions should be in keeping with the original architectural character, mass, scale and materials without mimicking the original design.
- f. If additions are made to the side of a structure, the addition should be recessed a minimum of 1 foot from the front facade for the entire length of the addition’s facade.



Green space and landscaping improves the common areas located between the apartment buildings.

5.B.2 Location & Orientation of New Buildings

Refer to the Master Plan for appropriate locations of new buildings.

- a. In keeping with the existing development patterns, new buildings should be developed in grouped arrangements around common green space. Site development across the entire campus should not be formal or symmetrical in design.
- b. New buildings should align with existing buildings, being approximately 30 degrees off of north.
- c. New buildings should be sited in such a way as to create green open space on at least one side of the building.
- d. New buildings adjacent to streets or parking should be buffered with street trees and plants.
- d. New buildings should have both a formal entrance on the street side, and a secondary entrances onto the common green space.

5.B.3 Common Greenspace

Refer to the Master Plan for appropriate locations of common greenspace.

- a. Common greenspace, adjacent to more than one structure is encouraged.
- b. Common greenspace should be accessible from the adjacent buildings.
- c. Common greenspace should be linked by an interconnected system of sidewalks.
- d. Greenspace should have both lawns and trees that can be enjoyed both physically and visually.
- e. Greenspaces should not be fenced or isolated from the rest of campus.
- f. Electric substations, HVAC equipment, and other large mechanical equipment should not be located within the common green space.

5.B SITE DEVELOPMENT GUIDELINES

5.B.4. Primary Building Orientation

There are certain structures on the campus that have historically significant facades. These special facades are part of the character defining features of the district and should not be modified or altered. In general, these facades face either major streets, entrances, or public open space. The guiding principle should be that if someone associated with these building in their period of significance were to return, they would immediately be able to recognize and identify these buildings.

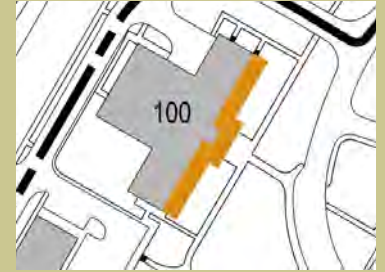


Significant Facades

100

PRIMARY FACADE

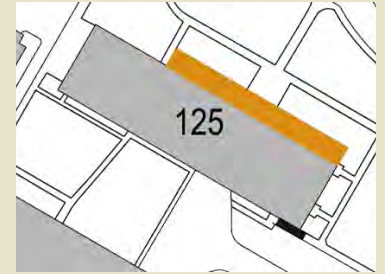
The central projecting front entrance facade is architecturally significant and should not be modified. The two flanking wings can be modified with the addition of windows.



125

PRIMARY FACADE

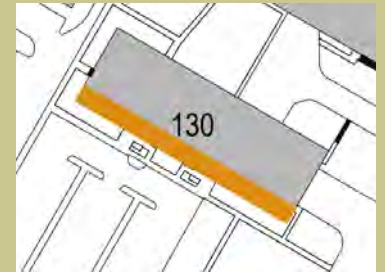
The entrance facade of Building 125 has prominent features that should be retained on the ground floor, but due to the lack of windows currently in the facade, some modifications may be made for daylighting purposes.



130

PRIMARY FACADE

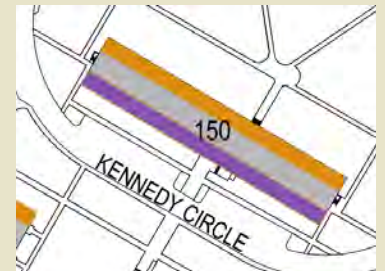
The primary facade of Building 130 is architecturally significant around the entrance, and should not be modified.



150

PRIMARY/SECONDARY FACADE

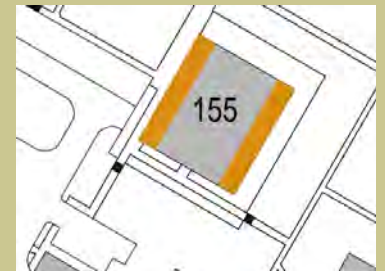
The front facade is an important element of the historic district & should not be modified. The rear facade contributes to the south open space & should only have minor modifications.



155

PRIMARY FACADES

The library building has two principal facades: the east and the west. These facades are unique in the district and should not be modified.



Significant Facades

160

PRIMARY FACADE

This small portion of the main facade on Building 160 is architecturally significant because of the unique glass entrance. It should not be modified.



165

PRIMARY FACADE

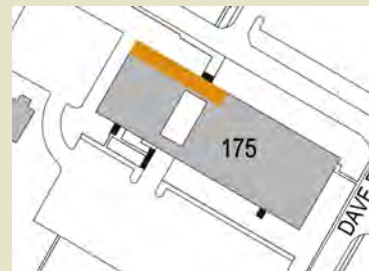
The power plant building's western facade is a unique on campus and should be retained.



175

PRIMARY FACADE

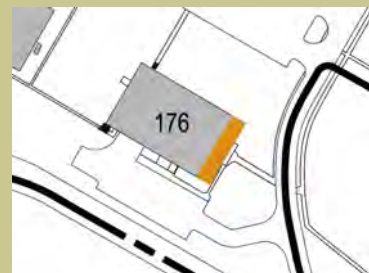
The breezeway and the remaining facade to the west are important elements in the district and should be retained.



176

PRIMARY FACADE

The entrance facade of Building 176 occupies a prominent position at the southern entrance to the campus. This facade should not be modified.



180

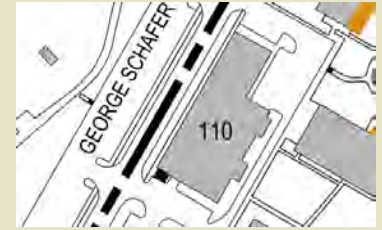
PRIMARY/SECONDARY FACADE

The two part western facade is architecturally significant and should not be modified. The eastern facade contributes to a green space just east of the building and should only have minor modifications.

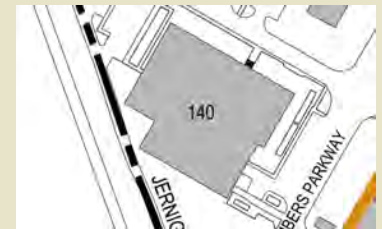


Insignificant Facades

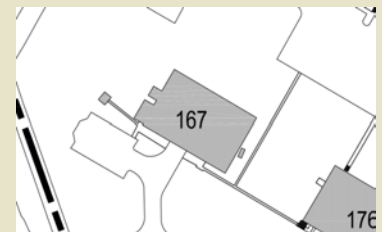
- 110** **INSIGNIFICANT FACADES**
Building 110 contains no significant facade and can be modified on any side of the building.



- 140** **INSIGNIFICANT FACADES**
Building 140 contains no significant facade and can be modified on any side of the building.



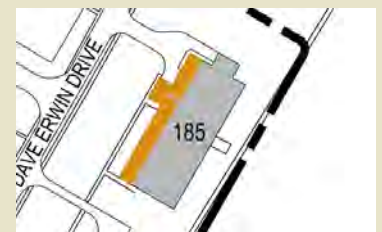
- 167** **INSIGNIFICANT FACADES**
Building 167 contains no significant facade and can be modified on any side of the building.



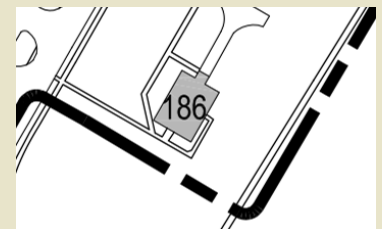
- 170** **INSIGNIFICANT/PRIMARY FACADES**
Building 170 contains a significant facade on the north side and all other facades can be modified on any side of the building.



- 185** **INSIGNIFICANT FACADES**
Building 185 contains no significant facade and can be modified on any side of the building.



- 186** **INSIGNIFICANT FACADES**
Building 186 contains no significant facade and can be modified on any side of the building.



5.C ARCHITECTURAL DESIGN GUIDELINES



Building 125 with no modifications to the exterior facade.

5.C. ARCHITECTURAL DESIGN GUIDELINES

The intent of the Architectural Design Guidelines is to provide guidance for alterations and modifications to existing buildings, additions to existing buildings, and for the design of new buildings.

5.C.1 GENERAL

Alterations and modifications, additions, and new construction should recognize and respect the historic elements and patterns that exist within the campus.

EXISTING BUILDINGS

The campus is made up of a variety of buildings that were built for very specific scientific purposes. To re-purpose the existing buildings for the future some alterations and modifications will need to be made. These alterations and modifications will need to be undertaken with great care, so as to make the buildings usable but still retain the spirit and character of the original design.

NEW CONSTRUCTION

The design of additions and new structures should respond to the character of existing structures, using them as a source of inspiration. New construction should avoid trying to slavishly copy an existing structure or to create an artificial history by duplicating historic styles and designs that are not associated with the campus. For example, even though Spanish Colonial Revival can be found at the historic base headquarters, it is not appropriate for School of Aerospace Medicine Historic District which was built primarily in the 1950's and 60's.



Building 125 showing an example of modifications. The additions are in keeping with the style of the campus.

5.C.2 ALTERATIONS AND MODIFICATIONS TO EXISTING STRUCTURES

Not all buildings on the campus of the School of Aerospace Medicine Historic District are equal. Based on earlier research conducted by the Air Force, it has been determined that certain buildings have more historical or architectural significance. Those structures with significant architectural integrity should retain their character defining elements, and changes should be minimal on their primary facades. Their secondary facades can be modified within the character of the building. Their rear facades, service facades, or non-significant facades can tolerate a greater degree of change.

Other buildings, with less architectural significance, were often built as windowless boxes. Substantial modifications to these buildings within the vocabulary of the existing structures may be needed to make them viable in the future.

5.C.2.a. Exposed Foundations

1. Exposed concrete foundations should be retained.

2. They should not be covered with another material.
3. The foundations are generally a minimum of 1 foot above grade and no more than 4 feet above grade on the primary facade. The height may vary on the other elevations, depending on the grade conditions. Grade should not be substantially modified to change or obscure the exposure of the foundation.

5.C.2.b. Building Walls and Materials

1. Exposed concrete floor slabs provide a strong horizontal base for the masonry walls above. These exposed slabs should be retained.
2. Projecting out from the face of the foundation wall, exposed concrete floor slabs create a strong shadow line. This is an important character defining feature that should remain.
3. The primary building material is a medium terra-cotta colored brick. Modifications should the building should strive to remain.

5.C ARCHITECTURAL DESIGN GUIDELINES

3. The primary building material is a medium terra-cotta colored brick. Modifications to the buildings should strive to match this brick in color, texture, and size. The mortar color, size, and finish should also match as closely as possible.
4. Brick masonry walls should be flat and unadorned. No mouldings, or projecting courses should be used.
5. Specialty tile panels are used on the library. These are character defining and should be retained as wall material. Replacement tiles should match in color, size, and pattern.
6. Buildings 160 and parts of 170 use exterior formed metal panels as the primary building material. This material is not significant and could be replaced with another similar metal

panels that is in keeping with the scale and character of the original.

7. The color range of brick in the district is limited. Alterations and modifications to existing structures should use the color palette already in place. No new brick colors should be added.

5.C.2.c Roofs

1. Roofs are flat. Roofs should not have a visible pitch. Roofs should not be visible.
2. Roofs should be located behind a small parapet with a minimum of 6 inch vertical drop in the cap flashing.
3. The roof of Building 155 has a cantilevered eave that is an important character defining feature. It should not be removed. Awnings

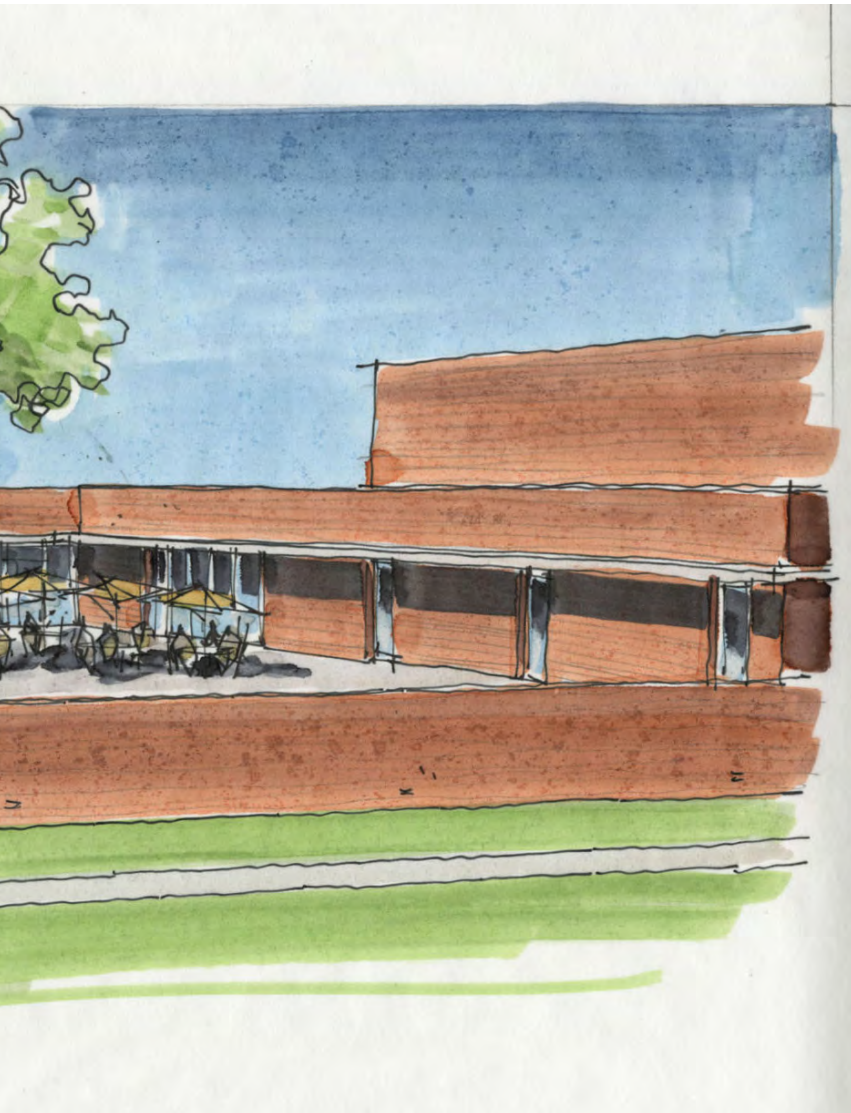


or other features should not be hung from the eave.

4. Flat, cantilevered slabs as canopies are appropriate.

5.C.2.d Rooftop Penthouses

1. Metal-sided rooftop penthouses are present on many of the buildings. These rooftop penthouses may be modified and readapted as clerestories to allow light to reach the interior spaces.
2. Modifications to the rooftop penthouses are appropriate as long as the modifications do not increase the height, and the additions are set well back from the edge of the roof.



5.C.2.e Doors and Entrances

1. Front entrances on significant buildings are visually apparent. However, there are a number of buildings on the campus that have no discernible entrance. In the future it might be necessary to create a more significant entrance to these structures. Adding a more visually apparent entrance would be appropriate as long as the new entrance is in keeping with the character of the district and appropriate to the specific structure.
2. New entrances should be delineated by a punched opening inset with an aluminum storefront consistent with other aluminum systems used on that particular building. Or if none is present, consistent with other aluminum storefronts on the campus. An alternative way of expressing the entrance is through the use of a contrasting masonry surround as found on Building 130.
3. Doors should be aluminum and glass, consistent with the aluminum storefront found on that specific building. In some cases the entrances doors are solid wooden doors, and on those buildings, wooden doors should be used to be consistent.
4. A projecting flat slab above the entrances is also appropriate. The slab should be masonry in appearance, cantilevered, and relatively thin in profile.

5.C.2.f Architectural Details and Features

1. Throughout the campus, there are a number of architectural features that add to the character of the campus. Low planters, slab steps, and projecting flat slab canopies are part of the architectural vocabulary that should be maintained and not removed.
2. Inappropriate additions, such as the metal cover on the courtyard of Building 180, may be removed if the addition is determined to be non-contributing.

There are many opportunities for enhancing existing elements throughout the campus, such as this courtyard at BLDG 180.

5.C ALTERATIONS AND MODIFICATIONS

5.C.2.g Windows

1. A variety of window systems used on the campus are all within a Mid-Century architectural vocabulary. All new windows added in an alteration or modification should be selected from the existing window patterns. No new window types should be added.
2. New windows should not be added to facades that are considered character defining. A list of these facades that should not have windows can be found on pages 32-33.
3. When adding new windows the rhythm and

spacing ratio of windows to massing on an existing building should preferably match the patterns of the existing building. In some cases it might be more appropriate to reflect patterns and ratios found on other parts of the campus.

4. Large expanses of uninterrupted brick can be found on almost all buildings on campus. It is important to maintain a strong presence of masonry in these buildings. The dominance of the original brick walls should remain as character defining with new windows subordinate to the solid mass.



These five examples are indicative of the typical window systems currently in use throughout the campus. New windows should be similar in character to these examples.

CHAPTER 5 DESIGN GUIDELINES

5. Windows should be clear anodized aluminum systems and/or storefront systems. Bronzed aluminum is prohibited.
6. The color panels in new windows should be a different color than the original blue/turquoise to differentiate original from new.

The four window systems below are examples of large feature windows found on various buildings on The Hill campus. These should be used sparingly.



AVOID

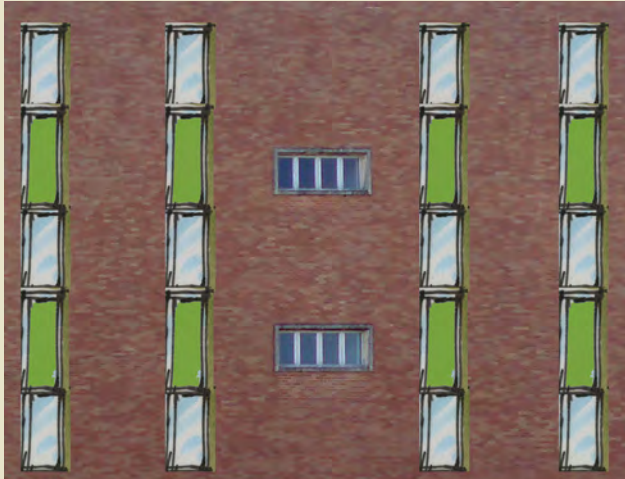


This last example of window design is currently found on The Hill campus - and should not be mimicked or replicated anywhere.

These windows are found only in an isolated occurrence within the campus and are not representative of typical windows from the time of The Hill campus original development.

The many other window system solutions found on campus should be used over this to reinforce the good design solutions of the historic buildings.

5.C ALTERATIONS AND MODIFICATIONS



Windows can be added to mostly window-less facades as long as they remain in the character of the historic windows.



Massing of buildings should be rectilinear.

5.C.3 ADDITIONS AND NEW CONSTRUCTION

Additions and new construction within the Historic District are encouraged. Over time as new uses are found for older buildings, changes will occur on the campus. The success of attracting new business often leads to a demand for more space. This is good for the long term health of the district. Viable uses and occupied spaces help keep buildings well maintained. New construction adds energy and people to the district.

It is the intent of these guidelines to first encourage reuse of existing buildings, secondly to promote additions, and lastly to guide the construction of new buildings.

5.C.3.a General

1. Building additions and new construction should be in keeping with the original architectural character, color, mass, scale, and materials.
2. New additions should not be so large as to overwhelm the original structure because of location, size, height, or scale.
3. New additions should not obscure or demolish character defining features of the original structure.
4. New construction should blend and balance with the existing buildings by acknowledging and echoing the primary design characteristics of the district.

5.C.3.b Location of Additions and New Construction

1. Refer to the Master Plan on page 8 to determine appropriate locations for additions and new construction.
2. Additions should be located inconspicuously on the least character defining elevations.
3. Additions should be to the rear of the existing structure or as far away from the public street unless there is sufficient width to the side.
4. When there is sufficient width to the side, additions should be recessed by at least one (1) foot behind the existing facade.

5.C.3.c Massing and Height

1. Massing of buildings should be rectilinear.
2. The massing should be horizontal, rather

than vertical. The horizontal dimension should at a minimum be twice as long as the vertical height. It is preferred that the horizontal dimension be three (3) times greater than the height.

3. The horizontal massing should be emphasized through the use of strong horizontal bands at top of walls, at rooflines, and at foundations.
4. New construction should be two stories in height, or not to exceed 35 feet. In a building addition, the new construction should not exceed the height of the existing structure.

5.C.3.d Roofs

1. Roofs should be flat. Any slope should not be visible from the ground.
2. Pitched roofs, shed roofs, gable roofs, hipped roofs, mansard roofs, curved roofs, etc. should be avoided.
3. Projecting roofs and canopies are allowed as long as the projection is flat.
4. Visual emphasis of a flat roof may be articulated through the use of a strong horizontal band/beam at the parapet.
5. Top of parapets should be flat.
6. Mechanical equipment should be located away from the edge of the roofs and screened with metal panels.

5.C.3.e Exterior Wall Materials

1. All brick used on campus should match the existing terra-cotta colored brick in color, size, and texture.
2. When constructing an addition the brick should also match the masonry pattern, spacing, and mortar joints of the original building.
3. New construction should be brick masonry, aluminum storefront, glass, pre-finished metal spandrel panels, or ceramic tile panels similar to materials on the historic campus.
4. Cementitious stucco, synthetic stucco - or EIFS systems, tilt wall, fiber cement siding, wood siding, and exposed concrete block are prohibited.
5. Stone is prohibited as a primary exterior material and should be limited to decorative surrounds and details that are consistent with existing decorative surrounds in type and size.



Projecting roofs and canopies are allowed as long as the projection is flat.



Existing terra-cotta colored brick.

5.C ALTERATIONS AND MODIFICATIONS



Exposed foundations should be set back from the face of the wall construction, similar to what can be seen on campus.



Windows on new additions should be similar in character and style with the windows on the original buildings.

6. Metal wall panel systems may be used when adding on to an existing metal sided building. Metal wall panel systems may not be used for any other additions or for new construction.
7. Any other exterior material not expressly prohibited may not be used without a Certificate of Appropriateness approving a specific material.

5.C.3.f Foundations

1. Exposed plinth foundations are encouraged.
2. If exposed, foundation walls should be made of exposed grey concrete to match those found on campus.
3. If exposed, the foundation stem wall should be set back from the face of the wall construction by no less than one (1) foot.

5.C.3.g Windows

1. Windows on new additions should be similar in character and style with the windows on the original building. For example If vertical floor to ceiling window panels are used on the original building, the new addition should use similar floor to ceiling vertical windows.
2. Sometimes it might be necessary to add windows to an existing building as described in Section 5.C.2.g. In this case the windows of the addition should be compatible with the new windows added to the original building and be similar in character and style.
3. The spacing and pattern of mass to void, or windows to walls, in new additions should have the same overall pattern as the original or modified facade.
4. The spacing and pattern of mass to void, or windows to walls, in new construction should have the same overall pattern as can be found in other historic buildings on campus.
5. In new construction the historic rhythms of mass to void may at times be reversed as long as the overall pattern is sympathetic to the original character of the campus.
6. Uninterrupted wall planes between windows is an important characteristic and should be mimicked in additions and new construction.
7. Windows should be clear anodized window

and/or storefront system, including doors. Bronze and other colored systems are prohibited. Painted hollow metal, and wood storefronts are prohibited.

8. Window types are described in Section 5.2.C.g as either common or unique. In new construction, common types of windows should be used for general windows, and unique patterns and types should be reserved for use as highlights or accents within a composition.

5.C.3.h Exterior Doors

1. Entrance doors should be easily distinguished as a place of entrance.
2. They should be articulated by using glass surrounds, and/or projecting canopies, and/or stone surrounds (as found in Bldg. 160.)
3. Entrance doors should be clear anodized aluminum frames with single glass lite panels.
4. A building may have more than one point of entrance. Each pedestrian entrance should be articulated, as defined above.
5. Service doors and emergency exit doors may be painted hollow metal doors without lites.

5.C.3.i Clerestory Additions

1. Many of the existing buildings on campus have mechanical penthouses that are one story in height, set back significantly from the edge of the roof, and constructed of fluted metal panels. It is acceptable to modify these structures as clerestories and light wells as long as the original shape and location of these roof structures are preserved.
2. Miscellaneous, unused mechanical equipment (exhaust fans, HVAC equipment) associated with these structures may be removed.



Entrance doors should be easily distinguished as a place of entrance with articulations.



Entrance doors may be articulated by using glass surrounds.

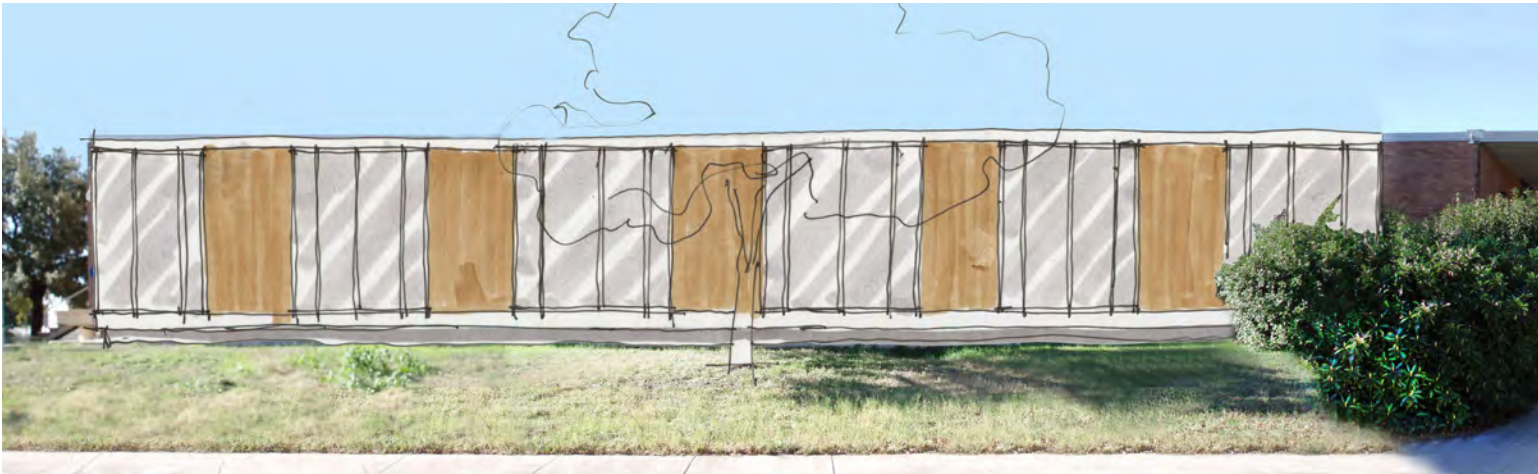


Roof additions can be modified as clerestories and light wells.

5.C ALTERATIONS AND MODIFICATIONS



Conceptual Design for replacement of Building 140. View from Gillingham Drive and Chambers Parkway



Conceptual Design for **partial** replacement of Building 175E, OPTION 1



Conceptual Design for **partial** replacement of Building 175E OPTION 2



These images show three different schemes for reconstruction that are in keeping with the historic character of the campus.

5.D COMMON ISSUES



Accessible ramp leading to the library. Does not interfere with the historic facade or character because of placement.



Figure 9: An example of a ramp leading to the entrance of a building that incorporated elements of the building.

5.D COMMON ISSUES

The following design guidelines are for use throughout the campus. They identify and define issues that are common to all areas and buildings on the campus.

5.D.1 Accessibility

a. Many of the historic buildings on the campus do not meet current accessibility standards. When bringing the structures into compliance, it is important not to remove or destroy character defining features such as the suspended slab staircases. The slab staircases should remain as a dominant feature while allowing accessibility ramps to slide in behind or to the side of the upper landings.

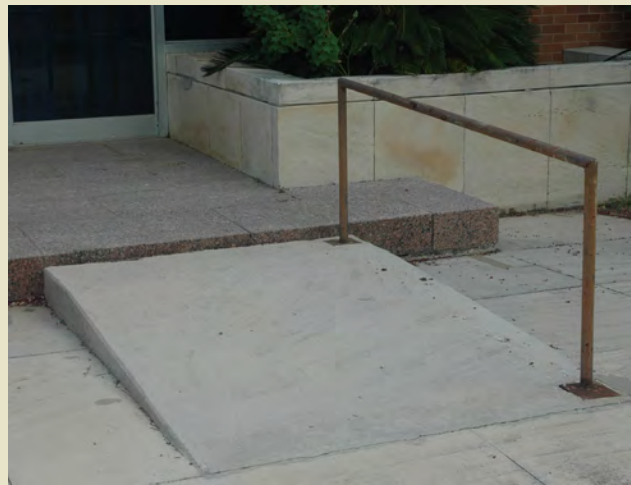
b. Inappropriate ramps have been added over the years. These should be removed and replaced with more sympathetic and integrated designs.

c. Because ramps were not part of the original vocabulary, they should not become dominant features in the landscape. Low brick walls with concrete caps are a part of the architectural vocabulary of the campus. Use low walls located parallel to structures as an appropriate way to screen ramps.

EXAMPLES OF POORLY DESIGNED RAMPS ON CAMPUS



While this ramp does not interfere with the primary facade, it should be integrated more with a wall or other element.



An example of an existing ramp on campus that should not be mimicked.

5.D.2 Exterior Lighting

a. General campus lighting should be mounted on individual poles no higher than fifteen (15) feet. Dark sky fixtures are mandatory. There should be no glare.

b. Parking lot lighting should be from poles no taller than thirty (30) feet. Ground level illumination with service directed light should be provided for pedestrians. Dark sky fixtures are mandatory.

c. Building lighting should produce no glare and have no visible light source. Indirect lighting of building surfaces is encouraged. Landscape lighting should be used to provide ground level illumination.

5.D.3 Green/Sustainable Features

a. Solar panels are acceptable on the roofs of historic buildings with the following caveats: 1) panels are only located on the southern portions of the roof; 2) panels are only visible from secondary or non-significant facades; 3) panels have no more than a 20% slope.

b. Water retention cisterns are encouraged, but should be located underground. They are not part of the historic vocabulary and should not become a dominant visual feature on the campus.

c. Bicycle racks are encouraged and may be located anywhere on campus.

d. Bus stops should be designed in character with the rest of the campus. An existing stop on Kennedy Circle should be re-used.

e. The continued use of recycled water for irrigation is encouraged.



Figure 10: Bicycle racks can be used throughout the campus.

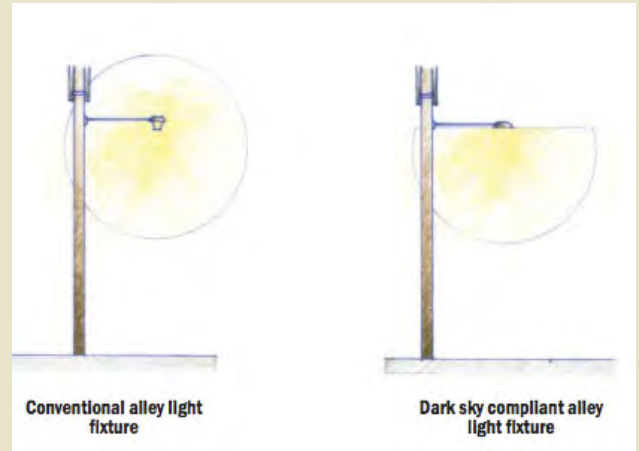


Figure 11: Dark sky compliant lighting diagram. Image source: apartmenttherapy.com



Figure 12: Underground water retention cisterns are encouraged.



Figure 13: Exterior lighting should produce no glare and have no visible light source. May illuminate building surface.

5.D COMMON ISSUES



Figure 14: All signage must be three-dimensional



Figure 15: Three-dimensional Neutra font wayfinding numbers.



Historic signage on the campus.

5.D.4 Signage

5.D.4.a. Tenant Building Signage

1) Signing should be limited to trade name and logo only.

2) Signage should be three-dimensional and may be mounted no higher on the building surface than the finished height of the floor of the second level of the building or the first floor roof surface.

3) Primary tenant building-mounted signs located on building surface should be individual dimensional letter signs in reverse-channel halo form at a maximum of 16 inches tall and 4 inches-6 inches in depth.

4) All equipment, transformers, raceways, ballasts, crossovers, and conduit should be concealed within the building envelope.

5) All signage should be of the highest quality construction, materials, details, and finishes. All light sources should be concealed.

6) Tenants in Building 160 and 125 may place their name on the storefront glass at the entrance to the building.

5.D.4.b. Inappropriate Sign Materials

1) Exposed neon

2) Flashing lights

3) Animated components

4) Illuminated, acrylic-faced channel letters, or trim caps

5) Cabinet signs with illuminated, translucent background and silhouette letters or internally illuminated box-type plex-faced signs

6) Vacuum-formed plastic letters

7) Plastic materials of any kind, including acrylic letters

8) Signs utilizing paper, cardboard, stickers, or decals applied to entry glazing

9) Sandblasted wood signs in natural wood finish with painted, raised letters and/or logos

10) Exposed raceways, ballast boxes, transformers, crossovers, or conduit.

11) Translucent internally illuminated awning-type signs

12) The name, stamps, or decals of the sign manufacturer may not be displayed on any portion of any sign. Non-ornamental hardware used to attach sign to storefront may not be exposed to view.

5.D.4.c. Campus Wayfinding Signage

1) Campus wayfinding systems should respect the historic signage of the Hill campus in construction and selection of typeface font. Acceptable fonts are “Futura Medium” and “Neutra”. Other applications of alternate fonts are subject to review and will require a Certificate of Appropriateness.



ABCDEFGHIJKLMNOPQRSTUVWXYZ
 abcdefghijklmnopqrstuvwxyz
 1234567890—&

Figure 16: Futura Medium is appropriate for campus wayfinding signage.



ABCDEFGHIJKLMNOPQRSTUVWXYZÀ
 abcdefghijklmnopqr
 stuvwxyzàåéîõøü&
 1234567890(\$£€.,!?)

Figure 17: Neutra is another appropriate font for campus signage.

6



CHAPTER 6: DEMOLITION

From time to time it may be necessary to demolish a structure within the Historic District. A demolition undertaking is an important and significant step and will permanently alter the character/integrity of the campus; therefore demolition should be an order of last resort. All other alternatives should be explored prior to seeking a demolition.

The following Chapter outlines a series of criteria to be used when determining if demolition is appropriate. A number of well written surveys and reports have already been conducted at Brooks. These were part of the Section 106 review mitigation during the conveyance process. Both the *Brooks Maintenance and Management Manual* and the *Historic American Building Survey and Report* address the significance and eligibility for individual listing on the National Register of Historic Places, a federal program administered by the Texas Historical Commission in coordination with the National Park Service that provides national recognition of the property's historic or architectural significance and denotes that it is worthy of preservation. These are excellent resources for further information.

The Chapter will explore Non-contributing and Contributing buildings. Other criteria will include construction date, historical events/ significance, environmental concerns and conformance to the Master Plan. Finally the idea of mitigation will be discussed as a part of demolition.

6.A ESTABLISHING A CRITERIA FOR DEMOLITION

HISTORICAL SIGNIFICANCE



CONSTRUCTION DATE



6.A. Demolition of Non-Contributing Structures

All structures identified in the Brooks Maintenance and Management Manual as Non-Contributing are eligible for approval of non-contributing status by the HPO, and if approved will be eligible for the non-contributing demolition process as outlined in the City of San Antonio Unified Development Code. An exception to this is Building 165, the Power Plant.

6.B. Demolition of Contributing Structures

Demolition of a contributing structure is a serious responsibility and should not be undertaken without serious consideration. Potential contributing structures are identified in the Brooks Maintenance and Management Manual. Demolitions should be an order of last resort. Each demolition should be considered individually. An earlier demolition should not serve as a precedent for the approval of another demolition.

Below are a list of considerations that can be used to evaluate whether a building may be eligible for demolition. These are not the only considerations for evaluation and in no way supersede the City of San Antonio's Unified Development Code.

6.B.1 Historical Significance

The historical significance of a structure refers to the particular historic events, people, construction, design, or style associated with a particular building. Is the building a visual reminder of something, or someone, or some event associated with the School of Aerospace Medicine? A thorough history of the buildings on campus is available in the Historic American Building Survey of the property.

6.B.2 Construction Date

The age of a building is an important consideration regarding the significance of a structure. There are certain events associated with the School of Aerospace Medicine Historic District that stand out as more important than others. The school's relationship and association with early space flight in the United States is important, and those buildings associated with the program in the early 1960's are more important than other events that occurred on the campus. Generally the earlier the building was constructed, the more significant. This is not always true and there are other factors besides age, that contribute to the significance.

6.B.3 Environmental and Functional Concerns

Throughout the country, as a result of base closure

decisions, many types of military facilities present problems for reuse due to their specific functional design and past activities that cannot be clearly evaluated. Several of the buildings within the School of Aerospace Medicine Historic District primarily functioned in the past as laboratories used for specific scientific research and medical testing. Prior to the relocation of the Department of Defense missions, all of The Hill campus buildings were thoroughly assessed for potential environmental impacts associated with past activities, and any necessary clean-up was completed when the facilities were vacated in 2011. Each of these structures was determined to be safe to reutilize. However, continued use of some of the buildings would be extremely difficult because of their highly specific functional design. While appropriate for 1950's and 60's era research, these facilities have become obsolete and would be extremely costly to renovate for other uses. Moreover, perceived concerns associated with the types of past research activities (e.g. radiological) that occurred within these facilities remain. Consideration should be given for the limited use of these facilities because of the past military research applications which have no functional counterpart today.

6.B.4 Conformance with the Master Plan

The campus for School of Aerospace Medicine Historic District is part of the larger Brooks City-Base development. It is no longer a military installation. The Master Plan lays out a vision for the future of the campus as part of a multi-use complex. Demolitions of individual buildings should be done in consideration of the greater complex. Adjacencies are important and how the campus relates to those adjacencies will have a long term effect on the viability of the campus. These factors should be carefully considered prior to the consideration for demolition.

5.B.5 Views, Focal Points and Terminus

Certain buildings are located in prominent positions on the campus. They help to anchor important corners or serve as a terminus of a vista at the end of a street. These significant sites should be taken into consideration when contemplating demolitions. It may be necessary to preserve a façade or to require the replacement structure provide an equally significant architectural focal point or terminus.

6.B.5 Mitigation

If a demolition is approved as per the Unified

Development Code, applicants should consider providing a mitigation for the loss. For example, restoration of Building 165, (a non-contributing building) might be considered as part of the replacement plans to offset the loss of any contributing building..

TREES

COMMON NAME	SCIENTIFIC NAME
Anacacho Orchid Tree	<i>Bauhinia lunarioides (congesta)</i>
Anaqua	<i>Boraginacea ehretia Anacua</i>
Arizona Cypress	<i>Cupressus Arizonica</i>
Bald Cypress	<i>Taxodium distichum</i>
Basswood	<i>Lilia caroliniana</i>
Big Tooth Maple	<i>Acer grandidentatum</i>
Blanco Crabapple	<i>Malus ioensis</i>
Bur Oak	<i>Quercus macrocarpa</i>
Carolina Buckthorn	<i>Rhamnus caroliniana</i>
Cedar Elm	<i>Ulmus crassifolia</i>
Chinkapin Oak	<i>Quercus muehlenbergii</i>
Desert Willow	<i>Chilopsis linearis</i>
Escarpment Cherry	<i>Prunus serotina var. eximia</i>
Escarpment Live Oak	<i>Quercus fusiformis</i>
Eve's Necklace	<i>Sophora affinis</i>
Flame Leaf Sumac	<i>Rhus lanceolata</i>
Golden Ball Lead Tree	<i>Leucaena retusa</i>
Gum Bumelia	<i>Bumelia lanuginosa</i>
Hoptree	<i>Ptelea trifoliata</i>
Kidneywood	<i>Eysenhardtia texana</i>
Lacey Oak	<i>Quercus glaucoides</i>
Littleleaf Walnut	<i>Juglans microcarpa</i>
Live Oak	<i>Quercus virginiana (fusiformis)</i>
Madrone	<i>Arbutus xalapensis</i>
Mexican Buckeye	<i>Ugnadia speciosa</i>
Mexican Olive	<i>Cordia boissieri</i>
Mexican Plum	<i>Prunus mexicana</i>
Mexican White Oak	<i>Quercus polymorpha</i>
Montezuma Cypress	<i>Taxodium mucronatum</i>
Mountain Laurel	<i>Sophora secundiflora</i>
Pecan	<i>Carya illinoensis</i>
Possumhaw Holly	<i>Ilex decidua</i>
Rough Leaf Dogwood	<i>Cornus drummondii</i>
Retama	<i>Parkinsonia aculeata</i>
Rusty Black-Haw	<i>Viburnum rufidulum</i>
Shumard Red Oak	<i>Quercus shumardii</i>
Smoke Tree	<i>Cotinus obovatus</i>
Soapberry	<i>Sapindus saponaria var drummondii</i>
Spicebush	<i>Lindera benzoin</i>
Texas Ash	<i>Fraxinus texensis</i>
Texas Persimmon	<i>Diospyros texana</i>
Texas Pistache	<i>Pistacia texana</i>
Texas Redbud	<i>Cercis canadensis var texensis</i>
Texas Walnut	<i>Juglans major</i>
Tracy Hawthorne	<i>Crataegus tracyi</i>
Wax Myrtle	<i>Myrica cerifera</i>
Witchhazel	<i>Hamamelis virginiana</i>
Yaupon Holly	<i>Ilex vomitoria</i>

APPENDIX A: BDA APPROVED PLANT LIST

SHRUBS

COMMON NAME	SCIENTIFIC NAME
Agarita	<i>Berberis trifoliolata</i>
American Beautyberry	<i>Callicarpa americana</i>
Aromatic Sumac	<i>Rhus aromatica</i>
Bird of Paradise	<i>Caesalpinia gilliesii</i>
Blue Shrub Sage	<i>Salvia ballotaeflora</i>
Buttonbush	<i>Cephalanthus occidentalis</i>
Catclaw Acacia	<i>Acacia greggii</i>
Canyon Mock Orange	<i>Philadelphius texensis</i>
Cenizo (Purple Sage)	<i>Leucophyllum frutescens</i>
Cherry Sage	<i>Salvia greggii</i>
Evergreen Senna	<i>Cassia corymbosa</i>
Evergreen Sumac	<i>Rhus virens</i>
Flame Acanthus	<i>Anisacanthus wrightii</i>
Fragrant Mimosa	<i>Mimosa borealis</i>
Granjeno (Spiny Hackberry)	<i>Celtis pallida</i>
Guyacan	<i>Guaiacum angustifolium</i>
Mexican Oregano	<i>Poliomenantha longiflora</i>
Mountain Mahogany	<i>Cercocarpus montanus</i>
Mountain Sage	<i>Salvia regla</i>
Red Buckeye	<i>Aesculus paera</i> var. <i>flavescens</i>
Roemer Catclaw (Acacia)	<i>Acacia roemeriana</i>
Silktassel	<i>Garrya lindheimeri</i>
Texas Indigo Bush	<i>Amorpha roemeriana</i>
Wright Acacia	<i>Acacia wrightii</i>
Yellow Buckeye	<i>Aesculus pavia</i> var. <i>flavescens</i>
Yellow Bells	<i>Tacoma stans</i>

FLOWERS and GROUND COVER

COMMON NAME	SCIENTIFIC NAME
Bat Face Cuphea	<i>Cuphea llavea</i>
Big Red Sage	<i>Salvia penstemonoides</i>
Black Dalea	<i>Dalea frutescens</i>
Black Eyed Susan	<i>Rudbeckia fulgida</i>
Black Foot Daisy	<i>Melampodium leucanthum</i>
Blue Amsonia	<i>Amsonia Cileata</i>
Bluebells	<i>Gentianaceae Custom grandiflorum</i>
Blue Eyed Grass	<i>Sisyrinchium ensigerum</i>
Brazos Penstemon	<i>Penstemon tenuis</i>
Brush Sunflower	<i>Compositae Simsia Calva</i>
Butterfly Milkweed	<i>Asclepias tuberosa</i>
Cardinal Flower	<i>Lobelia cardinalis</i>
Cedar Sage	<i>Salvia roemeriana</i>
Chocolate Daisy	<i>Berlandiera lyrata</i>
Clover Fern	<i>Marsilea macropoda</i>
Copper Canyon Daisy	<i>Compositae Tagetes lemmonii</i>
Cut Leaf Daisy	<i>Englmannia pinnatifida</i>
Damianita	<i>Chrysactina Mexicana</i>
Dwarf Petunia	<i>Ruellia brittoniana 'Katie'</i>

FLOWERS and GROUND COVER, continued

COMMON NAME	SCIENTIFIC NAME
Flaxleaf Bouchea	<i>Bouchea linifolia</i>
Fluttermills	<i>Oenothera missouriensis</i>
Four Nerve Daisy	<i>Hymenoxys scaposa</i>
Foxglove	<i>Penstemon cobaea</i>
Frogfruit	<i>Phyla incisa</i>
Gayfeather	<i>Liatris mucronata</i>
Golden Eyed Daisy	<i>Viguiera stenoloba</i>
Grey Shrub Sage	<i>Salvia chamaedryoides</i>
Havard Penstemon	<i>Penstemon havardii</i>
Heartleaf Hibiscus	<i>Hibiscus cardiophyllus</i>
Horse Herb	<i>Calyptocarpus vialis</i>
Indigo Spires Sage	<i>Salvia longespicata x farinacea</i>
Ironweed	<i>Vernonia lindheimeri</i>
Jerusalem Sage	<i>Phlomis fruticosa</i>
La Trinidad Sage	<i>Labiatae Salvia Microphylla</i>
Larkspur	<i>Delphinium carolinianum</i>
Lavender Lantana	<i>Lantana Montevicensis</i>
Lavender Skullcap	<i>Scutellaria seleniana</i>
Lindheimer Senna	<i>Cassia lindheimeri</i>
Lyre Leaf Sage	<i>Salvia lyrata</i>
Majestic Sage	<i>Salvia guaranitica</i>
Maximillian sunflower	<i>Helianthus maximiliani</i>
Mealy Blue Sage	<i>Salvia farinacea</i>
Mexican Bush Sage	<i>Salvia leucanthum</i>
Mexican Marigold	<i>Tagetes lucida</i>
Mexican Red Sage	<i>Salvia darcyii</i>
Mountain Pea	<i>Leguminosae</i>
New Gold Lantana	<i>Lantana Hybrid</i>
Pennyroyal (annual)	<i>Hedeoma acinoides</i>
Pigeonberry	<i>Rivina humilis</i>
Pink Evening Primrose	<i>Oenothera speciosa</i>
Pink Guara	<i>Guara lindheimeri</i>
Pink Lantana	<i>Lantana camara</i>
Pink Little Leaf Sage	<i>Salvia Grahamii</i>
Powis Castle Artemisia	<i>Artemisia hybrid</i>
Prairie Goldenrod	<i>Solidago nemoralis</i>
Prairie Phlox	<i>Phlox pilosa</i>
Purple Coneflower	<i>Echinacea angustifolia</i>
Purple Skullcap	<i>Scutellaria wrightii</i>
Purple Winecup	<i>Callirhoe involucrata</i>
Red Columbine	<i>Aguilegia canadensis</i>
Rock Daisy	<i>Compositae perityle Lindheimeri</i>
Rock Rose	<i>Pavonia lasiopetala</i>
Russian Sage	<i>Peropskiu atriplicifolia</i>
San Luis Sage	<i>Labiatae Salvia microphylla</i>
Scarlet Penstemon	<i>Penstemon triflorus</i>
Showy Mendora	<i>Menodora longiflora</i>
Simpson Rosinweed	<i>Silphium simpsonii var wrightii</i>
Skullcap (pink)	<i>Scutellaria suffrutescens</i>
Snake Herb	<i>Dyschoriste linearis</i>

APPENDIX A: BDA APPROVED PLANT LIST

FLOWERS and GROUND COVER, continued

COMMON NAME	SCIENTIFIC NAME
Square-Bud Primrose	<i>Calylophus drummondianus</i>
Standing Cypress	<i>Ipomopsis rubra</i>
White Milkweed	<i>Asclepias texana</i>
Tall Goldenrod	<i>Solidago altissima</i>
Texas Betony	<i>Stachys coccinea</i>
Texas Lantana	<i>Lantana horrida</i>
Thoroughwort	<i>Eupatorium havanense</i>
Tropical Milkweed	<i>Asclepias curassavica</i>
Two Leaf Senna	<i>Cassia roemeriana</i>
Turk's Cap	<i>Malvaviscus arboreus</i> var. <i>drummondii</i>
Violet	<i>Viola missouriensis</i>
White Winecup	<i>Callirhoe involucrata</i>
Wooly Butterfly Bush	<i>Buddleia murrubiiifolia</i>
Yellow columbine	<i>Aquilegia hinckleyana</i>
Yellow Tropical Milkweed	<i>Asclepiadaceae Curassavica</i>
Zexmenia	<i>Zexmenia hispida</i>

VINES

COMMON NAME	SCIENTIFIC NAME
Alamo Vine	<i>Ipomoea sinuata</i>
Coral Honeysuckle	<i>Lonicera sempervirens</i>
Cross Vine	<i>Bignonia capreolata</i>
Cyanchum	<i>Cyanchum barbigerrum</i>
Cypress Vine	<i>Ipomoea quamoclit</i>
Lindheimer Morning Glory	<i>Ipomoea lindheimeri</i>
Mustang Grape	<i>Vitis mustangensis</i>
Passionflower, Purple	<i>Passiflora incarnata</i>
Passionflower, Yellow	<i>Passiflora lutea</i>
Purple Leatherflower	<i>Clematis pitcheri</i>
Scarlet Leatherflower	<i>Clematis texensis</i>
Slenderlobe Passion Flower	<i>Passiflora tenuiloba</i>
Snail Seed	<i>Cocculus carolinus</i>
Snapdragon Vine	<i>Maurandya antirrhiniflora</i>
Texas Wisteria	<i>Wisteria macrostachya</i>
Virginia Creeper	<i>Parthenocissus quinquefolia</i>
White Bush Honeysuckle	<i>Lonicera albiflora</i>
Yellow Honeysuckle	<i>Lonicera sempervirens</i> var. <i>sulphurea</i>

GRASSES

COMMON NAME	SCIENTIFIC NAME
Bear Grass	<i>Nolina texana</i>
Big Blue Stem	<i>Andropogon gerardii</i>
Big Muhly	<i>Muhlenbergia lindheimeri</i>
Buffalo grass	<i>Buchloe dactyloides</i>
Bushy Bluestem	<i>Andropogon glomeratus</i>
Gulf Muhly	<i>Muhlenbergia capillaris</i>

GRASSES, continued

COMMON NAME	SCIENTIFIC NAME
Inland Sea oats	<i>Chasmanthium latifolium</i>
Indian Grass	<i>Sorghastrum nutans</i>
Little Bluestem	<i>Schizachyrium scoparium</i> var. <i>frequens</i>
Pine Muhly	<i>Muhlenbergia dubia</i>
Sand Love Grass	<i>Eragrostus trichodes</i>
Seep Muhly	<i>Muhlenbergia reverchonii</i>
Sideoates Grama	<i>Bouteloua curtipendula</i>
Switchgrass	<i>Panicum virgatum</i>
Weeping Muhly	<i>Muhlenbergia dubioides</i>

OTHERS

COMMON NAME	SCIENTIFIC NAME
Buckley Yucca	<i>Yucca Constricta</i>
Century Plant	<i>Agave scabra</i>
Chili Pequin	<i>Capsicum annuum</i>
False Agave	<i>Hechtia texensis</i>
Nolina	<i>Nolina lindheimeriana</i>
Red Yucca	<i>Hesperaloe parviflora</i>
Soft Leaf Yucca	<i>Yucca recurvifolia</i>
Sotol	<i>Dasylirion leiophyllum</i>
Twisted Yucca	<i>Yucca rupicola</i>
Yellow Yucca	<i>Hesperaloe parvifolia</i>

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IMAGE SOURCES

Cover Photo: "School of Aerospace Medicine." Photo. *Air-Force.com*. 26 Mar. 2013. <www.air-force.com>

Figures 1-6: Historic American Building Survey and Report

Figure 7: "School of Aerospace Medicine." Photo. *Air-Force.com*. 26 Mar. 2013. <www.air-force.com>

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