HISTORIC AND DESIGN REVIEW COMMISSION

March 06, 2015

Agenda Item No: 8

HDRC CASE NO:	**2015-023**
ADDRESS:	415 E PARK AVE
LEGAL DESCRIPTION:	NCB 1752 BLK 5 LOT E 25 FT OF 6 & W 13.29 FT OF 7
ZONING:	R4 H
CITY COUNCIL DIST.:	1
DISTRICT:	Tobin Hill Historic District
APPLICANT:	Jennifer Boone
OWNER:	Manuel Mendoza, Yolanda Mendoza
TYPE OF WORK:	New construction of 2-1/2 story residence

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to construct a 2-1/2 story single family house. The proposed design will have a metal roof, vinyl windows, cement board plank and shingle siding and a rooftop balcony.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 4, Guidelines for New Construction

1. Building and Entrance Orientation

A. FAÇADE ORIENTATION

i. *Setbacks*—Align front facades of new buildings with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Use the median setback of buildings along the street frontage where a variety of setbacks exist. Refer to UDC Article 3, Division 2. Base Zoning Districts for applicable setback requirements.

2. Building Massing and Form

A. SCALE AND MASS

i. *Similar height and scale*—Design new construction so that its height and overall scale are consistent with nearby historic buildings. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. In commercial districts, building height shall conform to the established pattern. If there is no more than a 50% variation in the scale of buildings on the adjacent block faces, then the height of the new building shall not exceed the tallest building on the adjacent block face by more than 10%.

iii. *Foundation and floor heights*—Align foundation and floor-to-floor heights (including porches and balconies) within one foot of floor-to-floor heights on adjacent historic structures.

B. ROOF FORM

i. *Similar roof forms*—Incorporate roof forms—pitch, overhangs, and orientation—that are consistent with those predominantly found on the block. Roof forms on residential building types are typically sloped, while roof forms on non-residential building types are more typically flat and screened by an ornamental parapet wall.

C. RELATIONSHIP OF SOLIDS TO VOIDS

i. *Window and door openings*—Incorporate window and door openings with a similar proportion of wall to window space as typical with nearby historic facades. Windows, doors, porches, entryways, dormers, bays, and pediments shall be considered similar if they are no larger than 25% in size and vary no more than 10% in height to width ratio from adjacent historic facades.

3. Materials and Textures

A. NEW MATERIALS

i. *Complementary materials*—Use materials that complement the type, color, and texture of materials traditionally found in the district. Materials should not be so dissimilar as to distract from the historic interpretation of the district. For example, corrugated metal siding would not be appropriate for a new structure in a district comprised of homes with wood siding.

iii. *Roof material*s—Select roof materials that are similar in terms of form, color, and texture to traditionally used in the district.

iv. *Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alterations and Maintenance section for additional specifications regarding metal roofs.

v. *Imitation or synthetic materials*—Do not use vinyl siding, plastic, or corrugated metal sheeting. Contemporary materials not traditionally used in the district, such as brick or simulated stone veneer and Hardie Board or other fiberboard siding, may be appropriate for new construction in some locations as long as new materials are visually similar to the traditional material in dimension, finish, and texture. EIFS is not recommended as a substitute for actual stucco.

4. Architectural Details
A. GENERAL
i. *Historic context*—Design new buildings to reflect their time while respecting the historic context. While new construction should not attempt to mirror or replicate historic features, new structures should not be so dissimilar as to distract from or diminish the historic interpretation of the district.

ii. *Architectural details*—Incorporate architectural details that are in keeping with the predominant architectural style along the block face or within the district when one exists. Details should be simple in design and should complement, but not visually compete with, the character of the adjacent historic structures or other historic structures within the district. Architectural details that are more ornate or elaborate than those found within the district are inappropriate.

iii. *Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for new construction. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the structure is new. Modern materials should be implemented in a way that does not distract from the historic structure.

2. Fences and Walls
B. NEW FENCES AND WALLS
ii. *Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.

iii. *Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.

5. Sidewalks, Walkways, Driveways, and Curbing
A. SIDEWALKS AND WALKWAYS
iii. *Width and alignment*— Follow the historic alignment, configuration, and width of sidewalks and walkways. Alter the historic width or alignment only where absolutely necessary to accommodate the preservation of a significant tree.

B. DRIVEWAYS
i. *Driveway configuration*—Retain and repair in place historic driveway configurations, such as ribbon drives. Incorporate a similar driveway configuration—materials, width, and design—to that historically found on the site. Historic driveways are typically no wider than 10 feet. Pervious paving surfaces may be considered where replacement is necessary to increase stormwater infiltration.

FINDINGS:

a. The applicant is currently working on expanding the west property line of the lot at 415 E. Park so that the lot width is sufficient to allow for a driveway for the new project.
b. The project was reviewed by the Design Review Committee on October 7, 2014, at that time Committee members were concerned with front yard parking, the disruption of historic pattern along the street, massing, the introduction of a front yard fence, and roof form. The Committee recommended extending the roof further over the deck, exploring adding more windows/articulation and revising the roof form. The project was presented to the DRC again on October 21, 2014, at that time committee members noted that front yard fencing, front yard parking, and the depth of the rooftop deck were a concern.
c. The case was heard by the HDRC on January 21, 2015. At that time the case was forwarded to the Design Review Committee. The DRC reviewed updated drawings on February 10, 2015, at that time the Committee determined many of the previous issues had been addressed but was concerned with the proposed design for the columns.
d. Consistent with the Guidelines for New Construction, new buildings should have a similar height and scale to adjacent buildings. The majority of the houses on this block of East Park are large and over 2 stories tall. The

proposed design is appropriate for its context and in keeping with the guidelines.

e. According to the Guidelines for New Construction, front facades of new buildings should align with existing buildings when there is a consistent setback along the street. Houses on this block of East Park have an overall consistent setback that should be preserved. Although the front wall behind the porch on the main house aligns with front walls of adjacent houses, the solid two story portion of the house extends past the front wall of the adjacent houses which is not consistent with the guidelines.
f. The foundation of the proposed house will align with adjacent houses consistent with the Guidelines for New Construction. According to the guidelines, new construction should incorporate materials that complement historic materials in type, size and texture. The proposed hardi-shingle skirting material is consistent with the guidelines.
g. According to the Guidelines for New Construction, new buildings should incorporate similar roof forms and pitch that are consistent with other buildings on the block. The proposed gable roof design is typical of houses on the street and appropriate for this setting. The proposed metal roof is a traditionally used material in historic districts and consistent with the guidelines as long as the recommended detailing for metal roofs is used.
h. Consistent with the Guidelines for New Construction window and door openings should have a similar proportion of wall to window space as typical with nearby historic facades. Windows, doors, porches, entryways, dormers, bays, and pediments shall be considered similar if they are no larger than 25% in size and vary no more than 10% in height to width ratio from adjacent historic facades. The proposed double hung windows are consistent with the guidelines.
i. According to the Guidelines for New Construction, new buildings should be of their time while respecting the historic context. Architectural details that are in keeping with the predominant architectural style along the block face are recommended when they are simple in design and complement, but not visually compete with the character of the adjacent historic structures. The proposed Craftsman style columns visually compete with the surrounding historic structures and are not consistent with the guidelines. Simplified square or round columns would complement the adjacent houses and be more appropriate for their setting consistent with the Guidelines for New Construction.

RECOMMENDATION:

Staff does not recommend approval as submitted based on findings a-i. Staff recommends conceptual approval of the design with the following stipulations:

a. The front setback matches adjacent houses.
b. The front porch columns are simplified.
c. The roof incorporates panels that are 18-21” wide, ridges less than 2” high, and a double munch seam or low profile cap with no ridge vent.
d. The drawings are further developed to reach at least 80% completion.

CASE MANAGER:

Adriana Ziga

N

415 E. Park Ave.

Printed:Jan 05, 2015

ATTACHMENT TO HDRC APPLICATION

415 E. Park Avenue (Tobin Hill)
San Antonio, TX 78212

Project Description:

Site Plan – The property is located in the Tobin Hill Historical District and is approximately 4,983 gross square feet. This vacant property slopes gradually from rear to front and is currently fenced with two large pecan trees (rear lot) which will not be affected by the construction. The property received R-4 re-zoning approval from the City of San Antonio Zoning Commission on April 2014 with concurrence from the Tobin Hill Community Association. The proposed structure meets the setbacks and height requirements of R-4 Zoning.

a. Platting Services have been contracted with Mendez Engineering and are currently underway to expand the front property from 38' wide to 42' wide to allow for offsite parking which will not obstruct the front elevation of the residence and allow a straight-in approach. A plat deferral will be requested to allow building permitting while the plat is processed.
b. A proposed site plan with the expanded width to 42' has been provided with the attached documents.

Pervious Driveway Material, Wood Deck, Fencing Layout & Landscaping Plan – Proposed material selections, layout & sample materials shall be submitted for HDRC review/approval as firm budgets are developed and prior to building permit application.

Building Structure& Exterior Systems - The proposed 2-1/2 story single-family residence shall be of wood frame construction elevated to match existing adjacent residences. Interior ceiling heights on the 1st & 2nd floors shall be 10' and varies with roof slope on the Attic Level. The structural foundation shall be continuous concrete footings with CMU stem walls to elevate the structure compatible with adjacent residences. Hardi-shingle skirting shall be applied the CMU stem walls to provide visual sensitivity.

a. Exterior Wall Finishes - The exterior finishes shall be a combination of Hardi-plank siding, shingles & trim... with contemporary details sensitive to the adjacent existing older and newer dwellings. The 1st & 2nd Floor Porches shall be provided with railings and Cypress decking to withstand long-term moisture challenges.
b. Doors & Windows – The main entrance door is proposed to be a reclaimed 3' wide X 8' high "antique" glass door with new custom built side-lites. Additional 1st & 2nd floor doors, transoms, side lites & windows shall be new energy efficient units. All windows shall have operable feature for natural ventilation.
c. Roof System - The steep roof system (8/12 pitch) is proposed to be standing-seam "galvalume" finish metal roof for long term durability and appropriate appearance. Lower slope roofs (1/4" slope) on the Attic Level are proposed to be a 60 mil EPDM (Rubber) system which will not be visible from any elevation, but will be a strong & durable membrane to receive a small walk-out balcony on the South Elevation (Front) and a "future" observation deck on the North Elevation (Rear – not visible from front view).

Color Boards & Sample Materials – Shall be submitted for HDRC review/approval as firm budgets are developed and prior to building permit application.

ATTACHMENT TO HDRC APPLICATION

Floor Plans – The 1st & 2nd floor plans have been designed to provide for modern, open concept living for a progressive young couple familiar with the Tobin Hill Neighborhood. Ten (10) foot ceiling heights have been designed to provide the proper scale proportion with the adjacent residences. The Attic Level is designed structurally for storage and to allow for the construction of a future Media Room.

END OF DESCRIPTION

Proposed Residence - 415 East Park Avenue
Tobin Hill Historical District

PHOTO #1

VIEW FROM STREET LOOKING DIRECTLY NORTH

PHOTO #2

VIEW FROM STREET LOOKING DIRECTLY NORTHEAST

Proposed Residence - 415 East Park Avenue
Tobin Hill Historical District

PHOTO #3

VIEW FROM NORTH PROPERTY LINE LOOKING SOUTH

PHOTO #3

VIEW OF NEW ZERO-LOT RESIDENCES DIRECT ACROSS THE STREET AT 502 EAST PARK AVENUE

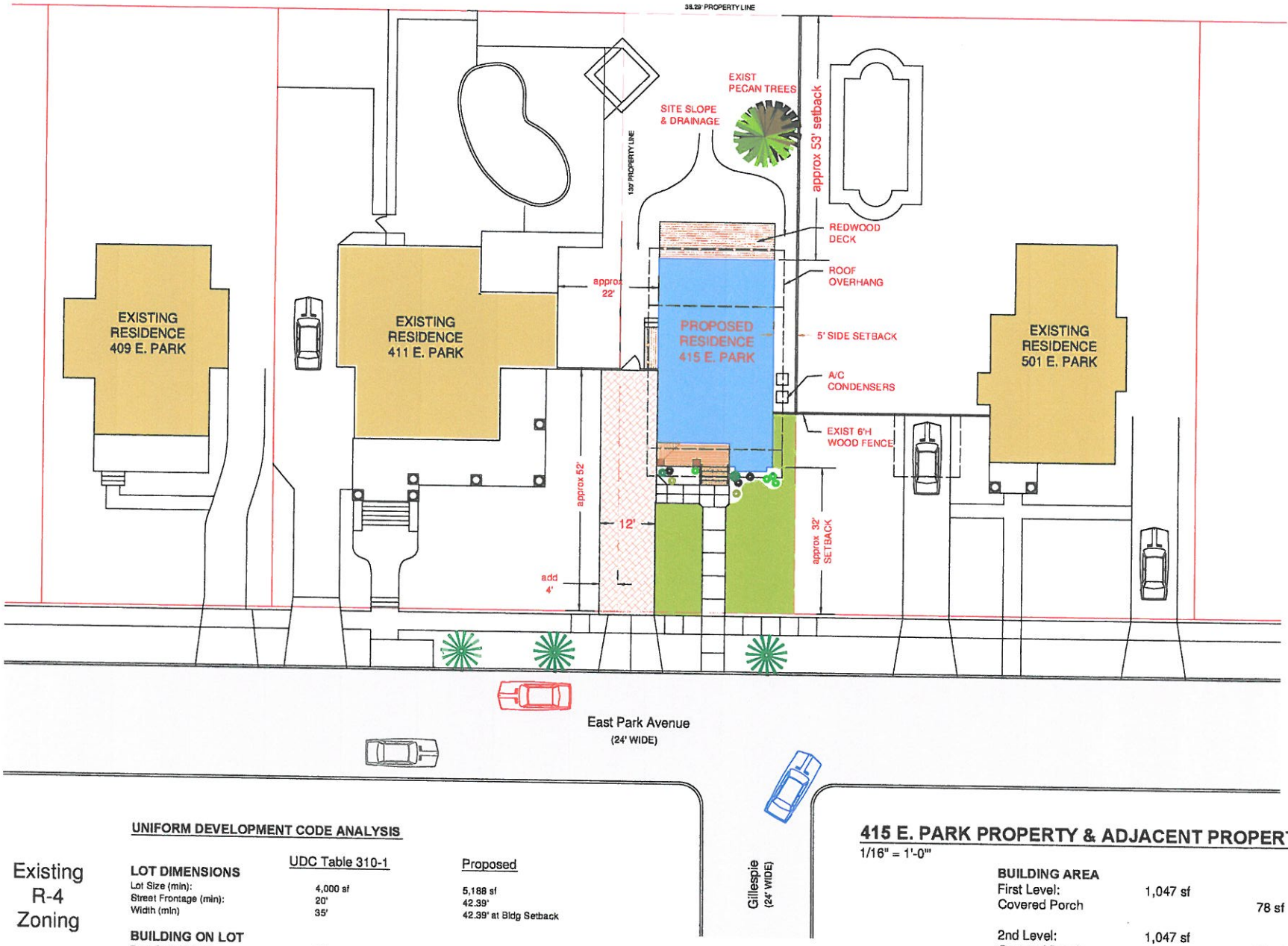

411 E Park


411 E Park
415 E Park


Gillespie
STOP
415 E Park


Gillespie
STOP
501 E Park


422, 418 and 408 E Park
View of south side of 400 blk. of East Park



Existing R-4 Zoning

UNIFORM DEVELOPMENT CODE ANALYSIS

	UDC Table 310-1	Proposed
LOT DIMENSIONS		
Lot Size (min):	4,000 sf	5,188 sf
Street Frontage (min):	20'	42.39'
Width (min)	35'	42.39' at Bldg Setback
BUILDING ON LOT		
Front Setback(min):	10'	approx 32'
Side Setback (min):	5'	5' east & 12' west
Rear Setback (min)	20'	approx 53'
BUILDING		
Height (max feet/# stories):	35' & 2-1/2 stories	approx 35' & 2-1/2 stories
Size Individual (max)	N/A	

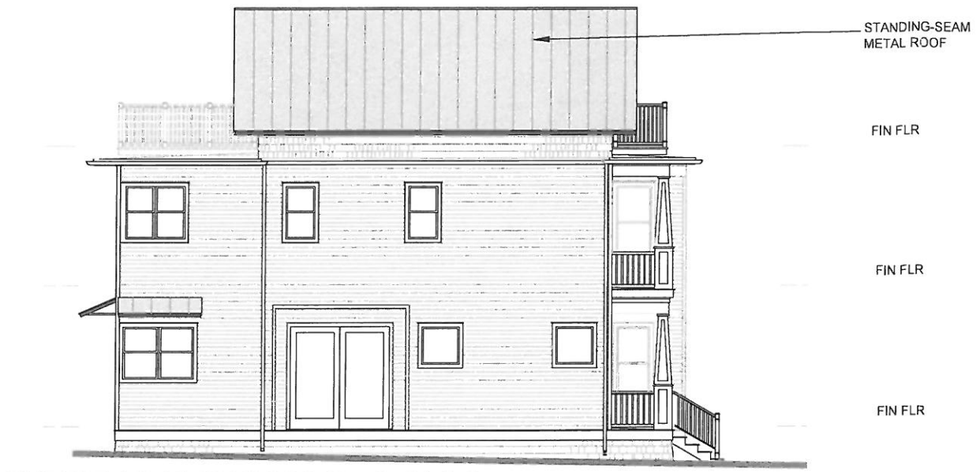
415 E. PARK PROPERTY & ADJACENT PROPERTIES

1/16" = 1'-0"

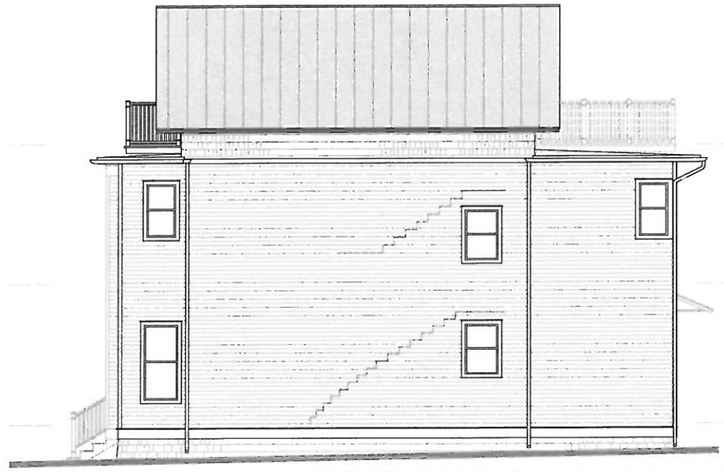
BUILDING AREA		
First Level:	1,047 sf	
Covered Porch		78 sf
2nd Level:	1,047 sf	
Covered Porch		78 sf
TOTAL	2,094 sf	156 sf
Unfinished Attic Level	478 sf	

NORTH

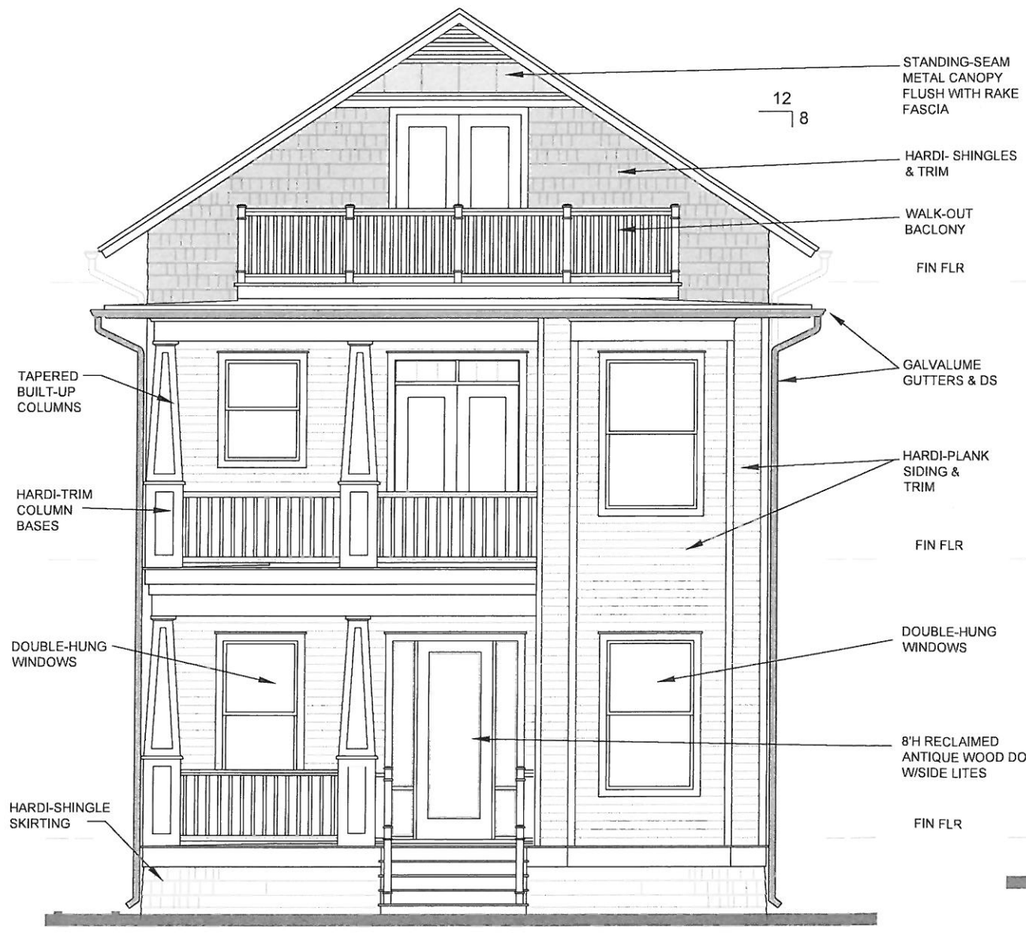
BOONE RESIDENCE
415 EAST PARK AVENUE SAN ANTONIO, TX 78212



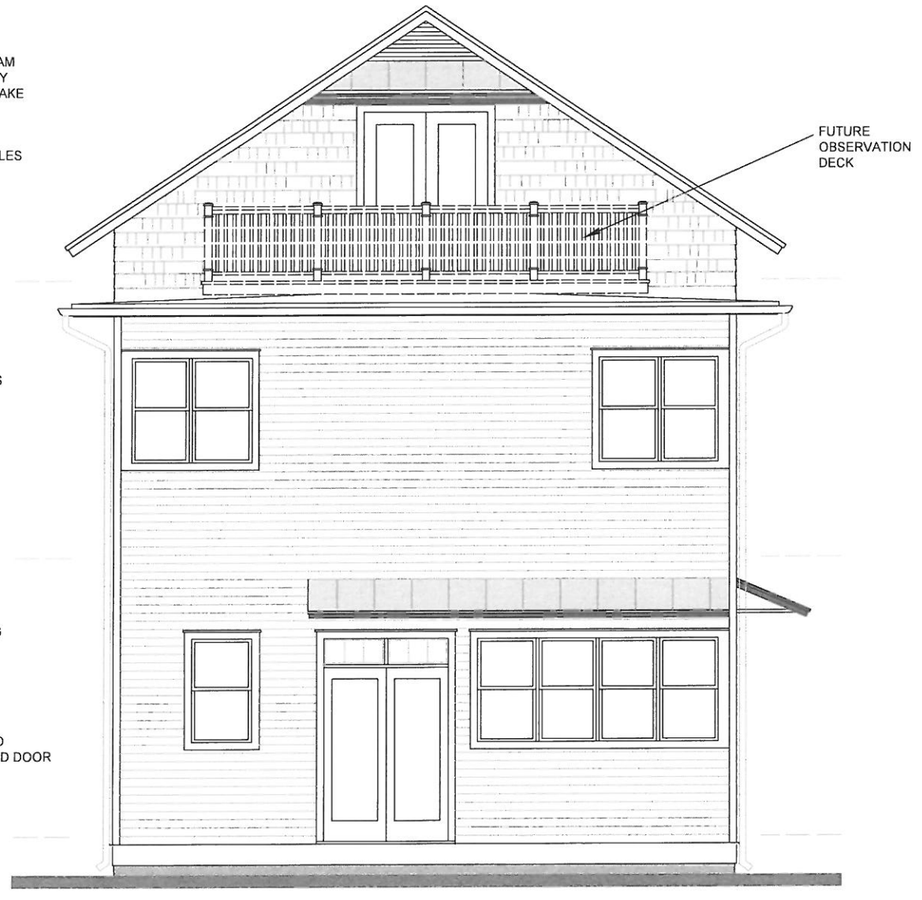
WEST ELEVATION (Left Side)



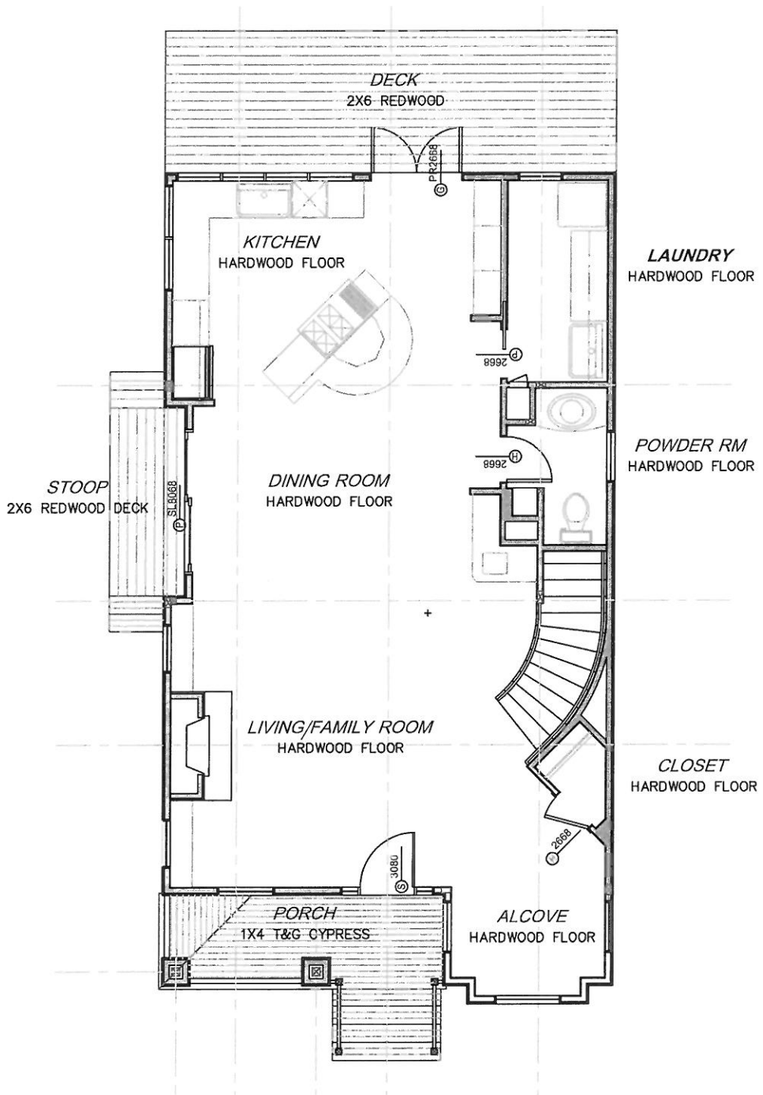
EAST ELEVATION (Right Side)

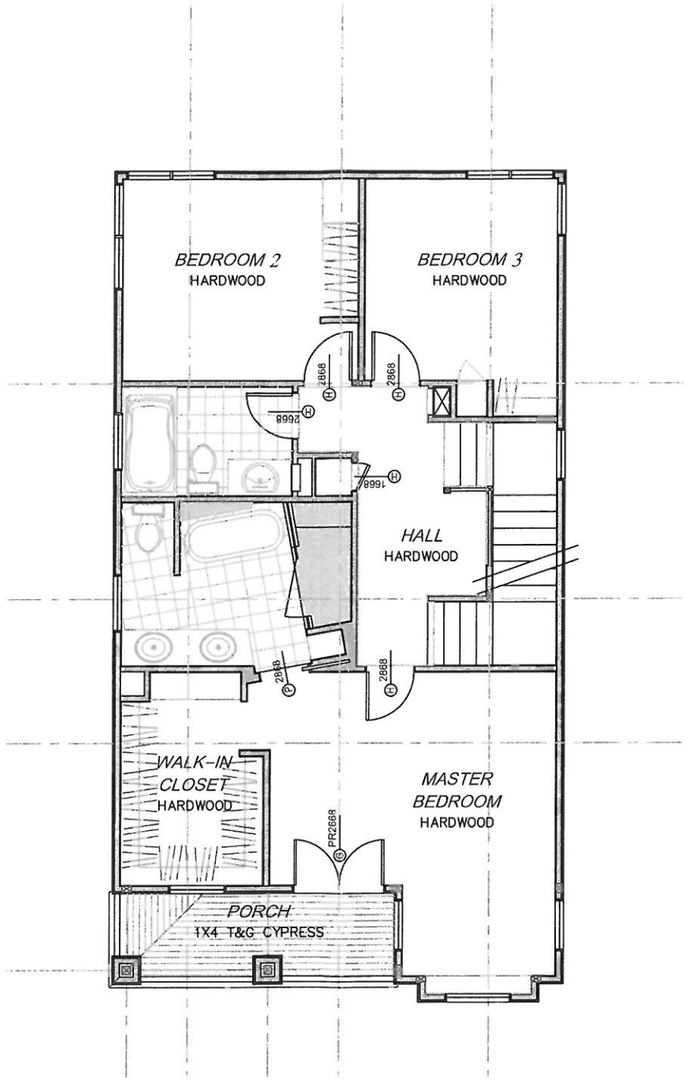


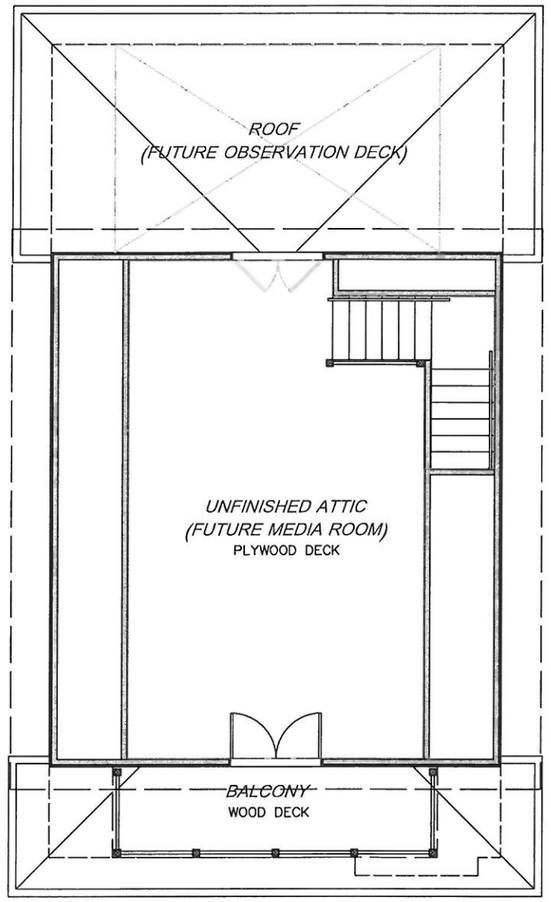
SOUTH ELEVATION (Front)



NORTH ELEVATION (Rear)







North

PRELIMINARY

NOT FOR CONSTRUCTION

BOONE RESIDENCE
415 E. Park Avenue
San Antonio, TX 78212
7 Dec 2014

Photo Gallery

- Double-Hung Worlds
- Bay / Bow Windows
- Casement & Awning Windows
- Sliding Windows
- Garden Windows
- Patio Doors
- Vinyl Siding

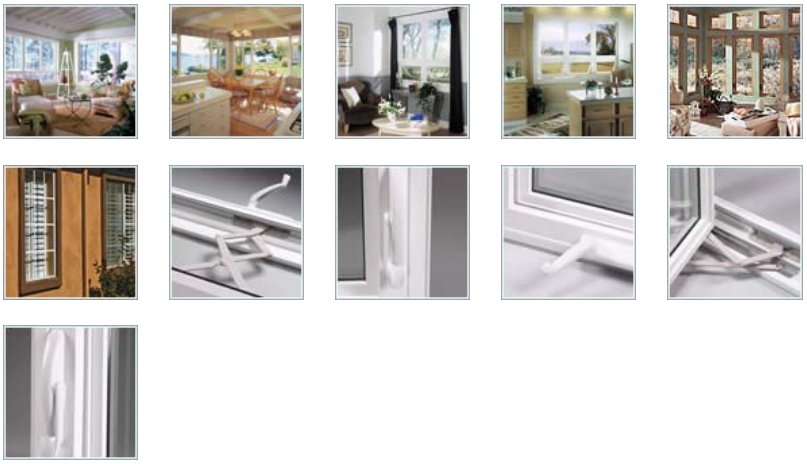
Original $189 Replacement Windows™

Energy Efficient Windows

Good Housekeeping Seal

Photo Samples of Casement & Awning Windows

An incredibly versatile window, casement windows are always a welcome design change. With state-of-art performance they add elegance as well as energy efficiency. Awning Windows and their incredible design options, especially when combined with fixed lites, offer a transitional design. State-of-the-art engineering ensures easy operation year after year.



Learn more about our Casement & Awning Windows
Return to the Photo Gallery

HARDIESHINGLE® STAGGERED EDGE PANELS INSTALLATION

Fastener Requirements

0.083" x 0.187" HD x 1 1/2" long ringshank nails are used for fastening HardieShingle® Staggered Edge Panels to both framing and to 7/16" thick APA rated sheathing.

HardieShingle® Staggered Edge Panel Installation

Install HardieShingle® panels with joints butted in moderate contact. Due to overlapping of the joints, caulk is not required except where panels abut trim boards. (figs 15 & 17). Ensure keyways do not line up on subsequent courses.

1) Install a 1-1/4" starter strip, then install a 8-1/4" wide HardiePlank® lap siding starter course.

2) Place first panel so that panel end centers over stud. Trim panel as needed. Butt the cut end into trim as shown (figs 15 & 17). When installing over a band board or any horizontal surface, leave 1/4" gap between bottom of siding and flashing.

3) Secure panel, leaving 1/8" gap for caulk at trim and continue the course along the wall.

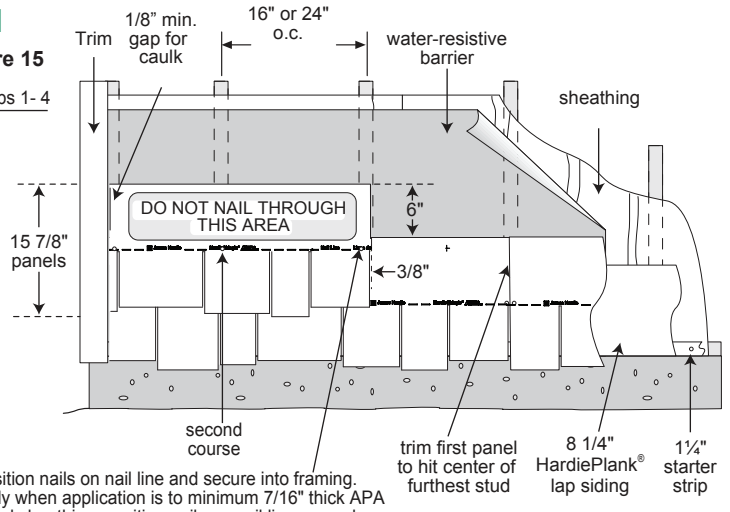
4) Start the second course, by removing the equivalent of one full stud cavity (16" or 24" OC), again abutting the cut end into the trim (figs 15 & 17). This is to prevent pattern repetition. Repeat step 3.

5) Start the third course, by removing the equivalent of two full stud cavities (figs 15 & 17) and repeat step 3.

6) Continue up the wall repeating steps 2 through 6 until desired height is reached.

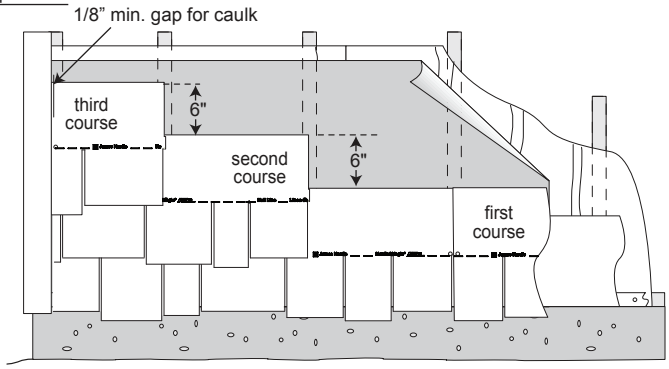
Figure 15

Steps 1- 4



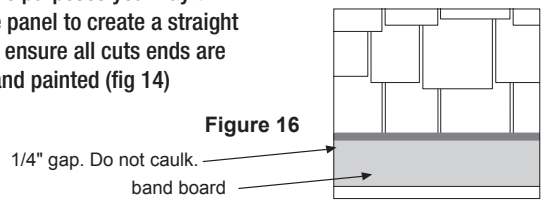
position nails on nail line and secure into framing. Only when application is to minimum 7/16" thick APA rated sheathing, position nails on nail line spaced a maximum of 13 3/4" o.c. Allow 3/8" from panel edges.

Steps 5 & 6



Note: For aesthetic purposes you may trim the bottom of the panel to create a straight edge. If doing so, ensure all cuts ends are properly sealed and painted (fig 14)

Figure 16



HARDIESHINGLE® STAGGERED EDGE PANEL COVERAGE

Panels for sidewall applications are available in 48" lengths. Pieces needed for one square (100sq.ft.) of product coverage = approximately 50, based on a maximum 6" exposure from the top edge of HardieShingle panels in subsequent courses (refer to Figure 15).

7" EXPOSURE HARDIESHINGLE® STRAIGHT EDGE PANELS INSTALLATION

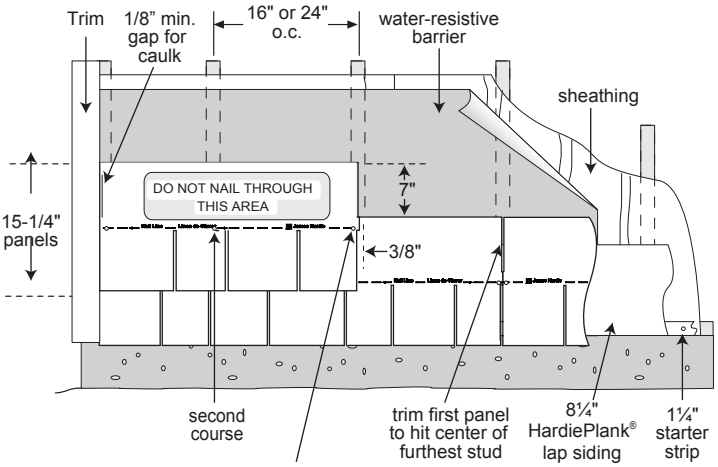
adjusted to 6" exposure

Maximum Exposure of 7"

REFER TO STAGGERED EDGE INSTRUCTIONS ABOVE

Figure 16

Steps 1 - 4



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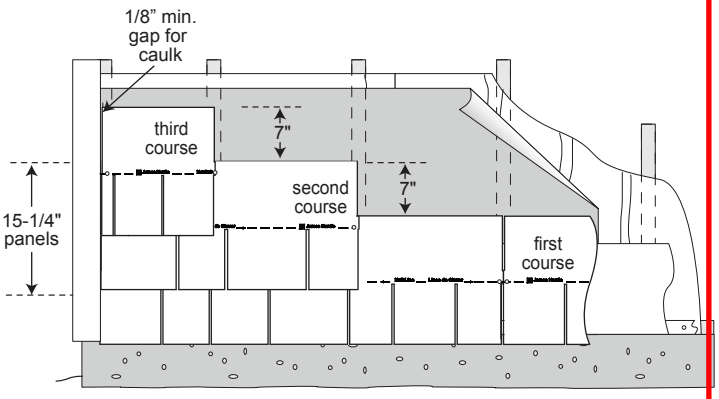
Steps 5 & 6



HARDIESHINGLE® STRAIGHT EDGE PANEL COVERAGE

Panels for sidewall applications are available in 48" lengths. Pieces needed for one square (100sq.ft.) of product coverage = approximately 43, based on maximum 7" exposure.

4" exposure

COVERAGE CHART/ESTIMATING GUIDE

Number of 12' planks, does not include waste

COVERAGE AREA LESS OPENINGS

HARDIEPLANK® LAP SIDING WIDTH

SQ (1 SQ = 100 sq.ft.)	(exposure)	5 1/4 4	6 1/4 5	7 1/4 6	7 1/2 6 1/4	8 6 3/4	8 1/4 7	9 1/4 8	9 1/2 8 1/4	12 10 3/4
1		25	20	17	16	15	14	13	13	9
2		50	40	33	32	30	29	25	25	19
3		75	60	50	48	44	43	38	38	28
4		100	80	67	64	59	57	50	50	37
5		125	100	83	80	74	71	63	63	47
6		150	120	100	96	89	86	75	75	56
7		175	140	117	112	104	100	88	88	65
8		200	160	133	128	119	114	100	100	74
9		225	180	150	144	133	129	113	113	84
10		250	200	167	160	148	143	125	125	93
11		275	220	183	176	163	157	138	138	102
12		300	240	200	192	178	171	150	150	112
13		325	260	217	208	193	186	163	163	121
14		350	280	233	224	207	200	175	175	130
15		375	300	250	240	222	214	188	188	140
16		400	320	267	256	237	229	200	200	149
17		425	340	283	272	252	243	213	213	158
18		450	360	300	288	267	257	225	225	167
19		475	380	317	304	281	271	238	238	177
20		500	400	333	320	296	286	250	250	186

This coverage chart is meant as a guide. Actual usage is subject to variables such as building design. James Hardie does not assume responsibility for over or under ordering of product.

RECOGNITION: In accordance with ICC-ES Evaluation Report ESR-2290, HardiePlank® lap siding is recognized as a suitable alternate to that specified in: the 2006,2009,&2012 International Residential Code for One- and Two-Family Dwellings, and the 2006, 2009, & 2012 International Building Code,. HardiePlank lap siding is also recognized for application in the following: City of Los Angeles Research Report No. 24862, State of Florida listing FL#889, Dade County, Florida NOA No. 02-0729.02, U.S. Dept. of HUD Materials Release 1263c, Texas Department of Insurance Product Evaluation EC-23, City of New York MEA 223-93-M, and California DSA PA-019. These documents should also be consulted for additional information concerning the suitability of this product for specific applications.

Additional Installation Information, Warranties, and Warnings are available at www.jameshardie.com

JamesHardie

CITY OF SAN ANTONIO
OFFICE OF HISTORIC PRESERVATION

Historic and Design Review Commission
Design Review Committee
Report & Recommendation

DATE: 10-7-14 HDRC Case#

ADDRESS: 415 E Park Meeting Location: Lonestar

APPLICANT: Jennifer Boone.

DRC Members present: John Laffoon, Michael Connor, Betty Feldman, Michael Guarino

Staff present: Cory Edwards, Edward Hall

Others present:

REQUEST: New Construction of single-family residence.

COMMENTS/CONCERNS: House will be constructed on previously-divided lot. No garage is proposed, but driveway and parking pad are proposed. House would be 2½ stories w/ observation deck. Siding will be Hardie plank siding + shingles. East elevation is intentionally lacking windows for privacy. Foundation will be raised. Tobin Hill Community Association has reviewed / approved. JL: Concerned w/ front parking. MC-Concerned w/ disruption of historic pattern. Massing needs

COMMITTEE RECOMMENDATION: **APPROVE [ ] DISAPPROVE [ ]**
APPROVE WITH COMMENTS/STIPULATIONS:

No Action Taken

Committee Chair Signature (or representative)

10/7/14
Date

to be addressed. Roof form will not be consistent w/ existing pattern. Steps will be oriented to the street. MG- Recommends extending roof further over deck. Front yard fences are a concern; there should be strong precedent. BF- Roof should be extended over full observation deck. MC- Additional windows/ articulation should be explored. Has concerns about roof form.

CITY OF SAN ANTONIO
OFFICE OF HISTORIC PRESERVATION

Historic and Design Review Commission
Design Review Committee
Report & Recommendation

DATE: 10-21-14 HDRC Case#

ADDRESS: 415 E Park Meeting Location: Lonestar

APPLICANT: Manny Mendoza

DRC Members present: John Lattoon, Betty Feldman

Staff present: Cory Edwards

Others present:

REQUEST: New Residence at 415 E Park

COMMENTS/CONCERNS: Presented additional information. Fencing and front yard parking were a concern. Looked at existing conditions on Park. Houses are close together. Majority have large porches & balconies. BF- Front yard parking is not appropriate. The depth of the rooftop deck is a concern.

COMMITTEE RECOMMENDATION: **APPROVE [ ] DISAPPROVE [ ]**
APPROVE WITH COMMENTS/STIPULATIONS:

Committee Chair Signature (or representative) Date

CITY OF SAN ANTONIO
OFFICE OF HISTORIC PRESERVATION

Historic and Design Review Commission
Design Review Committee
Report & Recommendation

DATE: FEB 10, 2015 HDRC Case# _____

ADDRESS: 415 E PARK Meeting Location: LONE STAR

APPLICANT: MANUEL MENDOZA

DRC Members present: BETTY FELAMAN

Staff present: EDWARD HALL

Others present: JENNIFER BOONE

REQUEST: CONSTRUCTION OF A TWO-STORY, SINGLE-FAMILY HOME

COMMENTS/CONCERNS:

BF-CASEMENT PROBABLY NOT AN ISSUE IN THE BACK. FEELS LIKE MANY OF THE PREVIOUSLY ADDRESSED ISSUES HAVE BEEN ADDRESSED/RESOLVED. BRINGING ROOF FORWARD + WINDOW, SKIRT, FENCE CHANGES HAVE DONE A LOT FOR THIS PROJECT. CONCERNED ABOUT COLUMNS. *APPLICANT HAS STATED THAT COLUMN DESIGN IS TO REMAIN AS IS.* APPLICANT HAS AGREED TO WORK WITH STAFF ON THE COLUMNS

COMMITTEE RECOMMENDATION: **APPROVE [ ] DISAPPROVE [ ]**
APPROVE WITH COMMENTS/STIPULATIONS:

Committee Chair Signature (or representative)

2/10/2015
Date