

HHISTORIC AND DESIGN REVIEW COMMISSION

March 06, 2015

Agenda Item No: 7

HDRC CASE NO: 2015-088
ADDRESS: 202 BUSHNELL
LEGAL DESCRIPTION: NCB 6328 BLK 1 LOT 12,13,14, 15, 41,42,43,44, E 1.87 OF 11 & 40, W 38.8 OF 16 & 45
ZONING: R5 H
CITY COUNCIL DIST.: 1
DISTRICT: Monte Vista Historic District
APPLICANT: Steve Haynes
OWNER: Antonio Serna
TYPE OF WORK: Install 5 condensing units in front of the house
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to replace an existing condensing unit and install 4 new condensing units in the front yard of the house. The proposed units will be screened using landscaping.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 3, Guidelines for Additions

5. Mechanical Equipment and Roof Appurtenances

A. LOCATION AND SITING

i. *Visibility*—Do not locate utility boxes, air conditioners, rooftop mechanical equipment, skylights, satellite dishes, cable lines, and other roof appurtenances on primary facades, front-facing roof slopes, in front yards, or in other locations that are clearly visible from the public right-of-way.

B. SCREENING

ii. *Freestanding equipment*—Screen service areas, air conditioning units, and other mechanical equipment from public view using a fence, hedge, or other enclosure.

FINDINGS:

- a. Consistent with the Guidelines for Additions, mechanical equipment should not be located in front yards or in locations that are clearly visible from the street. The proposed units will be located in the front yard and although visibility of the units will be minimized due to the large front setback and a wall that encloses the front yard, installation of additional units in the front yard should be avoided.
- b. Mechanical equipment should be screened from view as recommended by the Guidelines for Additions. The proposed units will be screened with a low hedge to minimize view.

RECOMMENDATION:

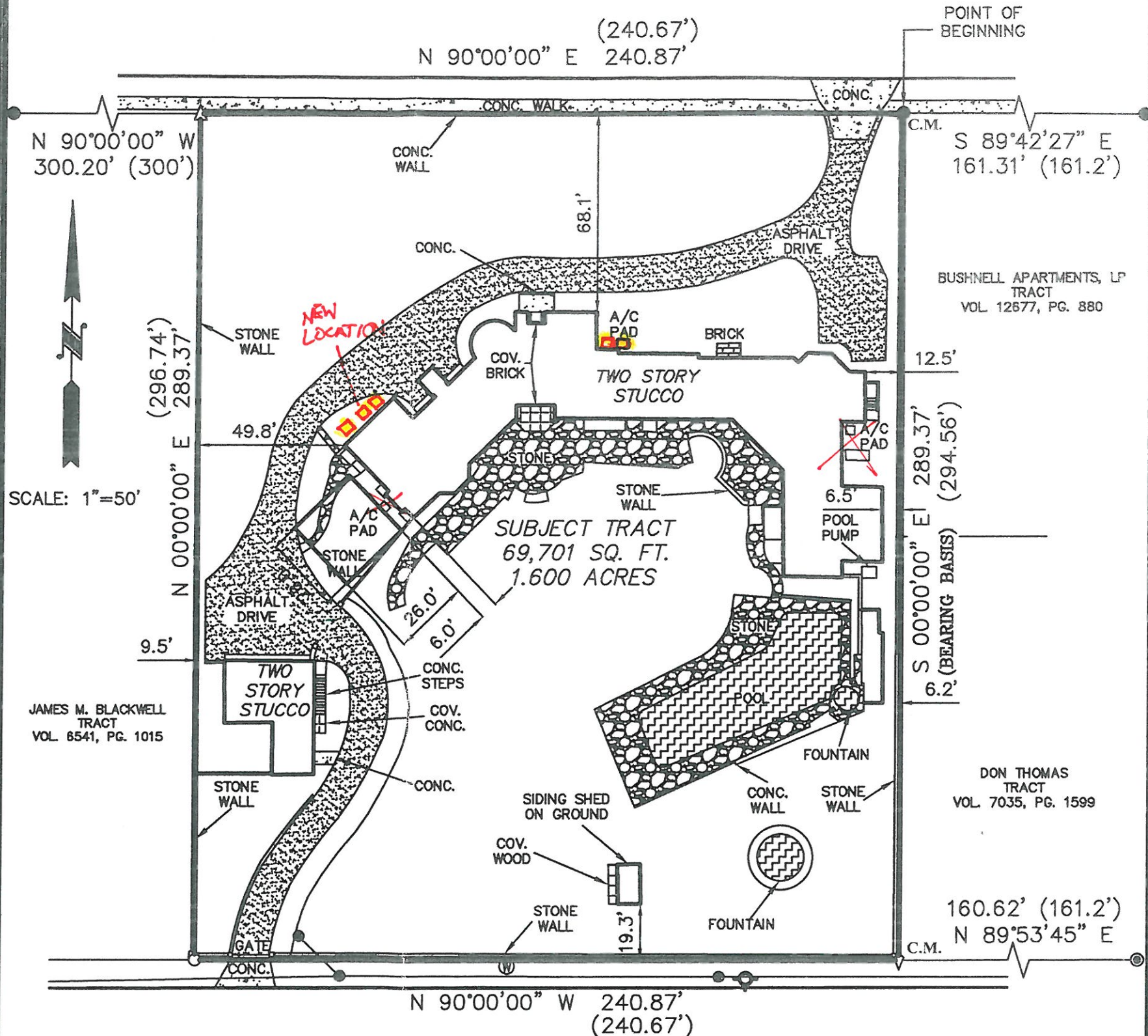
Staff does not recommend approval as submitted based on finding a. If the request is approved, staff recommends that the units are screened from view based on finding b.

CASE MANAGER:

Adriana Ziga

BUSHNELL

(50' R.O.W.)(BUSHNELL AVE. PER PLAT)



LAUREL HEIGHTS PLACE

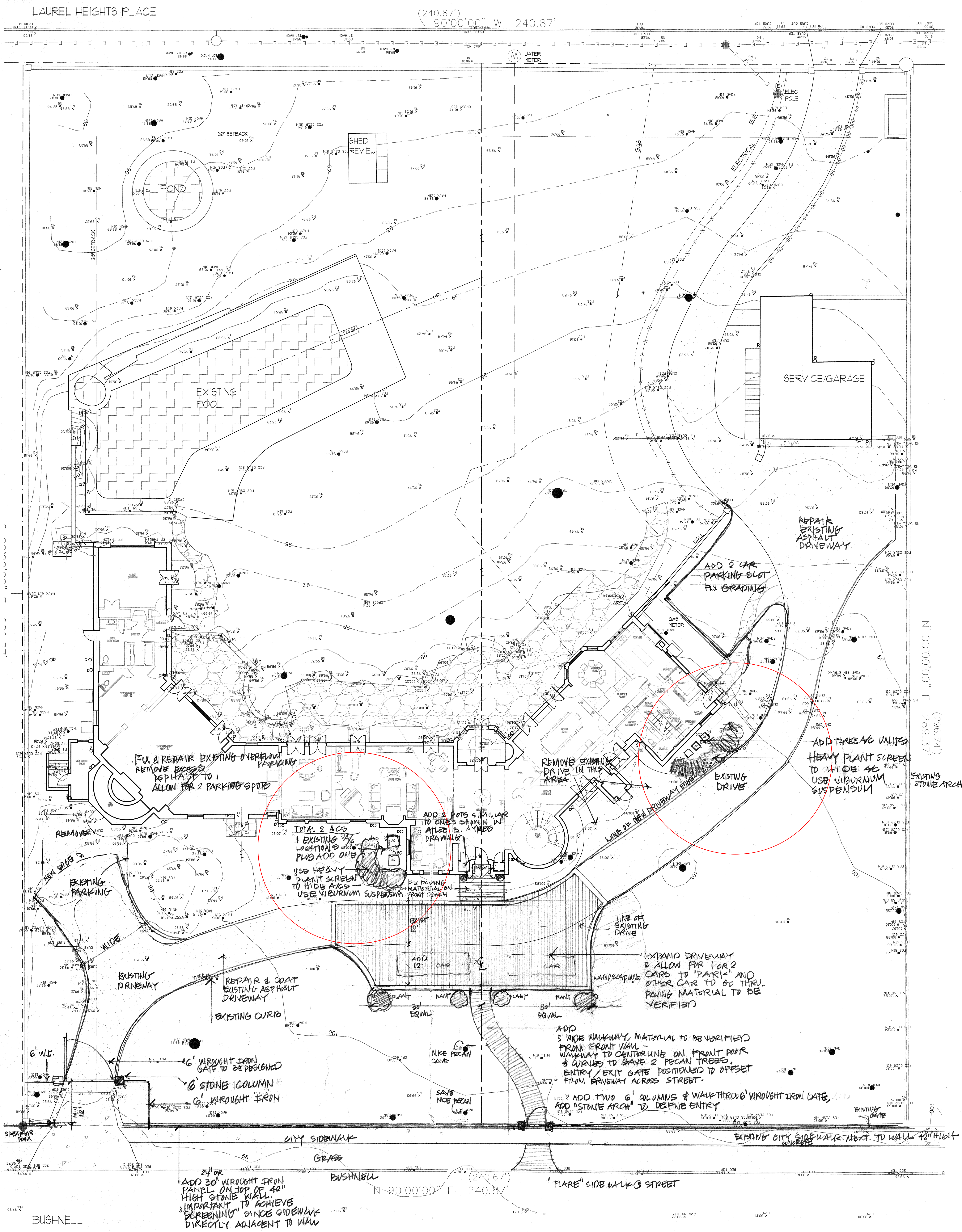
NOTE:
NO RESTRICTIVE COVENANTS OF RECORD WERE FOUND.

NOTE:
BEARINGS SHOWN HEREON ARE BASED ON RECORD DEED INDICATED BELOW.

THIS SURVEY IS
ACKNOWLEDGED AND
IS ACCEPTED:

FLOOD ZONE INTERPRETATION: IT IS THE RESPONSIBILITY OF ANY INTERESTED PERSONS TO VERIFY THE ACCURACY OF FEMA FLOOD ZONE DESIGNATION OF THIS PROPERTY WITH FEMA AND STATE AND LOCAL OFFICIALS, AND TO DETERMINE THE EFFECT THAT SUCH DESIGNATION MAY HAVE REGARDING THE INTENDED USE OF THE PROPERTY. The property made the subject of this survey appears to be included in a FEMA Flood Insurance Rate Map (FIRM), identified as Community No. 48029C, Panel No. 0405G, which is Dated 09/29/2010. By so doing from that FIRM, it

Landscaping Plan



202 BUSHNELL LANDSCAPE
DESIGN IMPROVEMENTS FEB 18, 2015
SCALE 1"=10'

<p>TITLE SITE PLAN PHASE I</p> <p>SCALE: 1"=10'</p>	<p>REVISIONS</p> <p>DATE JANUARY 15, 2015</p>	<p>SERNA RESIDENCE 202 BUSHNELL SAN ANTONIO, TEXAS 78212</p>	<p>JOHN S. TROY LANDSCAPE ARCHITECT 122 LEWIS, STE. 1 SAN ANTONIO, TEXAS 78212 (210) 222-1355 FAX (210) 492-2878 e-mail jstroyla@swbell.net</p>	<p>SHEET NO. L-2</p>
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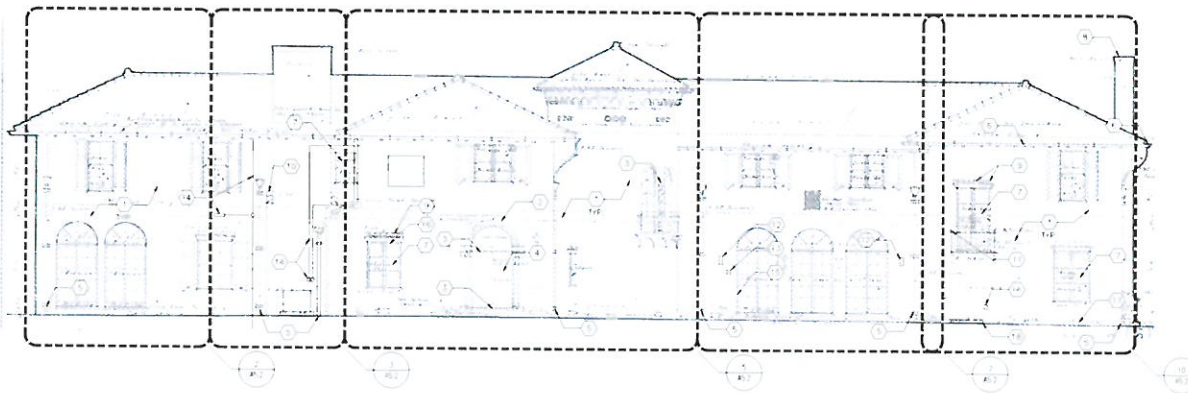
Proposed location
#2











1 NORTH ELEVATION - ORIGINAL HOUSE
N.T.S.



2 NORTH ELEVATION
N.T.S.



3 NORTH ELEVATION
N.T.S.



4 EAST ELEVATION
N.T.S.



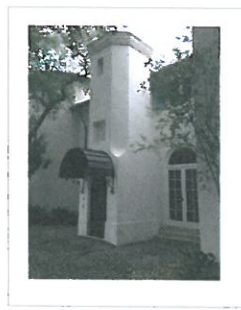
5 NORTH ELEVATION
N.T.S.



6 STAIR TOWER
N.T.S.



7 NORTH ELEVATION
N.T.S.



8 NORTH ELEVATION
N.T.S.



9 NORTH ELEVATION
N.T.S.



10 NORTH ELEVATION RIGHT END
N.T.S.

1. LIGHT FIXTURES WITH ALL EXTERIOR WALLS TO REMAIN. LIGHTS TO REMAIN IN PLACE AND TO BE REPAIRED OR REPLACED AS NECESSARY. LIGHTS TO BE REPAIRED OR REPLACED AS NECESSARY.
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GENERAL NOTES

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REVISIONS		
No.	Description	Date

CURRENT PROJ. NO. - NA
PREVIOUS PROJ. NO. - 1000
DATE - AUGUST 31, 2014

NORTH ELEVATION
ORIGINAL HOUSE

SHEET
A5.2

