

# HISTORIC AND DESIGN REVIEW COMMISSION

March 06, 2015

Agenda Item No: 10

**HDRC CASE NO:** 2015-087  
**ADDRESS:** 138 E HOLLYWOOD AVE  
**LEGAL DESCRIPTION:** NCB 6388 BLK 8 LOT 52, 53, 54, W 10 FT OF 51 & E 15 FT OF 55  
**ZONING:** R5 H  
**CITY COUNCIL DIST.:** 1  
**DISTRICT:** Monte Vista Historic District  
**APPLICANT:** Diane Hays  
**OWNER:** John Hayes, Amy Hayes  
**TYPE OF WORK:** Demolish addition, construct a 1,395 sq.ft. rear addition and garage modifications  
**REQUEST:**

The applicant is requesting conceptual approval to:

1. Demolish existing small rear addition.
2. Construct a 1,395 sq. ft. rear addition. The addition will be clad in stucco to match the color of existing brick. It will have composition roof that will match the existing in type and material.
3. Garage modifications to include: create two garage bays in the front elevation and enlarge existing opening to accommodate larger vehicles, create a rear garage door opening to allow access to alley and construct new apron, and construct new trellis in front of the garage.
4. Repair existing driveway and expand width of driveway near garage entrance.

## APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations*

### 6. Architectural Features: Doors, Windows, and Screens

#### A. MAINTENANCE (PRESERVATION)

i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.

### 9. Outbuildings, Including Garages

#### A. MAINTENANCE (PRESERVATION)

ii. *Materials*—Repair outbuildings and their distinctive features in-kind. When new materials are needed, they should match existing materials in color, durability, and texture. Refer to maintenance and alteration of applicable materials above, for additional guidelines.

#### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. *Garage doors*—Ensure that replacement garage doors are compatible with those found on historic garages in the district (e.g., wood paneled) as well as with the principal structure. When not visible from the public right-of-way, modern paneled garage doors may be acceptable.

*Historic Design Guidelines, Chapter 3, Guidelines for Additions*

### 1. Massing and Form of Residential Additions

#### A. GENERAL

i. *Minimize visual impact*—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.

ii. *Historic context*—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.

iii. *Similar roof form*—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.

iv. *Transitions between old and new*—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

## B. SCALE, MASSING, AND FORM

- i. *Subordinate to principal facade*—Design residential additions, including porches and balconies, to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- iv. *Footprint*—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.
- v. *Height*—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

## 3. Materials and Textures

### A. COMPLEMENTARY MATERIALS

- i. *Complementary materials*—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.
- ii. *Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alternations and Maintenance section for additional specifications regarding metal roofs.
- iii. *Other roofing materials*—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

## 4. Architectural Details

### A. GENERAL

- i. *Historic context*—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.
- ii. *Architectural details*—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.
- iii. *Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

### *Secretary of the Interior Standards for Rehabilitation*

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

## FINDINGS:

- a. The main house and garage, designed by architect Will N. Noonan were built in 1925 in the Colonial Revival style. According to the Monte Vista Historic District survey, both structures are contributing to the district.
- b. The existing small rear addition is likely not original or of historic age. Demolition will not cause an adverse effect to the historic structure.
- c. Consistent with the Guidelines for Additions, new additions should be located at the side or rear of the building to minimize views from the street. The proposed addition is set back behind the main house and is in keeping with the guidelines.
- d. The proposed addition will match the roof form of the historic structure which is consistent with the Guidelines for Additions. However, the proposed metal roof on the small transition between the existing house and the addition does not relate to the style or materials of the main house. A roof that is all clad in shingles would be more appropriate.
- e. According to the Guidelines for Additions, a setback or recessed area should be utilized to provide a clear

distinction between the old and the new. As presented, the west wall of the addition is flush with the west side of the original house which is not consistent with the guidelines. In addition, the proposed brick cladding on this new wall will blend in with the existing wall which will further conflict with the guidelines.

- f. The Guidelines for Additions recommend that the footprint should respond to the size of the lot, an appropriate yard to building ratio should be maintained for consistency within the districts, and residential additions should not double the footprint of the existing building. The proposed addition will add approximately 1395 sf. to the existing footprint of approximately 2003 sf. Although the addition is consistent with the guidelines in footprint size, the lot to building ratio will be much lower than adjacent properties. As presented, the rear wall of the addition is encroaching on the rear setback which may require a variance.
- g. Materials that match existing in type, color, and texture should be used according to the Guidelines for Additions. Although the proposed stucco is consistent with the guidelines, the proposed brick cladding on the west side of the addition does not clearly identify the addition as new and should be avoided.
- h. Consistent with the Guidelines for Additions, new additions should be designed to reflect their time while respecting the historic context. Architectural details that are in keeping with the architectural style and are simple in design should also be used. Some of the proposed detailing such as brackets at proposed porches and garage trellis should be simplified so that they are clearly identified as new elements.
- i. According to the Standards for Rehabilitation #10, new additions should be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic structure would be unimpaired. As presented, construction of the proposed addition will include the removal of several original brick walls. The proposed addition will significantly alter the rear elevation of the original house and due to removal of original elements such as walls and windows its construction will not be reversible.
- j. The front of the existing garage has been previously modified by enclosing the original door opening. The proposed changes to the door openings will not cause an adverse effect and are in keeping with the style of the main house. Consistent with the guidelines, new garage doors should be compatible with those found on other garages in the district. The proposed front garage doors are consistent with the guidelines.
- k. Consistent with the Guidelines for Exterior Maintenance and Alterations, creating new entrances on a façade visible from the public right of way should be avoided. Although the proposed new garage door will face the alley and will not be highly visible, the installation of the front door will significantly impact the rear elevation of the historic garage and should be avoided.

#### **RECOMMENDATION:**

- 1. Staff recommends approval of item 1 as submitted based on finding b.
- 2. Staff does not recommend approval of item 2 as submitted based on findings c-i. Staff recommends the following:
  - a. The footprint of the addition is reduced to allow for a similar building to lot ratio of adjacent properties
  - b. Existing brick walls are incorporated into the new layout and removal of historic features such as windows as walls is minimized
  - c. A setback and different materials are incorporated along the west side of the addition so that it can be clearly identified as new
  - d. Detailing is simplified so that it can be clearly identified as new
- 3. Staff does not recommend approval of item 3 as submitted based on findings j-k. Staff recommends the modifications to the front elevation only.
- 4. Staff recommends approval of item 4 as submitted.

#### **CASE MANAGER:**

Adriana Ziga











Rear Elevation

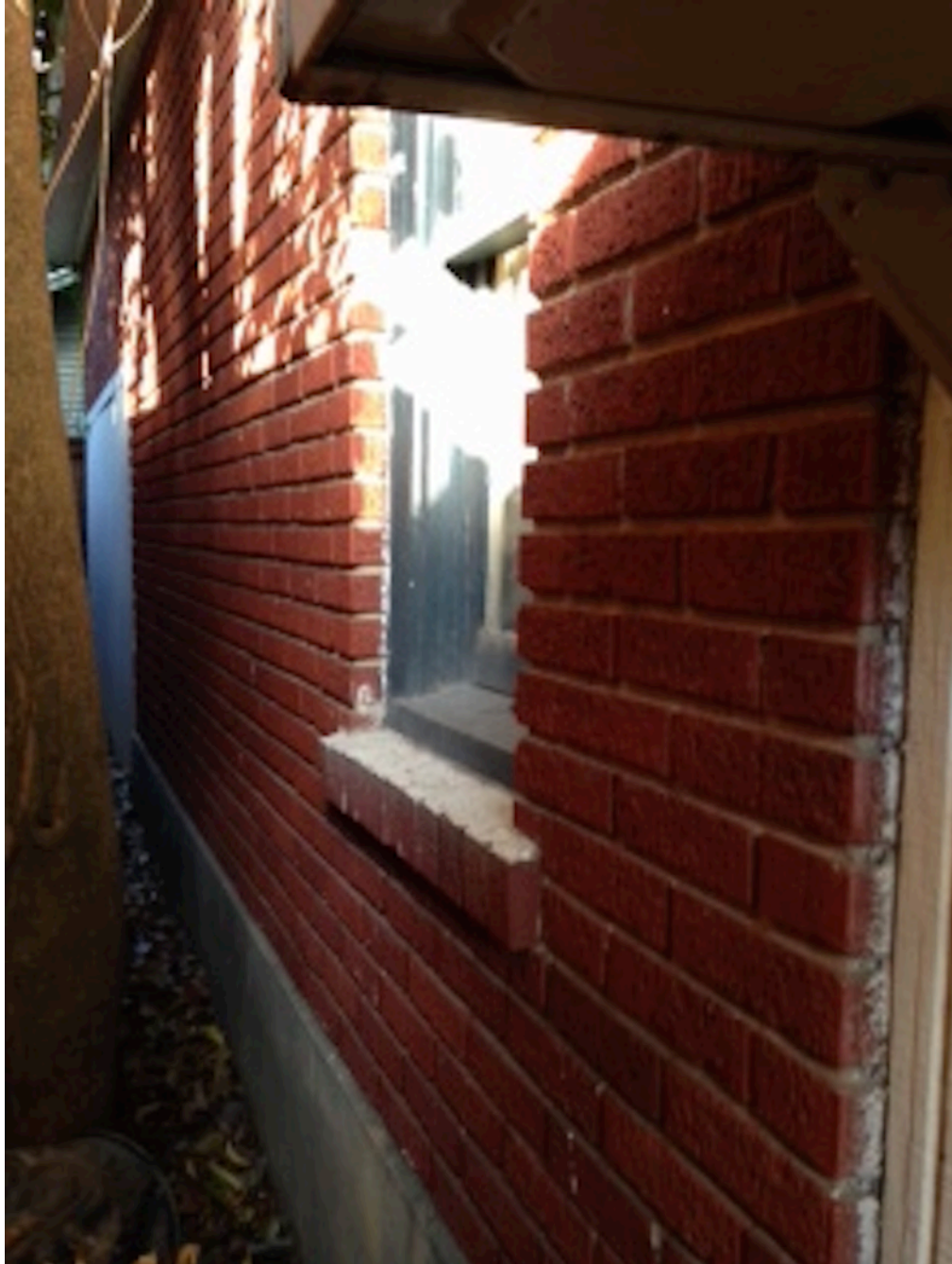




Rear view



Rear wall garage



Side wall at garage





Rear view of garage



Front elevation of garage





Front elevation of garage



ADJ Adjustable  
 AFF Above Finish Floor  
 ARCH Architectural  
 BD Board  
 BLKG Blocking  
 BO Bottom Of  
 BRG Bearing  
 CAB Cabinet  
 CANT Cantilever  
 CJ Ceiling Joist  
 CMU Concrete Masonry Unit  
 CLG Ceiling  
 CLO Closet  
 COL Column  
 CONC Concrete  
 CONT Continuous  
 CORR Corridor  
 CPT Carpet  
 CTR Center  
 D Dryer  
 DBL Double  
 DET Detail  
 DH Double Hung  
 DIA Diameter  
 DIM Dimension  
 DN Down  
 DO Door Opening  
 DW Dishwasher  
 DWR Drawer  
 DWG Drawing  
 EA Each  
 ELEV Elevation  
 EQ Equal  
 EW Each Way  
 EXT Exterior  
 FD Floor Drain  
 FE Fire Extinguisher  
 FIN Finish  
 FL Floor  
 FO Face of  
 FS Full Size  
 FT Foot or Feet  
 FTG Footing  
 FURR Furring  
 FZR Freezer  
 GAS Gas Bib  
 GB Grab Bar  
 GL Glass  
 GALV Galvanized  
 GYP Gypsum  
 HB Hose Bib  
 HC Handicap  
 HDR Header  
 HR Hour  
 INT Interior  
 JT Joint  
 LAM Laminated  
 LAV Lavatory  
 LIN Linen  
 LVL Laminated Veneer Lumber  
 MAX Maximum  
 MC Medicine Cabinet  
 MECH Mechanical  
 MET Metal  
 MFR Manufacturer  
 MIN Minimum  
 MISC Miscellaneous  
 MTD Mounted  
 MUL Mullion  
 MW Microwave  
 NIC Not In Contract  
 NTS Not To Scale  
 OC On Center  
 OH Opposite Hand  
 OHD Overhead Door  
 OSB Oriented Strand Board  
 PL Plate  
 PR Pair  
 PTN Partition  
 RAD Radius  
 REF Refrigerator  
 RM Room  
 RO Rough Opening  
 SF Square Feet  
 SH Single Hung  
 SFT Sheet  
 SIM Similar  
 SPEC Specification  
 SS Stainless Steel  
 STD Standard  
 STL Steel  
 SYM Symmetrical  
 TC Trash Compactor  
 PH Telephone  
 TG Tongue and Groove  
 UNO Unnoted Otherwise  
 VCT Vinyl Composition Tile  
 VERT Vertical  
 VWC Vinyl Wall Covering  
 W Washer  
 WD Wood  
 WH Water Heater  
 WP Wire Mesh  
 WWM Welded Wire Mesh

1. Written dimensions take precedence over scaled dimensions.
2. On Floor Plans, dimensions are to face of frame, or face of masonry u.n.o.
3. On Foundation Plans, dimensions are to edge of foundation, u.n.o.
4. On Interior Elevations, dimensions are to face of sheet rock, u.n.o.
5. Larger scale drawings take precedence over smaller scale drawings.
6. Change in floor materials occurs at centerline of door leaf.
7. All work performed shall be in accordance with all applicable codes, regulations, and ordinances having jurisdiction.
8. Attic access shall not be less than 22" x 30". Attic stair shall have a 25 <sup>3</sup>/<sub>8</sub>" x 54" rough opening, and shall be located to provide 30" minimum clear head room above the access opening.
9. Provide sound attenuating batts around all bathrooms and mechanical equipment spaces.
10. Any Mechanical, Electrical, or Plumbing shown on these plans are schematic only. Each sub-contractor is responsible to design and install their respective systems and equipment in conformance to local codes.
11. Unless Otherwise Noted, doors shall be located 6" from an adjacent wall, or centered between two adjacent walls.
12. Window sizes shown are nominal unit sizes. Coordinate actual rough opening requirements with window manufacturer.
13. Locate all plumbing and mechanical vent stacks toward the rear of the building when possible, and paint to match roofing color.
14. Final selections for all finish materials to be made by the Builder/Owner.
15. All bath and toilet area walls shall have water resistant gypsum board.
16. Builder shall coordinate all closet shelving requirements with Owner.
17. Handrails shall be mounted 32"-34" above nosing of stairs. Guard rails shall be 36" high.

The Builder is responsible for ensuring compliance with all local codes and ordinances. Before construction begins, the Builder should thoroughly review these plans and notify Delineations Inc. immediately of any discrepancies or errors in the plans. The Builder acknowledges and understands the risks associated with adapting this home design to the local construction site, such as climate, soil conditions, grade, seismic zone, etc. Therefore, the Builder should consult a local engineer prior to construction in order to establish adequate structural design and construction methods. The Builder is also responsible for obtaining a local Architect's Seal if required to satisfy the local governing authority. The Builder is responsible for MEP design. Delineations Inc. shall not be held responsible for construction means or methods, construction costs, quality of materials, or workmanship. Delineations Inc. shall not be held responsible for deviations from the design resulting from unreported discrepancies in the plans. It is up to the Builder to notify Delineations immediately of any discrepancies before continuing construction. Delineations Inc. hereby grants permission to build only one structure from this set of plans. Any subsequent construction beyond the structure for which this plan was purchased is strictly prohibited. Do not use these plans for construction unless each sheet is labeled and issued "For Construction."

2012 International Building Code  
2012 International Residential Code  
2012 International Existing Building Code  
2012 International Mechanical Code  
2012 International Plumbing Code  
2012 International Fuel Gas Code  
2012 International Fire Code  
2009 International Energy Conservation Codes  
2011 National Electric Code

Owners:	The Hayes Family
Location:	138 East Hollywood Drive San Antonio, Texas
Design by:	D. Hays

<b><i>Drawing List</i></b>	
<b><i>Sheet Number</i></b>	<b><i>Sheet Name</i></b>
A-100	Cover Sheet
A-101	Site Plan Existing, Demo, + New, Areas
A-102	1st Floor Plan Existing + Demo
A-103	1st Floor Plan Existing + New
A-104	2nd Floor Plan - Existing + Demo
A-105	2nd Floor Plan Existing + New
A-106	1st Floor Electrical Plan
A-107	2nd Floor Electrical Plan
A-200	Partial Sections Existing + New
A-201	Exterior Elevations Existing + New
A-202	Exterior Elevations
A-203	Elevations
A-300	Interior Elevations
A-301	Interior Elevations
A-400	Perspectives
Grand total: 15	



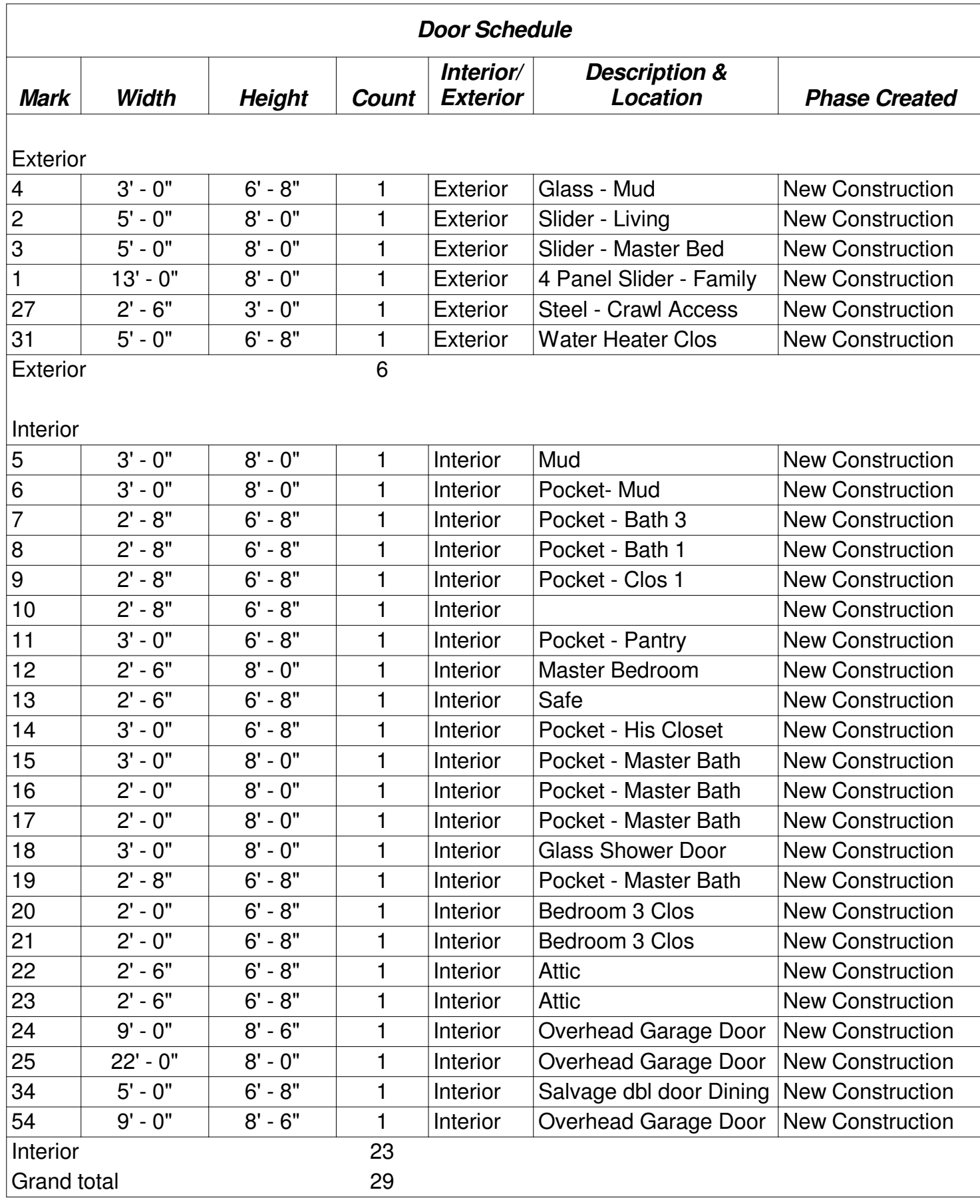
**Hayes House**  
**The Hayes Family**  
**138 East Hollywood**

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## Permit Set

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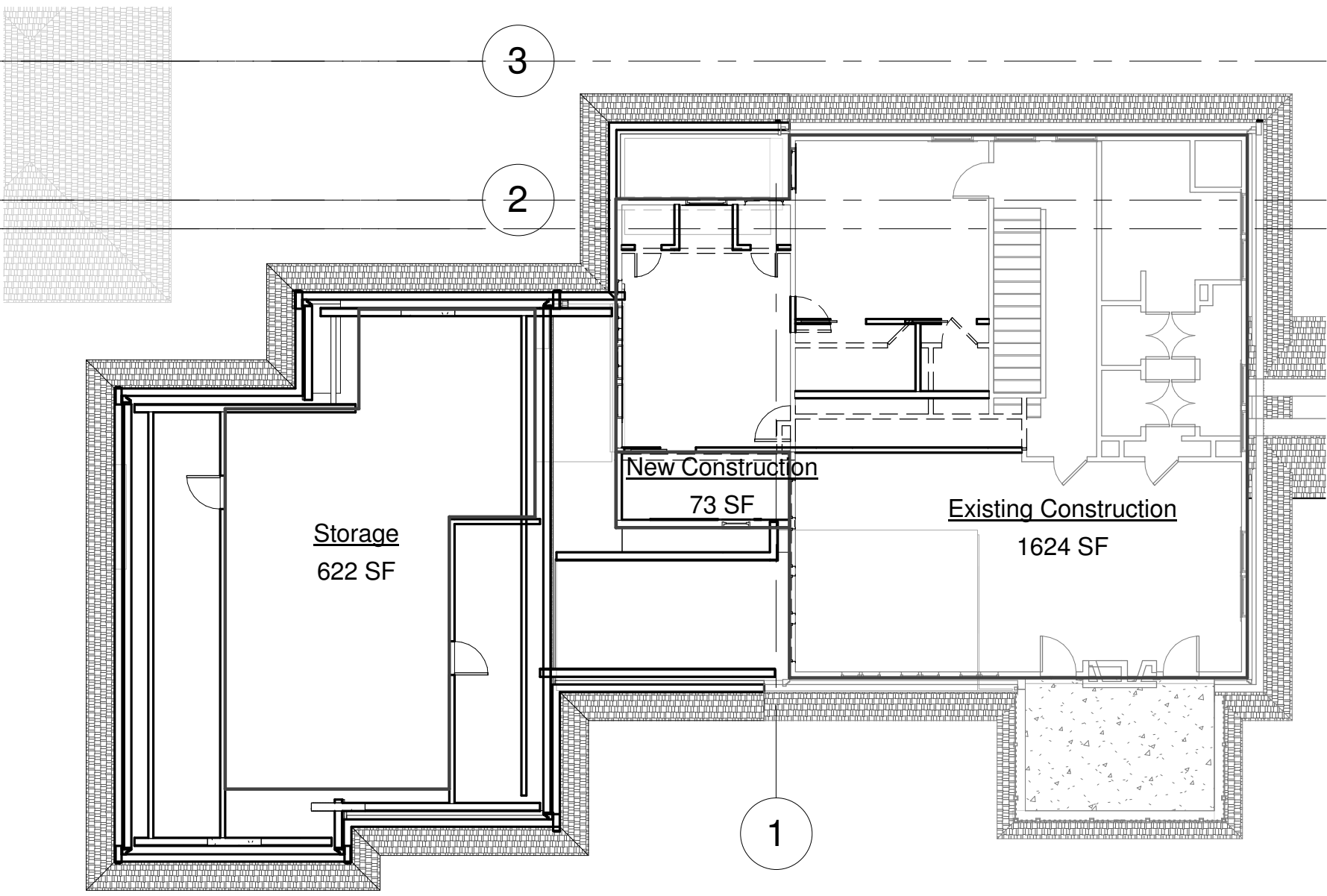




Window Schedule						
Window Number	Width	Height	Count	Description	Window Type	Phase Created
Fixed						
B	2' - 6"	4' - 6"	1	Wood Ptd	Fixed	New Construction
B	2' - 0"	3' - 0"	3	Wood Ptd	Fixed	New Construction
C	2' - 0"	3' - 0"	1	Wood Ptd	Fixed	New Construction
Fixed			5			

Single Hung						
A	3' - 0"	6' - 0"	4	Single Hung Wood Ptd	Single Hung	New Construction
B	2' - 6"	4' - 6"	3	Single Hung Wood Ptd	Single Hung	New Construction
D	2' - 8"	5' - 0"	3	Single Hung Wood Ptd	Single Hung	New Construction
E	3' - 0"	5' - 0"	2	Single Hung Wood Ptd	Single Hung	New Construction
J	2' - 1"	5' - 0"	6	Single Hung Wood Ptd	Single Hung	New Construction
K	2' - 6"	1' - 3"	1	Single Hung Wood Ptd	Single Hung	New Construction
M	2' - 4"	5' - 0"	3	Single Hung Wood Ptd	Single Hung	New Construction
Single Hung			22			
Vent						
F	2' - 0"	2' - 0"	6	Wood Ptd	Vent	New Construction
H	4' - 0"	2' - 0"	4	Wood - Faux Vent	Vent	New Construction
L	3' - 0"	4' - 6"	2	Screen Foundation Vent	Vent	New Construction
N	2' - 0"		1	Vent Round	Vent	New Construction
Vent			13			
Grand total			40			

Area Schedule		
Name	Area	Comments
Existing Conditioned		
Existing Construction	1723 SF	Existing Conditioned
Existing Construction	1624 SF	Existing Conditioned
Existing Conditioned: 2	3347 SF	
Existing Not Conditioned		
Front Porch	71 SF	Existing Not Conditioned
Side porch	21 SF	Existing Not Conditioned
Existing Porch	180 SF	Existing Not Conditioned
Garage	505 SF	Existing Not Conditioned
Existing Not Conditioned: 4	777 SF	
New Conditioned		
New Construction	1395 SF	New Conditioned
New Construction	73 SF	New Conditioned
New Pantry	65 SF	New Conditioned
Storage	622 SF	New Conditioned
New Conditioned: 4	2155 SF	
New Not Conditioned		
New Side Porch	58 SF	New Not Conditioned
New Porch	184 SF	New Not Conditioned
New Not Conditioned: 2	242 SF	
Grand total: 12	6522 SF	



**Hayes House**  
**The Hayes Family**  
**138 East Hollywood**

No.	Description	Date
	25% - Concept	10-15-14
	65% - Progress Set	11-7-14
	70% - Progress Set	11-26-14
	Pre Bid Set	12-12-14
	Bid Set	12-17-14

## Bid Set - Revised

01-27-2015

## Permit Set

## Site Plan Existing, Demo, + New, Areas

Project number	149010
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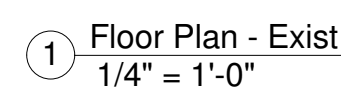
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A-101

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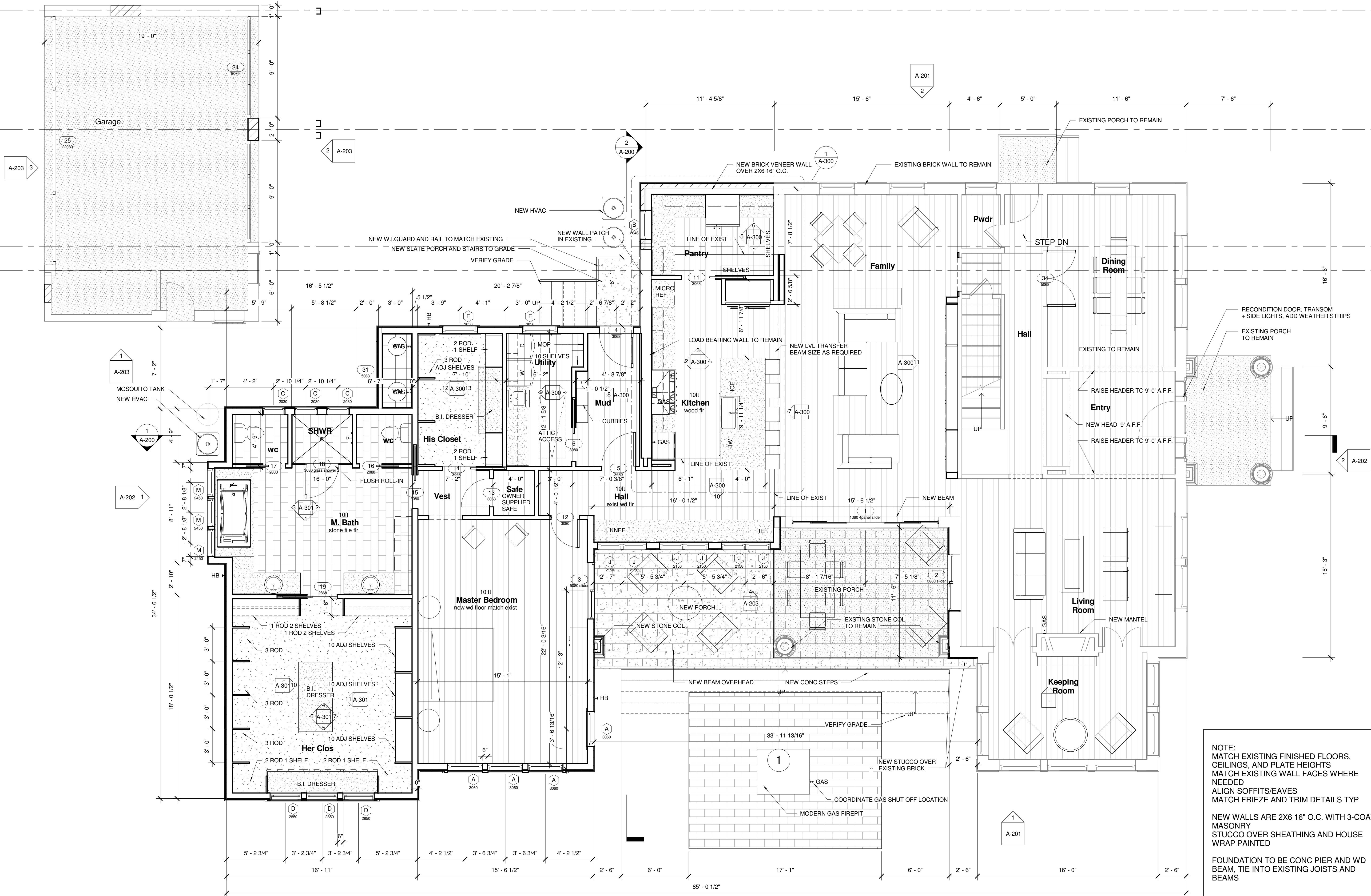
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### Permit Set

Project number	149010
Date	01-07-2015
Drawn by	Author
Checked by	Checker

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1 Floor Plan - New  
1/4" = 1'-0"

Hayes House  
The Hayes Family  
138 East Hollywood

No.	Description	Date
25%	- Concept	10-15-14
65%	- Progress Set	11-7-14
70%	- Progress Set	11-26-14
Pre Bid Set		12-12-14
Bid Set		12-17-14

Bid Set - Revised

01-27-2015

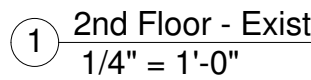
Permit Set

1st Floor Plan  
Existing + New

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Date	01-07-2015
Drawn by	Author
Checked by	Checker

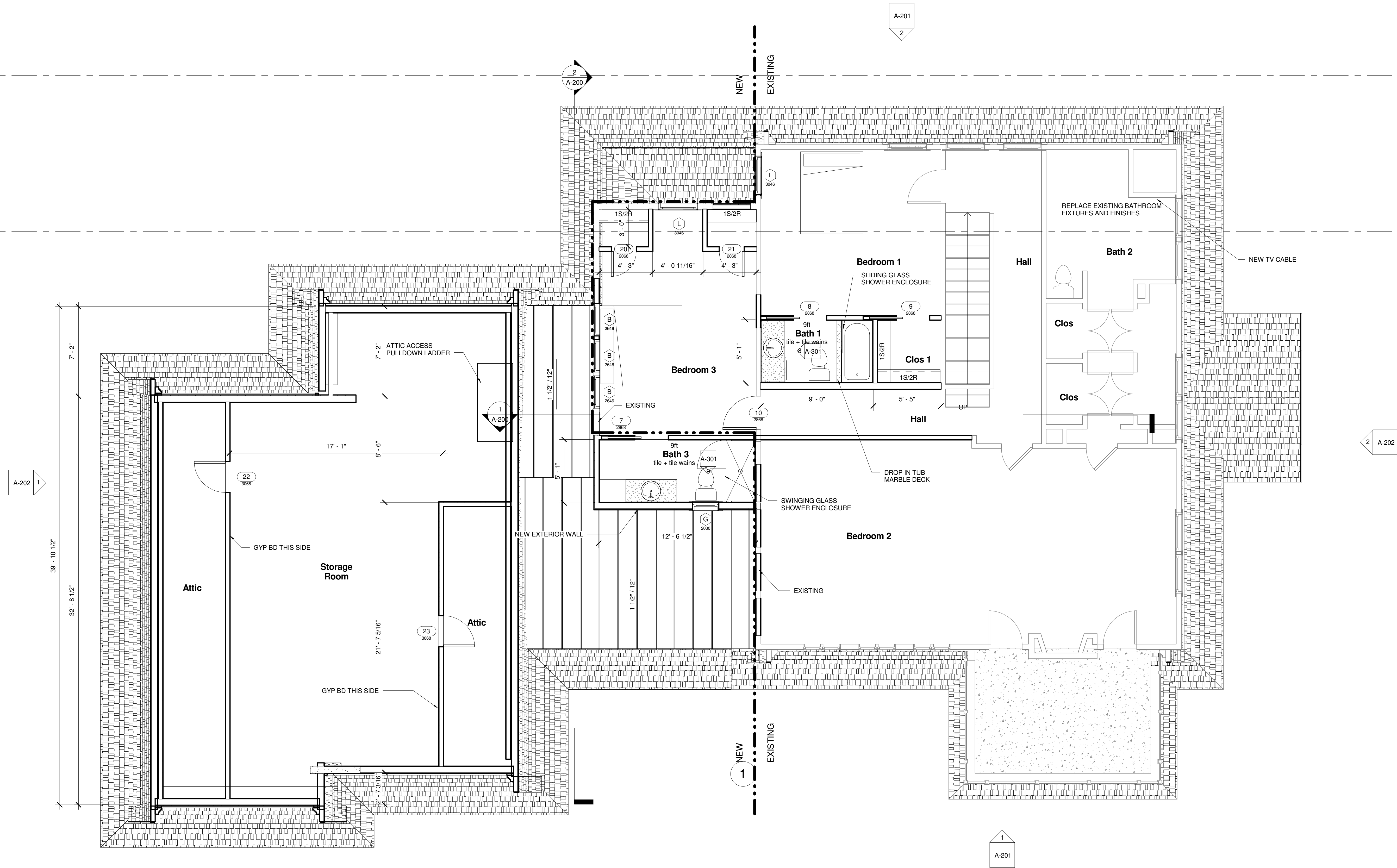
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Scale 1/4" = 1'-0"



**138 East Hollywood**

Scale  $1/4" = 1'-0"$



2 2nd Floor - New  
1/4" = 1'-0"

Hayes House  
The Hayes Family  
138 East Hollywood

No.	Description	Date
25%	- Concept	10-15-14
65%	- Progress Set	11-7-14
70%	- Progress Set	11-26-14
Pre Bid Set		12-12-14
Bid Set		12-17-14

Bid Set - Revised

01-27-2015

Permit Set

2nd Floor Plan  
Existing + New

Project number	149010
Date	01-07-2015
Drawn by	Author
Checked by	Checker

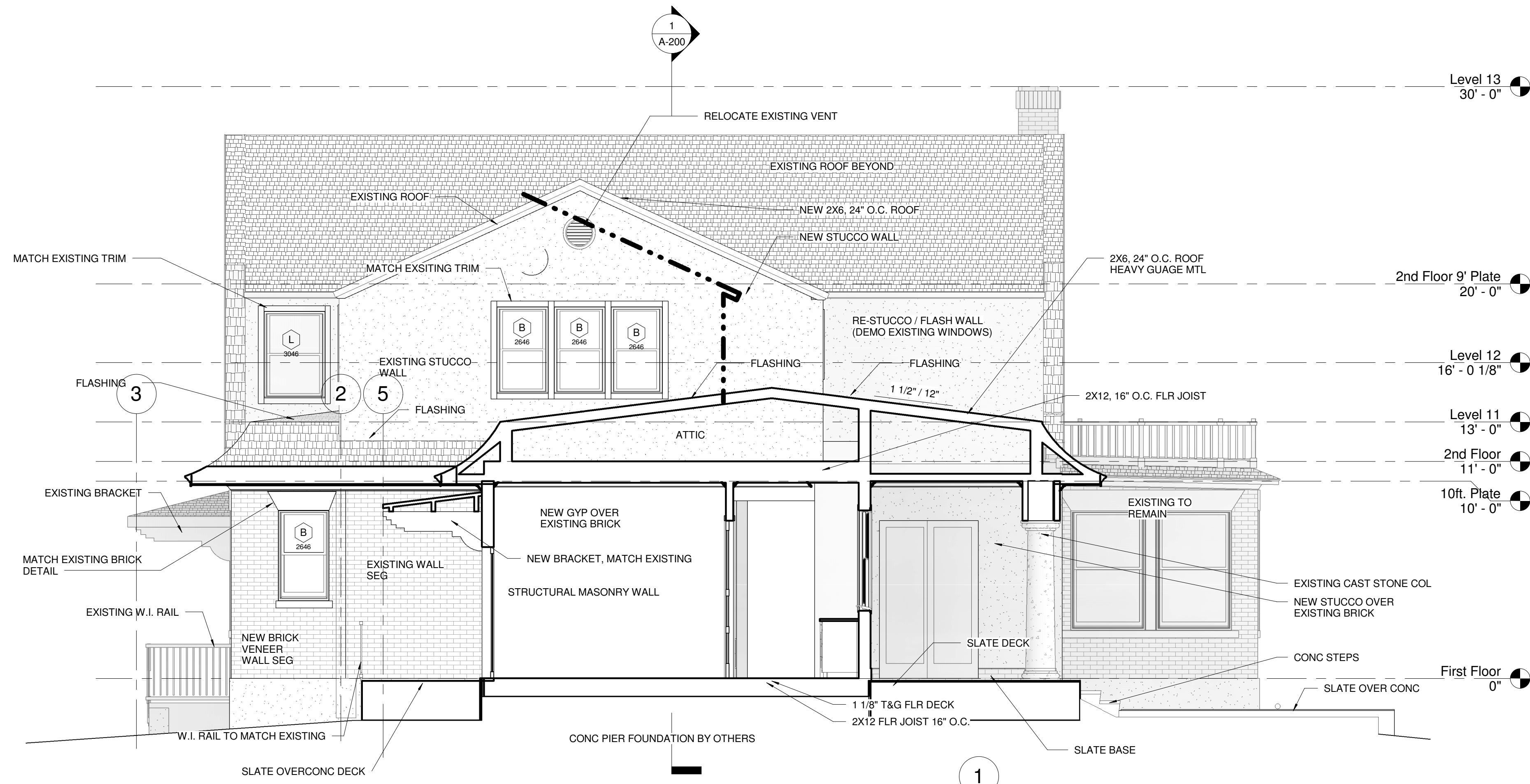
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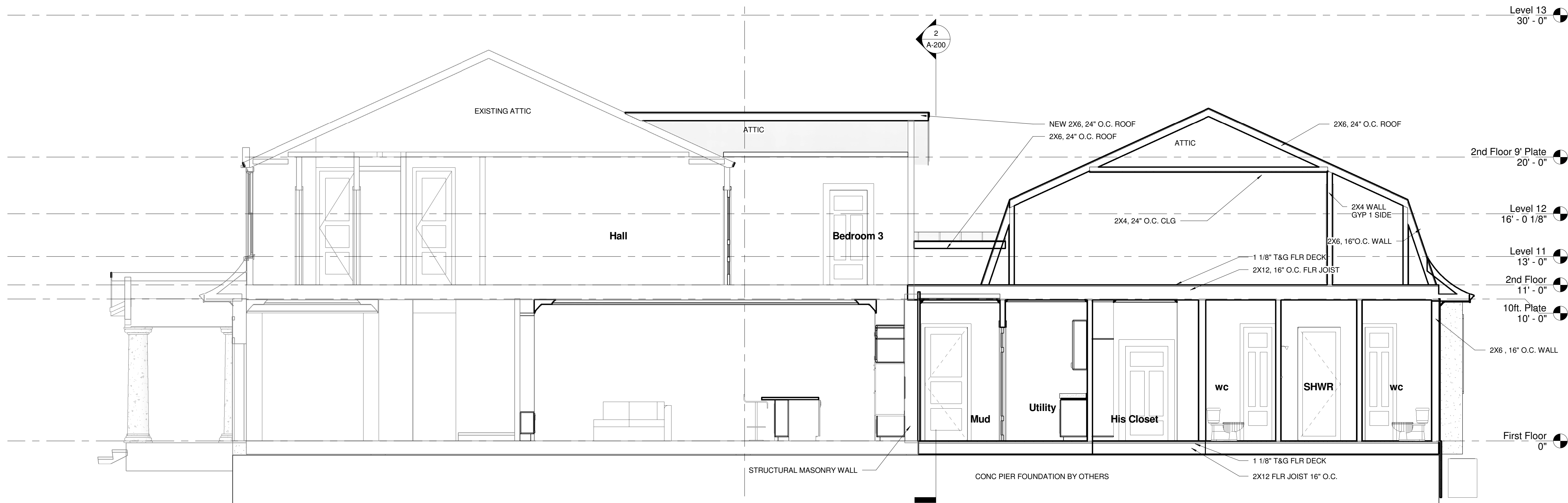




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Section 2  
1/4" = 1'-0"



Section 3  
1/4" = 1'-0"

Hayes House  
The Hayes Family  
138 East Hollywood

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25%	- Concept	10-15-14
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70%	- Progress Set	11-26-14
Pre Bid Set		12-12-14
Bid Set		12-17-14

Bid Set - Revised

01-27-2015

Permit Set

Partial Sections  
Existing + New

Project number 149010

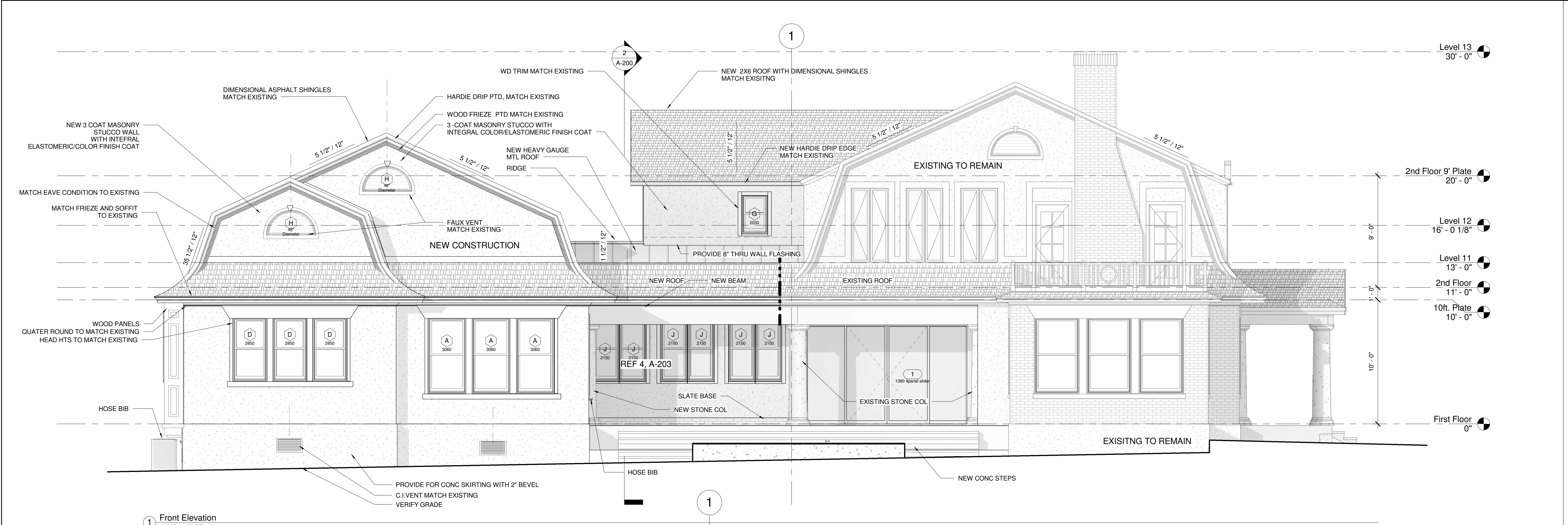
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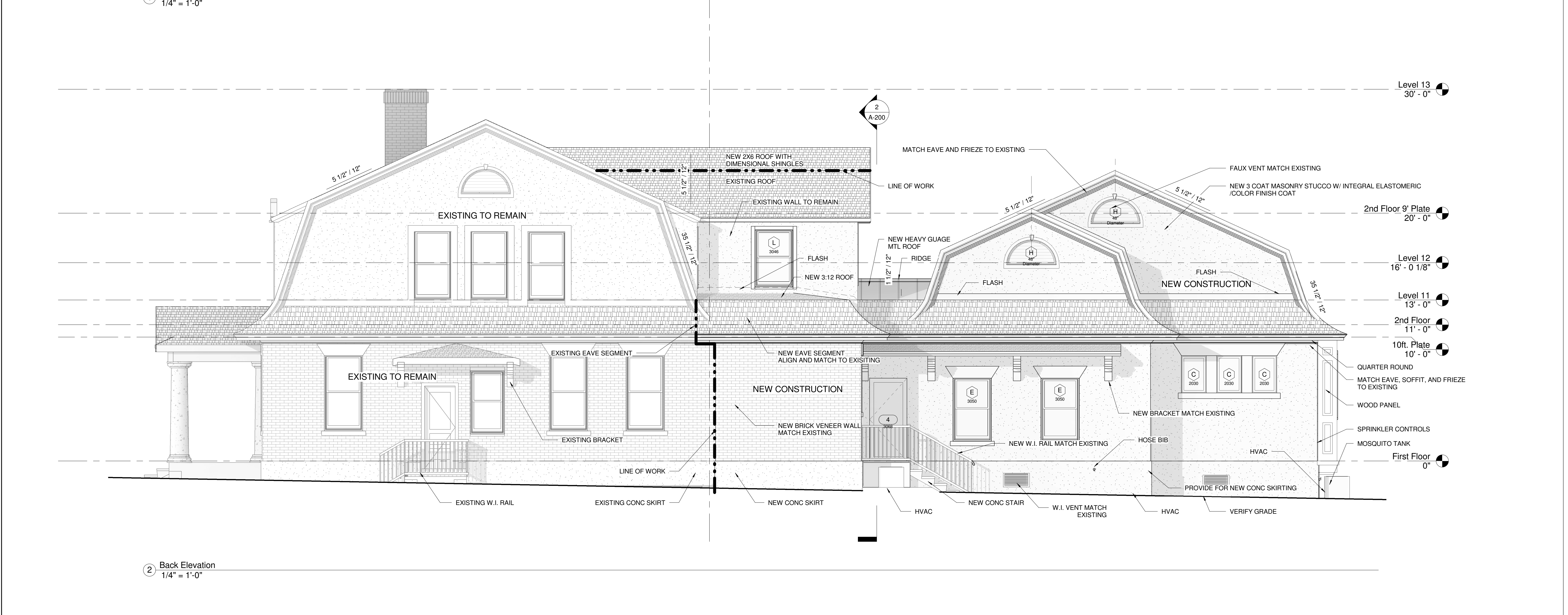
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A-200

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Hayes House  
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138 East Hollywood



No.	Description	Date
25%	- Concept	10-15-14
65%	- Progress Set	11-7-14
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Pre Bid Set		12-12-14
Bid Set		12-17-14

Bid Set - Revised  
01-27-2015  
Permit Set

Exterior Elevations  
Existing + New

Project number	149010
Date	01-07-2015
Drawn by	Author
Checked by	Checker

A-201  
Scale 1/4" = 1'-0"





No.	Description	Date
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	65% - Progress Set	11-7-14
	70% - Progress Set	11-26-14
	Pre Bid Set	12-12-14
	Bid Set	12-17-14

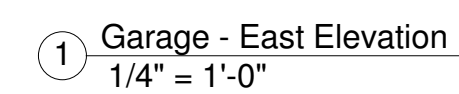
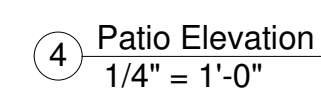
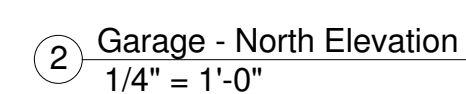
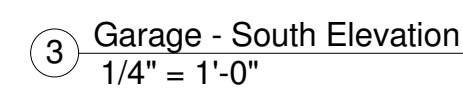
### Permit Set

## Exterior Elevations

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Checked by	Checker

A-202

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No.	Description	Date
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	65% - Progress Set	11-7-14
	70% - Progress Set	11-26-14
	Pre Bid Set	12-12-14
	Bid Set	12-17-14

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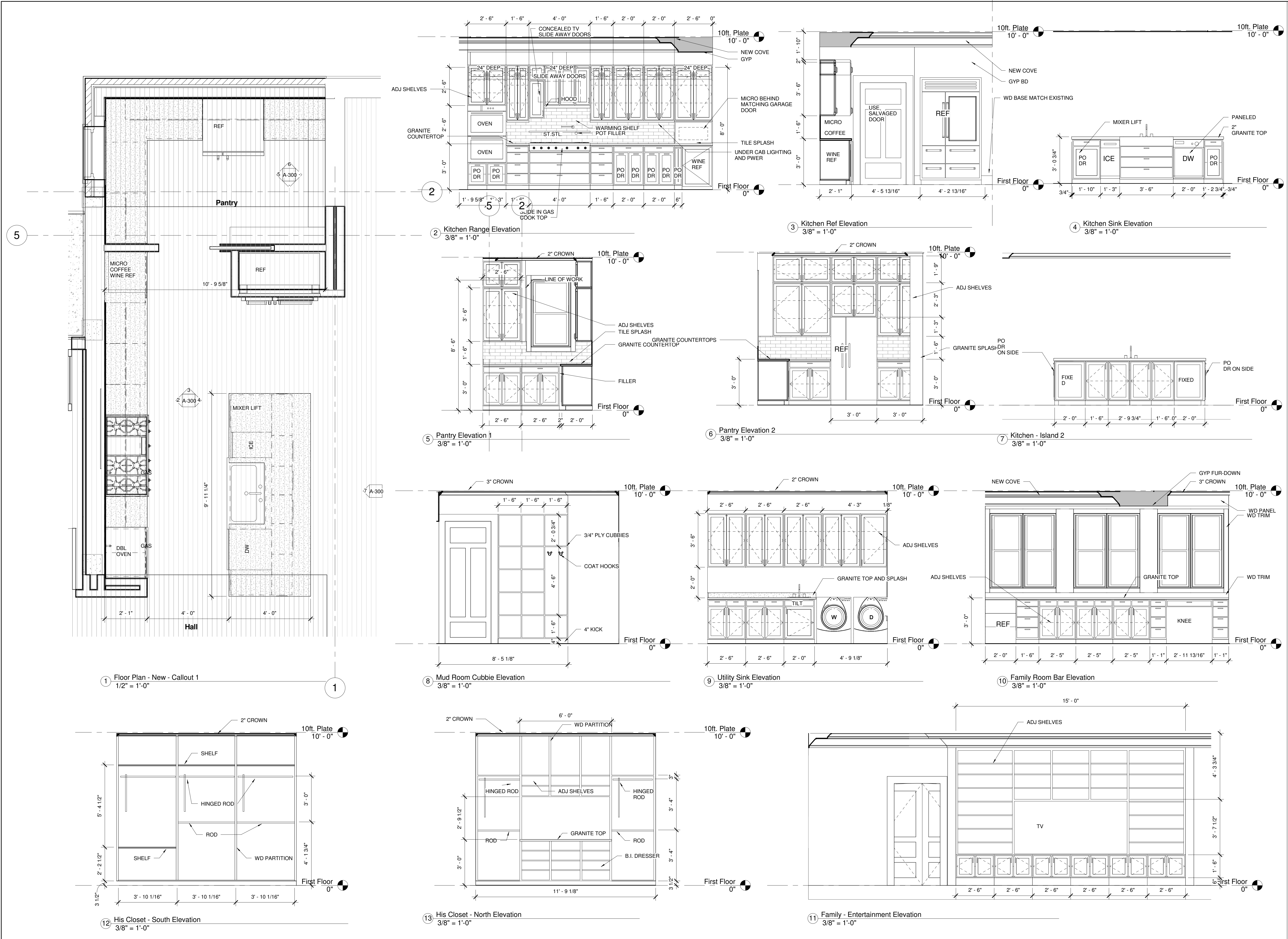
### Permit Set

## Elevations

Project number	149010
Date	01-07-2015
Drawn by	Author
Checked by	Checker

A-203

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Hayes House  
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25%	Concept	10-15-14
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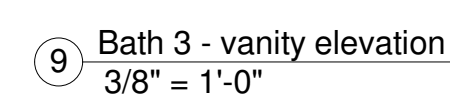
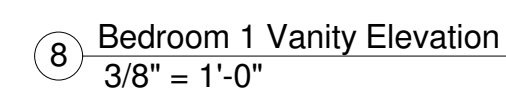
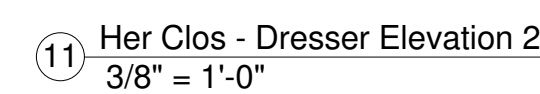
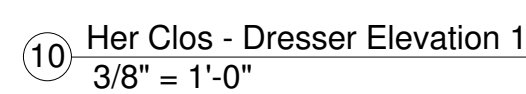
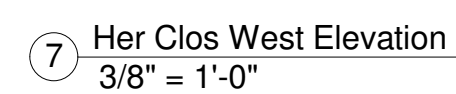
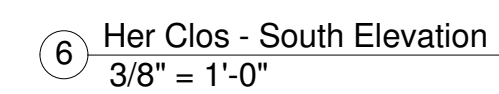
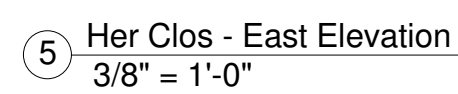
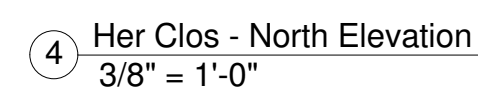
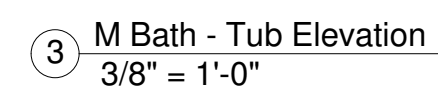
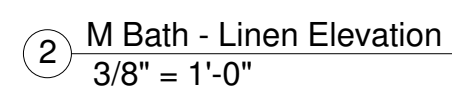
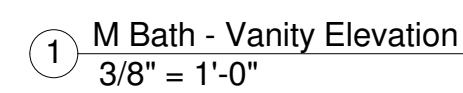
Bid Set - Revised  
01-27-2015  
Permit Set

Interior Elevations

Project number	149010
Date	01-07-2015
Drawn by	Author
Checked by	Checker

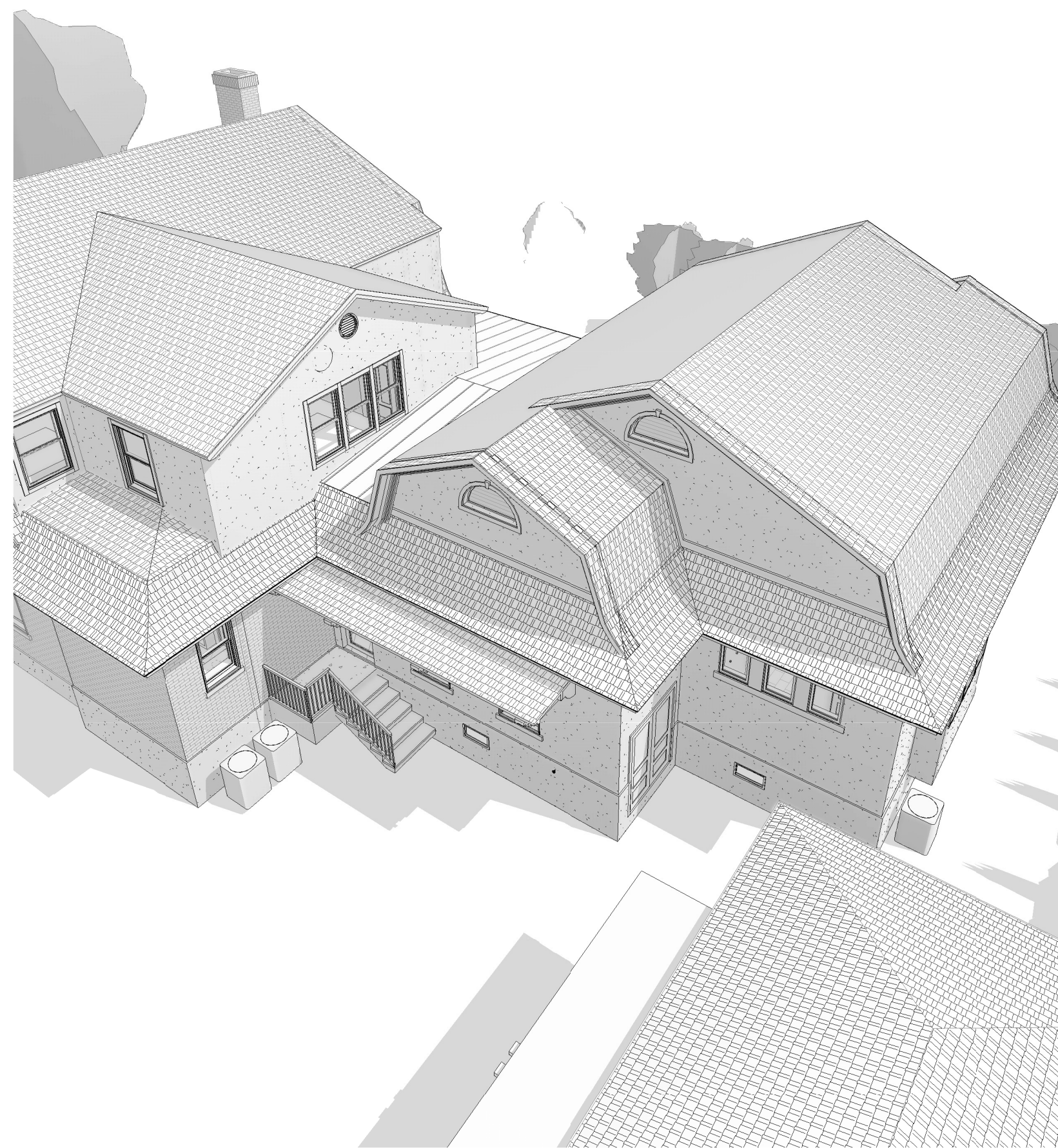
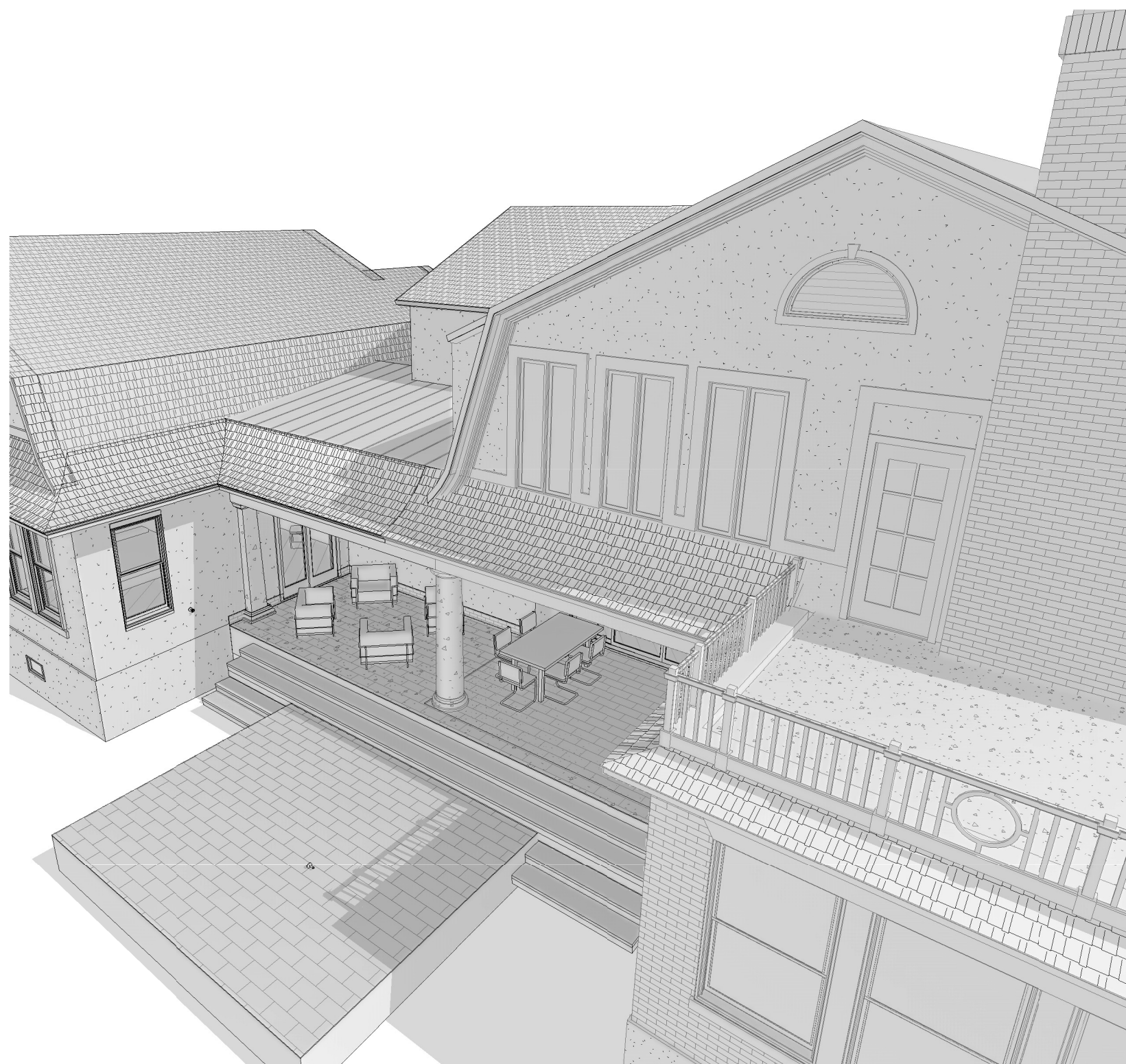
A-300

Scale As indicated

[illegible]

Scale	3/8" = 1'-0"
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**Hayes House**  
**The Hayes Family**  
**138 East Hollywood**

[illegible]

Bid Set - Revised  
01-27-2015  
Permit Set

## Perspectives

Project number	149010
Date	01-07-2015
Drawn by	Author
Checked by	Checker
A-400	
Scale	