

## HISTORIC AND DESIGN REVIEW COMMISSION

April 01, 2015

### Agenda Item No: 14

**HDRC CASE NO:** 2015-107  
**ADDRESS:** 801, 803, 809, 815 S ST MARYS  
**LEGAL DESCRIPTION:** NCB 738 BLK 1 LOT N IRR 120 OF 1 OR A1,S IRR 51.6 OF N 117 OF 1&2,NE TRI OF 6 OR A7  
**ZONING:** C2 IDZ H  
**CITY COUNCIL DIST.:** 1  
**DISTRICT:** King William Historic District  
**APPLICANT:** Bryan Penn  
**OWNER:** Bryan Penn  
**TYPE OF WORK:** Fencing and exterior modifications  
**REQUEST:**

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Install a wrought iron fence on the property.
2. Create 9 new window openings and install 9 new windows into the existing east façade.
3. Create 3 new window openings and install 3 new windows into the existing north facade.
4. Create 1 new door opening and install 1 new door into the existing east façade as well as transoms above the existing single width doors.
5. Install festoon patio lighting with new metal supports.
6. Create 8 new window openings and install 8 new windows into the existing west facade.

### APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations*

#### 5. Architectural Features: Lighting

##### A. MAINTENANCE (PRESERVATION)

- i. *Lighting*—Preserve historic light fixtures in place and maintain through regular cleaning and repair as needed.

##### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Rewiring*—Consider rewiring historic fixtures as necessary to extend their lifespan.
- ii. *Replacement lighting*—Replace missing or severely damaged historic light fixtures in-kind or with fixtures that match the original in appearance and materials when in-kind replacement is not feasible. Fit replacement fixtures to the existing mounting location.
- iii. *New light fixtures*—Avoid damage to the historic building when installing necessary new light fixtures, ensuring they may be removed in the future with little or no damage to the building. Place new light fixtures and those not historically present in locations that do not distract from the façade of the building while still directing light where needed. New light fixtures should be unobtrusive in design and should not rust or stain the building.

#### 6. Architectural Features: Doors, Windows, and Screens

##### A. MAINTENANCE (PRESERVATION)

- i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match

the original historic glass.

iv. *Screens and shutters*—Preserve historic window screens and shutters.

v. *Storm windows*—Install full-view storm windows on the interior of windows for improved energy efficiency. Storm window may be installed on the exterior so long as the visual impact is minimal and original architectural details are not obscured.

## 10. Commercial Facades

### A. MAINTENANCE (PRESERVATION)

i. *Character-defining features*—Preserve character-defining features such as cornice molding, upper-story windows, transoms, display windows, kickplates, entryways, tiled paving at entryways, parapet walls, bulkheads, and other features that contribute to the character of the building.

ii. *Windows and doors*—Use clear glass in display windows. See Guidelines for Architectural Features: Doors, Windows, and Screens for additional guidance.

iii. *Missing features*—Replace missing features in-kind based on evidence such as photographs, or match the style of the building and the period in which it was designed.

iv. *Materials*—Use in-kind materials or materials appropriate to the time period of the original commercial facade when making repairs.

### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. *New features*—Do not introduce new facade elements that alter or destroy the historic building character, such as adding inappropriate materials; altering the size or shape of windows, doors, bulkheads, and transom openings; or altering the facade from commercial to residential. Alterations should not disrupt the rhythm of the commercial block.

ii. *Historical commercial facades*—Return non-historic facades to the original design based on photographic evidence. Keep in mind that some non-original facades may have gained historic importance and should be retained. When evidence is not available, ensure the scale, design, materials, color, and texture is compatible with the historic building. Consider the features of the design holistically so as to not include elements from multiple buildings and styles.

## *Historic Design Guidelines, Chapter 5, Guidelines for Site Elements*

## 2. Fences and Walls

### B. NEW FENCES AND WALLS

i. *Design*—New fences and walls should appear similar to those used historically within the district in terms of their scale, transparency, and character. Design of fence should respond to the design and materials of the house or main structure.

ii. *Location*—Avoid installing a fence or wall in a location where one did not historically exist, particularly within the front yard. The appropriateness of a front yard fence or wall is dependent on conditions within a specific historic district. New front yard fences or wall should not be introduced within historic districts that have not historically had them.

iii. *Height*—Limit the height of new fences and walls within the front yard to a maximum of four feet. The appropriateness of a front yard fence is dependent on conditions within a specific historic district. New front yard fences should not be introduced within historic districts that have not historically had them. If a taller fence or wall existed historically, additional height may be considered. The height of a new retaining wall should not exceed the height of the slope it retains.

iv. *Prohibited materials*—Do not use exposed concrete masonry units (CMU), Keystone or similar interlocking retaining wall systems, concrete block, vinyl fencing, or chain link fencing.

v. *Appropriate materials*—Construct new fences or walls of materials similar to fence materials historically used in the district. Select materials that are similar in scale, texture, color, and form as those historically used in the district, and that are compatible with the main structure. Screening incompatible uses—Review alternative fence heights and materials for appropriateness where residential properties are adjacent to commercial or other potentially incompatible uses.

## **FINDINGS:**

- a. The structure at 801 S St Mary's, also known as the King William Professional Building was constructed circa 1970, according to the King William Neighborhood Historic Resources Survey and is located at the corner of S St Mary's and Madison in the King William Historic District. This property received Historic Tax Certification on September

4, 2013, for roof replacement, the cleaning of the brick façade and exterior painting.

- b. The applicant has proposed to install a wrought iron fence on the rear (southwest) side of the building to enclose a proposed outdoor patio. According to the Guidelines for Site Elements B., new fences should appear to be similar to those used historically within the district in terms of their scale, transparency and character and should be composed of materials that are complementary of those of the primary structure and other fences throughout the district. The applicant's proposal is consistent with the Guidelines.
- c. The applicant has proposed to create 9 new window openings in the east façade that front S St Mary's. Currently, the east wall features no windows. Due to this structure's relatively young age, staff finds that the creation of eight new window openings along this wall as well as the installation of those windows is appropriate. Staff recommends that the applicant provide more information regarding window fenestration and the materials of the proposed windows and adhere to the Historic Design Guidelines 10.A.ii. and iv.
- d. The north façade of the structure forms a unique corner at the intersection of S St Mary's and Madison where the applicant has proposed to create three new window openings as well to install three windows. Staff finds that the placements as well as size of these windows is appropriate.
- e. The applicant has proposed to create a new door opening and install a new door to match the two existing single width doors on the east façade. In addition to install the new door, the applicant has proposed to install transoms over the two existing single width doors. Due to the non contributing nature of this structure, staff finds these additions to be appropriate.
- f. The applicant has proposed to install festoon lighting in the outdoor patio area where the proposed wrought iron fence is located. According to the Guidelines for Exterior Maintenance and Alterations, new light fixtures should be placed in a location that does not distract or damage the primary building's façade or any façade elements. The proposal to install festoon lighting is consistent with the Guidelines.
- g. The applicant has proposed to create eight new window openings in the west facade that fronts Madison Street. Currently, the west wall features no windows. Due to this structure's relatively young age, staff finds that the creation of eight new window openings along this wall as well as the installation of those windows is appropriate, however, staff does not find that the proposed size of the windows on the west façade are appropriate. Staff recommends that the applicant

#### **RECOMMENDATION:**

Staff recommends approval of items #1 through #5 with the following stipulations:

- i. That the applicant coordinate with staff on the materials and fenestration of the proposed windows on the east and north facades as well as the proposed doors and transoms.
- ii. That the proposed wrought iron fence be no taller than four (4) feet tall at any location.
- iii. That the proposed metal pole supports for the outdoor patio festoon lighting match the wrought iron fence in appearance.

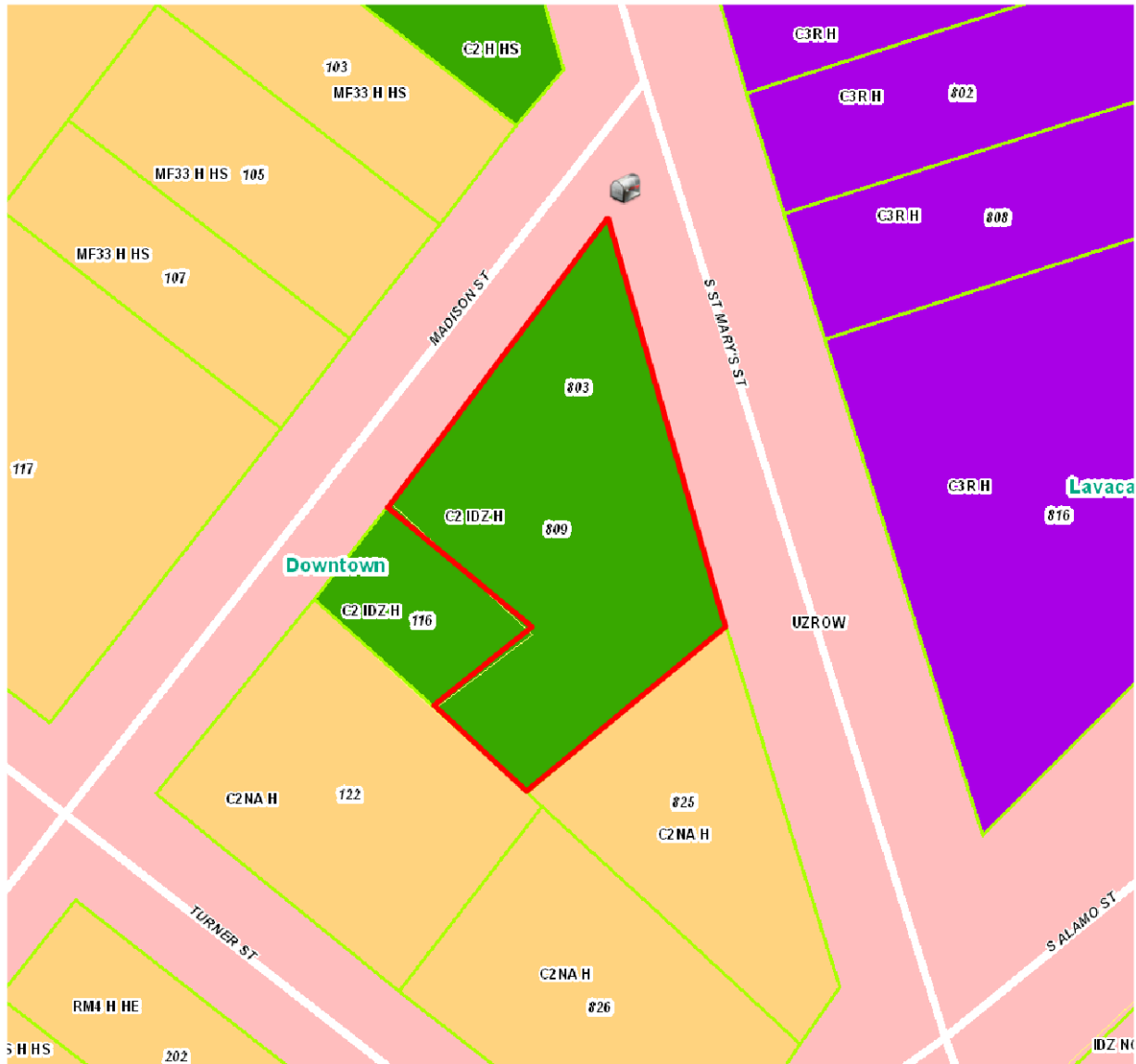
Staff does not recommend approval of item #5. Staff recommends that the applicant redesign the proposed new west façade arrangement to include window size and placement more consistent with that of the proposed east façade.

#### **CASE COMMENT:**

The final construction height of an approved fence may not exceed the maximum height as approved by the HDRC at any portion of the fence. Additionally, all fences must be permitted and meet the development standards outlined in UDC Section 35-514.

#### **CASE MANAGER:**

Edward Hall





## Flex Viewer

Powered by ArcGIS Server

Printed: Mar 24, 2015

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MARTINEZ ARCHITECTURE

1100 Broadway St., Suite 300R

San Antonio, Texas 78215

Marcello@MartinezAIA.com

4 March 2015

Office of Historic Preservation  
1901 S. Alamo  
San Antonio, TX 78204

**Re: Francis BogSide (A/P # 2041122)**

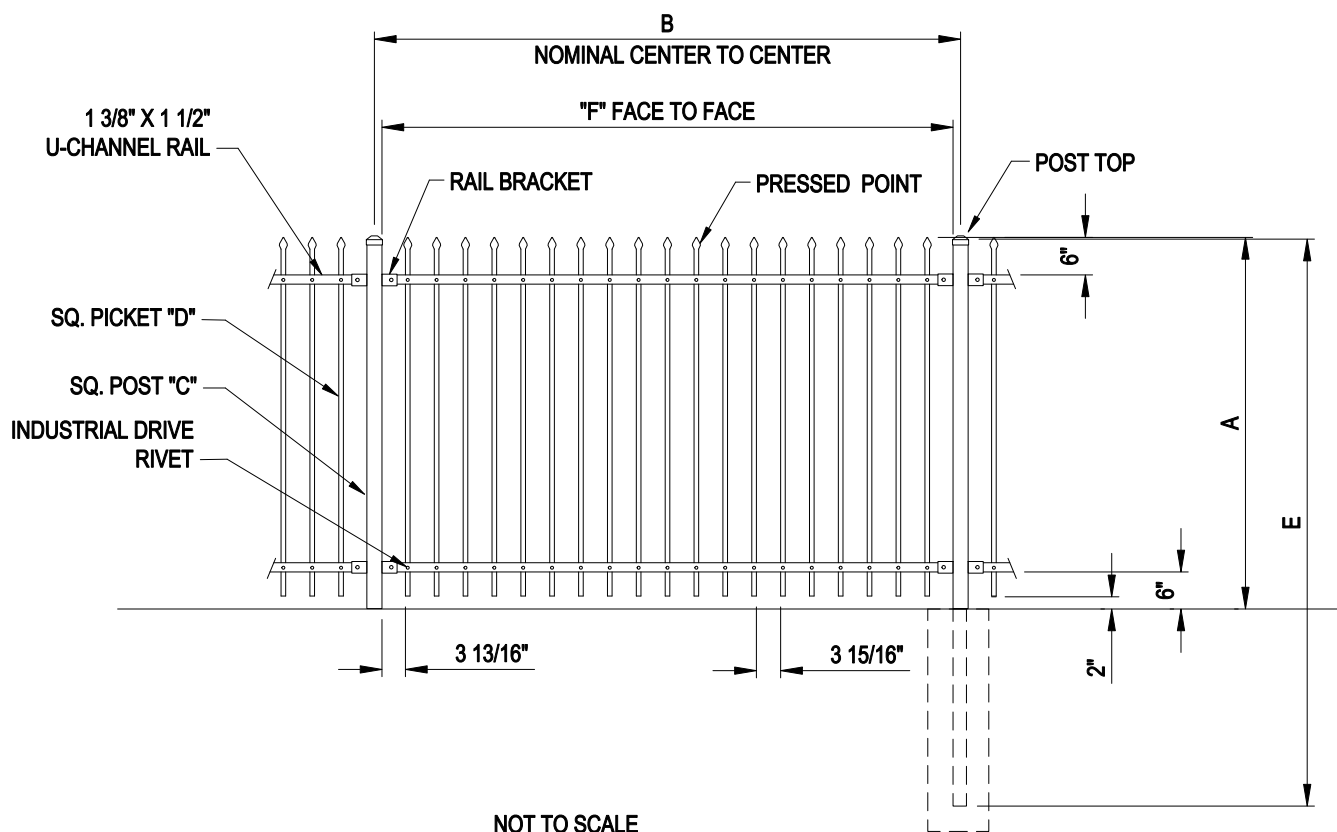
To Whom It May Concern:

The scope of work for Francis BogSide (A/P #2041122) consists mostly of an interior finish-out to an existing lease space within the King William Professional Building, located at 803 S. St. Mary's Street. Our scope of work does call for a wrought iron fence to enclose an outdoor patio at the rear of the lease space. This patio is currently a portion of an existing asphalt parking lot. The specifications for this wrought iron fence are included in the package for this office. This proposed patio is to be lit by typical outdoor festoon lights.

Included in the interior finish out for Francis BogSide will be 3-5 ton package units that will be placed on the roof of the existing lease space. Sheet A4.02 of our exhibit shows that the existing parapet wall is high enough to where it will completely hide the rooftop units from sidewalk, street, and parking lot view.



IRON WORLD  
9390 DAVIS AVE.  
HOWARD COUNTY, MD, 20723  
PHONE: (301) 776-7448  
TOLL FREE: 1-866-310-2747  
FAX: (301) 776-7449  
www.ironworldfencing.com



NOT TO SCALE

#### NOM HEIGHT (A)

3' - 0"  
3' - 6"  
4' - 0"  
5' - 0"  
6' - 0"  
7' - 0"  
8' - 0"

CUSTOM HEIGHTS  
AVAILABLE

#### POST OPTION (C)

2" SQ X 14 GA  
2 1/2" SQ X 12 OR 14 GA  
3" SQ X 12 GA  
4" SQ X 11 GA  
6" SQ X 3/16" WALL

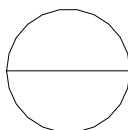
#### PICKET OPTION (D)

3/4" SQ > 14 GA  
OR > 16 GA  
1" SQ > 18 GA

A \_\_\_\_ " NOM HEIGHT  
B \_\_\_\_ " NOM SECTION LENGTH  
C \_\_\_\_ " POST SIZE \_\_\_\_ GAUGE  
D \_\_\_\_ " PICKET SIZE \_\_\_\_ GAUGE  
E \_\_\_\_ " POST LENGTH  
F \_\_\_\_ " FACE TO FACE OF POSTS W/  
STD. FLAT MOUNT BRACKET

#### NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
2. DO NOT SCALE DRAWINGS.
3. SPECIFICATIONS SHOWN CAN BE CHANGED ONLY BY THE MANUFACTURER..
4. FOOTING WIDTH TO BE (4) X POST WIDTH.
5. FENCE SECTIONS USING 3/4" PICKETS WILL TOTAL 19 PICKETS PER SECTION.  
FENCE SECTIONS USING 1" PICKETS WILL TOTAL 18 PICKETS PER SECTION.
6. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.CADdetails.com/info](http://www.CADdetails.com/info)  
REFERENCE NUMBER 2812-080.



**BARCELONA FENCE**

2 RAIL





1 PHOTO 1 - EXISTING  
NO SCALE



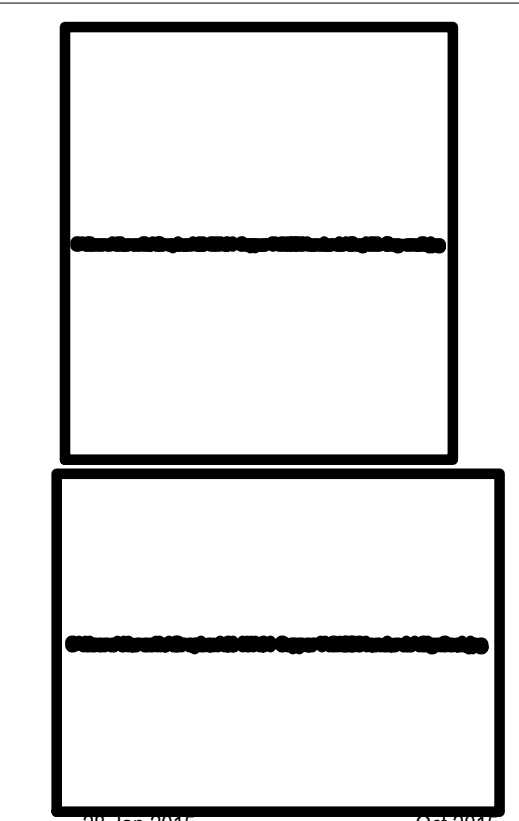
3 PHOTO 1 - PROPOSED  
NO SCALE



2 PHOTO 2 - EXISTING  
NO SCALE



4 PHOTO 2 - PROPOSED  
NO SCALE



DATE: 28 Jan 2015 EXP DATE: 08 2015  
MARTINEZ ARCHITECTURE, LLC  
1100 BROADWAY STREET, SUITE 300R  
SAN ANTONIO, TEXAS 78215  
VOICE: (210) 287-8166  
MARCELLO@MARTINEZAIA.COM

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PROJECT

Francis  
BogSIDE

803 S St. Mary's St.  
San Antonio, Texas 78205

OWNER

Steve  
Mahoney

803 S St. Mary's St.  
San Antonio, Texas 78205

PROJECT NUMBER

1458

CONSTRUCTION DOCS

NO.	DATE	DESCRIPTION OF ISSUE
1	2 Feb 2015	Construction Documents

CONSULTANT

SHEET TITLE

Existing Elevation Photos

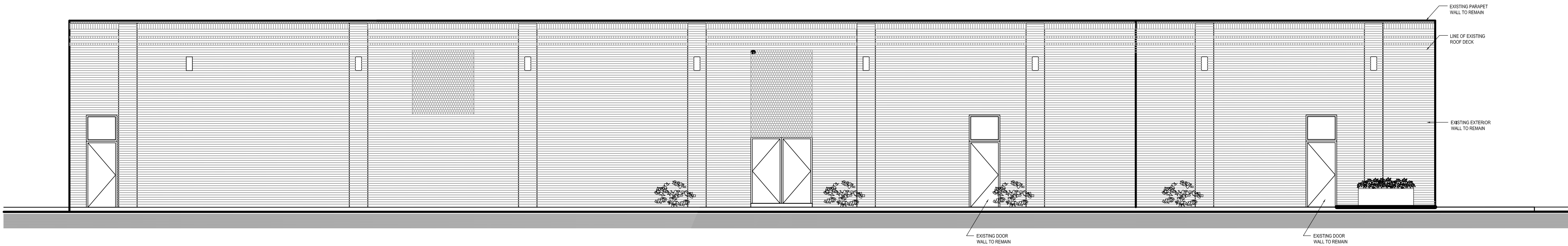
DATE  
3 March 2015

BAR LENGTH ON ORIGINAL  
DRAWING EQUALS 1 INCH

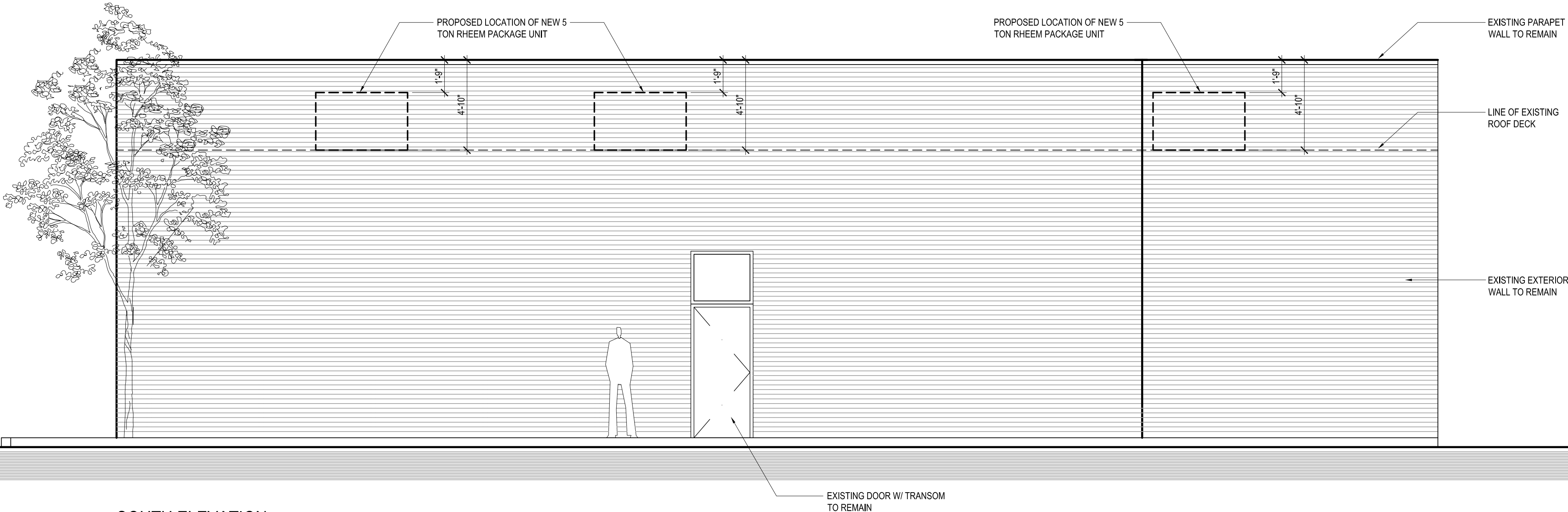
SHEET NUMBER

A4.03

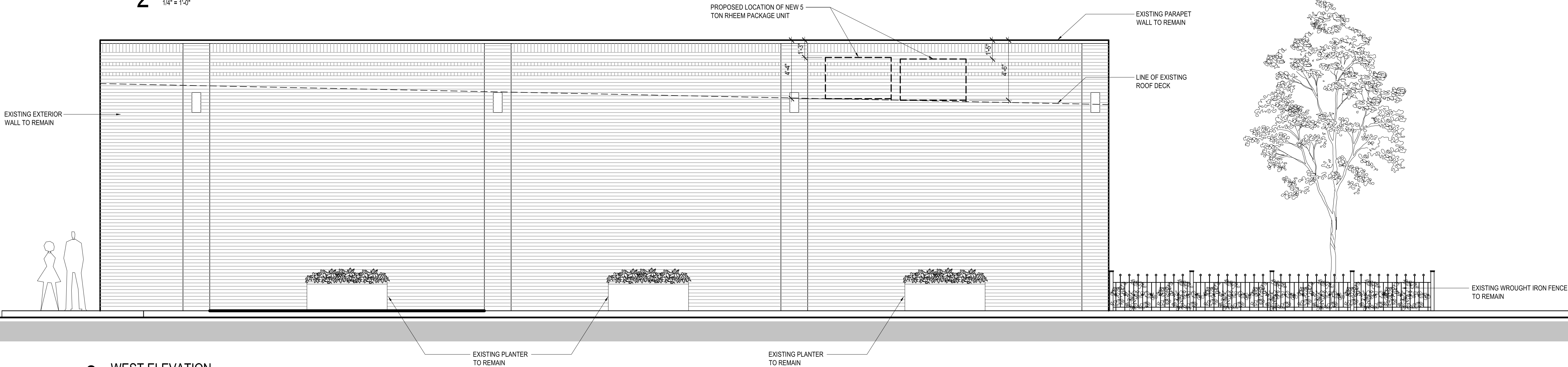




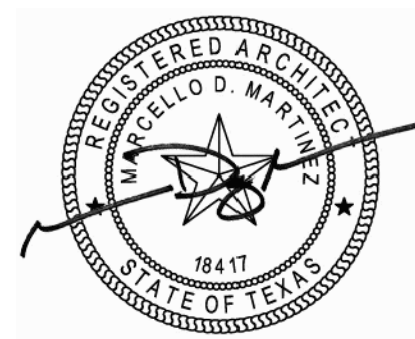
1 NORTH EAST ELEVATION  
1/8" = 1'-0"



2 SOUTH ELEVATION  
1/4" = 1'-0"



3 WEST ELEVATION  
1/4" = 1'-0"



DATE 28 Jan 2015 EXP. DATE Oct 2015  
MARTINEZ ARCHITECTURE, LLC  
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1	2 Feb 2015	Construction Documents

CONSULTANT

SHEET TITLE

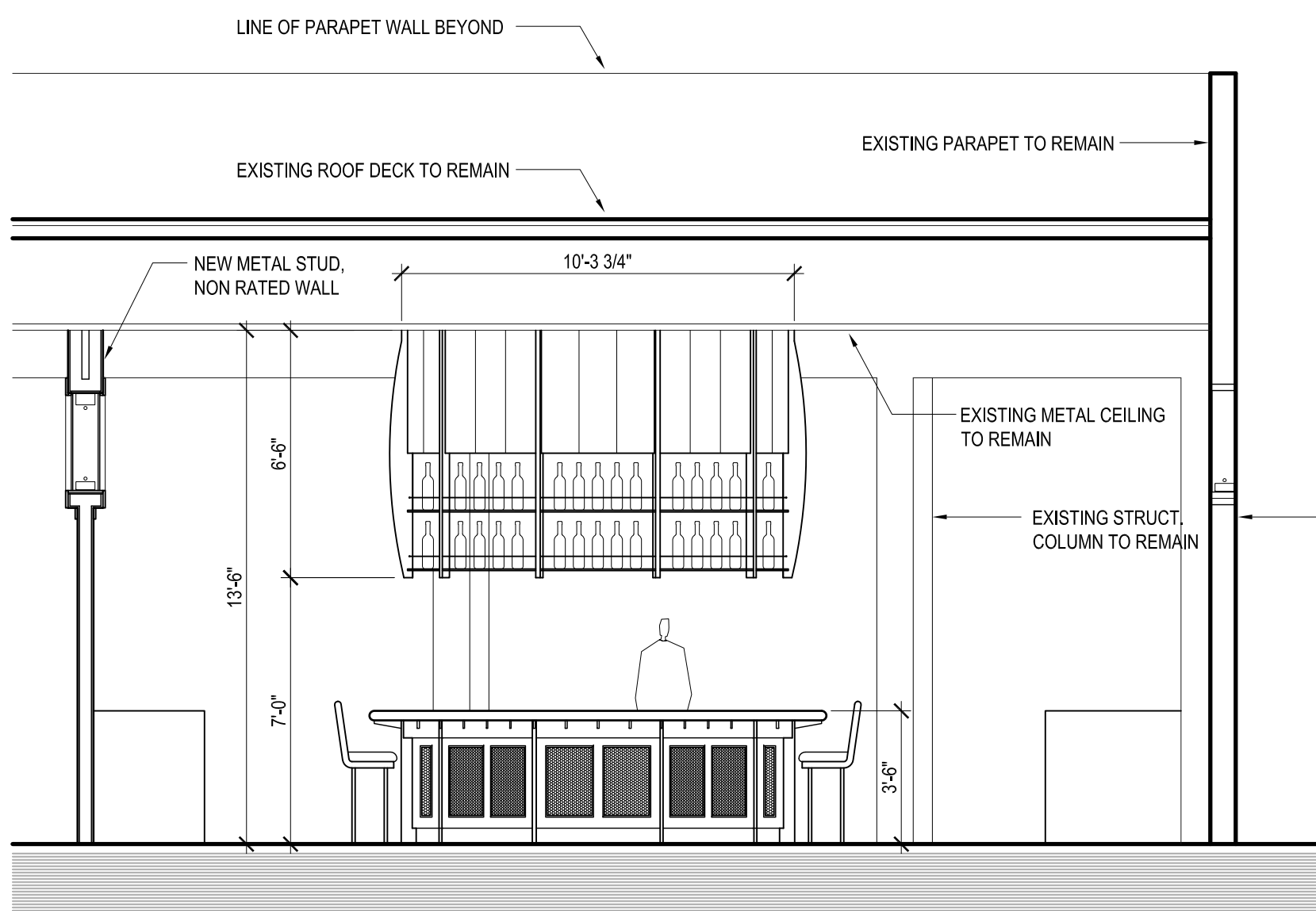
Exterior Elevations

DATE  
3 March 2015

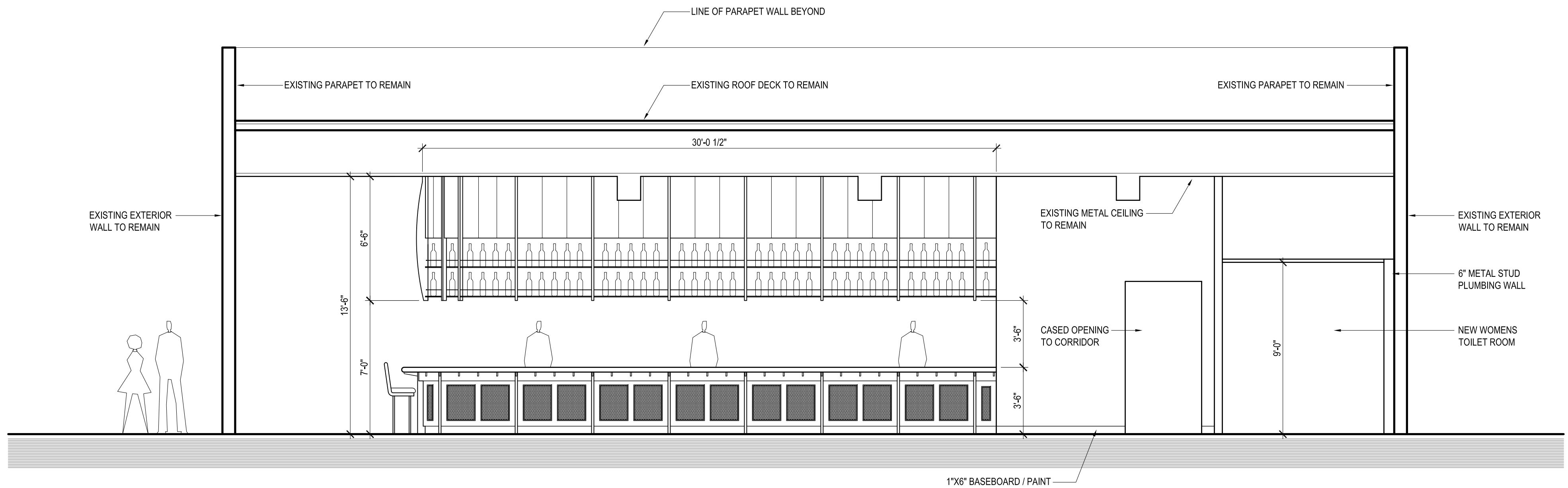
SHEET NUMBER

BAR LENGTH ON ORIGINAL  
DRAWING EQUALS 1 INCH

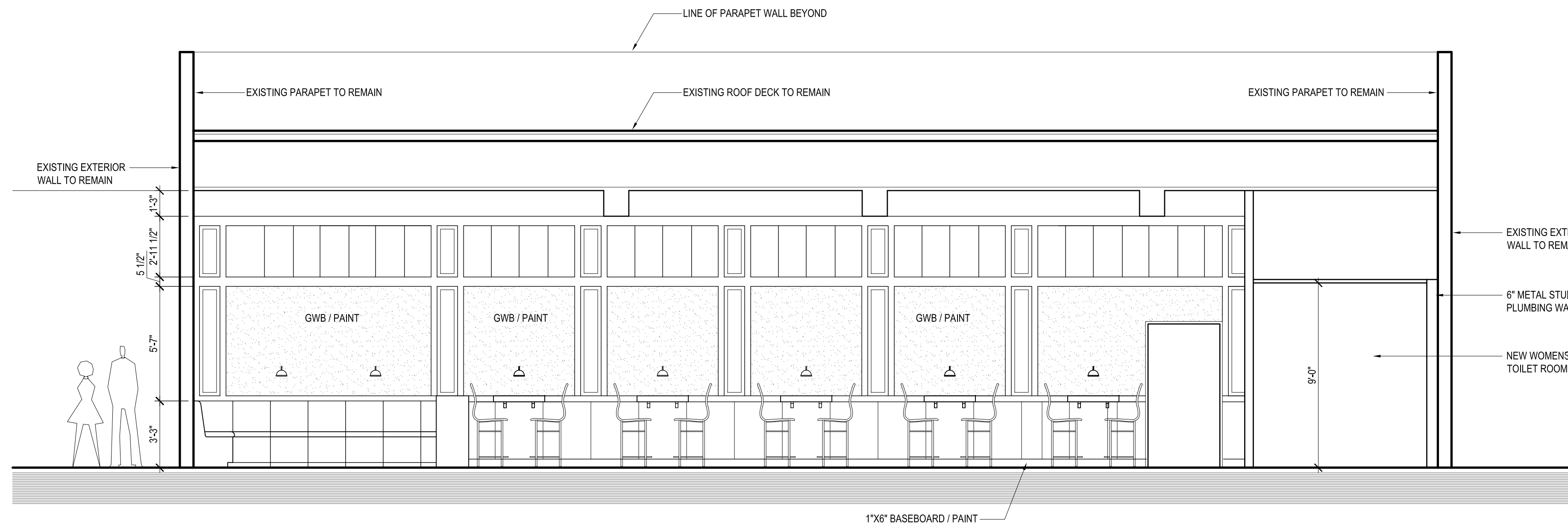
A4.02



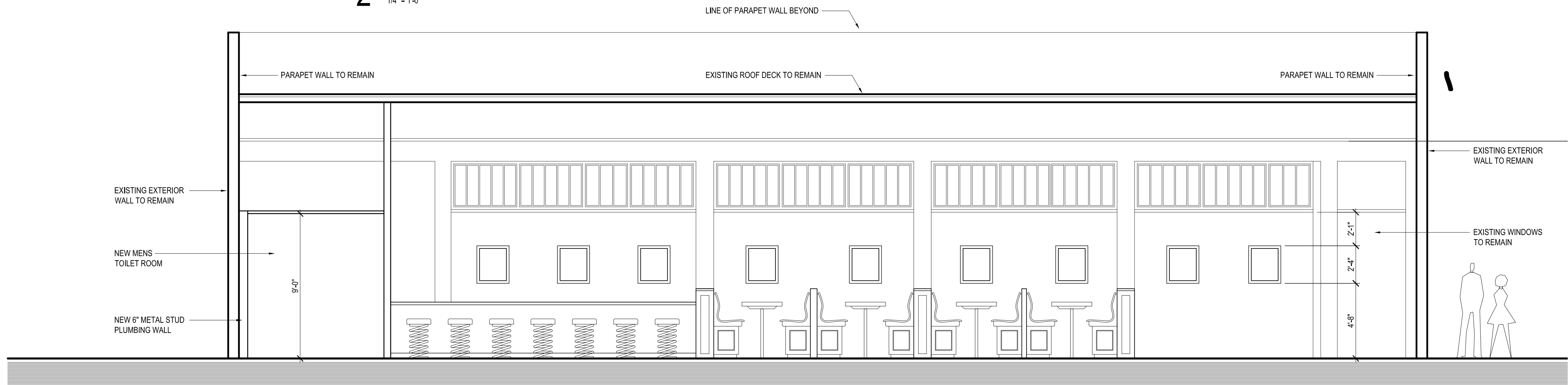
**4** INTERIOR ELEVATION  
1/4" = 1'-0"



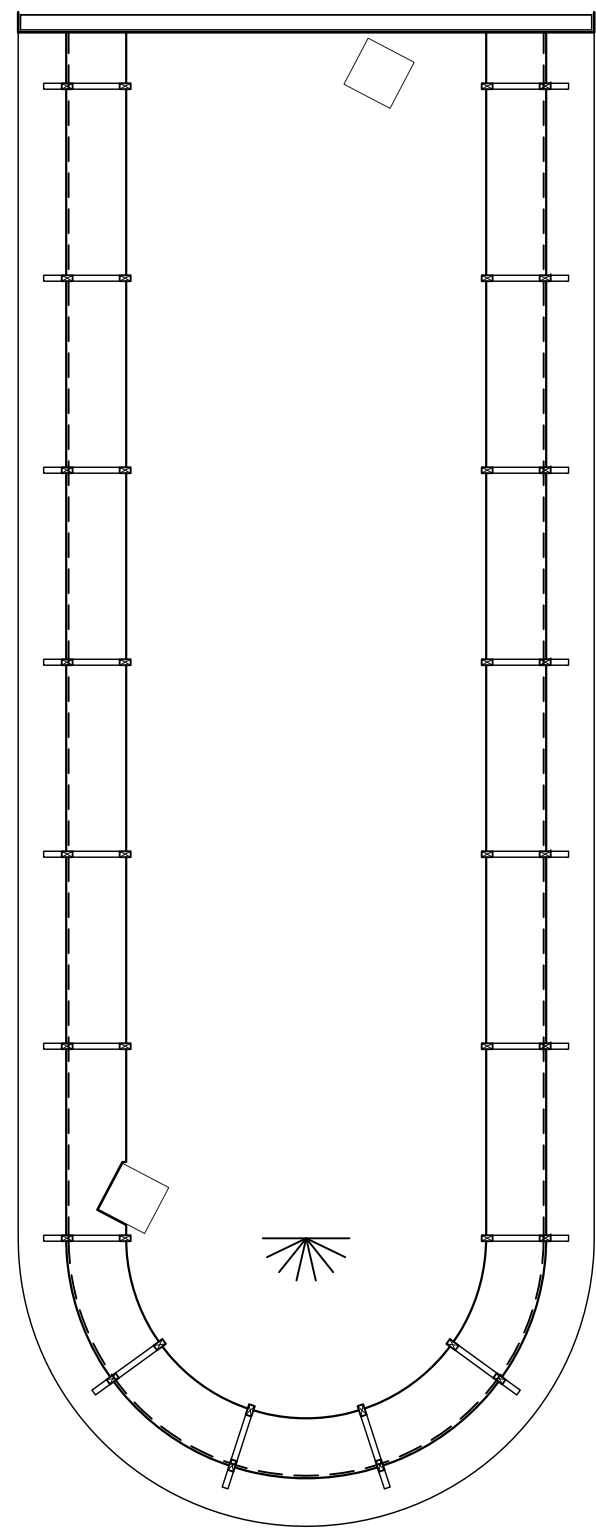
**1** INTERIOR ELEVATION  
1/4" = 1'-0"



**2** INTERIOR ELEVATION  
1/4" = 1'-0"

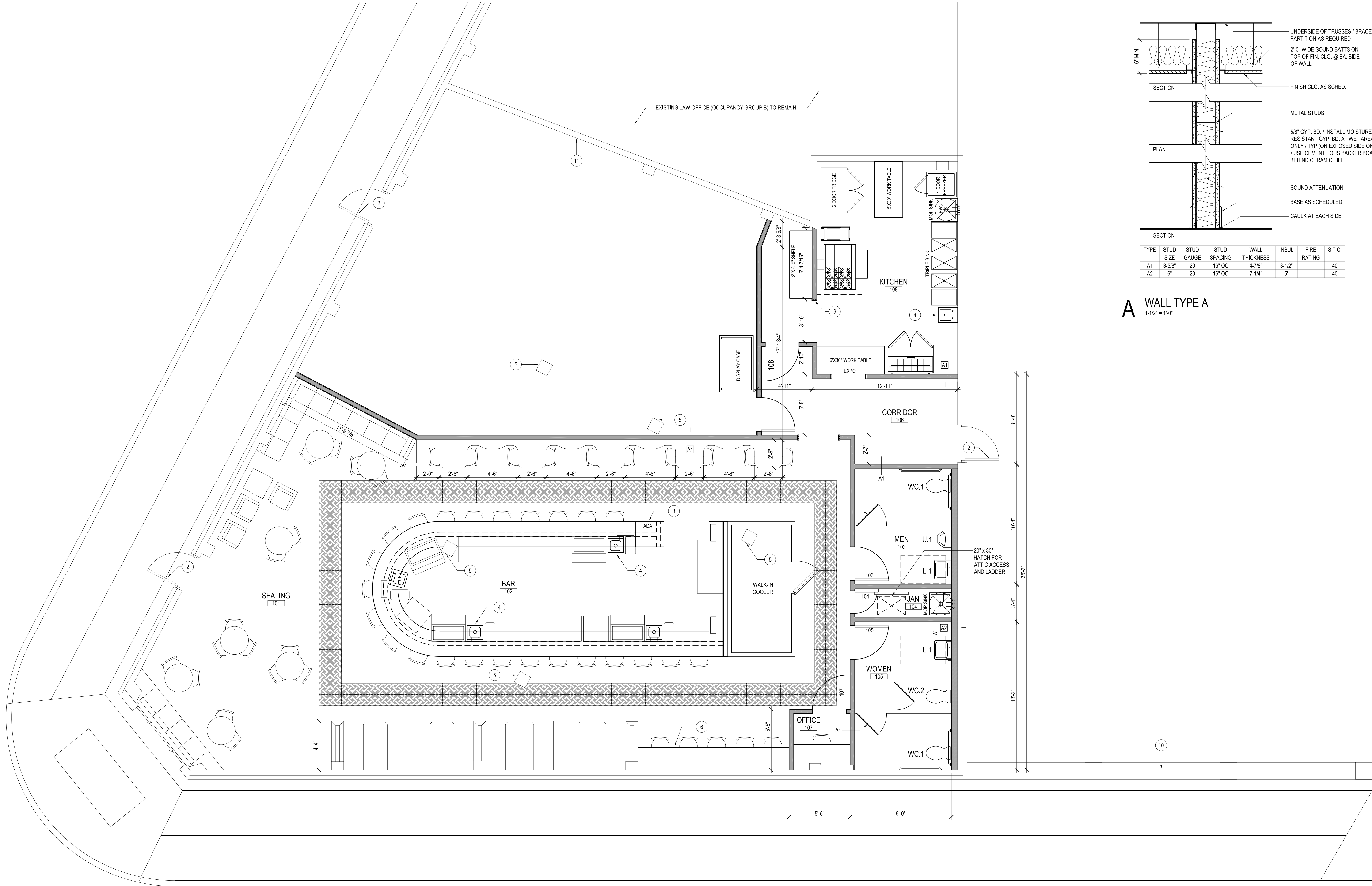


**3** INTERIOR ELEVATION  
1/4" = 1'-0"



**5** BAR OVERHEAD  
1/4" = 1'-0"





#### KEYNOTES

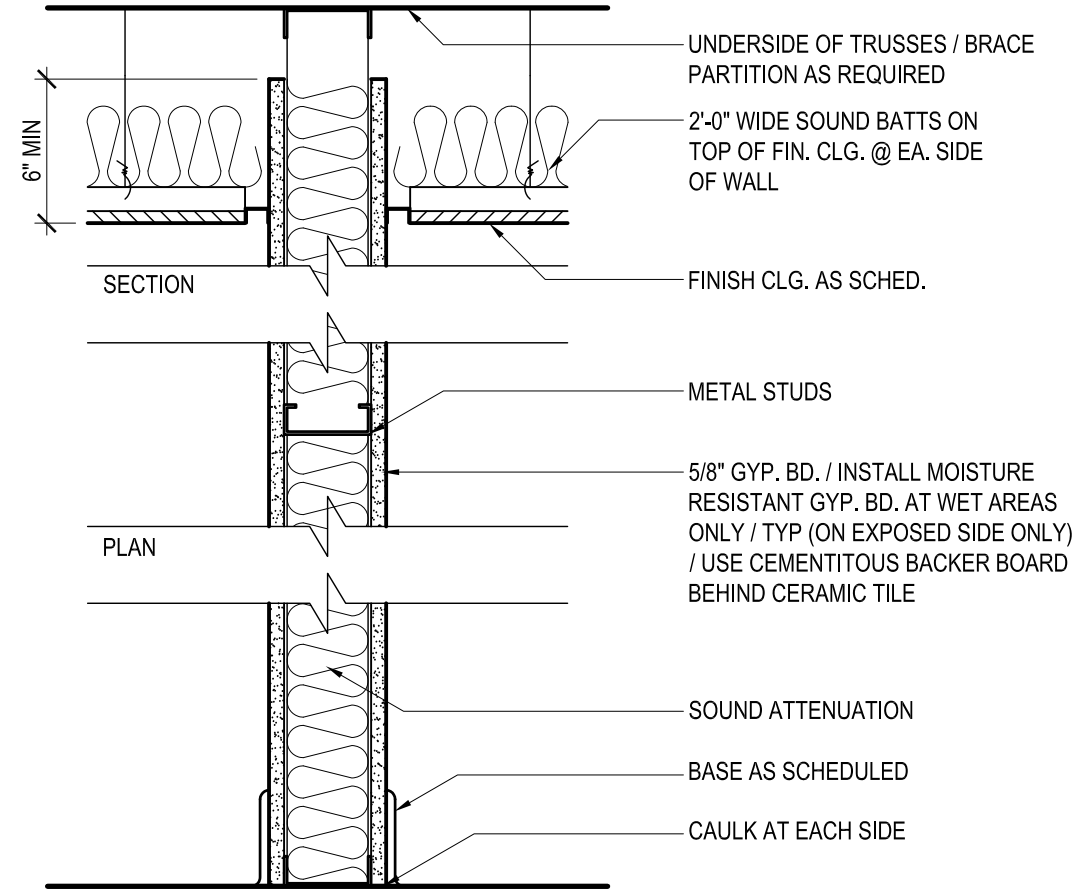
1. DASHED LINE INDICATES EXTENT OF OVERHANG ABOVE
2. EXISTING DOOR WITH ADA COMPLIANT PANIC HARDWARE TO REMAIN
3. 34" HIGH ADA COUNTERTOP WITH TOE CLEARANCE
4. HAND WASH SINK
5. EXISTING STRUCTURAL COLUMN TO REMAIN
6. 42" HIGH BUILT-IN COUNTER
7. BUILT-IN COUNTER WITH PASS-THROUGH OPENING
8. CASED WOOD TRIM OPENING TO MATCH DOOR FRAMES
9. FULL WALL HEIGHT 2x6 WOOD TRIM / STAIN
10. EXISTING WROUGHT IRON FENCE TO REMAIN
11. EXISTING 2 HOUR DEMISE WALL TO REMAIN

#### GENERAL NOTES

- A. ALL PARTITIONS TYPE A1 UNLESS NOTED OTHERWISE
- B. ALL WINDOWS AND DOORS TO HAVE TEMPERED GLASS

#### LEGEND

- NON RATED PARTITION  
OVERHEAD CONSTRUCTION  
BAR HALF WALL, NON RATED



TYPE	STUD SIZE	STUD GAUGE	STUD SPACING	WALL THICKNESS	INSUL	FIRE RATING	S.T.C.
A1	3-5/8"	20	16" OC	4-7/8"	3-1/2"		40
A2	6"	20	16" OC	7-1/4"	5"		40

#### A WALL TYPE A

1-1/2" x 1-0"



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#### PROJECT

Francis  
BogSIDE

803 S St. Mary's St.  
San Antonio, Texas 78205

#### OWNER

Steve  
Mahoney

803 S St. Mary's St.  
San Antonio, Texas 78205

#### PROJECT NUMBER

1458

#### CONSTRUCTION DOCS

NO.	DATE	DESCRIPTION OF ISSUE
1	2 Feb 2015	Construction Documents

#### CONSULTANT

#### SHEET TITLE

Floor Plan

DATE  
3 March 2015

#### SHEET NUMBER

BAR LENGTH ON ORIGINAL  
DRAWING EQUALS 1/4 INCH

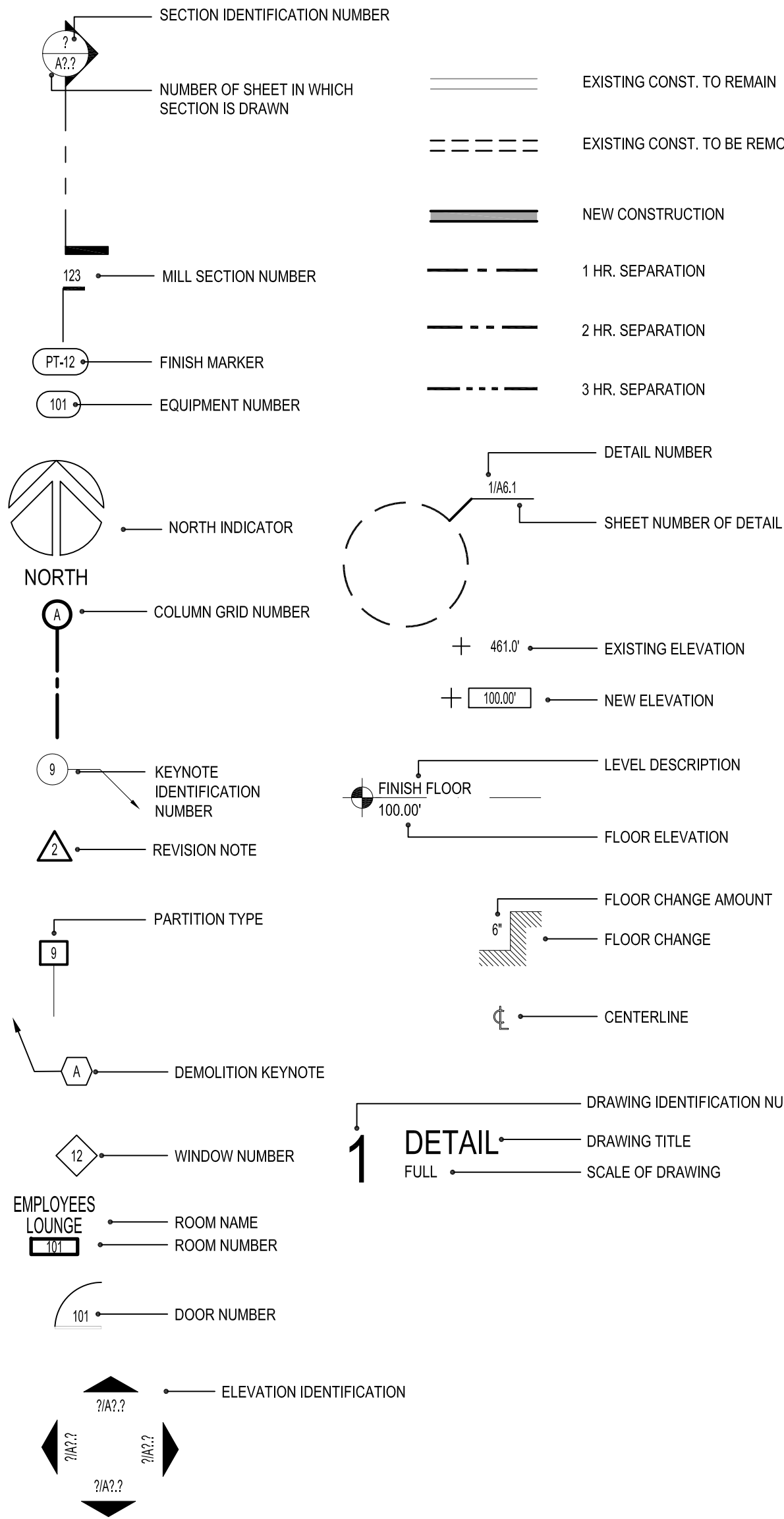
A2.01



GENERAL NOTES

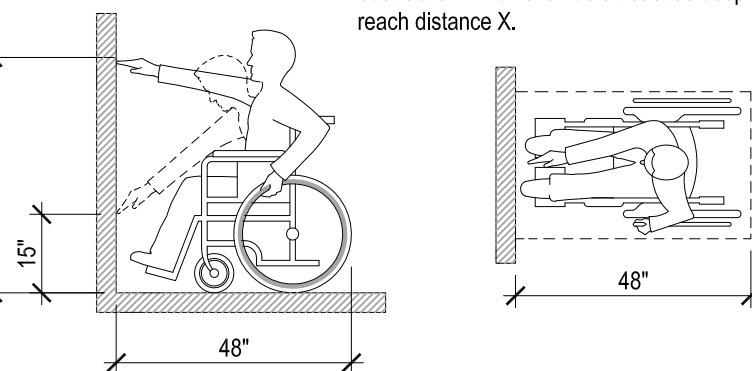
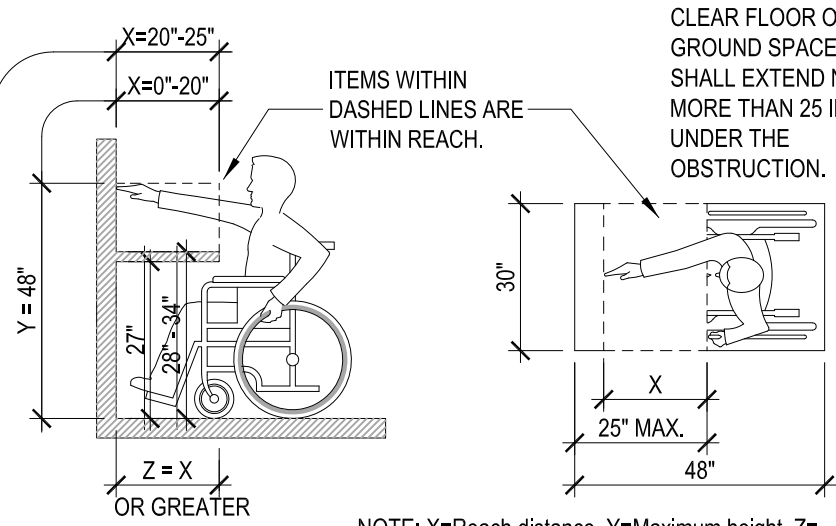
1. CONTRACTOR IS TO EXECUTE ALL DETAILS UTILIZED IN THIS PROJECT. IF IT IS NOT CLEAR WHERE A SPECIFIC DETAIL IS TO BE UTILIZED, SEND RFI TO ARCHITECT FOR CLARIFICATION.
2. THE GENERAL CONTRACTOR SHALL EXECUTE ALL WORK, SUPPLY ALL MATERIALS AND EQUIPMENT IN ACCORDANCE WITH LOCAL AND NATIONAL GOVERNING CODES.
3. THE GENERAL CONTRACTOR SHALL CHECK AND FIELD VERIFY ALL DIMENSIONS AND CONDITIONS, REPORTING ANY DISCREPANCIES, IN WRITING, TO THE ARCHITECT BEFORE BEGINNING ANY PHASE OF CONSTRUCTION. THIS IS THE SAME FOR LACK OF FULL KNOWLEDGE OF EXISTING CONDITIONS UNDER WHICH THE CONTRACTOR WILL BE OBLIGATED TO OPERATE. CONDITIONS SHOWN ON THESE DOCUMENTS ARE BASED ON INFORMATION SUPPLIED BY THE OWNER.
4. DIMENSIONS ARE TYPICALLY TO A FINISHED SURFACE OR TO AN ASSEMBLY, FIXTURE, CENTERLINE, ETC. REPORT ALL DISCREPANCIES IN WRITING TO THE ARCHITECT PRIOR TO BEGINNING ANY PHASE OF CONSTRUCTION. WORK SHALL BE TRUE AND LEVEL AS INDICATED. ALL WORK SHALL RESULT IN AN ORDERLY AND WORKMAN-LIKE APPEARANCE. WHERE FIGURES OR DIMENSIONS HAVE BEEN OMITTED FROM THE DRAWINGS, THE DRAWINGS SHALL NOT BE SCALED. THE CONTRACTOR SHALL IMMEDIATELY REQUEST DIMENSIONS IN WRITING FROM THE ARCHITECT.
5. THE GENERAL CONTRACTOR IS TO PROVIDE TEMPORARY LIGHT, TELEPHONE, FAXING, CLEAN-UP SERVICE, AND TOILETS. ALL TEMPORARY WORK IS TO BE REMOVED PRIOR TO COMPLETION.
6. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR HAVING THE SUBCONTRACTORS COORDINATE THEIR WORK WITH THE OTHER TRADES INCLUDING WORK NOT IN CONTRACT.
7. THE GENERAL CONTRACTOR IS TO FILE FOR AND SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE AS REQUIRED.
8. THE GENERAL CONTRACTOR IS TO KEEP A FULL SET OF UP-TO-DATE CONSTRUCTION DOCUMENTS INCLUDING ADDENDA, FIELD SKETCHES, CLARIFICATIONS AND SUPPLEMENTS AVAILABLE AT THE JOB SITE AT ALL TIMES.
9. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PROGRAMS AND PRECAUTIONS NECESSARY FOR COMPLETION OF WORK AND FOR PROTECTION OF WORKERS, VISITORS AND THE PUBLIC.
10. THE GENERAL CONTRACTOR IS TO PROVIDE ADEQUATE BARRICADES AS PER LOCAL BUILDING CODES AND ORDINANCES TO ENSURE THE SAFETY OF PERSONS AND PROPERTY ON THE SITE OCCUPIED BY THE OWNER AND IN THE ADJACENT PUBLIC RIGHT OF WAY.
11. CARBON MONOXIDE EMISSIONS ARE PROHIBITED FROM ALL INTERIOR WORK. IF FUME HAZARDS OCCUR, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE MONITORING AND TESTING OF AFFECTED AREAS.
12. THE GENERAL CONTRACTOR IS TO REPAIR, REPLACE, PATCH AND MATCH ANY MATERIALS, AREAS OR SYSTEMS AS REQUIRED AND CALLED FOR TO ENSURE PROPER INSTALLATION AND NEAT APPEARANCE OF THE WORK.
13. SPECIFIED ITEMS HAVE BEEN SELECTED BECAUSE THEY REFLECT THE STANDARDS OF QUALITY DESIRED, OR POSSESS FEATURES REQUIRED TO PRESERVE THE DESIGN CONCEPT. THE ARCHITECT, THEREFORE, RESERVES THE RIGHT TO REQUIRE THE USE OF THE SPECIFIED ITEMS. ANY REQUESTS FOR SUBSTITUTIONS FOR THE SPECIFIED ITEMS MUST BE SUBMITTED TO THE ARCHITECT, IN WRITING, ALONG WITH SAMPLE AND PROOF OF EQUALITY OF SUCH ITEMS. IN ALL CASES, THE BURDEN OF PROOF OF EQUALITY SHALL BE WITH THE BIDDER AND THE DECISION OF THE ARCHITECT SHALL BE FINAL.
14. THE OWNER, ARCHITECT, OR ENGINEER WILL NOT BE RESPONSIBLE FOR ANY VERBAL INSTRUCTIONS.
15. ALL SCRAP MATERIALS ARE TO BE REMOVED FROM THE SITE ON A DAILY BASIS. TRASH SHALL NOT BE ALLOWED TO ACCUMULATE.
16. THE GENERAL CONTRACTOR IS TO NOTIFY OWNER'S REPRESENTATIVE AND ARCHITECT UPON FINDING CONDITIONS NOT IDENTIFIED ON DRAWINGS.
17. THE ADJACENT PROPERTIES SHALL IN NO WAY BE INCONVENIENCED OR DISTURBED BY VEHICLES, DEBRIS, SIGNS, ODORS, UNSIGHTLY CONDITIONS, OR NON-CONSTRUCTION NOISE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONDUCT OF ALL PERSONS ON SITE AT ALL TIMES AND FOR THE BEHAVIOR OF INDIVIDUALS WITH RESPECT TO THE ADJACENT AREAS. THE PROJECT SITE SHALL BE DRUG AND ALCOHOL FREE.
18. REFER TO ADDITIONAL NOTES BY STRUCTURAL AND MEP DISCIPLINES. WHERE VARIOUS DISCIPLINES INDICATE WORK FOR DIFFERING DISCIPLINES (FOR EXAMPLE, MECHANICAL WORK WHICH WOULD REQUIRE STRUCTURAL MODIFICATIONS), THE GENERAL CONTRACTOR IS TO NOTIFY THE ARCHITECT PRIOR TO COMMENCING THE WORK.

LEGEND



GENERAL NOTES

19. REFER TO MEP SITE PLANS FOR NEW ELECTRIC SERVICE, SITE LIGHTING AND OTHER UTILITIES.
20. ALL WORK PERFORMED BY THE CONTRACTOR SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODES, ORDINANCES, AND REGULATIONS. CONTRACTOR SHALL OBTAIN AND BE RESPONSIBLE FOR ALL FEES AND PERMITS REQUIRED AND ASSOCIATED WITH ALL PHASES OF THE WORK AND WITHIN SCOPE OF THE CONTRACT DOCUMENTS. THE LOCATION OF UTILITIES IS BASED ON THE BEST INFORMATION AVAILABLE. CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS OF ALL UTILITIES BEFORE STARTING CONSTRUCTION.
21. INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
22. ALL WOOD BLOCKING TO BE FIRE RETARDANT.
23. CONTROLS AND OPERATING MECHANISMS:  
(A) GENERAL: ALL CONTROLS AND DEVICES HAVING MECHANICAL OR ELECTRICAL OPERATING MECHANISMS WHICH ARE EXPECTED TO BE OPERATED BY OCCUPANTS, VISITORS, OR OTHER USERS OF A BUILDING OR FACILITY, SHALL COMPLY WITH DETAILS PROVIDED. SUCH MECHANISMS MAY INCLUDE, BUT ARE NOT LIMITED TO THERMOSTATS, LIGHT SWITCHES, ALARM ACTIVATING UNITS, VENTILATORS, ELECTRICAL OUTLETS, ETC.



- (B) HEIGHT. THE HIGHEST OPERABLE PART OF ALL CONTROLS, DISPENSERS, RECEPTACLES AND OTHER OPERABLE EQUIPMENT SHALL BE PLACED WITHIN AT LEAST ONE OF THE REACH RANGES PROVIDED IN THE DETAILS. EXCEPT WHERE NOTED, ELECTRICAL AND COMMUNICATIONS SYSTEM RECEPTACLES ON WALLS SHALL BE MOUNTED NO LESS THAN 15 INCHES ABOVE THE FLOOR.
- (C) OPERATION. CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN FIVE LBS.

24. SIGNAGE: SIGNS AT ALL DESIGNATED HANDICAPPED TOILET ROOMS SHALL COMPLY WITH THIS PARAGRAPH.  
(A) CHARACTER PROPORTION. LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH-TO-HEIGHT RATIO BETWEEN 1:5 AND 1:10, UTILIZING AN UPPER-CASE "X" FOR MEASUREMENT.  
(B) COLOR CONTRAST. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND; LIGHT COLORED CHARACTERS ON DARK BACKGROUNDS ARE REQUIRED.  
(C) TACTILE CHARACTERS AND SYMBOLS. CHARACTERS, SYMBOLS, OR PHOTOGRAPHS ON SIGNS REQUIRED TO BE TACTILE, SHALL BE RAISED 1/32 INCH MINIMUM. LETTERS AND NUMBERS SHALL BE SANS SERIF CHARACTERS, SHALL BE AT LEAST 5/8 INCH HIGH, BUT SHALL BE NO HIGHER THAN TWO INCHES AND SHALL BE PROPORTIONED IN ACCORDANCE WITH SUB-PARAGRAPH (B) OF THIS PARAGRAPH. NOTE: BRAILLE CHARACTERS MAY BE USED IN ADDITION TO STANDARD ALPHABET CHARACTERS AND NUMBERS, BUT MAY NOT BE USED EXCLUSIVELY. IF USED, BRAILLE CHARACTERS SHALL BE PLACED TO THE LEFT OF STANDARD CHARACTERS. RAISED BORDERS AROUND RAISED CHARACTERS ARE DISCOURAGED.  
(D) MOUNTING HEIGHT AND LOCATION. TACTILE SIGNAGE USED FOR ROOM IDENTIFICATION SHALL BE MOUNTED ON THE WALL ON THE LATCH (STRIKE) SIDE OF DOORS AT A HEIGHT OF 60" ABOVE FINISHED FLOOR TO CENTERLINE OF SIGN.  
(E) SYMBOLS OF ACCESSIBILITY. IF ACCESSIBLE TOILETS ARE IDENTIFIED, THEN THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE USED. THE SYMBOL SHALL BE DISPLAYED AS SHOWN BELOW.

25. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MISCELLANEOUS STEEL OR DECORATIVE STEEL SHOWN ON ARCHITECTURAL SHEETS WHETHER SHOWN OR DETAILED ON STRUCTURAL SHEETS. FOR MEMBERS SHOWN BUT NOT SIZED THE FOLLOWING APPLIES:  
(A) LOOSE ANGLES: 4" X 4" X 3/8"  
(B) TUBE STEEL: 5" X 5" X 1/4"  
(C) WIDE FLANGE: W12 X 16  
(D) LOOSE CHANNELS: C8 X 13.75

26. ALL SUBCONTRACTORS AND CONSTRUCTION WORKERS MUST READ THE WRITTEN SPECIFICATIONS CONTAINED IN THE PROJECT MANUAL. THE SPECIFICATIONS CONTAIN ADDITIONAL SURFACE PREPARATION OR INSTALLATION REQUIREMENTS FOR THE BUILDING MATERIALS, PRODUCTS OR COMPONENTS THAT ARE BEING PLACED OR INSTALLED.

27. THE INSTALLATION / APPLICATION INFORMATION SHOWN ON THE DRAWINGS IS NOT COMPLETE WITHOUT THE WRITTEN SPECIFICATIONS. IF THE SPECIFICATIONS / PROJECT MANUAL IS NOT WITH THESE DRAWINGS, ASK THE GENERAL CONTRACTOR FOR A COPY TO REVIEW BEFORE BEGINNING YOUR WORK.

APPLICABLE BUILDING CODES & AUTHORITIES

- 2012 International Building Code
- 2012 International Residential Code
- 2012 International Existing Building Code
- 2012 International Mechanical Code
- 2012 International Plumbing Code
- 2012 International Fuel Gas Code
- 2012 International Fire Code
- 2009 International Energy Conservation Codes
- 2011 National Electric Code

Local Amendments to the codes are located at:

- New Chapter 10, Building-related Codes (Effective March 1, 2012)
- 2012 International Fire Code with local amendments (Effective March 1, 2012)

CODE REVIEW SUMMARY

LOCATION: 803 S St. Mary's St., San Antonio, Texas 78205			
OCCUPANCY CLASSIFICATION			
BUILDING TYPE: RESTAURANT / BAR	OCCUPANCY GROUP: A2 - ASSEMBLY	BUILDING AREA: 3,376 S.F.	OCCUPANT LOAD: 116 PEOPLE
TYPE OF CONSTRUCTION:			
RESTAURANT FINISH-OUT			
TYPE III-B NOT SPRINKLED			

REQUIRED SPECIAL INSPECTIONS

IBC Section	Special Inspections	Applicable	Not Applicable
1704.2	Inspection of Fabricators		X
1704.3	Steel Construction		X
1704.4	Concrete Construction	X	
1704.5	Masonry Construction	X	
1704.6	Wood Construction	X	
1704.7	Soils	X	
1704.8	Pile Foundations	X	
1704.9	Pier Foundations	X	
1704.10	Wall Panel and Veneers	X	
1704.11	Sprayed Fire-Resistant Materials	X	
1704.12	Exterior Insulation & Finish Systems (EIFS)	X	
1704.13	Special Cases (Unusual in Nature)	X	
1704.14	Smoke Control Systems		X

DRAWING INDEX

GENERAL

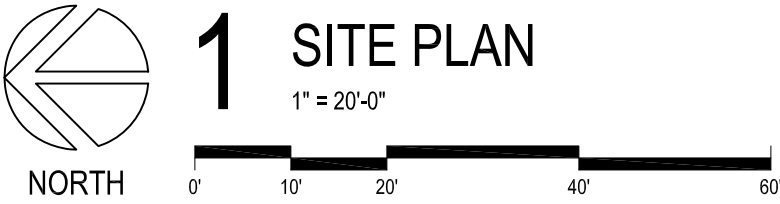
- A0.01 COVER SHEET / INDEX

ARCHITECTURAL

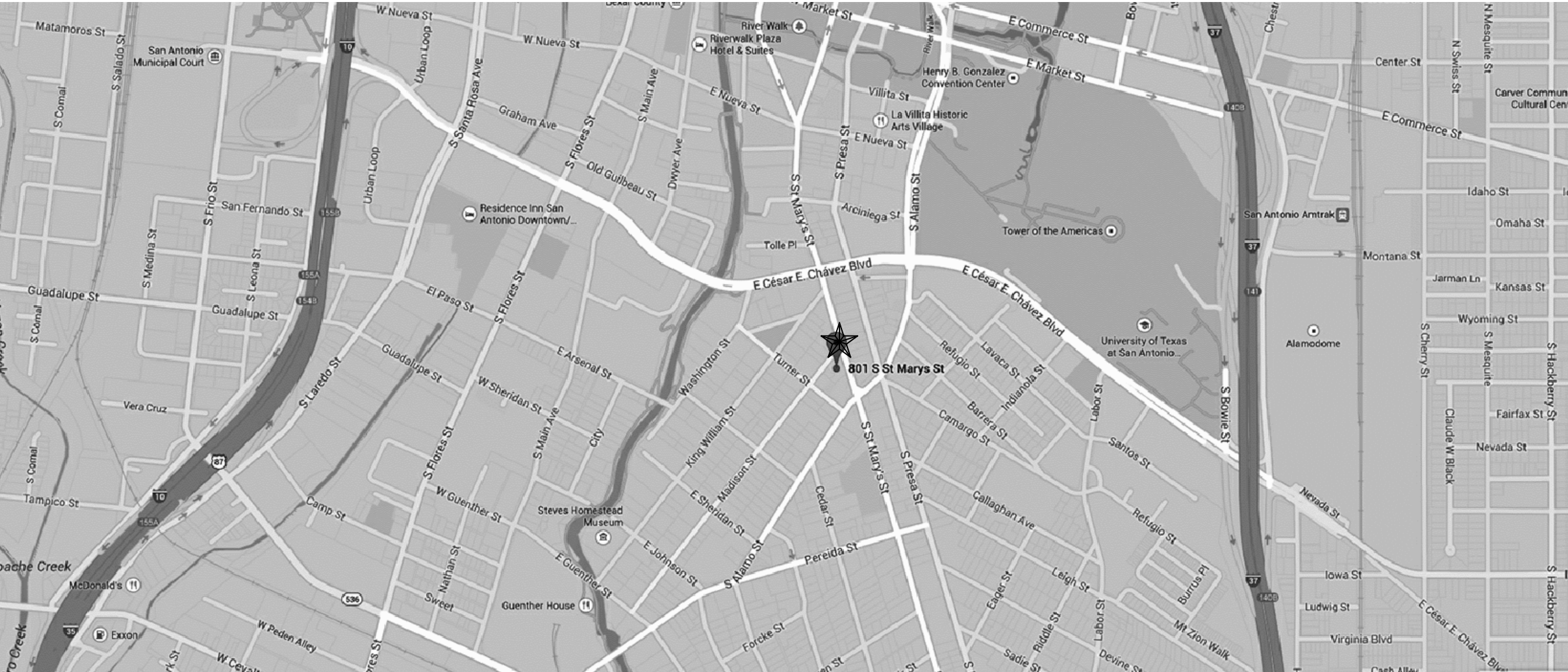
- D1.01 DEMOLITION FLOOR PLAN
- A2.01 FLOOR PLAN / DETAILS
- A3.01 REFLECTED CEILING PLAN / DETAILS
- A4.01 INTERIOR ELEVATIONS
- A4.02 EXTERIOR ELEVATIONS
- A5.01 SCHEDULES / DETAILS

MEP

- M-1 MECHANICAL PLAN & DETAILS
- E-1 LIGHTING PLAN & SCHEDULES
- E-2 ELECTRICAL PLAN & SCHEDULES
- P-1 PLUMBING PLAN
- P-2 PLUMBING DETAILS



LOCATION MAP - CITY



Francis  
BogSIDE

803 S St. Mary's St.  
San Antonio, Texas 78205

Steve  
Mahoney



DATE 28 Jan 2015 EXP. DATE Oct 2015  
MARTINEZ ARCHITECTURE, LLC  
1100 BROADWAY STREET, SUITE 300R  
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PROJECT

Francis  
BogSIDE

803 S St. Mary's St.  
San Antonio, Texas 78205

OWNER

Steve  
Mahoney

803 S St. Mary's St.  
San Antonio, Texas 78205

PROJECT NUMBER

1458

CONSTRUCTION DOCS

NO.	DATE	DESCRIPTION OF ISSUE
1	2 Feb 2015	Construction Documents

CONSULTANT

Cover Sheet / index

DATE  
3 March 2015

BAR LENGTH ON ORIGINAL  
DRAWING EQUALS 1 INCH

SHEET NUMBER

Set #

A0.01

























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