

HISTORIC AND DESIGN REVIEW COMMISSION

April 01, 2015

Agenda Item No: 15

HDRC CASE NO: 2015-008
ADDRESS: 121 E CAROLINA ST
LEGAL DESCRIPTION: NCB 3009 BLK 7 LOT 15
ZONING: RM4 H
CITY COUNCIL DIST.: 1
DISTRICT: Lavaca Historic District
APPLICANT: Daniel Vela/VDF Properties, LLC
OWNER: Daniel Vela/VDF Properties, LLC
TYPE OF WORK: Exterior modifications, siding repair and tax certification
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Remove existing window and door openings.
2. Create additional window and door openings.
3. Repair and replace damaged siding and trim to match the existing.
4. Tax Certification.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 1, Guidelines for Maintenance and Alterations

1. Materials: Woodwork

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Façade materials*—Avoid removing materials that are in good condition or that can be repaired in place. Consider exposing original wood siding if it is currently covered with vinyl or aluminum siding, stucco, or other materials that have not achieved historic significance.
- ii. *Materials*—Use in-kind materials when possible or materials similar in size, scale, and character when exterior woodwork is beyond repair. Ensure replacement siding is installed to match the original pattern, including exposures. Do not introduce modern materials that can accelerate and hide deterioration of historic materials. Hardiboard and other cementitious materials are not recommended.
- iii. *Replacement elements*—Replace wood elements in-kind as a replacement for existing wood siding, matching in profile, dimensions, material, and finish, when beyond repair.

6. Architectural Features: Doors, Windows, and Screens

A. MAINTENANCE (PRESERVATION)

- i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.
- iv. *Screens and shutters*—Preserve historic window screens and shutters.
- v. *Storm windows*—Install full-view storm windows on the interior of windows for improved energy efficiency. Storm window may be installed on the exterior so long as the visual impact is minimal and original architectural details are not obscured.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.
- ii. *New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.
- iv. *Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.
- v. *Muntins*—Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass.
- vi. *Replacement glass*—Use clear glass when replacement glass is necessary. Do not use tinted glass, reflective glass, opaque glass, and other non-traditional glass types unless it was used historically. When established by the architectural style of the building, patterned, leaded, or colored glass can be used.
- vii. *Non-historic windows*—Replace non-historic incompatible windows with windows that are typical of the architectural style of the building.

UDC Section 35-618. Tax Exemption Qualifications:

(d) Certification.

(1) Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.

FINDINGS:

- a. The applicant was issued a stop work order on December 11, 2014, for performing work outside of the scope of the Certificates of Appropriateness that had been issued. Staff performed a site visit on December 16, 2014 and found that the original wood windows had been removed, new vinyl windows had been installed, original windows openings had been enclosed, new window openings had been created and much of the original siding had been removed.
- b. This case was heard by the HDRC on February 18, 2015. At that meeting, the request was withdrawn by the applicant in order to return with accurate construction documents of both the existing façade arrangement and the proposed façade arrangement. The applicant has since received Administrative Approval for the repair of the original wood windows that were removed.
- c. According to the Guidelines for Exterior Maintenance and Alterations, façade materials that are in good condition or that can be repaired in place should not be removed. The applicant has removed much of the existing wood siding and trim, which is not consistent with the Guidelines, however the applicant has proposed to replace the wood siding that has been removed to match the remaining original siding. The proposal to replace the removed siding to match the existing is consistent with the Guidelines for Exterior Maintenance and Alterations 1.B.iii.
- d. The Guidelines for Exterior Maintenance and Alterations states that existing window and door openings should be preserved. The applicant has removed a number of the original wood windows and has proposed to close those window openings as well as remove two existing doors and close those door openings. This is not consistent with the Guidelines.
- e. The applicant has met all of the requirements for Historic Tax Certification outlined in UDC Section 35-618 and has provided evidence to that effect to the Historic Preservation Officer including interior photos and invoices.

RECOMMENDATION:

Staff does not recommend approval of items #1 and #2 based on finding d.

Staff recommends approval of items #3 and #4 based on findings c and e.

CASE MANAGER:

Edward Hall





Flex Viewer

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Printed: Mar 24, 2015

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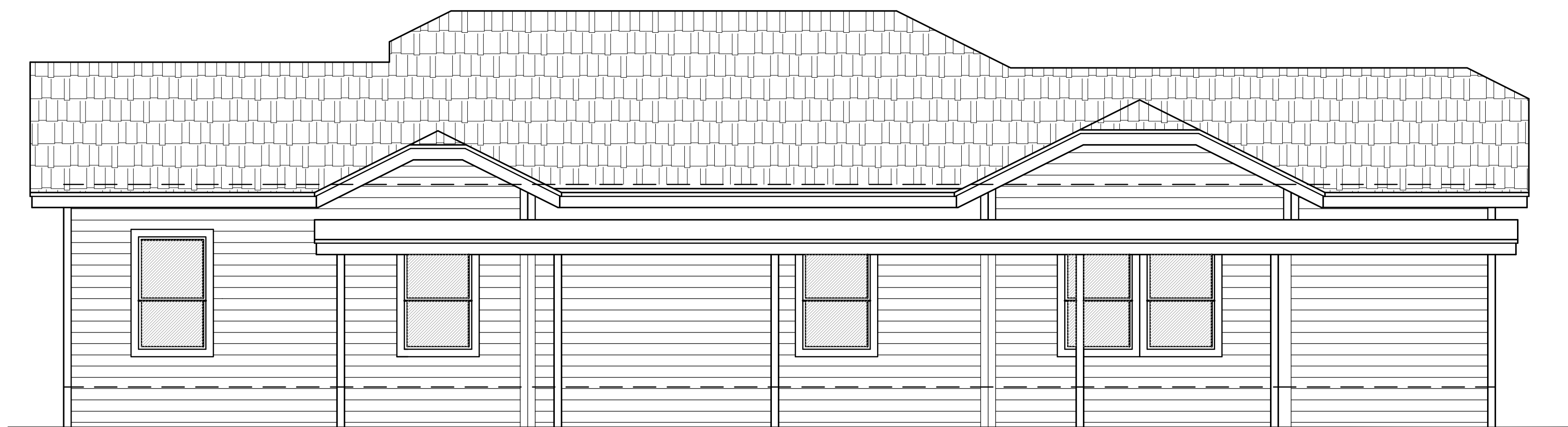








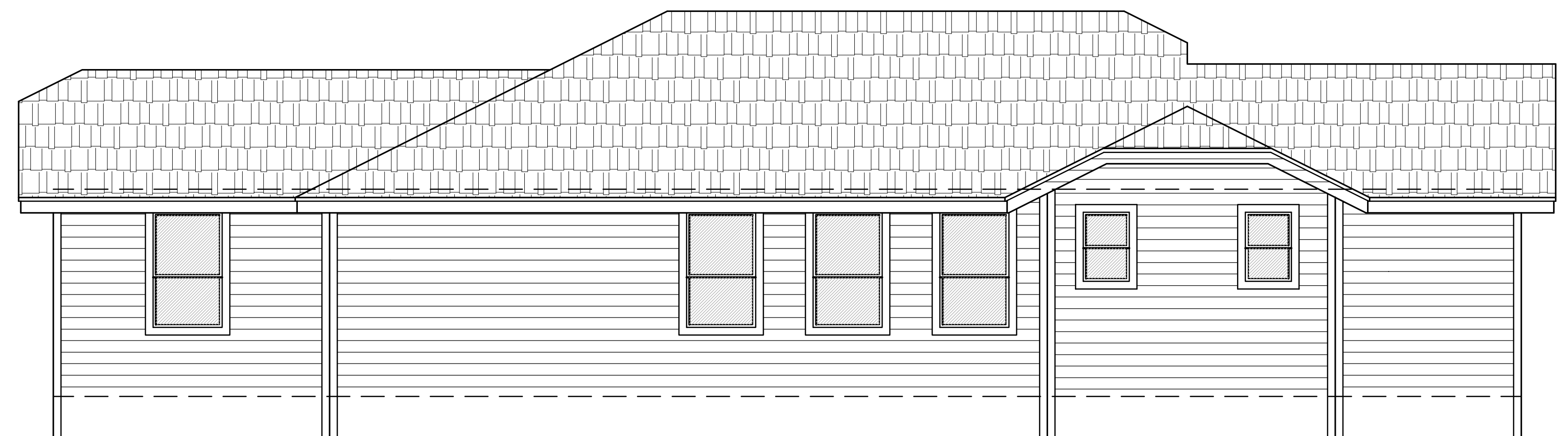




PROPOSED ELEVATION

RIGHT ELEVATION

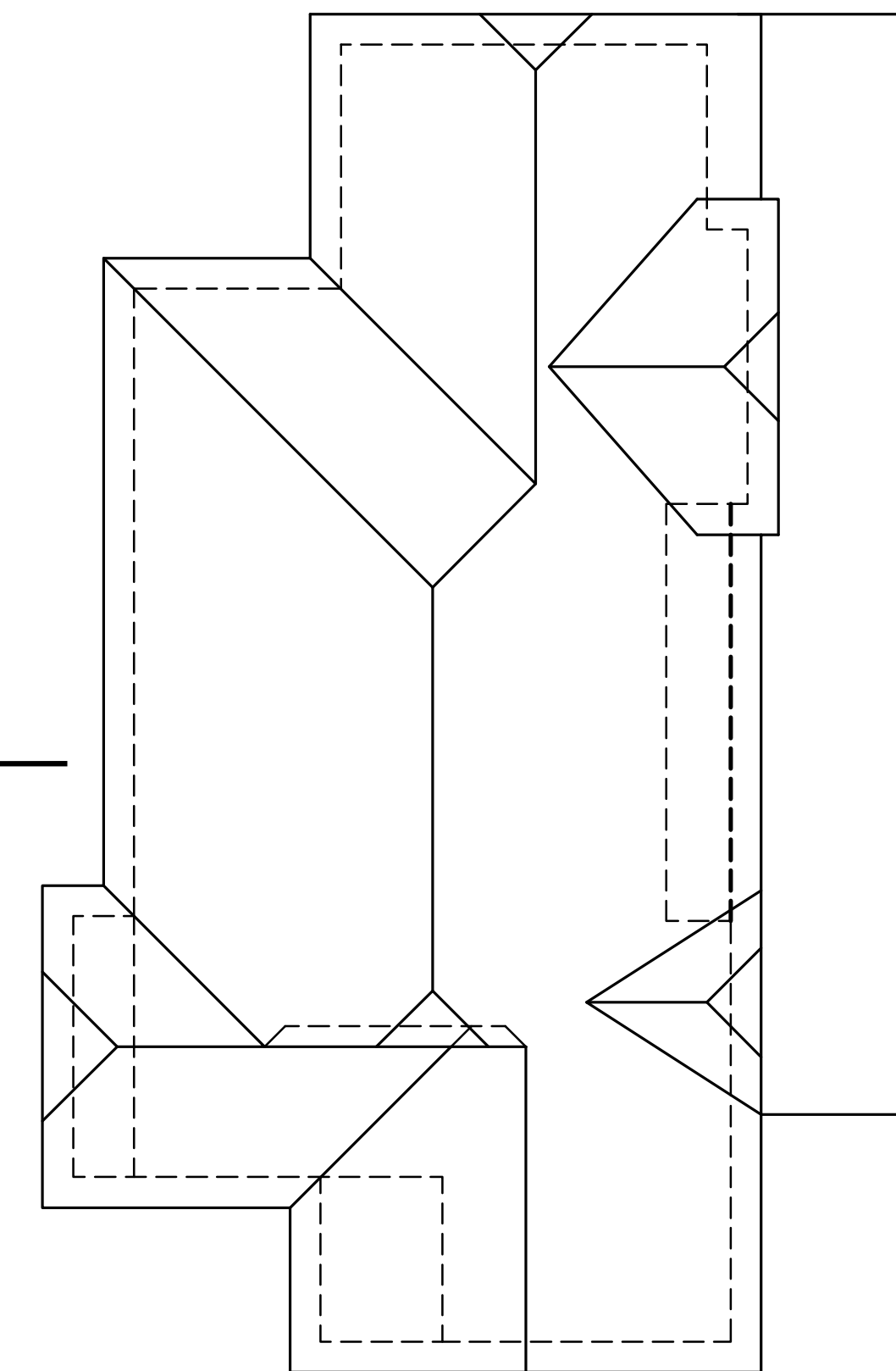
SCALE 1/4" = 1'-0"



PROPOSED ELEVATION

LEFT ELEVATION

SCALE 1/4" = 1'-0"



ROOF PLAN

SCALE 1/8" = 1'-0"



PROPOSED ELEVATION

REAR ELEVATION

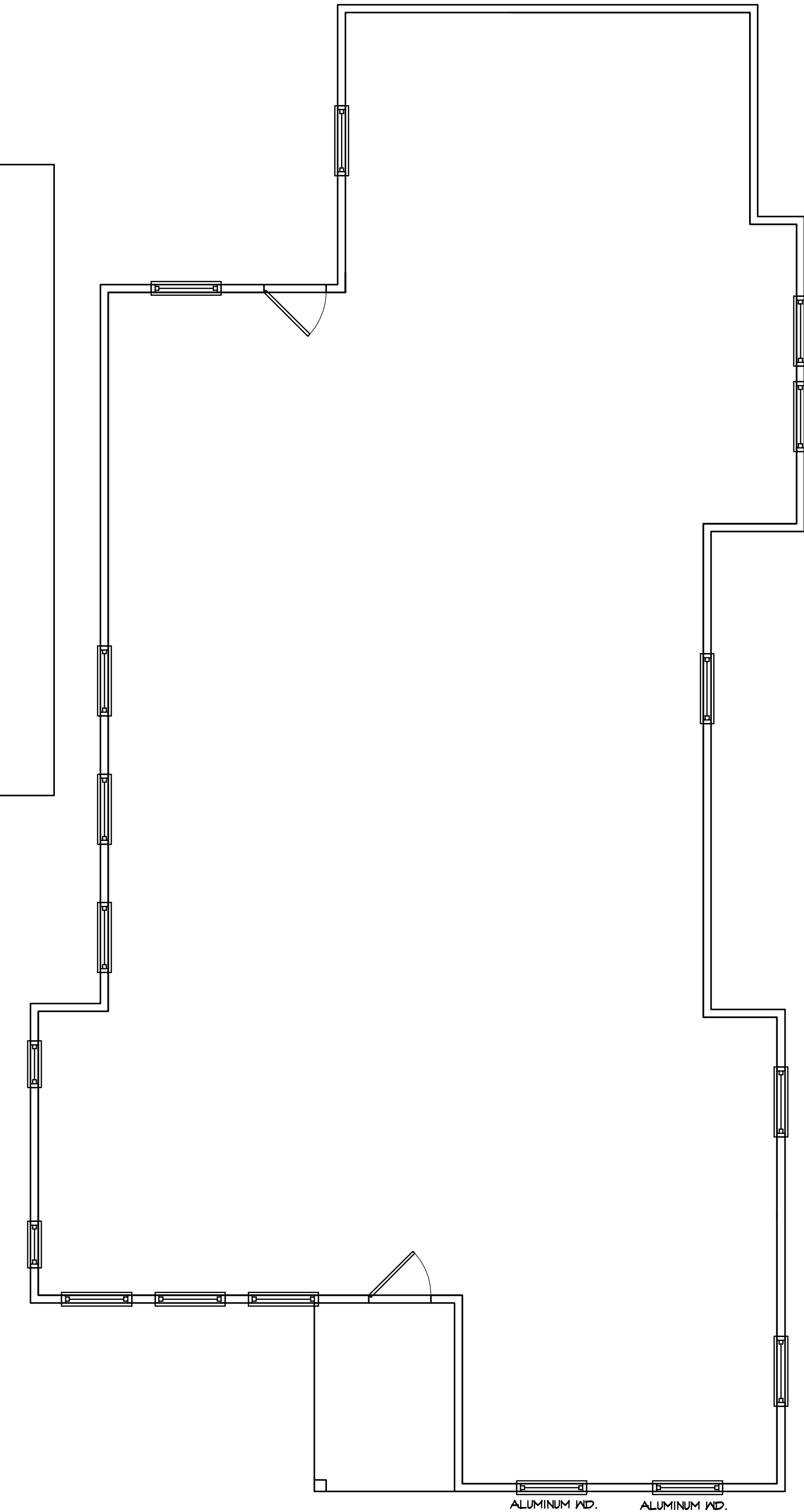
SCALE 1/4" = 1'-0"

PROPOSED ELEVATION

FRONT ELEVATION

SCALE 1/4" = 1'-0"

PROPOSED FLOOR PLAN



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121 CAROLINA ST.

SAN ANTONIO, TEXAS

LOT 15 BLK 1 NCB 3004

GONZALES & ASSOCIATES

BUILDING DESIGNERS & CONSULTANTS

FERNANDO N. GONZALES

OWNER/DESIGNER

2846 BROADWAY SUITE 102

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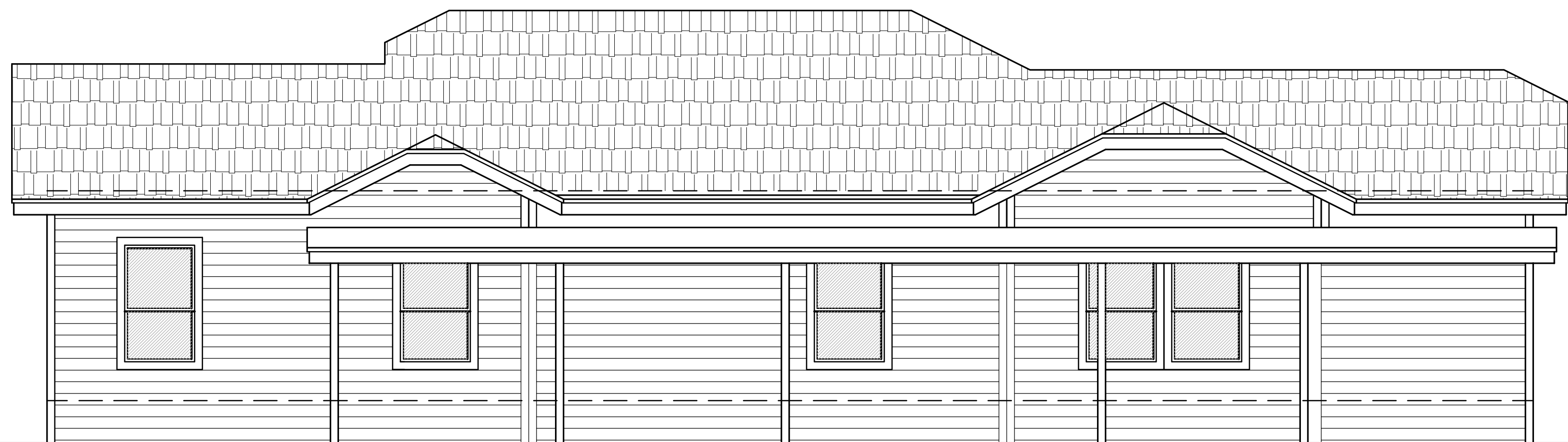
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ARTURO VILCHIS

STARTING DATE
JAN 02 2015

REVISED DATE
FEB 03 2015

JOB#
15-001

SHEET#
3 OF 3



EXISTING ELEVATION RIGHT ELEVATION SCALE 1/4" = 1'-0"

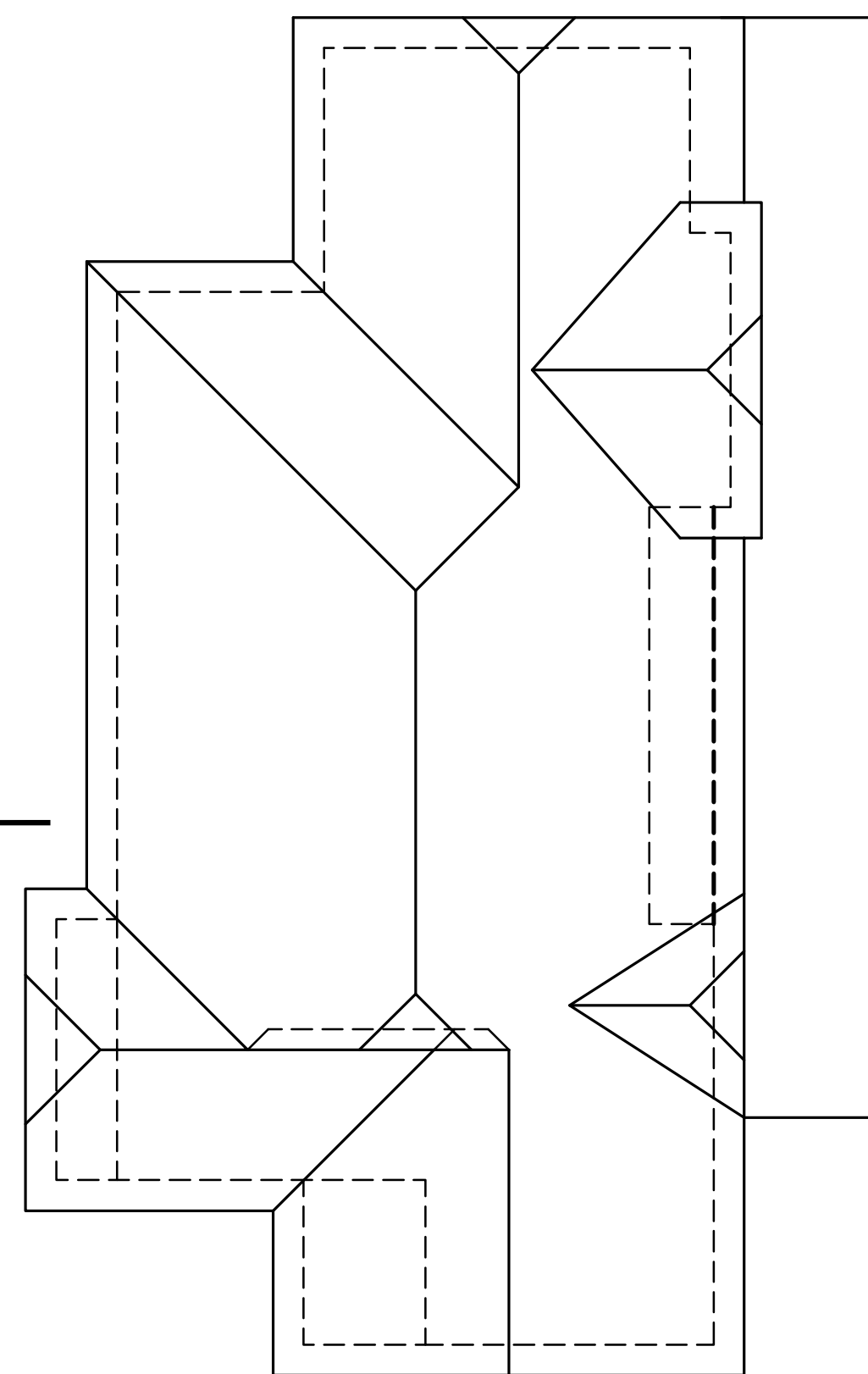


EXISTING ELEVATION LEFT ELEVATION SCALE 1/4" = 1'-0"

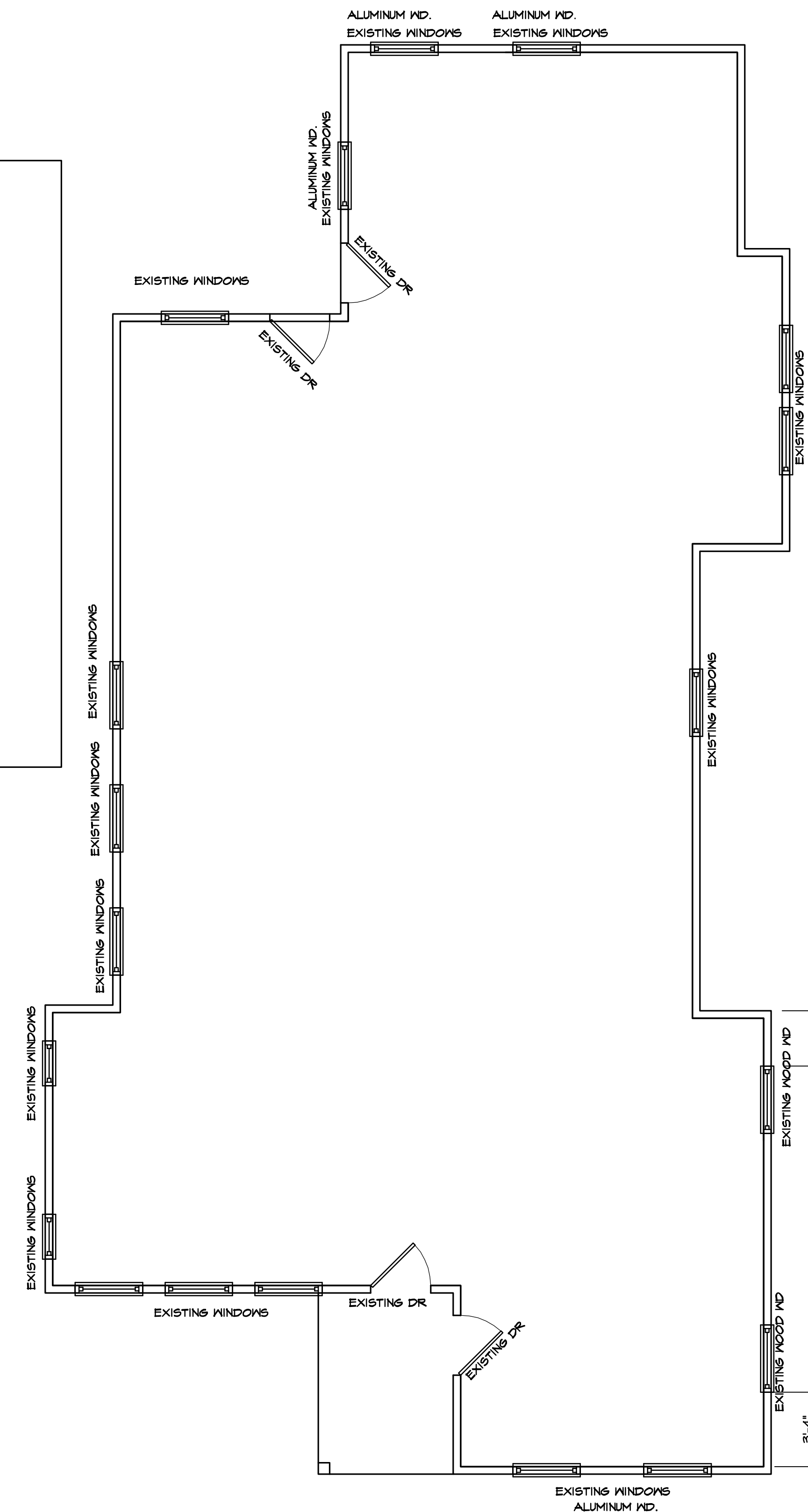


EXISTING ELEVATION REAR ELEVATION SCALE 1/4" = 1'-0"

EXISTING ELEVATION FRONT ELEVATION SCALE 1/4" = 1'-0"



ROOF PLAN SCALE 1/8" = 1'-0"



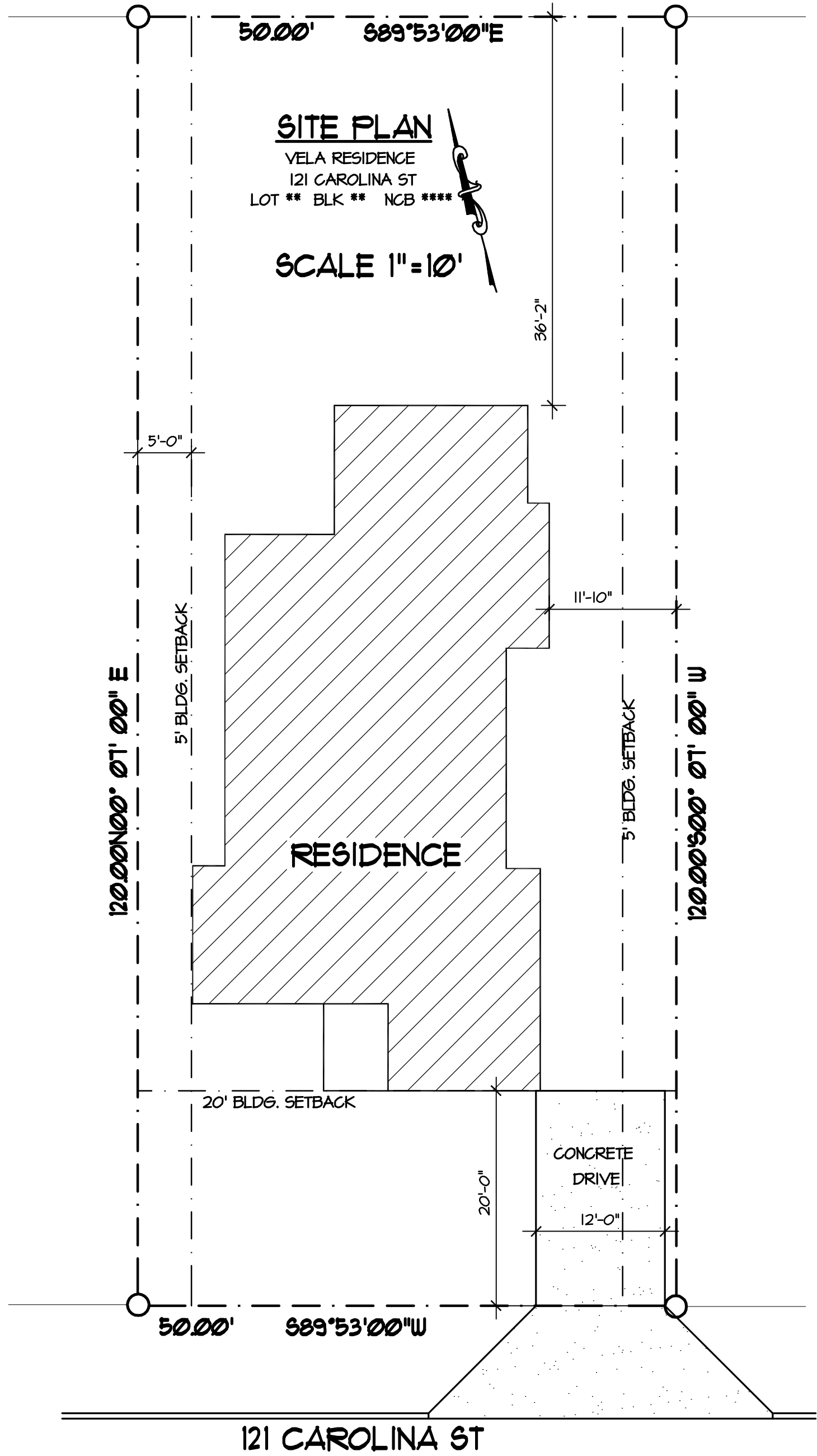
EXISTING FLOOR PLAN

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