

HISTORIC AND DESIGN REVIEW COMMISSION

April 15, 2015

Agenda Item No: 17

HDRC CASE NO:	2015-132
COMMON NAME:	Oscar Perez Park
ADDRESS:	8601 TIMBER PATH
LEGAL DESCRIPTION:	NCB 15091 BLK LOT P-139C 10.656 AC & P-139D 6.344 AC (GREAT NW ANNEXATN)
ZONING:	O2
CITY COUNCIL DIST.:	6
APPLICANT:	Lance Permenter
OWNER:	City of San Antonio
TYPE OF WORK:	Park Improvements

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Demolish the existing concrete stabilized base (CSB) trail and replace with a new 8' wide asphalt trail.
2. Construct a new asphalt parking lot for 40 additional parking spaces.
3. Relocate the existing baseball field and back stop.
4. Remove side panels from the existing skateboard equipment and refurbish existing ramps.

Possible design additive alternatives include:

5. Install multiple fitness and exercise equipment on a single concrete pad.
6. Install a 6' high black metal picket/rail security fence, or galvanized chain link along the east property line paralleling the existing dilapidated privately owned wood fence.

APPLICABLE CITATIONS:

UDC Section 35-642 – New Construction of Buildings and Facilities:

a. Site and Setting

2. Special consideration should be given to maintain existing urban design characteristics, such as setbacks, building heights, streetscapes, pedestrian movement, and traffic flow. Building placement should enhance or create focal points and views. Continuity of scale and orientation shall be emphasized.
3. Accessibility from streets should be designed to accommodate safe pedestrian movement as well as vehicular traffic. Where possible, parking areas should be screened from view from the public right-of-way by attractive fences, berms, plantings or other means.
4. Historically significant aspects of the site shall be identified and if possible incorporated into the site design. Historic relationships between buildings, such as plazas or open spaces, boulevards or axial relationships should be maintained.

b. Building Design

1. Buildings for the public should maintain the highest quality standards of design integrity. They should elicit a pride of ownership for all citizens. Public buildings should reflect the unique and diverse character of San Antonio and should be responsive to the time and place in which they were constructed.
2. Buildings shall be in scale with their adjoining surroundings and shall be in harmonious conformance to the identifying quality and characteristics of the neighborhood. They shall be compatible in design, style and materials. Reproductions of styles and designs from a different time period are not encouraged, consistent with the secretary of the interior's standards. Major horizontal and vertical elements in adjoining sites should be respected.
3. Materials shall be suitable to the type of building and design in which they are used. They shall be durable and easily maintained. Materials and designs at pedestrian level shall be at human scale, that is they shall be designed to be understood and appreciated by someone on foot. Materials should be selected that respect the historic character of the surrounding area in texture, size and color.
5. Colors shall be harmonious with the surrounding environment, but should not be dull. Choice of color should reflect the local and regional character. Nearby historic colors shall be respected.
8. Auxiliary design. The site should take into account the compatibility of landscaping, parking facilities, utility

and service areas, walkways and appurtenances. These should be designed with the overall environment in mind and should be in visual keeping with related buildings, structures and places.

FINDINGS:

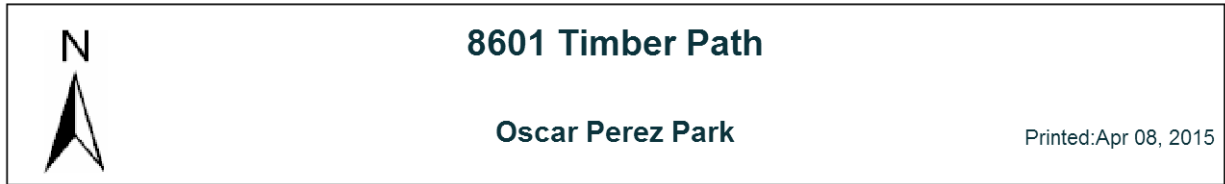
- a. The proposed improvements are appropriate to help make the park more accessible and inviting to users. The improvements are consistent with the UDC Section 35-642.b.1 in terms of maintaining high design quality standards for public facilities.
- b. The proposed new parking area is consistent with and will connect to existing parking areas in the park. It is set beyond the existing parking lot and will not be highly visible from the public right-of-way, consistent with the UDC Section 35-642.a.3.
- c. The proposed new sidewalk is appropriate for its location and will improve accessibility to the park, consistent with the UDC Section 35-642.a.3.
- d. The size, scale, and material of the proposed fence at 6' tall is consistent with the UDC height and design regulations. The fence will be located between the skate plaza and the existing basketball pavilion.
- e. The proposed improvements to the existing skateboard ramps, and relocating the existing baseball field is consistent with the UDC Section 35-642.b.8.
- f. The proposed installation of multiple fitness and exercise equipment on a concrete pad would be appropriate. This improvement is consistent with the UDC Section 35-642.b. 2.
- g. The project has been reviewed by the City Archaeologist.

RECOMMENDATION:

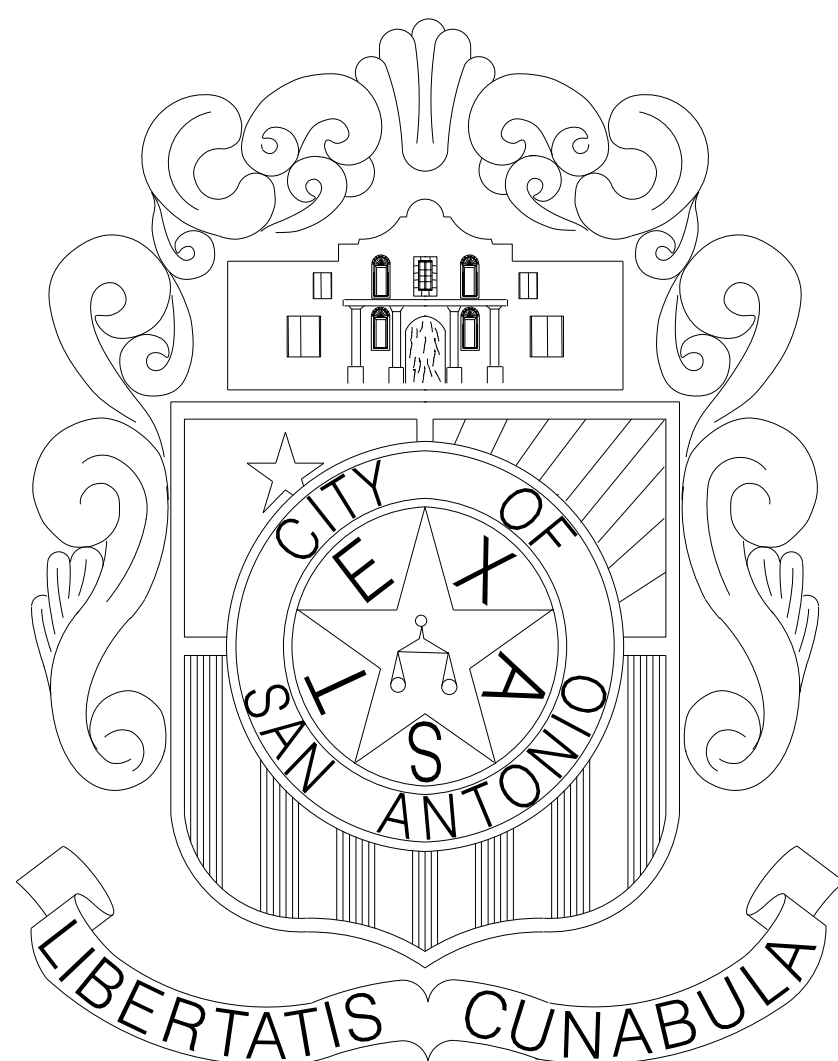
Staff recommends approval based on findings a through g.

CASE MANAGER:

Alyson Smith



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CITY OF SAN ANTONIO
DISTRICT 6 PARK IMPROVEMENTS
OSCAR PEREZ PARK

8601 TIMBER PATH
SAN ANTONIO, TEXAS

CITY MANAGER

SHERYL SCULLEY

TCI DIRECTOR

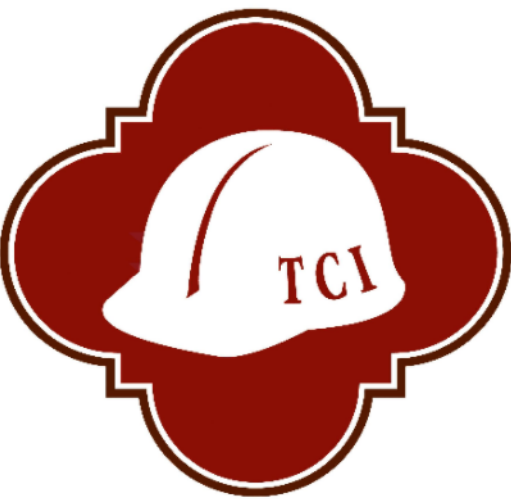
MIKE FRISBIE

PROJECT MANAGER

CARLOS MENDEZ
LANDSCAPE ARCHITECT
PH. # 210-207-2878
FAX # 210-207-2197

PRIME CONSULTANT

KUDELA & WEINHEIMER, INC.
LANDSCAPE ARCHITECT
PH. # 210-349-3500
FAX # 210-349-3508



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DATE OF ISSUE: 03/16/2015

PROJECT NUMBER

40-00382

FUNDING

2012-17 GENERAL OBLIGATION BOND PROGRAM

CITY COUNCIL

MAYOR

IVY R. TAYLOR

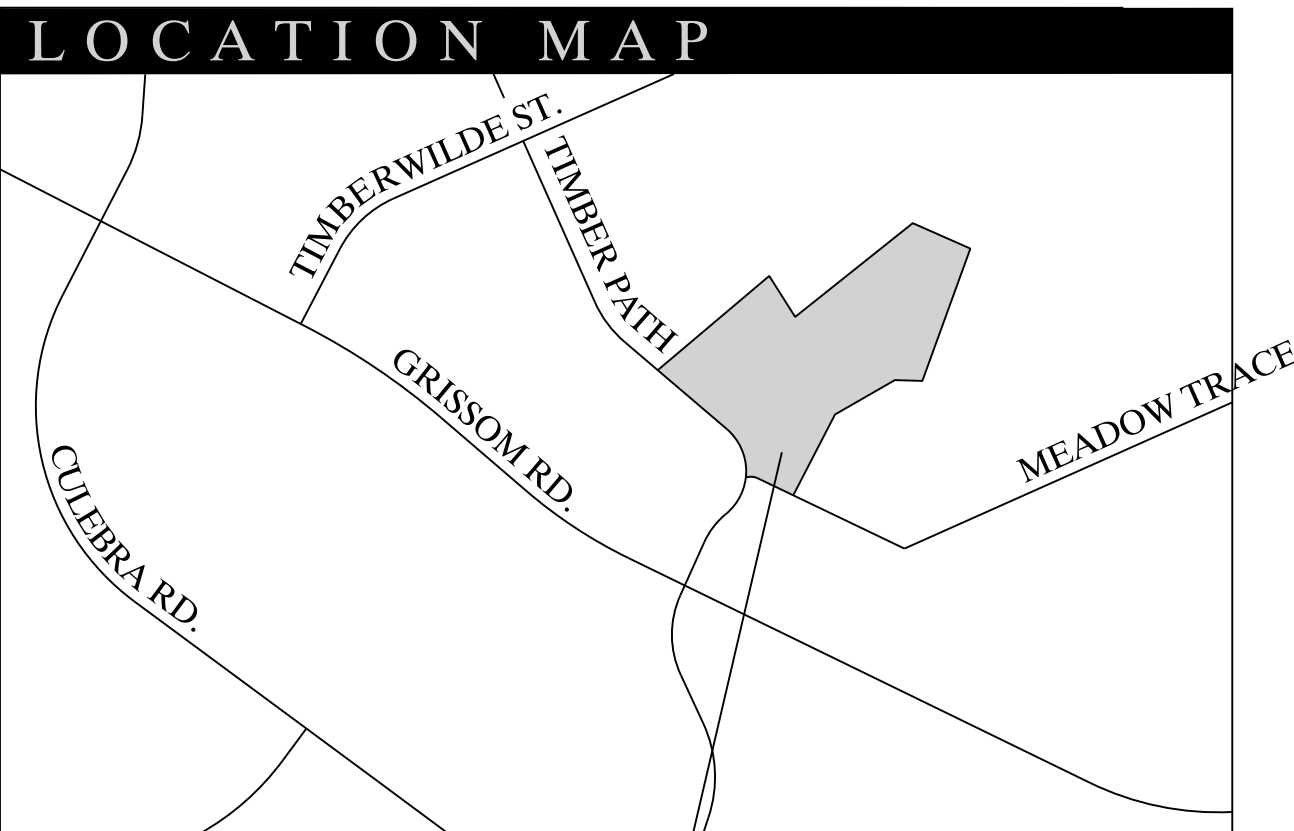
COUNCIL

ROBERTO C. TREVIÑO	DISTRICT 1
ALAN E. WARRICK, II	DISTRICT 2
REBECCA J. VIAGRAN	DISTRICT 3
REY SALDANA	DISTRICT 4
SHIRLEY GONZALES	DISTRICT 5
RAY LOPEZ	DISTRICT 6
CHRIS MEDINA	DISTRICT 7
RON NIRENBERG	DISTRICT 8
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MIKE GALLAGHER	DISTRICT 10

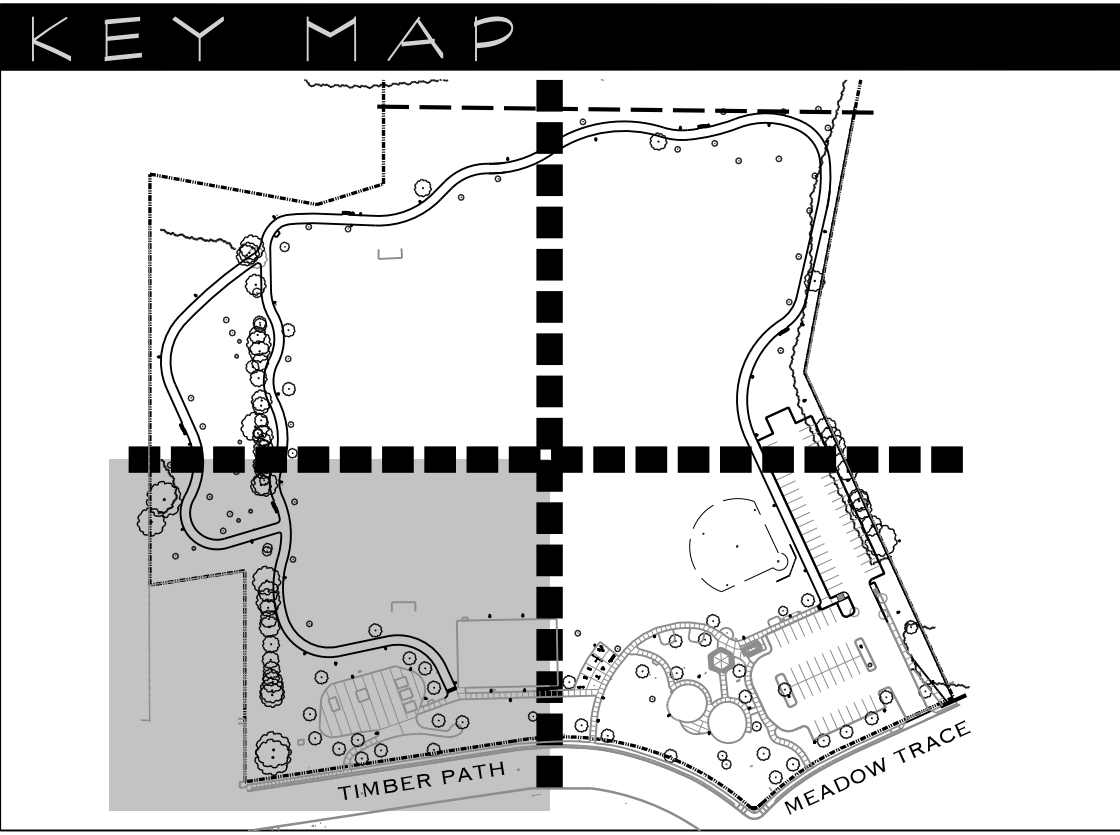
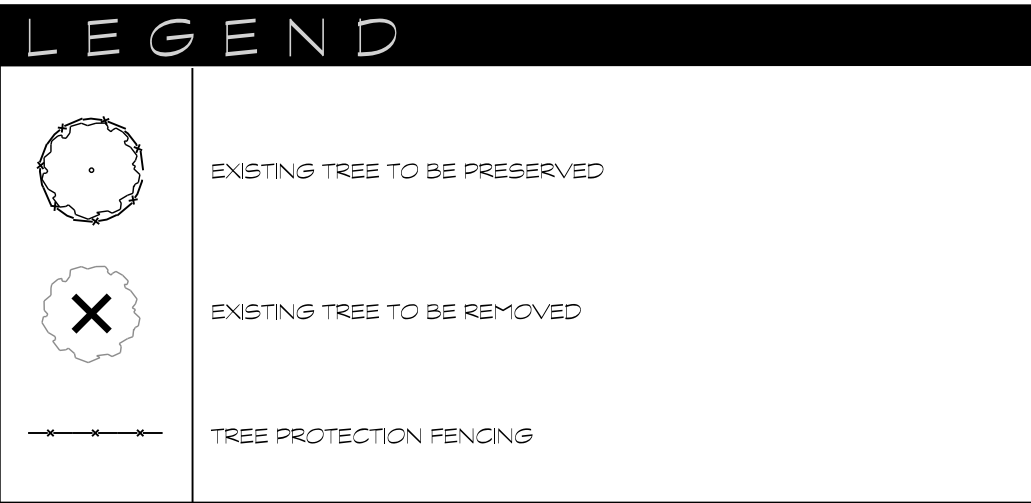
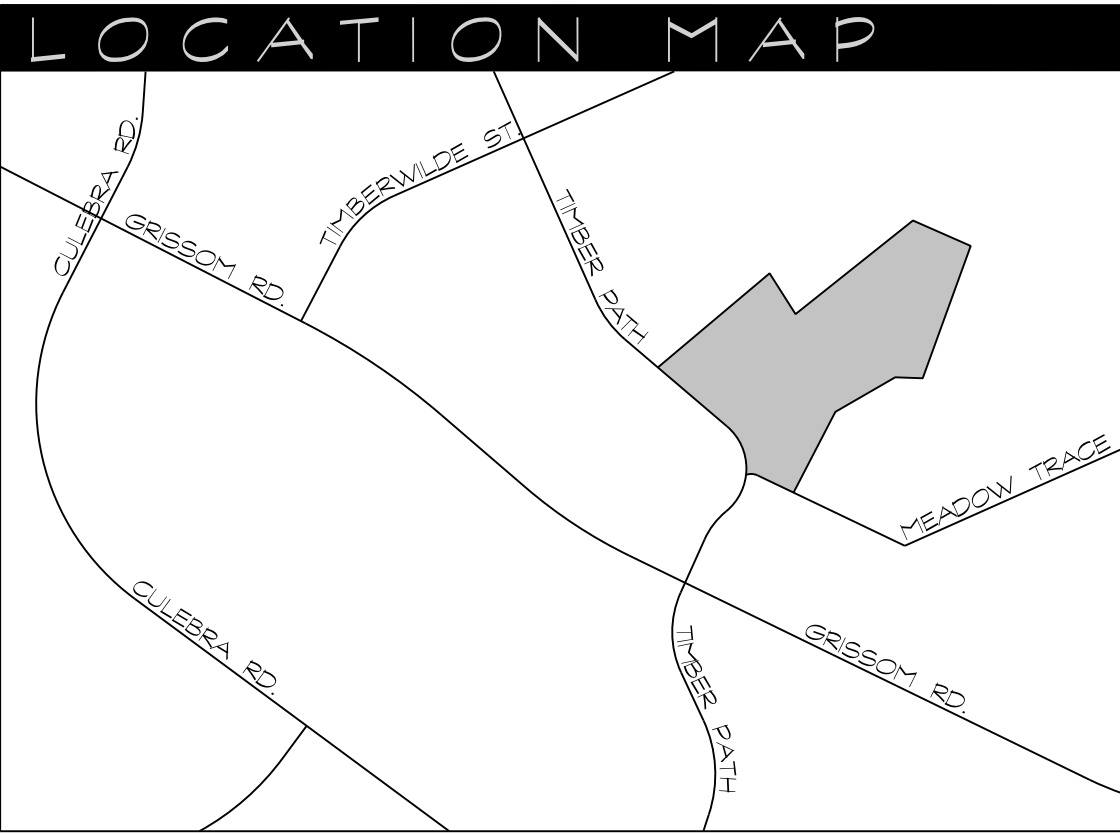
OUR MISSION: THROUGH INNOVATION AND DEDICATION, WE BUILD AND
MAINTAIN SAN ANTONIO'S INFRASTRUCTURE

TRANSPORTATION AND CAPITAL IMPROVEMENTS DEPARTMENT

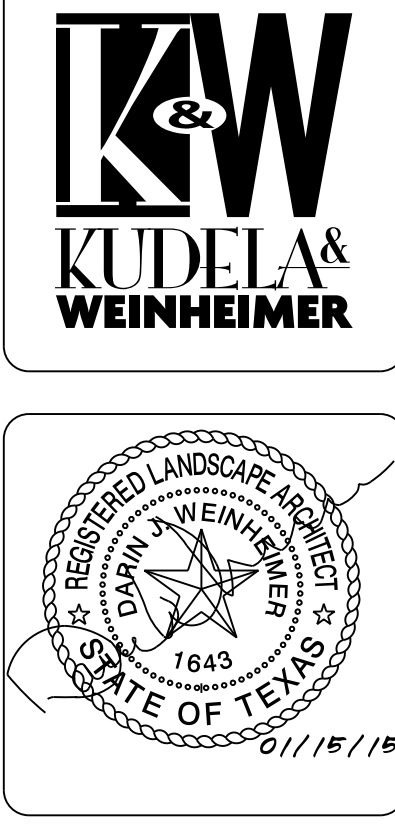
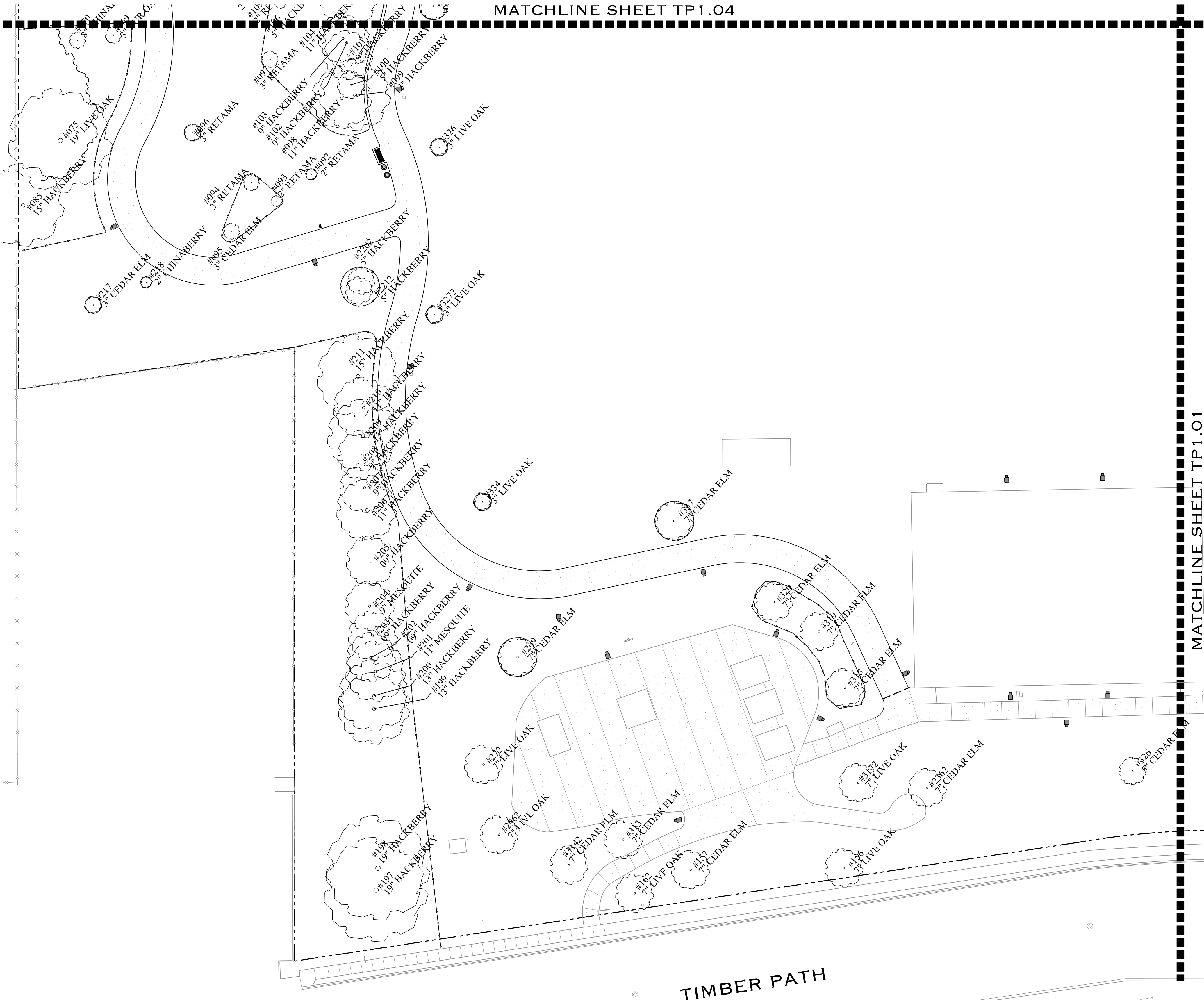
MUNICIPAL PLAZA BUILDING 114 W. COMMERCE SAN ANTONIO, TX 78238 PH # 210-207-2879 FAX # 210-207-2197



PROJECT LOCATION



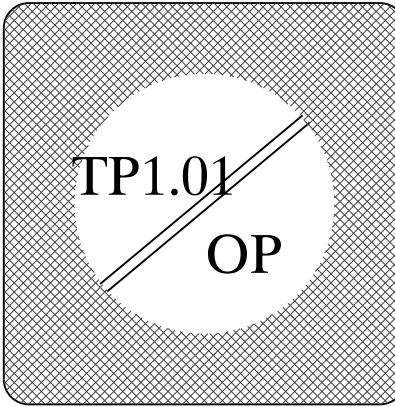
- TREE PRESERVATION & PROTECTION
- NOTES:
- ROOT PRUNING
 - Prune roots within root zone areas of trees using hand-digging techniques.
 - Cut roots measuring one inch (1") in diameter or larger using sharpened pruning shears or pruning saw to make a clean, smooth-cut surface. Do not chop roots.
 - Large roots measuring three inches (3") in diameter and larger shall be cut using a sharpened saw.
 - Cut roots flush with edge of soil to limit root exposure.
 - Apply appropriate, non-toxic pruning paint labeled for horticultural use immediately to all wounds on trees.
 - Route underground utility lines around tree root zone areas where possible.
 - Where excavating is required within root zones, hand excavate and tunnel under or around roots to minimize damage and to preserve roots measuring one inch (1") in diameter and larger.
 - Where excavation is unavoidable within root zone areas, proper tree root pruning techniques shall be used.
 - Do not allow exposed roots to dry out before permanent backfill is in place.
 - Maintain existing natural grade within the dripline of trees.
 - Solid fill within root zone areas shall be free of harmful chemicals and adequate for supporting healthy root growth.
 - Where existing grade around trees is below proposed finish grade place up to a maximum of three inches (3") of clean bank sand in a single layer to make the transition to new grade. Do not compact. Hand grade to required elevation. Large surface roots (that were exposed prior to construction) shall remain exposed.
 - Contractor to receive written authorization from the landscape architect prior to initiation of any construction activity and/or tree preservation activities that take place within the tree preservation zone.
 - There shall not be storage of any materials, equipment, soil etc. under dripline of existing trees.
 - If construction activity is to occur close to any trees not identified for protection, contractor is responsible to install additional protection fencing if required.
 - All sidewalks installed under tree's dripline to be hand dug. Landscape architect to approve location prior to digging, etc.
 - If hand grading is required within dripline, no fill should be added. Contractor to have approval from certified arborist before grading areas under tree dripline.
 - Refer to civil drawings for all existing and proposed utilities, rights of ways, and easements.
 - Refer to tree preservation specifications for pruning of existing trees where vehicular traffic or construction conflicts with existing tree canopy.
 - Contractor to stake tree protection fencing for landscape architect approval. Contact landscape architect 48 hours prior to installation.
 - Contractor to supply on-site certified arborist to supervise all tree protection, re-location, pruning, fertilizing, etc. work.
 - All preserved trees to have tree protection fencing placed around trees at radius equal to 6' per diameter inch (1") of trunk of tree.



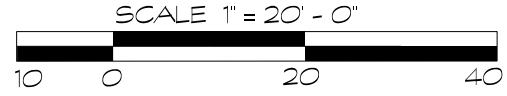
Date:	Revisions/Submissions
06/11/14	30% Construction Documents
10/17/14	50% Construction Documents
01/15/15	100% Construction Documents

CITY OF SAN ANTONIO
TRANSPORTATION AND CAPITAL
IMPROVEMENTS
VERTICAL PROJECT MANAGEMENT DIVISION
MUNICIPAL PLAZA BUILDING 114 W. COMMERCE
SAN ANTONIO, TX 78283-3966
P.O. BOX 839966
TEL. (210) 207-2879
FAX (210) 207-2197

OSCAR PEREZ PARK
8601 TIMBER PATH
SAN ANTONIO, TEXAS
TREE PRESERVATION
PLAN



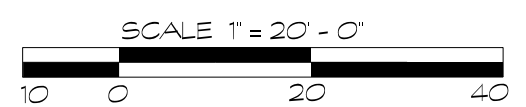
Designed By:
Designer Name
Drawn By:
DT
Date:
01/15/2015
Project No.:
CSA-351
Filename:
L-TreePres.dgn



KEY MAP

The key map illustrates the site layout, divided into four quadrants by a thick black cross. The top-left quadrant shows a winding path and a small building. The top-right quadrant is mostly empty. The bottom-left quadrant shows a large building complex labeled 'TIMBER PATH'. The bottom-right quadrant shows a large building complex labeled 'MEADOW TRACE'.

LEGEND	
	EXISTING TREE TO BE PRESERVED
	EXISTING TREE TO BE REMOVED
	TREE PROTECTION FENCING



Revisions/Submissions	Comments
1/14 30% Construction Document	
2/14 50% Construction Document	
3/15 100% Construction Document	

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P.O. BOX 339966 SAN ANTONIO, TX 78233-3966

**OSCAR PEREZ PARK
8601 TIMBER PATH
SAN ANTONIO, TEXAS**

TP1.02
OP

Signed By: _____
 Designer Name _____
 Drawn By: _____
 Title: _____
 Date: 11/15/2015
 Project No. : _____
 SA-351
 Filename: _____
 TreePres.dgn

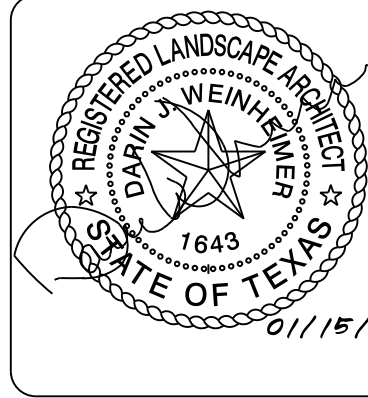
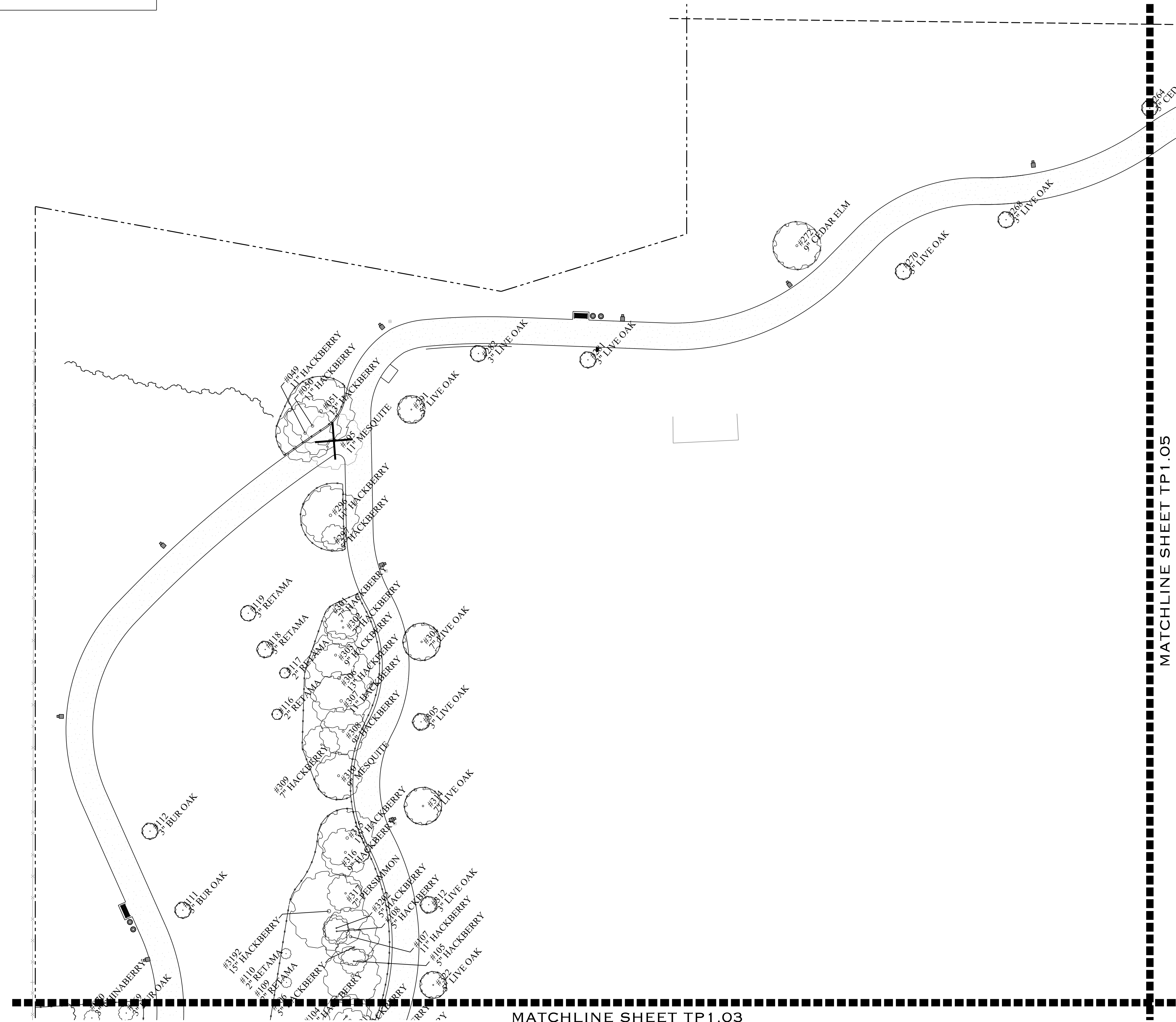
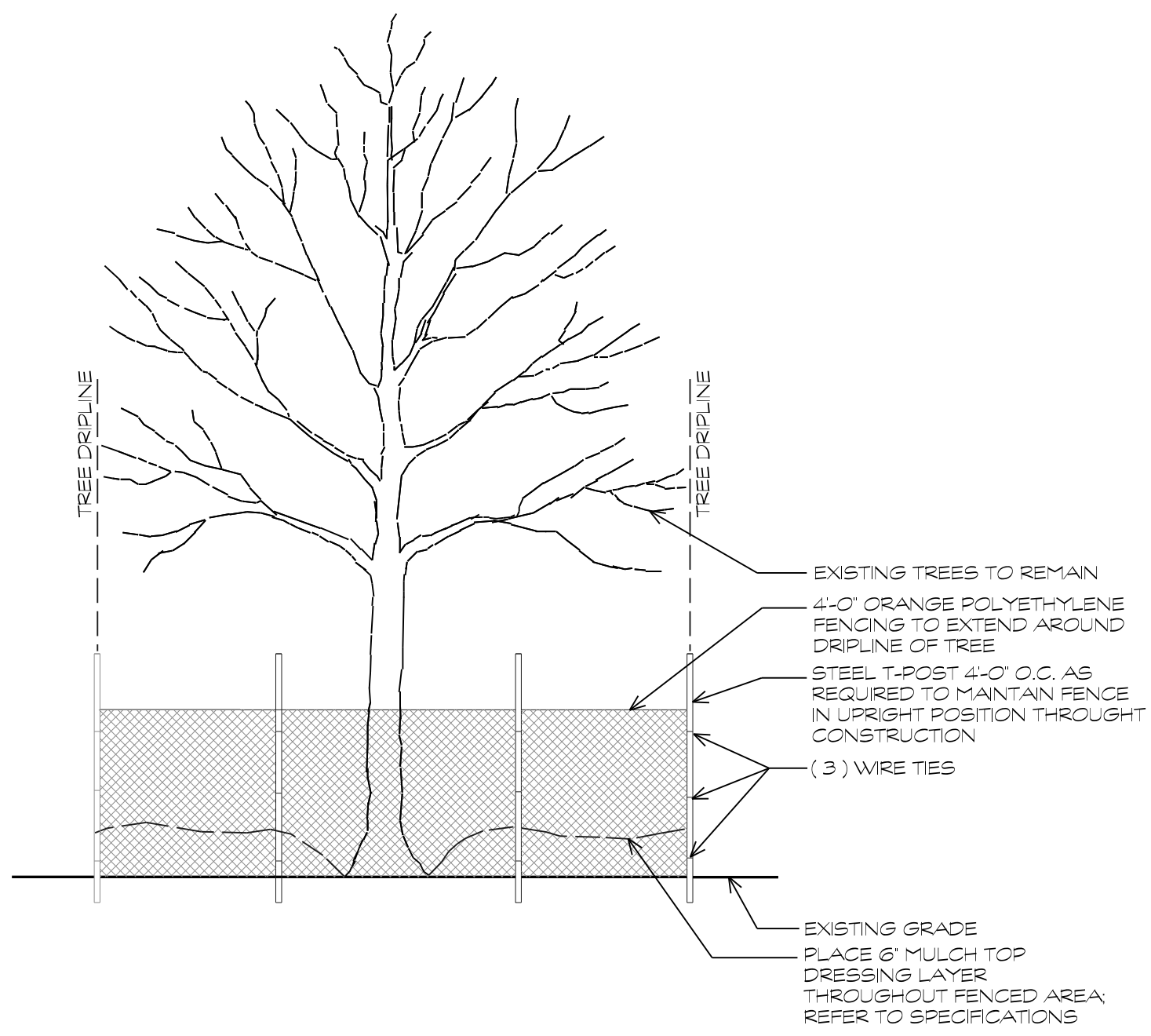
KEY MAP

KEY MAP

TIMBER PATH

MEADOW TRACE

LEGEND	
	EXISTING TREE TO BE PRESERVED
	EXISTING TREE TO BE REMOVED
	TREE PROTECTION FENCING



Date:	Revisions/Submission
06/11/14	30% Construction Document
10/17/14	50% Construction Document
01/15/15	100% Construction Document

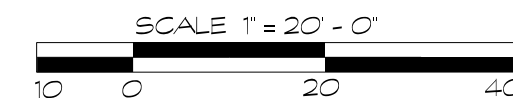
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OSCAR PEREZ PARK
8601 TIMBER PATH
SAN ANTONIO, TEXAS

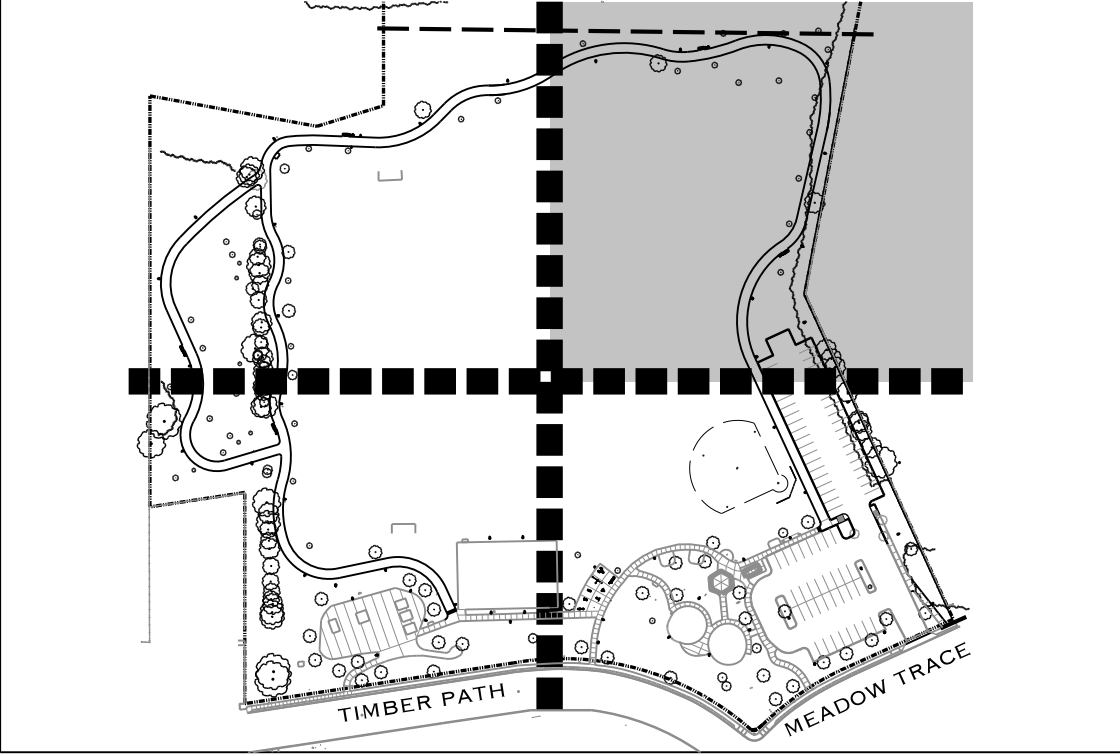
**TREE PRESERVATION
PLAN**



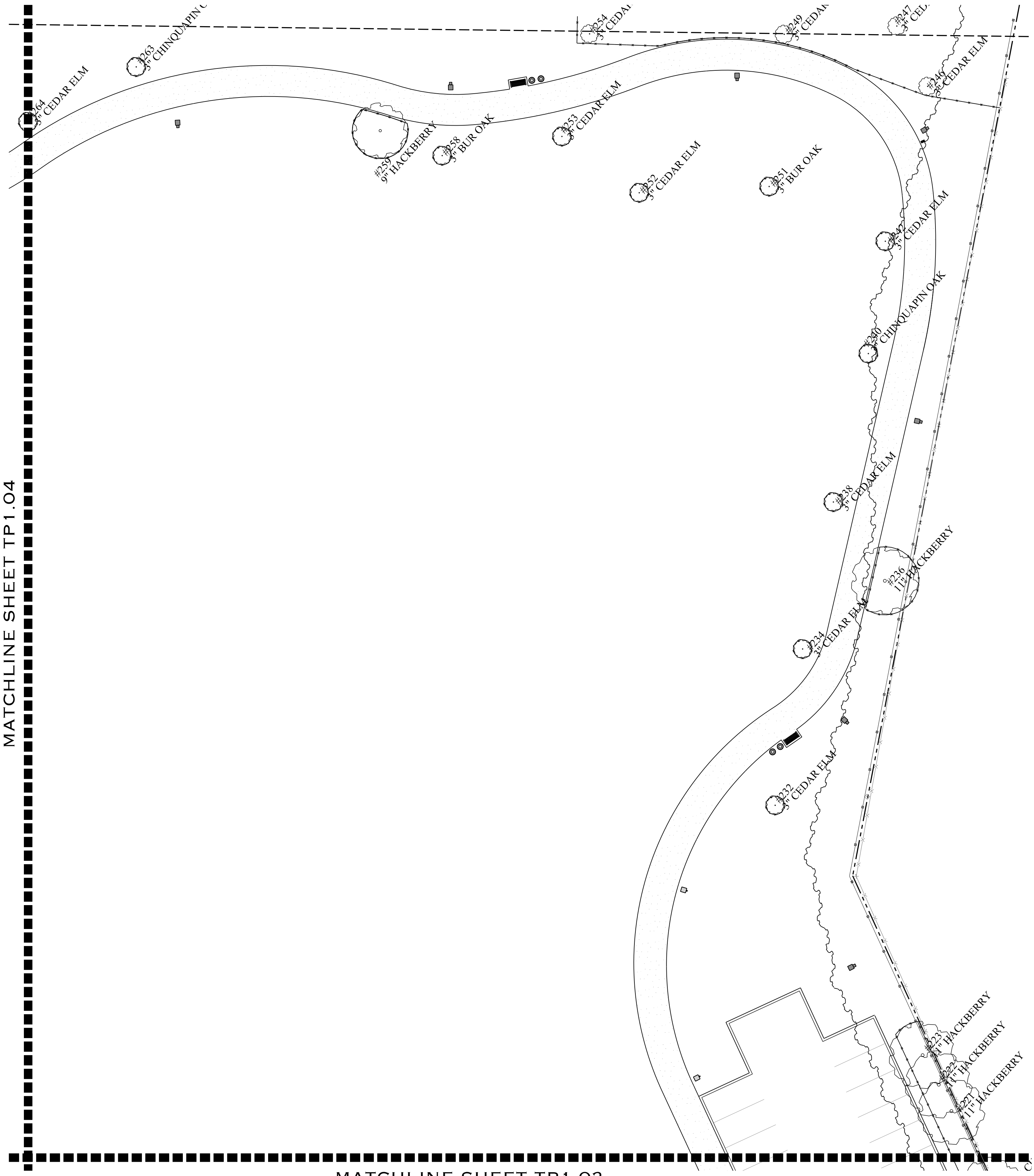
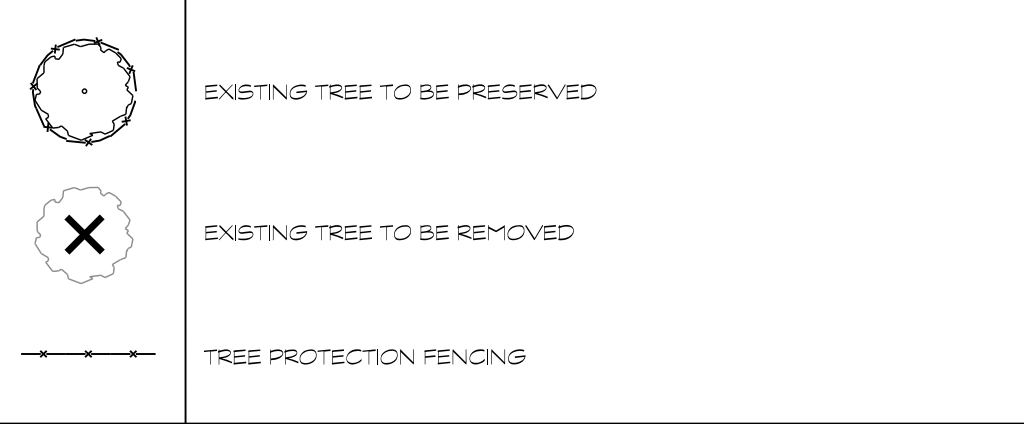
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Drawn By:	DT
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Project No. :	CSA-351
Filename:	L-TreePres.dgn



KEY MAP

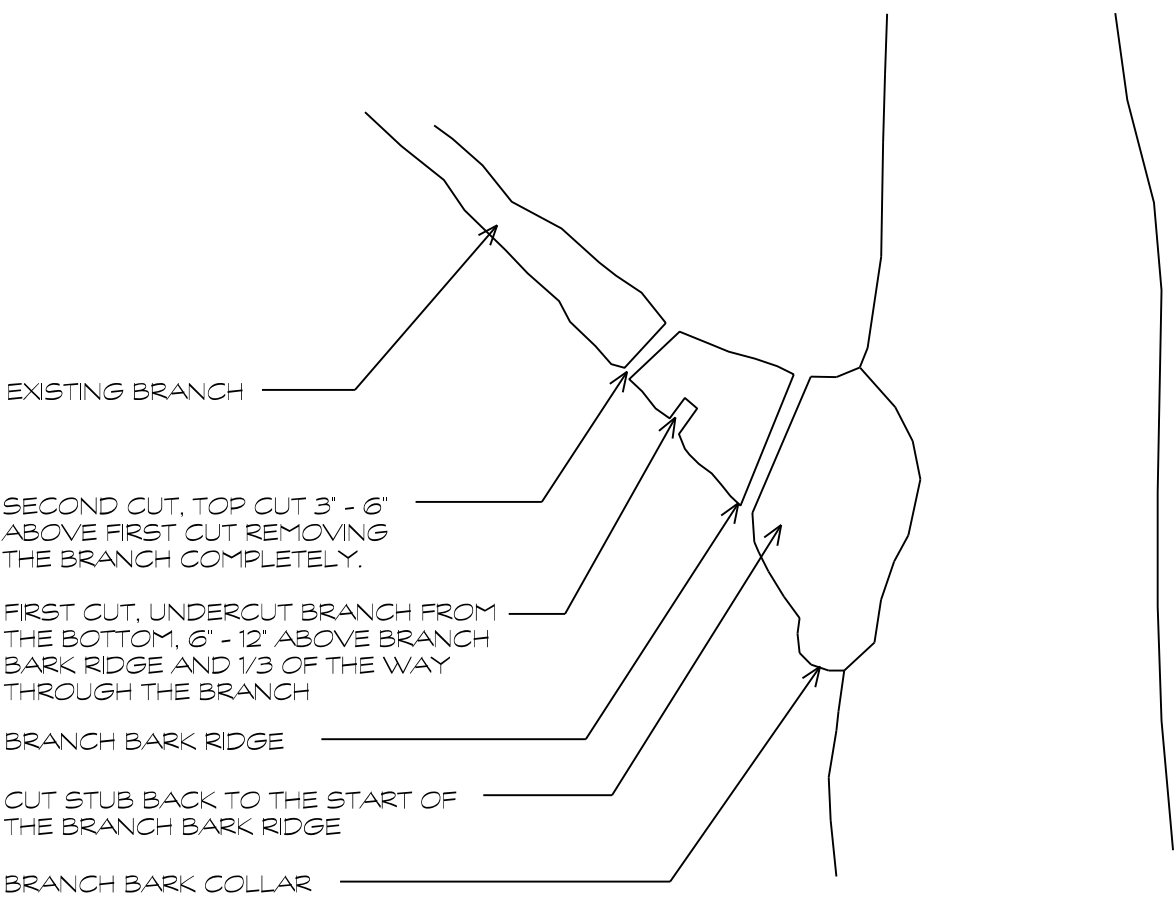


LEGEND



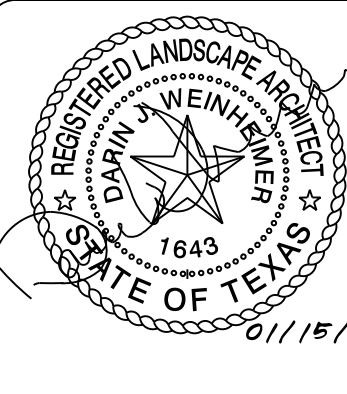
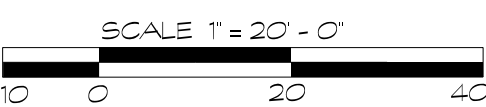
MATCHLINE SHEET TP1.04

MATCHLINE SHEET TP1.02



3 BRANCH REMOVAL - RE. SPECIFICATIONS

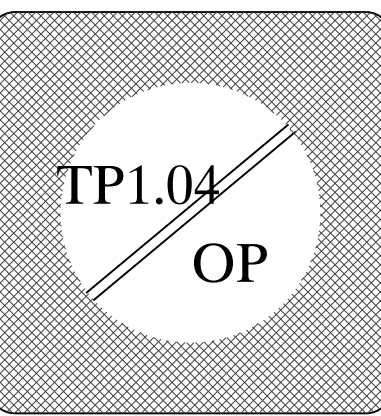
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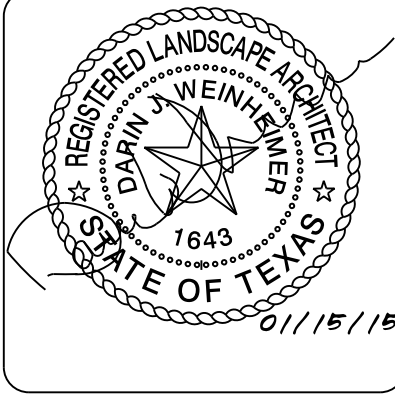
Date:	Revisions/Submissions
06/11/14	30% Construction Documents
10/17/14	50% Construction Documents
01/15/15	100% Construction Documents

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OSCAR PEREZ PARK
8601 TIMBER PATH
SAN ANTONIO, TEXAS
TREE PRESERVATION
PLAN



Designed By:	Designer Name
Drawn By:	DT
Date:	01/15/2015
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Date:	Revisions/Submissions
06/11/14	30% Construction Documents
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01/15/15	100% Construction Documents

CITY OF SAN ANTONIO

TRANSPORTATION AND CAPITAL IMPROVEMENTS

VERTICAL PROJECT MANAGEMENT DIVISION

MUNICIPAL PLAZA BUILDING 114 W. COMMERCE

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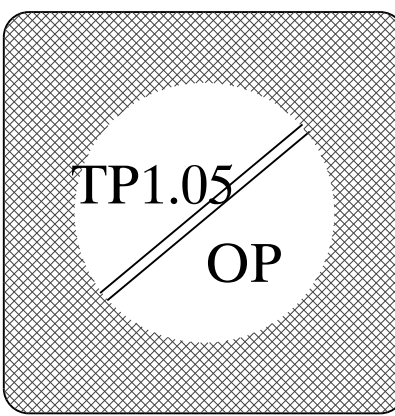
OSCAR PEREZ PARK

8601 TIMBER PATH

SAN ANTONIO, TEXAS

TREE PRESERVATION

TABLE



Designed By:
Designer Name

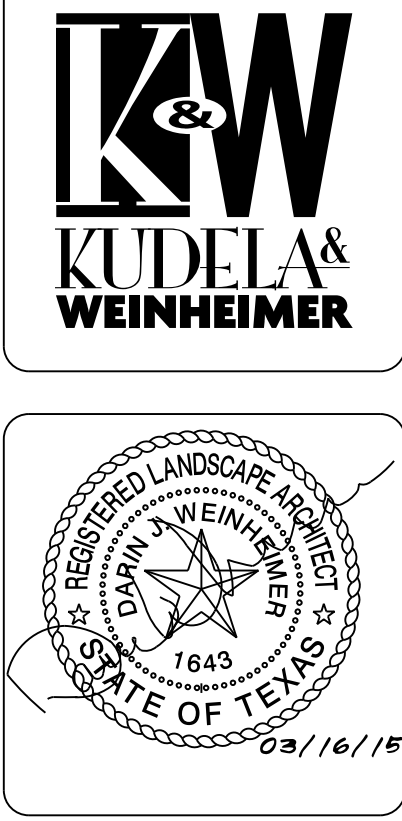
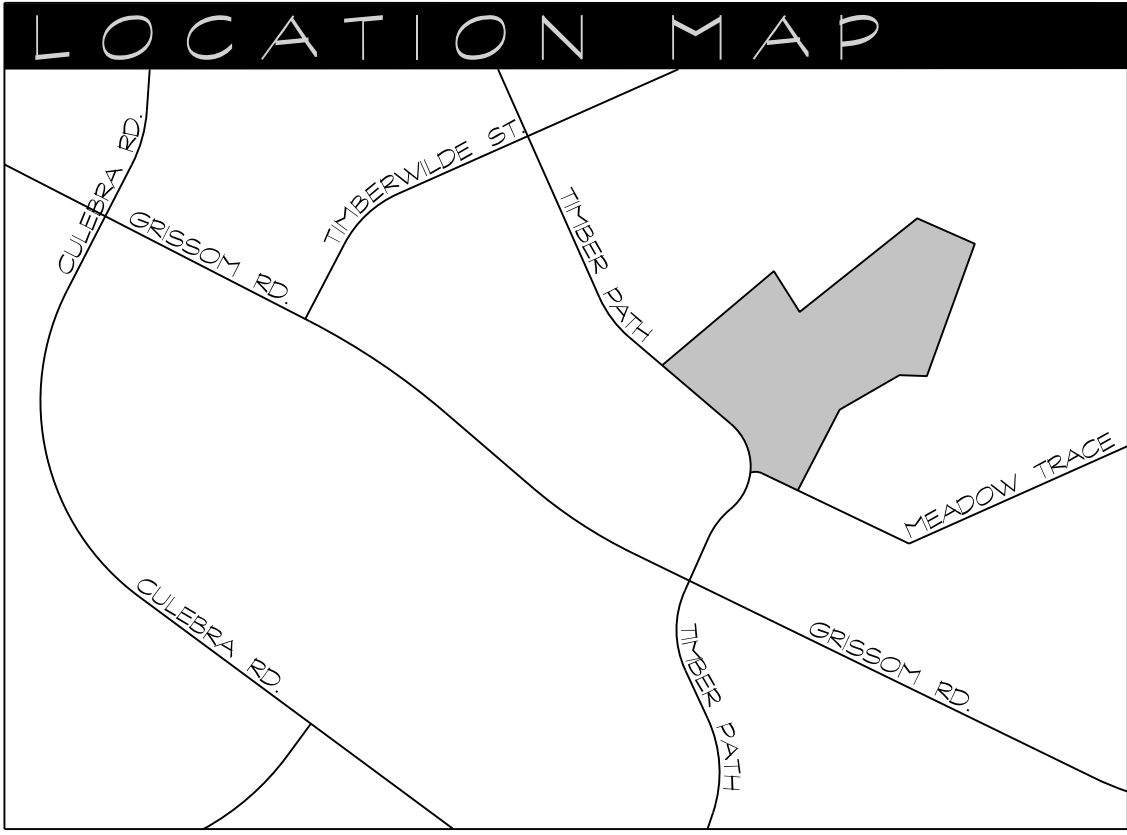
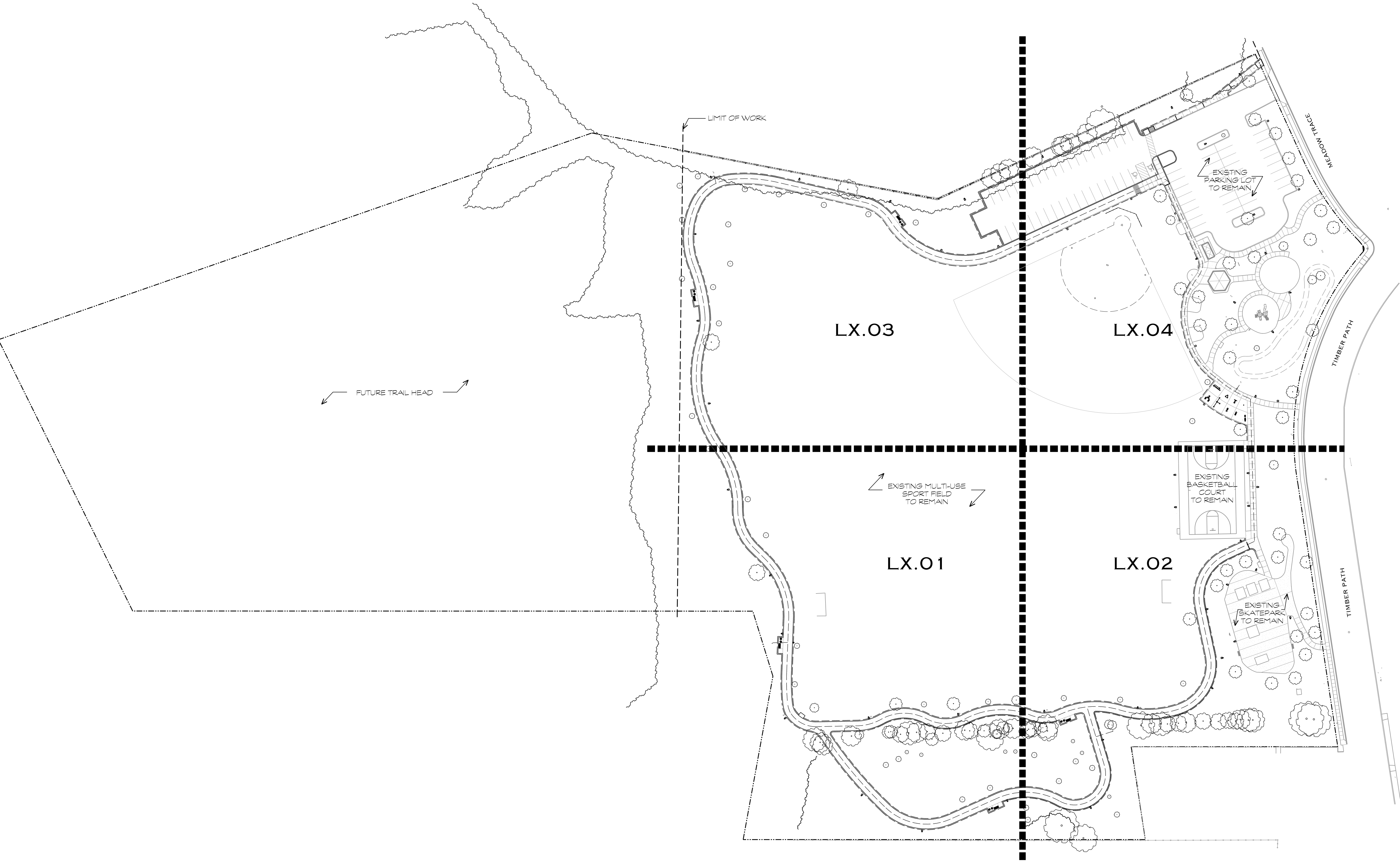
Drawn By:
DT

Date:
01/15/2015

Project No. :
CSA-351

Filename:
L-TreePres.dgn

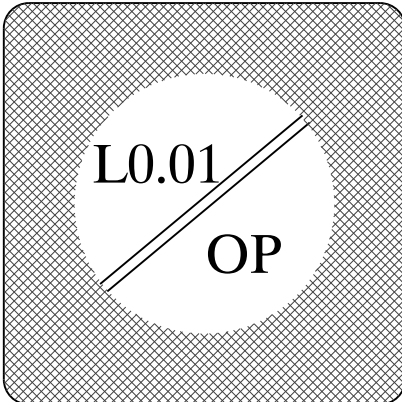
TREE INVENTORY																	TREE INVENTORY																		
							Understory Species* 5.0" - 11.5"		Significant Tree 6" - 23.5"		Significant Tree** 10.0" - 23.5"		Heritage 3:1		Heritage 1:1		Additional Inches Preserved for Mitigation ***								Understory Species* 5.0" - 11.5"		Significant Tree 6" - 23.5"		Significant Tree** 10.0" - 23.5"		Heritage 3:1		Heritage 1:1		Additional Inches Preserved for Mitigation ***
Tag #	Species	Tree Code	Size (inches)	Heritage (Y/N)	Save (Y/N)	Exempt Code	Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved	Preserved	Tag #	Species	Tree Code	Size (inches)	Heritage (Y/N)	Save (Y/N)	Exempt Code	Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved	Preserved
011	Live Oak	S1	5		N													240	Chinquapin Oak	S1	3		Y											3	
013	Tree	S1	2		Y												2	242	Elm	S1	3		Y											3	
019	Elm	S1	5		N													245	Elm	S1	3		Y											3	
020	Elm	S1	5		N													246	Elm	S1	3		Y											3	
030	Elm	S1	7		Y					7								247	Elm	S1	3		Y											3	
049	Live oak	S1	7		Y					7								249	Elm	S1	3		Y											3	
049	Hackberry	S2	11		Y						11							251	Bur Oak	S1	3		Y											3	
050	Hackberry	S2	11		Y						11							252	Elm	S1	3		Y											3	
051	Hackberry	S2	13		Y						13							253	Elm	S1	3		Y											3	
069	Bur Oak	S1	3		Y												3	254	Elm	S1	3		Y											3	
070	Chinaberry	NN	3		Y												3	258	Bur Oak	S1	3		Y											3	
075	Live Oak	S1	19		Y							19						259	Hackberry	S2	9		Y											9	
078	Elm	S1	7		Y							7						263	Chinquapin Oak	S1	3		Y											3	
079	Elm	S1	7		Y							7						264	Elm	S1	3		Y											3	
082	Chinquapin Oak	S1	7		Y							7						268	Live Oak	S1	3		Y												3
085	Hackberry	S2	15		Y								15					269	Elm	S1	7		Y												3
091	Shumard Oak	S1	5		Y												5	270	Live Oak	S1	3		Y												3
092	Retama	U	2		Y												2	272	Live Oak	S1	7		Y												
093	Retama	U	2		Y												2	272	Elm	S1	9		Y												
094	Retama	U	3		Y												3	276	Elm	S1	7		Y												
095	Elm	S1	3		Y												3	281	Live Oak	S1	3		Y												3
096	Retama	U	3		Y												3	282	Live Oak	S1	3		Y												3
097	Retama	U	3		Y												3	291	Live Oak	S1	5		Y												5
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102	Live Oak	S1	7		Y													303	Hackberry	S2	9		Y												9
102	Hackberry	S2	9		Y												9	304	Live Oak	S1	7		Y						7						
103	Hackberry	S2	9		Y												9	305	Live Oak	S1	3		Y												3
104	Hackberry	S2	11		Y								11					306	Hackberry	S2	13		Y												
105	Hackberry	S2	5		Y												5	307	Hackberry	S2	11		Y												
106	Hackberry	S2	5		Y												5	308	Hackberry	S2	9		Y												9
107	Hackberry	S2	11		Y													309	Hackberry	S2	7		Y												7
108	Hackberry	S2	5		Y												5	310	Mesquite	S2	9		Y												9
109	Retama		2		Y												2	312	Live Oak	S1	3		Y												3
110	Retama		2		Y												2	313	Elm	S1	7		Y												
111	Bur Oak	S1	3		Y												3	314	Live Oak	S1	7		Y												
112	Bur Oak	S1	3		Y												3	315	Hackberry	S2	11		Y												
116	Retama	U	2		Y												2	316	Hackberry	S2	9		Y												9
117	Retama	U	2		Y												2	317	Persimmon	U	7		Y												
118	Retama	U	3		Y												3	318	Elm	S1	7		Y												
119	Retama	U	3		Y													319	Elm	S1	7		Y												
131	Live Oak	S1	7		Y													320	Elm	S1	7		Y												
138	Redbud	U	5				5											322	Live Oak	S1	5		Y												5
139	Redbud	U	5		Y			5										326	Elm	S1	5		Y												5
156	Live Oak	S1	7		Y													326	Live Oak	S1	3		Y												3
157	Elm	S1	7		Y													327	Live Oak	S1	7		Y												
162	Live Oak	S1	7		Y													328	Live Oak	S1	7		Y												
168	Elm	S1	7		Y													334	Live Oak	S1	3		Y												
170	Shumard Oak	S1	3		Y													337	Elm	S1	7		Y												
171	Live Oak	S1	7		Y													339	Live Oak	S1	3														



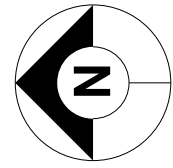
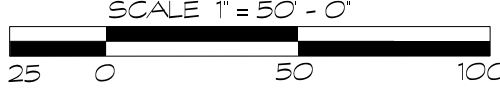
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03/16/15	100% Construction Documents/Revisions

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OSCAR PEREZ PARK
8601 TIMBER PATH
SAN ANTONIO, TEXAS
OVERALL SITE PLAN

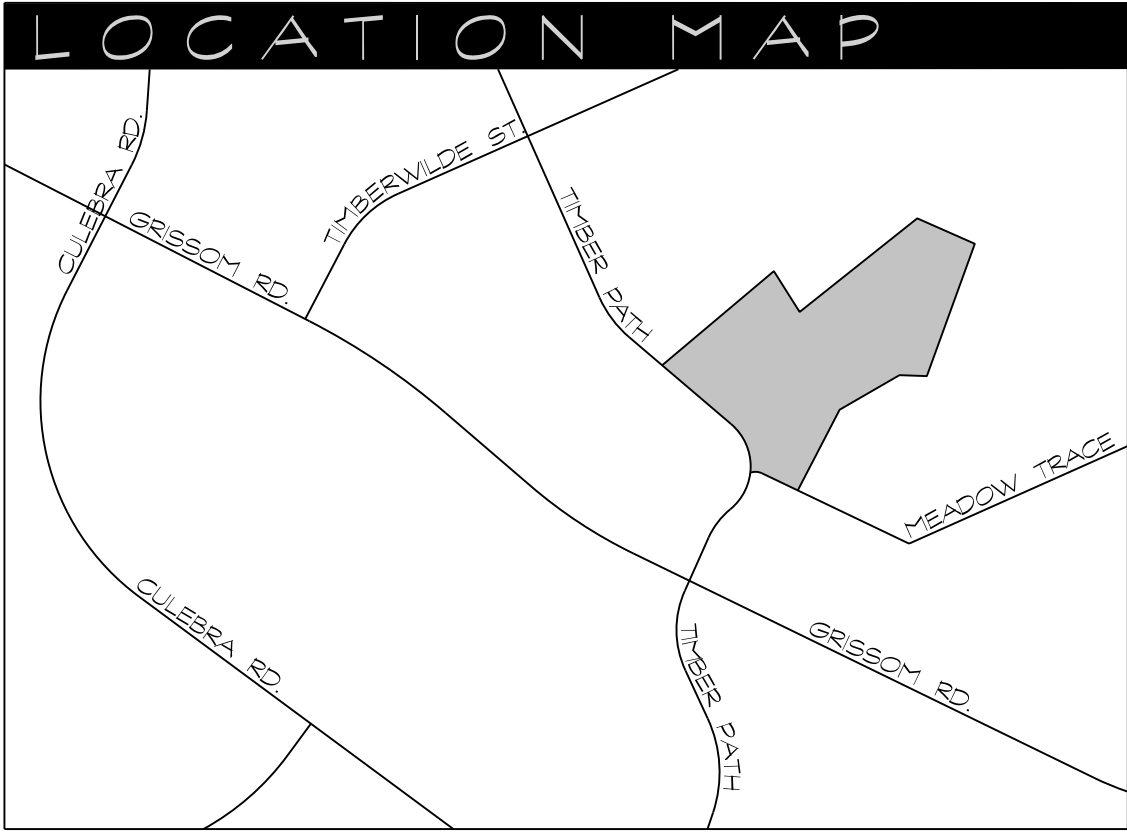


Designed By:	Designer Name
Drawn By:	DT
Date:	03/16/2015
Project No.:	CSA-351
Filename:	L-Materials.dgn



DEMOLITION

EXISTING CEMENT STABILIZED TRAIL TO BE REMOVED



REGISTERED LANDSCAPE ARCHITECT
DANIEL J. WEINHEIMER
1643
STATE OF TEXAS
03/16/15

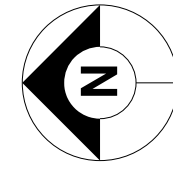
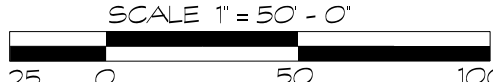
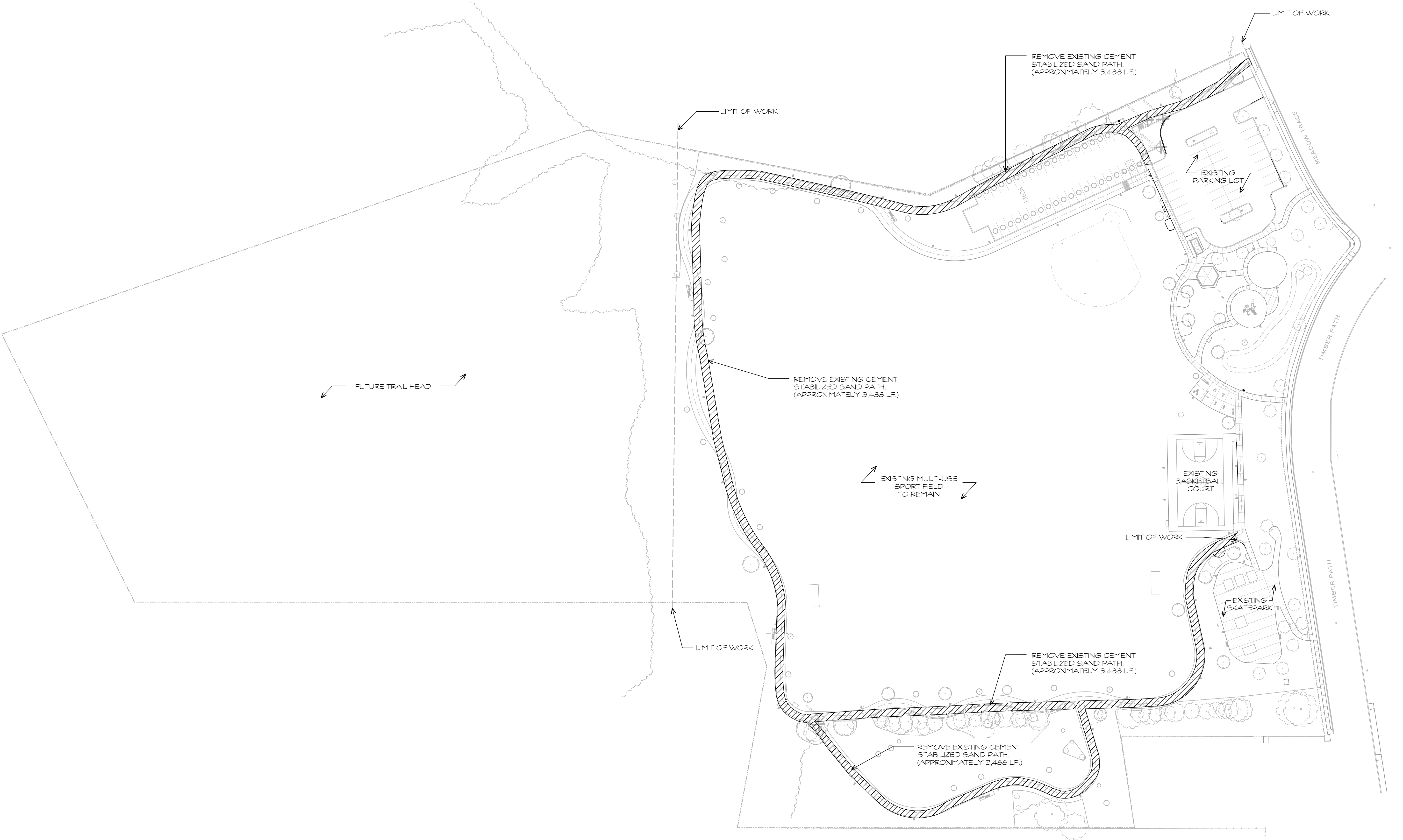
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OSCAR PEREZ PARK
8601 TIMBER PATH
SAN ANTONIO, TEXAS
DEMOLITION PLAN

L0.02
OP

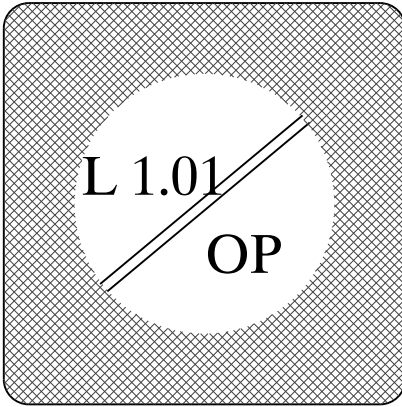
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Designer Name
Drawn By:
DT
Date:
03/16/2015
Project No.:
CSA-351
Filename:
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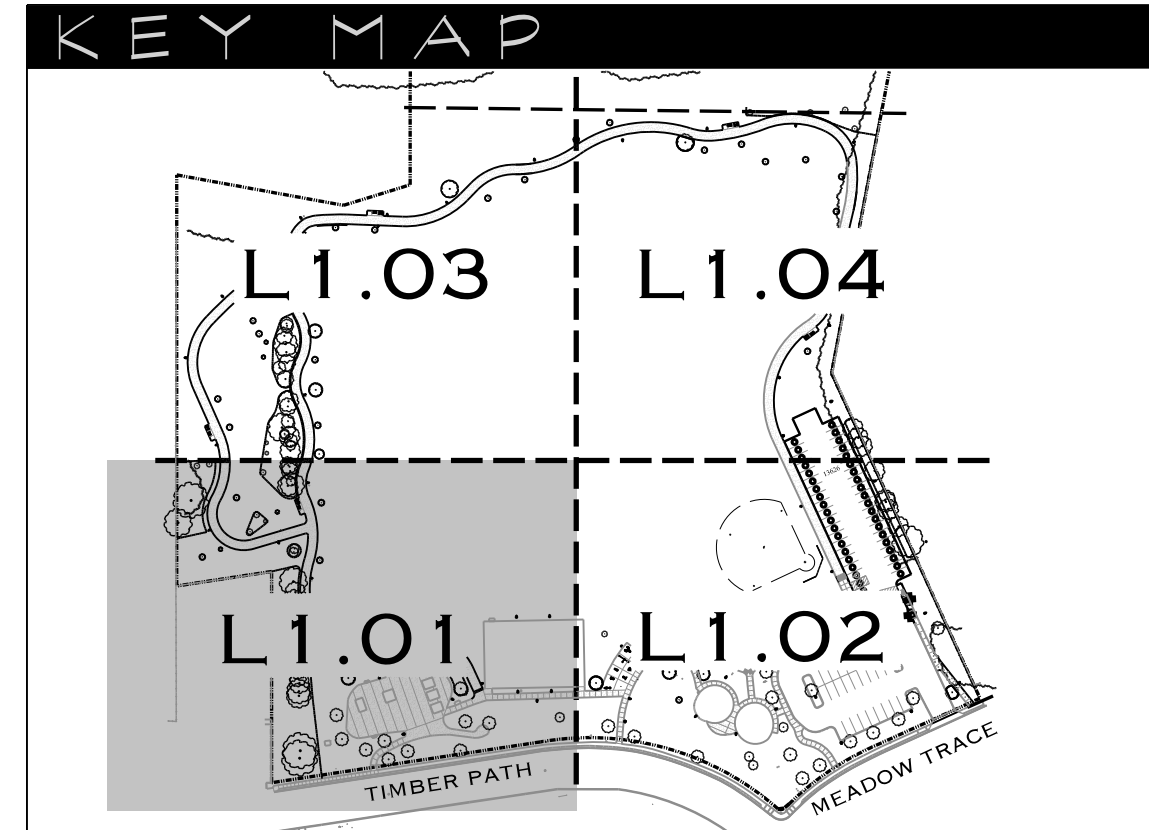
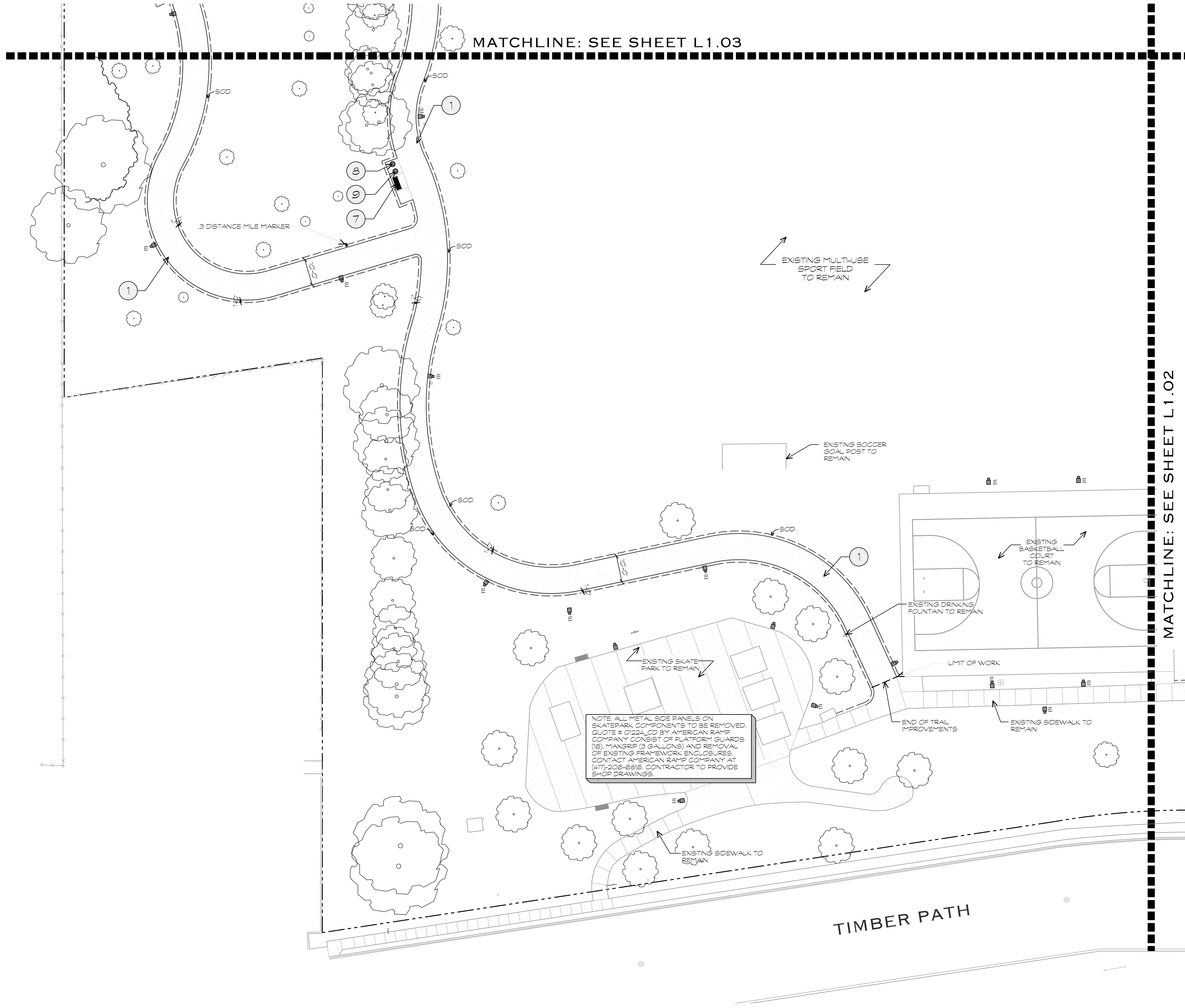
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OSCAR PEREZ PARK
8601 TIMBER PATH
SAN ANTONIO, TEXAS
MATERIALS PLAN

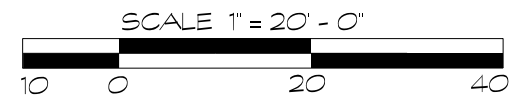


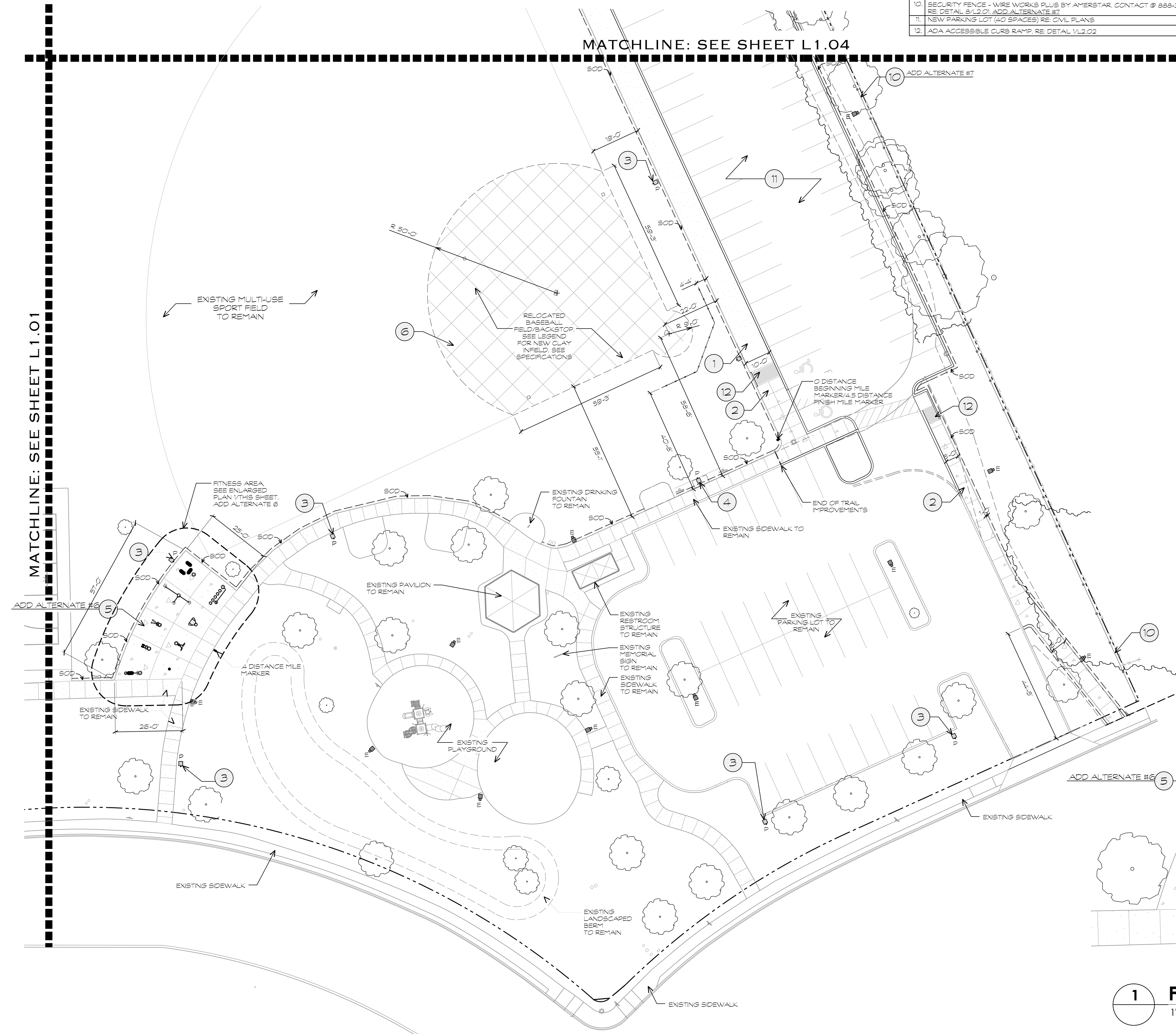
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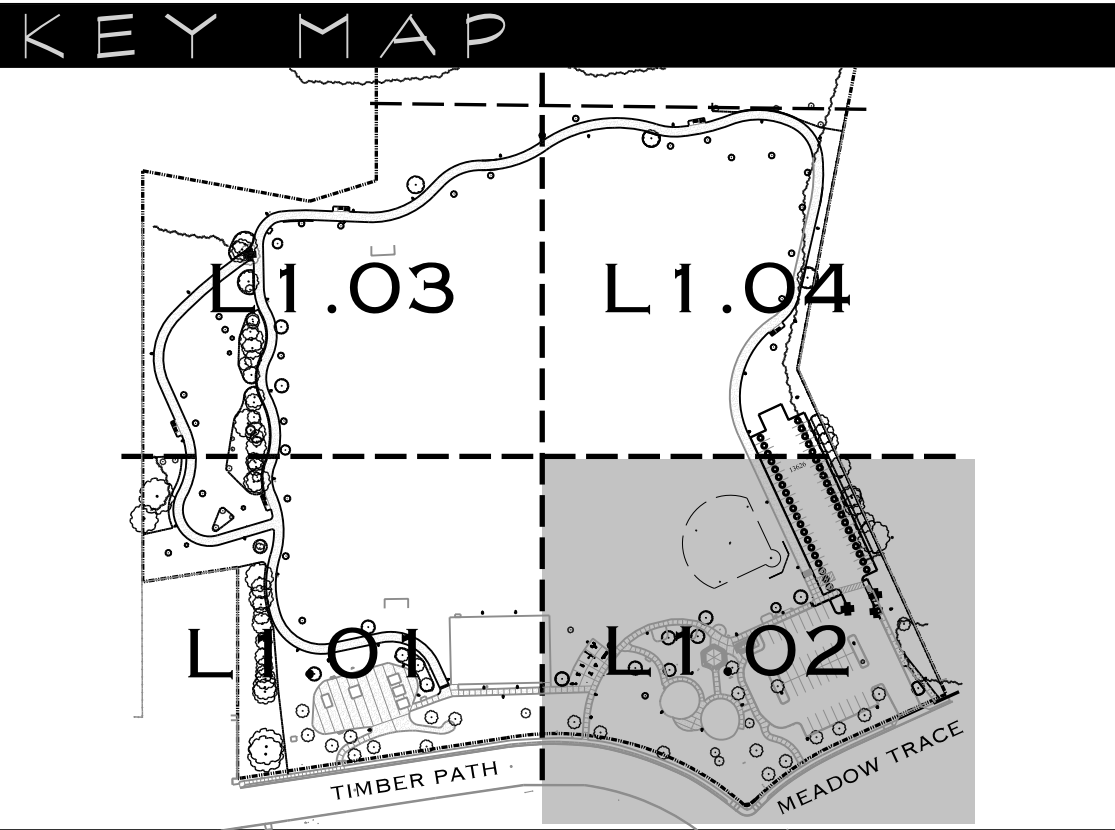
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	PROPOSED LEVEL 1 CONCRETE TRAIL, 10' WIDE
	EXISTING CONCRETE SIDEWALK TO REMAIN
	PROPOSED ASPHALT TRAIL
	PROPOSED LIGHT FIXTURE-SEE ELECTRICAL PLANS
	EXISTING LIGHT FIXTURE TO REMAIN-SEE ELECTRICAL PLANS
	EXISTING TREE LINE
	EXISTING TREE
	INFIELD SPORTS MIX-60-70% SAND, 15-20% SILT, 15-20% CLAY, 1/2" MAXIMUM PARTICLE SIZE, BRICK RED COLOR
	18' WIDE BERMUDA SOD STRIP ADJACENT TO ALL NEW CONSTRUCTION. CONTRACTOR RESPONSIBLE FOR ENSURING TURF GRASS IS ESTABLISHED.

MATERIALS LEGEND	
1.	ASPHALT TRAIL, 10' WIDE, RE: DETAIL 1/L2.01
2.	CONCRETE SIDEWALK, RE: DETAIL 3/L2.01
3.	PROPOSED LIGHT FIXTURE, RE: MEP PLANS
4.	RELOCATED EXISTING LIGHT FIXTURE, RE: MEP PLANS
5.	CONCRETE PAD, RE: DETAIL 2/L2.01, ADD ALTERNATE #
6.	RELOCATED BASEBALL FIELD/BACKSTOP, SEE LEGEND FOR SPECIFICATIONS
7.	6' BENCH, 92 SERIES BY DUMOR SITE FURNISHINGS, 92 SERIES WITH 5-2 SURFACE PLATE, COLOR TO BE BLUE, SET ON CONCRETE PAD AND MOUNT AS PER MANUFACTURER'S INSTRUCTIONS. CONTACT PAUL E. ALLAN COMPANY @ 1-888-577-4887 RE: 2/L2.02
8.	TRASH RECEPTACLE TO BE FABRICATED AND PAINTED BLACK, RE: 6/L2.01
9.	RECYCLE RECEPTACLE TO BE FABRICATED AND PAINTED BLUE, RE: 6/L2.01
10.	SECURITY FENCE - WIRE WORKS PLUS BY AMERSTAR, CONTACT @ 888-333-3422, RE: DETAIL 8/L2.01, ADD ALTERNATE #7
11.	NEW PARKING LOT (40 SPACES) RE: CIVIL PLANS
12.	ADA ACCESSIBLE CURB RAMP, RE: DETAIL 1/L2.02





MATERIALS LEGEND	
1	ASPHALT TRAIL, 10' WIDE, RE: DETAIL 1/L2.01
2	CONCRETE SIDEWALK, RE: DETAIL 3/L2.01
3	PROPOSED LIGHT FIXTURE, RE: MEP PLANS
4	RELOCATED EXISTING LIGHT FIXTURE, RE: MEP PLANS
5	CONCRETE PAD, RE: DETAIL 2/L2.01 ADD ALTERNATE #6
6	RELOCATED BASEBALL FIELD/BACKSTOP, SEE LEGEND FOR SPECIFICATIONS
7	6' BENCH, #2 SERIES BY DUMOR SITE FURNISHINGS, #2 SERIES WITH 5-2 SURFACE PLATE, COLOR TO BE BLUE, SET ON CONCRETE PAD AND MOUNT AS PER MANUFACTURER'S INSTRUCTIONS, CONTACT PAUL E. ALLAN COMPANY @ 1-888-577-4887, RE: 2/L2.02
8	TRASH RECEPTACLE TO BE FABRICATED AND PAINTED BLACK, RE: 6/L2.01
9	RECYCLE RECEPTACLE TO BE FABRICATED AND PAINTED BLUE, RE: 6/L2.01
10	SECURITY FENCE - WIRE WORKS PLUS BY AMERSTAR, CONTACT @ 888-333-3422, RE: DETAIL 8/L2.01, ADD ALTERNATE #7
11	NEW PARKING LOT (40 SPACES) RE: CIVIL PLANS
12	ADA ACCESSIBLE CURB RAMP, RE: DETAIL 1/L2.02

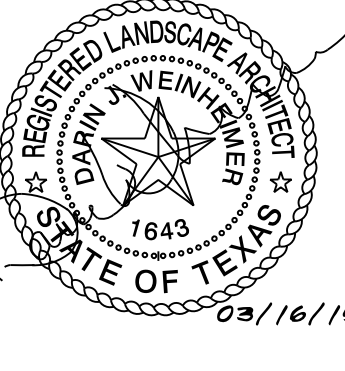


LEGEND	
	PROPOSED LEVEL 1 CONCRETE TRAIL, 10' WIDE
	EXISTING CONCRETE SIDEWALK TO REMAIN
	PROPOSED ASPHALT TRAIL
	PROPOSED LIGHT FIXTURE-SEE ELECTRICAL PLANS
	EXISTING LIGHT FIXTURE TO REMAIN-SEE ELECTRICAL PLANS
	EXISTING TREE LINE
	EXISTING TREE
	INFIELD SPORTS MIX-60-70% SAND, 15-20% SILT, 15-20% CLAY, 1/2" MAXIMUM PARTICLE SIZE, BRICK RED COLOR
	18' WIDE BERMUDA SOD STRIP ADJACENT TO ALL NEW CONSTRUCTION, CONTRACTOR RESPONSIBLE FOR ENSURING TURF GRASS IS ESTABLISHED

HEALTHBEAT BY LANDSCAPE STRUCTURES		
A. WELCOME SIGN STATION #161437B	E. AB/CRUNCH/LEG LIFT STATION #161548	I. PLYOMETRICS STATION #161317B
B. CHEST/BACK PRESS STATION #161302B	F. CARDIO STEPPER STATION #161312B	
C. PULL-UP/DIP STATION #161313B	G. SQUAT PRESS STATION #161310B	
D. BALANCE STEPS STATION #161315B	H. ASSISTED ROW/PUSH UP STATION #161316B	
ALL STATIONS TO BE SURFACE MOUNTED AS PER MANUFACTURER'S INSTRUCTIONS, CONTACT CATHY COMEAUX-WRIGHT @ 800-430-6206 X1316		

1 FITNESS AREA-ADD ALTERNATE #6
1" = 10'-0"

SCALE 1" = 20'-0"
0 20 40



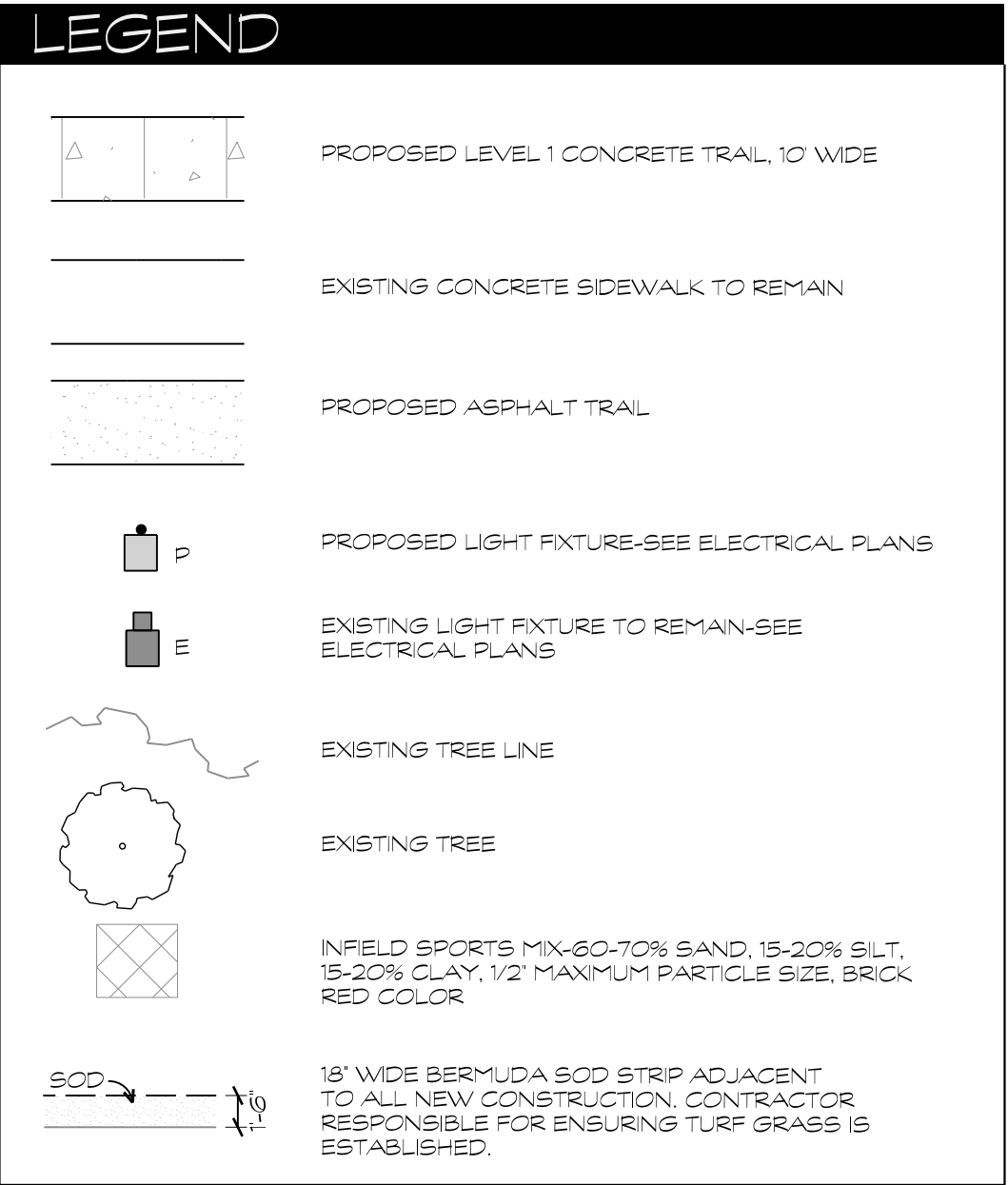
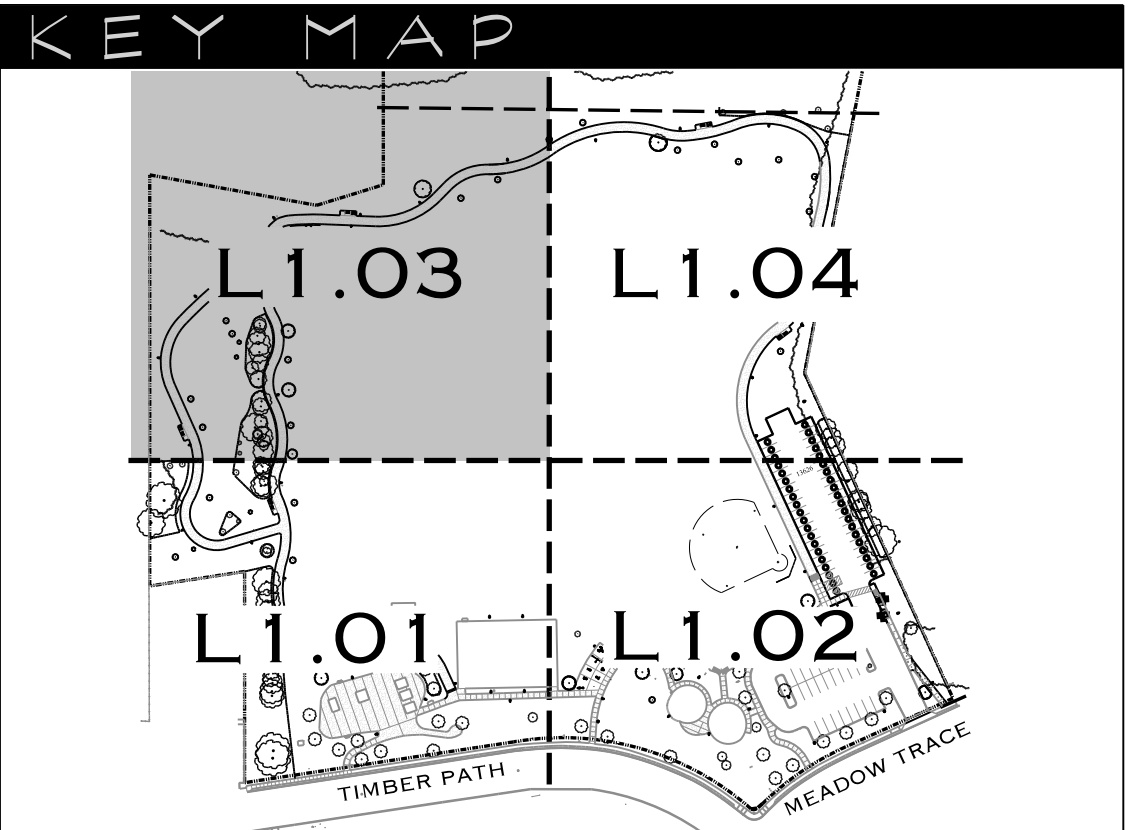
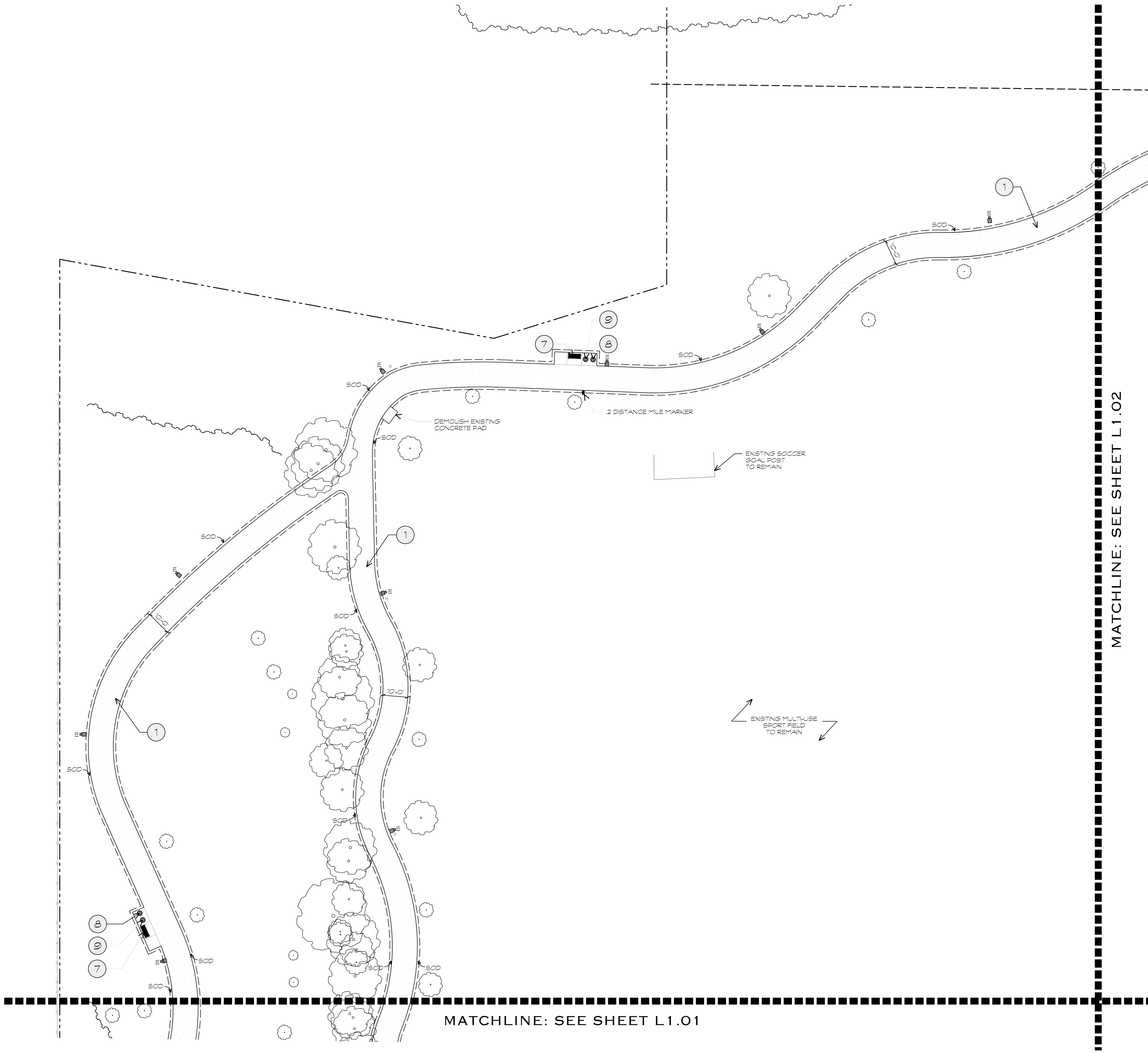
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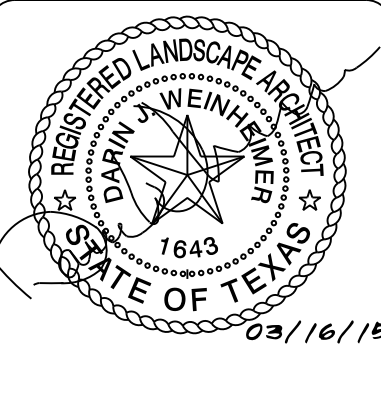
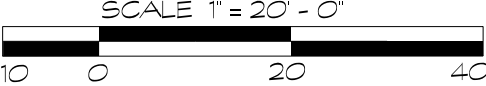
OSCAR PEREZ PARK
8601 TIMBER PATH
SAN ANTONIO, TEXAS
MATERIALS PLAN



Designed By:	Designer Name
Drawn By:	DT
Date:	03/16/2015
Project No.:	CSA-351
Filename:	L-Materials.dgn



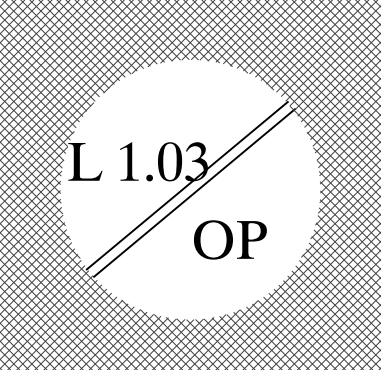
MATERIALS LEGEND	
1.	ASPHALT TRAIL, 10' WIDE, RE: DETAIL 1/L2.01
2.	CONCRETE SIDEWALK, RE: DETAIL 3/L2.01
3.	PROPOSED LIGHT FIXTURE, RE: MEP PLANS
4.	RELOCATED EXISTING LIGHT FIXTURE, RE: MEP PLANS
5.	CONCRETE PAD, RE: DETAIL 2/L2.01 ADD ALTERNATE 6
6.	RELOCATED BASEBALL FIELD/BACKSTOP, SEE LEGEND FOR SPECIFICATIONS
7.	Ø BENCH, 92 SERIES BY DUMOR SITE FURNISHINGS, 92 SERIES WITH 5-2 SURFACE PLATE, COLOR TO BE BLUE, SET ON CONCRETE PAD AND MOUNT AS PER MANUFACTURERS INSTRUCTIONS, CONTACT PAUL E. ALLAN COMPANY @ 1-888-877-4887, RE: 2/L2.02
8.	TRASH RECEPTACLE TO BE FABRICATED AND PAINTED BLACK, RE: 6/L2.01
9.	RECYCLE RECEPTACLE TO BE FABRICATED AND PAINTED BLUE, RE: 6/L2.01
10.	SECURITY FENCE - WIRE WORKS PLUS BY AMERSTAR, CONTACT @ 888-333-3422, RE: DETAIL 6/L2.01 ADD ALTERNATE #7
11.	NEW PARKING LOT (40 SPACES), RE: CIVIL PLANS
12.	ADA ACCESSIBLE CURB RAMP, RE: DETAIL 1/L2.02



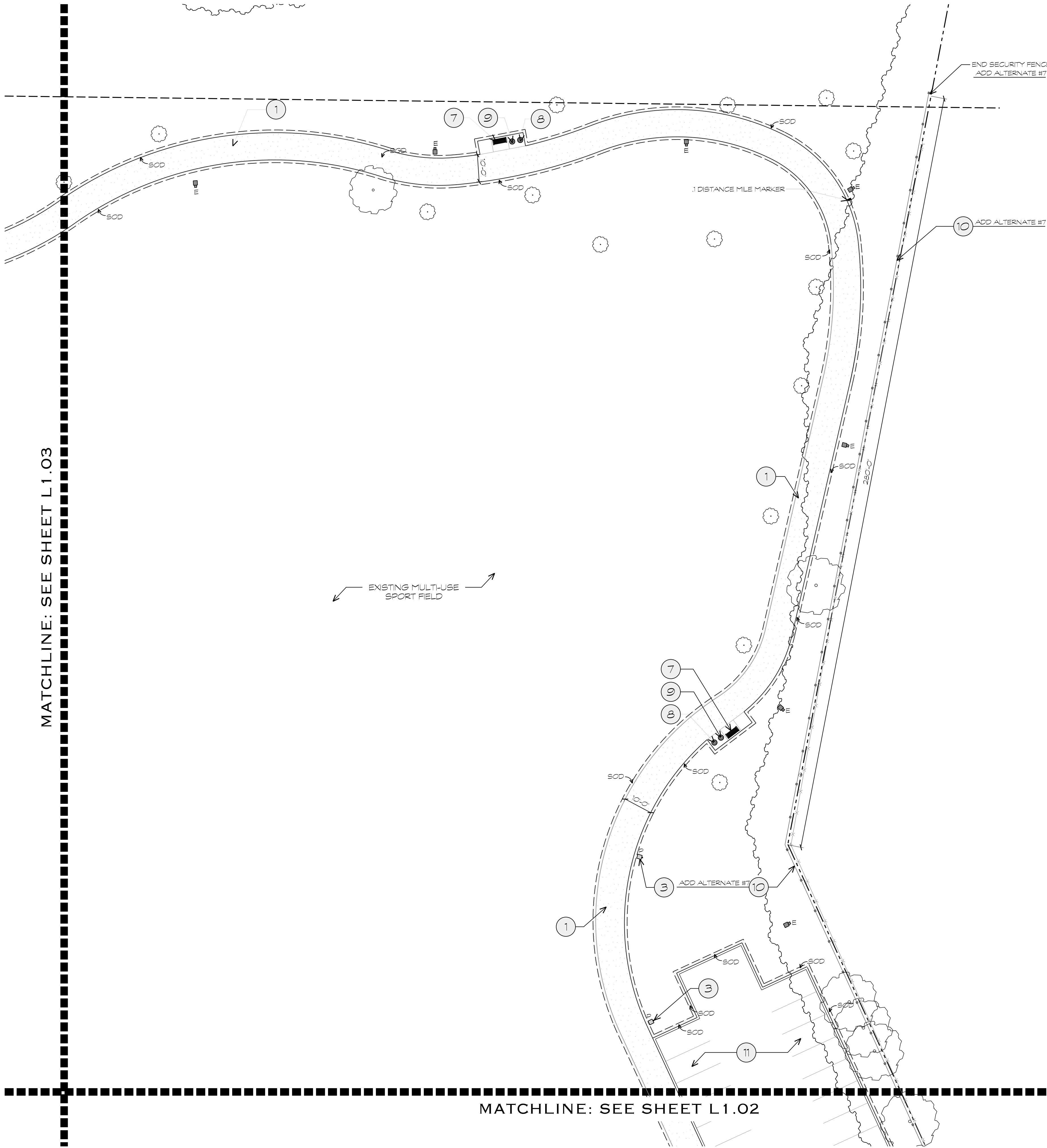
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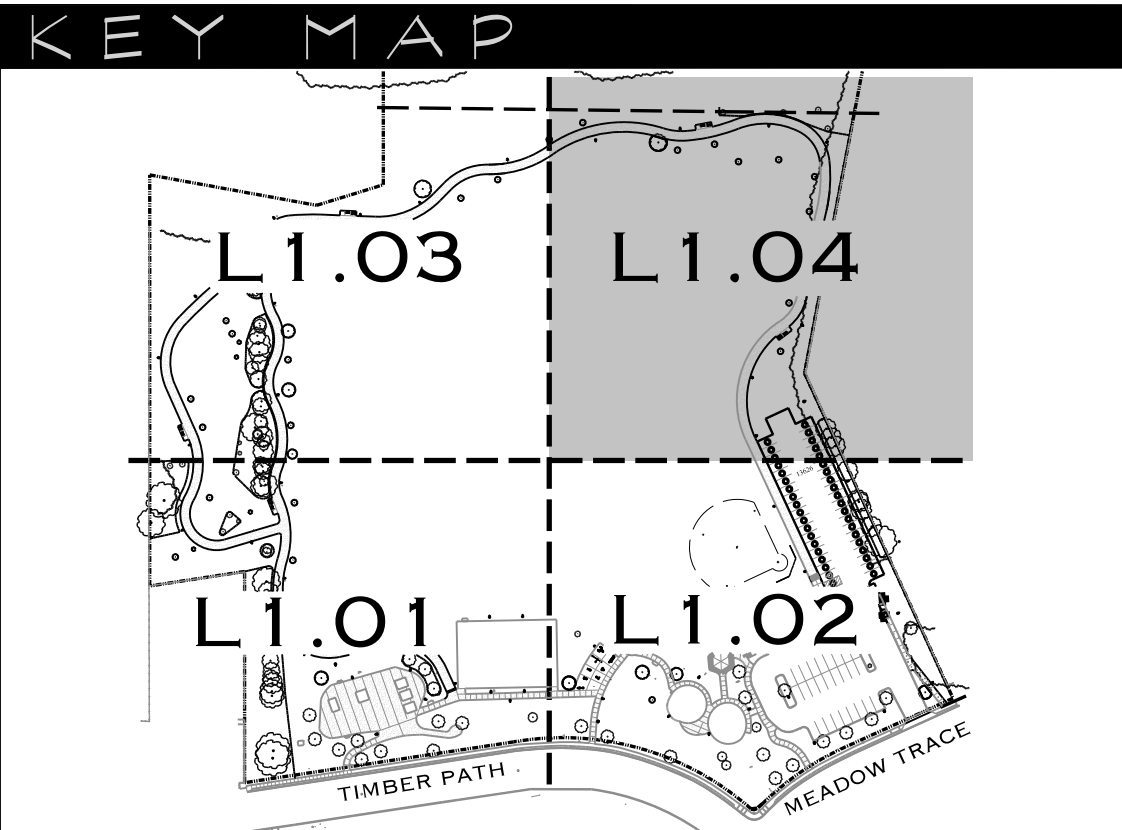
OSCAR PEREZ PARK
8601 TIMBER PATH
SAN ANTONIO, TEXAS
MATERIALS PLAN



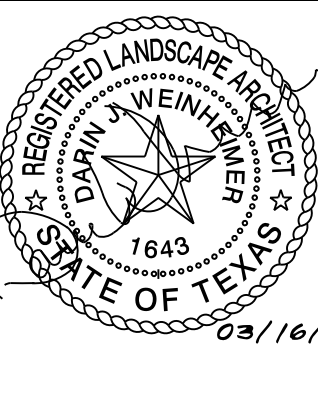
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5.	CONCRETE PAD, RE: DETAIL 2/L2.01 ADD ALTERNATE #6
6.	RELOCATED BASEBALL FIELD/BACKSTOP, SEE LEGEND FOR SPECIFICATIONS
7.	6" BENCH, 92 SERIES BY DUMOR SITE FURNISHINGS, 92 SERIES WITH 8-2 SURFACE PLATE, COLOR TO BE BLUE, SET ON CONCRETE PAD AND MOUNT AS PER MANUFACTURERS INSTRUCTIONS, CONTACT PAUL E. ALLAN COMPANY @ 1-888-877-4887, RE: 2/L2.02
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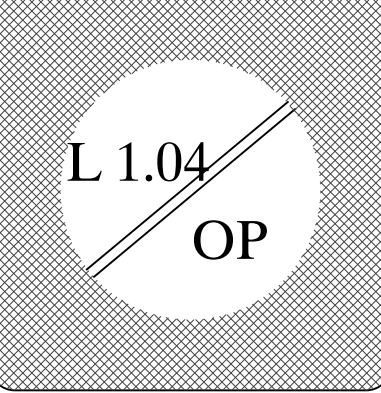
LEGEND	
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	EXISTING CONCRETE SIDEWALK TO REMAIN
	PROPOSED ASPHALT TRAIL
	PROPOSED LIGHT FIXTURE-SEE ELECTRICAL PLANS
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	18' WIDE BERMUDA SOD STRIP ADJACENT TO ALL NEW CONSTRUCTION. CONTRACTOR RESPONSIBLE FOR ENSURING TURF GRASS IS ESTABLISHED.



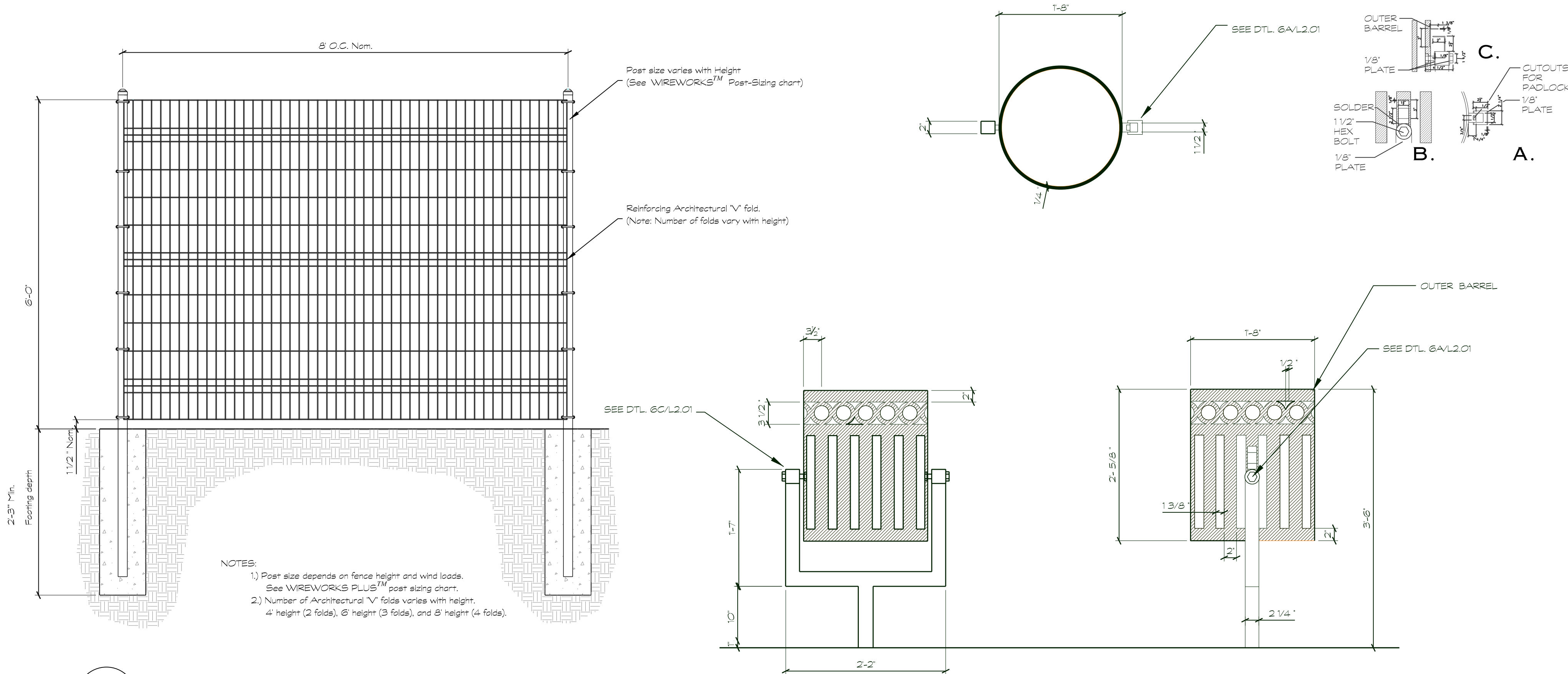
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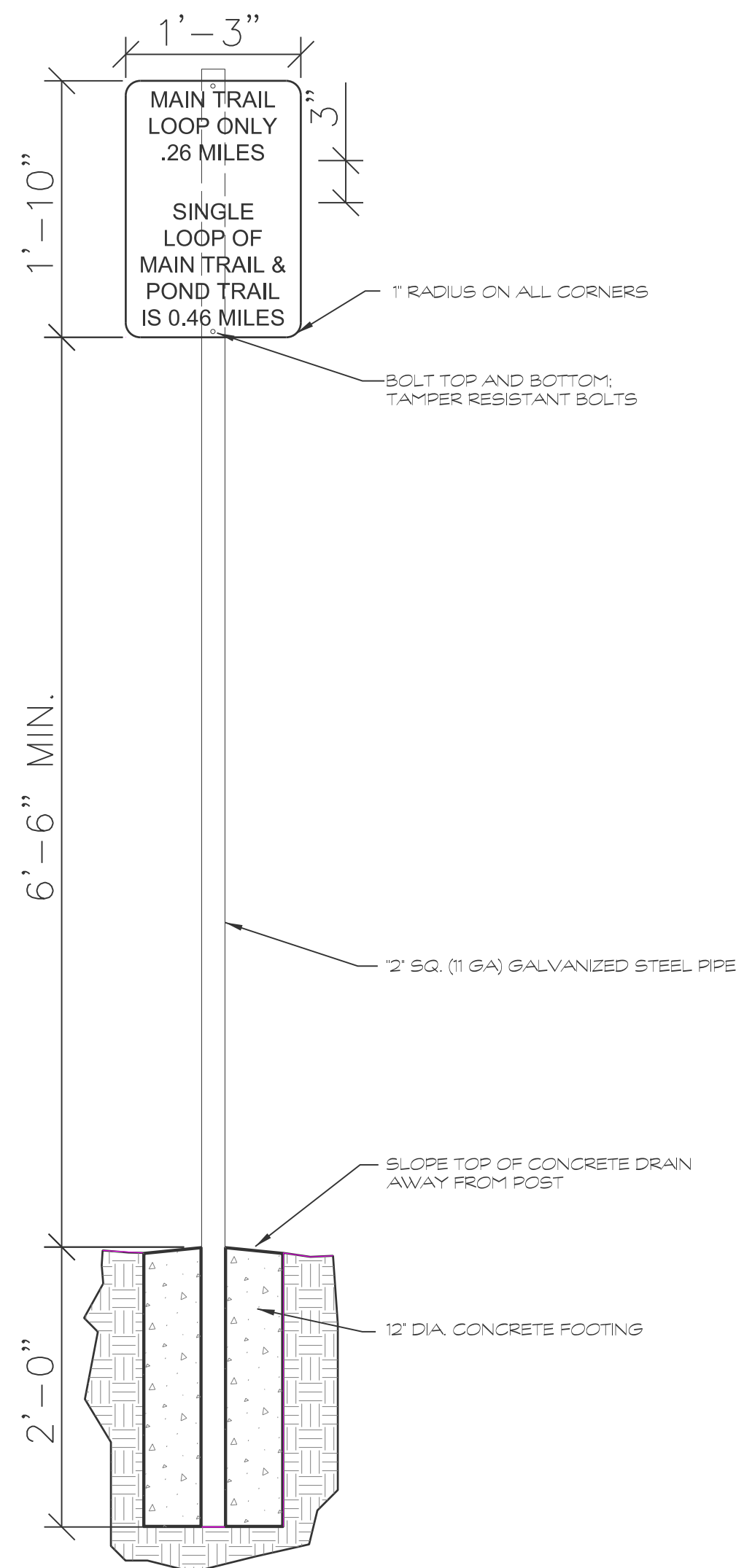
OSCAR PEREZ PARK
8601 TIMBER PATH
SAN ANTONIO, TEXAS
MATERIALS PLAN



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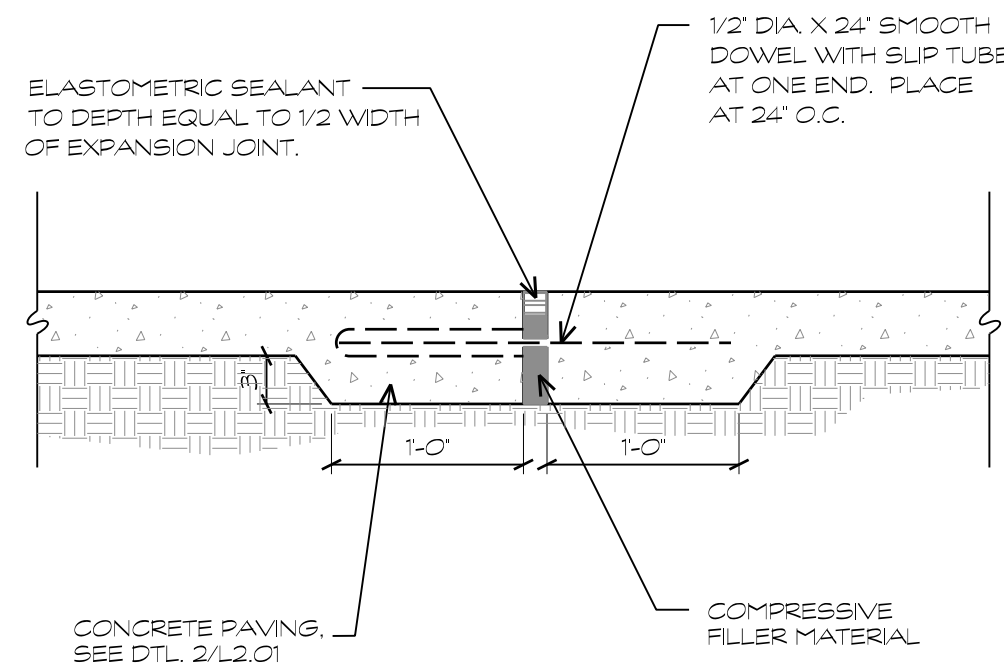


8 AMERISTAR FENCE - WIREWORKS PLUS-ADD ALTERNATE #1
3/4"=1'-0"

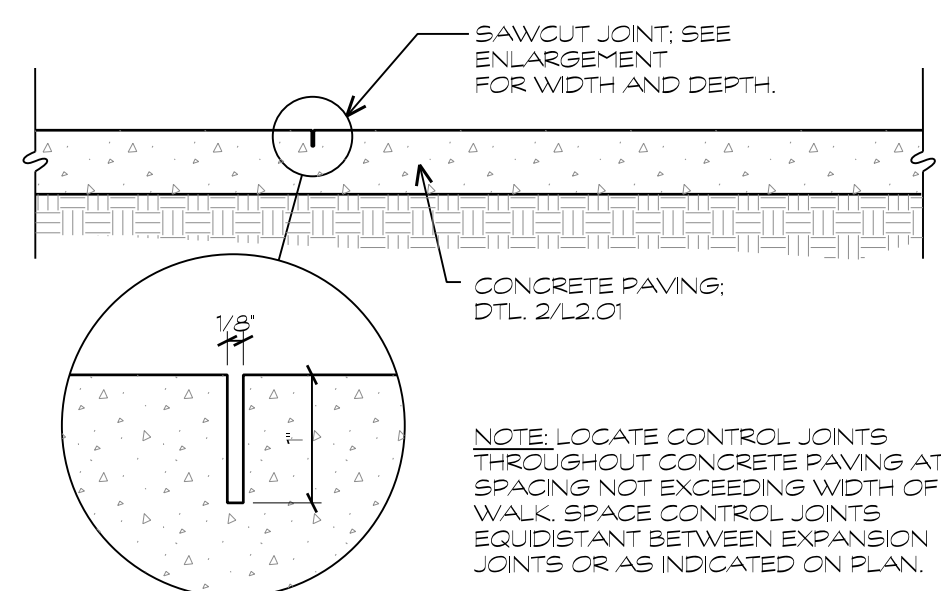


7 TRASH RECEPACLE LOCKS
NOT TO SCALE

6 TRASH/RECYCLE RECEPACLE
1"=1'-0"

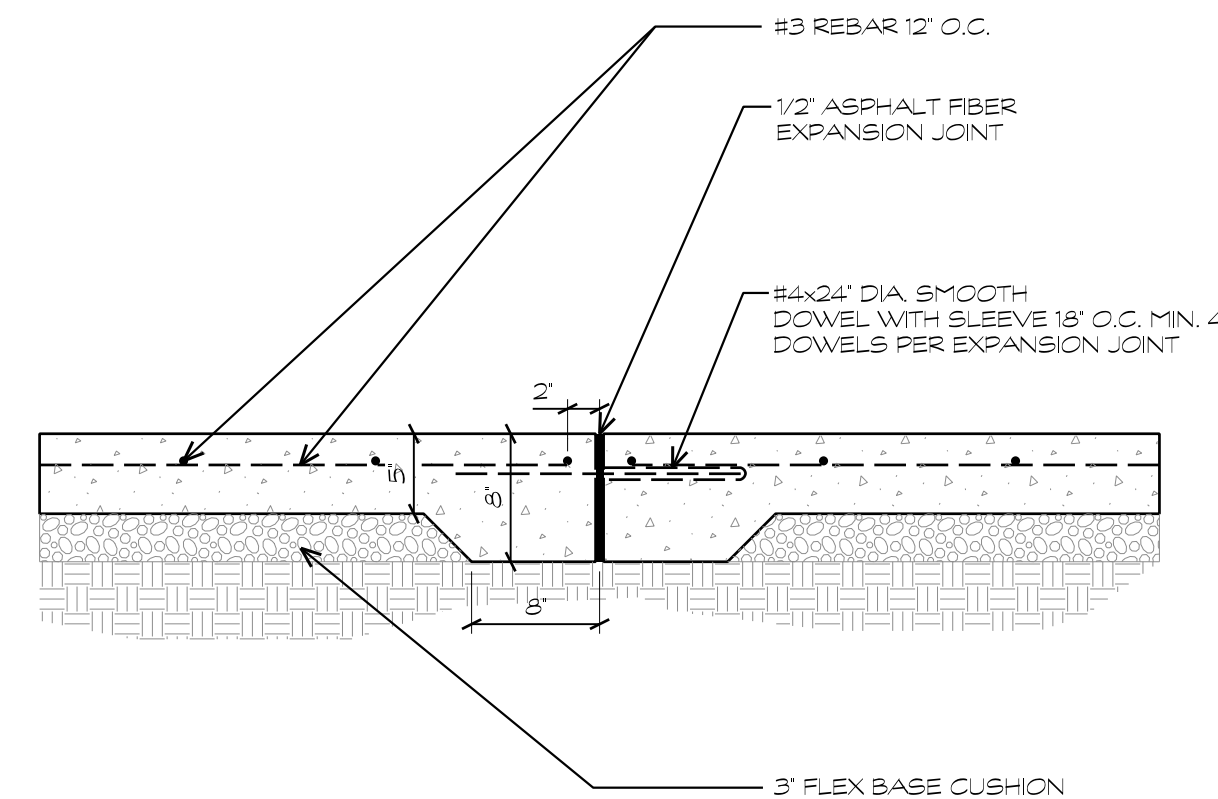


5 TYPICAL CONCRETE EXPANSION JOINT W/ SEALANT
1"=1'-0"

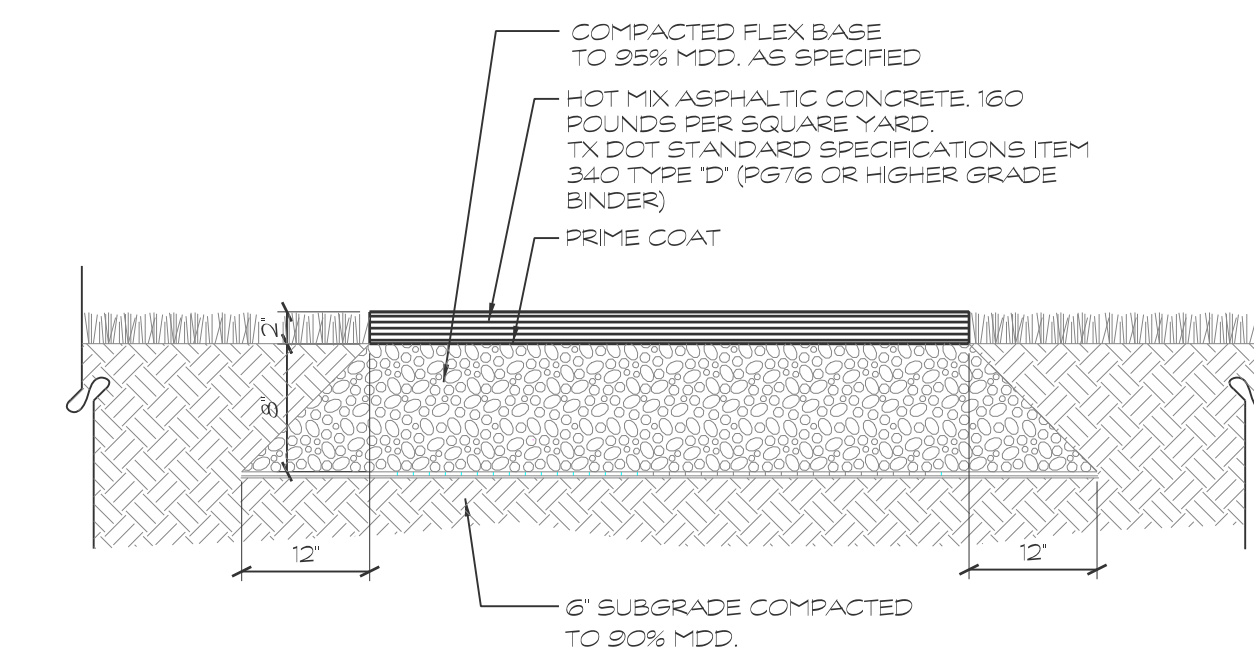


4 TYPICAL CONCRETE CONTROL JOINT
NOT TO SCALE

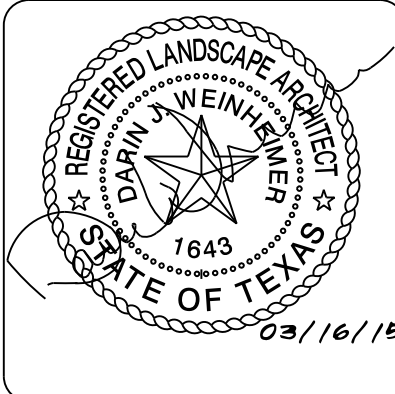
3 NEW SIDEWALK TIED TO EXISTING SIDEWALK
1"=1'-0"



2 TYPICAL CONCRETE PAVING
1"=1'-0"



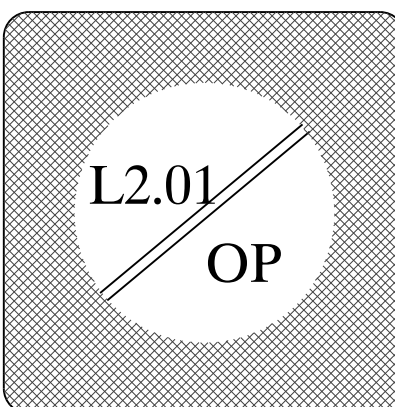
1 TYPICAL ASPHALT PAVING
1"=1'-0"



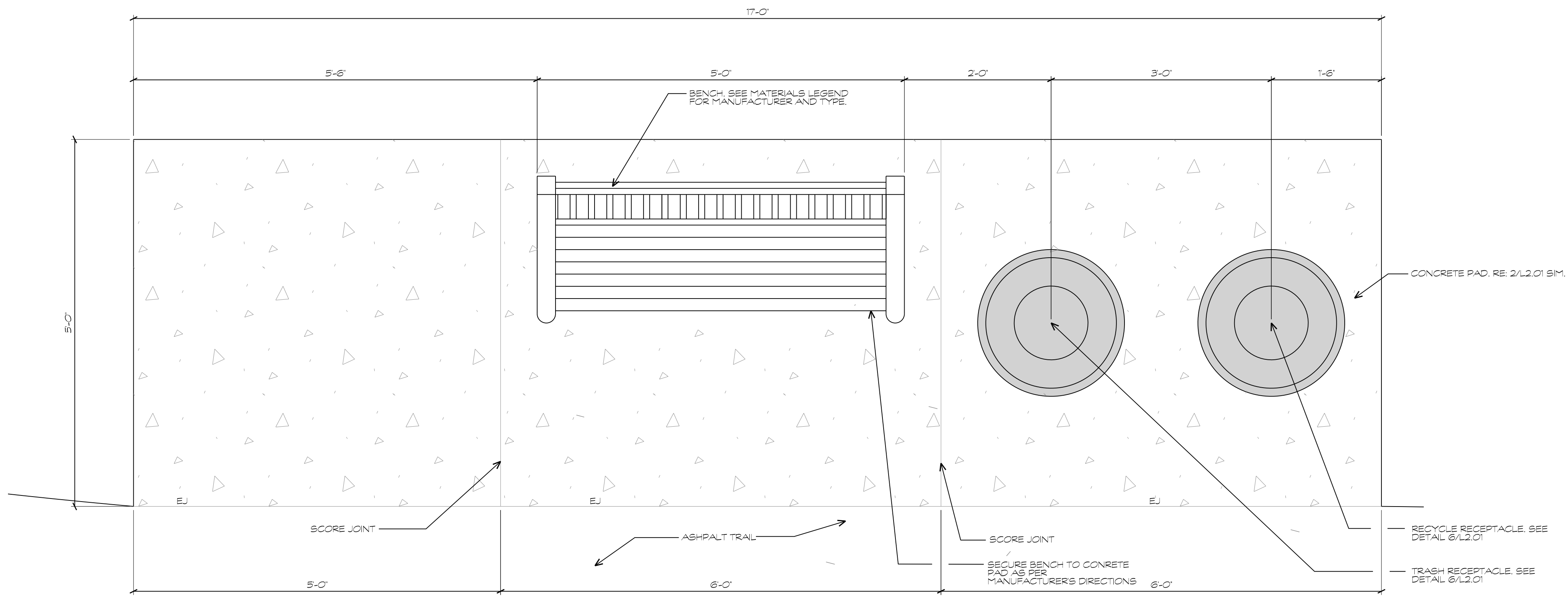
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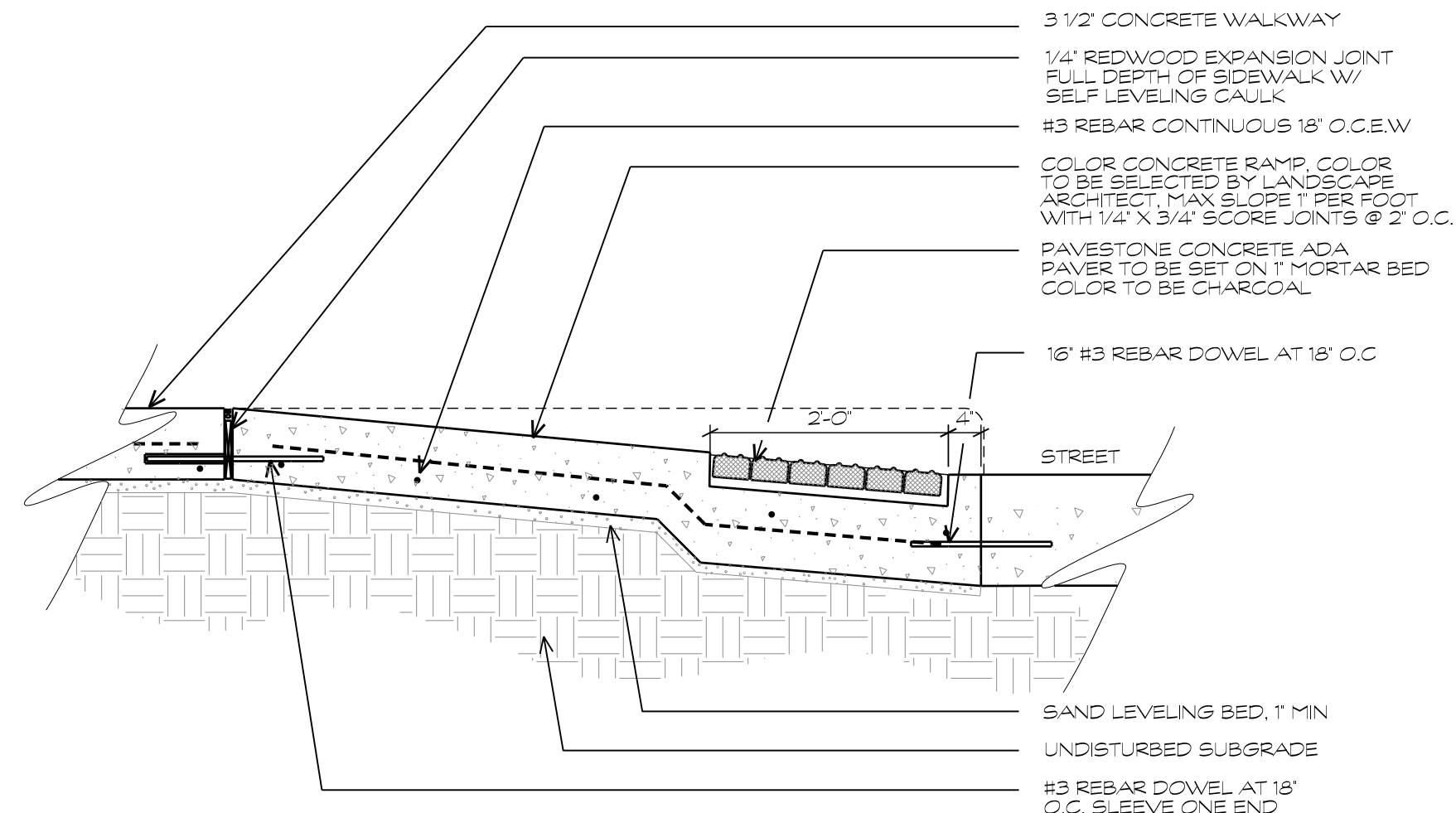
OSCAR PEREZ PARK
8601 TIMBER PATH
SAN ANTONIO, TEXAS
PAVING DETAILS



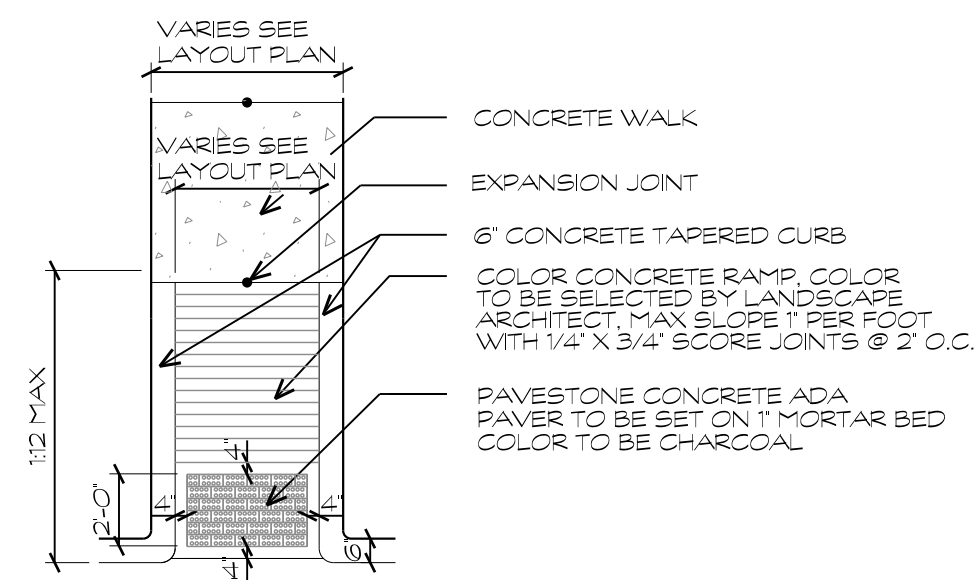
Designed By:	Designer Name
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Date:	03/16/2015
Project No.:	CSA-351
Filename:	L-Details.dgn



2 BENCH AND RECEPTACLES
SCALE: 1/4" = 1' - 0"
PLAN

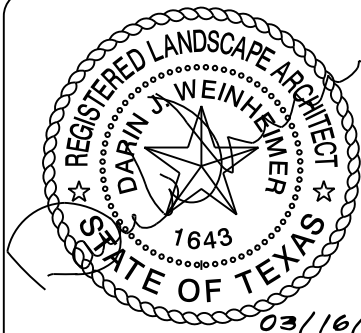
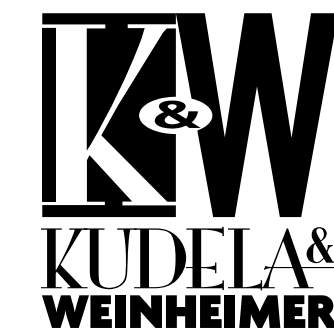


B ACCESSIBLE RAMP DETAIL
SCALE: 1/2" = 1' - 0"
SECTION



A ACCESSIBLE RAMP - SINGAL DIRECTION
SCALE: 1/4" = 1' - 0"
PLAN

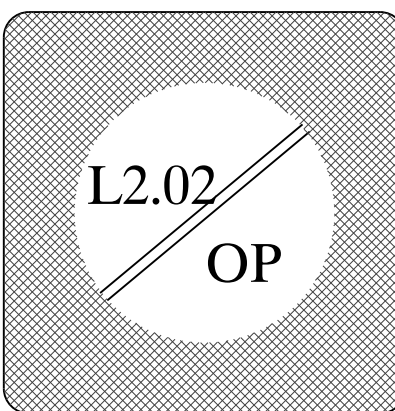
1 ACCESSIBLE RAMP DETAILS
SEE ABOVE



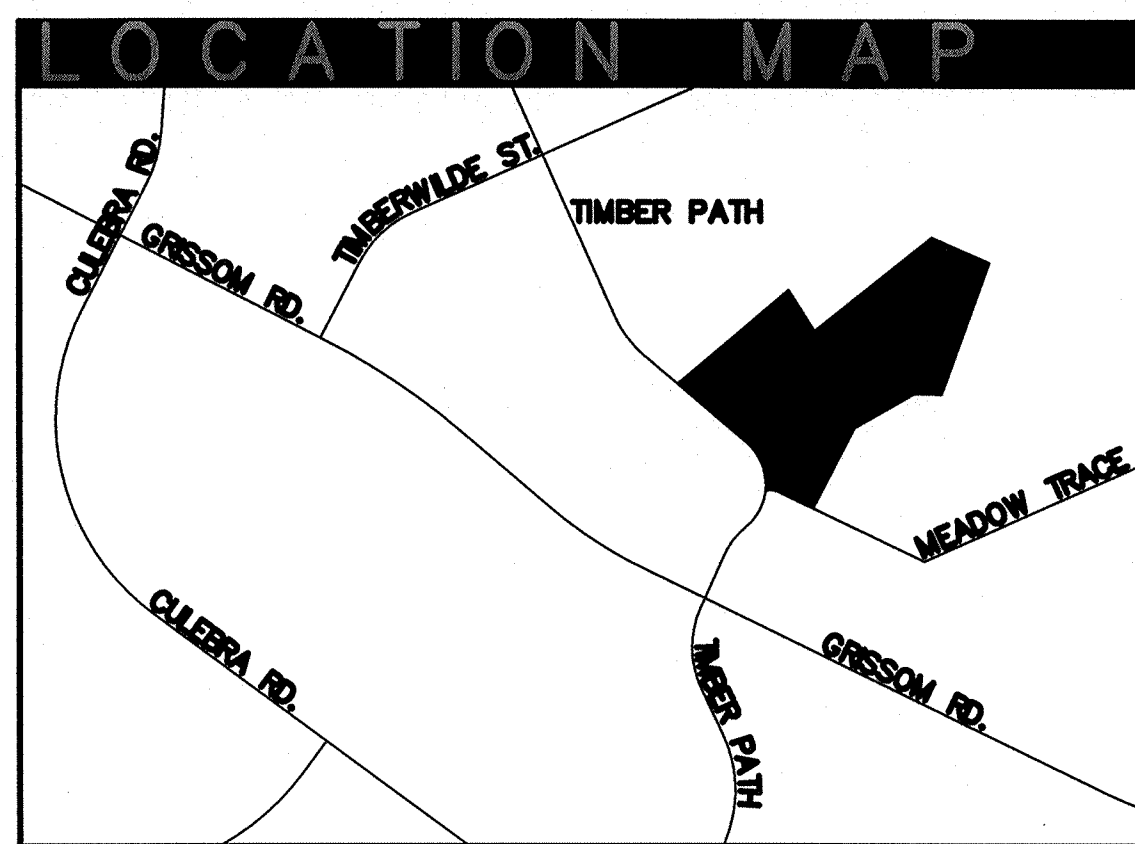
Date:	Revisions/Submissions
06/11/14	30% Construction Documents
10/17/14	50% Construction Documents
01/15/15	100% Construction Documents
03/16/15	100% Construction Documents/Revisions

CITY OF SAN ANTONIO
TRANSPORTATION AND CAPITAL IMPROVEMENTS
VERTICAL PROJECT MANAGEMENT DIVISION
MUNICIPAL PLAZA BUILDING 114 W. COMMERCE
SAN ANTONIO, TX 78283-3966
P.O. BOX 839966
TEL. (210) 207-2879
FAX (210) 207-2197

OSCAR PEREZ PARK
8601 TIMBER PATH
SAN ANTONIO, TEXAS
TRAIL DETAILS



Designed By:
Designer Name
Drawn By:
DT
Date:
03/16/2015
Project No.:
CSA-351
Filename:
L-Details.dgn



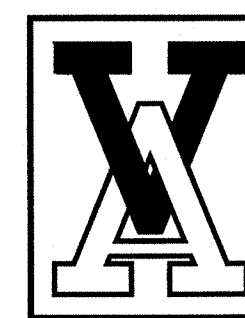
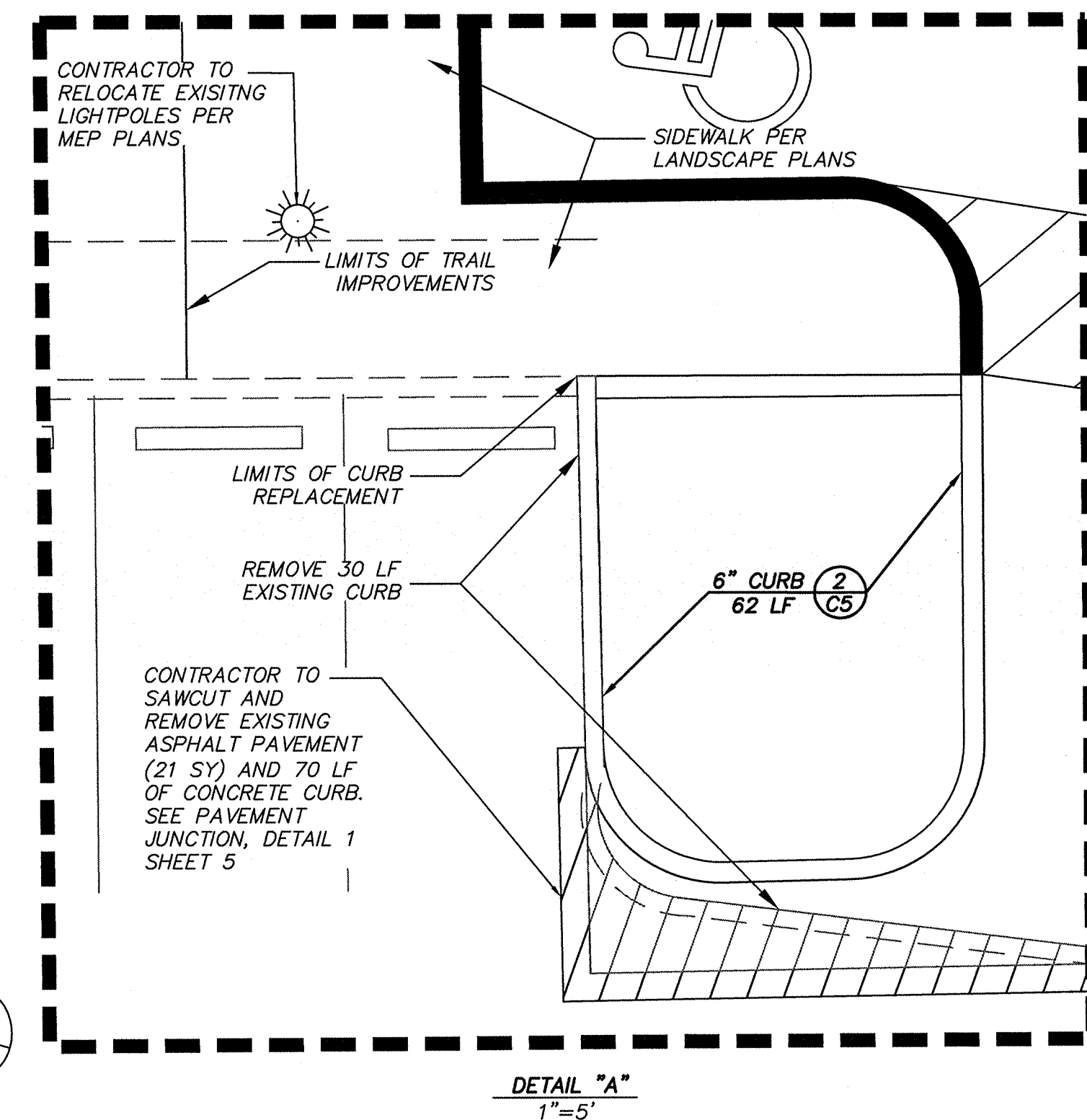
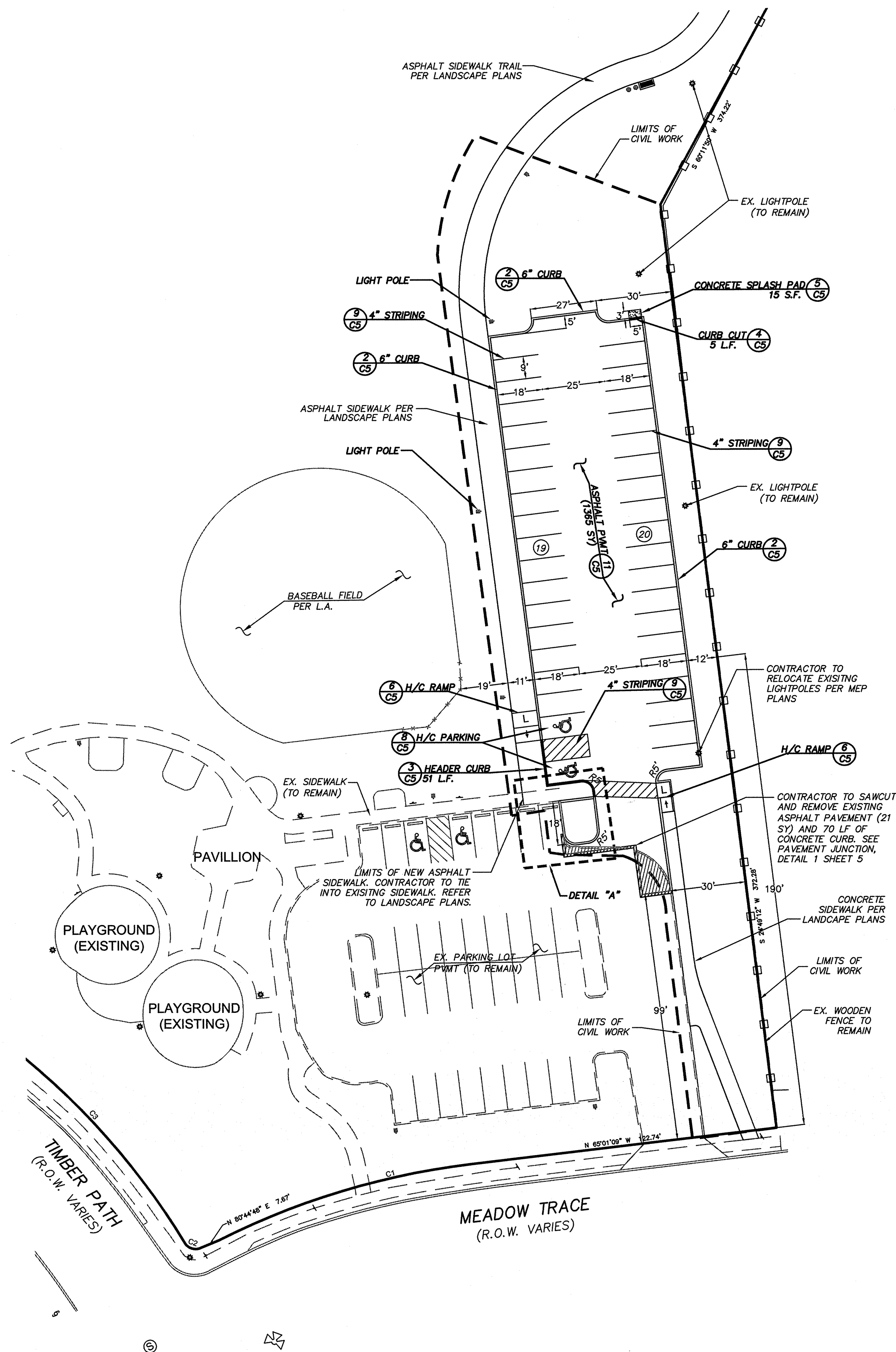
REGULAR	
MINIMUM REQUIRED PARKING	N/A
MAXIMUM REQUIRED PARKING	N/A
EXISTING PARKING SPACES	35
PROPOSED PARKING SPACES	39
TOTAL PARKING SPACES	<u>74</u>
HANDICAPPED (ADA)	
REQUIRED REGULAR H.C. PARKING	3 TOTAL
REQUIRED V.A. PARKING	1 (INCLUDED IN TOTAL)
EXISTING H.C. PARKING	2 (1 V.A. INCLUDED)
PROPOSED H.C. PARKING	2
TOTAL H.C. PARKING	4 (1 V.A. INCLUDED)

OVERALL IMPERVIOUS COVER
ADDED TO SITE = 13,043 SF

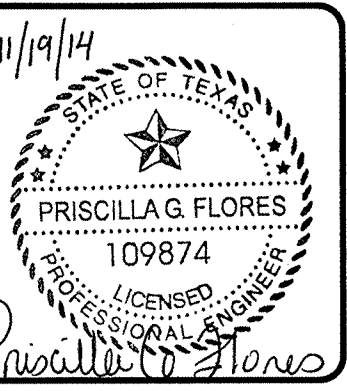
ALL UTILITY LOCATION INFORMATION
BASED ON THE TOPOGRAPHIC DATA
PROVIDED BY CLIENT. CONTRACTOR
SHALL FIELD VERIFY ALL EXISTING
UTILITIES PRIOR TO BEGINNING
CONSTRUCTION AND IMMEDIATELY
NOTIFY THE CLIENT AND ENGINEER OF
ANY DISCREPANCIES.

CONTRACTOR SHALL BE RESPONSIBLE
FOR DAMAGE TO EXISTING
INFRASTRUCTURE

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD
C1	105.37'	300.02'	20°07'24"	53.24'	N74°56'55"W	104.83'
C2	6.66'	5.00'	76°20'03"	3.93'	S45°45'18"E	6.18'
C3	256.61'	296.56'	51°18'58"	142.46'	N24°52'21"W	256.82'



VICKREY & ASSOCIATES, INC.
CONSULTING ENGINEERS
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12940 Country Parkway San Antonio, TX 78216
Telephone: (210) 349-3271
Firm Registration No: F-159

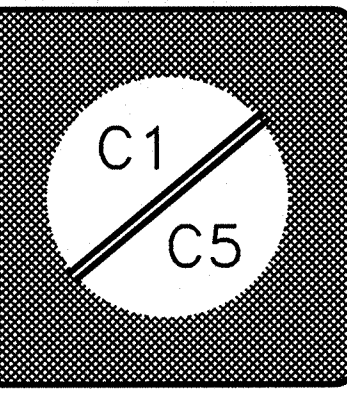


Date:	Revisions/Submissions
17/14	50% Construction Documents
19/14	100% Construction Documents
13/15	Permit Comments

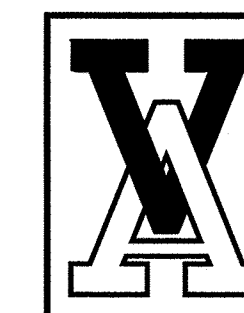
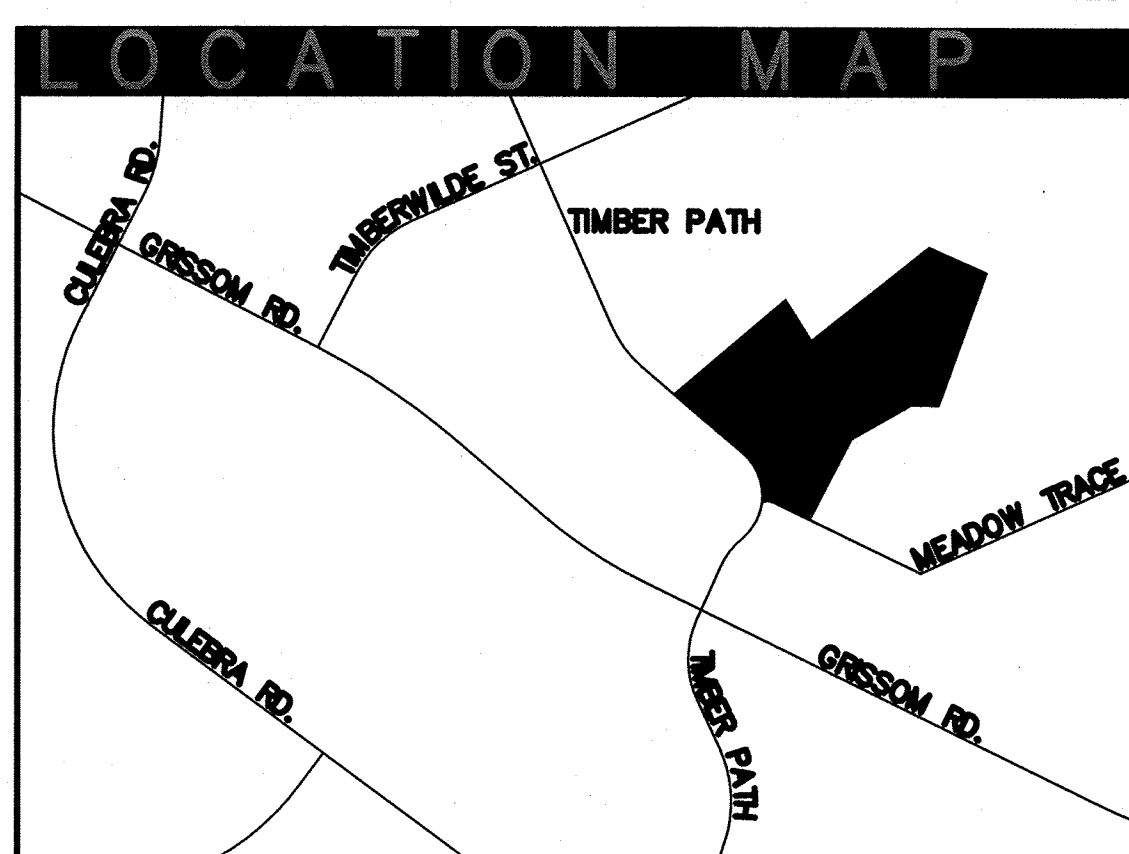
CITY OF SAN ANTONIO
TRANSPORTATION AND CAPITAL
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P.O. BOX 639966
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OSCAR PEREZ PARK
8601 TIMBER PATH
SAN ANTONIO, TEXAS

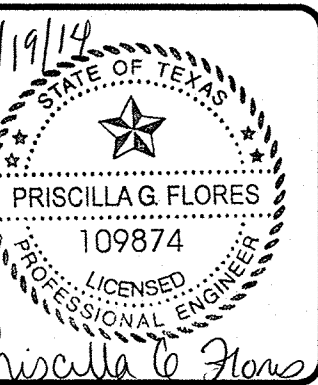
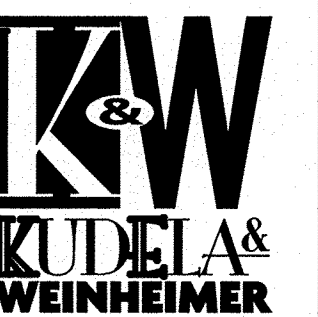
SITE DIMENSION



Designed By:
PF
Drawn By:
AR
Date:
11/19/2014
Project No. :
40-00382
Filename:
sh_site dimension.dwg



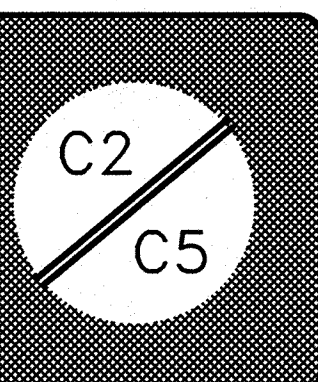
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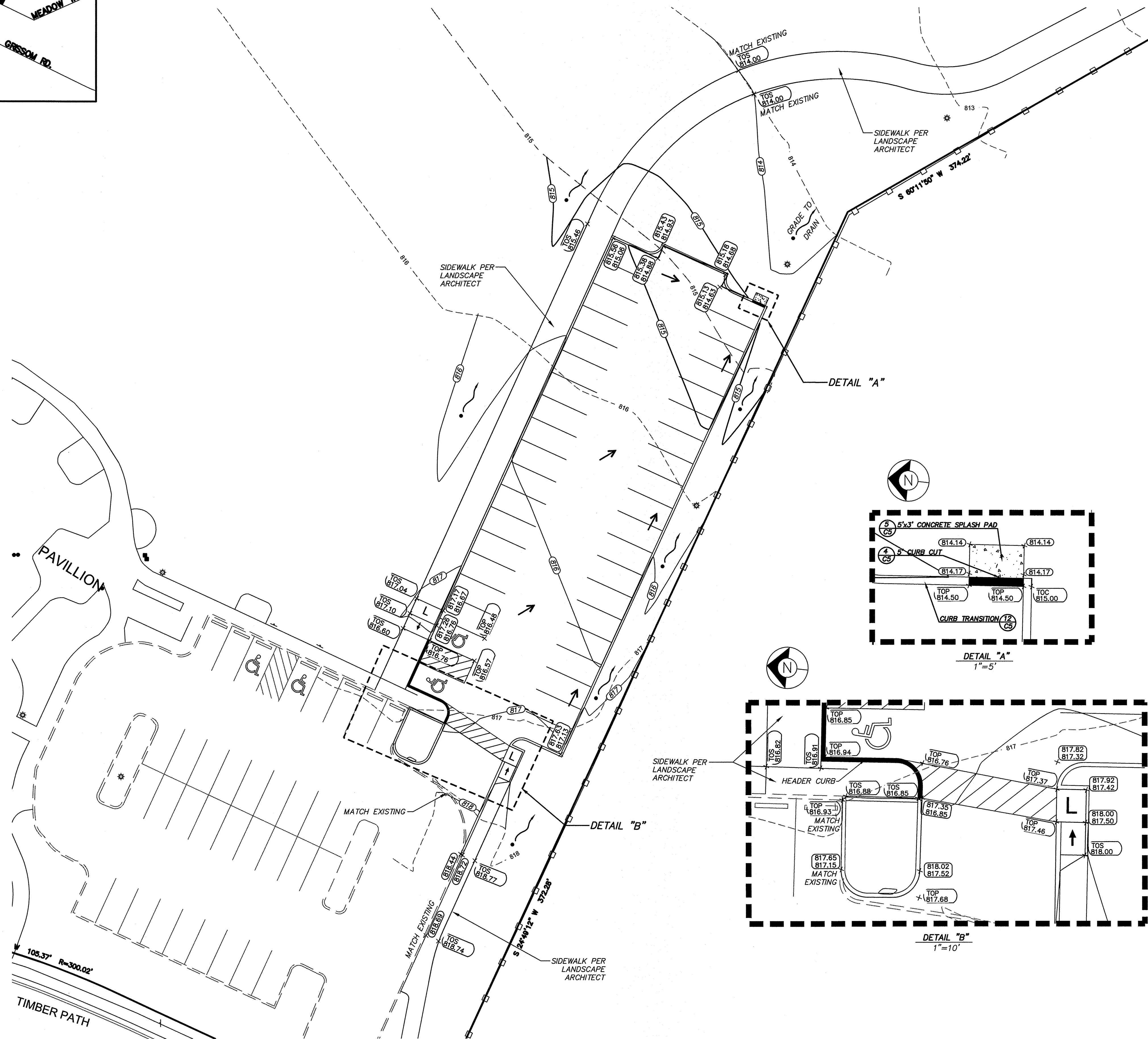
Revisions/Submissions	
50% Construction Documents	
100% Construction Documents	

**TRANSPORTATION AND CAPITAL
IMPROVEMENTS**
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SAN ANTONIO, TX 78283-3966
TEL (210) 207-2879 FAX (210) 207-2197

GRADING PLAN
8601 TIMBER PATH
SAN ANTONIO, TEXAS



Designed By:
7
Drawn By:
R
Date:
/19/2014
Project No. :
-00382
Filename:
grading.dwg



●	SET 1/2 INCH IRON ROD W/ V/A PROPER CORNER CAP.	— 675 —	EXISTING CONTOURS
○	FOUND 1/2 INCH IRON ROD (UNLESS OTHERWISE NOTED)	— 672 —	PROPOSED CONTOURS
R.O.W.	RIGHT OF WAY		HANDICAP PARKING
B.S.L.	BUILDING SETBACK LINE		CONCRETE
RET	REINFORCED CONCRETE PIPE		JUNCTION BOX
GCPA	GAS, ELECTRIC, TELEPHONE, CABLE	— SS —	EX. SAN. SEWER LINE
VOL.	VOLUME		SEWER MANHOLE
PS	PAGE		EX. SAN. SEWER MANHOLE
EX.	EXISTING		CLEAN OUT
ESMT	EASEMENT		CURB INLET
SD	STORM DRAIN		SANITARY SEWER LATERAL
— FIRE LANE —	FIRE LANE STRIPING	— G —	GAS LINE
	EXISTING FIRE HYDRANT		GAS VALVE
	FIRE HYDRANT		GAS METER
WTR	WATER		GAS MANHOLE
	EX. LIGHT POLE	— T —	TELEPHONE LINE
	HANDICAP RAMP		POWER POLE
	ELECTRIC BOX		GUY WIRE
	GROUND LIGHT		WATER LINE
	GRASSSED DRAINAGE FLOW		ELECTRIC JUNCTION BOX
	PAVEMENT DRAINAGE FLOW		TELEPHONE MANHOLE
HFC	HIGH POINT		SIGN
CP	COMPACT SPACE		WATER VALVE
FD	FIRE DEPARTMENT CONNECTION	RET. WALL	RETAINING WALL
	EX. WOODEN FENCE		SIDEWALK DRAIN
	JUNCTION BOX		STORM DRAIN INLET
			NEW LIGHT POLE

NOTES:

ALL SIDEWALKS ARE TO BE ADA ACCESSIBLE. A MINIMUM UNOBSTRUCTED CLEARANCE OF 4' IS TO BE MAINTAINED AROUND POWER POLE ENCROACHMENTS. ALL SIDEWALKS TO HAVE A MAXIMUM 5% SLOPE AND A MAXIMUM 2% CROSS-SLOPE.

PARKING SPACE COUNT IS DESIGNATED BY CIRCLE WITH NUMBER INSIDE.

CONTRACTOR TO SECURE ANY POWER POLES IF WITHIN 5' RADIUS DURING CONSTRUCTION.

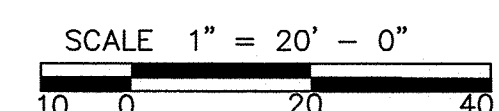
ALL SPOILS AND DEBRIS SHALL BE REMOVED FROM SITE AND DISPOSED OF PROPERLY.

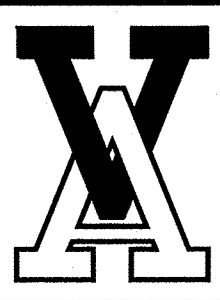
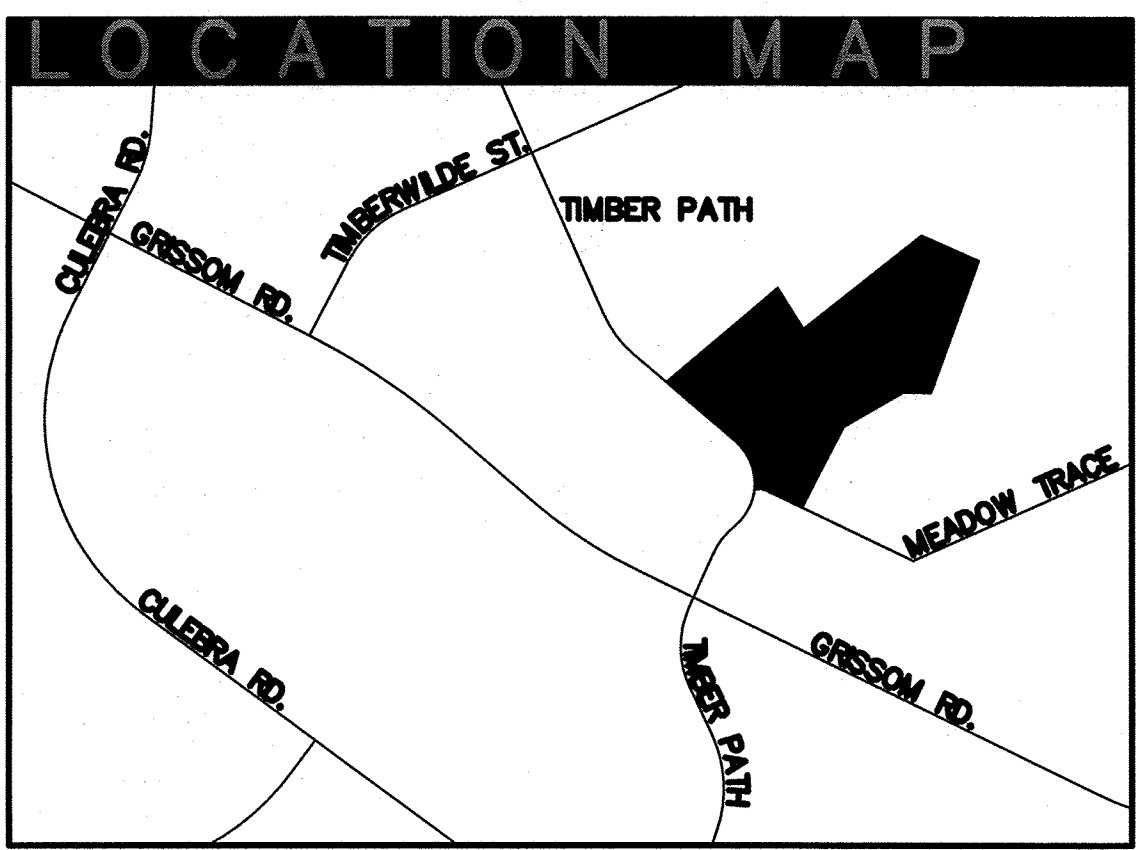
CONTRACTOR SHALL INCORPORATE CURB WEEPHOLES WHERE NEEDED.

ALL DIMENSIONS ARE REFERENCED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

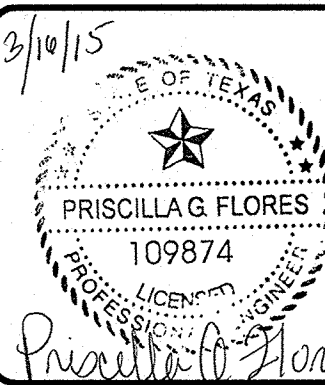
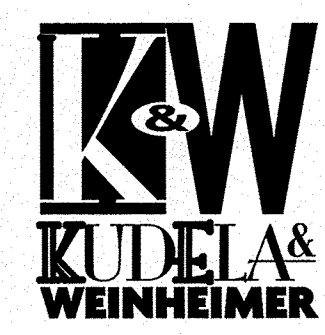
ALL HANDICAPPED PARKING SPACES AND SIDEWALK LANDINGS TO HAVE A MAXIMUM SLOPE OF 2% IN ALL DIRECTIONS.

ALL TOPOGRAPHIC INFORMATION USED TO PREPARE THE PLANS WERE BASED ON DIGITAL SURVEY PROVIDED BY THE CLIENT. CONTRACTOR TO FIELD VERIFY ALL "MATCH EXISTING" ELEVATIONS AND NOTIFY THE ENGINEER IN WRITING PRIOR TO CONSTRUCTION OF ANY DISCREPANCIES.
ALL UTILITY LOCATION INFORMATION BASED ON THE TOPOGRAPHIC DATA PROVIDED BY CLIENT. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION AND IMMEDIATELY NOTIFY THE CLIENT AND ENGINEER OF ANY DISCREPANCIES.
BENCHMARK INFORMATION WAS NOT PROVIDED TO ENGINEER, CONTRACTOR SHALL COORDINATE BENCHMARK INFORMATION WITH CLIENT.
CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING INFRASTRUCTURE





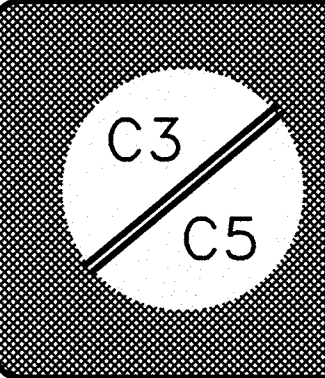
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Date	Revisions/Submissions
10/17/14	50% Construction Documents
11/19/14	100% Construction Documents
03/16/15	Revised per Client

CITY OF SAN ANTONIO
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TEL. (210) 207-2879 FAX (210) 207-2197

OSCAR PEREZ PARK
8601 TIMBER PATH
SAN ANTONIO, TEXAS
SWPPP PLAN



Designed By:
PF
Drawn By:
AR
Date:
11/19/2014
Project No.:
40-00382
Filename:
sh_SWPPP.dwg

sh_SWPPP.dwg
11/19/2014 2:44pm
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- LEGEND
- EL — EL — EROSION LOGS
 - 820 — EXISTING CONTOURS
 - 820 — PROPOSED CONTOURS
 - FLOW ARROW
 - ROCK FILTER DAM
 - INLET PROTECTION
 - CONSTRUCTION EXIT

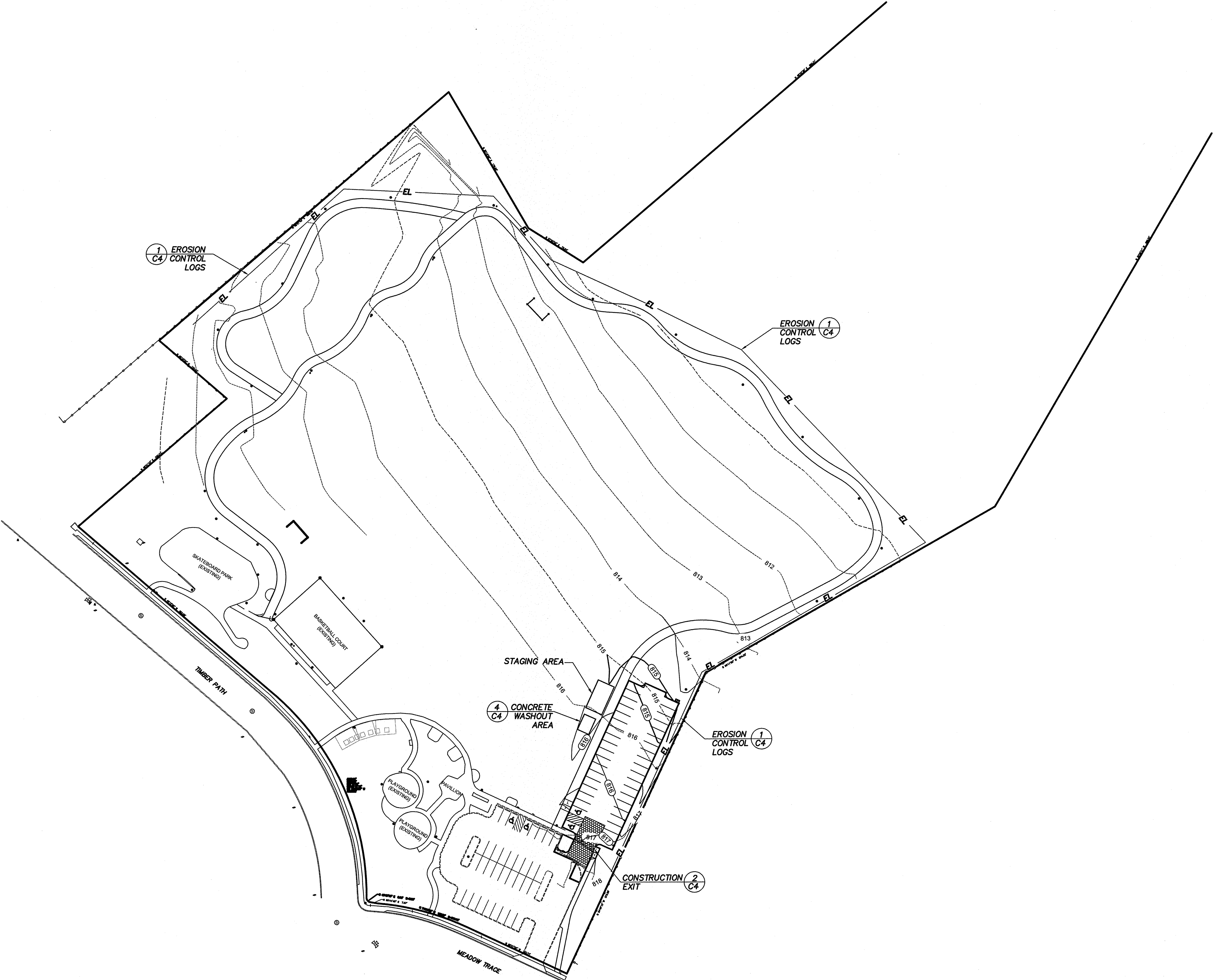
NOTE:
CONTRACTOR SHALL COORDINATE WITH CITY INSPECTOR ON LOCATION OF CONCRETE WASHOUT & MATERIALS STORAGE AREAS.

ALL TOPOGRAPHIC INFORMATION USED TO PREPARE THE PLANS WERE BASED ON DIGITAL SURVEY PROVIDED BY THE CLIENT. CONTRACTOR TO FIELD VERIFY ALL "MATCH EXISTING" ELEVATIONS AND NOTIFY THE ENGINEER IN WRITING PRIOR TO CONSTRUCTION OF ANY DISCREPANCIES.

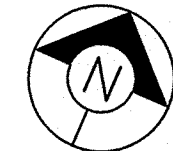
ALL UTILITY LOCATION INFORMATION BASED ON THE TOPOGRAPHIC DATA PROVIDED BY CLIENT. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION AND IMMEDIATELY NOTIFY THE CLIENT AND ENGINEER OF ANY DISCREPANCIES.

BENCHMARK INFORMATION WAS NOT PROVIDED TO ENGINEER, CONTRACTOR SHALL COORDINATE BENCHMARK INFORMATION WITH CLIENT.

CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING INFRASTRUCTURE



SCALE 1" = 60'



SEDIMENTATION AND EROSION CONTROLS

A. DESIGN CRITERIA

- (1) Fences are to be constructed along level contours.
- (2) The ends of the fence shall be turned upstream to prevent bypass of stormwater.
- (3) Steel posts which support the silt fence shall be installed on a slight angle toward the anticipated runoff source. Post must be embedded a minimum of one foot.
- (4) The toe of the silt fence shall be trenched in with a spade or mechanical trencher, so that the downslope face of the trench is flat and perpendicular to the line of flow. Where fence cannot be trenched in (e.g. pavement), weight fabric flap with washed gravel on uphill side to prevent flow under fence.
- (5) The trench must be a minimum of 6 inches deep and 6 inches wide to allow for the silt fence fabric to be laid in the ground and backfilled with compacted material.
- (6) Silt fence should be securely fastened to each steel support post or to woven wire. Which is in turn attached to the steel fence post. There shall be a 6" double overlap, securely fastened where ends of fabric meet.
- (7) Inspection shall be made weekly or after each rainfall. Repair or replacement shall be made promptly as needed.
- (8) Accumulated silt shall be removed when it reaches a depth of 6 inches. The silt shall be disposed of in an approved site and in such a manner as to not contribute to the additional siltation.

B. TEMPORARY DIVERSION DIKE

- (1) Maximum depth of flow at the dike shall be 1 foot.
- (2) Side slopes of the diversion dike shall be 3:1 or flatter.
- (3) Minimum width of the embankment at the top shall be 2 feet.
- (4) Minimum embankment height shall be 18 inches as measured from the toe of slope on the upgrade side of the berm.
- (5) The dikes shall remain in place until all disturbed areas which are protected by the dike are permanently stabilized unless other controls are put into place to protect the site.
- (6) Compacted earth dikes require stabilization immediately upon placement so as not to contribute to the problem they are addressing.
- (7) All diversion dikes shall have positive drainage to an outlet.
- (8) Dikes must be inspected on a regular basis to determine if silt is building up behind the dike, or if erosion is occurring on the face of the dike. Silt shall be removed in a timely manner. If erosion is occurring on the face of the dike, the slopes of the face shall be stabilized.

C. INTERCEPT SWALE

- (1) Maximum depth of flow in the swale shall be 1 foot.
- (2) The minimum bottom width of the swale shall be 2 feet.
- (3) Side slopes of the swale shall be 3:1 or flatter.
- (4) Minimum design channel freeboard shall be 6 inches.
- (5) Swales must maintain positive grade to an acceptable outlet.
- (6) Interceptor swales must be stabilized immediately upon excavation so as not to contribute to the erosion problem they are addressing.
- (7) All trees, brush, stumps, obstructions and other material shall be removed and disposed of so as not to interfere with the proper functioning of the swale.
- (8) All earth removed and not needed in construction shall be disposed of in an approved spoils site.
- (9) Inspection must be made after each rain event to locate and repair any damage to the channel or to clear debris or other obstructions so as not to diminish flow capacity. Damages which result from normal construction activities shall be repaired at the end of each work day.

D. HAY BALE DIKE

- (1) Each hay bale shall be placed into an excavated trench having a depth of 4 inches and a width just wide enough to accommodate the bales themselves.
- (2) Hay bales shall be installed in such a way that there is no space between to allow for any kind of seepage.
- (3) Individual bales shall be held in place by no less than two wood or steel stakes driven a minimum distance of 6 inches into undisturbed ground, with the first stake driven at an angle toward the previously installed bale.
- (4) The ends of the dike shall be turned upgrade to prevent bypass of stormwater.
- (5) Inspection shall be weekly or after each rainfall event and repair or replacement shall be made promptly as needed by the contractor.
- (6) When silt reaches a depth of 6 inches, it shall be removed and disposed of in an approved sit.
- (7) Hay bales shall be replaced if there are signs of degradation such as straw located downstream from the bales, structural deficiencies due to rotting straw or other signs of deterioration. Sediment should be removed from behind the bales when it reaches a depth of approximately 6 inches. If the bales become clogged, they should be replaced immediately.

E. SANDBAG BERM

- (1) Minimum height shall be 18 inches.
- (2) Minimum width of the berm shall be 18 inches at the top and 48 inches measured at the bottom.
- (3) Maximum side slopes shall be 2:1.
- (4) The ends of the berm shall be turned upgrade or shall tie into natural grades to prevent bypass of stormwater.
- (5) Sandbags should be stacked in at least three rows abutting each other, and in staggered arrangement.
- (6) Inspections should be made on a daily basis and after each rain event. The sandbags shall be reshaped or replaced as needed during the inspection. Silt should be removed when it reaches a depth of six (6) inches.

F. STONE OUTLET SEDIMENT TRAP

- (1) Minimum width of the embankment at the top shall be 3 feet perpendicular to the flow.
- (2) Minimum embankment slope shall be 3:1.
- (3) Maximum embankment height shall be 2 feet as measured from the toe of slope to the crest of the stone outlet. The height of the compacted earth embankment shall be one foot higher than the crest of the outlet.
- (4) Sediment shall be removed and the area directly behind the berm shall be regraded to its original dimensions at such point when the capacity of impoundment has been reduced to one-half of its original storage capacity.
- (5) The stone outlet structure should be inspected frequently and after each major rain event to check for clogging of the void spaces between stones. If the aggregate appears to be silted in such that efficiency is diminished, the stone should be replaced.

G. SEDIMENT BASIN

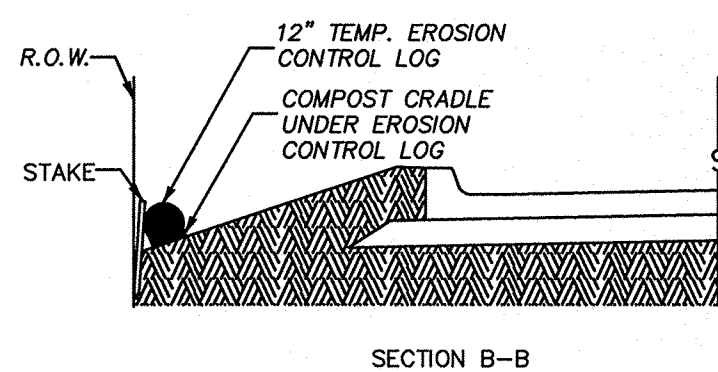
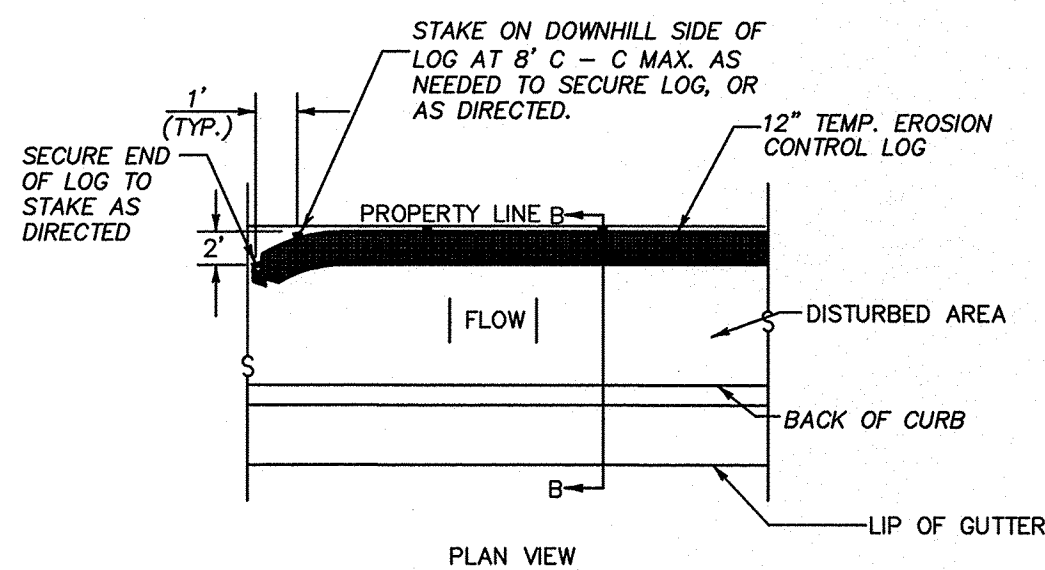
- (1) Maximum drainage area contributing to the basin shall be 100 acres.
- (2) Deposited sediment shall be removed when the storage capacity of the basin has been depleted by one-half.
- (3) Minimum width of the embankment at the top shall be 8 feet.
- (4) Minimum embankment slope shall be 3:1.
- (5) Sediment shall be removed and the basin shall be regraded to its original dimensions. The removed sediment shall be stockpiled or redistributed in areas which are protected from erosion.
- (6) The basin outlet structure and emergency spillway (if present) should be checked frequently and after each major rain event to check for damage.

H. STABILIZED CONSTRUCTION EXIT

- (1) Stone size - 3 to 5 inches crushed rock.
- (2) Length - as effective, but not less than 50 feet, unless depth of lot is less than 150 feet from edge of pavement where length must only be 30 feet.
- (3) Thickness - not less than 8 inches.
- (4) Width - not less than full width of all points of ingress or egress.
- (5) Washing - when necessary, wheels shall be cleaned to remove sediment prior to entrance onto public roadway. When washing is required, it shall be done on an area stabilized with crushed stone which drains into an approved trap or sediment basin. All sediment shall be prevented from entering any storm drain, ditch or watercourse using approved methods.
- (6) Maintenance - the entrance shall be maintained in condition which will prevent tracking or flowing of sediment onto public roadways. This may require periodic top dressing with additional stone as conditions demand, and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public roadway, must be removed immediately.
- (7) Drainage - entrance must be properly graded or incorporate a drainage swale to prevent runoff from leaving the construction site.

ADDITIONAL NOTES:

- (1) Upon completion of construction all disturbed areas shall be revegetated to 70% of existing conditions in accordance with the SWPPP and TIDES requirements.
- (2) This project will not use any off-site material, waste/borrow/fill, or equipment storage areas.
- (3) This site is not located adjacent to any surface waters.
- (4) This site will not have any locations where storm water discharges directly to a surface water body.

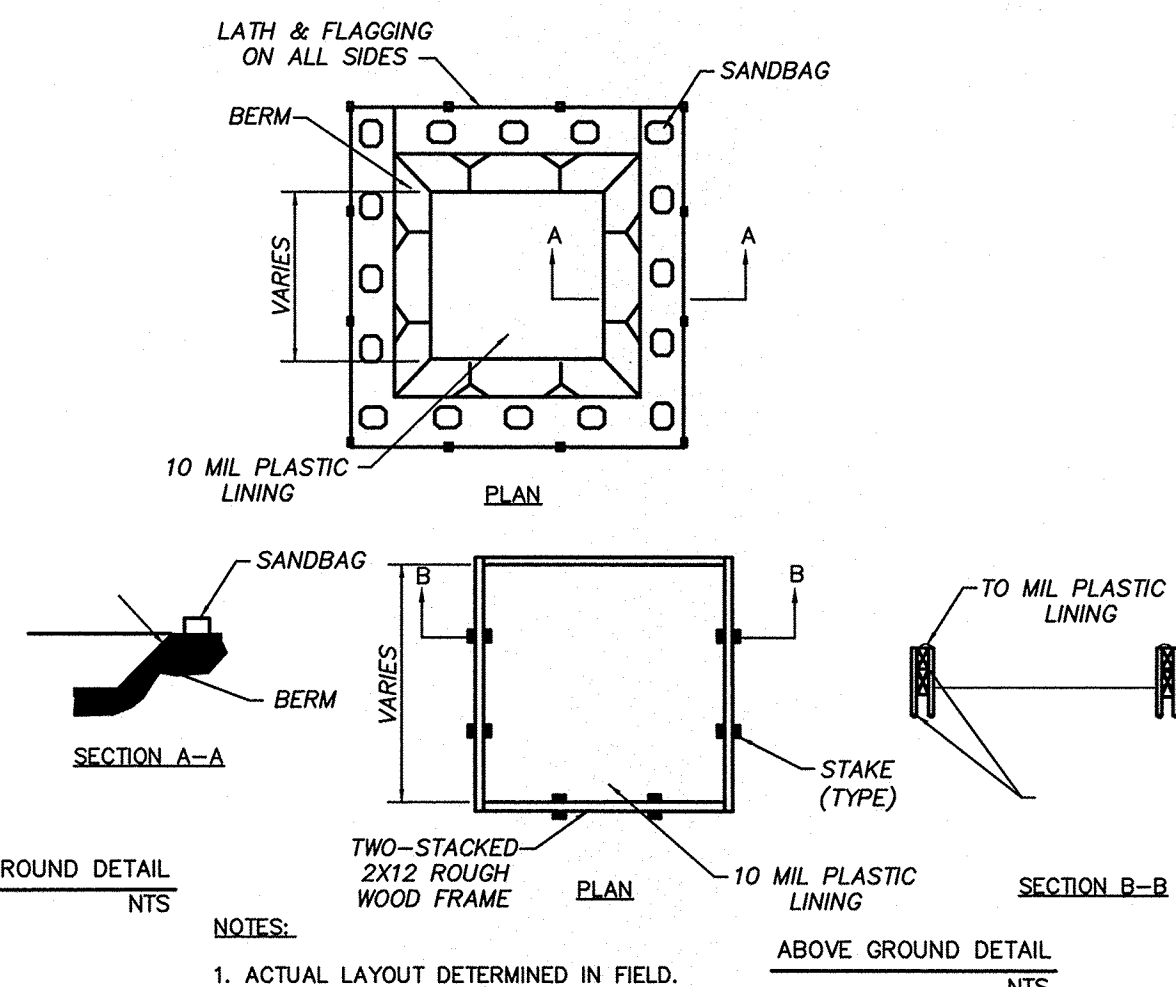


LOG PLACED AT EDGE OF PROPERTY LINE

GENERAL NOTES:

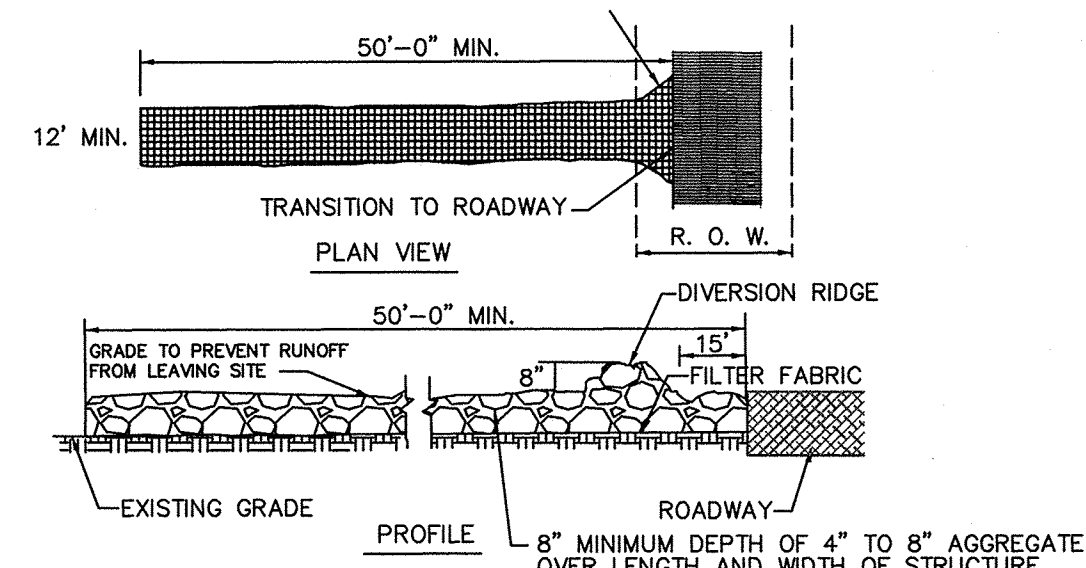
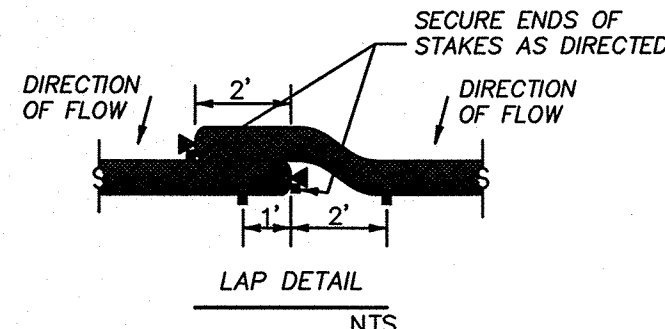
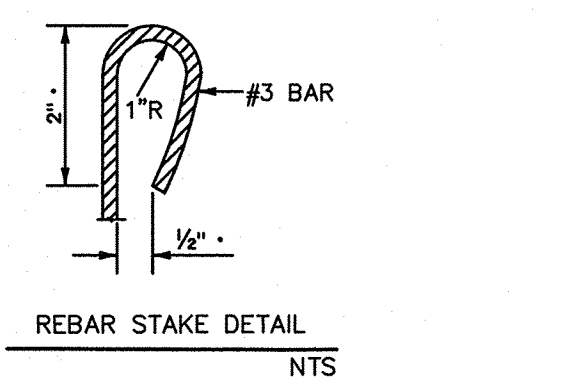
1. LENGTHS OF EROSION CONTROL LOGS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND AS REQUIRED FOR THE PURPOSE INTENDED. MAXIMUM LENGTH OF LOGS SHALL BE 60' FOR 18" DIAMETER OR 30' FOR 12" DIAMETER LOGS.
2. UNLESS OTHERWISE DIRECTED, USE BIODEGRADABLE OR PHOTODEGRADABLE CONTAINMENT MESH ONLY WHERE LOG WILL REMAIN IN PLACE AS PART OF A VEGETATIVE SYSTEM. FOR TEMPORARY INSTALLATIONS, USE RECYCLABLE CONTAINMENT MESH.
3. STUFF LOGS WITH SUFFICIENT FILTER MATERIAL TO ACHIEVE DENSITY THAT WILL HOLD SHAPE WITHOUT EXCESSIVE DEFORMATION.
4. STAKES SHALL BE 2" X 2" WOOD OR #3 REBAR, 4' LONG, EMBEDDED SUCH THAT 2" PROTRUDES ABOVE LOG, OR AS DIRECTED.
5. DO NOT PLACE STAKES THROUGH CONTAINMENT MESH.

1 EROSION CONTROL LOGS

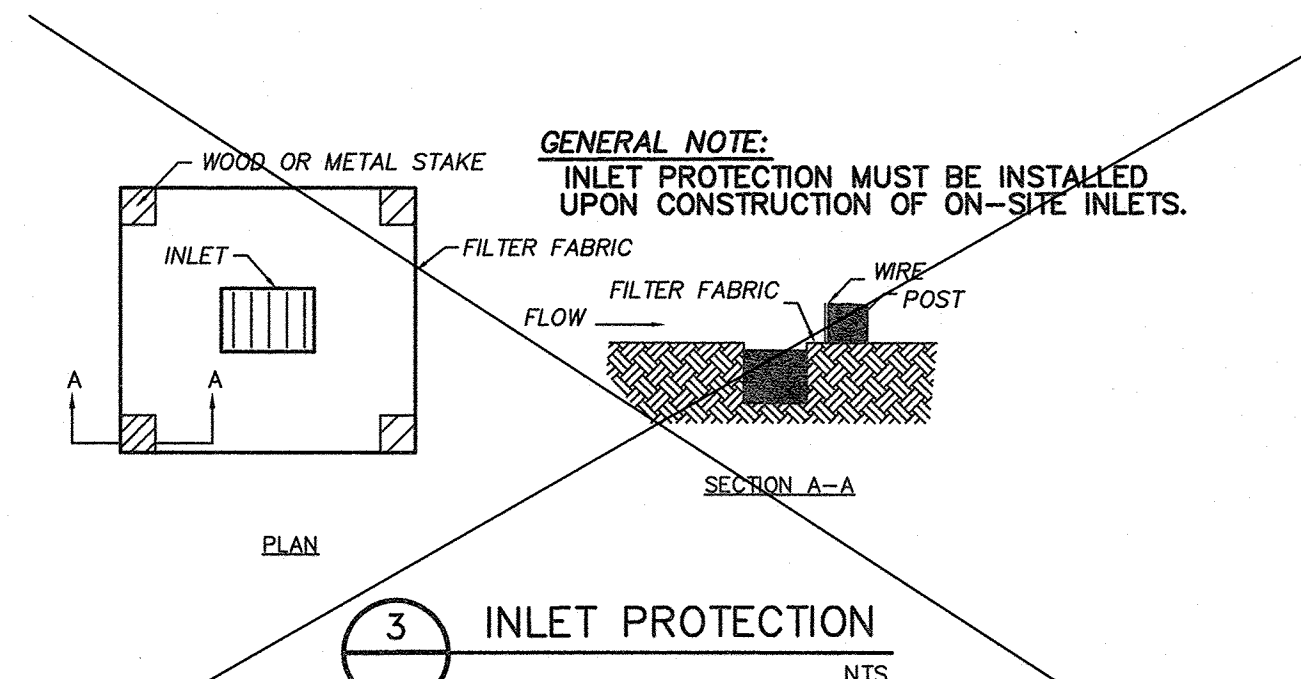


4 CONCRETE WASHOUT AREA

NOTES:
1. ACTUAL LAYOUT DETERMINED IN FIELD.



2 STABILIZED CONSTRUCTION EXIT



GENERAL NOTE:
INLET PROTECTION MUST BE INSTALLED UPON CONSTRUCTION OF ON-SITE INLETS.

3 INLET PROTECTION

AREA DISTURBED (ACRES)	AREA UNDISTURBED (ACRES)	TOTAL AREA (ACRES)
2.71	14.31	17.02

SEQUENCE OF MAJOR ACTIVITIES

- * INSTALLATION OF TEMPORARY BEST MANAGEMENT PRACTICES (2.71 ACRES)
- * MASS GRADING (2.71 ACRES)
- * FINAL SITE GRADING (2.71 ACRES)
- * FINAL PAVING OF PARKING LOT AND DRIVE LANES (4.2 ACRES)

SCALE 1" = NTS

VICKREY & ASSOCIATES, INC.
CONSULTING ENGINEERS
CIVIL • ENVIRONMENTAL • SURVEY
12940 Country Parkway San Antonio, TX 78216
Telephone: (210) 349-3271
Firm Registration No: F-159

KW
KUDELA & WEINHEIMER

STATE OF TEXAS
PRISCILLA G. FLORES
109874
LICENSED PROFESSIONAL ENGINEER

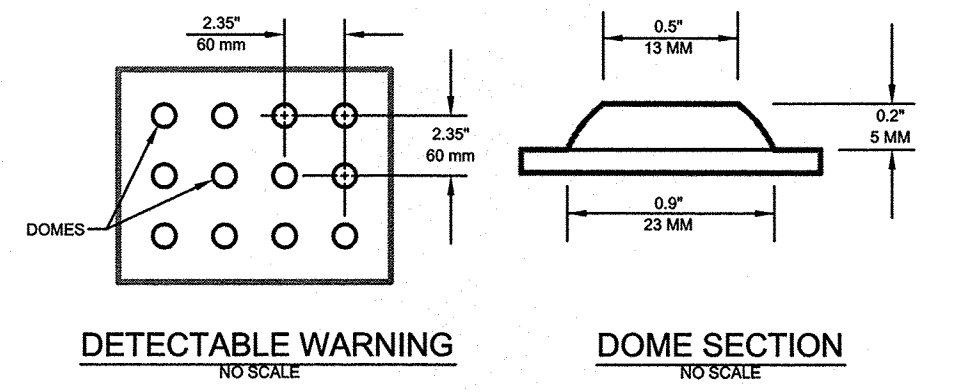
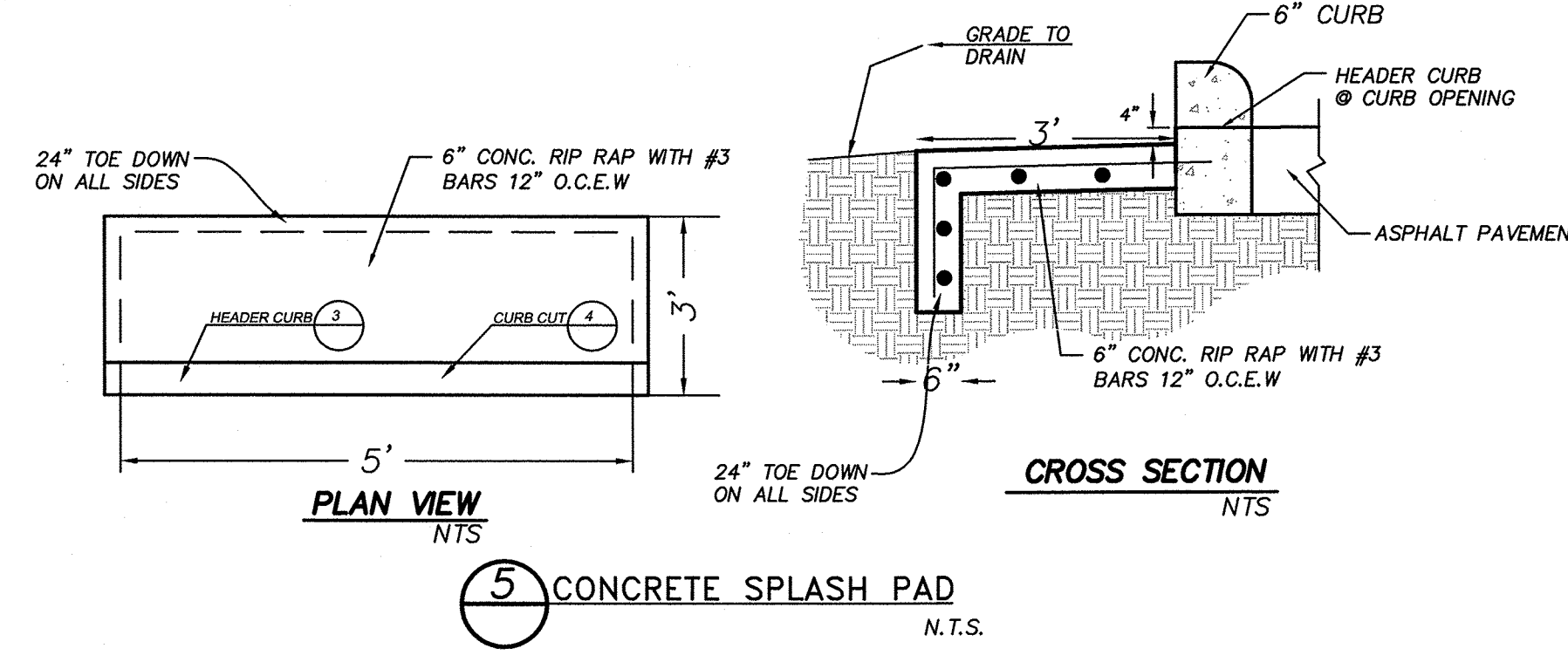
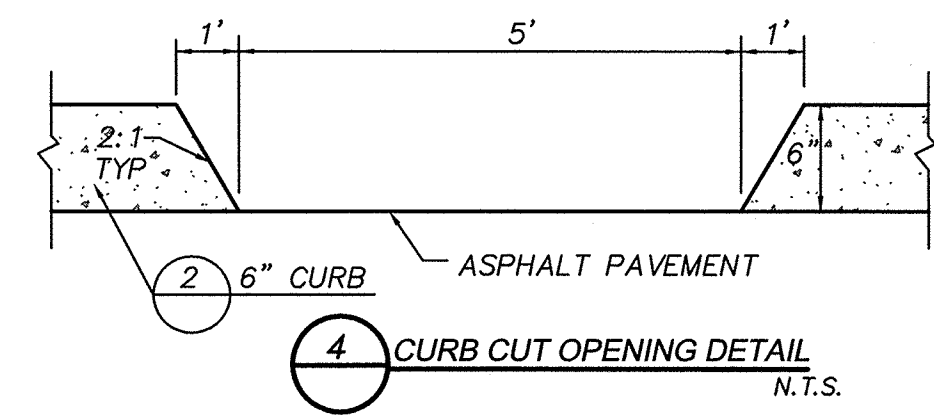
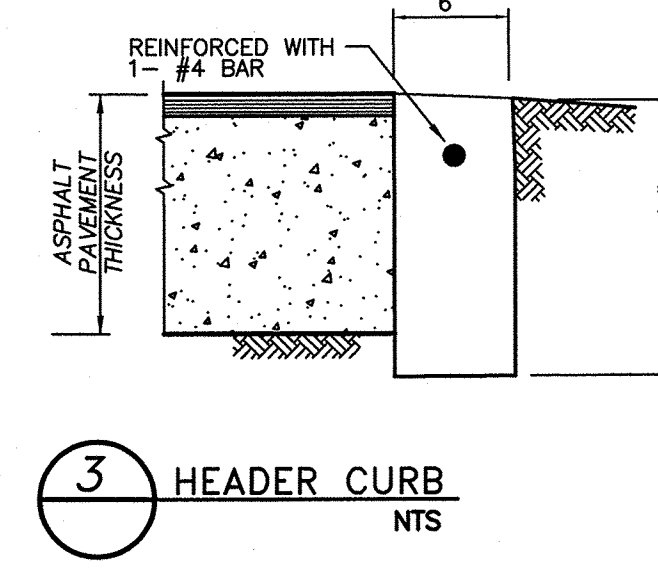
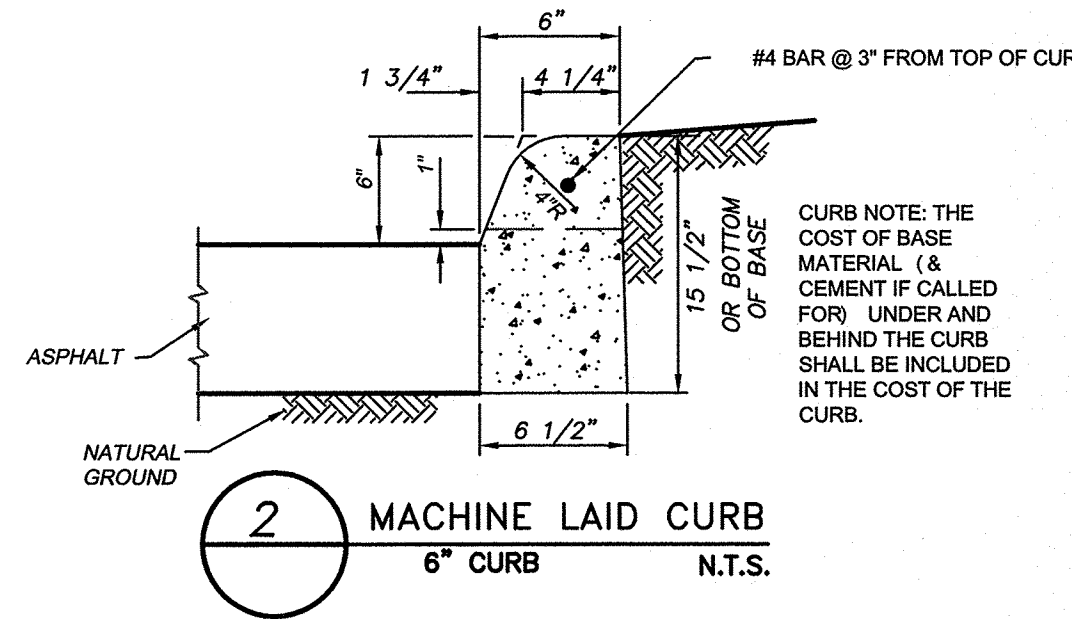
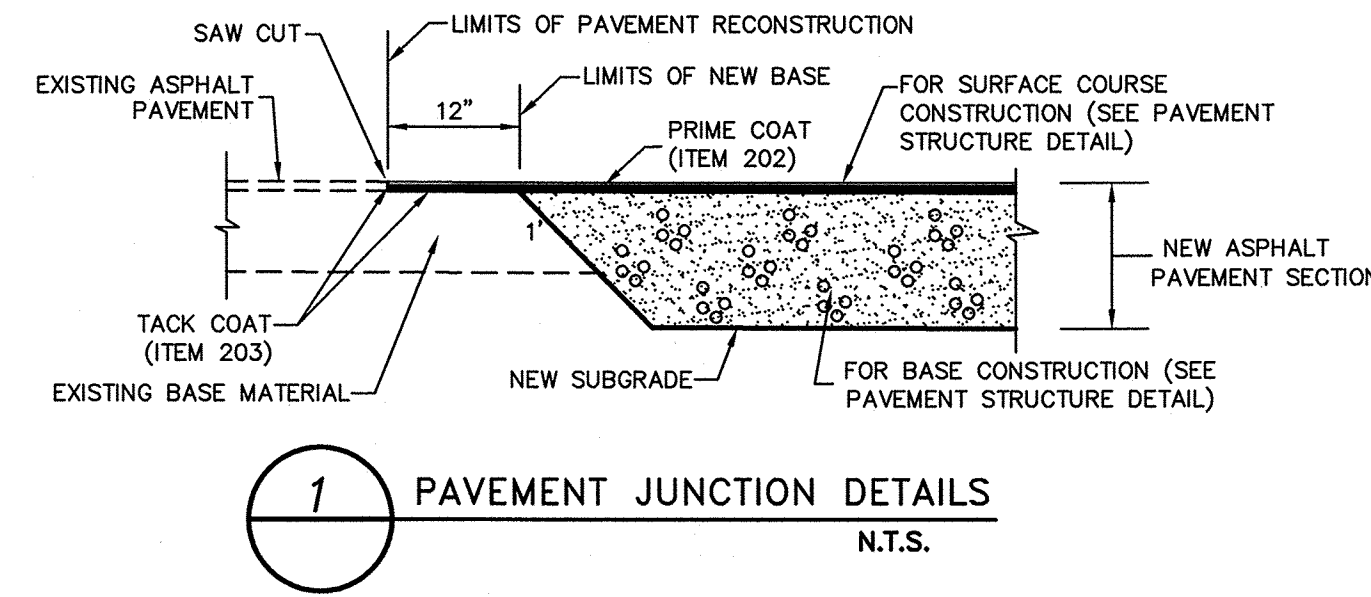
Date:	Revisions/Submissions
10/17/14	50% Construction Documents
11/19/14	100% Construction Documents
03/16/15	Revised per Client

CITY OF SAN ANTONIO
TRANSPORTATION AND CAPITAL IMPROVEMENTS
VERTICAL PROJECT MANAGEMENT DIVISION
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TEL: (210) 207-2879 FAX: (210) 207-2197

OSCAR PEREZ PARK
8601 TIMBER PATH
SAN ANTONIO, TEXAS
SWPPP DETAILS

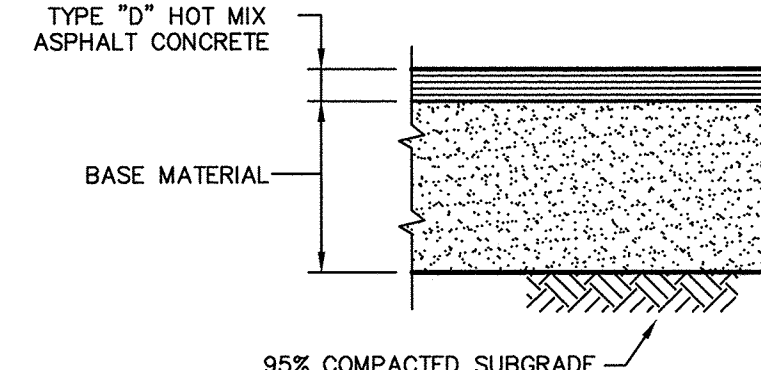
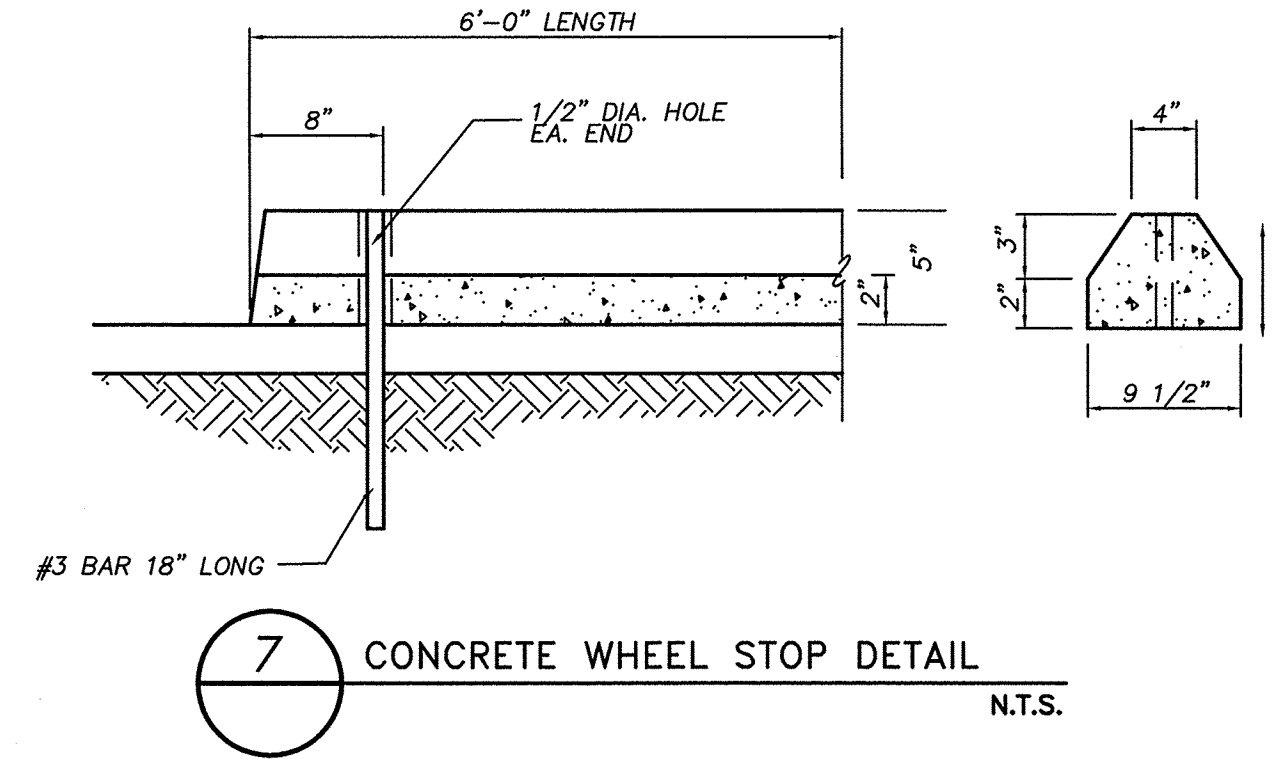
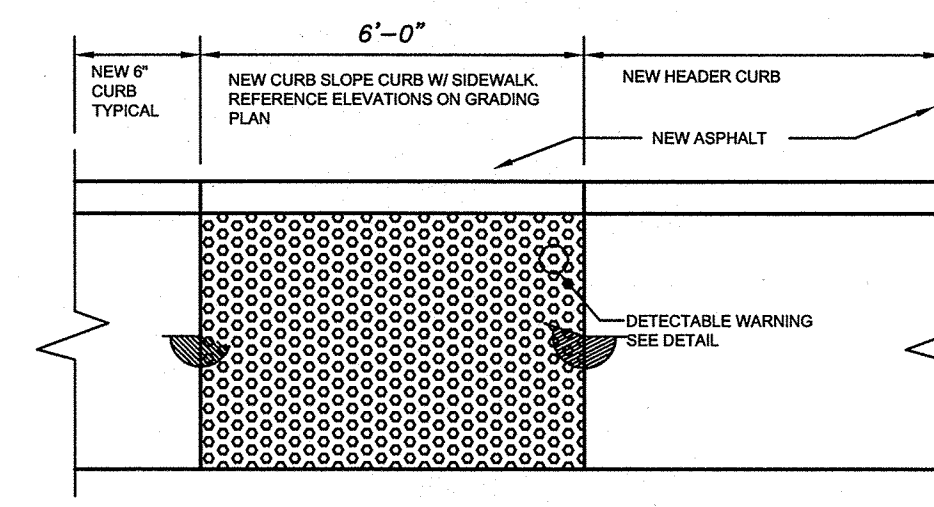
C4
C5

Designed By:
PF
Drawn By:
AR
Date:
11/19/2014
Project No.:
40-00382
Filename:
sh_SWPPP.dwg



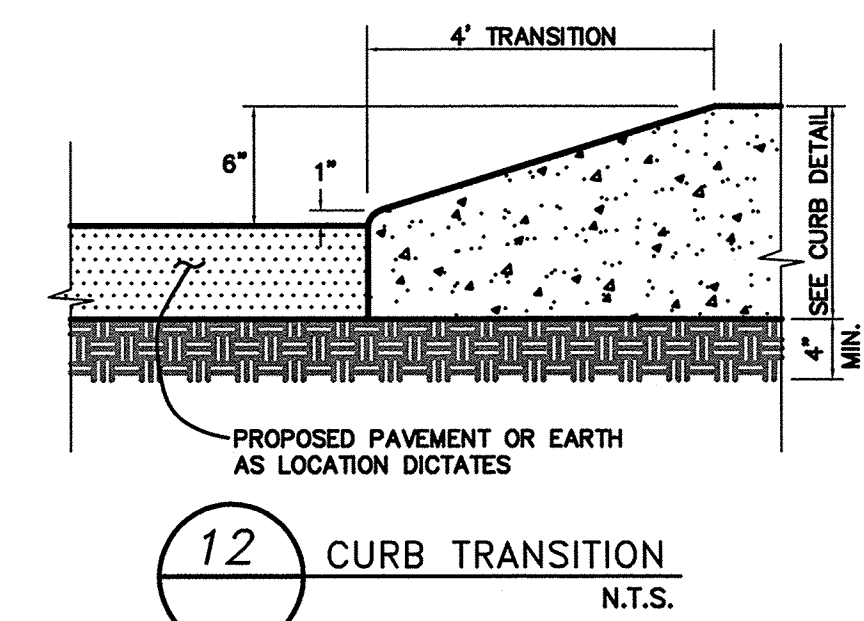
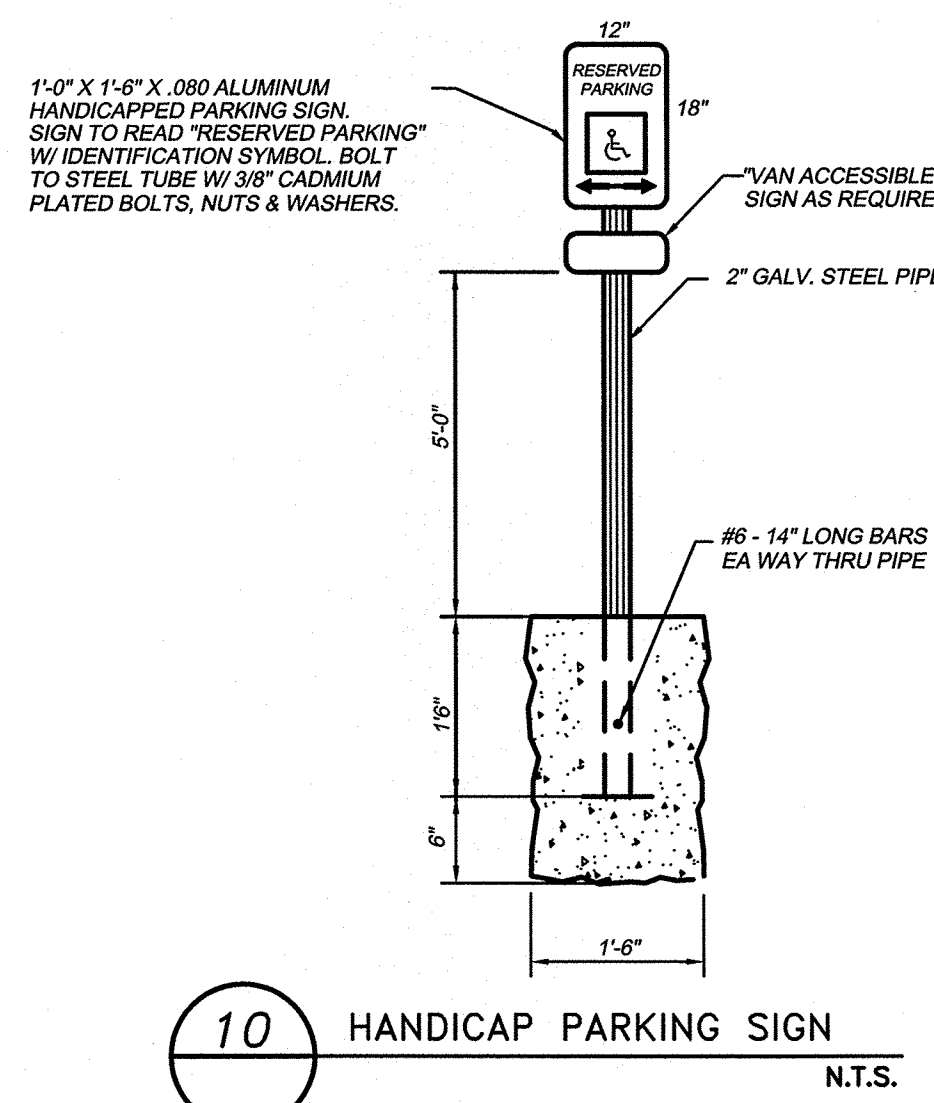
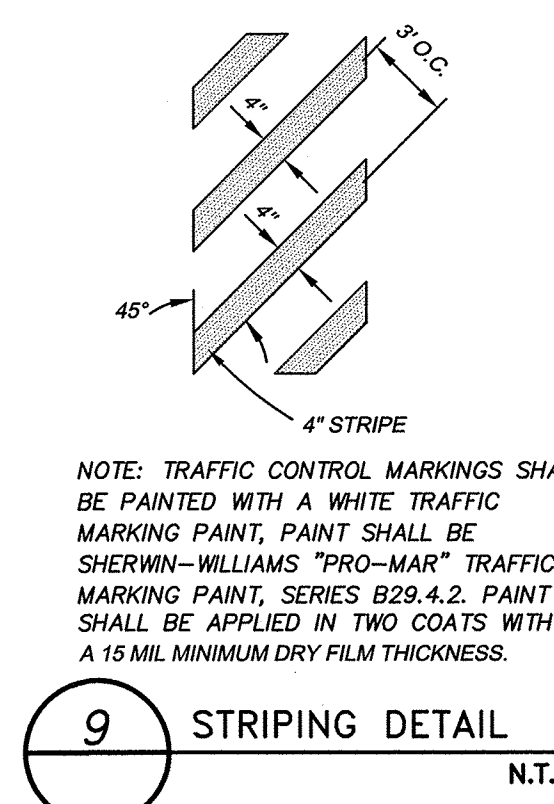
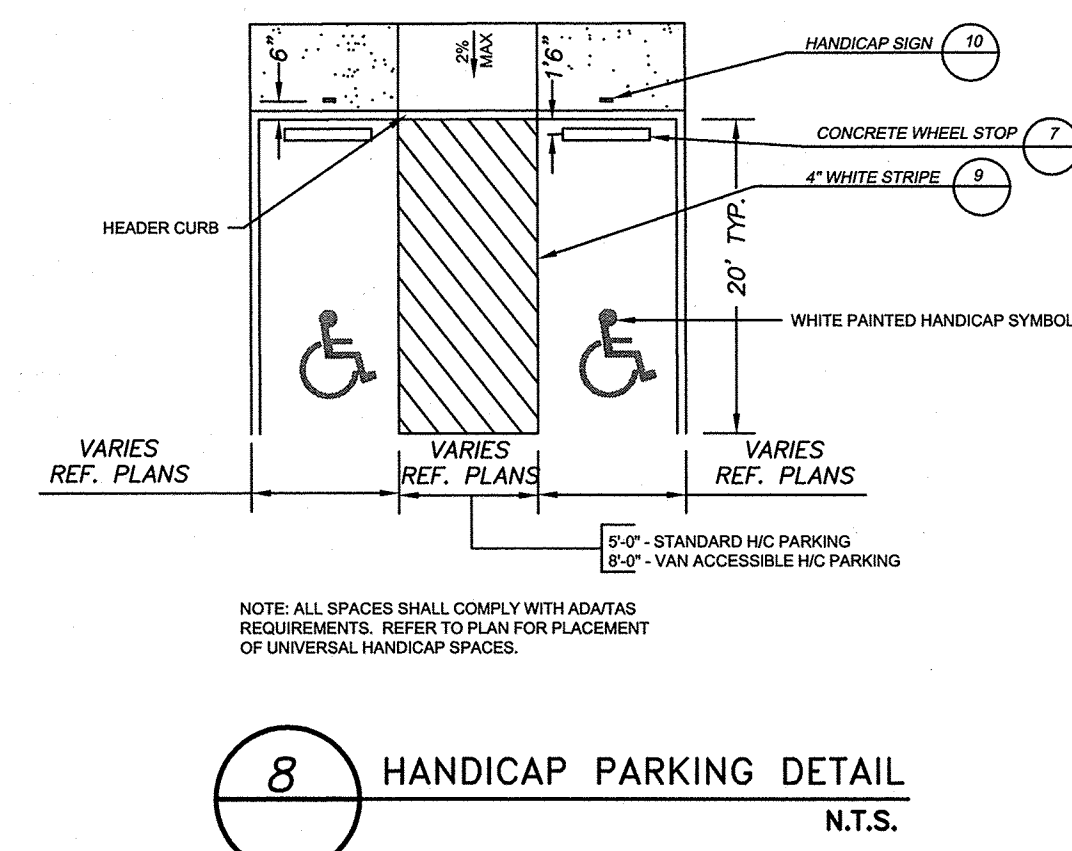
NOTE: STAMPED CONCRETE TRUNCATED DOMES WILL NOT BE ALLOWED TO BE USED FOR DETECTABLE WARNING ON WHEELCHAIR RAMPS. CONTRACTOR SHALL USE ADA DETECTABLE WARNING PAVERS FOR DETECTABLE WARNING SURFACES AND MUST SUBMIT TRUNCATED DOME INFORMATION THAT IS TO BE USED ON WHEELCHAIR RAMPS TO THE PROJECT MANAGER FOR APPROVAL AT LEAST 30 DAYS PRIOR TO INSTALLATION.

NOTE: RAMP SURFACE SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES. EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE. PAINT SHALL NOT BE USED TO PROVIDE A COLOR CONTRAST.



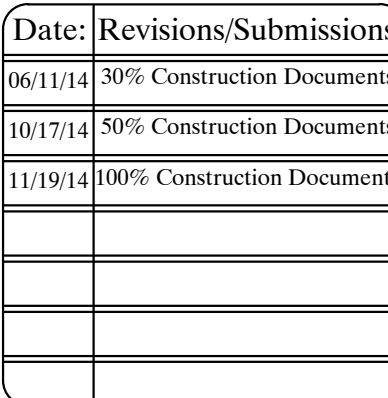
		PARKING STALLS		DRIVEWAY	
		OPTION 1	OPTION 2	OPTION 1	OPTION 2
SURFACE	HOT MIX ASPHALTIC CONCRETE	2"	2"	2.5"	2.5"
BASE	FLEXIBLE BASE	8"	10"	10"	14"
SUBGRADE	LIME TREATED	6"	-	6"	-
	MOISTURE CONDITIONED	-	6"	-	6"

*PAVEMENT SECTION PER ARIAS GEOTECH REPORT
#2014-865 DATED 11/12/14



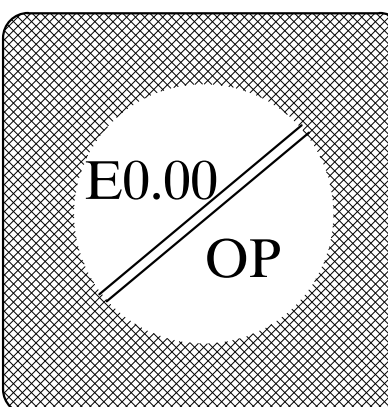


KW
KUDELA &
WEINHEIMER



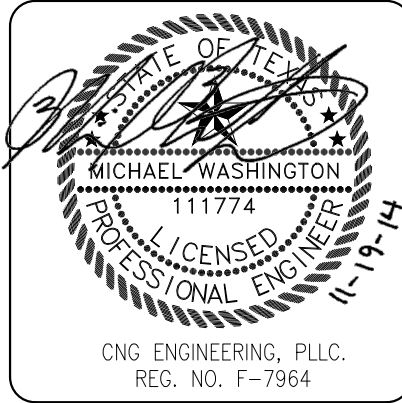
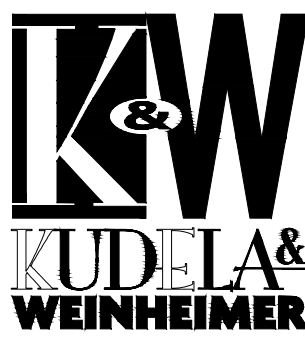
OSCAR PEREZ PARK
8601 TIMBER PATH
SAN ANTONIO, TEXAS

**ELECTRICAL SYMBOLS,
ABBREVIATIONS & NOTES**

[illegible]



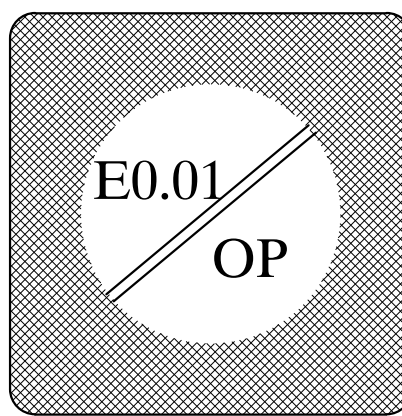
1917 N. New Braunfels Ave., Ste. 201
San Antonio, TX 78208
(210)224-8841, (210)224-8824 FAX



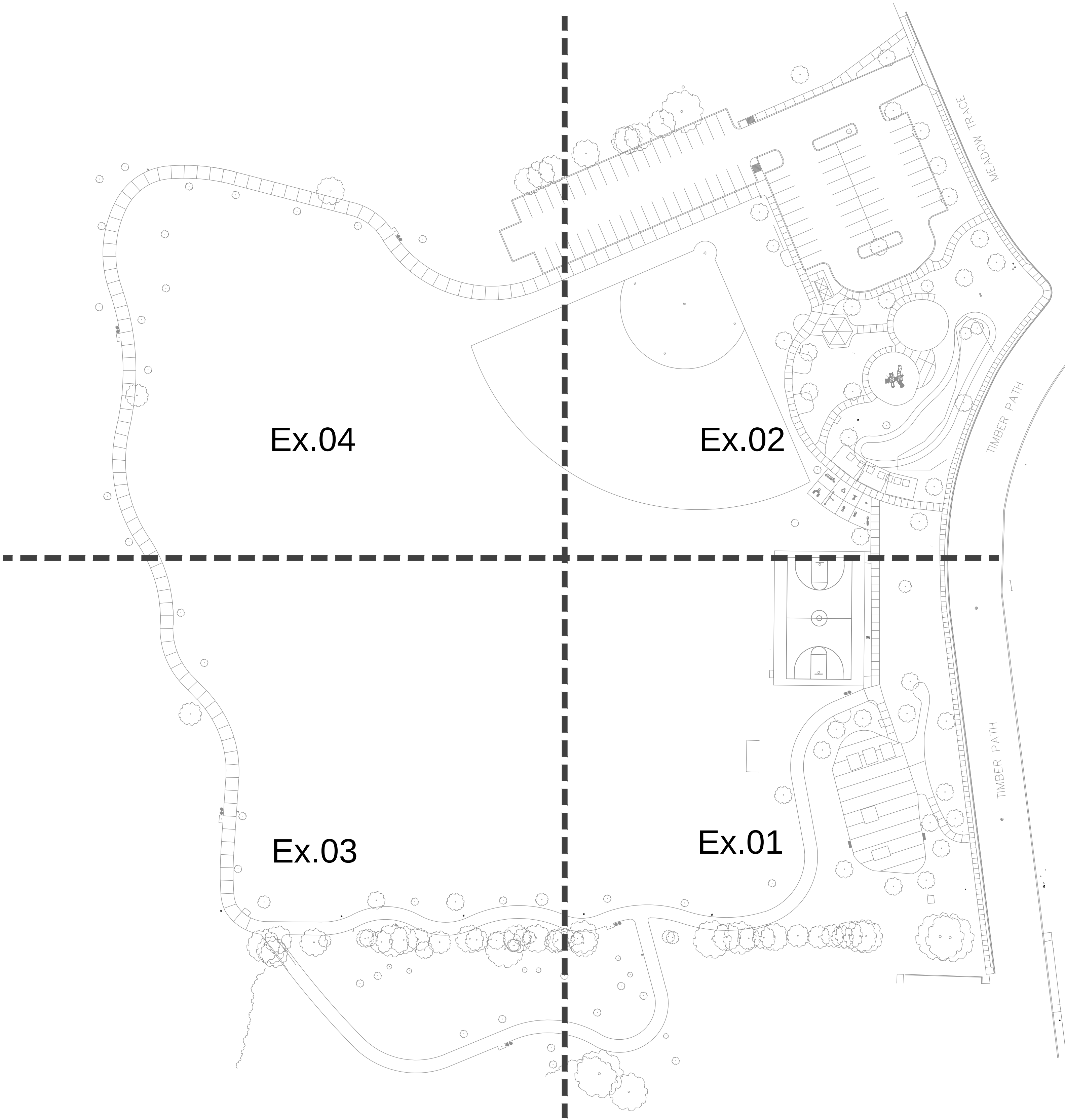
Date:	Revisions/Submissions
06/11/14	30% Construction Documents
10/17/14	50% Construction Documents
11/19/14	100% Construction Documents

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OSCAR PEREZ PARK
8601 TIMBER PATH
SAN ANTONIO, TEXAS
OVERALL ELECTRICAL SITE PLAN



Designed By:	MW
Drawn By:	MS
Date:	11/19/2014
Project No. :	CSA-351
Filename:	Drawing.dwg

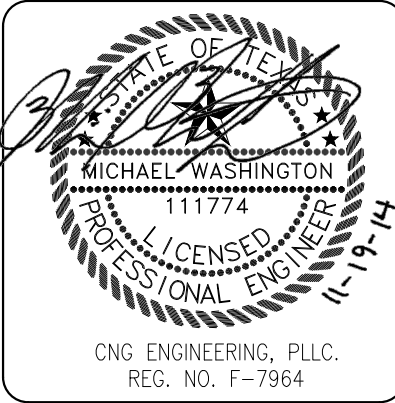
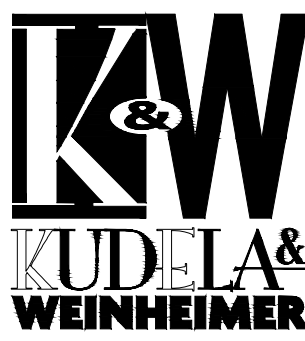


SCALE 1" = 50' - 0"
25 0 50 100





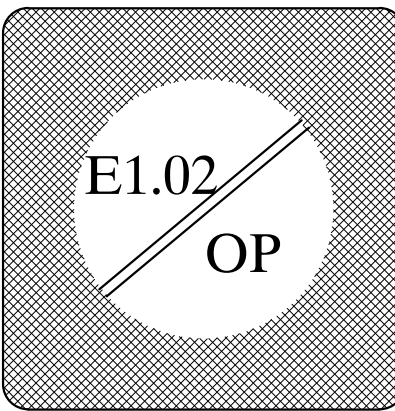
1917 N. New Braunfels Ave., Ste. 201
San Antonio, TX 78208
(210)224-8841, (210)224-8824 FAX



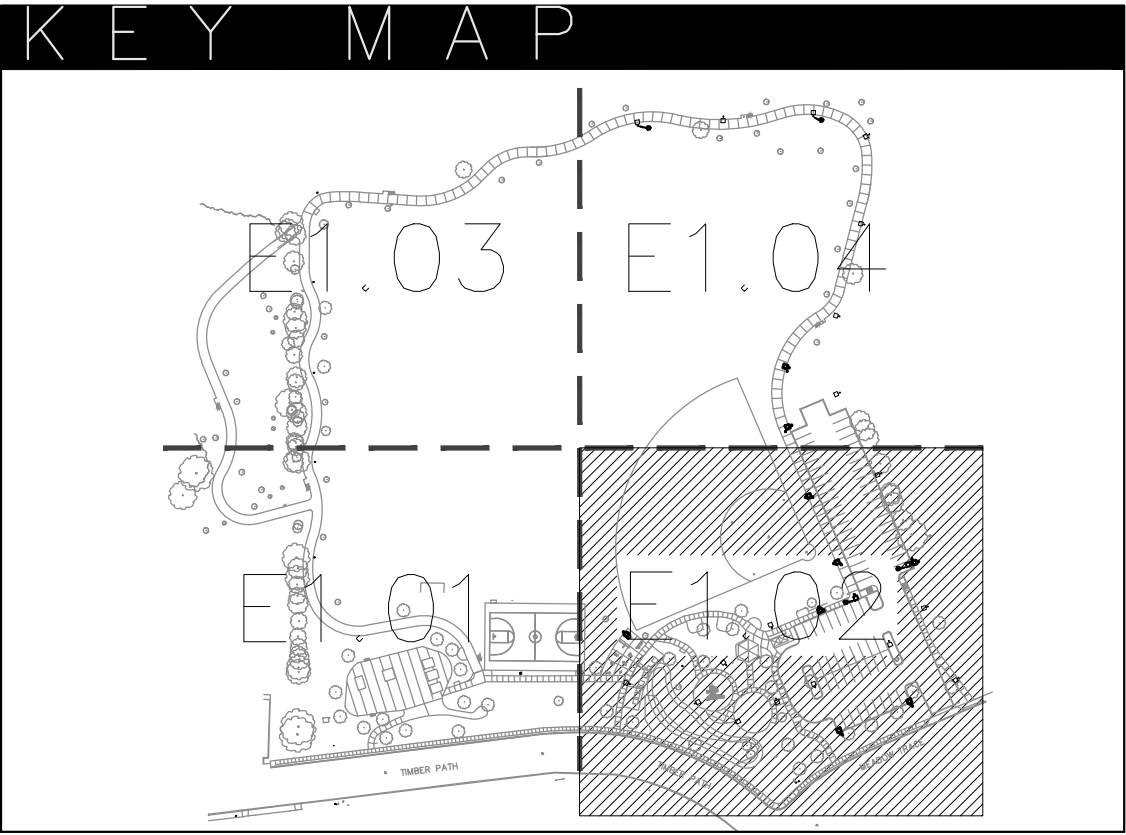
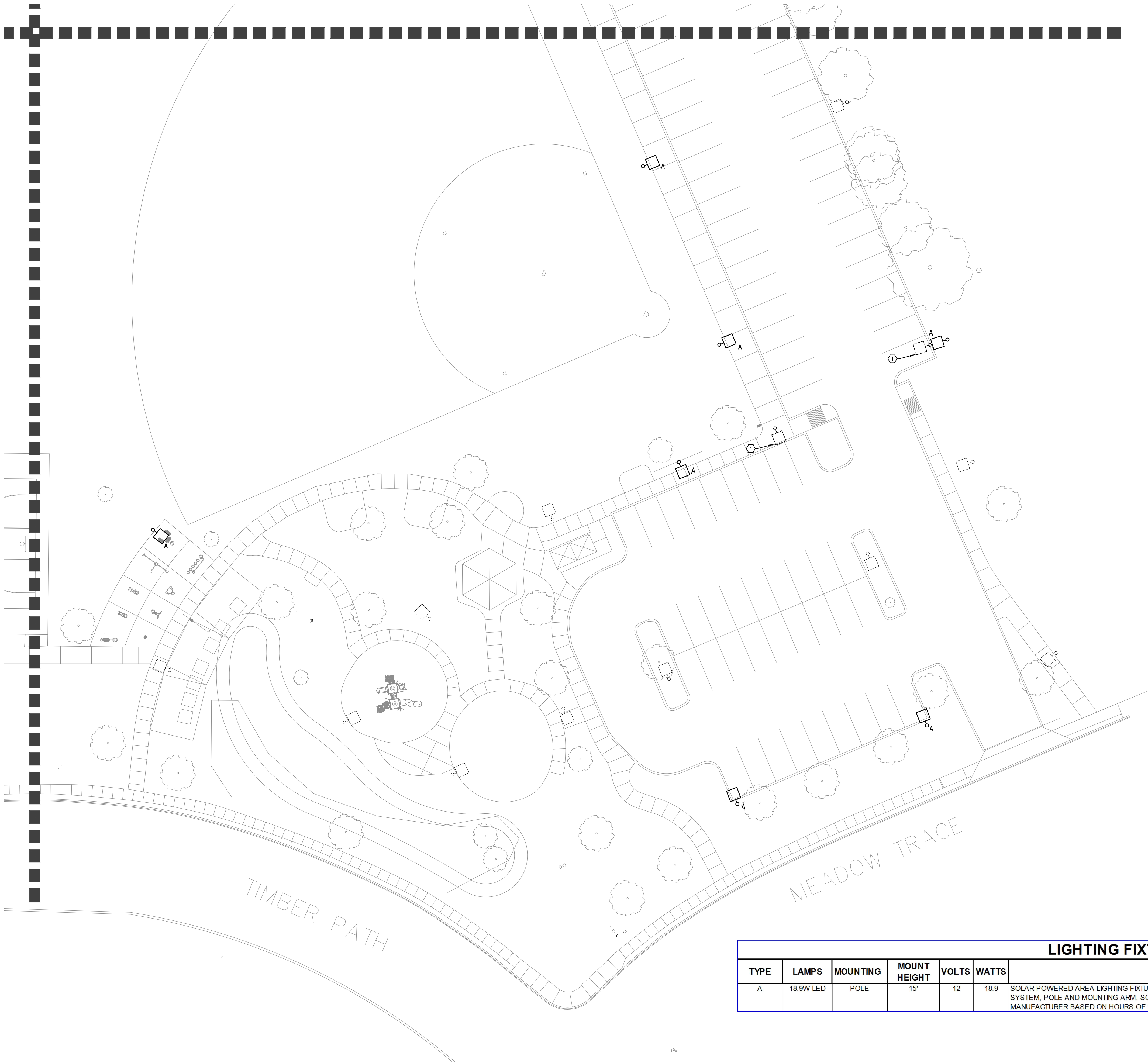
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TEL. (210) 207-2879 FAX (210) 207-2197

OSCAR PEREZ PARK
8601 TIMBER PATH
SAN ANTONIO, TEXAS
PARTIAL ELECTRICAL SITE PLAN



Designed By:
MW
Drawn By:
MS
Date:
11/19/2014
Project No.:
CSA-351
Filename:
Drawing.dwg



KEYED NOTES: (THIS SHEET ONLY)

1. EXISTING LIGHTING FIXTURE TO BE REMOVED. PROVIDE TIER 15, IN-GRADE HAND HOLE (AS REQUIRED) AT REMOVED POLE LOCATION FOR CIRCUIT CONTINUATION.

GENERAL NOTES: (THIS SHEET ONLY)

- A. ELECTRICAL DRAWINGS SHOW GENERAL LOCATIONS OF LIGHTING FIXTURES ONLY. FOR EXACT LOCATIONS AND SPACING, SEE ARCHITECT DRAWINGS. IF CONTRACTOR DETERMINES THAT THERE IS A DIFFERENCE IN QUANTITY OF FIXTURES SHOWN ON THE ARCHITECT AND ELECTRICAL DRAWINGS, CONTRACTOR SHALL USE THE HIGHER NUMBER OF THE TWO QUANTITIES FOR BIDDING, THEN CONTACT THE DESIGN TEAM FOR FINAL RESOLUTION.
- B. REFERENCE LIGHT FIXTURE SCHEDULE, THIS SHEET, FOR ADDITIONAL FIXTURE INFORMATION.
- C. SITE LIGHTING FIXTURE IS PROVIDED WITH A DIRECT BURY POLE. COORDINATE POLE DEPTH WITH MANUFACTURERS DEPTH AND INSTALLATION REQUIREMENTS.
- D. SOLAR LIGHTING FIXTURES TO FOLLOW TIME SCHEDULE OF EXISTING SITE FIXTURES FOR NORMAL AND SECURITY HOURS OF OPERATION. FIXTURES TO DIM TO 50% DURING SECURITY HOURS OF OPERATION.
- E. REFERENCE SHEET E0.00 FOR ADDITIONAL GENERAL AND DEMOLITION NOTES.

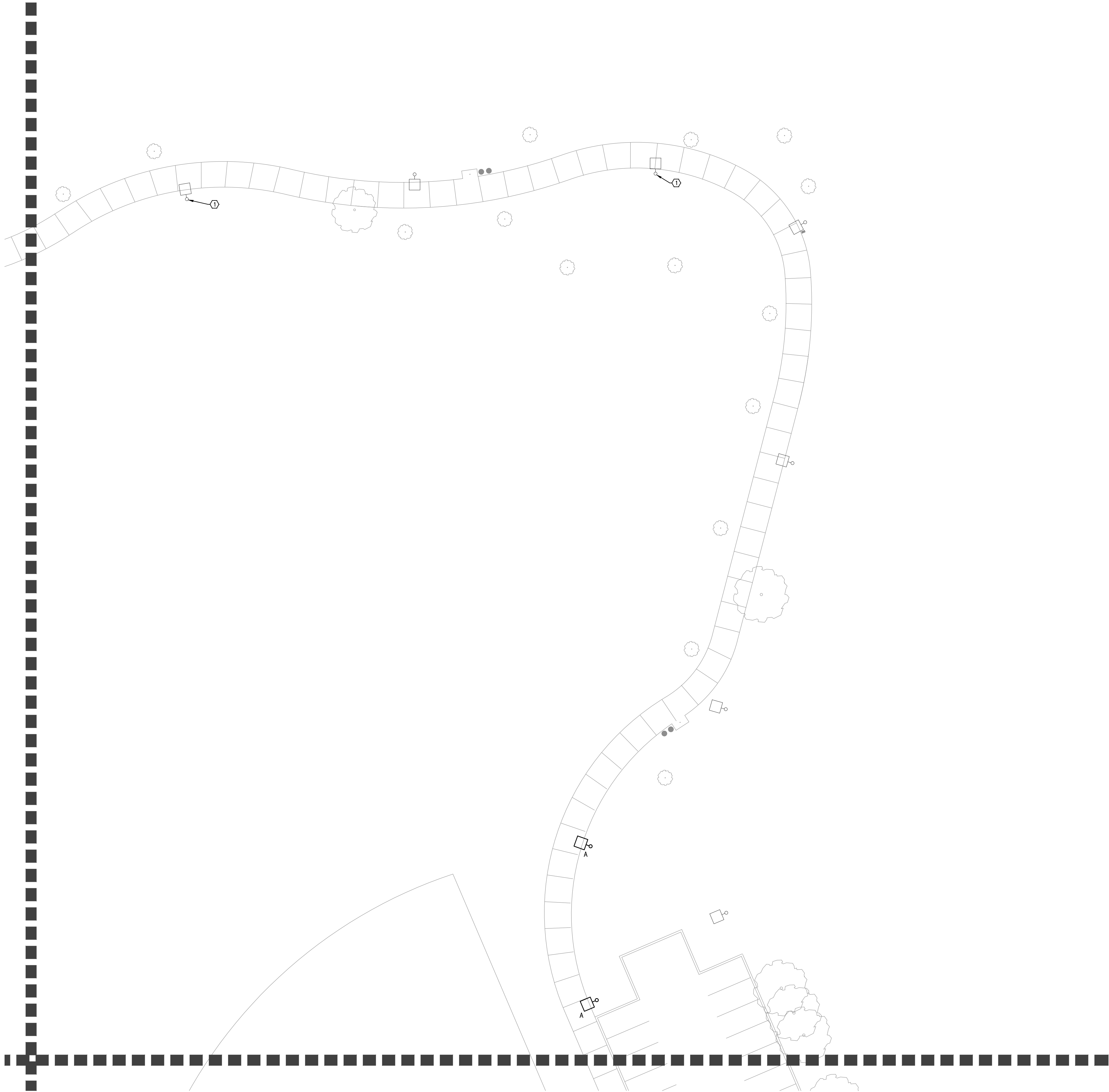
LOAD ANALYSIS

TWO(2) EXISTING LIGHTING FIXTURES AT THE SITE ARE BEING REMOVED, REDUCING THE EXISTING LOAD. THE NINE(9) NEW SITE LIGHTING FIXTURES BEING ADDED ARE SELF-CONTAINED SOLAR POWERED LED FIXTURES. NO ADDITIONAL LIGHTING LOAD IS BEING ADDED TO THE PROJECT.

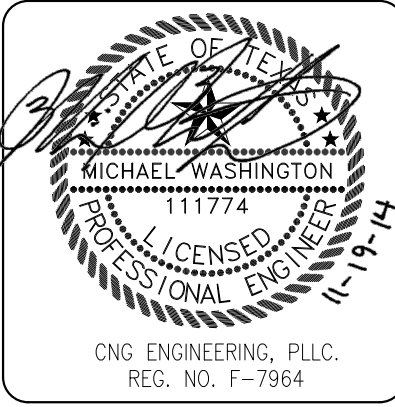
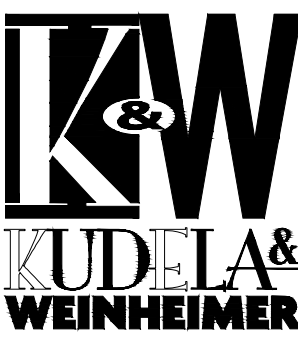
LIGHTING FIXTURE SCHEDULE									
TYPE	LAMPS	MOUNTING	MOUNT HEIGHT	VOLTS	WATTS	DESCRIPTION	MANUFACTURER AND CATALOG NO.		QTY
A	18.9W LED	POLE	15'	12	18.9	SOLAR POWERED AREA LIGHTING FIXTURE WITH ENERGY COLLECTION PANEL, SOLAR STORAGE SYSTEM, POLE AND MOUNTING ARM. SOLAR PANEL AND BATTERY SIZE TO BE DETERMINED BY MANUFACTURER BASED ON HOURS OF OPERATION NOTED ON SITE LIGHTING SHEETS.	SOLAR LIGHTING - GREENWAY SERIES		9

SCALE 1" = 20' - 0"
10 0 20 40

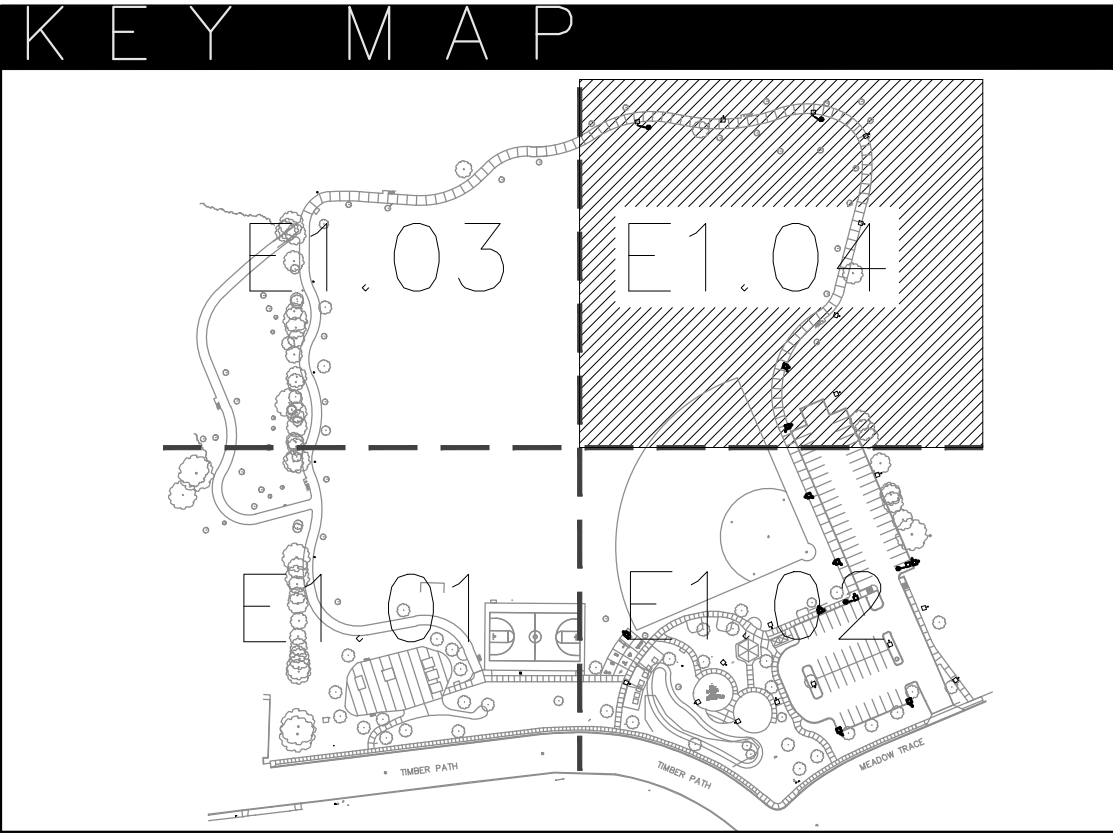




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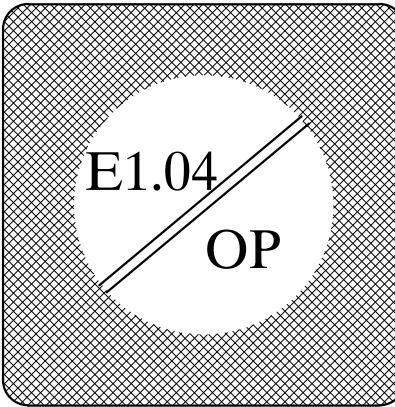
KEYED NOTES: (THIS SHEET ONLY)

1. ROTATE FIXTURE HEAD AND TENON MOUNT TO PROVIDE ILLUMINATION ALONG PROPOSED PATHWAY. DRILL NEW HOLES AND PROVIDE COVER PLATE FOR EXISTING MOUNTING LOCATION, AS REQUIRED.

GENERAL NOTES: (THIS SHEET ONLY)

- A. ELECTRICAL DRAWINGS SHOW GENERAL LOCATIONS OF LIGHTING FIXTURES ONLY. FOR EXACT LOCATIONS AND SPACING, SEE ARCHITECT DRAWINGS. IF CONTRACTOR DETERMINES THAT THERE IS A DIFFERENCE IN QUANTITY OF FIXTURES SHOWN ON THE ARCHITECT AND ELECTRICAL DRAWINGS, CONTRACTOR SHALL USE THE HIGHER NUMBER OF THE TWO QUANTITIES FOR BIDDING, THEN CONTACT THE DESIGN TEAM FOR FINAL RESOLUTION.
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- E. REFERENCE SHEET E0.00 FOR ADDITIONAL GENERAL AND DEMOLITION NOTES.

OSCAR PEREZ PARK
8601 TIMBER PATH
SAN ANTONIO, TEXAS
PARTIAL ELECTRICAL
SITE PLAN



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SCALE 1" = 20' - 0"
10 0 20 40

