

HISTORIC AND DESIGN REVIEW COMMISSION

May 06, 2015

Agenda Item No: 14

HDRC CASE NO: 2015-172
ADDRESS: 524 E GUENTHER ST
LEGAL DESCRIPTION: NCB 938 BLK 1 LOT 13
ZONING: RM4 H
CITY COUNCIL DIST.: 1
DISTRICT: King William Historic District
LANDMARK: Boemer House
APPLICANT: David Altgelt
OWNER: David Altgelt
TYPE OF WORK: Tax Certification
REQUEST:

The applicant is requesting Historic Tax Certification for the property at 524 E Guenther.

APPLICABLE CITATIONS:

UDC Section 35-618. Tax Exemption Qualifications:

(d) Certification.

(1) Historic and Design Review Commission Certification. Upon receipt of the owner's sworn application the historic and design review commission shall make an investigation of the property and shall certify the facts to the city tax assessor-collector within thirty (30) days along with the historic and design review commission's documentation for recommendation of either approval or disapproval of the application for exemption.

FINDINGS:

- a. The scope of work consists of various items that have been administratively approved including exterior painting, foundation repair, roof replacement, window restoration, gutter installation and other improvements including electrical and plumbing upgrades.
- b. The applicant has met all of the requirements for Historic Tax Certification outlined in UDC Section 35-618 and has provided evidence to that effect to the Historic Preservation Officer including interior photos and invoices.

RECOMMENDATION:

Staff recommends approval as submitted based on finding a and b.

CASE MANAGER:

Edward Hall



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Item	Bid	Paid	Money Owed
Plumbing	\$9,705.00		\$8,553.00
General Contractor	\$38,060.00		\$30,660.00
Roof	\$50.00		\$50.00
Driveway	\$11,350.00		\$11,350.00
Fence	\$1,705.25		\$1,705.25
Floors	\$14,961.18		\$6,895.65
Architect	\$2,850.00		\$2,850.00
Interior Painting	\$8,066.00		\$6,695.00
Gutters	\$1,529.00		\$1,529.00
Electric	\$1,250.00		\$1,250.00

Appliances:

Stove	\$1,000.00		\$849.00
Washer/Dryer	\$1,200.00		\$1,070.43
Microwave/Vent	\$500.00		\$289.00
Fridge/Ice Maker	\$1,400.00		\$830.36
Disposal	\$100.00		\$179.00
Dishwasher	\$700.00		\$489.00
Taxes			\$305.81

Miscellaneous:

Tile	\$1,948.15		\$1,948.15
Sinks/toilets/Tub	\$3,383.90		\$1,613.70
Lights/Fans	\$2,500.00		\$1,728.00
Kitchen Cabinets	\$3,900.00		\$3,900.00
Kitchen Counter	\$1,926.93		\$963.46
Yard	\$260.00		
Shutters	\$5,546.00		\$3,000.00

Total	\$113,891.41	\$88,703.81	\$14,055.00
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Estimated Loan Amount	Estimated Reserve
\$50,000.00	\$24,812.40

Estimated Remaining Cost **\$25,187.60**

Remaining Budget	\$0.00
Total Loan Needed	\$25,187.60

Difference between Borrowed & Loan Estimate **\$11,132.60**

Previously Spent

Outdoor Painting		
Screen work		
Electric		
Foundation		
Window restoration		
Total	\$40,000.00	16000

Total Renovation Cost **\$158,758.81**

To be completed April 2015

A-1 SITE PLAN
A-2 DEMOLITION FLOOR PLAN AND IMAGES
A-3 RENOVATION FLOOR PLAN AND ELEVATIONS
A4 FINISH FLOOR PLAN AND ELEVATIONS
A5 ELECTRICAL PLAN

524 Guenther,
San Antonio, TX 78
Home Renovation

Architects, LLC
9611 Cafe Terrace
San Antonio, TX 78251
210-396-7219
www.chaiarchitects.com
cathleen@chaiarchitects.com

GENERAL INFORMATION

1. Project is located in Bexar County. All building permits will be required per City of San Antonio Development Service Department, state and local codes.
2. Contractor to furnish items as specified when no alternate item(s) or phrase "or equal" is mentioned in item description.

SITE CONSTRUCTION

1. **Clearing** - Contractor is to maintain clean construction site throughout the period of construction. Rubbish and construction debris shall be removed on a daily basis.
2. **Site cleaning** - Following completion of all site work and building construction, rake and celer entire area of site undisturbed by construction operations, removing all building debris, dirts of dirt over 2" diameter, etc. Rake and uniformly level all graded areas and slope grade away from building and pavement.

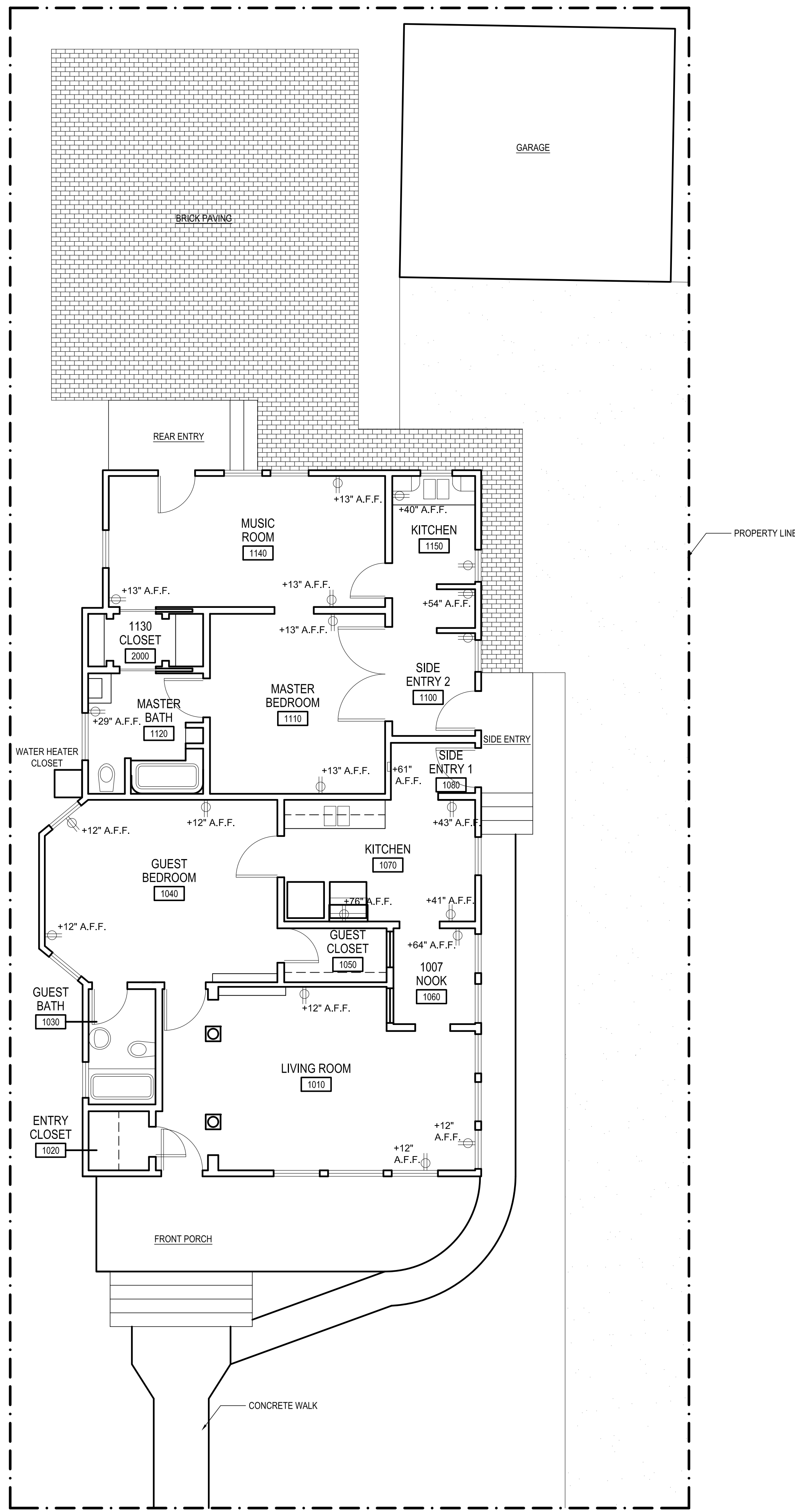
Issue	Date & Issue Description	By	Check
1	10.20.14	MG	CH
CLIENT REVIEW			
2	10.25.14	MG	CH
CONSTRUCTION DOCUMENTS			
3	10.31.14	MG	CH
100% CONSTRUCTION DOCUMENTS			

Seal / Signature _____

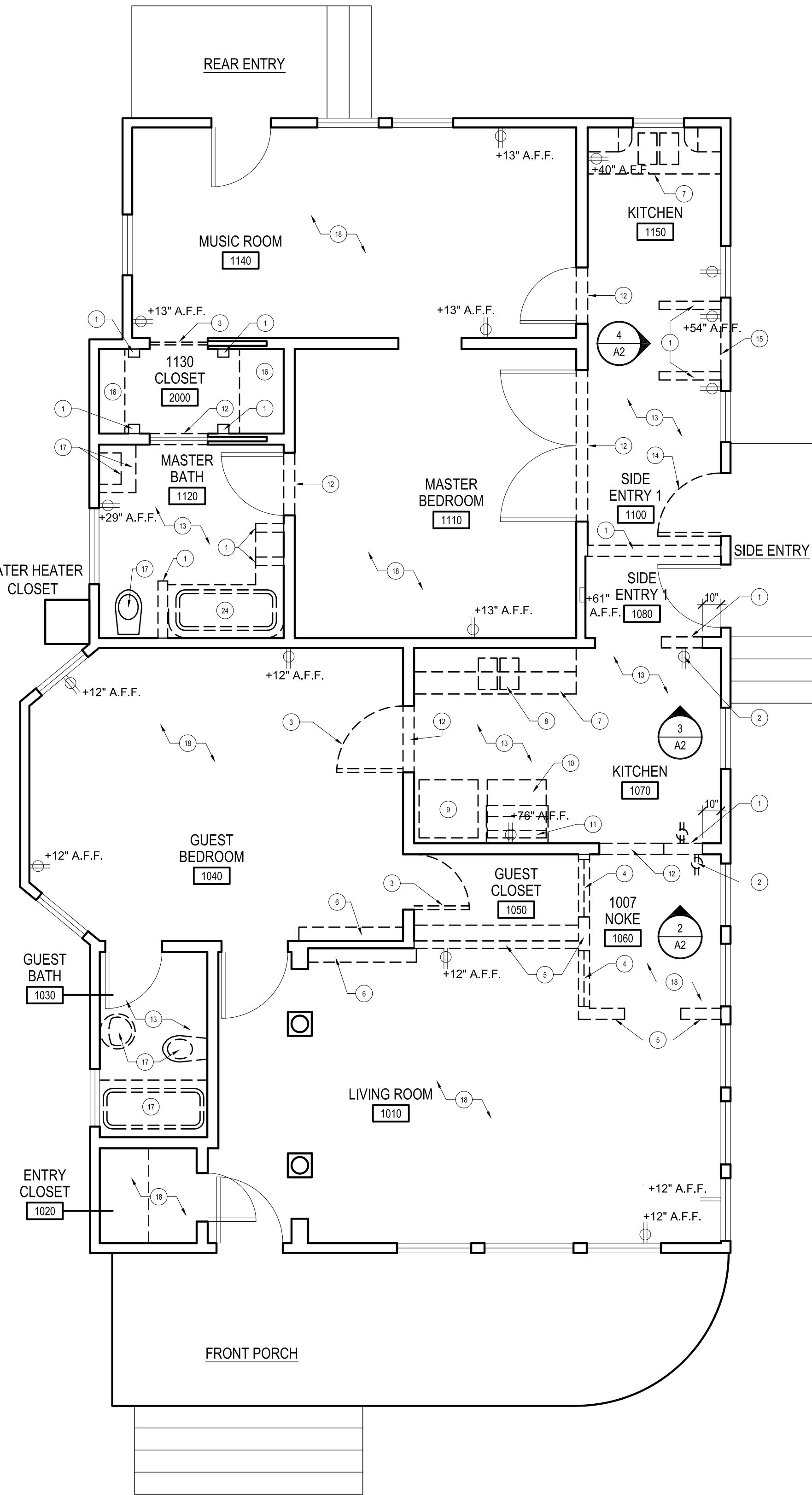


Project Name	524 Guenther house Renovation
Project Number	14AA07
CAD File Name	S:\Guenther House-Renovation.dwg
Description	SITE PLAN
Scale	3/16" = 1'-0"

A-1

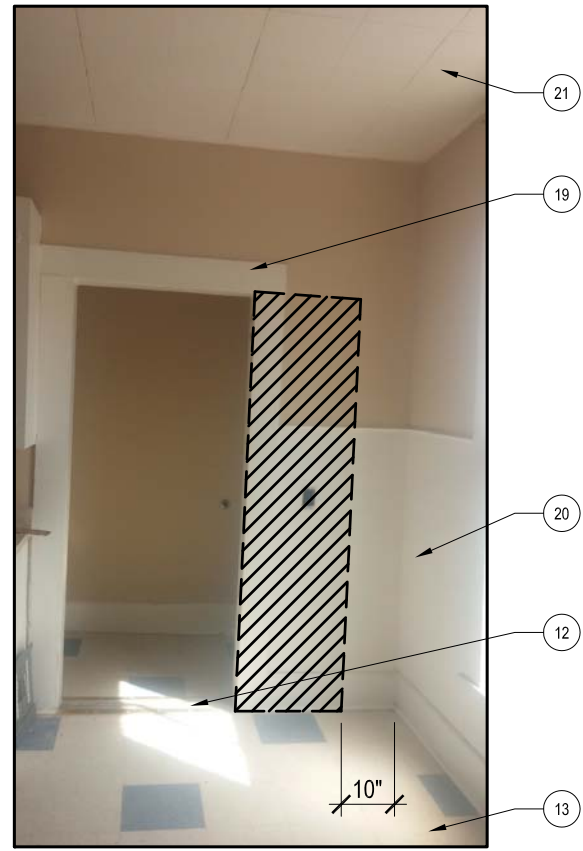


1 SITE PLAN
SCALE: 3/16"=1'-0"



2 DEMOLITION PHOTO

SCALE: N.T.S.



3 DEMOLITION PHOTO

SCALE: N.T.S.



4 DEMOLITION PHOTO

SCALE: N.T.S.



5 DEMOLITION PHOTO

SCALE: N.T.S.

Key Notes

1. PORTION OF EXISTING WALL TO BE REMOVED.
2. EXISTING DUPLEX OUTLET TO BE REMOVED.
3. EXISTING DOOR, DOOR FRAME AND HARDWARE TO BE REMOVED. PREP AREA FOR GYPSUM WALL BOARD INFILL AND FRAMING.
4. EXISTING INTERIOR WINDOW, AND WINDOW FRAME TO BE REMOVED.
5. EXISTING WALL TO BE REMOVED.
6. EXISTING MILLWORK TO BE REMOVED COMPLETE. PATCH AND OR REPAIR GYPSUM WALL BOARD AS REQUIRED TO RECEIVE NEW PAINT FINISH.
7. UPPER AND LOWER CABINETS TO BE REMOVED. PREP AREA TO AS REQUIRED TO RECEIVE NEW FINISHES. REFER TO FINISH PLAN FOR NEW FINISHES.
8. KITCHEN SINK AND DISHWASHER TO BE REMOVED. PREP AREA TO RECEIVE NEW KITCHEN SINK AND NEW DISHWASHER. COORDINATE WITH OWNER FOR OWNER PROVIDED G.C. INSTALLED DISHWASHER ELECTRICAL AND PLUMBING REQUIREMENTS.
9. EXISTING REFRIGERATOR TO BE REMOVED AND STORED. COORDINATE WITH OWNER FOR STORAGE LOCATION. PREP AREA FOR NEW REFRIGERATOR ELECTRICAL AND PLUMBING REQUIREMENTS.
10. EXISTING ELECTRICAL STOVE TO BE REMOVED AND STORED. COORDINATE WITH OWNER FOR STORAGE LOCATION. PREP AREA FOR NEW STOVE ELECTRICAL / GAS AND PLUMBING REQUIREMENTS. COORDINATE WITH OWNER FOR OWNER PROVIDED G.C. INSTALLED EQUIPMENT.
11. EXISTING VENT HOOD TO BE REMOVED AND STORED. COORDINATE WITH OWNER FOR STORAGE LOCATION. PREP AREA FOR NEW OWNER PROVIDED G.C. INSTALLED VENT HOOD. PROVIDE AND INSTALL ALL POWER AS REQUIRED.
12. EXISTING THRESHOLD TO BE REMOVED.
13. EXISTING FLOORING AND SUBSTRATE TO BE REMOVED COMPLETE. PREP AREA FOR NEW FLOOR FINISH.
14. EXISTING DOOR, DOOR FRAME AND HARDWARE TO BE REMOVED. PREP AREA FOR NEW EXTERIOR WALL INFILL AND FRAMING.
15. PORTION OF EXISTING EXTERIOR WALL (INSIDE LOCATION) TO BE PATCHED AND OR REPAIRED TO MATCH EXISTING ADJACENT WALL CONSTRUCTION. PROVIDE IN WALL BATT INSULATION AS NEEDED.
16. CLOSET SHELF AND ROD TO BE REMOVED COMPLETE.
17. PLUMBING FIXTURES AND ACCESSORIES (WATER CLOSET, LAVATORY, BATH TUB, SHOWER ROD, TOILET PAPER HOLDER, MEDICINE CABINET) TO BE REMOVED. PREP AREA(S) FOR NEW PLUMBING FIXTURES AND ACCESSORIES. COORDINATE WITH OWNER FOR OWNER PROVIDED G.C. INSTALLED ITEMS.
18. AT ALL WOOD FLOORING LOCATIONS, G.C. TO PREP FLOOR FOR NEW FLOOR FINISH, TYPICAL THROUGHOUT.
19. EXISTING WOOD FRAME TO BE REMOVED. PREP AREA TO RECEIVE NEW WOOD FRAME TO MATCH EXISTING REMOVED FRAME PROFILE AND DIMENSIONS. REFER TO RENOVATION PLAN FOR NEW WORK.
20. EXISTING WOOD WAINSCOT TO BE REMOVED. TYPICAL THROUGHOUT. PREP AREA TO RECEIVE NEW FINISH. REFER TO FINISH PLAN FOR DETAILS.
21. EXISTING CEILING TILES TO BE REMOVED TYPICAL THROUGHOUT. PREP AREA FOR NEW GYPSUM BOARD CEILING.
22. REMOVE ALL DAMAGED WOOD BASE AND TRIM. TYPICAL THROUGHOUT SCOPE OF WORK. PREP AREA FOR NEW WOOD BASE AND TRIM AS REQUIRED FOR SCOPE OF WORK.
23. REMOVE ALL DAMAGED GYPSUM WALL BASE, TYPICAL THROUGHOUT SCOPE OF WORK. PREP AREA AS REQUIRED TO RECEIVE NEW GYPSUM WALL BASE.
24. EXISTING TUB TO BE REMOVED AND STORED. COORDINATE WITH OWNER FOR STORAGE LOCATION.

General Notes

1. THE BUILDER SHALL COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE (IRC), UNIFIED DEVELOPMENT CODE (UDC), UNIVERSAL DESIGN STANDARDS (UDS), INTERNATIONAL ENERGY CONSERVATION CODE (IECC) FOR RESIDENTIAL BUILDINGS, ORDINANCES AND ASSOCIATED REGULATORY AUTHORITIES.
2. EXAMINATION OF THE SITE: THE BUILDER SHALL BE HELD RESPONSIBLE TO HAVE EXAMINED THE SITE AND SATISFIED HIMSELF AS TO THE EXISTING CONDITIONS UNDER WHICH HE WILL BE OBLIGATED TO OPERATE AND PERFORM THE WORK OF THE CONTRACT. THE BUILDER SHALL NOTIFY THE OWNER AND DESIGN REPRESENTATIVE PRIOR TO EXECUTION OF CONTRACT, OF ANY IMPROVEMENTS OR OBJECTS THAT WILL OBSTRUCT AND HINDER CONSTRUCTION ACTIVITIES.
4. BUILDING PERMITS: THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING REQUIRED COMPLIANCE DATA FOR THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC). THE BUILDER SHALL GIVE ALL NOTICES AND COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, CODES, RULES, AND REGULATIONS.

Site Notes

1. COORDINATE THE LOCATION OF ALL CONSTRUCTION STAGING, PARKING, AND TEMPORARY FACILITIES WITH OWNER PRIOR TO CONSTRUCTION.
2. RESTORE ANY INSTALLATION INCLUDING ASPHALT DRIVE, CONCRETE WALK, CURBS, SODDED AREAS, LANDSCAPING AND OTHER INSTALLATIONS DAMAGED BY THE WORK OF THIS CONTRACT. THE CONTRACTORS WORKERS, THE STAGING OF THE CONTRACTORS MATERIALS, ETC.

General Demolition Notes

THE DEMOLITION WORK IS INCLUDED ON THE DRAWINGS FOR GUIDANCE ONLY TO INDICATE TYPICAL CONSTRUCTION FEATURES AND IS NOT TO BE CONSTRUCTED AS DEFINITIVE OR ADEQUATE TO SUPPLANT THE ACTUAL ON-SITE INSPECTION BY THE CONTRACTOR

EVERY ITEM OR CONDITION NECESSARY TO BE REMOVED FOR INSTALLATION OF NEW WORK MAY NOT BE SHOWN

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, FITTING, OR PATCHING REQUIRED TO COMPLETE THE WORK OR TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY

DEMOLITION SHALL INCLUDE REQUIRED CUTTING, EXCAVATION, REMOVAL AND PROPER OFF-SITE DISPOSAL OF EXISTING MATERIAL NECESSARY FOR THE PLACEMENT OF NEW WORK. ALL SUCH WORK SHALL BE INCLUDED IN THE CONTRACTORS PROPOSAL

PROTECT ALL OPENINGS IN THE WALLS, ROOFS ETC. DURING THE DEMOLITION PROCESS. REPAIR ANY EXISTING CONSTRUCTION, INTERIOR OR EXTERIOR DAMAGED BY THE FAILURE TO PROVIDE PROTECTION

REMOVE ALL EXISTING DEBRIS. CONTRACTOR TO HAUL OFF, AND LEGALLY DISPOSE AND PAY DISPOSAL FEES FOR ALL DEMOLISHED ITEMS

UTILITY SERVICES ARE TO BE REMOVED BACK TO SOURCE, SHUTOFF VALVE, DISCONNECT OR BRANCH, CAP UTILITY AS REQUIRED BY UTILITY COMPANY CODE OR OWNER. IF ABANDONED IN PLACE, INDICATE PLAN AND ELEVATION ON AS-BUILT DRAWINGS.

Guenther House

524 Guenther,
San Antonio, TX 78
Home Renovation

CHAI

Architects, LLC

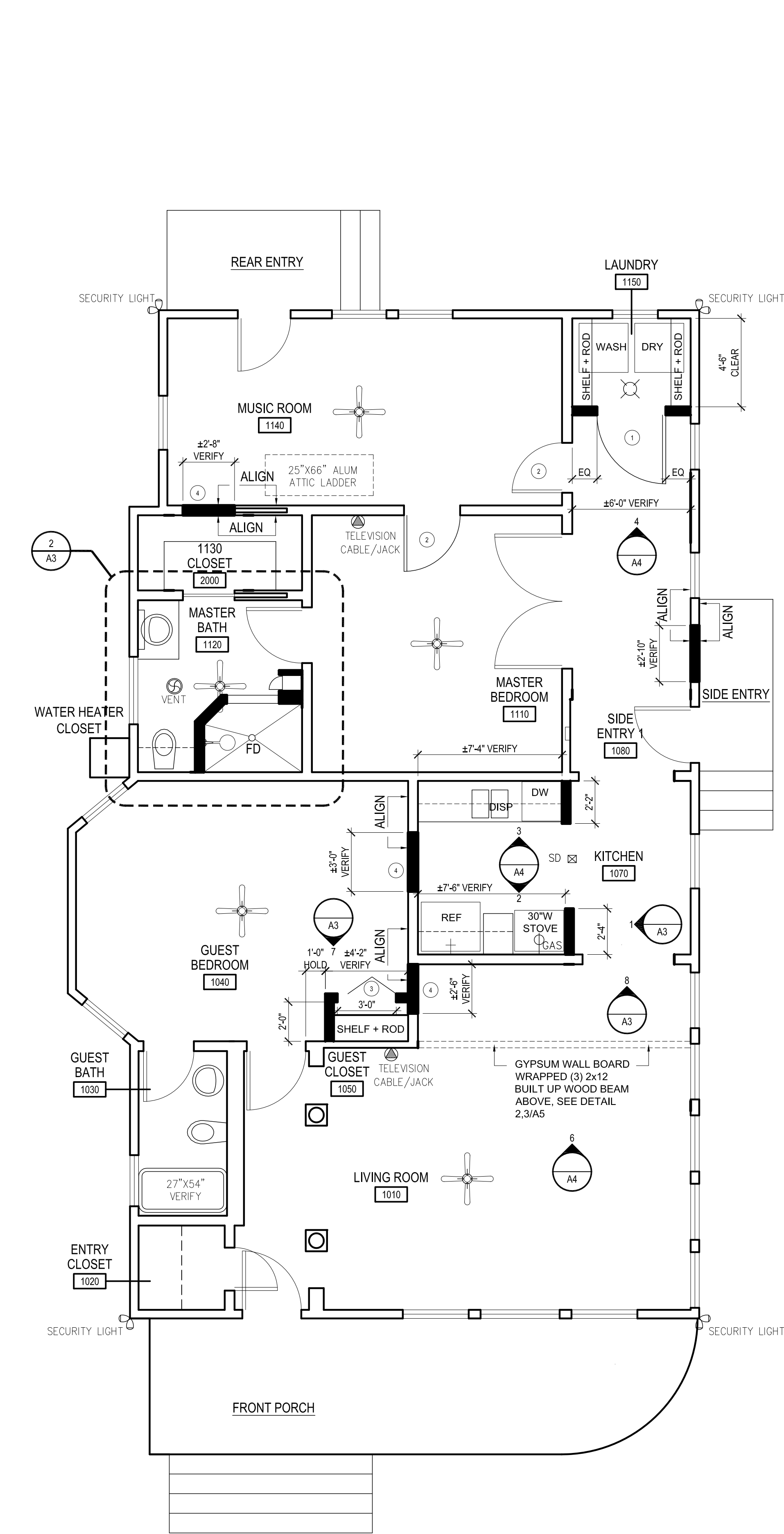
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100% CONSTRUCTION DOCUMENTS			

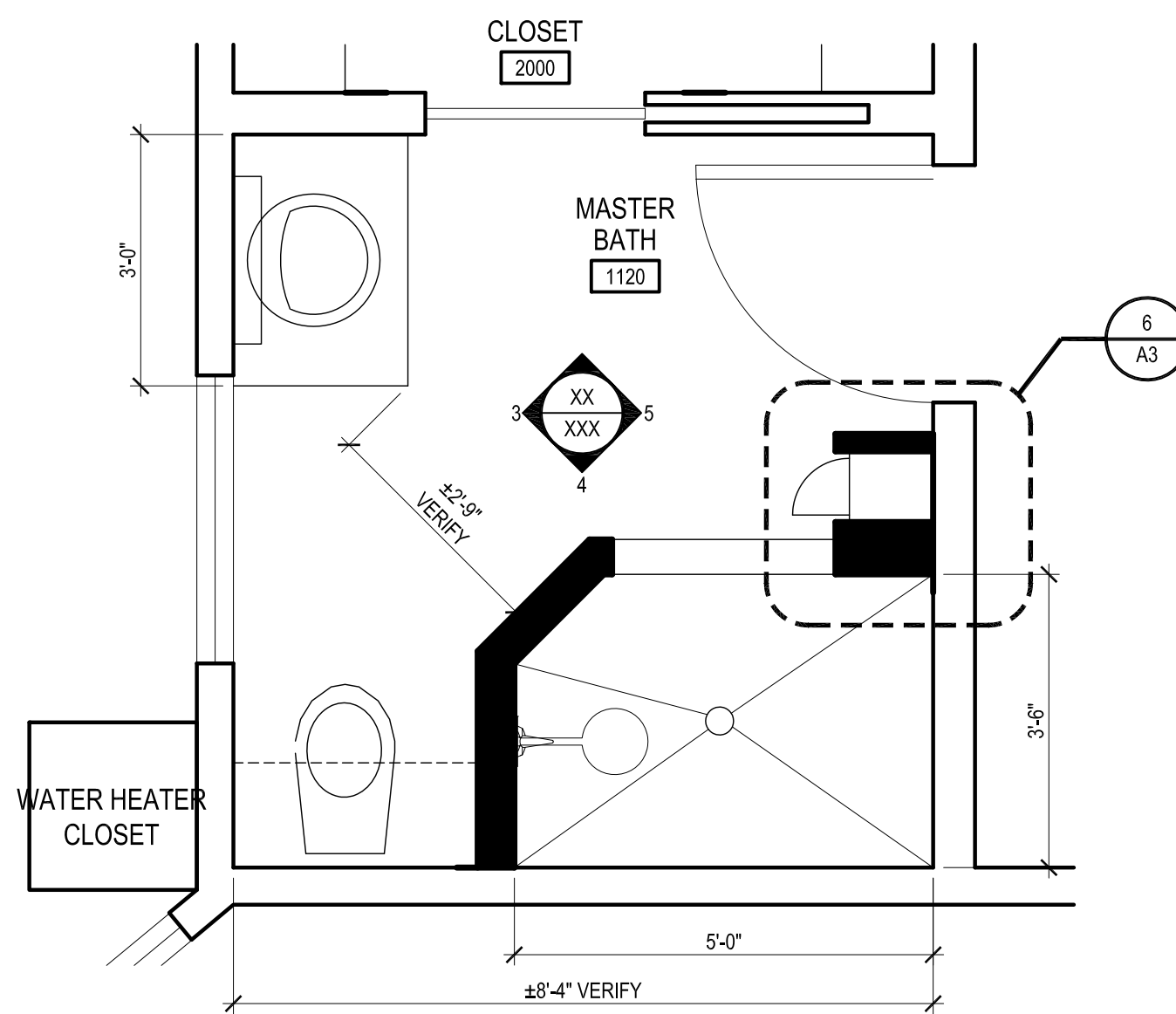
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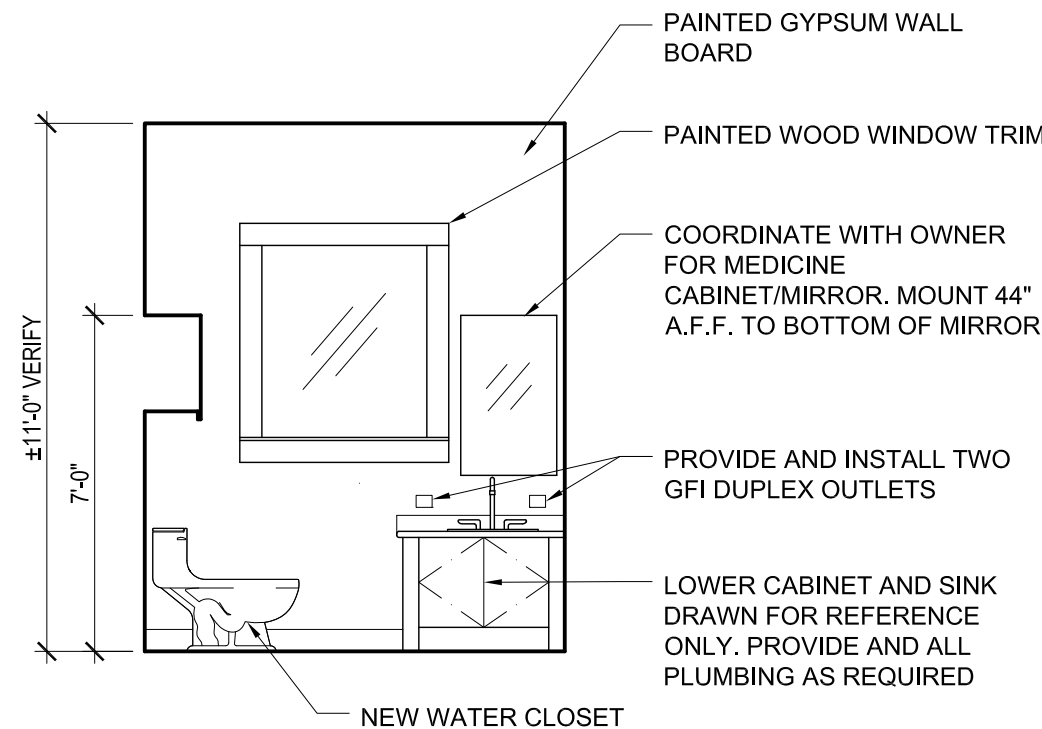
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Project Number	14AA07
CAD File Name	S:\Guenther House-Renovation.dwg
Description	Demolition Plan
Scale	1/4" = 1'-0"



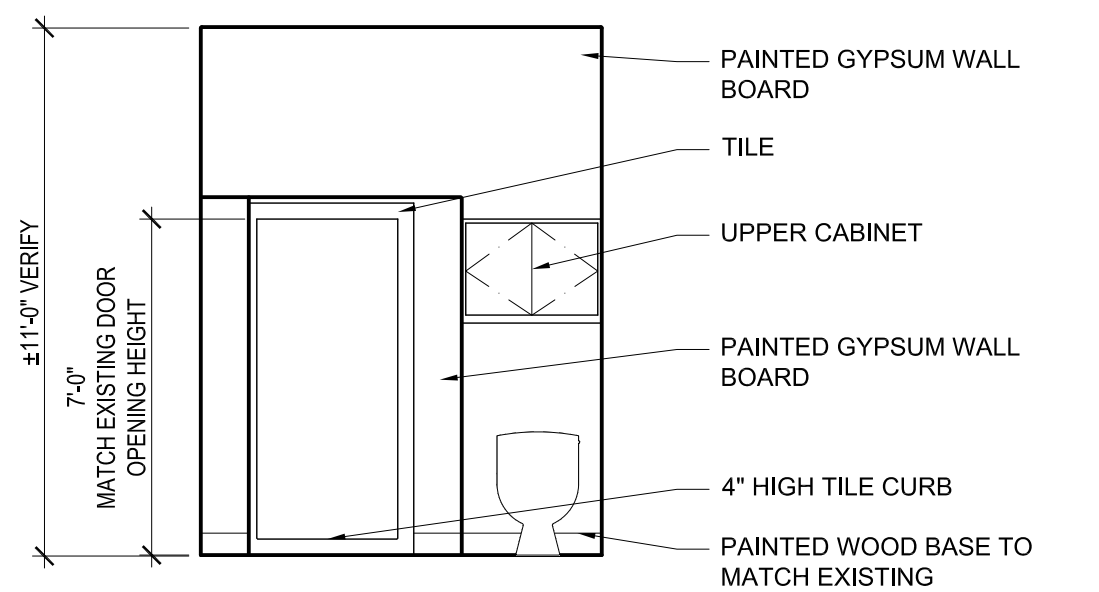
1 RENOVATION PLAN
SCALE: 1/4"=1'-0"



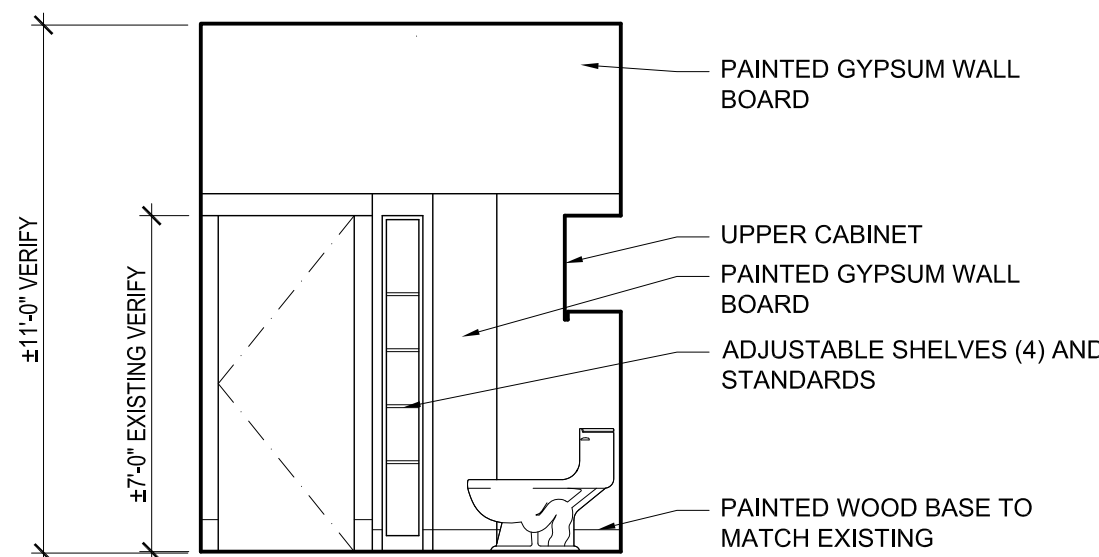
2 ENLARGED PLAN
SCALE: 1/2"=1'-0"
NOTE: G.C. TO COORDINATE WITH OWNER FOR ALL MILLWORK (UPPER AND LOWER CABINETS). PROVIDE ALL PLUMBING, ELECTRICAL CONDUIT WIRING AND PIPING AS REQUIRED AT ALL LOCATIONS



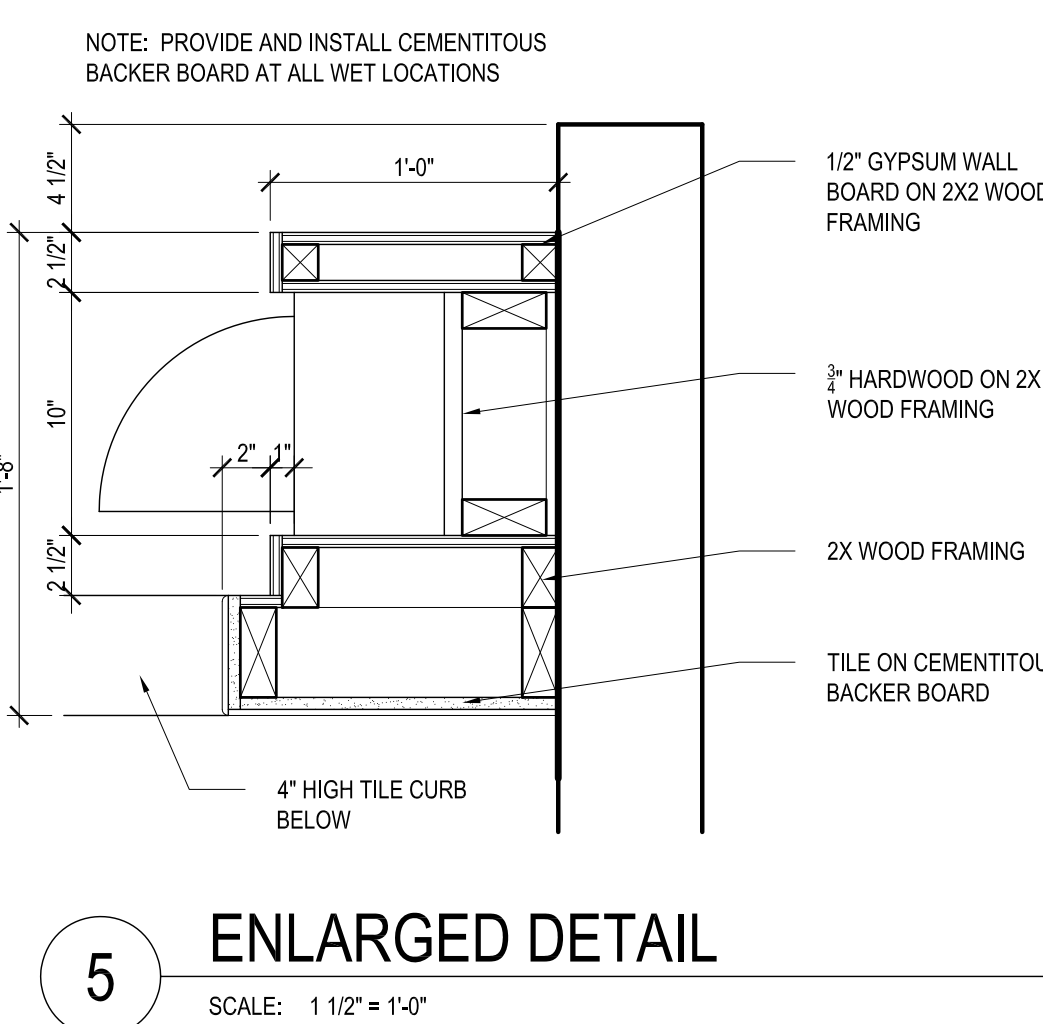
3 ELEVATION @ BATHROOM
SCALE: 1/4"=1'-0"



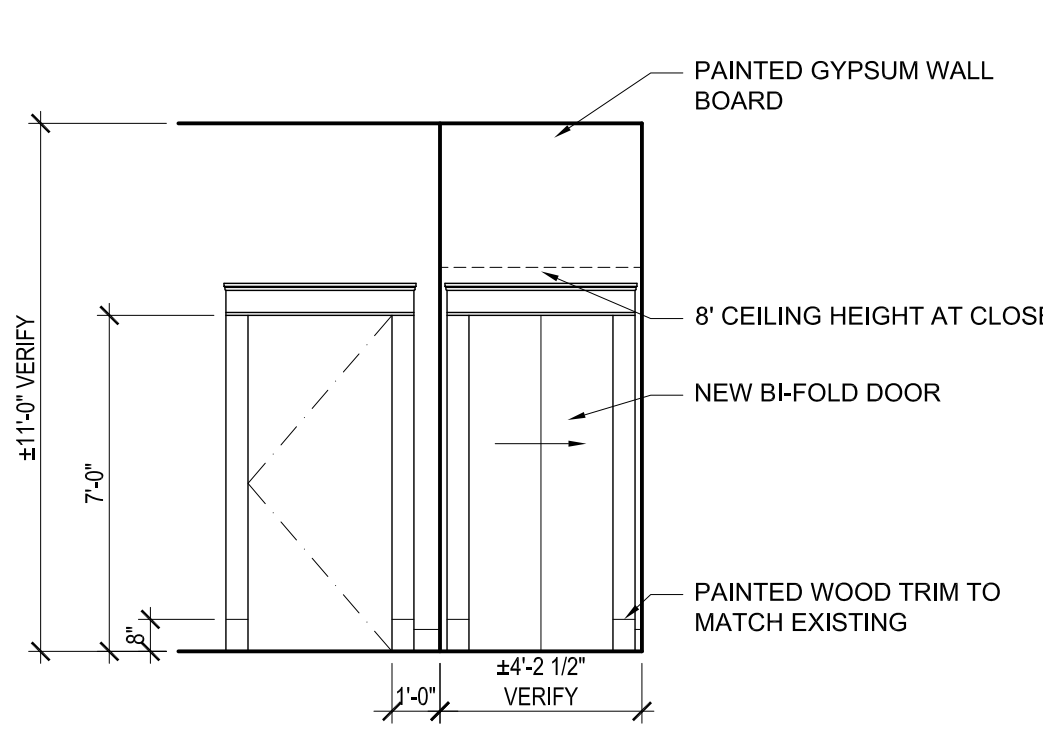
4 ELEVATION @ BATHROOM
SCALE: 1/4"=1'-0"



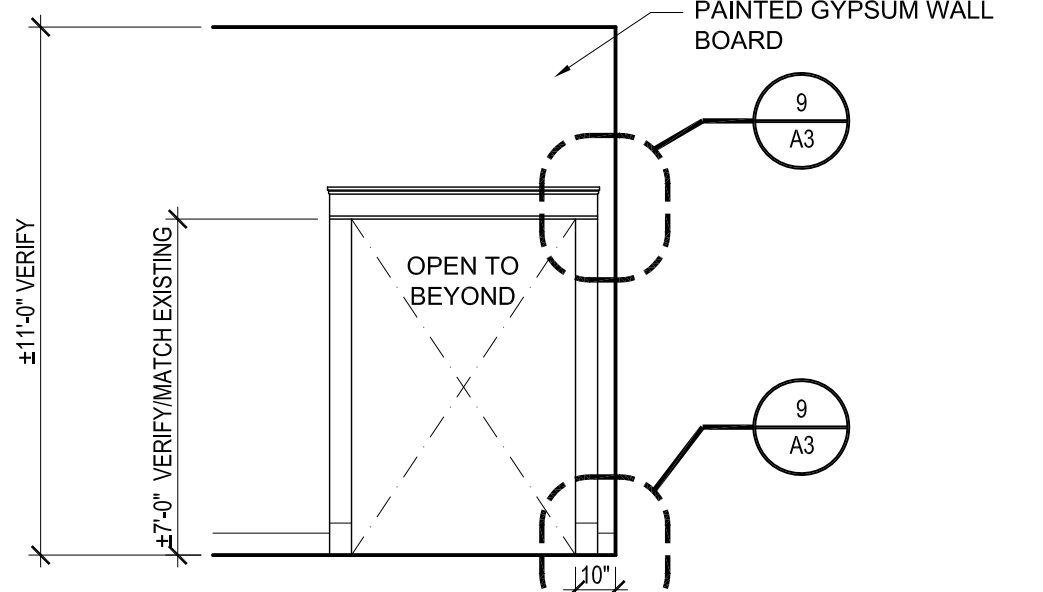
5 ELEVATION @ BATHROOM
SCALE: 1/4"=1'-0"



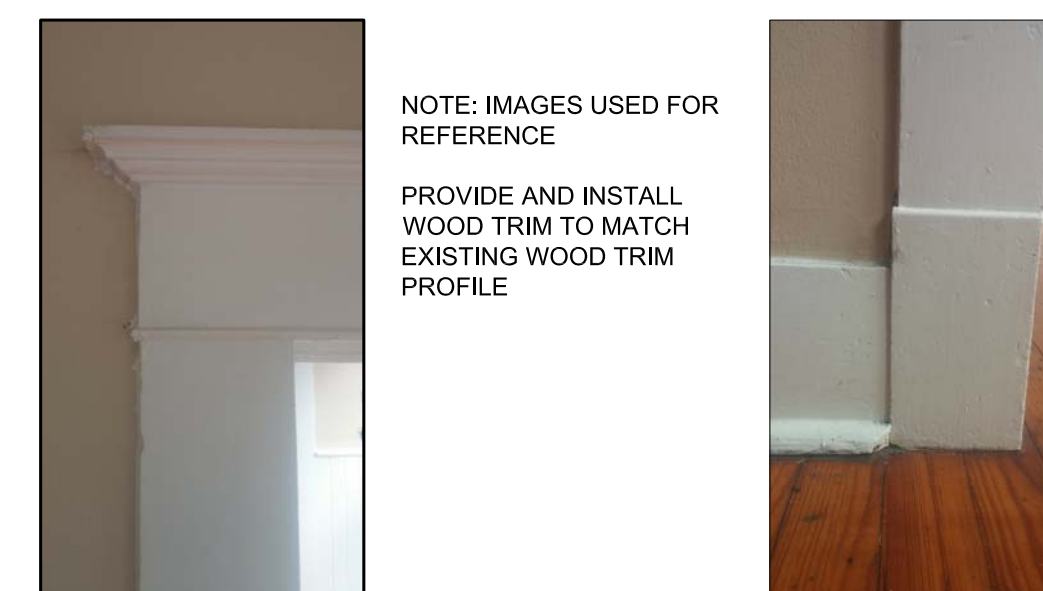
5 ENLARGED DETAIL
SCALE: 1 1/2"=1'-0"



7 GUEST CLOSET
SCALE: 1/4"=1'-0"



8 INTERIOR ELEVATION
SCALE: 1/4"=1'-0"



9 WOOD TRIM AT ALL LOCATIONS
SCALE: 1/4"=1'-0"

General Notes

G.C. TO COORDINATE WITH OWNER FOR ALL MILLWORK / CABINETRY, EQUIPMENT (WASHER, DRYER, DISPOSAL, DISHWASHER, STOVE, REFRIGERATOR, MEORWAVE/VENT HOOD) AND PLUMBING FIXTURES (KITCHEN SINK, BATHROOM SINK, WATER CLOSETS, AND BATH TUB). OWNER SELECTED G.C. INSTALLED.

ALL ELECTRICAL CONDUITS/LINES SHALL BE CONCEALED IN WALLS AND OUTLET BOXES SHALL BE FLUSH WITH FINISHED WALL UNLESS OTHERWISE NOTED.

ALL WIRING DEVICES OTHER THAN SWITCHES SHALL BE MOUNTED AT 18" AFF TO CENTERLINE UNLESS OTHERWISE NOTED.

ALL RECEPTACLE AND SWITCH PLATES SHALL BE WHITE IN COLOR.

OUTLETS SHOWN ARE A MINIMUM QUANTITY. CONTRACTOR HAS OPTION OF REUSING EXISTING IN LIEU OF NEW ONES IF EXISTING OUTLETS ARE WITH IN 3'-0" OF THOSE SHOWN ON PLAN.

CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING OUTLET LOCATIONS WITH OWNER PROVIDED EQUIPMENT

Key Notes

- 1 PROVIDE AND INSTALL NEW 3'-6" WIDE DOOR, AND DOOR FRAME.
- 2 PROVIDE AND INSTALL NEW DOOR, G.C. TO VERIFY DOOR WIDTH AND HEIGHT WITH EXISTING CONDITIONS. ADJUST DOOR FRAME AS REQUIRED FOR COMPLETE INSTALLATION FOR NEW DOOR.
- 3 PROVIDE AND INSTALL NEW BI-FOLD DOOR
- 4 GYPSUM WALL BOARD INFILL AND FRAMING. ALIGN ALL NEW GYPSUM WALL BOARD WITH EXISTING ADJACENT GYPSUM WALL BOARD. PROVIDE AND INSTALL BATT INSULATION AT ALL GYPSUM WALL BOARD INFILL LOCATIONS.

Symbols Legend

- EXISTING PAIR OF DOORS
- EXISTING DOOR
- NEW DOOR (XXX = DOOR NUMBER)
- NEW LAVATORY
- NEW WATER CLOSET
- NEW TUB/SHOWER
- NEW LOWER CABINET
- NEW KITCHEN SINK
- NEW UPPER CABINET
- NEW REFRIGERATOR. PROVIDE AND INSTALL ELECTRICAL AND PLUMBING
- NEW PLUMBING FOR ICE MAKER
- NEW STOVE. G.C. TO COORDINATE WITH OWNER FOR ELECTRICAL / GAS CONNECTIONS
- NEW WASHER. PROVIDE AND INSTALL ELECTRICAL AND PLUMBING REQUIREMENTS FOR A COMPLETE INSTALLATION
- NEW DRYER. PROVIDE AND INSTALL ELECTRICAL / GAS AND VENT AS REQUIRED FOR A COMPLETE INSTALLATION

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Seal / Signature



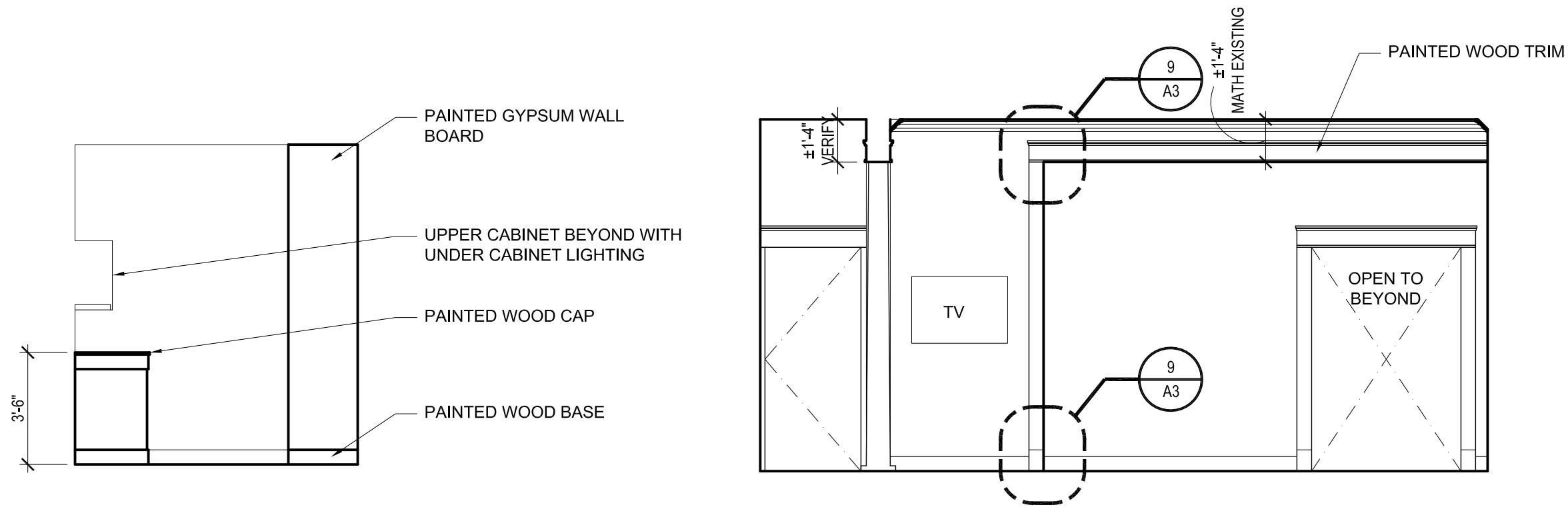
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Project Number
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CAD File Name
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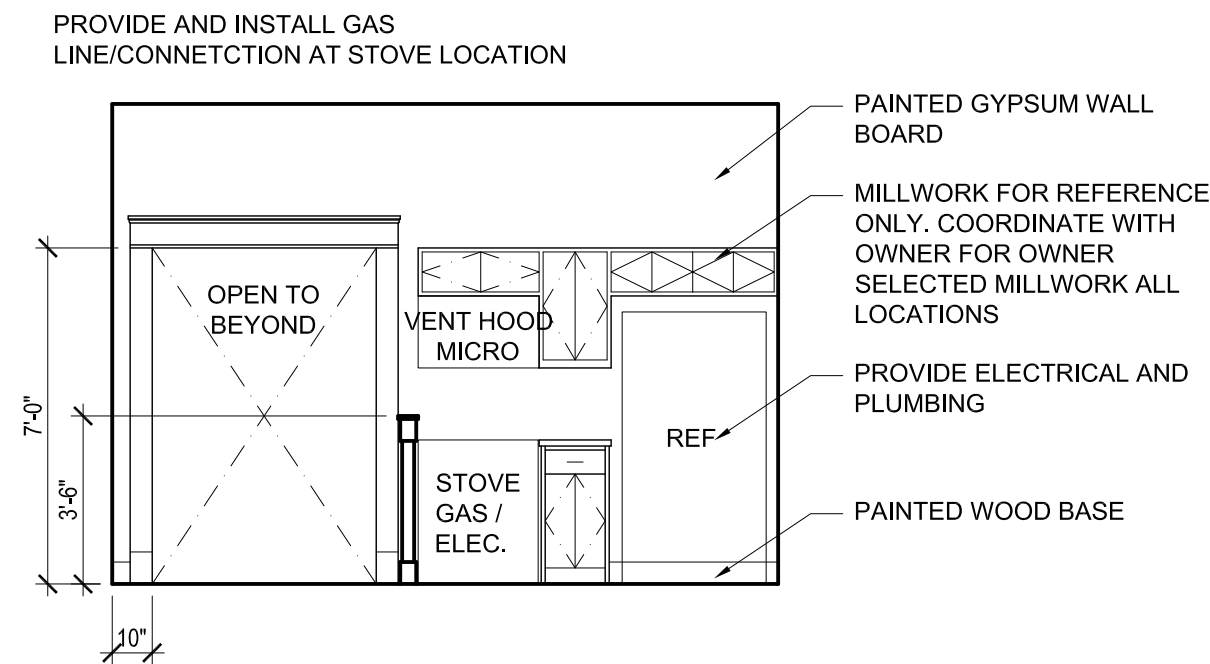
Description
Renovation Plan

Scale
1/4" = 1'-0"



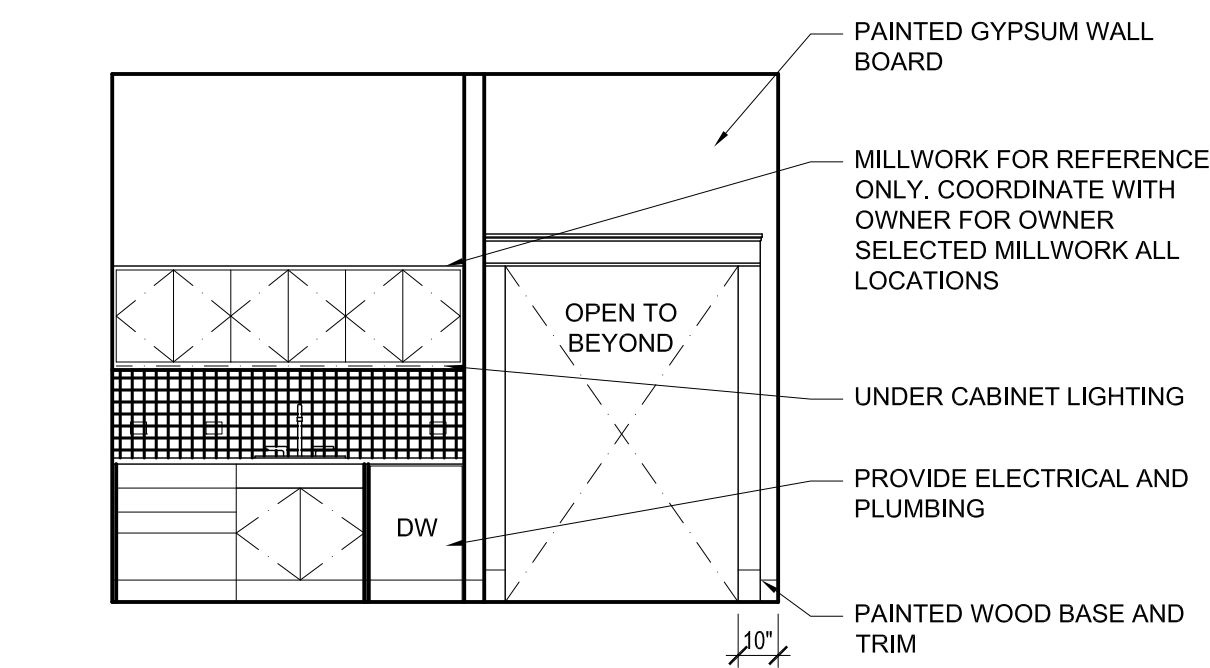
1 ELEVATION
SCALE: 1/4"=1'-0"

5 ELEVATION
SCALE: 1/4"=1'-0"

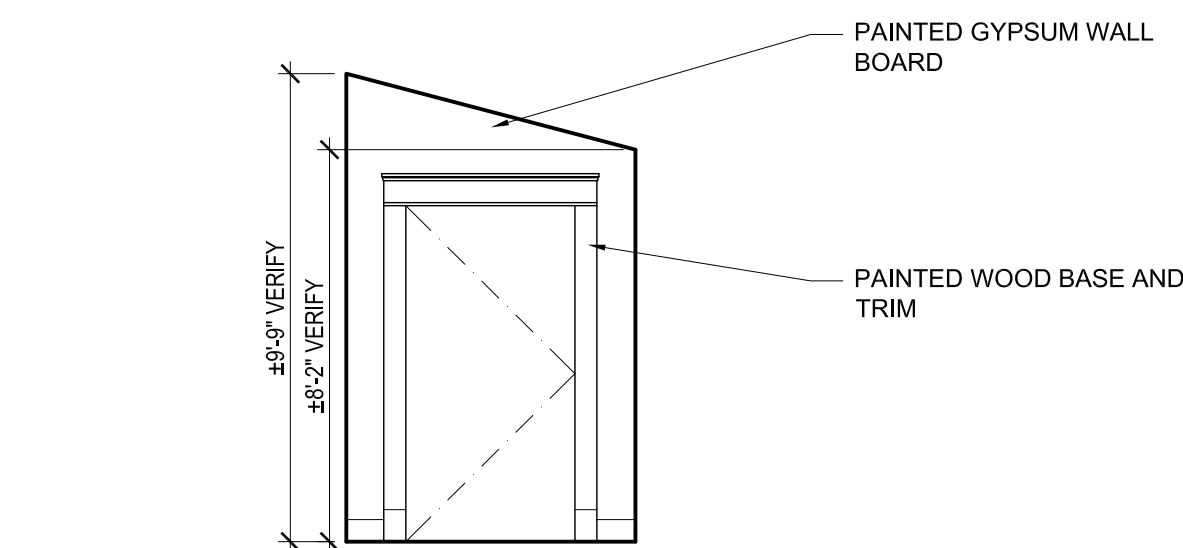


2 ELEVATION
SCALE: 1/4"=1'-0"

NOTE: PROVIDE AND INSTALL LIGHTING AT ALL KITCHEN UPPER CABINET LOCATIONS



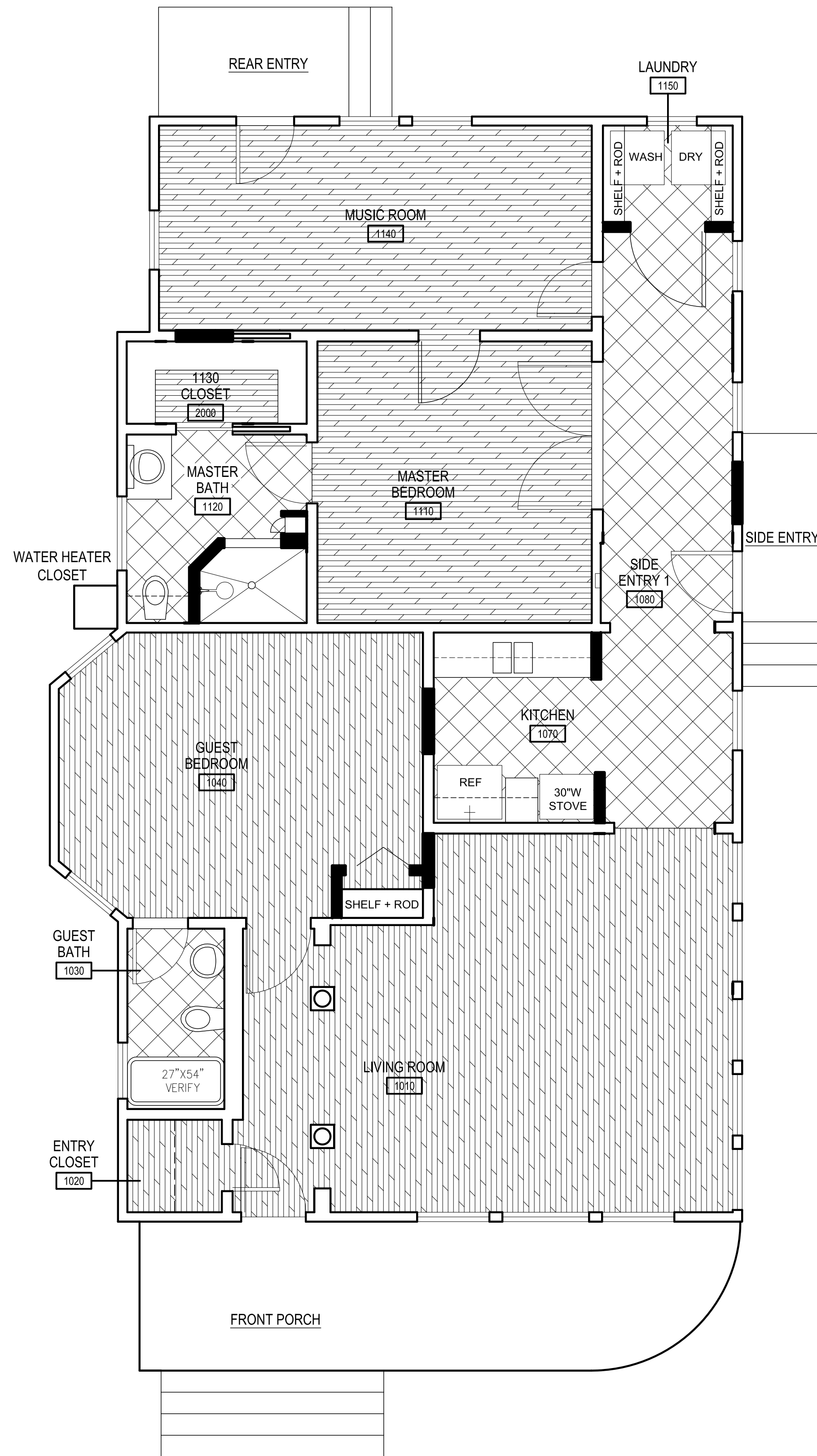
3 ELEVATION
SCALE: 1/4"=1'-0"



4 ELEVATION
SCALE: 1/4"=1'-0"

FINISH SCHEDULE				
MATERIAL	MANUFACTURER	MANUFACTURER NO.	COLOR	REMARKS
COUNTERTOP - KITCHEN				
BACK SPLASH - KITCHEN				
FLOOR TILE				CONTRACTOR TO VERIFY TILE PATTERN WITH OWNER PRIOR TO INSTALLATION.
PAINT - WALL				
PAINT - TRIM				

- FINISH NOTES**
- ALL FINISHES SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS FOR THE PARTICULAR SURFACE.
 - SAMPLES OF FINISH COLOR AND MATERIAL SHALL BE FIELD APPLIED FOR APPROVAL BY OWNER OR OWNER REPRESENTATIVE PRIOR TO ORDERING OF MATERIALS.
 - ALL WALLS SHALL BE PROPERLY SPACKLED, SANDED AND PRIMED FOR PAINTING.
 - FLOOR MATERIAL TRANSITION SHALL OCCUR AT CENTERLINE OF DOOR UNLESS NOTED OTHERWISE.
 - CONTRACTOR SHALL LAYOUT FLOOR AND BASE MATERIALS AND REVIEW WITH OWNER OR OWNER REPRESENTATIVE PRIOR TO INSTALLATION.
 - FINISH EXPOSED EDGES OF TILE WITH SEALER AS SPECIFIED.
 - PROVIDE FLOOR TRANSITION STRIPS AT DISSIMILAR MATERIALS.



6 FINISH FLOOR PLAN
SCALE: 1/4"=1'-0"

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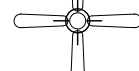
Description
Finish Floor plan and Elevations

Scale
1/4" = 1'-0"


LEGEND (FOR REFERENCE ONLY)



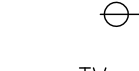
Wall Line




CEILING FAN W/ LIGHT FIXTURE




TYPICAL FLOOD/SECURITY LIGHT



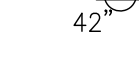
CABLE CONNECTION




DUPLEX RECEPTACLE - 110




DUPLEX RECEPTACLE GROUND FAULT INDICATOR




CONVENIENCE OUTLET WITH HEIGHT AT FIN. FLR.



GAS CONNECTION

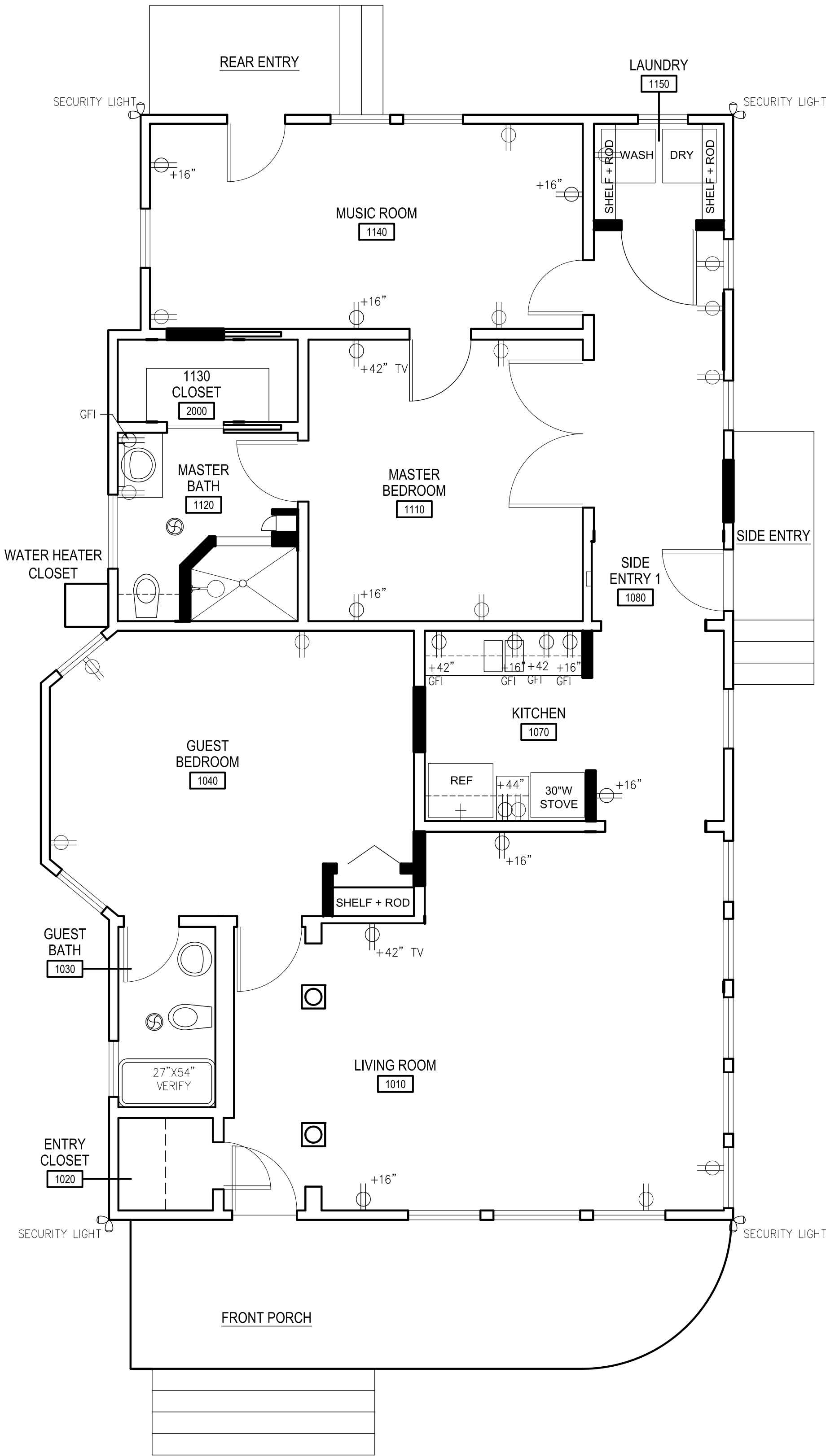


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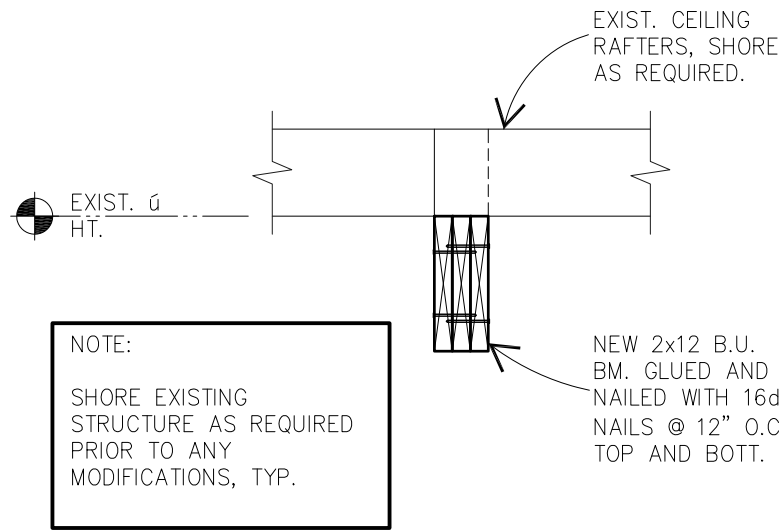


SMOKE DETECTOR

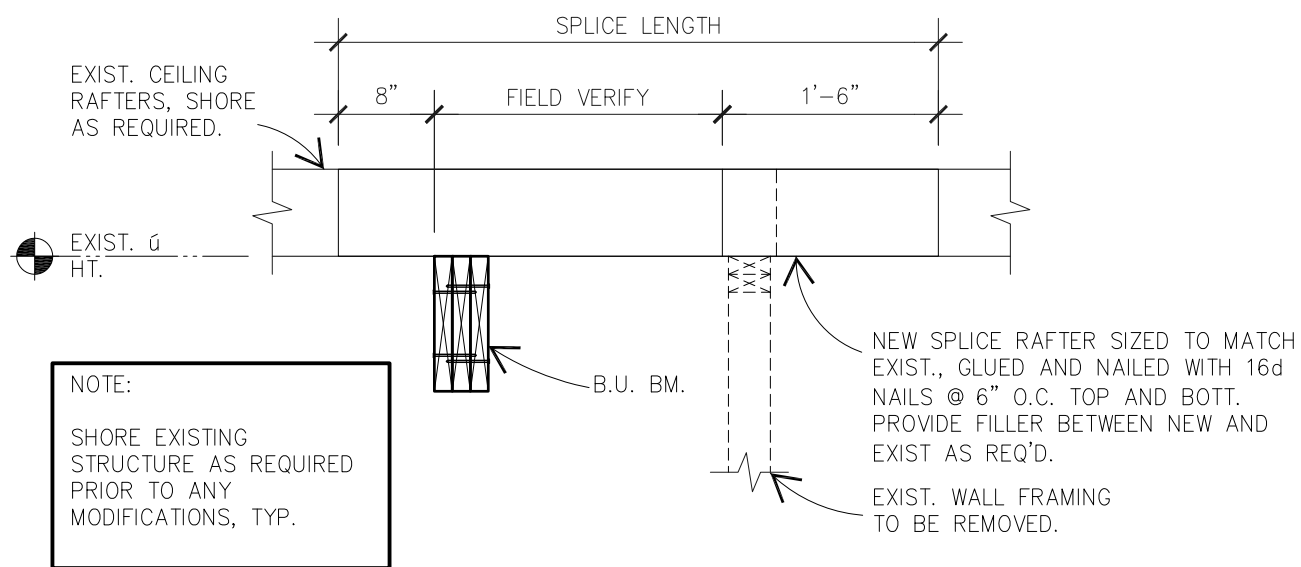
ELECTRICAL PLAN USED FOR REFERENCE ONLY. G.C. TO COORDINATE ALL ELECTRICAL LOCATIONS AND QUANTITIES WITH OWNER PRIOR TO INSTALLATION



1 ELECTRICAL PLAN
SCALE: 1/4"=1'-0"



2 TYPICAL HEADER DETAIL FOR LOAD BEARING WALL REPLACEMENT
SCALE: 3/4"=1'-0" TYP. U.N.O.



3 TYPICAL HEADER/SPLICE DETAIL FOR LOAD BEARING WALL REPLACEMENT
SCALE: 3/4"=1'-0" TYP. U.N.O.

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Issue	Date & Issue Description	By	Check
1	10.20.14	MG	CH
CLIENT REVIEW			
2	10.28.14	MG	CH
CONSTRUCTION DOCUMENTS			
3	10.25.14	MG	CH
100% CONSTRUCTION DOCUMENTS			

Seal / Signature



Project Name	524 Guenther house Renovation
Project Number	14AA07
CAD File Name	S:\Guenther House-Renovation.dwg
Description	Electrical Plan
Scale	1/4" = 1'-0"