

HISTORIC AND DESIGN REVIEW COMMISSION

May 06, 2015

Agenda Item No: 24

HDRC CASE NO: 2015-162
ADDRESS: 1115 MISSION RD
LEGAL DESCRIPTION: NCB 20 BLK LOT 54 EXC NE IRR 202.76FT PER DEED 11586/0964 EXEC 06-24-05
ZONING: MF33 H RIO-4
CITY COUNCIL DIST.: 3
DISTRICT: Mission Historic District
APPLICANT: Carl Bain
OWNER: Seton Homes
TYPE OF WORK: Parking lot expansion
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

Expanding parking on the site by constructing a new parking lot that is to accommodate parking for fifteen (15) vehicles.

APPLICABLE CITATIONS:

UDC Section 35-672, Neighborhood Wide Design Standards

(b) Automobile Access and Parking. Automobile circulation should be efficient, and conflicts with pedestrians minimized. Entry points for automobiles should be clearly defined and connections to auto circulation on adjoining properties are encouraged to facilitate access and reduce traffic on abutting public streets.

(1) Curb Cuts.

A. Limit curb cuts to two (2) on parking areas or structures facing only one (1) street, and one (1) for each additional street face. The prohibition of additional curb cuts may be waived by the HDRC where the intent of the standards are clearly met and specific site circulation patterns require an additional curb cut, such as on long parcels or at nodes.

B. Curb cuts may be no larger than twenty-five (25) feet zero (0) inches. Continuous curb cuts are prohibited.

C. Sharing curb cuts between adjacent properties, such as providing cross property access easements, is permitted.

(2) Location of Parking Areas. Automobile parking in new developments must be balanced with the requirements of active environments. Large expanses of surface parking lots have a negative impact on street activity and the pedestrian experience. New commercial and residential structures can accommodate parking needs and contribute to a pedestrian-friendly streetscape.

A. Locate parking areas, that is any off-street, ground level surface used to park cars or any parking structure, toward the interior of the site or to the side or rear of a building.

B. The extent of parking area that may be located along the street edge or riverside shall be limited to a percentage of the lot line as per Table 672-1 as measured in a lineal direction parallel to the lot line. All parking within a thirty-foot setback from the above mentioned lot line shall comply with the requirements of the table. Where parking is located on corner sites only one (1) lot line has to meet the requirements of the table.

C. Parking lots should be avoided as a primary land use. Parking lots as a primary use are prohibited in RIO-3 and for all properties that fall within one hundred (100) feet of the river right-of-way in all RIO districts.

(3) Screen or Buffer Parking Areas From View of Public Streets, the River or Adjacent Residential Uses. (see Figure 672-2). Parking lots shall be screened with a landscape buffer as per the illustrations of bufferyards and Table 510-2 if the parking area meets one (1) of the following conditions:

A. Within a fifty-foot setback from the edge of the river ROW use, at a minimum, type E; or

B. Within a twenty-foot setback from a property line adjacent to a street use, at a minimum, type B; or

C. Within a twenty-foot setback of commercial or industrial property that abuts a residential property use, at a minimum, type C.

Sec. 35-630. - Designated Archaeological Sites.

(a) Designated archaeological sites shall be treated as any other exceptional or significant resource and shall be reviewed by the historic preservation office, in consultation with the city archaeologist and the historic and design review commission following the procedures set forth in sections 35-608 to 35-613 of this article.

(b) Owners of property containing designated archaeological sites are encouraged to educate the citizens of San Antonio regarding archaeological components of the site and shall coordinate any efforts with the office of historic preservation. (Ord. No. 2010-06-24-0616, § 2, 6-24-10)

Sec. 35-634. - Cemeteries.

All applicants for permits, excluding burial permits, affecting cemeteries shall be referred to the city historic preservation officer for the purpose of determining whether or not the cemetery is historically, culturally, architecturally, or archaeologically exceptional or significant. If the cemetery is determined by the city historic preservation officer to be exceptional or significant, any proposed change, excluding burials, must be presented to the historic and design review commission for approval of planned work. If a court of competent jurisdiction has granted permission for cancellation or destruction of such cemetery, any plans for new construction must be approved thereafter by the historic and design review commission before construction commences. The historic and design review commission shall be governed in its recommendations by regulations set forth in Texas state law for cemeteries excluding burial permits.

UDC Section. 35-675. Archaeology.

When an HDRC application is submitted for commercial development projects within a river improvement overlay district the city archeologist shall review the project application to determine if there is potential of containing intact archaeological deposits utilizing the following documents/methods:

- (1) The Texas Sites Atlas for known/recorded sites, site data in the files of the Texas Archeological Research Laboratory and the Texas Historical Commission;
- (2) USGS maps;
- (3) Soil Survey maps;
- (4) Distance to water;
- (5) Topographical data;
- (6) Predictive settlement patterns;
- (7) Archival research and historic maps;
- (8) Data on file at the office of historic preservation.

If after review the city archeologist determines there is potential of containing intact archaeological deposits, an archaeological survey report shall be prepared and submitted. If, after review by the city archeologist, a determination is made that the site has little to no potential of containing intact archaeological deposits, the requirement for an archaeological survey report may be waived.

Upon completion of a survey, owners of property containing inventoried archaeological sites are encouraged to educate the public regard

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

3. Landscape Design

A. PLANTINGS

iii. *Native xeric plant materials*—Select native and/or xeric plants that thrive in local conditions and reduce watering usage. See UDC Appendix E: San Antonio Recommended Plant List—All Suited to Xeriscape Planting Methods, for a list of appropriate materials and planting methods. Select plant materials with a similar character, growth habit, and light requirements as those being replaced.

B. ROCKS OR HARDSCAPE

i. *Impervious surfaces* —Do not introduce large pavers, asphalt, or other impervious surfaces where they were not historically located.

iii. *Rock mulch and gravel* - Do not use rock mulch or gravel as a wholesale replacement for lawn area. If used, plantings should be incorporated into the design.

FINDINGS:

- a. The applicant is proposing to construct a new parking lot at 1115 Mission Rd that is to contain fifteen (15) new parking spaces. The applicant has proposed materials of asphalt paving and concrete curbs and wheel stops. The applicant has proposed to use the existing curb cuts on site and has provided a tree preservation plan regarding the protection and preservation of the site's existing trees throughout construction.
- b. The UDC Section 35-672 (3)(b) states that the construction of parking within a twenty (20) foot setback of public streets must be screened with a landscaping buffer. The applicant has not provided information regarding the screening of the proposed parking lot from the public right of way. The applicant should refer to UDC Appendix E: San Antonio Recommended Plant List for information regarding landscaping materials that are appropriate for properties in the River Improvement Overlay.
- c. The UDC Section 35-675 states that an HDRC application for commercial development projects within a river improvement overlay district shall be reviewed by the city archaeologist to determine if there is potential of containing intact archaeological deposits. The applicant is responsible for complying with this section of the. All excavations must meet the requirements for archaeology outlined in UDC Sections 35-630, 35-634, 35-675 and 35-606.

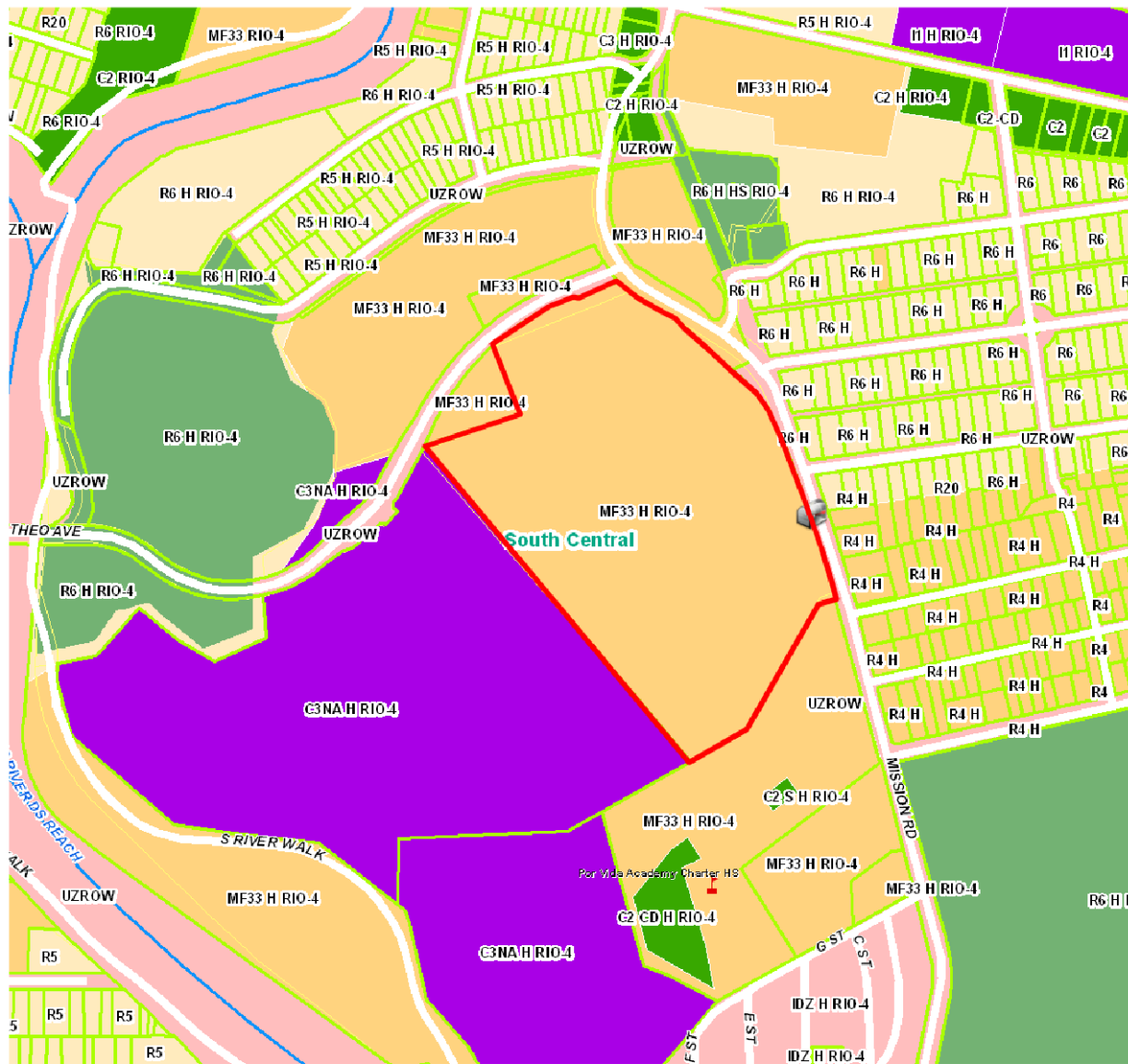
RECOMMENDATION:

Staff recommends approval based on findings a through c with the following stipulations:

- i. That applicant refer to UDC Appendix E: San Antonio Recommended Plant List for information regarding landscaping materials that are appropriate for properties in the River Improvement Overlay prior to returning to the HDRC.

CASE MANAGER:

Edward Hall



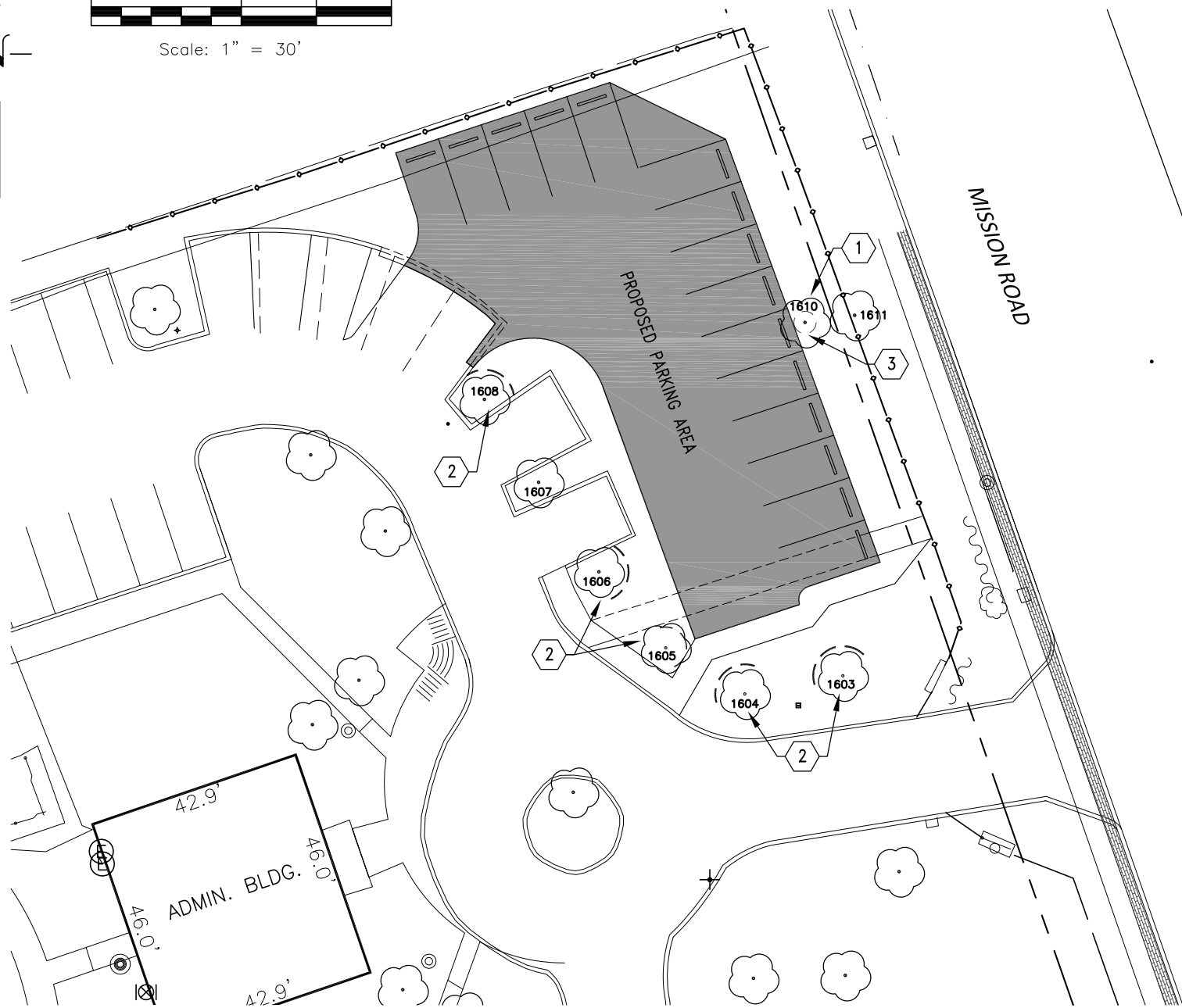
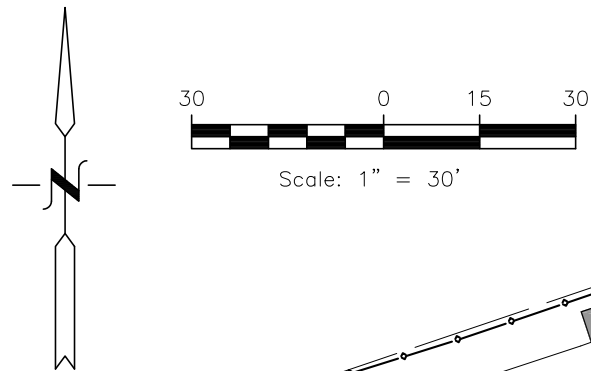


Flex Viewer

Powered by ArcGIS Server

Printed: Apr 28, 2015

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LANDSCAPE ORDINANCE - 70 POINTS REQUIRED

- 1) TREE PRESERVATION (40 POINTS MAX.)

12" TO <18" CALIPER: 8x8 Points = 64 Points

40 POINTS
- 2) PARKING LOT SHADING (25% SHADING):

25% x 5250 S.F. Parking Area = 1313 S.F.

6 Oak Trees (Yard) @ 875 = 5250 S.F.

2 Pecan Trees (Street) @ 1200 = 2400 S.F.

Total: 7650 S.F. > 1313 S.F.

25 POINTS
- 3) STREET TREES (25 Points):

Street Yard Frontage: 144 L.F.

144 L.F. / 50 Ft. O.C. = 2 Trees Required.

2 Existing Trees (12" to <18")

Total: 85 POINTS > 70 OK

5 EXISTING PARKING SPACES
15 ADDITIONAL PARKING SPACES

LEGEND

- 1608

TREE SYMBOL / TAG NUMBER
- TREE PROTECTION
- 1

TREE LIST		
TAG	SIZE & TYPE	DRIP DIA.
1603	12" OAK	50'
1604	12" OAK	50'
1605	13" OAK	50'
1606	12" OAK	40'
1607	12" OAK	40'
1608	15" OAK	40'
1610	17" PECAN	60'
1611	17" PECAN	60'

TREE PRESERVATION SCHEDULE

TREE NUMBER	TREE DIAMETER		SIGNIFICANT TREES 6"< 24" (@40% MIN.)		HERITAGE TREES (24"+ @100%)			TREE CANOPY (S.F.)
			TO REMAIN	TO BE REMOVED	TO REMAIN	TO BE REMOVED(3:1)	TO BE REMOVED(3:1)	
1603	12"	OAK	12"					875
1604	12"	OAK	12"					875
1605	13"	OAK	13"					875
1606	12"	OAK	12"					875
1607	12"	OAK	12"					875
1608	15"	OAK	15"					875
1610	17"	PECAN	17"					1200
1611	17"	PECAN	17"					1200
SUB-TOTAL INCHES:			110"	0	0	0	0	7650
TOTAL ON-SITE INCHES:			110"		0			
MIN. REQUIRED INCHES:			44"		0			
% INCHES PRESERVED:			100%		0.00%			
SURPLUS INCHES:			0		0			
INCHES TO BE MITIGATED:			0		0			
LESS INCHES MITIGATED W/EXTG TREES:			0		0			
TOTAL SURPLUS INCHES:			0		0			
TOTAL MITIGATED INCHES PROVIDED:			0		0			

PRELIMINARY

FOR REVIEW ONLY

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MB

BAIN MEDINA BAIN, INC.
TBPE No.1712
TBPLS No.10020900

Engineer:

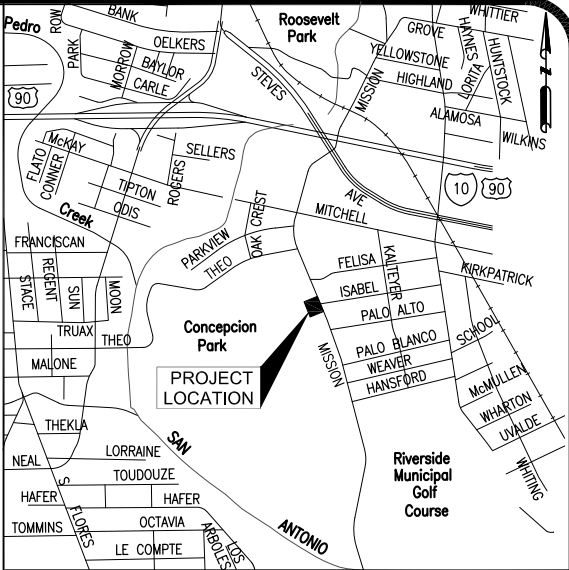
CARL BAIN

04-02-15

P.E. No. 56996

Date

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LOCATION MAP
N.T.S

KEY NOTES

- 1

TREE 1610 – 17" PECAN TO BE WARRANTED.
- 2

TREE PROTECTION LEVEL II A. SEE LANDSCAPE DETAILS.
- 3

TREE PROTECTION LEVEL II B. SEE LANDSCAPE DETAILS.

SETON HOME
1115 MISSION ROAD
PARKING LOT IMPROVEMENTS
LANDSCAPE PLAN

MB

BAIN MEDINA BAIN, INC.
ENGINEERS & SURVEYORS
7073 San Pedro
San Antonio, Texas 78216
210/494-7223
TBPE: F-1712 / TBPLS: 10020900

DESIGNED BY:

R.E.M.

DRAWN BY:

R.E.M.

APPROVED BY:

C.B.

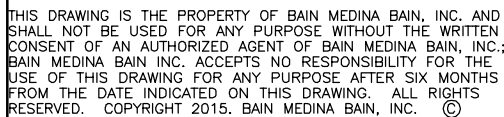
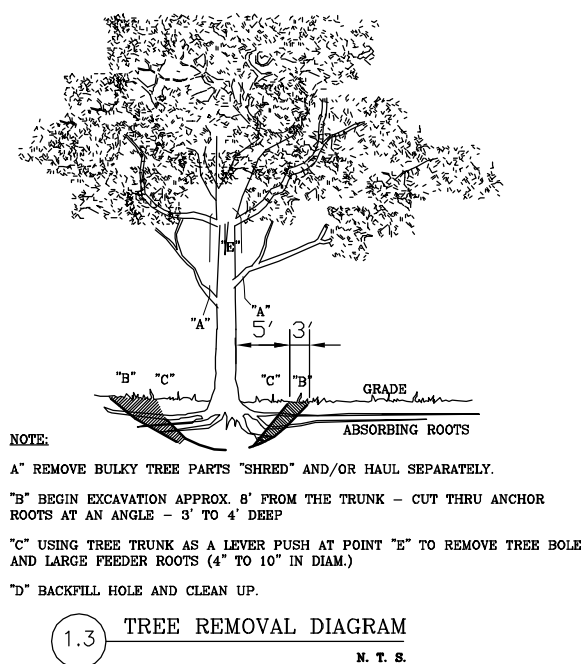
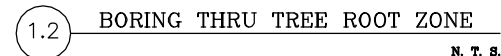
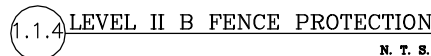
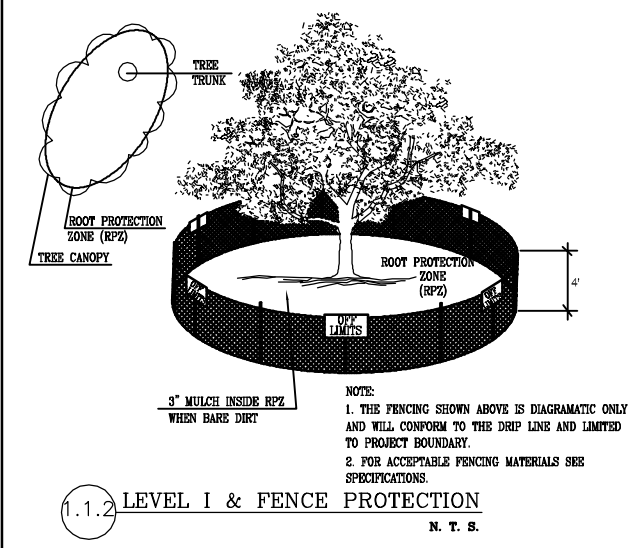
DATE:

OCTOBER 2014

JOB NO.:

C-1399

SHEET 5 OF 6



- 1.3 GENERAL NOTES

[illegible]

CITY OF SAN ANTONIO



DEPARTMENT OF PUBLIC WORKS


CITY OF SAN ANTONIO
TREE PROTECTION DETAILS
TREE PRESERVATION

DESIGNED:	FED. RD. DIV. NO.	STATE				SHT. NO.
CHECKED:		TEXAS				1 OF 4
DRAWN:	STATE DIST. NO.	COUNTY	CONTROL NO.	SECT. NO.	JOB NO.	HIGHWAY NO.
CHECKED:		BEXAR				

SHEET 6 OF 6

PRELIMINARY

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TBPLS No.10020900

Engineer: CARL BAIN 04-02-15
P.E. No. 56996 Date

SETON HOME
1115 MISSION ROAD
PARKING LOT IMPROVEMENTS
TREE PRESERVATION



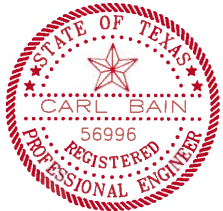
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SETON HOME

1115 Mission Road

San Antonio, Texas

October 2014



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CARL BAIN
P.E. 56996
01/23/2015

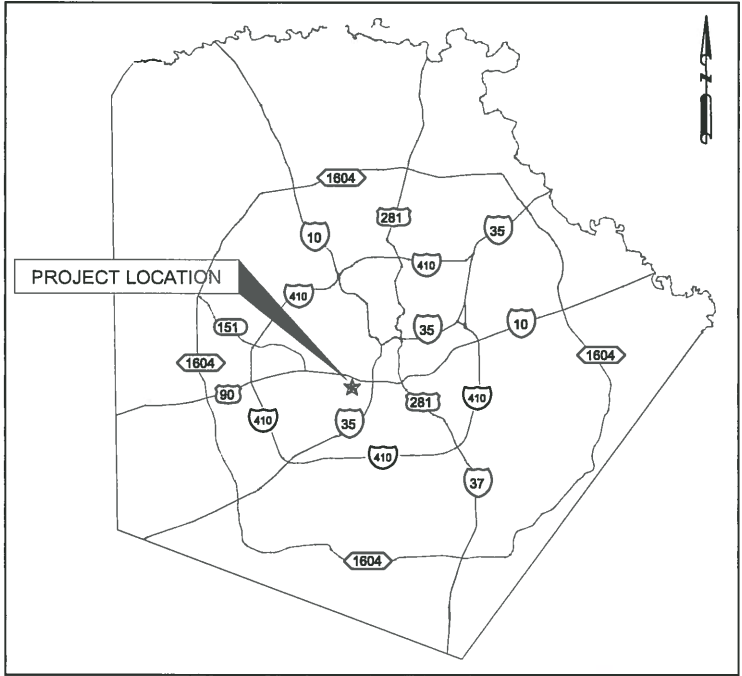
Carl Bain

INDEX OF DRAWINGS

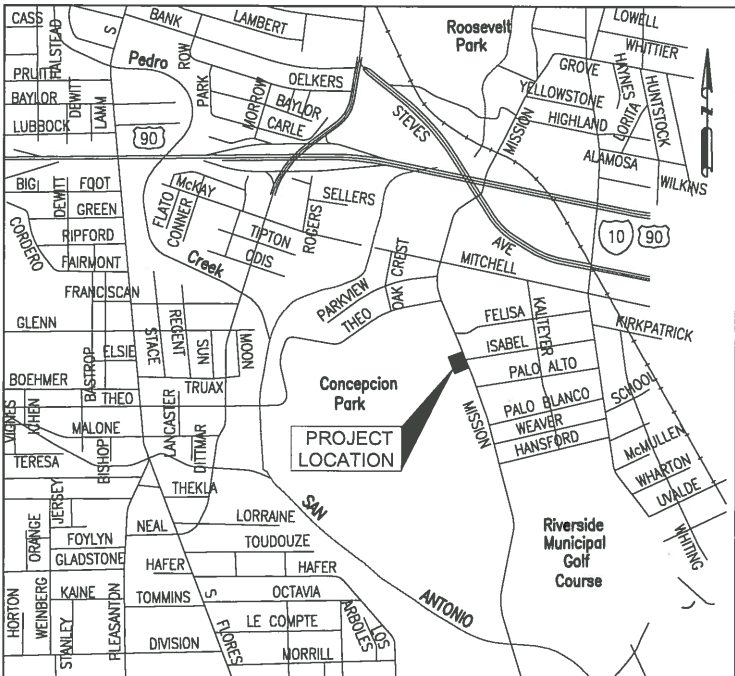
C-1	TITLE SHEET
C-2	DEMOLITION & DIMENSION CONTROL
C-3	SITE GRADING PLAN
C-4	CIVIL DETAILS

SITE WORK GENERAL NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO THE PROJECT PLANS, AND CITY OF SAN ANTONIO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. GRASSPAVE2 SHALL CONFORM TO THE MANUFACTURERS SPECIFICATIONS.
2. ANY CHANGES IN THE SCOPE OF WORK SHALL BE APPROVED BY THE OWNER AND ENGINEER BEFORE THE CONTRACTOR COMMENCES WITH THE CHANGES.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL, OR BETTER CONDITION, ANY DAMAGE DONE TO EXISTING FENCES, CONCRETE ISLANDS, STREET PAVING, CURBS, SHRUBS, BUSHES OR DRIVEWAYS. (NO SEPARATE PAY ITEM).
4. DUE TO FEDERAL REGULATIONS TITLE 49, PART 192.171, C.P.S. MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
5. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL WASTE MATERIALS UPON PROJECT COMPLETION. THE CONTRACTOR SHALL NOT PERMANENTLY PLACE ANY WASTE MATERIALS IN THE 100-YEAR FLOOD PLAIN WITHOUT FIRST OBTAINING AN APPROVED FLOOD PLAIN DEVELOPMENT PERMIT.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING ALL CONSTRUCTION STAKES, MARKS, ETC. THE ENGINEER SHALL PROVIDE VERTICAL INFORMATION TO BE VERIFIED BY THE CONTRACTOR.
7. ALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS SHALL BE PLACED PRIOR TO COMMENCING CONSTRUCTION AND REMOVED BY THE CONTRACTOR AFTER FINAL ACCEPTANCE OF THE PROJECT.
8. THE CONTRACTOR SHALL CONFINE HIS OPERATIONS TO THE IMMEDIATE WORK AREA AND SHALL PROVIDE SAFETY OF PERSONS AND PROPERTY. EXISTING VEGETATION, PLANTS, SHRUBS, TREES AND GRASS, ETC., SHALL BE PROTECTED AS REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL, OR BETTER CONDITION, ANY DAMAGE DONE TO STREETS, PARKING AREAS, CURBS, WALKS, DRIVES, FENCES, ETC. REPAIRS OR REPLACEMENT SHALL NOT BE CONSIDERED A SEPARATE PAY ITEM.
9. ALL DISTURBED AREAS SHALL BE SODDED UPON COMPLETION OF CONSTRUCTION.
10. CONTRACTOR IS REQUIRED TO CLEAN UP DAILY AND MAINTAIN SIDEWALKS AROUND WORK AREAS FREE OF MUD, DIRT, AND DEBRIS.
11. CONTRACTOR SHALL NOTIFY ENGINEER FOR INSPECTION OF WORK BEFORE CONTINUING AND COMPLETION. (IE. CONCRETE POURS, BASE PLACEMENT ETC.).
12. CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS.
13. CONTRACTOR TO PROVIDE TESTING BY THE TESTING LAB APPROVED BY THE ENGINEER.
14. CONTRACTOR TO PROVIDE MATERIAL SUBMITTALS AND TESTING TO ENGINEER FOR REVIEW.
15. CONTRACTOR TO CONTACT TEXAS ONE CALL AT 1-800-344-8377 FOR UTILITY LOCATES AND PROTECT UTILITIES DURING CONSTRUCTION.

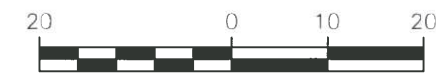
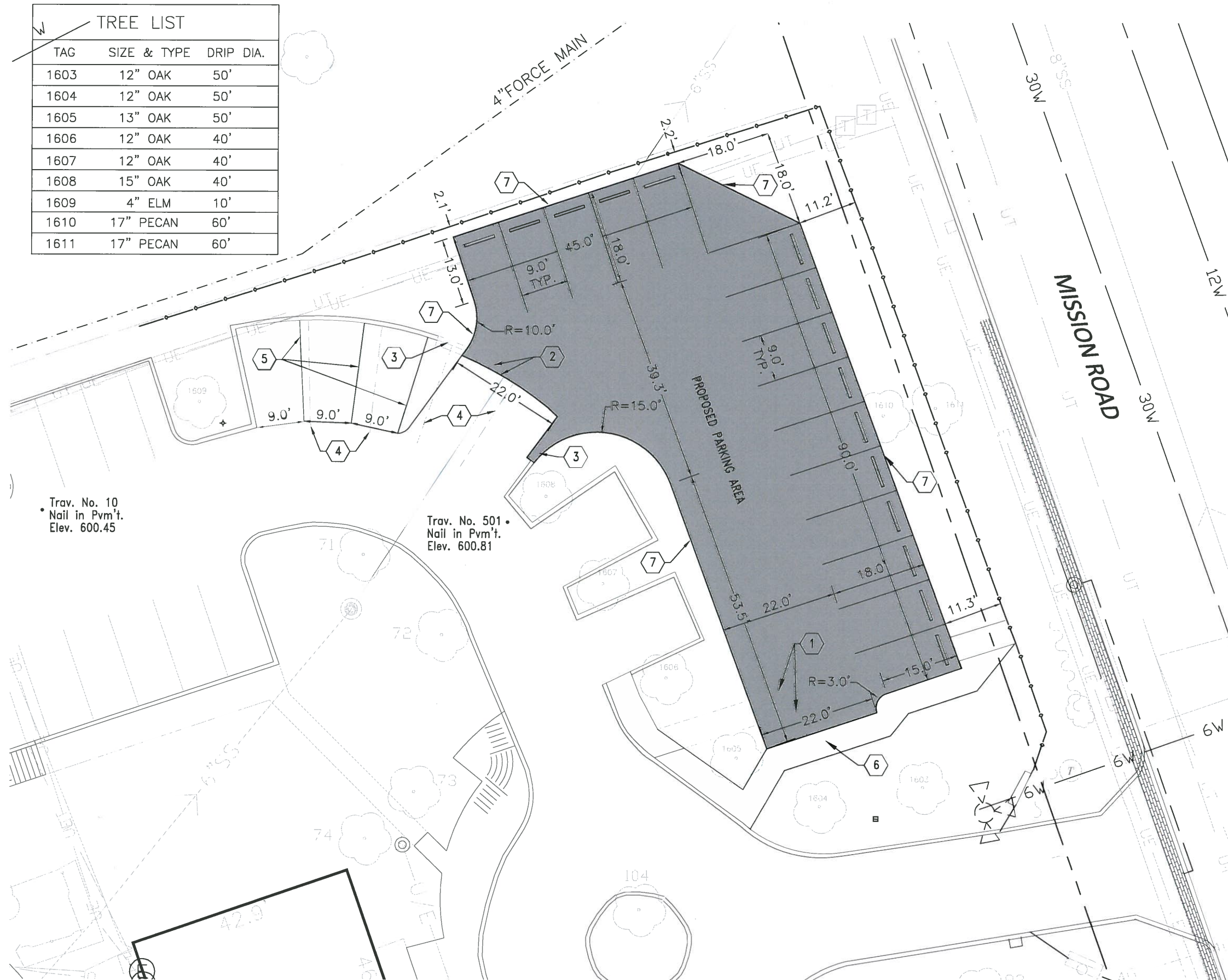


VICINITY MAP
N.T.S



LOCATION MAP
N.T.S

W	TREE LIST		
TAG	SIZE & TYPE	DRIP DIA.	
1603	12" OAK	50'	
1604	12" OAK	50'	
1605	13" OAK	50'	
1606	12" OAK	40'	
1607	12" OAK	40'	
1608	15" OAK	40'	
1609	4" ELM	10'	
1610	17" PECAN	60'	
1611	17" PECAN	60'	



Scale: 1" = 20'



KEY NOTES

- 1 EXISTING CONCRETE SIDEWALK TO BE REMOVED AS SHOWN.
- 2 SAW CUT EXISTING ASPHALT AND MATCH WITH NEW CONSTRUCTION.
- 3 EXISTING CONCRETE CURB TO BE REMOVED. TAPER EXISTING CURB 12:1 TO FULL CURB.
- 4 EXISTING PAINT STRIPE TO BE REMOVED. REPAINT
- 5 NEW PAINT STRIPE AS SHOWN. PAINT TO BE WHITE.
- 6 PROPOSED 5.0' SIDEWALK.
- 7 PROPOSED CONCRETE FLUSH CURB. SEE CIVIL DETAILS.



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01/23/2015

01/23/2015
Carl R. Pfe

5 EXISTING PARKING SPACES
15 ADDITIONAL PARKING SPACES

SETON HOME
1115 MISSION ROAD
PARKING LOT IMPROVEMENTS
DIMENSION CONTROL
& DEMOLITION PLAN

DESIGNED BY:	R.E.M.
DRAWN BY:	R.E.M.
APPROVED BY:	C.B.

DATE:	OCTOBER 2014
JOB NO.:	C-1399
SHEET 2	OF 4

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A circular red seal for the State of Texas. The outer ring contains the text "STATE OF TEXAS" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by small stars. In the center is a five-pointed star. Below the star, the name "CARL BAIN" is written, followed by the number "56996" and the word "REGISTERED".

01/23/2015
Carl B. PE

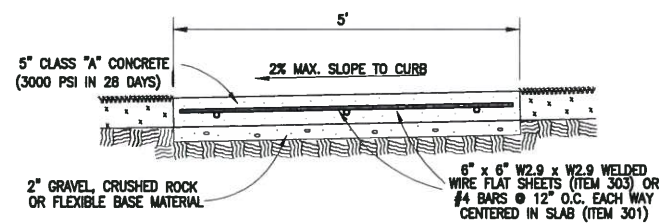
DESIGNED BY:	R.E.M.
DRAWN BY:	R.E.M.
APPROVED BY:	C.B.

DATE:	OCTOBER 2014
JOB NO.:	C-1399
SHEET 3	OF 4



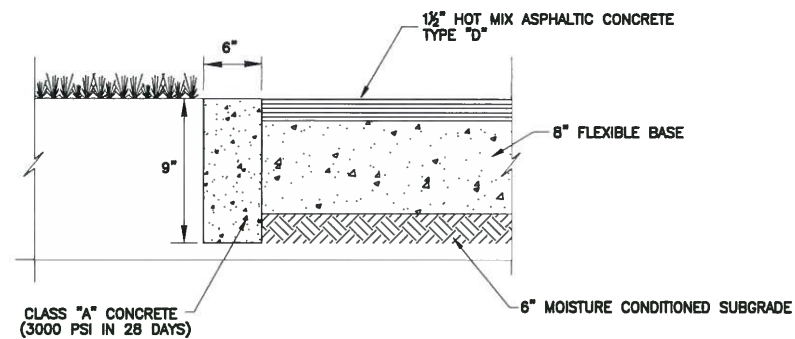
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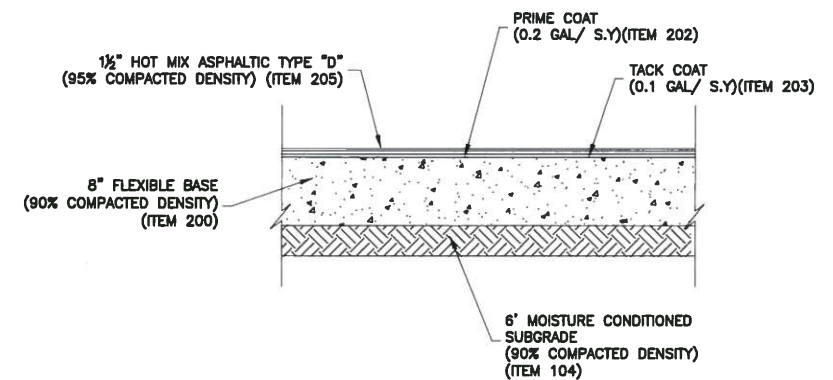


NOTE:
1. EXPANSION SHALL NOT EXCEED 50 L.F. SEE SPECIFICATIONS.
2. TRANS

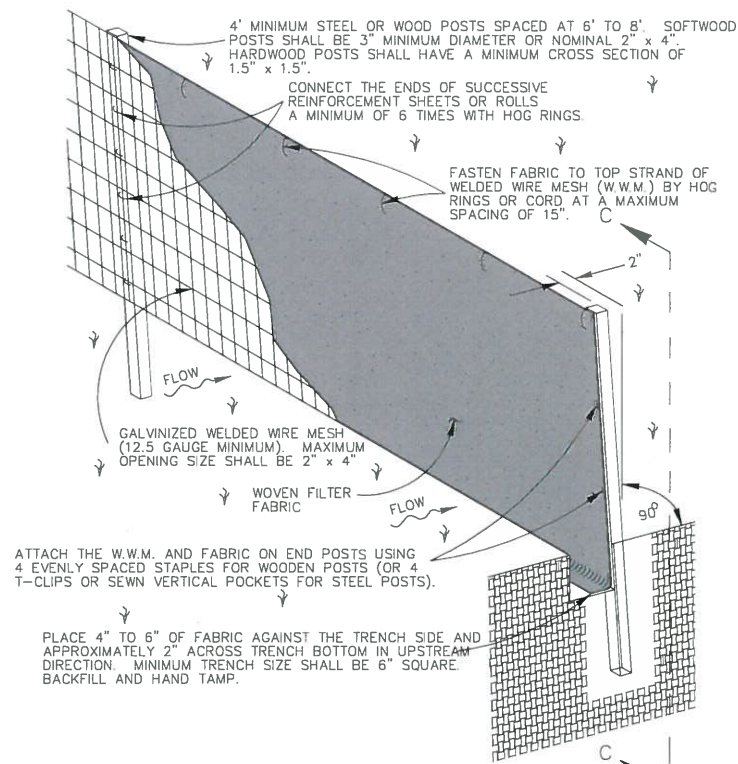
① **CONCRETE SIDEWALK DETAIL**
N.T.S.



② **CONCRETE FLUSH CURB**
N.T.S.

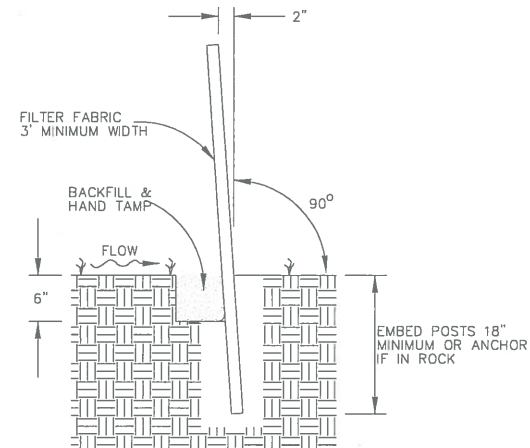


③ **TYPICAL PAVEMENT DETAIL**
N.T.S.



ISOMETRIC VIEW
SCALE : 1" = 2'

④ **TEMPORARY SEDIMENT CONTROL FENCE**
N.T.S.



SECTION C-C
SCALE : 1" = 2'

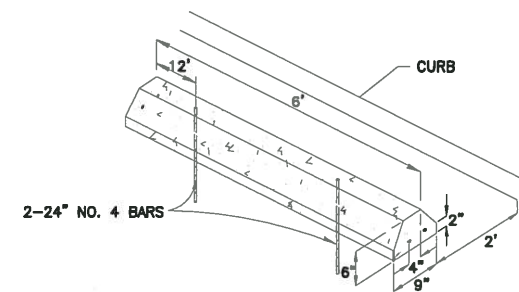
SEDIMENT CONTROL FENCE USAGE GUIDELINES

A SEDIMENT CONTROL FENCE MAY BE CONSTRUCTED NEAR THE DOWNSTREAM PERIMETER OF A DISTURBED AREA ALONG A CONTOUR TO INTERCEPT SEDIMENT FROM OVERLAND RUN-OFF. A 2 YEAR STORM FREQUENCY MAY BE USED TO CALCULATE THE FLOW RATE TO BE FILTERED.

SEDIMENT CONTROL FENCE SHOULD BE SIZED TO FILTER A MAXIMUM FLOW THRU RATE OF 100 GPM / FT SQUARED. SEDIMENT CONTROL FENCE IS NOT RECOMMENDED TO CONTROL EROSION FROM A DRAINAGE AREA LARGER THAN 2 ACRES.

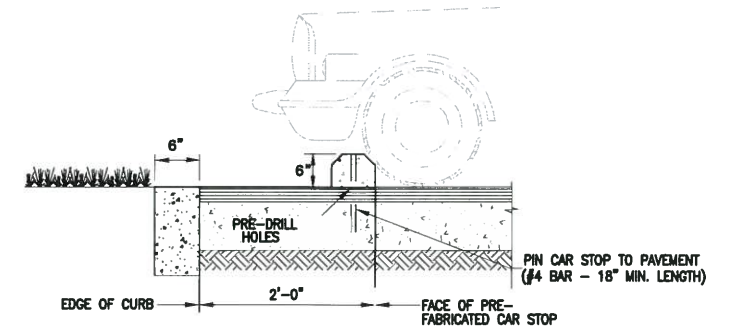
GENERAL NOTES

1. THE GUIDELINES SHOWN HEREON ARE SUGGESTIONS ONLY AND MAY BE MODIFIED BY THE ENGINEER.



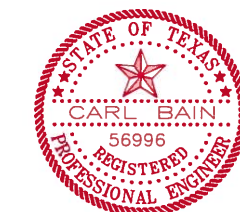
1. AMERICAN No. CB08 PRECAST WHEEL STOP OR APPROVED EQUAL INSTALL AS SHOWN IN TYPICAL PARKING STRIPE DETAIL

⑤ **TYPICAL WHEEL STOP**
N.T.S.



- NOTE: PRE-CAST CAR STOP SHALL BE 5'-0" IN LENGTH WITH (2) ANCHOR HOLES.


⑥ **CAR STOP DETAIL**
N.T.S.



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CARL BAIN
P.E. 56996
01/23/2015

Carl Bain

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