

HISTORIC AND DESIGN REVIEW COMMISSION

May 06, 2015

Agenda Item No: 19

HDRC CASE NO: 2015-168
ADDRESS: 606 NOLAN
LEGAL DESCRIPTION: NCB 561 BLK 1 LOT E IRR 50.44 FT OF 2
ZONING: R6 H
CITY COUNCIL DIST.: 2
DISTRICT: Dignowity Hill Historic District
APPLICANT: Terry Moore
OWNER: Terry Moore/ Remuda Asset 1 LLC
TYPE OF WORK: Construct new carport and landscaping
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Construct new carport at rear yard. The proposed carport will be wood with a shingle roof to match the house.
2. Install new sod throughout and two planter beds along the front of the house.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 4, Guidelines for New Construction

5. Garages and Outbuildings

A. DESIGN AND CHARACTER

- i. *Massing and form*—Design new garages and outbuildings to be visually subordinate to the principal historic structure in terms of their height, massing, and form.
- ii. *Building size* – New outbuildings should be no larger in plan than 40 percent of the principal historic structure footprint.
- iii. *Character*—Relate new garages and outbuildings to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details.
- iv. *Windows and doors*—Design window and door openings to be similar to those found on historic garages or outbuildings in the district or on the principle historic structure in terms of their spacing and proportions.
- v. *Garage doors*—Incorporate garage doors with similar proportions and materials as those traditionally found in the district.

B. SETBACKS AND ORIENTATION

- i. *Orientation*—Match the predominant garage orientation found along the block. Do not introduce front-loaded garages or garages attached to the primary structure on blocks where rear or alley-loaded garages were historically used.
- ii. *Setbacks*—Follow historic setback pattern of similar structures along the streetscape or district for new garages and outbuildings. Historic garages and outbuildings are most typically located at the rear of the lot, behind the principal building. In some instances, historic setbacks are not consistent with UDC requirements and a variance may be required.

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

3. Landscape Design

ii. *Historic Lawns*—Do not fully remove and replace traditional lawn areas with impervious hardscape. Limit the removal of lawn areas to mulched planting beds or pervious hardscapes in locations where they would historically be found, such as along fences, walkways, or drives. Low-growing plantings should be used in historic lawn areas; invasive or large-scale species should be avoided. Historic lawn areas should never be reduced by more than 50%.

FINDINGS:

- a. Consistent with the Guidelines for New Construction, new outbuildings should be visually subordinate to the principal structure in height, mass and form, and should relate to the main house in style and materials. The proposed carport is consistent with the guidelines.
- b. According to the Guidelines for New Construction, new outbuildings should match the predominant orientation of garages and outbuildings on the block. The proposed carport is set behind the main structure with a curved driveway leading around the back of the house. Linear driveways with the carport or garage structure at the end are typically found in the Dignowity Hill Historic District. Locating the carport at the end of a linear driveway would be more appropriate.
- c. The proposed landscaping work including re-sodding the front yard and installing two planter beds along the front of the house are consistent with the Guidelines for Site Elements.

RECOMMENDATION:

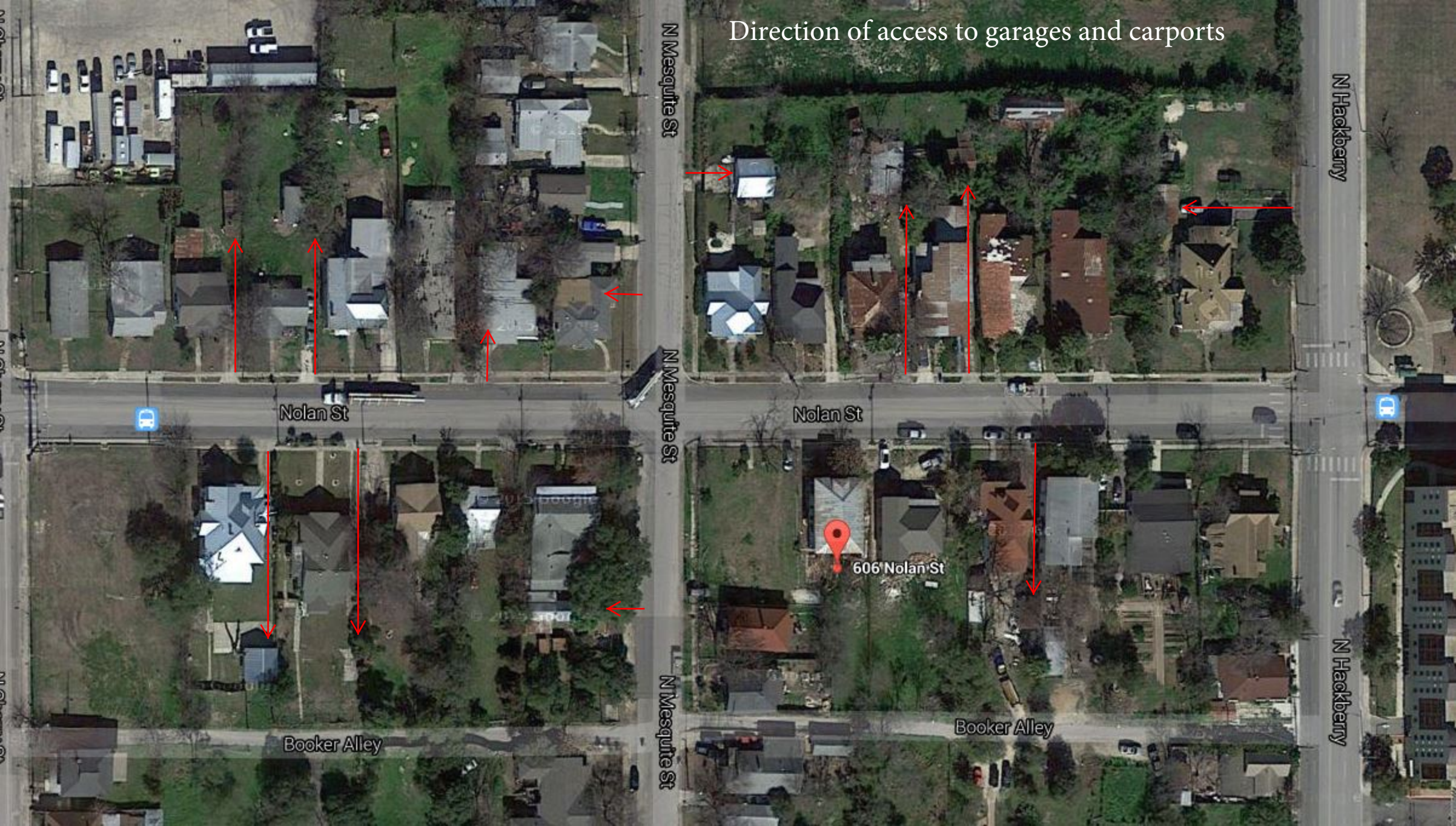
Staff recommends approval of items 1 and 2 based on findings a-c with the stipulation that the driveway is linear and the carport is placed at the end of the driveway.

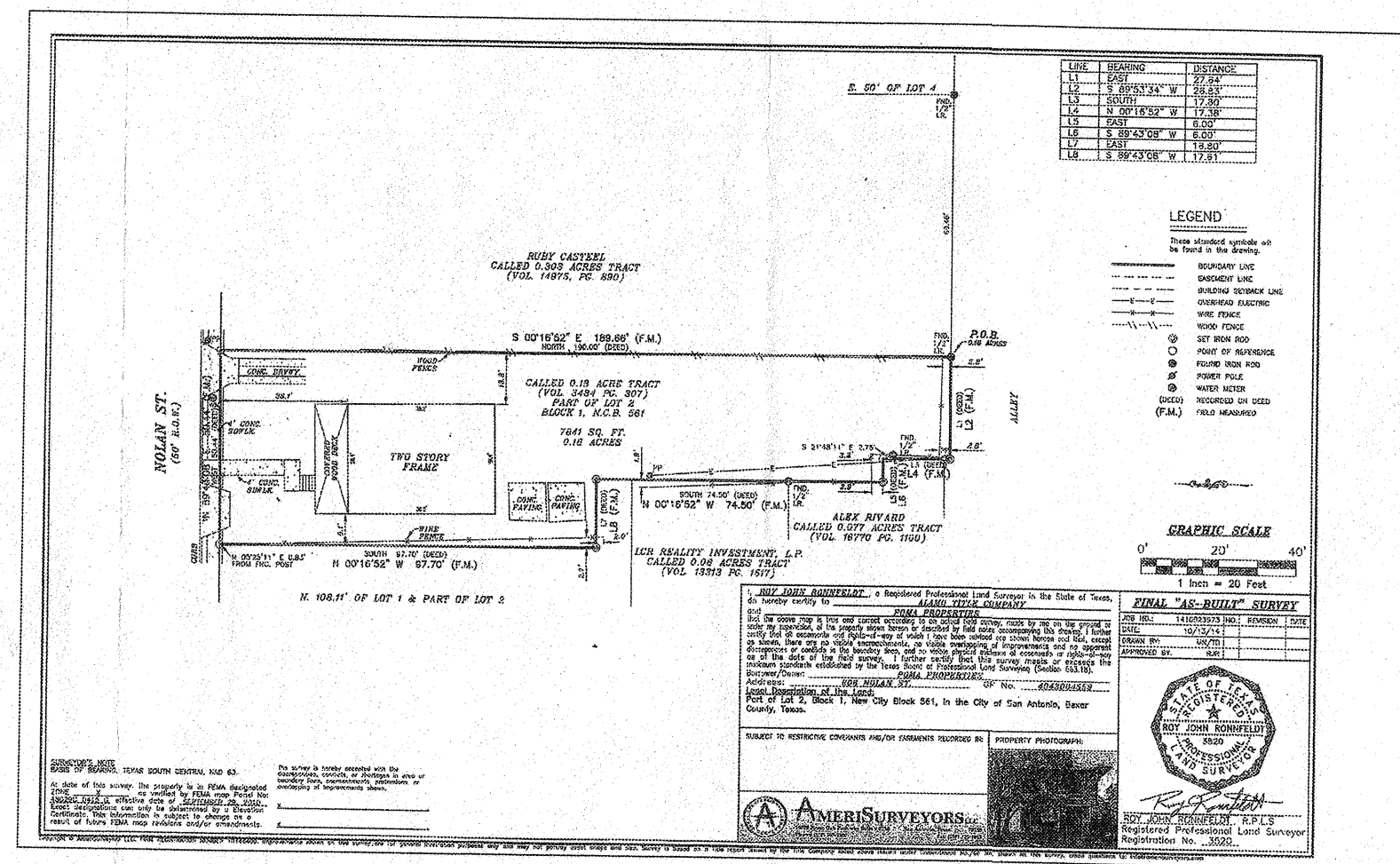
CASE MANAGER:

Adriana Ziga



Direction of access to garages and carports





SURVEY

FOR REFERENCE ONLY

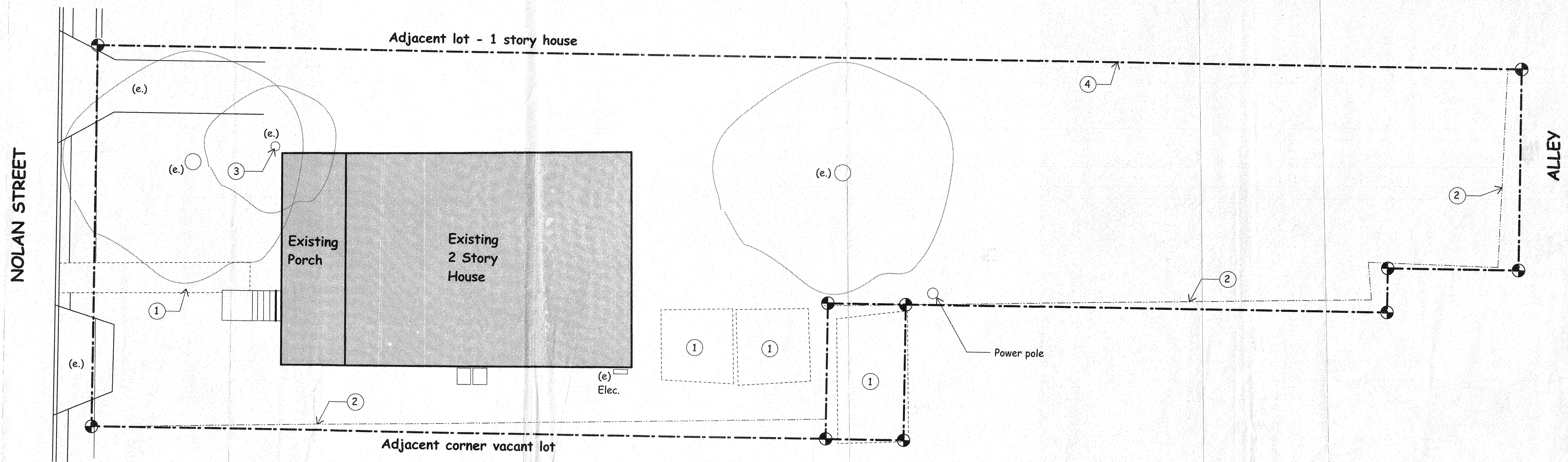
GENERAL NOTES:

- 1) REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS. INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS, WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSITION OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER, THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
- 2) ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
- 3) REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, ETC., SUPPORTING FLOOR, ROOF OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.
- 4) ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DEFORMATION CAUSED BY SUCH LOADS TO WHICH THEY SOIL PRESSURE INCLUDING SURCHARGE, HYDROSTATIC HEAD AND IMPACT LOADS AS APPLICABLE. MINIMUM DESIGN LOAD VALUES SHALL BE AS FOLLOWS:
100 P.S.F. LIVE LOAD (FIRST FLOOR)
35 P.S.F. LIVE LOAD (SNOW)
20 P.S.F. DEAD LOAD (FLOORS/ROOF)
MAXIMUM ALLOWABLE DEFLECTION @ L/360 OF SPAN
- 5) PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO, GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE, PANELS, RAILS AND WAINSCOT. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC. TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED. TO BE APPROVED BY OWNER.
- 6) PATCH EXISTING WALLS GYPSUM DRYWALL OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATES OF SPECKLING, SANDED AND LEFT IN A PAINT READY CONDITION.
- 7) WHERE APPLICABLE LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. INSTALL REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPTABLE TO THE OWNER. MATCH EXISTING WHEREVER POSSIBLE.

DEMOLITION NOTES:

- 1) Remove existing concrete pad from site and dispose of in an appropriate manner according to state, local and federal law.
 - 2) Remove existing wire fence from perimeter of site and dispose of in an appropriate manner according to state, local and federal law.
 - 3) Remove existing shrub and dispose of in an appropriate manner according to state, local and federal law.
 - 4) Existing wood fence to remain
- (e.) denotes "existing"

The site plan shown on this sheet has been adapted from detailed field measurements taken by the project designer along with the survey provided by the Owner and does not represent a survey of the property.



DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



CARPORT
CARPORT

REVISIONS

RENOVATIONS TO 606 NOLAN ST.
A PROJECT FOR TERRY MOORE

Site Demo Plan

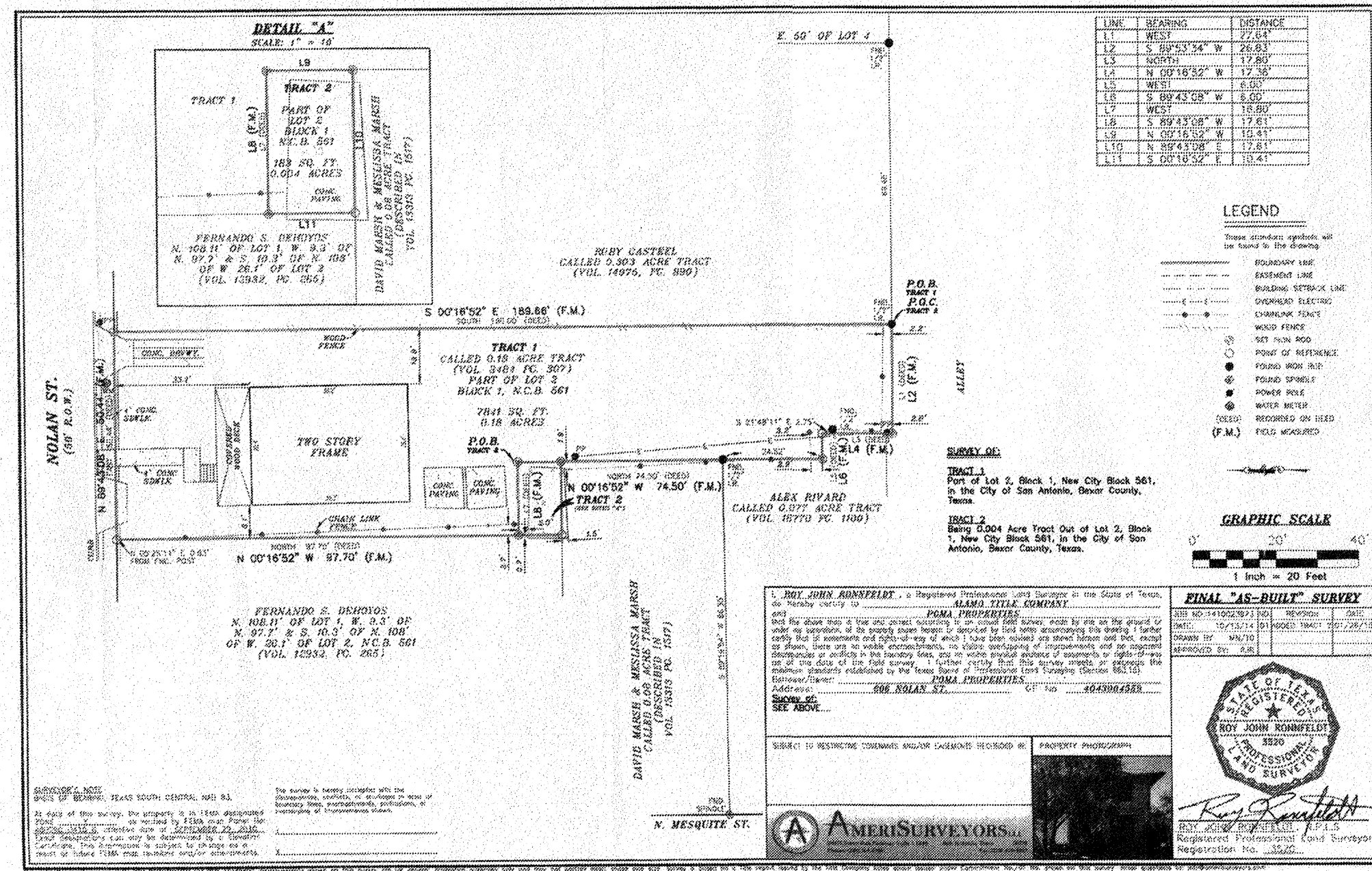
Project No. 141002-pga
Renovations to
606 Nolan, St. in SATX for:
Mr. Terry Moore
Sheet 1 of 3

BUILD
210.514.2955
pga@buildrgv.com

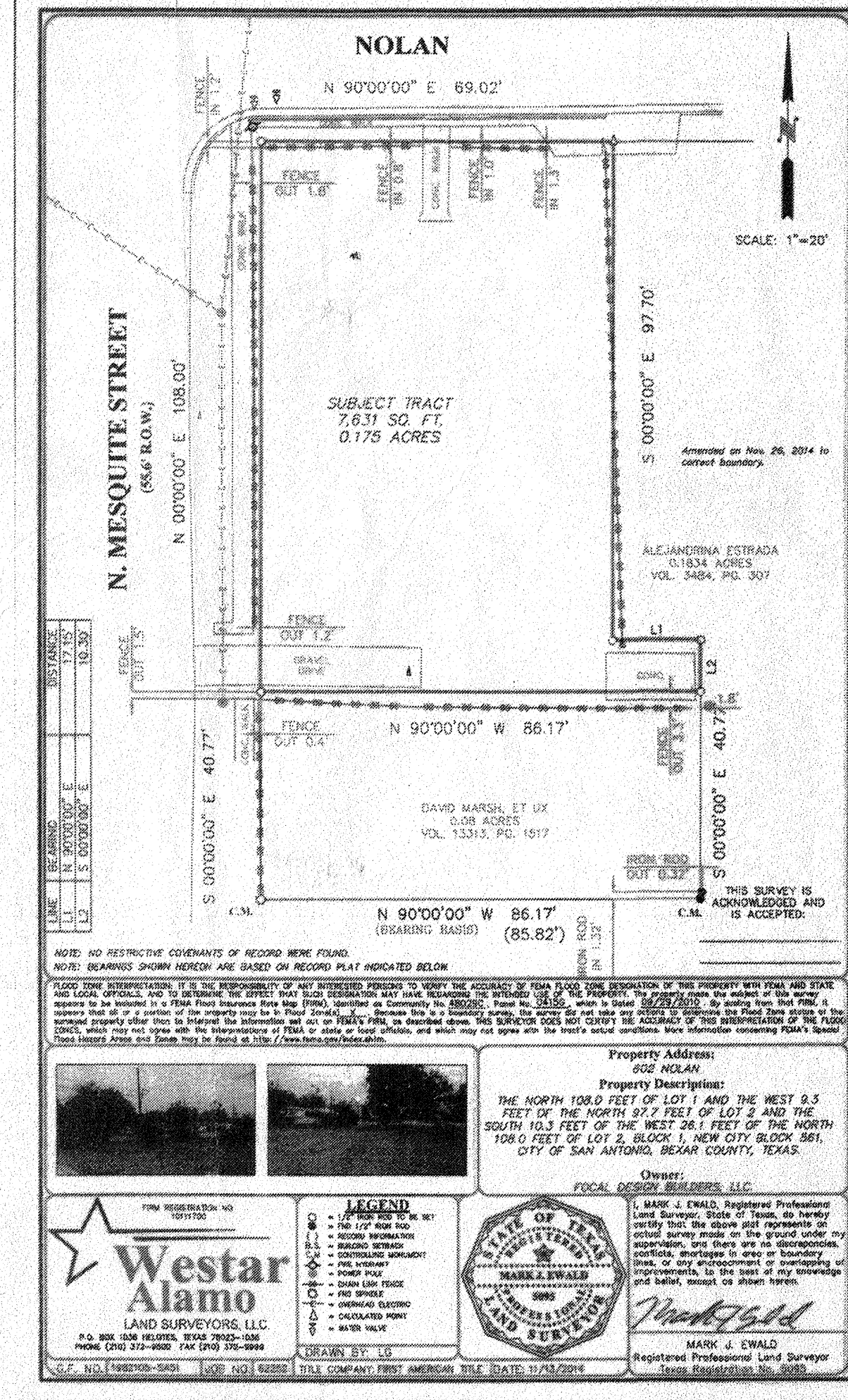
March 12, 2015

SHEET

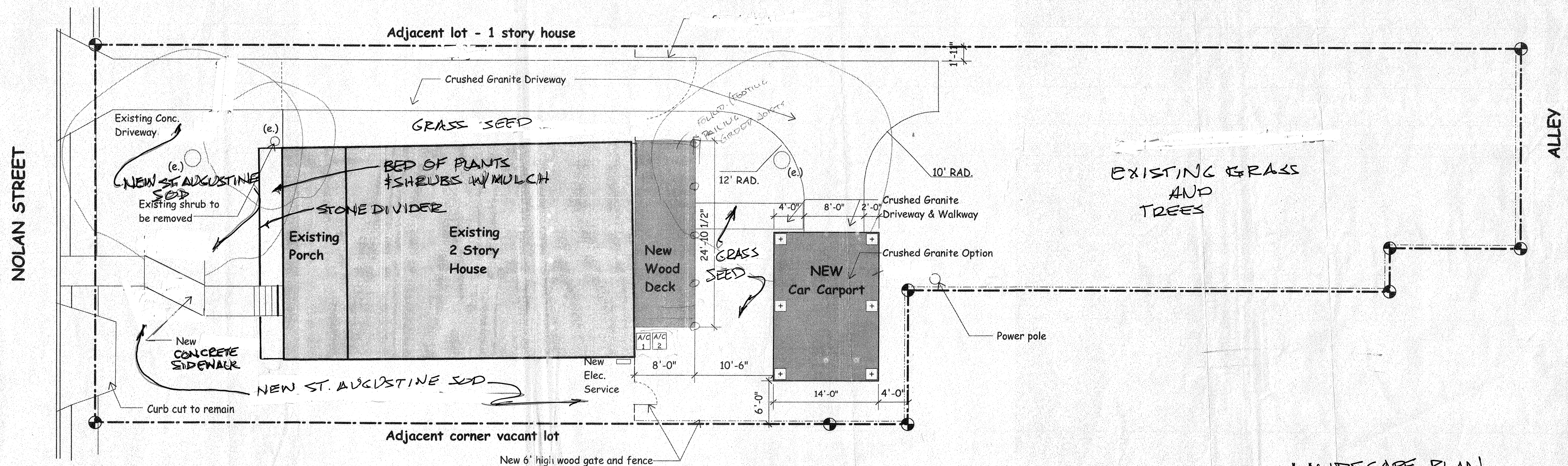
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SURVEY
FOR REFERENCE ONLY



SURVEY
FOR REFERENCE ONLY



LANDSCAPE/ SITE PLAN (REVISED)
SCALE: 1/8" = 1'-0"



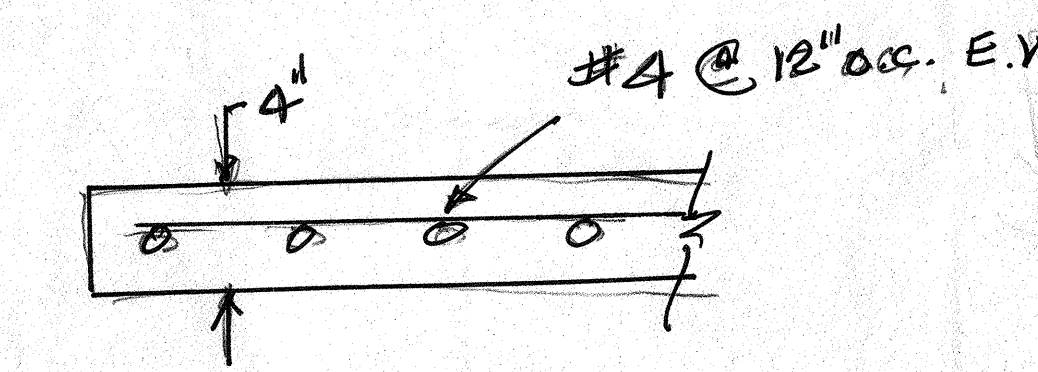
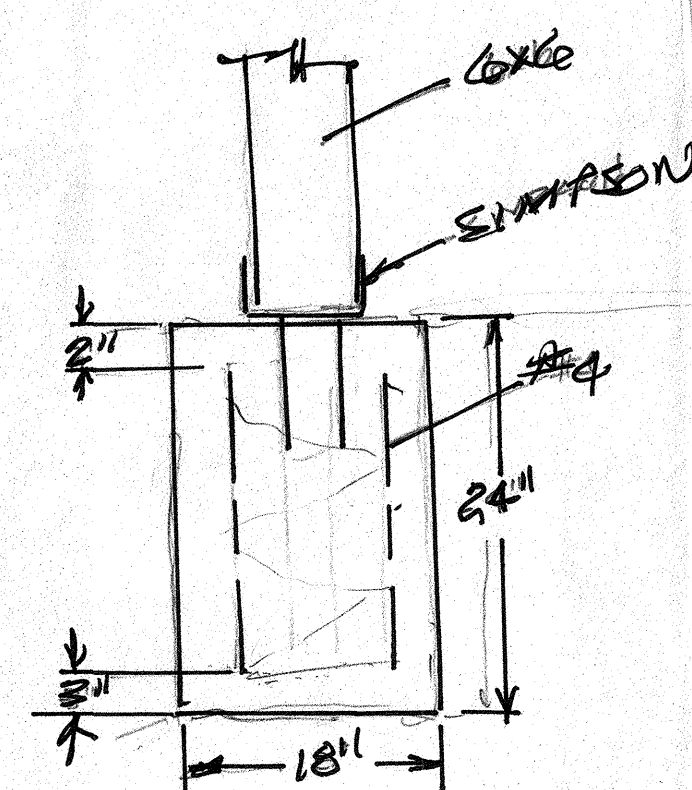
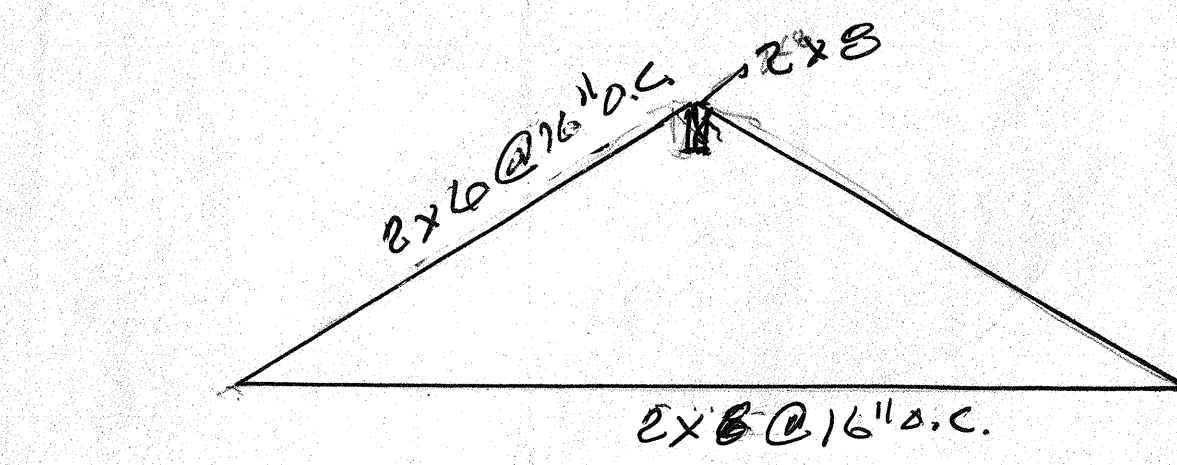
1. All work shall be done in strict accordance with the City of San Antonio, Bexar County, Texas, current building codes and ordinances as may apply to the project type and location.
2. No work may begin prior to obtaining the proper building permits as required by the above listed authorities.
3. All notes appearing in this drawing package are just that: Notes. They are not intended to be a complete instruction or installation guide for this home. For answers to any questions not covered in these notes, consult the local code authority for answers or clarification. In any case, the building official may elect for the more stringent option.
4. (e.) denotes "existing"

The site plan shown on this sheet has been adapted from detailed field measurements taken by the project designer along with the survey provided by the Owner and does not represent a survey of the property.

RENOVATIONS TO 606 NOLAN ST.
A PROJECT FOR TERRY MOORE

Site Plan-revised

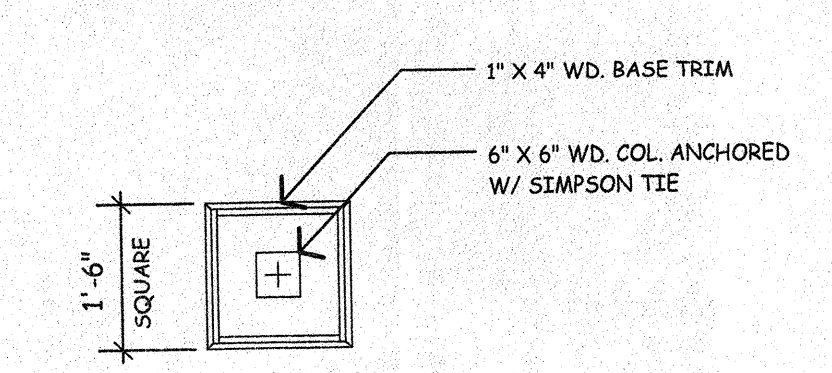
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Sheet 2 of 3
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SHEET



DETAIL SKETCHES PER
JAMES RYAN, P.E.

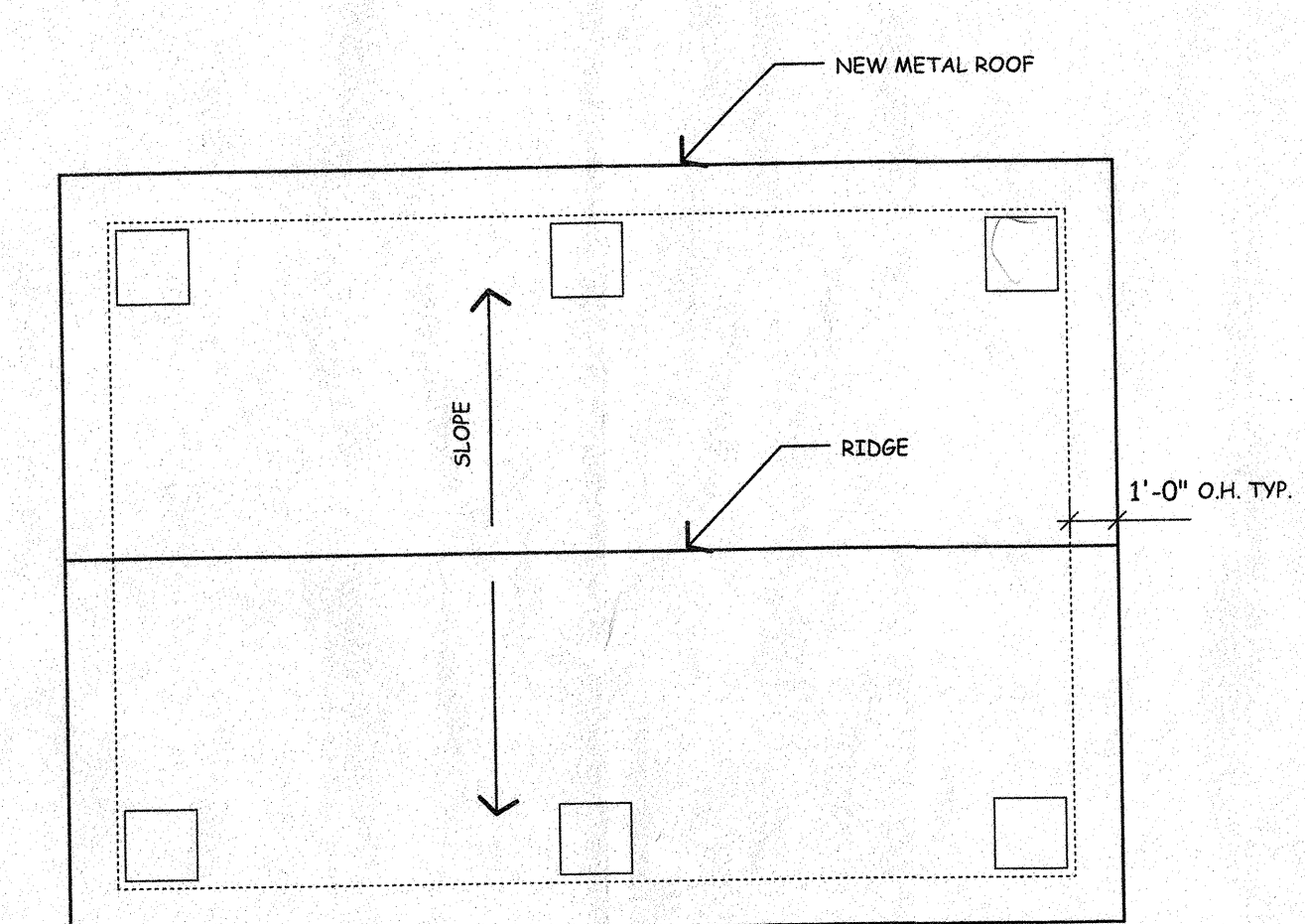
PLAN VIEW @ TOP COL.

SCALE: 1/2" = 1'-0"



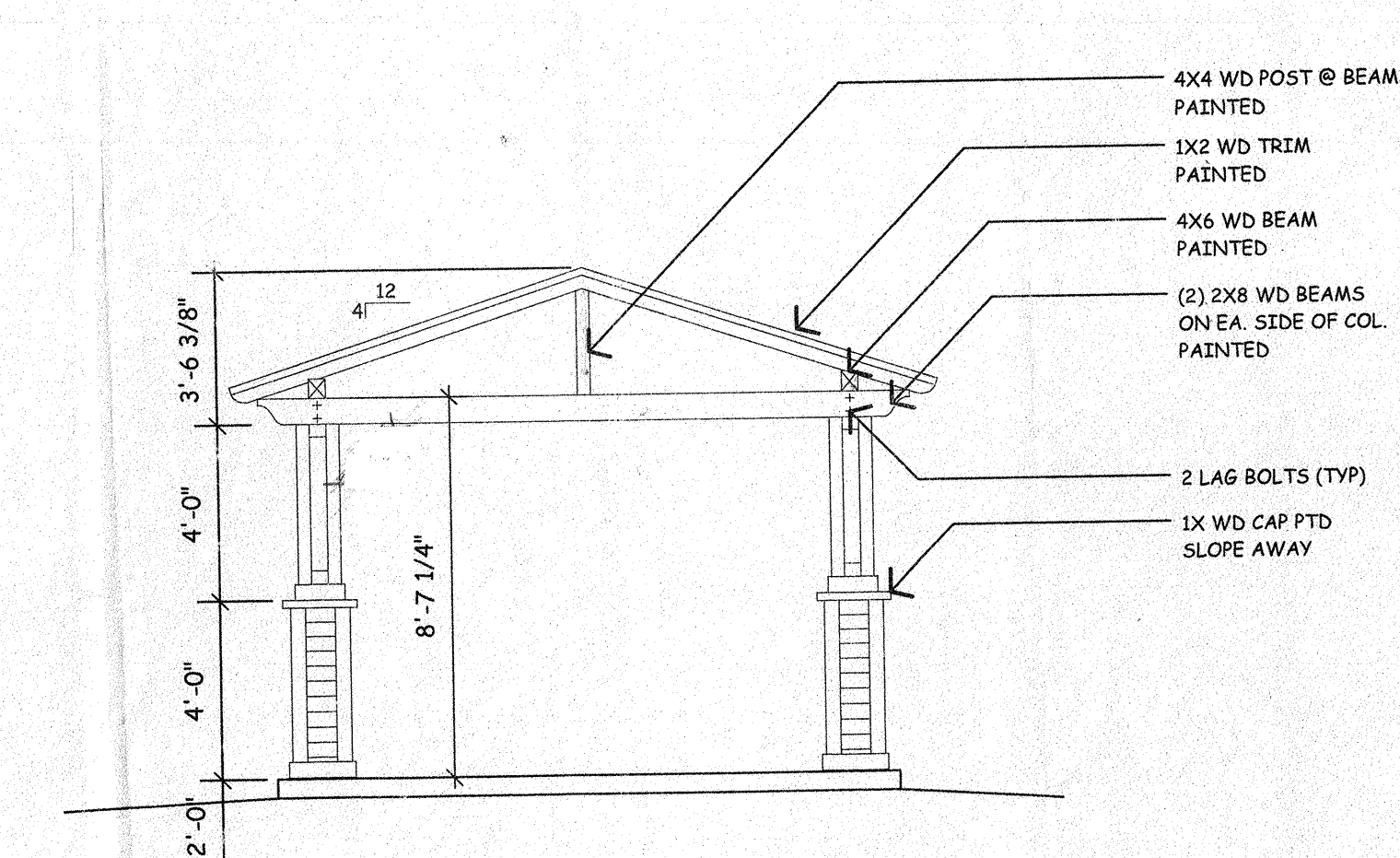
PLAN VIEW @ COL.

SCALE: 1/2" = 1'-0"



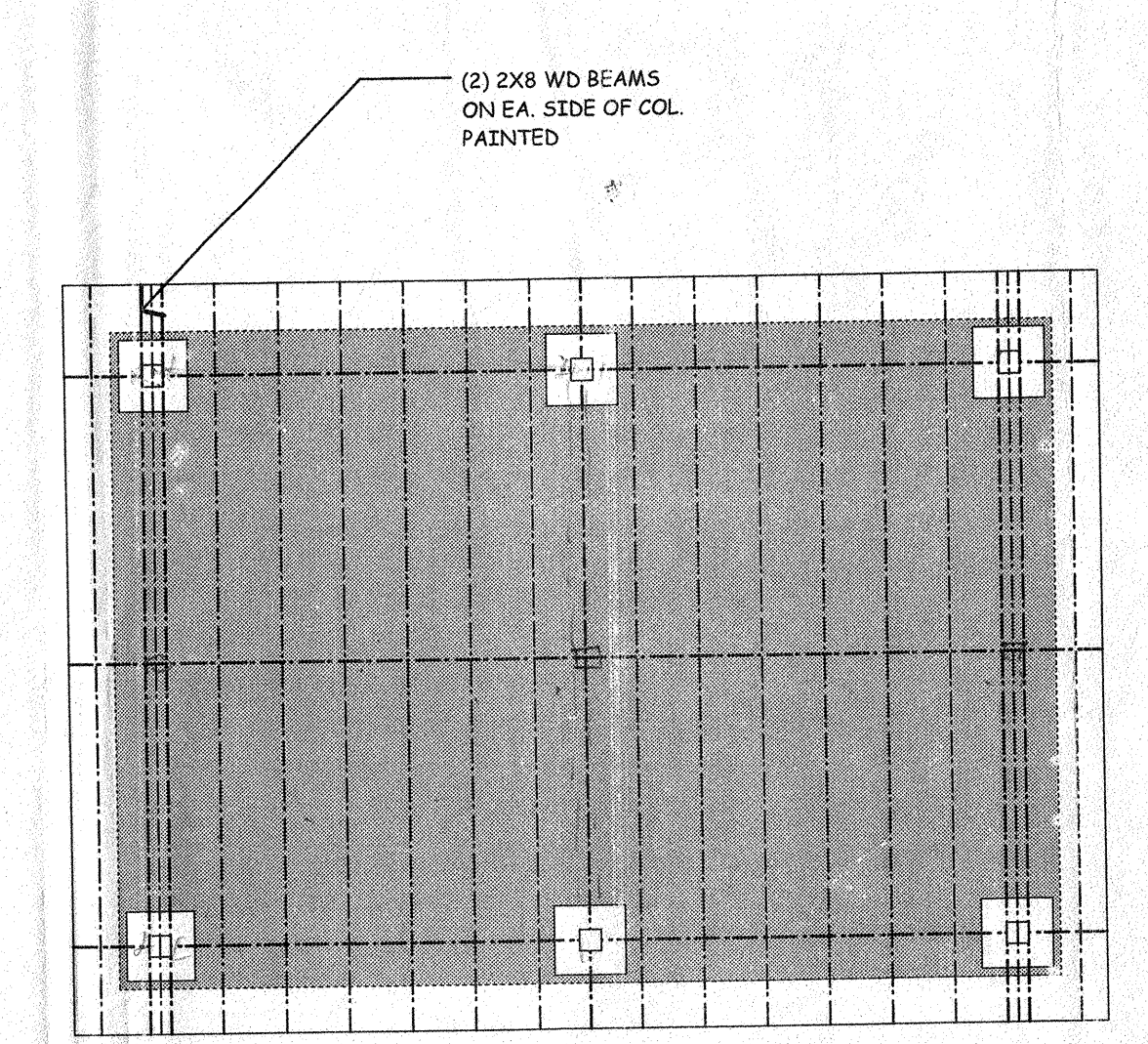
ROOF PLAN

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

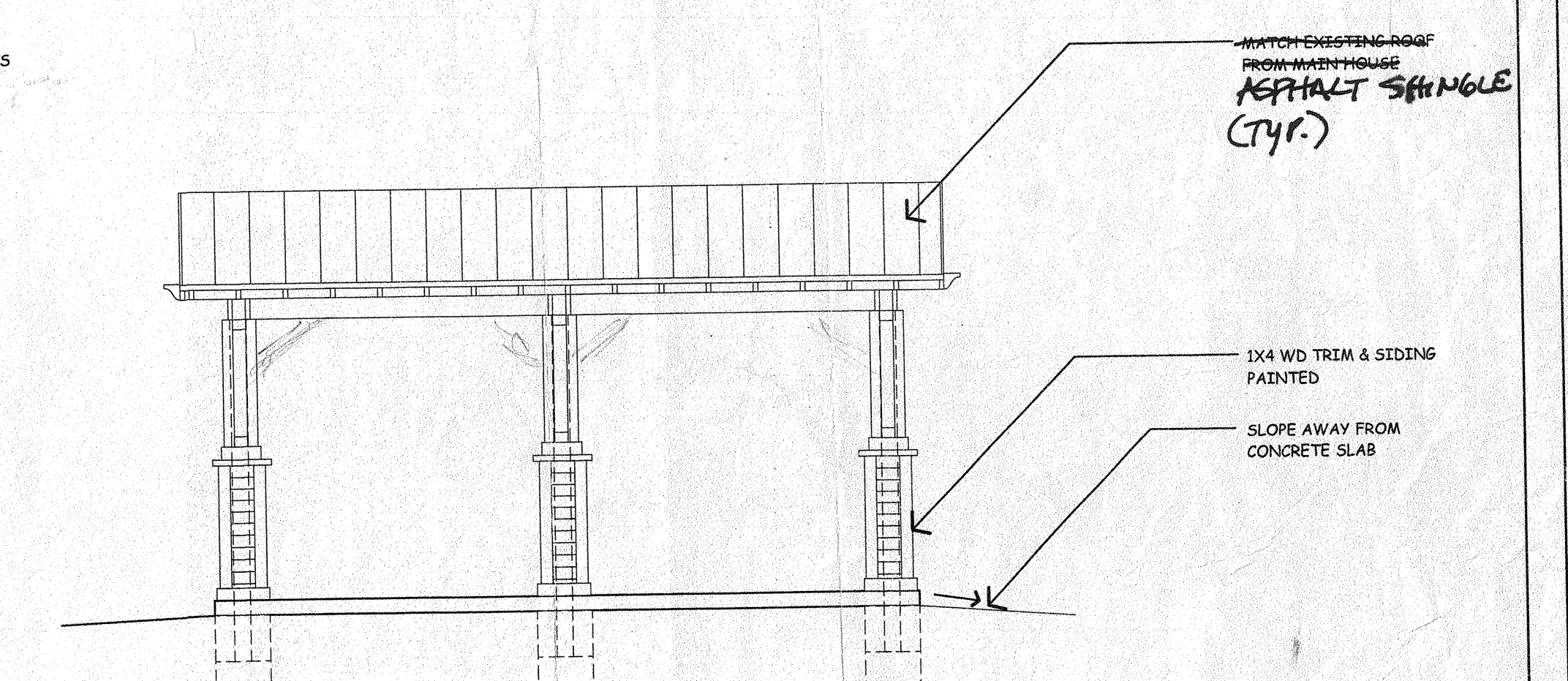
SCALE: 1/4" = 1'-0"



FRAMING PLAN

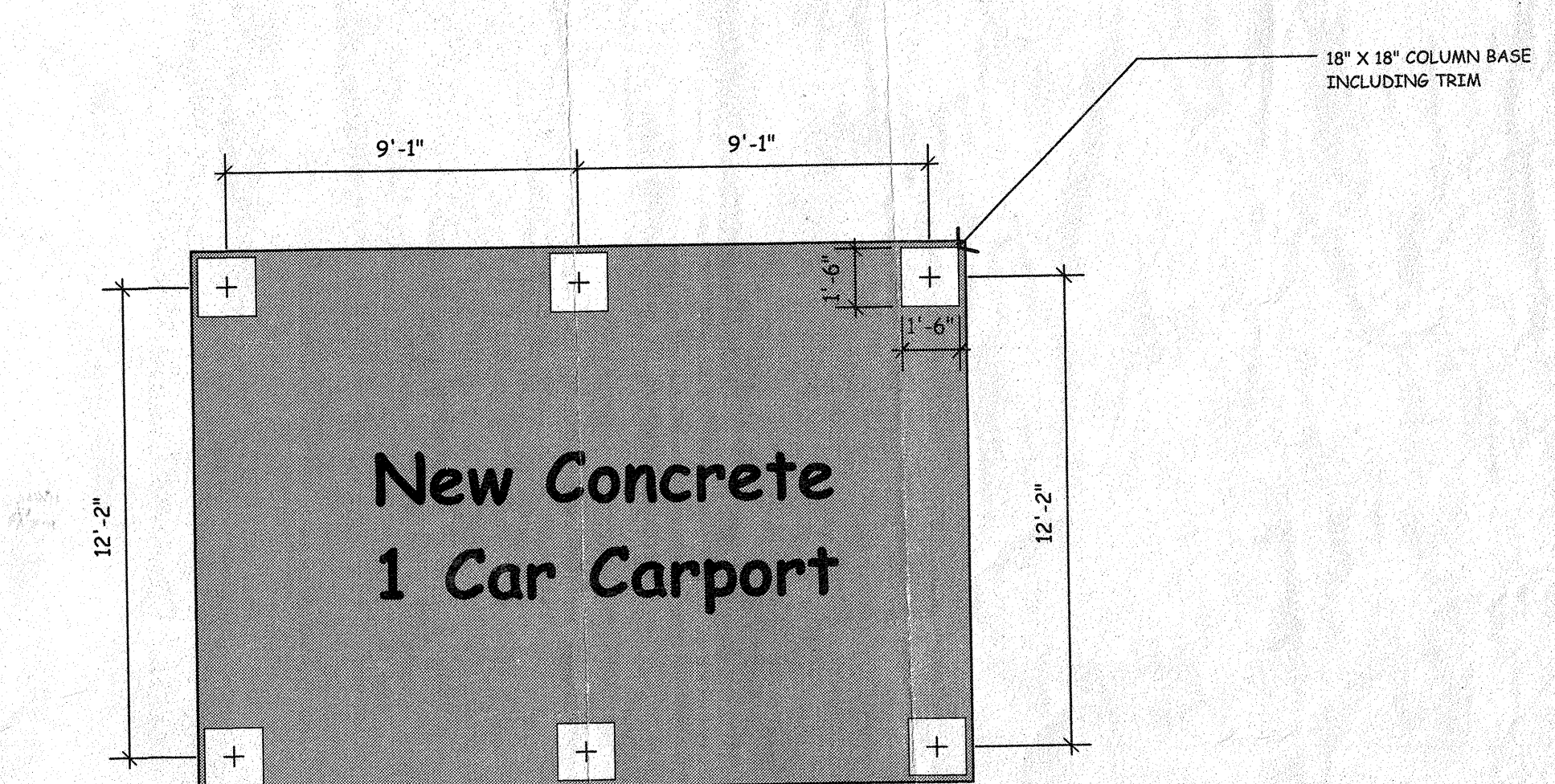
SCALE: 1/4" = 1'-0"

1. All Rafters Are 2X6's @ 16" O.C.
All Ridge Bds Are 2x8's
Brace Rafters per code
2. All Ceiling Joists Are 2X8's @ 16" O.C.



SIDE ELEVATION

SCALE: 1/4" = 1'-0"



FLOOR PLAN (CAR PORT)

SCALE: 1/4" = 1'-0"

- OPTION 1**
Concrete slab
- OPTION 2**
Concrete piers & crushed granite drive

- FRAMING NOTES:**
1. All Framing Lumber Shall Be No. 2 Grade Southern Yellow Pine (k.d. 15) Or Approved Equal, Sized As Indicated On Plans And Sections.
 2. Structural Beams And Headers Shall Be No. 2 Southern Yellow Pine (k.d. 15) Or Approved Equal.
 3. No Finger Joined Lumber Will Be Allowed For Rafters, Ceiling Joists, Or Floor Joists. Finger Joined Lumber Will Be Allowed For Studs.
 4. A Minimum Of 2 - 2x4's Shall Be Provided For Vertical Support Under Each End Of All Structural Beams And Headers Longer Than 5'-0".
 5. All Base Plate Lumber Where Framing Meets The Foundation Shall Be Treated Pine.
 6. Rafters Shall Be A Minimum Of 2x6's At 16" O.c. Unless Otherwise Noted.
 7. Roof Decking Shall Be 7/16" (min.) Radiant Barrier Osb With Panel Span Rating Of 16".
 8. Apa Detail Required At Walls Adjacent To All Garage Door Openings (if Narrow Brace Wall Is Less Than 24" But Equal To, Or More Than 16"). Hardie Or Simpson Wall Panel Is An Option. Apa Method Requires Entire House To Be Sheathed In Structural Wood Sheathing. If This Method Is Chosen, Sheathing Shall Be A Minimum Of 3/8" Osb.
 9. Purlins Shall Be No Smaller Than The Size Rafter They Support. Purlin Struts Shall Be Spaced A 4'-0" O.c. Butt Joints At Purlins Shall Be Placed Directly Over A Strut Or Shall Be Supported By A Scab That Extends Between Adjacent Struts.
 10. Ridge, Hips And Valley Boards To Be One Size Larger Than Connecting Rafter And Shall Be Sized To Match The Cut End Of The Connecting Rafter. Example: 2x6 Rafter - 2x8 Valley.
 11. Rafters Shall Be Nailed To Adjacent Ceiling Joists (when Such Joists Are Parallel To Rafters) To Form A Continuous Tie Between Interior And Exterior Walls.
 12. Collar Ties Are To Be 1x4's (min.) At 4'-0" O.c. In Upper 1/3 Of Roof. Use 2x4 Members Where Available.
 13. In No Case Shall Rafters Be Spliced In An Unsupported Span. Any Rafter Splicing Shall Occur Over A Purlin So That The Rafter Is Continous Between Supports (wall Top Plate, Purlin, Ridge, Etc.)
 14. Refer To Elevations For Roof Pitches.
 15. Outlookers To Be 2x4's (min.) At 16" O.c.
 16. Fascia And Rake Boards To Be 1x6's - Hardie Brand Products.
 17. Eave Depth Shall Be 1'

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