

HISTORIC AND DESIGN REVIEW COMMISSION

June 03, 2015

Agenda Item No: 26

HDRC CASE NO: 2015-178
ADDRESS: 220 BROADWAY
LEGAL DESCRIPTION: NCB 421 BLK 24 LOT A9 & 3
ZONING: D HS
CITY COUNCIL DIST.: 1
LANDMARK: Traveler's Hotel
APPLICANT: Anna Hudson
OWNER: Jagdish Patel
TYPE OF WORK: Rehabilitation / Renovations
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to rehabilitate the Traveler's hotel at 220 Broadway.

APPLICABLE CITATIONS:

Historic Design Guidelines

Chapter 2 Guidelines for Exterior Maintenance and Alterations

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Façade materials*—Avoid removing materials that are in good condition or that can be repaired in place. Consider exposing original wood siding if it is currently covered with vinyl or aluminum siding, stucco, or other materials that have not achieved historic significance.
- ii. *Materials*—Use in-kind materials when possible or materials similar in size, scale, and character when exterior woodwork is beyond repair. Ensure replacement siding is installed to match the original pattern, including exposures. Do not introduce modern materials that can accelerate and hide deterioration of historic materials. Hardiboard and other cementitious materials are not recommended.
- iii. *Replacement elements*—Replace wood elements in-kind as a replacement for existing wood siding, matching in profile, dimensions, material, and finish, when beyond repair.

2. Materials: Masonry and Stucco

A. MAINTENANCE (PRESERVATION)

- i. *Paint*—Avoid painting historically unpainted surfaces. Exceptions may be made for severely deteriorated material where other consolidation or stabilization methods are not appropriate. When painting is acceptable, utilize a water permeable paint to avoid trapping water within the masonry.
- ii. *Clear area*—Keep the area where masonry or stucco meets the ground clear of water, moisture, and vegetation.
- iii. *Vegetation*—Avoid allowing ivy or other vegetation to grow on masonry or stucco walls, as it may loosen mortar and stucco and increase trapped moisture.
- iv. *Cleaning*—Use the gentlest means possible to clean masonry and stucco when needed, as improper cleaning can damage the surface. Avoid the use of any abrasive, strong chemical, sandblasting, or high-pressure cleaning method.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Patching*—Repair masonry or stucco by patching or replacing it with in-kind materials whenever possible. Utilize similar materials that are compatible with the original in terms of composition, texture, application technique, color, and detail, when in-kind replacement is not possible. EIFS is not an appropriate patching or replacement material for stucco.
- ii. *Repointing*—The removal of old or deteriorated mortar should be done carefully by a professional to ensure that masonry units are not damaged in the process. Use mortar that matches the original in color, profile, and composition when repointing. Incompatible mortar can exceed the strength of historic masonry and results in deterioration. Ensure that the new joint matches the profile of the old joint when viewed in section. It is recommended that a test panel is prepared to ensure the mortar is the right strength and color.
- iii. *Removing paint*—Take care when removing paint from masonry as the paint may be providing a protectant layer or

hiding modifications to the building. Use the gentlest means possible, such as alkaline poultice cleaners and strippers, to remove paint from masonry.

iv. *Removing stucco*—Remove stucco from masonry surfaces where it is historically inappropriate. Prepare a test panel to ensure that underlying masonry has not been irreversibly damaged before proceeding.

3. Materials: Roofs

A. MAINTENANCE (PRESERVATION)

i. *Regular maintenance and cleaning*—Avoid the build-up of accumulated dirt and retained moisture. This can lead to the growth of moss and other vegetation, which can lead to roof damage. Check roof surface for breaks or holes and flashing for open seams and repair as needed.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. *Roof replacement*—Consider roof replacement when more than 25-30 percent of the roof area is damaged or 25-30 percent of the roof tiles (slate, clay tile, or cement) or shingles are missing or damaged.

ii. *Roof form*—Preserve the original shape, line, pitch, and overhang of historic roofs when replacement is necessary.

iii. *Roof features*—Preserve and repair distinctive roof features such as cornices, parapets, dormers, open eaves with exposed rafters and decorative or plain rafter tails, flared eaves or decorative purlins, and brackets with shaped ends.

iv. *Materials: sloped roofs*—Replace roofing materials in-kind whenever possible when the roof must be replaced. Retain and re-use historic materials when large-scale replacement of roof materials other than asphalt shingles is required (e.g., slate or clay tiles). Salvaged materials should be re-used on roof forms that are most visible from the public right-of-way. Match new roofing materials to the original materials in terms of their scale, color, texture, profile, and style, or select materials consistent with the building style, when in-kind replacement is not possible.

v. *Materials: flat roofs*—Allow use of contemporary roofing materials on flat or gently sloping roofs not visible from the public right-of-way.

6. Architectural Features: Doors, Windows, and Screens

A. MAINTENANCE (PRESERVATION)

i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.

ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.

iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.

v. *Storm windows*—Install full-view storm windows on the interior of windows for improved energy efficiency. Storm window may be installed on the exterior so long as the visual impact is minimal and original architectural details are not obscured.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. *Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.

ii. *New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.

iii. *Glazed area*—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.

iv. *Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.

v. *Muntins*—Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass.

vi. *Replacement glass*—Use clear glass when replacement glass is necessary. Do not use tinted glass, reflective glass, opaque glass, and other non-traditional glass types unless it was used historically. When established by the architectural style of the building, patterned, leaded, or colored glass can be used.

vii. *Non-historic windows*—Replace non-historic incompatible windows with windows that are typical of the architectural

style of the building.

viii. Security bars—Install security bars only on the interior of windows and doors.

ix. Screens—Utilize wood screen window frames matching in profile, size, and design of those historically found when the existing screens are deteriorated beyond repair. Ensure that the tint of replacement screens closely matches the original screens or those used historically.

x. Shutters—Incorporate shutters only where they existed historically and where appropriate to the architectural style of the house. Shutters should match the height and width of the opening and be mounted to be operational or appear to be operational. Do not mount shutters directly onto any historic wall material.

10. Commercial Facades

A. MAINTENANCE (PRESERVATION)

i. *Character-defining features*—Preserve character-defining features such as cornice molding, upper-story windows, transoms, display windows, kickplates, entryways, tiled paving at entryways, parapet walls, bulkheads, and other features that contribute to the character of the building.

ii. *Windows and doors*—Use clear glass in display windows. See Guidelines for Architectural Features: Doors, Windows, and Screens for additional guidance.

iii. *Missing features*—Replace missing features in-kind based on evidence such as photographs, or match the style of the building and the period in which it was designed.

iv. *Materials*—Use in-kind materials or materials appropriate to the time period of the original commercial facade when making repairs.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. *New features*—Do not introduce new facade elements that alter or destroy the historic building character, such as adding inappropriate materials; altering the size or shape of windows, doors, bulkheads, and transom openings; or altering the facade from commercial to residential. Alterations should not disrupt the rhythm of the commercial block.

ii. *Historical commercial facades*—Return non-historic facades to the original design based on photographic evidence. Keep in mind that some non-original facades may have gained historic importance and should be retained. When evidence is not available, ensure the scale, design, materials, color, and texture is compatible with the historic building. Consider the features of the design holistically so as to not include elements from multiple buildings and styles.

11. Canopies and Awnings

A. MAINTENANCE (PRESERVATION)

i. *Existing canopies and awnings*—Preserve existing historic awnings and canopies through regular cleaning and periodic inspections of the support system to ensure they are secure.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. *Replacement canopies and awnings*—Replace canopies and awnings in-kind whenever possible.

ii. *New canopies and awnings*—Add canopies and awnings based on accurate evidence of the original, such as photographs. If no such evidence exists, the design of new canopies and awnings should be based on the architectural style of the building and be proportionate in shape and size to the scale of the building facade to which they will be attached. See UDC Section 35-609(j).

iii. *Lighting*—Do not internally illuminate awnings; however, lighting may be concealed in an awning to provide illumination to sidewalks or storefronts.

iv. *Awning materials*—Use fire-resistant canvas awnings that are striped or solid in a color that is appropriate to the period of the building.

v. *Building features*—Avoid obscuring building features such as arched transom windows with new canopies or awnings.

vi. *Support structure*—Support awnings with metal or wood frames, matching the historic support system whenever possible. Minimize damage to historic materials when anchoring the support system. For example, anchors should be inserted into mortar rather than brick. Ensure that the support structure is integrated into the structure of the building as to avoid stress on the structural stability of the facade.

6. Guidelines for Signage

B. HISTORIC SIGNS

i. *Preservation*—Preserve historic signs, such as ghost signs or other signs characteristic of the building's or district's

period of significance, whenever possible.

ii. *Maintenance*—Repair historic signs and replace historic parts in-kind when deteriorated beyond repair.

FINDINGS:

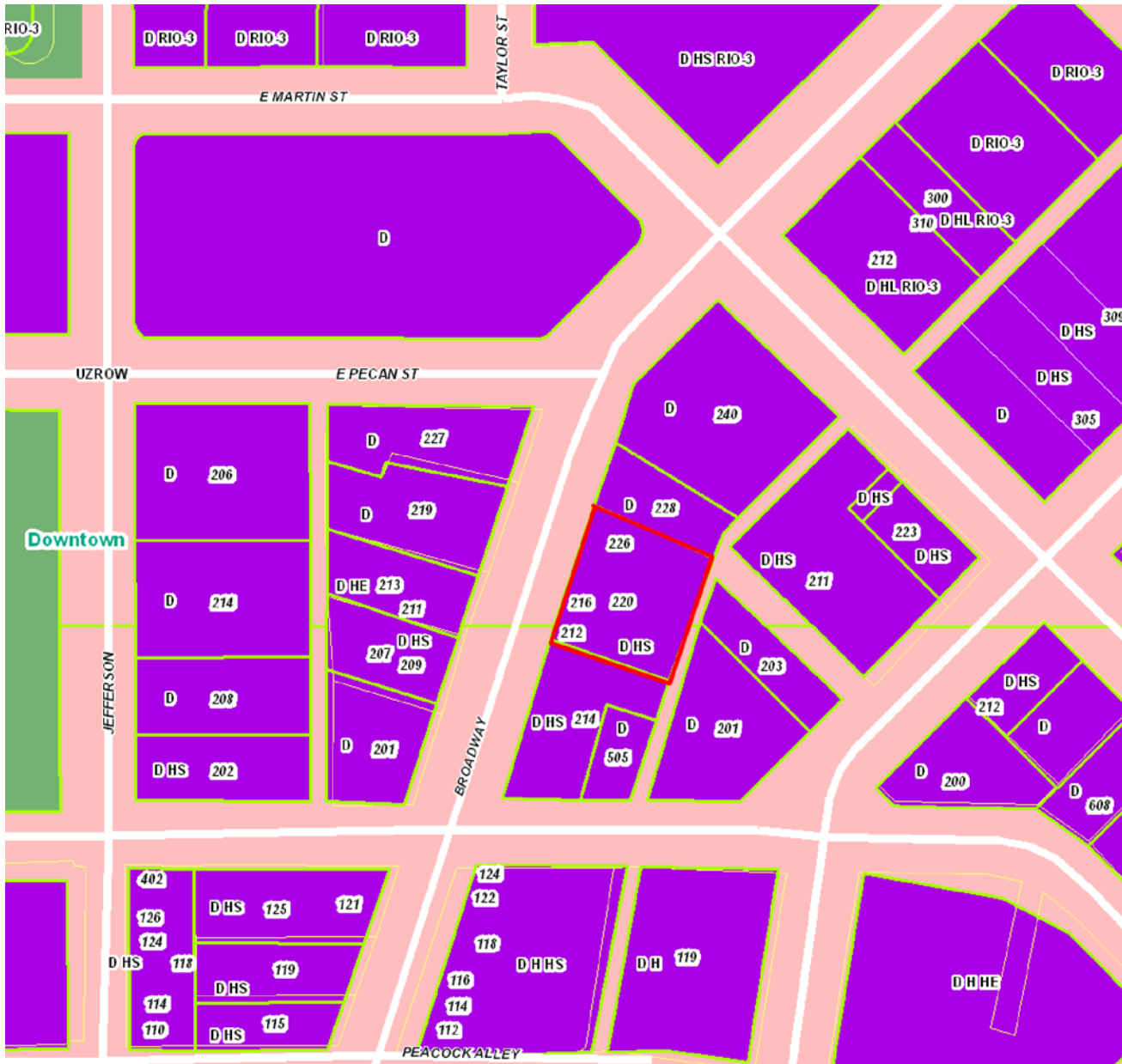
- a. The Traveler's Hotel is a local historic landmark.
- b. The existing, non-original storefront will be removed and replaced with an aluminum frame and glass storefront. The new storefront system will feature a marble knee wall to match the gray marble in the entry vestibule. Two non-operable doors with transoms will engage the visual storefront pattern along the pedestrian walkway. This meets the guidelines for exterior maintenance 10.A.&B.
- c. The existing awning will be repaired. A curved awning will be reconstructed to match an original entry feature over the main entrance (historic photographic evidence has been provided). This is consistent with the guidelines for the preservation of commercial facades 10.A.iii and 10.B.ii.
- d. The masonry will be repaired and cleaned as necessary. The NPS technical brief for masonry repair and cleaning will followed. A low pressure, water based cleaning method will be practiced. This meets the guidelines for exterior maintenance 2.A & B.
- e. The southwestern edge of the Hotel's cornice will be repaired. The material and design of the cornice will match the existing condition. This is consistent with the guidelines for exterior maintenance 10.A &B.
- f. A pool will be constructed in the rear one-story roof (the roof is not visible from the street).
- g. The applicant has completed a window survey to assess the condition of the existing windows. The condition assessment provides sufficient evidence to document the condition of the windows. The majority of the windows will be retained and repaired. The windows that have been documented as beyond repair will be replaced in-kind with wood windows to match the existing windows in terms of size, type, configuration, material, form, appearance, and detail. This is consistent with the guidelines for exterior maintenance 6A and 10.A.
- h. The building will be painted, "Olive Grove"-green. The existing historic painted façade signage will be repainted. The historic painted, "Traveler's Hotel" signs located on the north and west facades should be preserved. This is consistent with the Guidelines for signage 6.B.i.
- i. A signage plan for the Hotel will be submitted at a later date.

RECOMMENDATION:

Staff recommends approval based on items a through i.

CASE MANAGER:

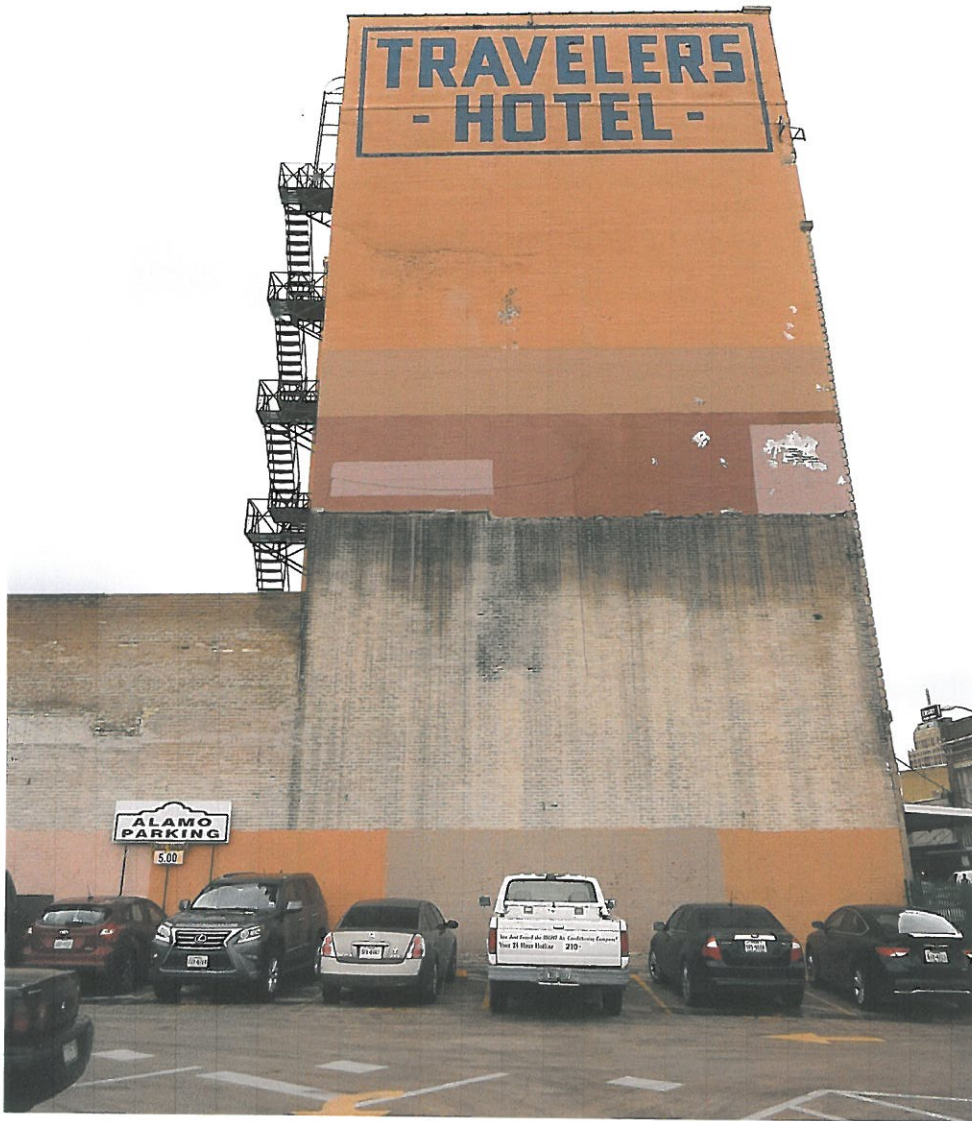
Alyson Smith



220 Broadway

Printed: May 28, 2015

The City of San Antonio does not guarantee the accuracy, adequacy, completeness or usefulness of any information. The City does not warrant the completeness, timeliness, or positional, thematic, and attribute accuracy of the GIS data. The GIS data, cartographic products, and associated applications are not legal representations of the depicted data. Information shown on these maps is derived from public records that are constantly undergoing revision. Under no circumstances should GIS-derived products be used for final design purposes. The City provides this information on an "as is" basis without warranty of any kind, express or implied, including but not limited to warranties of merchantability or fitness for a particular purpose, and assumes no responsibility for anyone's use of the information.





on-
original
steps

Main Entrance Vestibule









EXISTING CONDITION

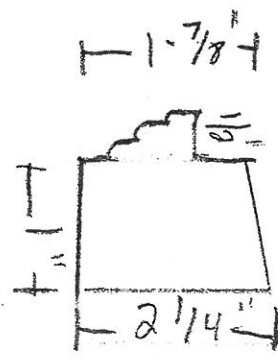
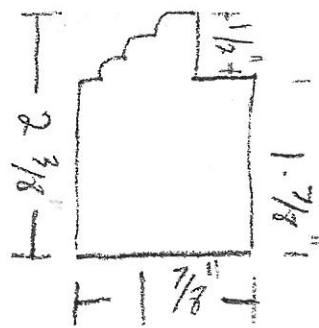
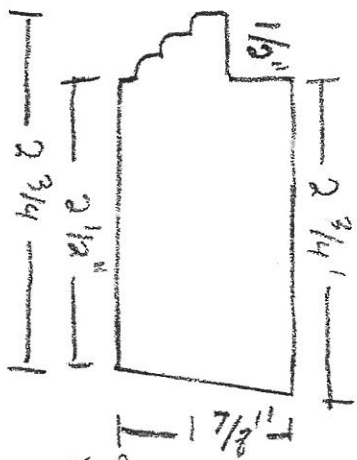
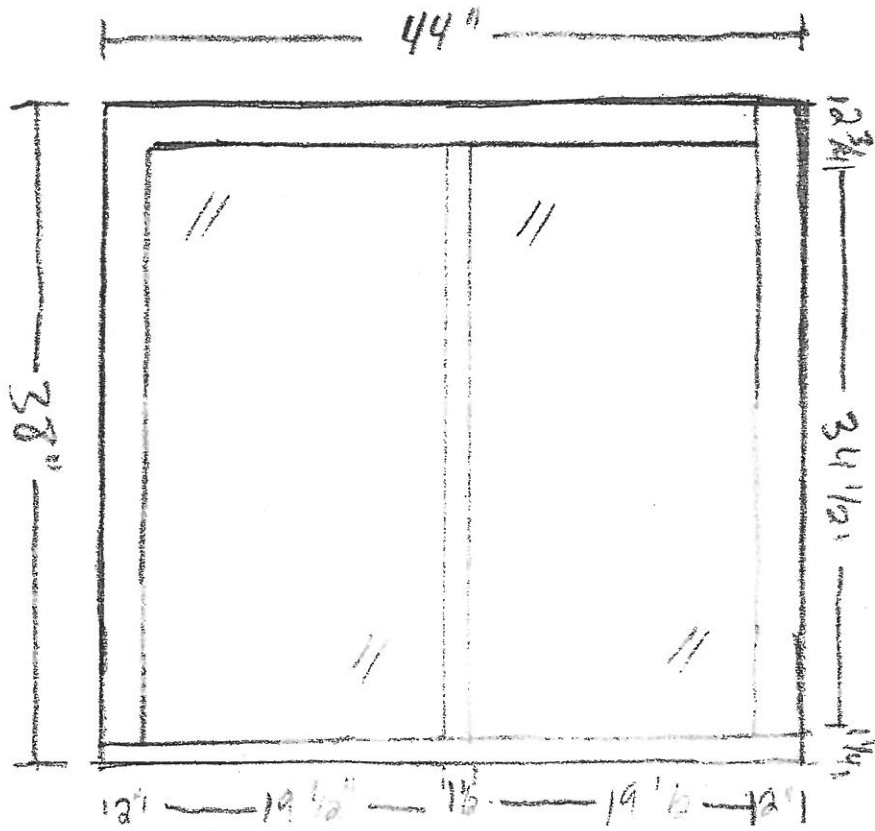
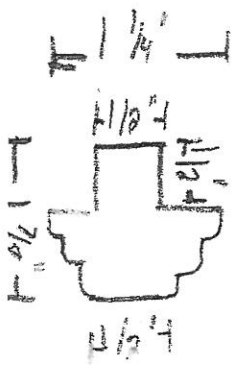


OLIVE GROVE FACADE





Vestibule - knee wall to extend out to storefront



Window Survey





TRAVELER'S HOTEL WINDOW ASSESSMENT SUMMARY							
WINDOW	OPERATIONAL	GLASS	HEADER	JAMBS	SILL	REMARKS	retain or replace
101						no window	
102						no window	
103						no window	
104							retain
105							retain
106						painted glass	TBD
107						meters in front of	TBD
108						bars in front of windows	TBD
109						bars in front of windows	TBD
110							retain
111						painted glass	retain
201							retain
202							retain
203						inaccessible	TBD
204							replace
205						inaccessible	TBD
206						inaccessible	TBD
207							retain
208							retain
209							retain
210							retain
211							retain
212							retain
213							retain
214							retain
215							retain
216							retain
217							retain
218							retain
219							retain
220							retain
221							retain
222						inaccessible	TBD
223							retain

224							retain
225							retain
226							retain
227							retain
228							retain
229						inaccessible	TBD
230							retain
231							retain
232							retain
301							retain
302							retain
303							retain
304							retain
305							retain
306							retain
307							retain
308							retain
309							retain
310							retain
311							retain
312							retain
313							retain
314							retain
315							retain
316							retain
317							retain
318							replace
319							retain
320							retain
321							retain
322							retain
323							retain
324							retain
325							retain
326							retain
327							retain
328							replace
329							retain
330						inaccessible	TBD
331							retain
332							retain
401						inaccessible	TBD
402							retain
403							retain
404							replace

405							replace
406							retain
407							retain
408							replace
409							replace
410							retain
411							retain
412							retain
413							retain
414							retain
415							retain
416							retain
417							retain
418							replace
419							retain
420							retain
421							retain
422							retain
423							retain
424							replace
425							retain
426							retain
427							retain
428							replace
429							retain
430							retain
431							retain
432						inaccessible	TBD
501							replace
502							replace
503							replace
504							replace
505							retain
506							retain
507							retain
508							retain
509							retain
510						inaccessible	TBD
511							retain
512							retain
513							replace
514							replace
515							replace
516							retain

517							retain
518							retain
519							retain
520							retain
521							retain
522							retain
523							replace
524							retain
525							retain
526						inaccessible	TBD
527							retain
528						inaccessible	TBD
529							retain
530							retain
531							replace
532							retain
601							retain
602							retain
603							replace
604							replace
605							retain
606							retain
607							retain
608							replace
609							retain
610							replace
611							replace
612							retain
613							replace
614							replace
615							replace
616							retain
617							replace
618							replace
619						inaccessible	TBD
620							retain
621							retain
622							replace
623							retain
624							replace
625							retain
626							retain
627							retain

628						inaccessible	TBD
629							replace
630							replace
631							replace
632							retain
701							replace
702							replace
703						inaccessible	TBD
704							retain
705							retain
706						inaccessible	TBD
707							replace
708							retain
709						inaccessible	TBD
710						inaccessible	TBD
711						inaccessible	TBD
712							replace
713							replace
714							replace
715							replace
716							replace
717							replace
718							retain
719							replace
720							replace
721							replace
722							replace
723							replace
724							replace
725							replace
726							replace
727						inaccessible	TBD
728						inaccessible	TBD
729						inaccessible	TBD
730							replace
731							retain
732							replace
733							retain
734							retain
735							retain
736							retain
737							retain
738							retain

[illegible]

Cross Through of replicated window





TRAVELER'S HOTEL DESIGN CONCEPT BEST WESTERN PREMIER

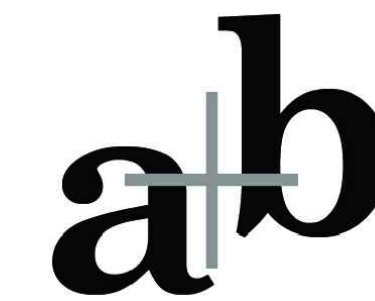
220 BROADWAY
San Antonio, TX 78205

INDEX OF DRAWINGS

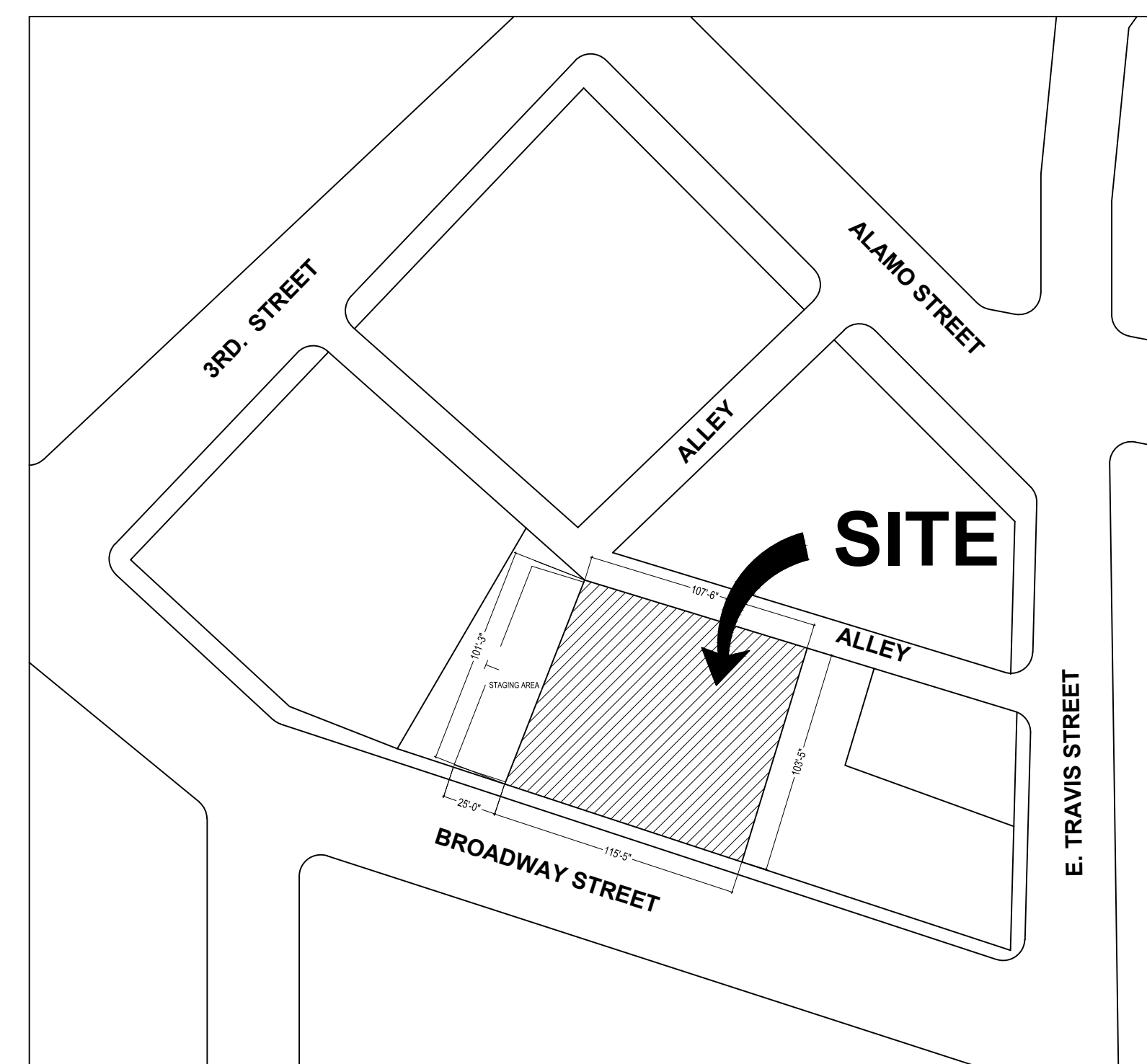
ARCHITECTURAL COVER SHEET

- D1.1 PLOT PLAN AND SELECTIVE DEMOLITION FIRST FLOOR
- D1.2 SELECTIVE DEMOLITION GUEST ROOM FLOORS
- A1.0 BASEMENT FLOOR PLAN
- A1.1 FIRST FLOOR PROPOSED FIRST PLAN
- A1.2 GUEST ROOMS PROPOSED FLOOR PLANS
- A1.3 PROPOSED ROOF PLAN
- A1.4 WEST ELEVATION
- A1.5 EAST AND NORTH ELEVATIONS
- A1.6 FACADE RENOVATION
- A1.7 INTERIOR CORRIDORS RENOVATION

DESIGN ARCHITECT



A+B Architecture and Design, LLC
8600 Wurzbach Rd Suite 600
San Antonio, TX 78240
Phone 210.587.9875



1 PLOT PLAN

SCALE: 1/64" = 1'-0"

CUT A 7'-0" WIDE X 8'-0" HIGH
OPENING FOR DEBRIS REMOVAL







REMOVE AND SALVAGE BRICKS ON THIS FACADE
TO CREATE AN OPENING FOR DEBRIS REMOVAL.
WALL WILL BE RECONSTRUCTED LATER WITH THE ORIGINAL BRICKS

CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO TURN OFF ALL ELECTRICAL, GAS, WATER, TELEPHONE AND CABLE TV PRIOR TO DEMOLITION WORK.

PROTECT DOORS, WALLS AND CEILINGS IN THIS AREA. _____



2 FIRST FLOOR
SCALE: 1/8" = 1'-0"

LEGEND	
	EXISTING WALL TO REMAIN
	WALL OR PARTITION TO BE REMOVED
	EXISTING DOOR TO REMAIN
	DOOR TO BE REMOVED
	PROTECT AND PRESERVE EXISTING WHITE OCTOGONAL MOSAIC FLOOR PATTERN
	PROTECT AND PRESERVE EXISTING RED MOSAIC FLOOR PATTERN

DEMOLITION NOTES

1. REMOVE ALL PLUMBING FIXTURES, PIPING, ELECTRICAL FIXTURES, CABLES, MECHANICAL SYSTEMS AND DUCTS.
2. REMOVE ALL SUSPENDED ACOUSTICAL CEILINGS AND MEZZANINES
3. PROTECT EXISTING MARBLE RECEPTION DESK.
4. REMOVE WOOD FLOOR INFILL AND INSTALL NEW CONCRETE FLOOR.
5. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING SERVICES, VERIFYING UTILITIES ARE SHUT OFF OR DISCONNECTED AND ALL POSSIBLE SAFETY PRECAUTIONS HAVE BEEN ENACTED TO ENSURE THE SAFEST ENVIRONMENT FOR ALL PERSONNEL.
6. CONTRACTOR SHALL COORDINATE WITH THE OWNER TO IDENTIFY ANY MATERIAL OR EQUIPMENT SCHEDULED FOR REMOVAL TO BE SALVAGED AND REUSED. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS AND APPROVALS BEFORE COMMENCING DEMOLITION.
7. DUE TO FEDERAL REGULATIONS TITLE 49, PART 192,181 CPS MUST MAINTAIN ACCESS TO VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT THE WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
8. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH ALL REGULATIONS GOVERNING THE DEMOLITION, REMOVAL, TRANSPORTATION AND DISPOSAL OF ALL DEMOLISHED OR UNWANTED MATERIAL.
9. CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS FOR DEMOLITION.



ARCHITECTURE AND DESIGN, LLC
TEL. 210.846.5508
210.587.9875

PIYUSH PATEL
220 BROADWAY STREET
SAN ANTONIO, TX 7820

TRAVELER'S HOTEL
220 BROADWAY STREET
SAN ANTONIO, TEXAS 78205

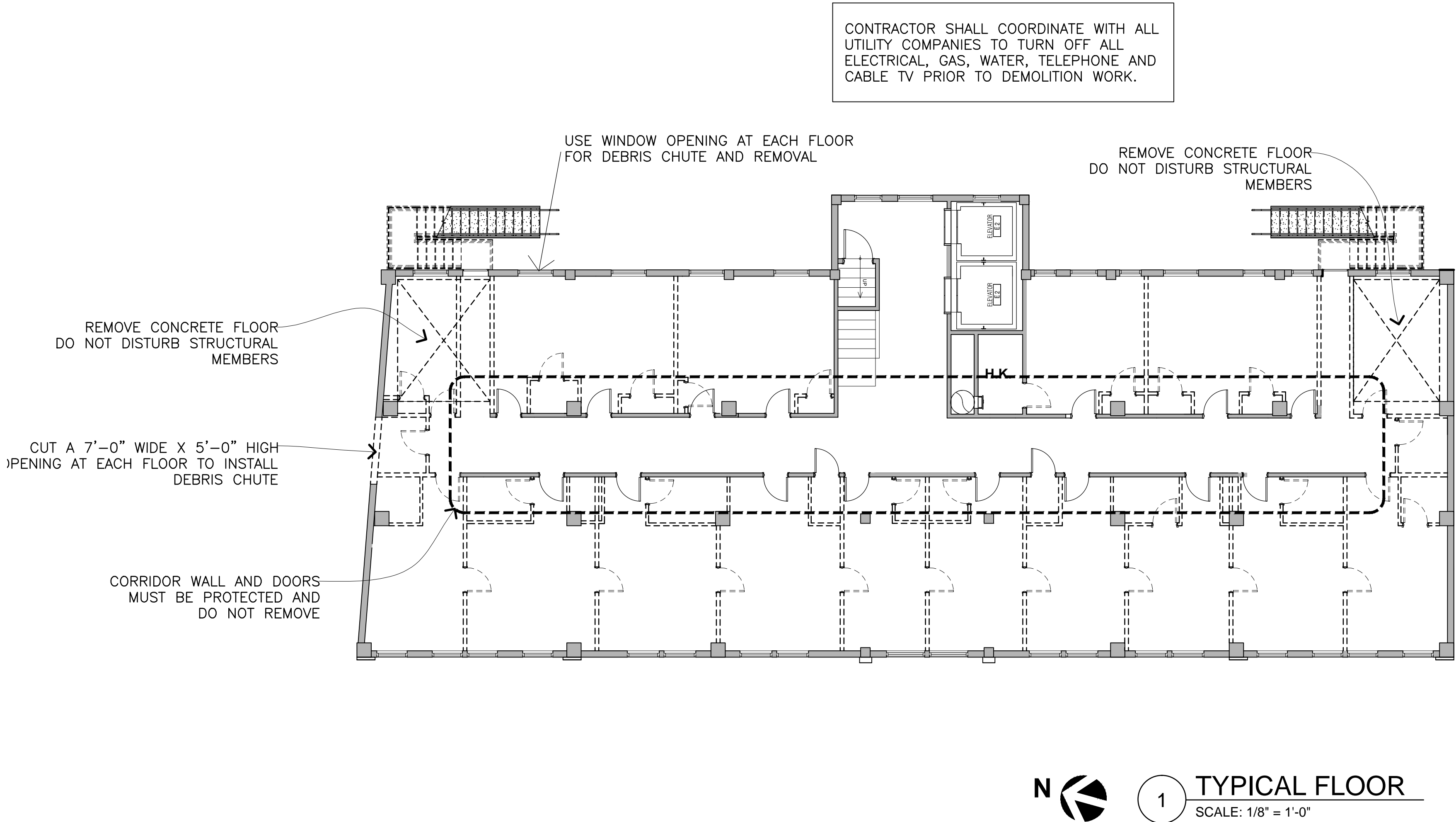
REVISIONS		
No.	Description	Date

CLIENT PROJ. NO. -
A+B PROJ. NO. 14010
DATE : 2/4/2015

PLOT PLAN
FIRST FLOOR

SHEET
D.1.1

Date: Apr 14, 2015 12:48pm User: JD_Tenorio
File: P:\14010 Traveler's Hotel\02 Design\02 CAD Drawings\Drawings\2014010-Traveler's Hotel 2nd to 6th demolition plan.dwg
This document has been produced from material that was stored and/or transmitted electronically and may have been inadvertently altered. Rely only on final hardcopy materials bearing the consultant's original signature and seal.



LEGEND

EXISTING WALL TO REMAIN

WALL OR PARTITION TO BE REMOVED

EXISTING DOOR TO REMAIN

DOOR TO BE REMOVED

DEMOLITION NOTES

1. REMOVE ALL PLUMBING FIXTURES, PIPING, ELECTRICAL FIXTURES, CABLES, MECHANICAL SYSTEMS AND DUCTS.
2. REMOVE ALL SUSPENDED ACOUSTICAL CEILINGS.
3. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING SERVICES, VERIFYING UTILITIES ARE SHUT OFF OR DISCONNECTED AND ALL POSSIBLE SAFETY PRECAUTIONS HAVE BEEN ENACTED TO ENSURE THE SAFEST ENVIRONMENT FOR ALL PERSONNEL.
4. CONTRACTOR SHALL COORDINATE WITH THE OWNER TO IDENTIFY ANY MATERIAL OR EQUIPMENT SCHEDULED FOR REMOVAL TO BE SALVAGED AND REUSED. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS AND APPROVALS BEFORE COMMENCING DEMOLITION.
5. DUE TO FEDERAL REGULATIONS TITLE 49, PART 192,181 CPS MUST MAINTAIN ACCESS TO VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT THE WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.
6. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH ALL REGULATIONS GOVERNING THE DEMOLITION, REMOVAL, TRANSPORTATION AND DISPOSAL OF ALL DEMOLISHED OR UNWANTED MATERIAL.
7. CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS FOR DEMOLITION.

REVISIONS		
No.	Description	Date
CLIENT PROJ. NO. - A+B PROJ. NO. 14010 DATE : 2/4/2015		

2nd. to 7th. FLOOR

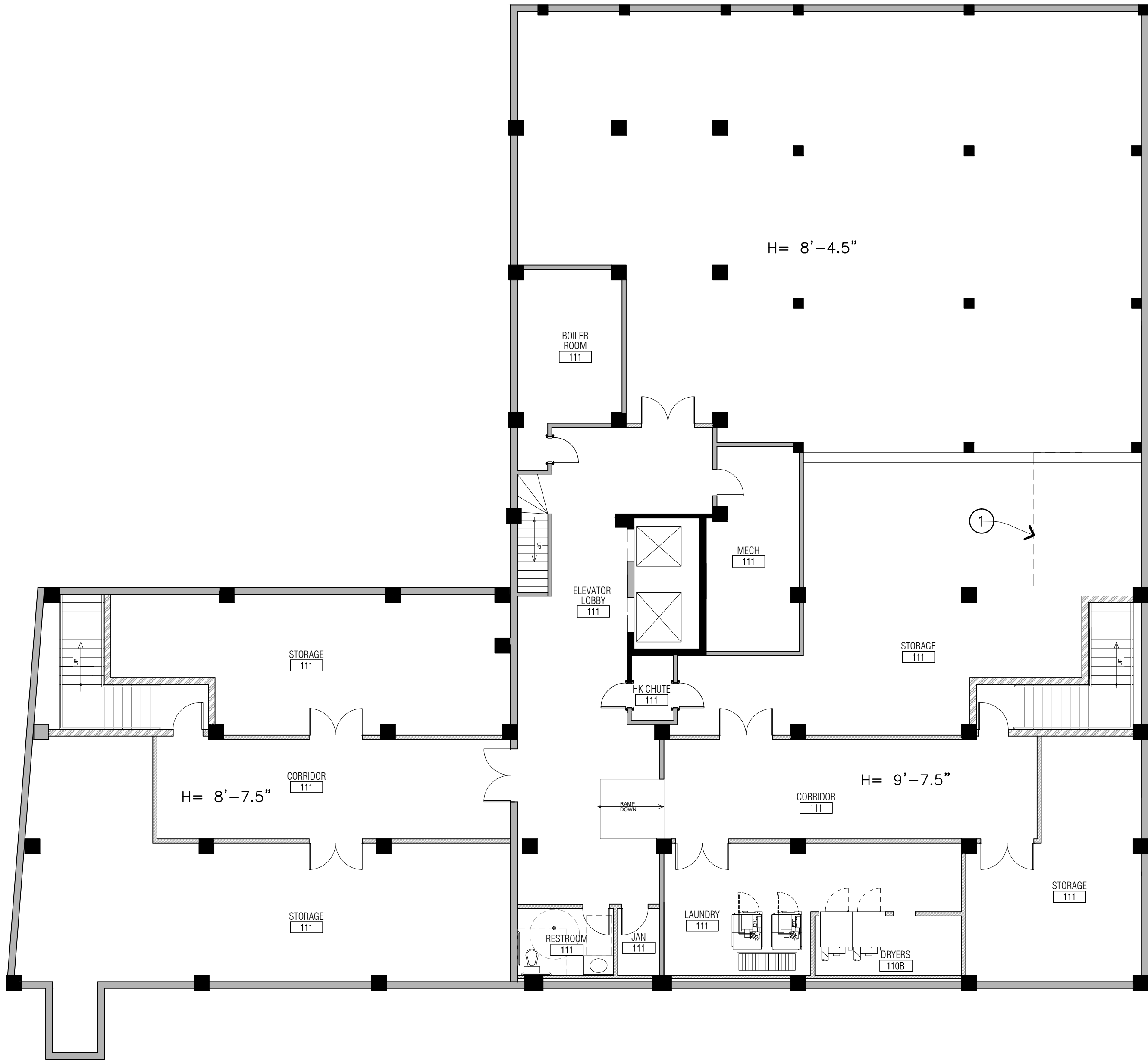
SHEET
D.1.2

Date: Apr 13, 2015, 11:45am User: ID: 165616 File: P:\14010-Traveler's Hotel\AGE Design\02 CAD Drawings\Drawings\1014010-Traveler's Hotel Basement Floor.dwg

This document has been produced from material that was stored and/or transmitted electronically and may have been inadvertently altered. Rely only on final hardcopy materials bearing the consultant's original signature and seal.

GUESTROOM CALCULATIONS

	SINGLE KING ROOMS		DOUBLE QUEEN ROOMS		TOTAL	AREAS			
	KING ROOM	KING STUDIO ACCESSIBLE	DOUBLE QUEEN ROOM	DOUBLE QUEEN DO ROOM ACCESSIBLE		GUESTROOMS	PUBLIC	OUTDOOR	TOTAL
FIRST FLOOR	1	0	4	1	6	2,092 SF.	7,772 SF.	1,125 SF.	10,989 SF
SECOND FLOOR	11	1	1	0	13	3,241 SF.	1,505 SF.		4,746 SF
THIRD FLOOR	11	1	1	0	13	3,241 SF.	1,505 SF.		4,746 SF
FOURTH FLOOR	11	1	1	0	13	3,241 SF.	1,505 SF.		4,746 SF
FIFTH FLOOR	11	1	1	0	13	3,241 SF.	1,505 SF.		4,746 SF
SIXTH FLOOR	11	1	1	0	13	3,241 SF.	1,505 SF.		4,746 SF
SEVENTH FLOOR	11	1	1	0	13	3,241 SF.	1,505 SF.		4,746 SF
TOTAL	67	6	10	1	84	21,538 SF.	16,802 SF.	1,125 SF.	39,465 SF
PERCENTAGES	87%		13%		100%				



BASEMENT PLAN
SCALE: 1/8" = 1'-0"

LEGEND

- EXISTING WALL TO REMAIN
- NEW 8" CMU WALL
- NEW LIGHT GAGE METAL STUD WALL
- EXISTING DOOR TO REMAIN
- NEW DOOR

GENERAL NOTES

- REMOVE EXISTING CONCRETE STAIRWAY
- ARCHITECT OF RECORD AND CONTRACTOR SHALL VERIFY ALL DIMENSIONS.



ARCHITECTURE AND DESIGN, LLC
TEL: 210.846.5508
210.587.9875

PIYUSH PATEL
220 BROADWAY STREET
SAN ANTONIO, TX 78205

TRAVELER'S HOTEL
220 BROADWAY STREET
SAN ANTONIO, TEXAS 78205
DESIGN CONCEPT

REVISIONS

No.	Description	Date

CLIENT PROJ. NO. -
A+B PROJ. NO. 14010
DATE : 2/4/2015

BASEMENT PLAN

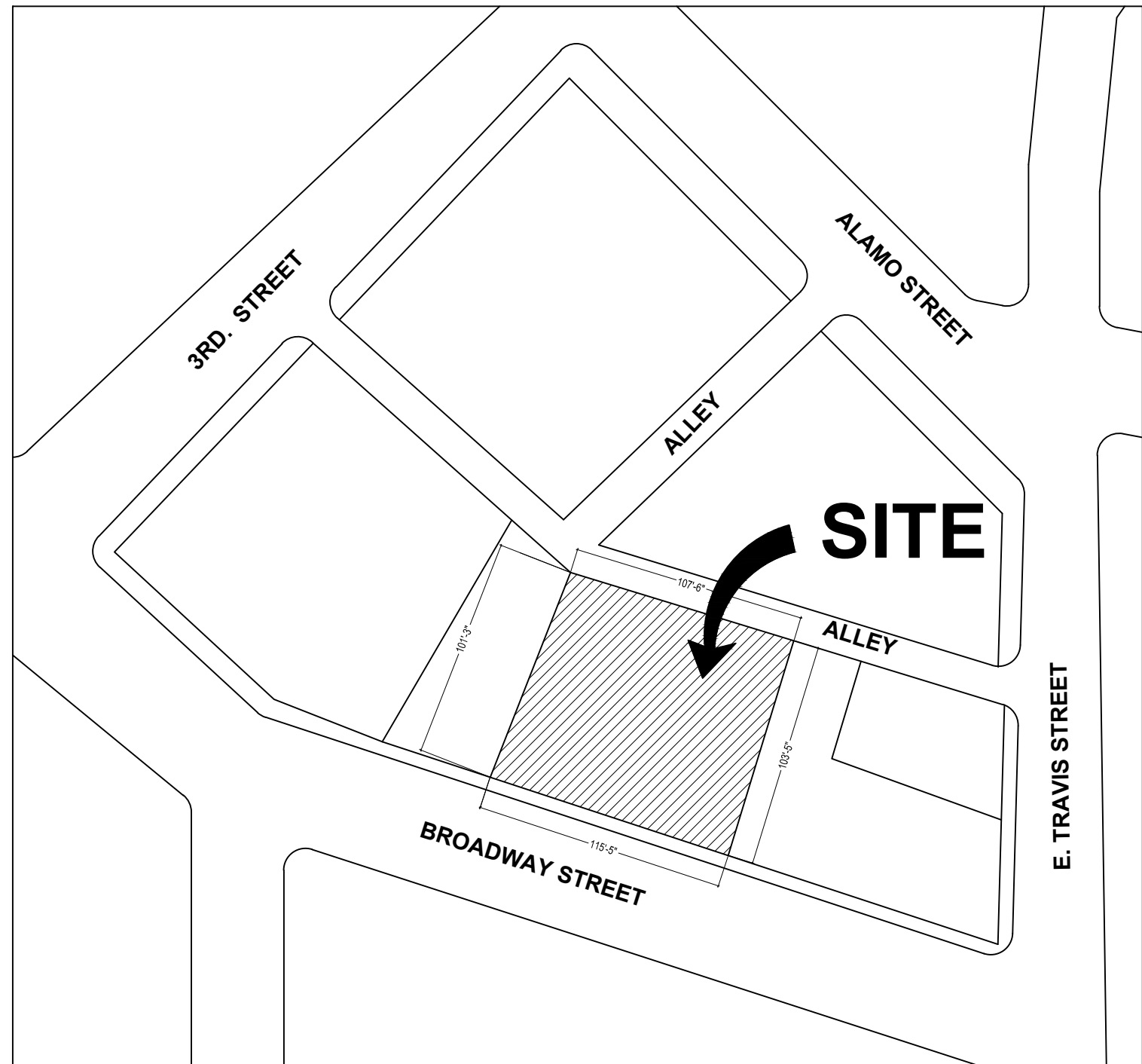
SHEET

A.1.0

These documents can not be copied or reproduced without written consent from A+B ARCHITECTURE

This document has been produced from material that was stored and/or transmitted electronically and may have been inadvertently altered. Rely only on final hardcopy materials bearing the consultant's original signature and seal.

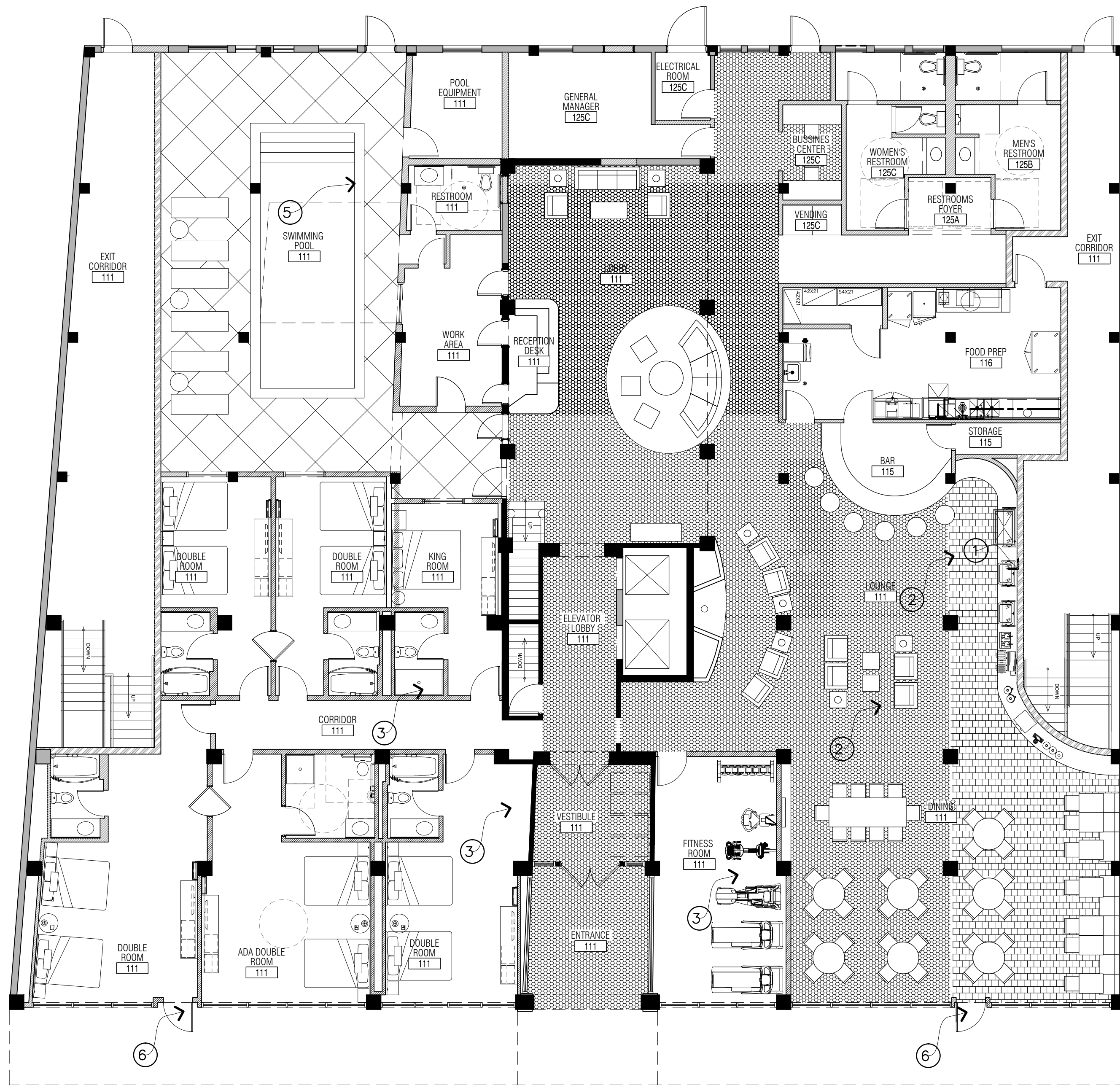
Date: Apr 14, 2015 12:28pm User: ID: Travis
File: P:\14010-Traveler's Hotel\AGE Design\02 CAD Drawings\Drawings\2014010-Traveler's Hotel First Floor.dwg



1 PLOT PLAN
SCALE: 1/64" = 1'-0"

GUESTROOM CALCULATIONS

	SINGLE KING ROOMS		DOUBLE QUEEN ROOMS		TOTAL	AREAS			
	KING ROOM	KING STUDIO ACCESSIBLE	DOUBLE QUEEN ROOM	DO ROOM ACCESSIBLE		GUESTROOMS	PUBLIC	OUTDOOR	TOTAL
FIRST FLOOR	1	0	4	1	6	2,092 SF.	7,772 SF.	1,125 SF.	10,989 SF
SECOND FLOOR	11	1	1	0	13	3,241 SF.	1,505 SF.		4,746 SF
THIRD FLOOR	11	1	1	0	13	3,241 SF.	1,505 SF.		4,746 SF
FOURTH FLOOR	11	1	1	0	13	3,241 SF.	1,505 SF.		4,746 SF
FIFTH FLOOR	11	1	1	0	13	3,241 SF.	1,505 SF.		4,746 SF
SIXTH FLOOR	11	1	1	0	13	3,241 SF.	1,505 SF.		4,746 SF
SEVENTH FLOOR	11	1	1	0	13	3,241 SF.	1,505 SF.		4,746 SF
TOTAL	67	6	10	1	84	21,538 SF.	16,802 SF.	1,125 SF.	39,465 SF
PERCENTAGES	87%		13%		100%				



2 FIRST FLOOR
SCALE: 1/8" = 1'-0"

LEGEND

- EXISTING WALL TO REMAIN
- NEW 8" CMU WALL
- NEW WALL
- EXISTING DOOR TO REMAIN
- NEW DOOR
- PROTECT AND PRESERVE EXISTING WHITE OCTAGONAL MOSAIC FLOOR PATTERN
- PROTECT AND PRESERVE EXISTING RED MOSAIC FLOOR PATTERN
- EXTERIOR PAVERS

GENERAL NOTES

- INFILL FLOOR OPENINGS AND CRACKS WITH CONCRETE
- WHERE PARTITIONS HAVE BEEN REMOVED INFILL WITH CONCRETE AT THE SAME LEVEL THAT ADJACENT CERAMIC TILE
- INSTALL CARPET ABOVE EXISTING HISTORICAL MOSAIC TILE
- ARCHITECT OF RECORD AND CONTRACTOR SHALL VERIFY ALL DIMENSIONS.
- MAINTAIN AND REPAIR ROOF STRUCTURAL FRAME AT 14' A.F.F. IN THE SWIMMING POOL AREA
- NON-OPENABLE DOORS



ARCHITECTURE AND DESIGN, LLC
TEL: 210.846.5508
210.587.9875

PIYUSH PATEL
220 BROADWAY STREET
SAN ANTONIO, TX 78205

TRAVELER'S HOTEL
220 BROADWAY STREET
SAN ANTONIO, TEXAS 78205
DESIGN CONCEPT

REVISIONS

No.	Description	Date

CLIENT PROJ. NO. -
A+B PROJ. NO. 14010
DATE : 2/4/2015

PLOT PLAN
FIRST FLOOR

SHEET

A.1.1

© These documents can not be copied or reproduced without written consent from A+B ARCHITECTURE

This document has been produced from material that was stored and/or transmitted electronically and may have been inadvertently altered. Rely only on final hardcopy materials bearing the consultant's original signature and seal.

Date: Apr 14, 2015 12:46pm User: JD_Tenacio
File: P:\14010 Traveler's Hotel\2 Design\02 CAD Drawings\Drawings\2014010-Traveler's Hotel 2nd to 6th.dwg

GUESTROOM CALCULATIONS

	SINGLE KING ROOMS		DOUBLE QUEEN ROOMS		TOTAL	AREAS			
	KING ROOM	KING STUDIO ACCESSIBLE	DOUBLE QUEEN ROOM	DQ ROOM ACCESSIBLE		GUESTROOMS	PUBLIC	OUTDOOR	TOTAL
FIRST FLOOR	1	0	4	1	6	2,082 SF.	7,772 SF.	1,125 SF.	10,989 SF
SECOND FLOOR	11	1	1	0	13	3,241 SF.	1,505 SF.		4,746 SF
THIRD FLOOR	11	1	1	0	13	3,241 SF.	1,505 SF.		4,746 SF
FOURTH FLOOR	11	1	1	0	13	3,241 SF.	1,505 SF.		4,746 SF
FIFTH FLOOR	11	1	1	0	13	3,241 SF.	1,505 SF.		4,746 SF
SIXTH FLOOR	11	1	1	0	13	3,241 SF.	1,505 SF.		4,746 SF
SEVENTH FLOOR	11	1	1	0	13	3,241 SF.	1,505 SF.		4,746 SF
TOTAL	67	6	10	1	84	21,538 SF.	16,802 SF.	1,125 SF.	39,465 SF
PERCENTAGES	87%		13%		100%				



1

SECOND TO SEVENTH FLOOR

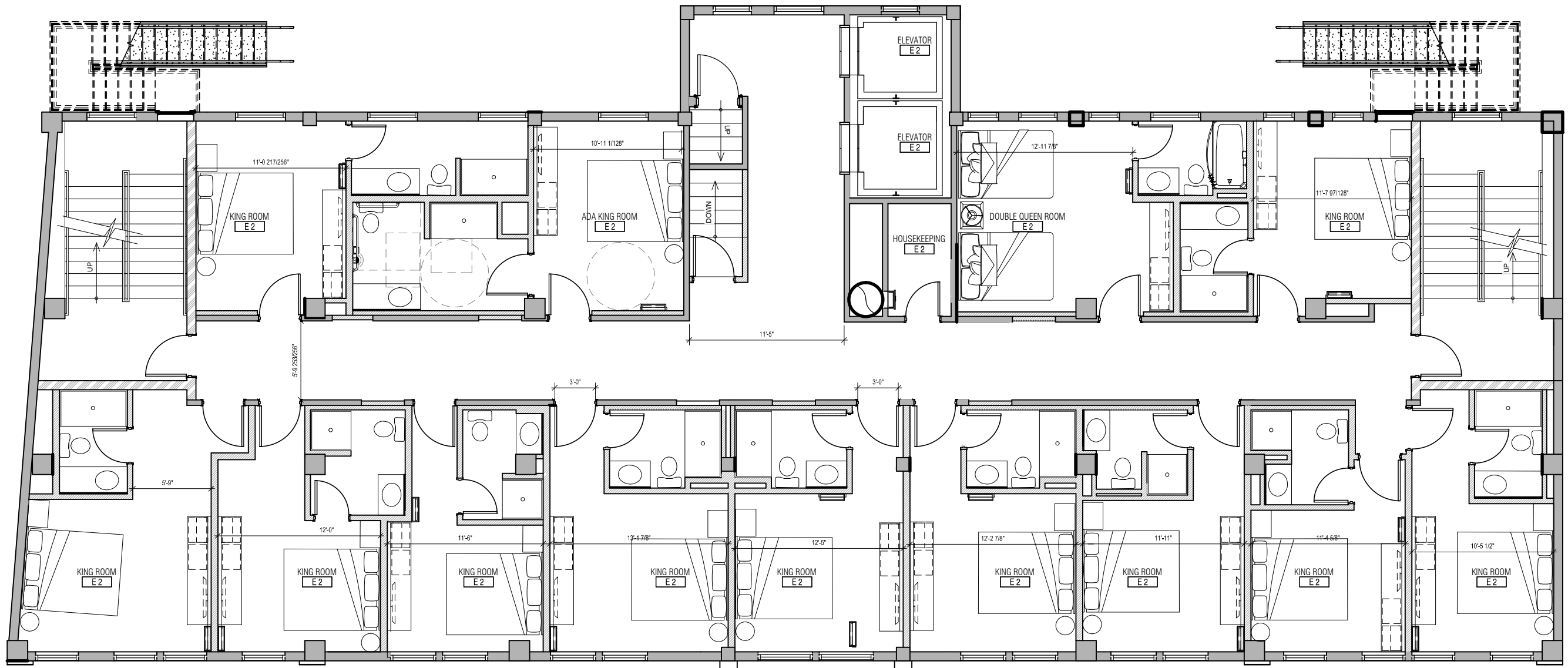
SCALE: 1/8" = 1'-0"

LEGEND

- EXISTING WALL TO REMAIN
- NEW 8" CMU WALL
- NEW WALL
- EXISTING DOOR TO REMAIN
- NEW DOOR
- PROTECT AND PRESERVE EXISTING WHITE OCTOGONAL MOSAIC FLOOR PATTERN
- PROTECT AND PRESERVE EXISTING RED MOSAIC FLOOR PATTERN
- EXTERIOR PAVERS

GENERAL NOTES

- INFILL FLOOR OPENINGS AND CRACKS WITH CONCRETE
- WHERE PARTITIONS HAVE BEEN REMOVED INFILL WITH CONCRETE AT THE SAME LEVEL THAT ADJACENT CERAMIC TILE
- INSTALL CARPET ABOVE EXISTING HISTORICAL MOSAIC TILE
- ARCHITECT OF RECORD AND CONTRACTOR SHALL VERIFY ALL DIMENSIONS.
- MAINTAIN AND REPAIR ROOF STRUCTURAL FRAME AT 14' A.F.F. IN THE SWIMMING POOL AREA



ARCHITECTURE AND DESIGN, LLC
TEL: 210.846.5508
210.587.9875

PIYUSH PATEL
220 BROADWAY STREET
SAN ANTONIO, TX 78205

TRAVELER'S HOTEL
220 BROADWAY STREET
SAN ANTONIO, TEXAS 78205
DESIGN CONCEPT

REVISIONS

No.	Description	Date

CLIENT PROJ. NO. -
A+B PROJ. NO. 14010
DATE : 2/4/2015

SECOND TO SEVENTH
FLOOR

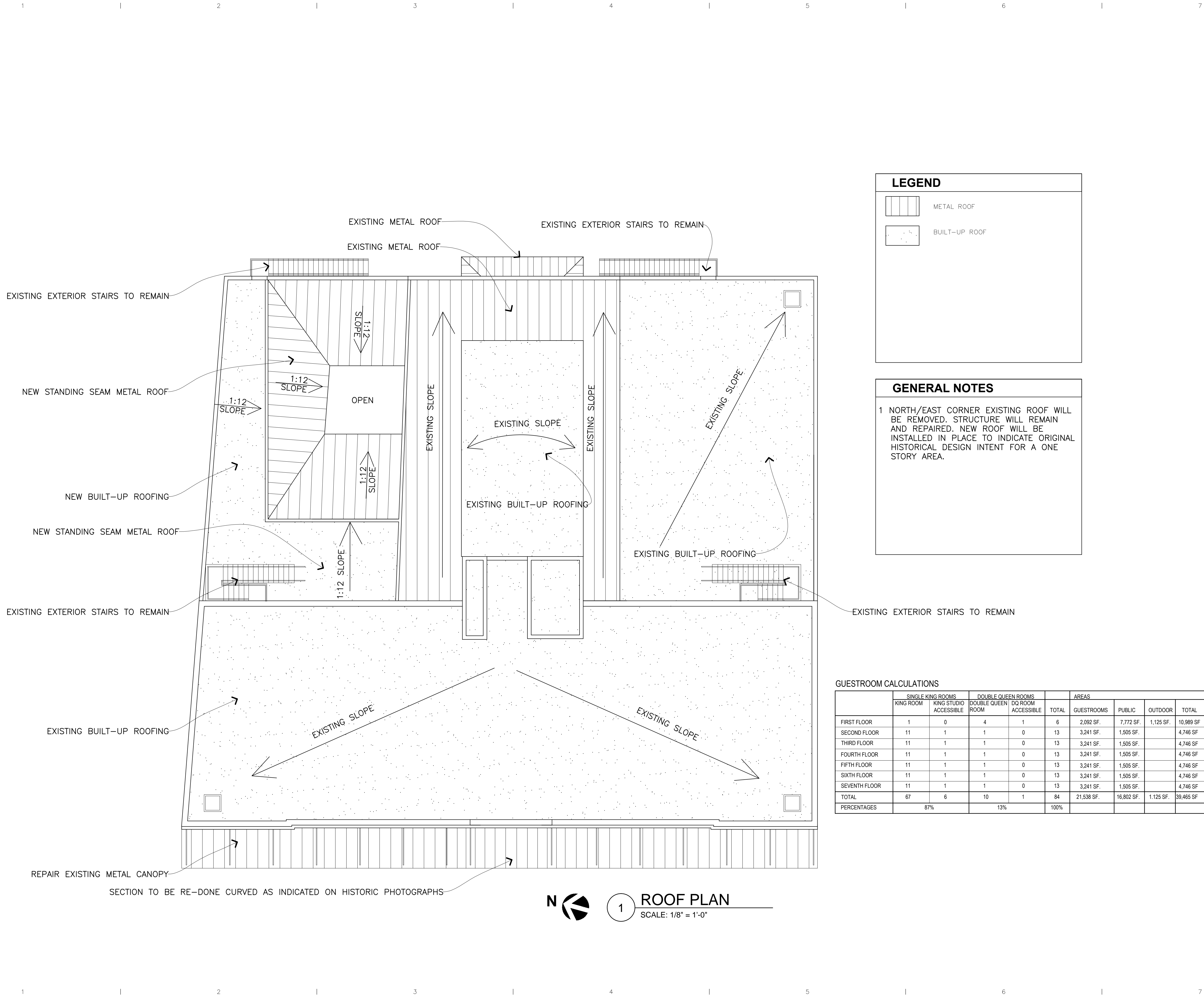
SHEET

A.1.2

These documents can not be copied or reproduced without written consent from A+B ARCHITECTURE

This document has been produced from material that was stored and/or transmitted electronically and may have been inadvertently altered. Rely only on final hardcopy materials bearing the consultant's original signature and seal.

Date: Apr 13, 2015, 11:09am User: ID: f6c6c1c
File: P:\14010 Traveler's Hotel\10 Design\102 CAD Drawings\Drawings\1014010-Traveler's Hotel Roof Plan.dwg



LEGEND

METAL ROOF

BUILT-UP ROOF

GENERAL NOTES

1 NORTH/EAST CORNER EXISTING ROOF WILL BE REMOVED. STRUCTURE WILL REMAIN AND REPAIRED. NEW ROOF WILL BE INSTALLED IN PLACE TO INDICATE ORIGINAL HISTORICAL DESIGN INTENT FOR A ONE STORY AREA.

	SINGLE KING ROOMS		DOUBLE QUEEN ROOMS		TOTAL	AREAS			
	KING ROOM	KING STUDIO ACCESSIBLE	DOUBLE QUEEN ROOM	DQ ROOM ACCESSIBLE		GUESTROOMS	PUBLIC	OUTDOOR	TOTAL
FIRST FLOOR	1	0	4	1	6	2,092 SF.	7,772 SF.	1,125 SF.	10,989 SF
SECOND FLOOR	11	1	1	0	13	3,241 SF.	1,505 SF.		4,746 SF
THIRD FLOOR	11	1	1	0	13	3,241 SF.	1,505 SF.		4,746 SF
FOURTH FLOOR	11	1	1	0	13	3,241 SF.	1,505 SF.		4,746 SF
FIFTH FLOOR	11	1	1	0	13	3,241 SF.	1,505 SF.		4,746 SF
SIXTH FLOOR	11	1	1	0	13	3,241 SF.	1,505 SF.		4,746 SF
SEVENTH FLOOR	11	1	1	0	13	3,241 SF.	1,505 SF.		4,746 SF
TOTAL	67	6	10	1	84	21,538 SF.	16,802 SF.	1,125 SF.	39,465 SF
PERCENTAGES	87%		13%		100%				

Date: May 20, 2015, 12:35pm User: ID: Ignacio
File: P:\14010 Traveler's Hotel\02 Design\02 CAD Drawings\Drawings\2014010 Traveler's Hotel west elevation.dwg

This document has been produced from material that was stored and/or transmitted electronically and may have been inadvertently altered. Rely only on final hardcopy materials bearing the consultant's original signature and seal.



- | GENERAL NOTES | |
|---------------|---|
| 1 | NEW CURVED METAL AWNING; |
| 2 | STOREFRONT WITH DARK ANODIZED ALUMINUM FRAME AND CLEAR LOW E DOUBLE GLASS; |
| 3 | NON-OPENABLE DOOR AND TRANSOM WITH WALNUT STAIN AND CLEAR LOW E DOUBLE GLASS; |
| 4 | 1'-8" GREY MARBLE MATCHING EXISTING ON ENTRY VESTIBULE; |
| 5 | EXISTING COLUMNS TO RECEIVE A LOW PRESSURE WASH; |
| 6 | EXISTING AWNING TO BE REPAIRED AS NEEDED; |
| 7 | EXISTING MASONRY FACADE TO RECEIVE A LOW PRESSURE WASH; |
| 8 | SALVAGE AND REPAIR EXISTING WINDOWS ACCORDING TO WINDOW SURVEY. REPAIR IN SITU, DO NOT RELOCATE. DAMAGED WINDOWS MUST BE REPLACED BY SIMILAR WOOD WINDOWS. REPAIR, SEAL AND PAINT DAMAGED WINDOW JAMBS AND SILLS AS NEEDED; |
| 9 | SIGNAGE IS NOT PART OF THIS SUBMITTAL. SIGNAGE WILL BE SUBMITTED IN A SEPARATE PACKAGE; |
| 10 | EXISTING FRONT DOORS TO BE REPAIRED; |
| 11 | EXISTING HEADER; |
| 12 | REPAIR MISSING CORNICE TO MATCH EXISTING; |



ARCHITECTURE AND DESIGN, LLC
TEL. 210.846.5508
210.587.9875

PIYUSH PATEL
220 BROADWAY STREET
SAN ANTONIO, TX 78205

TRAVELER'S HOTEL
220 BROADWAY STREET
SAN ANTONIO, TEXAS 78205
DESIGN CONCEPT

REVISIONS		
No.	Description	Date

CLIENT PROJ. NO. —
A+B PROJ. NO. 14010
DATE : 2/4/2015

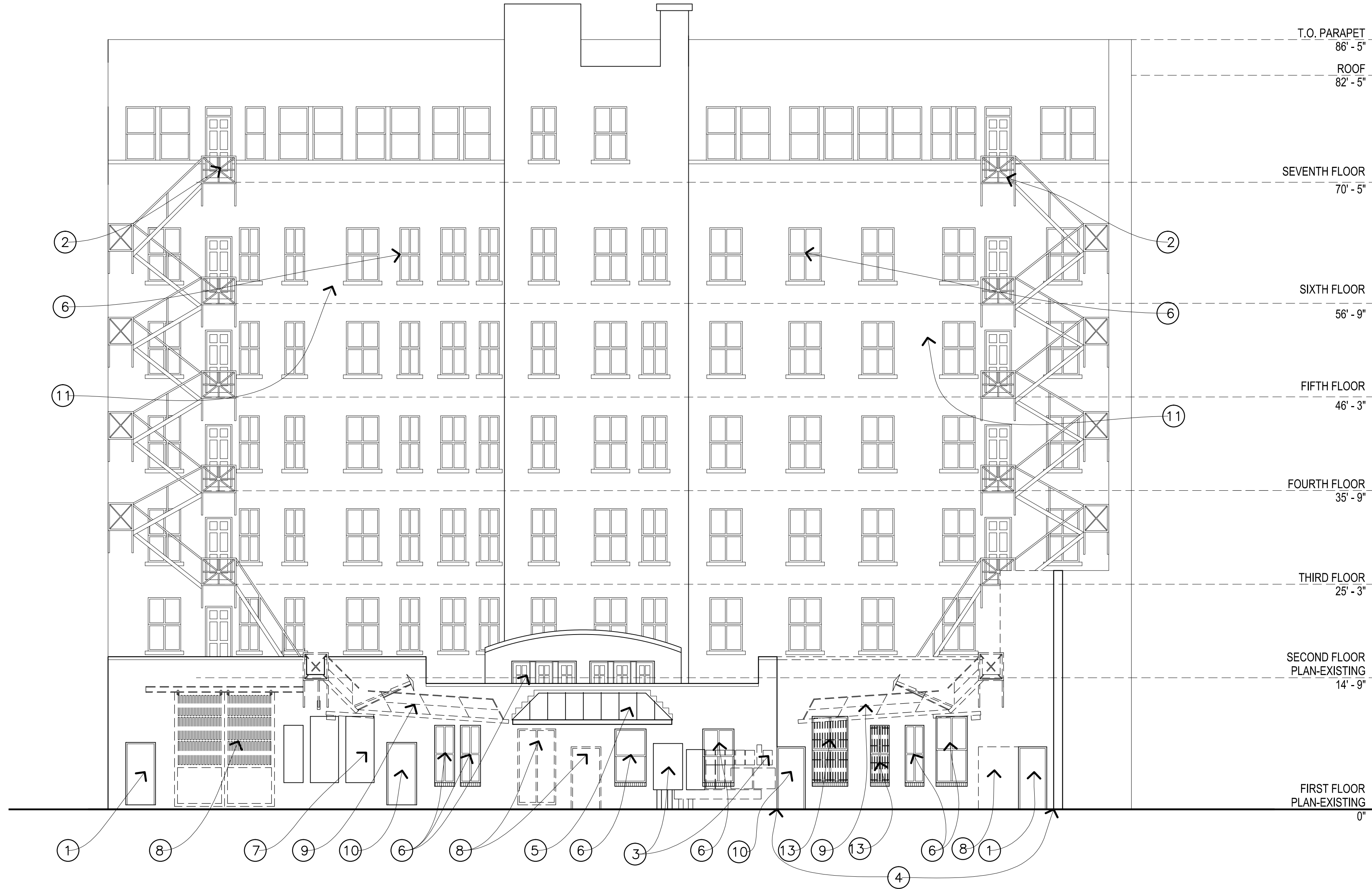
WEST ELEVATION

SHEET
A.1.4

These documents can not be copied or reproduced without written consent from A+B ARCHITECTURE

Date: May 20, 2015, 12:41pm User: ID: Ignacio
File: F:\14010 Traveler's Hotel\02 Design\02 CAD Drawings\Drawings\2014010 Traveler's Hotel east elevation.dwg

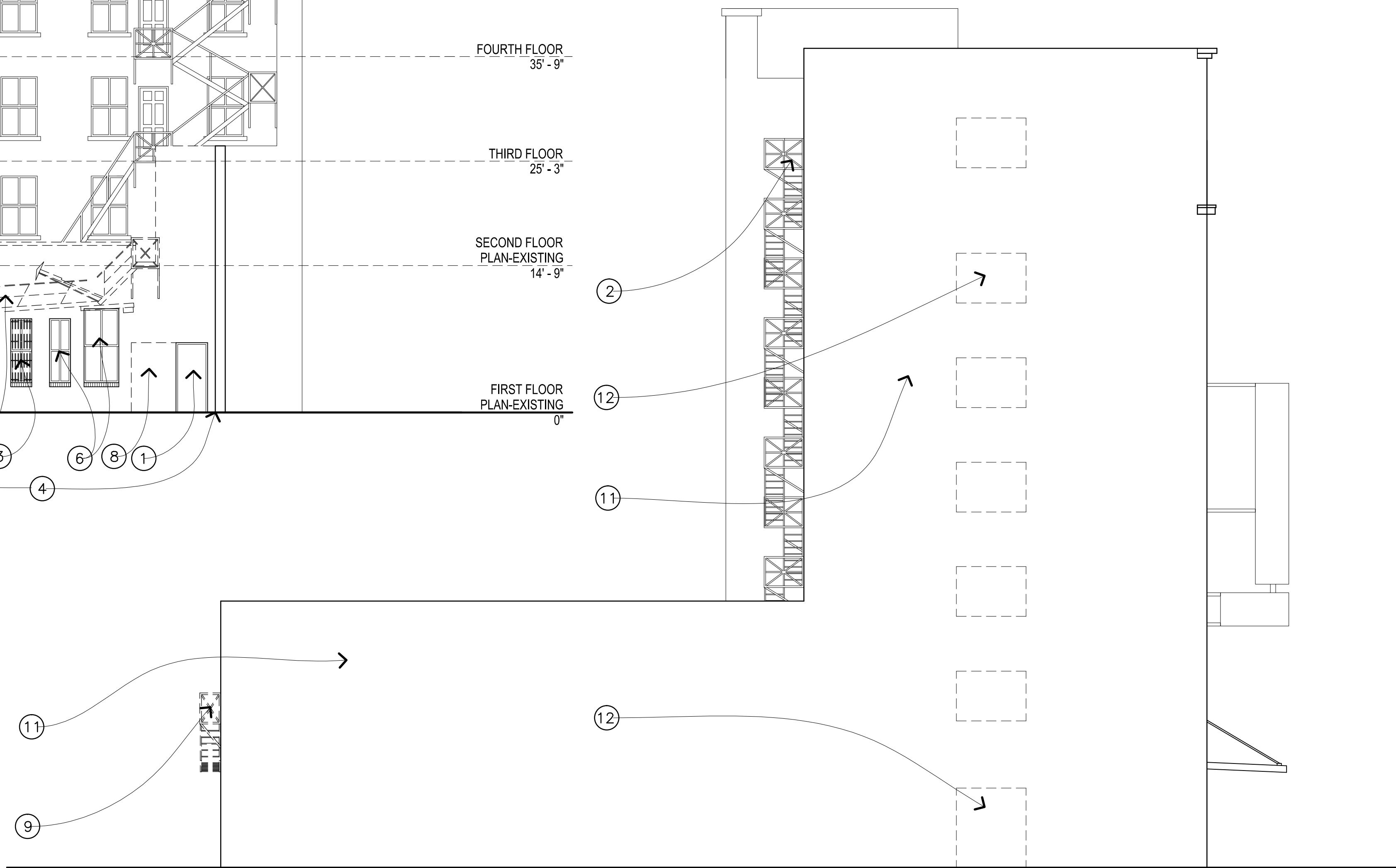
This document has been produced from material that was stored and/or transmitted electronically and may have been inadvertently altered. Rely only on final hardcopy materials bearing the consultant's original signature and seal.



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- 1 NEW EXIT DOOR;
- 2 EXISTING METAL FIRE ESCAPE LADDERS TO REMAIN FOR AESTHETICS PURPOSES ONLY;
- 3 EXISTING CPS MAIN SWITCH, DISTRIBUTION PANELS AND METERS. CPS WILL REMOVE MOST PANELS;
- 4 REMOVE EXISTING MASONRY DUE TO STRUCTURAL ISSUES AND RE-BUILD BACK AND PAINT OLIVE GROVE SW 7734 FROM SHERWIN-WILLIAMS;
- 5 EXISTING AWNING TO BE REPAIRED AS NEEDED;
- 6 SALVAGE AND REPAIR EXISTING WINDOWS ACCORDING TO WINDOW SURVEY. REPAIR IN SITU-DO NOT RELOCATE. DAMAGED WINDOWS TO BE REPLACED BY SIMILAR WOOD WINDOWS. REPAIR, SEAL AND PAINT DAMAGED WINDOW SILLS AND JAMBS AS NEEDED;
- 7 EXISTING BLOCKED WINDOW OPENING TO REMAIN;
- 8 REMOVE EXISTING DOORS AND WINDOWS THAT HAD BEEN ADDED WITHIN THE LAST 25 YEARS, PATCH OPENING WITH BRICK MATCHING EXISTING;
- 9 REMOVE EXISTING FIRE ESCAPE LADDERS FOR SECURITY REASONS;
- 10 REPLACE EXISTING DOOR;
- 11 REPAIR AND REPAINT EXISTING MASONRY AS NEEDED;
- 12 REMOVE, SALVAGE AND REPLACE MASONRY AS NEEDED AFTER INTERIOR DEMOLITION IS COMPLETED;
- 13 REMOVE SECURITY BARS, INSTALL NEW WINDOW IN EXISTING OPENING;



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

REVISIONS

No.	Description	Date

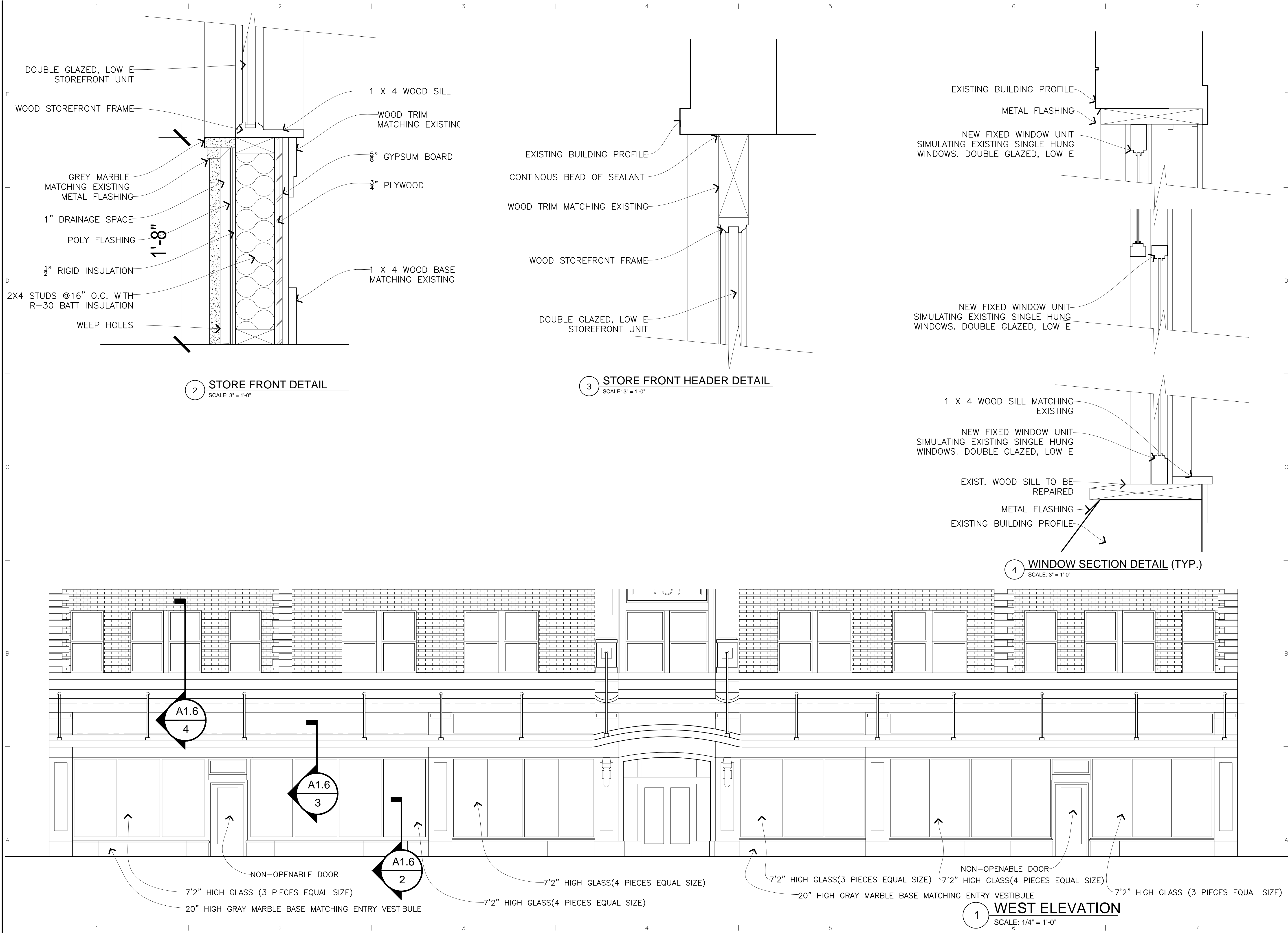
CLIENT PROJ. NO. -
A+B PROJ. NO. 14010
DATE : 2/4/2015

EAST & NORTH ELEVATION

SHEET

A.1.5

Order: Apr 14, 2015, 11:35am User: jh. ltracis
File: E:\14010 Traveler's Hotel\02 Design\02 CAD Drawings\Drawings\2014010 Traveler's Hotel Facade renovation.dwg
This document has been produced from material that was stored and/or transmitted electronically and may have been inadvertently altered. Rely only on final hardcopy materials bearing the consultant's original signature and seal.



ARCHITECTURE AND DESIGN, LLC
TEL: 210.846.5508
210.587.9875

PIYUSH PATEL
220 BROADWAY STREET
SAN ANTONIO, TX 78205

TRAVELER'S HOTEL
220 BROADWAY STREET
SAN ANTONIO, TEXAS 78205

REVISIONS		
No.	Description	Date

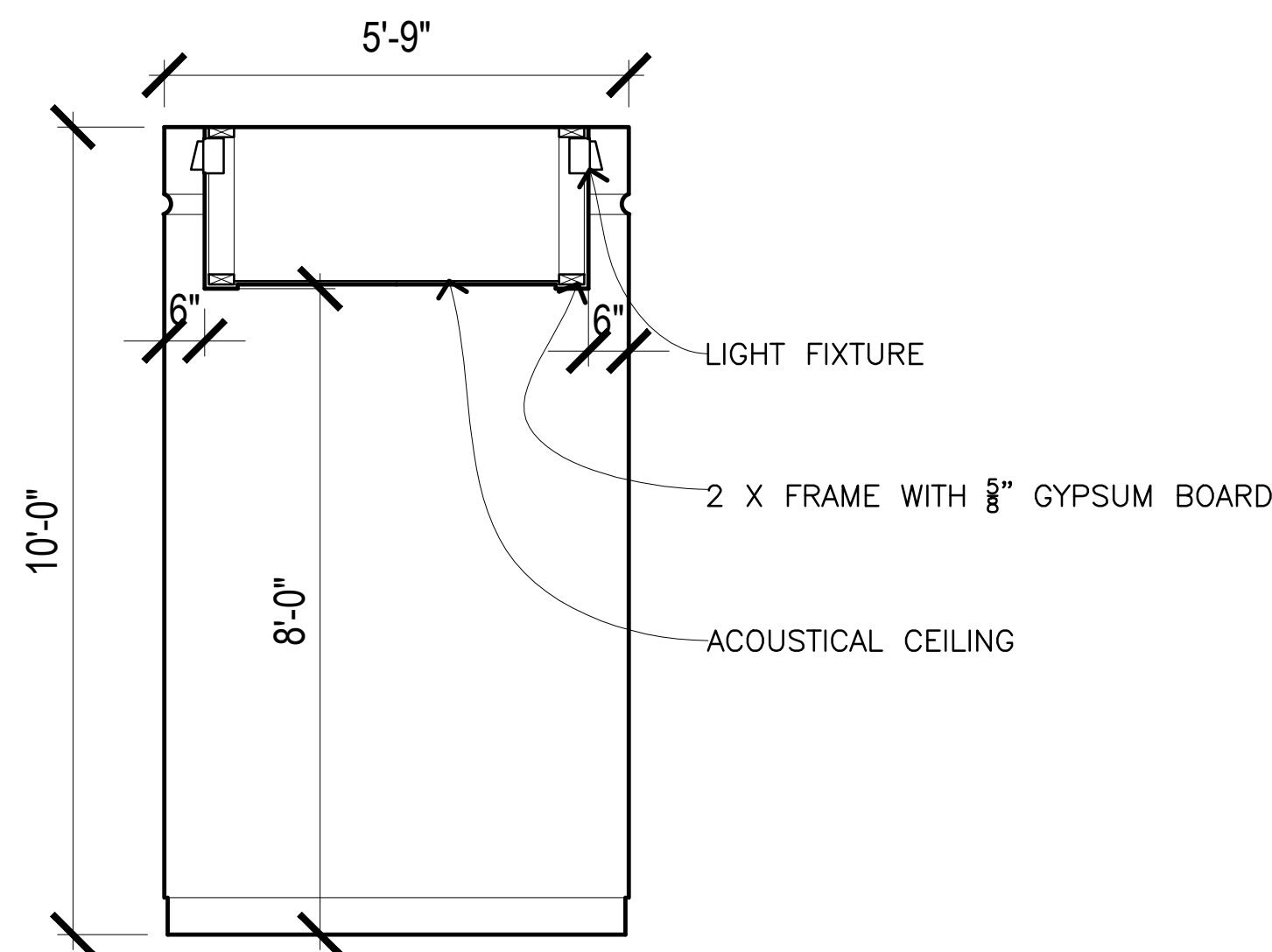
CLIENT PROJ. NO. -
A+B PROJ. NO. 14010
DATE: 1/13/2015

FACADE RENOVATION

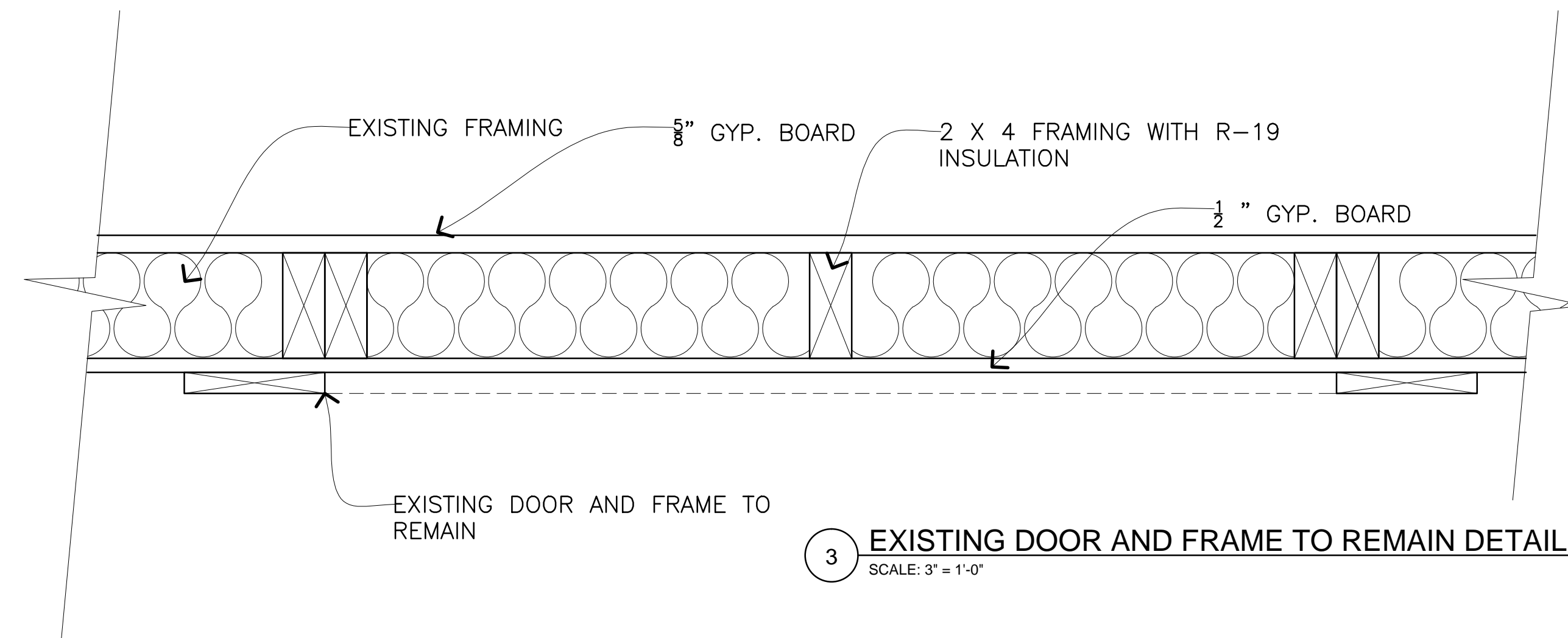
SHEET
A.1.6

© These documents can not be copied or reproduced without written consent from A+B ARCHITECTURE

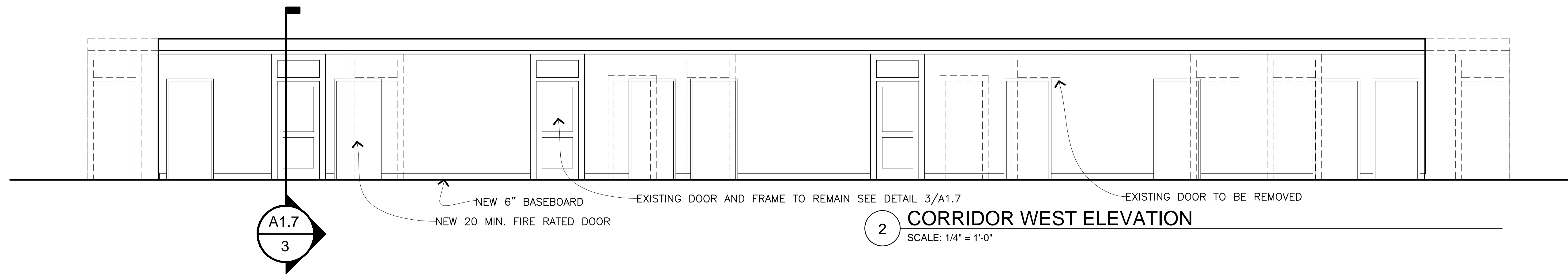
Order: Apr 13, 2015, 11:24am User: jh, ltracis
File: E:\14010 Traveler's Hotel\02 Design\02 CAD Drawings\Drawings\2014010 Travelers Hotel Facade renovation.dwg
This document has been produced from material that was stored and/or transmitted electronically and may have been inadvertently altered. Rely only on final hardcopy materials bearing the consultant's original signature and seal.



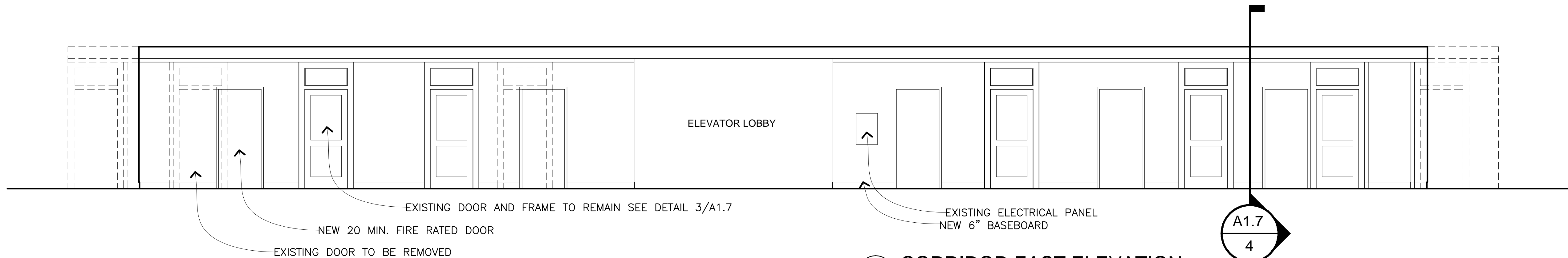
4 CORRIDOR EAST ELEVATION
SCALE: 1/2" = 1'-0"



3 EXISTING DOOR AND FRAME TO REMAIN DETAIL
SCALE: 3" = 1'-0"



2 CORRIDOR WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 CORRIDOR EAST ELEVATION
SCALE: 1/4" = 1'-0"

ab

ARCHITECTURE AND DESIGN, LLC
TEL: 210.846.5508
210.587.9875

PIYUSH PATEL
220 BROADWAY STREET
SAN ANTONIO, TX 78205

TRAVELER'S HOTEL
220 BROADWAY STREET
SAN ANTONIO, TEXAS 78205

REVISIONS

No.	Description	Date

CLIENT PROJ. NO. -
A+B PROJ. NO. 14010
DATE: 1/13/2015

INTERIOR CORRIDORS
RENOVATION

SHEET
A.1.7

These documents can not be copied or reproduced without written consent from A+B ARCHITECTURE