

HISTORIC AND DESIGN REVIEW COMMISSION

June 03, 2015

Agenda Item No: 20

HDRC CASE NO: 2015-222
ADDRESS: 222 DONALDSON AVE
LEGAL DESCRIPTION: NCB 1930 BLK 37 LOT V
ZONING: R6 H
CITY COUNCIL DIST.: 7
DISTRICT: Monticello Park Historic District
APPLICANT: Lisa Pastrano/Solar Electric Texas LLC
OWNER: John Duque
TYPE OF WORK: Solar Panels
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to install a roof mounted solar (PV) system.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 4, Guidelines for New Construction

7. Designing for Energy Efficiency

C. SOLAR COLLECTORS

- i. Location—Locate solar collectors on side or rear roof pitch of the primary historic structure to the maximum extent feasible to minimize visibility from the public right-of-way while maximizing solar access. Alternatively, locate solar collectors on a garage or outbuilding or consider a ground-mount system where solar access to the primary structure is limited.
- ii. Mounting (sloped roof surfaces)—Mount solar collectors flush with the surface of a sloped roof. Select collectors that are similar in color to the roof surface to reduce visibility.

FINDINGS:

- a. According to the Guidelines for New Construction 7.C.i., solar collectors should be mounted on the side or rear roof pitch of the primary historic structure to minimize visibility from the public right-of-way while maximizing solar access. The applicant has proposed to locate the solar collectors on the side roof pitch of the house. This is consistent with the Guidelines.
- b. The applicant has proposed to mount the solar (PV) system above the surface of the existing standing seam roof. This is consistent with the Guidelines for New Construction 7.C.ii.

RECOMMENDATION:

Staff recommends approval based on findings a and b.

CASE MANAGER:

Alyson Smith



222 DONALDSON

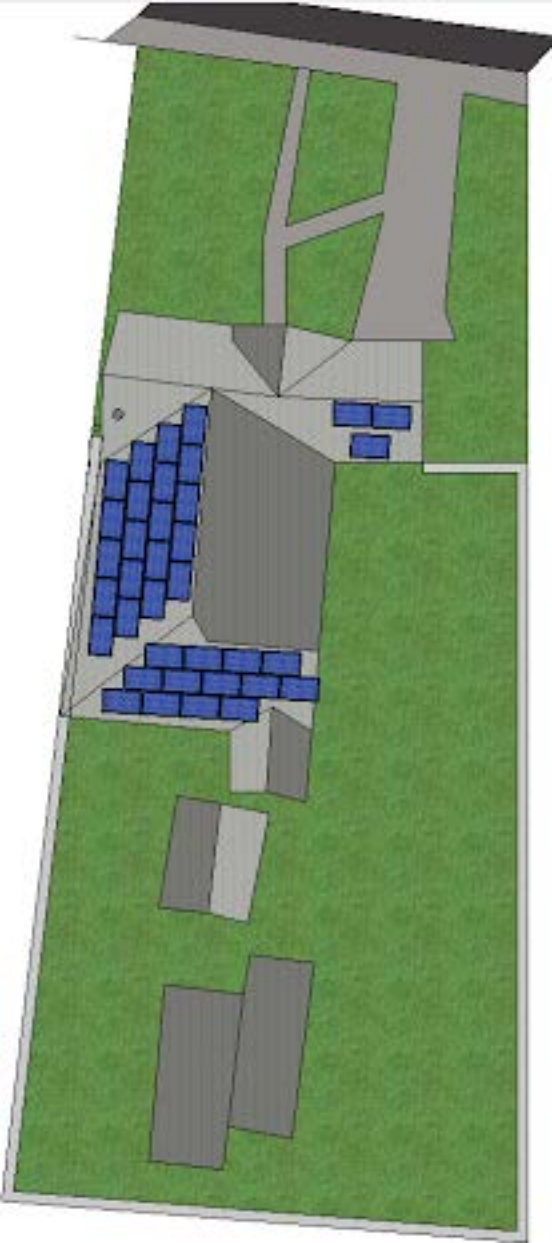
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SAN ANTONIO, TEXAS 78201

SHEET:



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