HISTORIC AND DESIGN REVIEW COMMISSION

June 03, 2015 Agenda Item No: 20

HDRC CASE NO: 2015-222

ADDRESS: 222 DONALDSON AVE **LEGAL DESCRIPTION:** NCB 1930 BLK 37 LOT V

ZONING: R6 H CITY COUNCIL DIST.: 7

DISTRICT: Monticello Park Historic District

APPLICANT: Lisa Pastrano/Solar Electric Texas LLC

OWNER: John Duque TYPE OF WORK: Solar Panels

REOUEST:

The applicant is requesting a Certificate of Appropriateness for approval to install a roof mounted solar (PV) system.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 4, Guidelines for New Construction

7. Designing for Energy Efficiency

C. SOLAR COLLECTORS

- i. Location—Locate solar collectors on side or rear roof pitch of the primary historic structure to the maximum extent feasible to minimize visibility from the public right-of-way while maximizing solar access. Alternatively, locate solar collectors on a garage or outbuilding or consider a ground-mount system where solar access to the primary structure is limited.
- ii. Mounting (sloped roof surfaces)—Mount solar collectors flush with the surface of a sloped roof. Select collectors that are similar in color to the roof surface to reduce visibility.

FINDINGS:

- a. According to the Guidelines for New Construction 7.C.i., solar collectors should be mounted on the side or rear roof pitch of the primary historic structure to minimize visibility from the public right-of-way while maximizing solar access. The applicant has proposed to locate the solar collectors on the side roof pitch of the house. This is consistent with the Guidelines.
- b. The applicant has proposed to mount the solar (PV) system above the surface of the existing standing seam roof. This is consistent with the Guidelines for New Construction 7.C.ii.

RECOMMENDATION:

Staff recommends approval based on findings a and b.

CASE MANAGER:

Alyson Smith





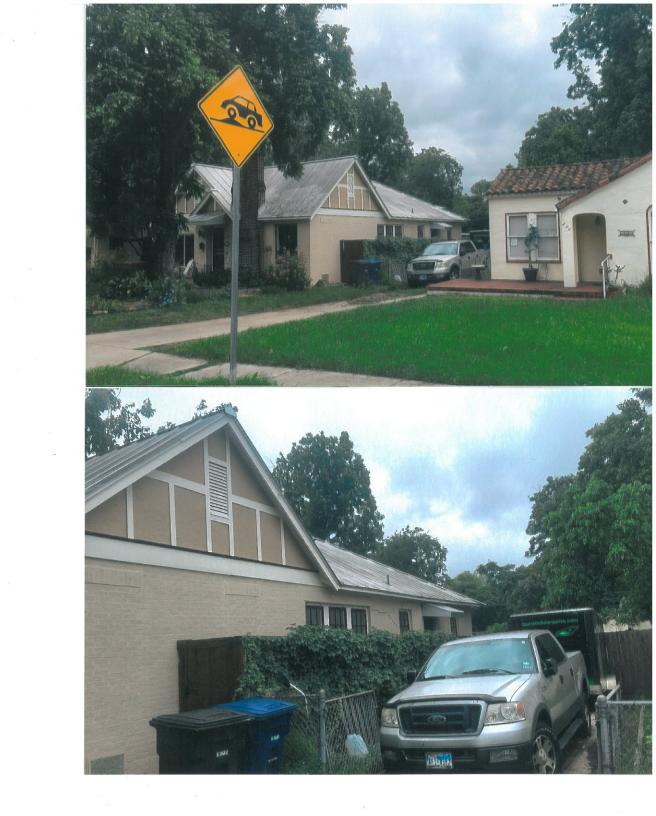
222 DONALDSON

Printed:May 26, 2015

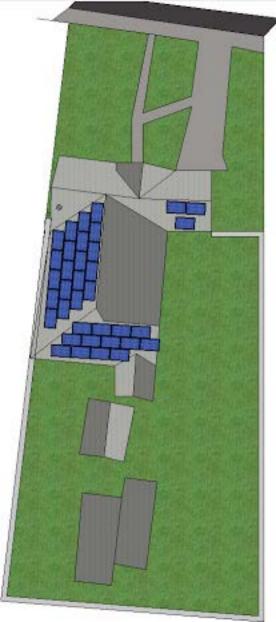
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LEGAL DESCRIPTION: NCB 1930 BLK 30 LOT V

PARCEL:01930-037-0200

PROPERTY ID: 122468

NEIGHBORHOOD: MONTICELLO PARK (SA)

JURISDICTIONS:57,09,11,10,CAD,06,08,21

PROJECT STREET ADDRESS: 222 DONALDSON AVE. SAN ANTONIO, TEXAS 78201

SHEET INDEX:

- TITLE SHEET AND SITE PLAN
- ELECTRIC RISER DIAGRAM -
- E-1 ONE-LINE DIAGRAM
- E-2 THREE-LINE DIAGRAM
- E-3 ROOF & MODULE LAYOUT. MOUNTING & RACKING **DETAILS & NOTES**
- E-4 ROOF PLAN & SECTION DETAIL

APPLICABLE CODES:

2014 NEC

2012 IBC

2012 IRC

2012 IFC

NOTES:

1. ALL INSTALLATION MANUALS FOR MANUFACTURED COMPONENTS SHALL BE AVAILABLE AND ON THE JOB SITE FOR THE SOLAR INVERTERS, PV MODULES, COMBINER BOX, DISCONNECTS & MOUNTING RACK SYSTEMS. ANY OTHER COMPONENTS, AS PART OF THIS SYSTEM DESIGN, COULD BE ADDITIONALLY REQUIRED PER REQUEST OF THE INSPECTOR.

2. INVERTERS ARE INSTALLED PER MANU-FACTURER'S INSTALLATION INSTRUCTIONS, HOWEVER, AS A PRECAUTION, CARE SHOULD BE TAKEN, WITH THE INSTALLATION OF THE INVERTERS SUBJECT TO DIRECT ELEMENTS SUCH AS; DIRECT SUNLIGHT. DIRECT WATER SPRAY, OR NEAR DOWNSPOUTS. SAN ANTONIO, TEXAS 78201 TAXPAYER INFORMATION: DUQUE JOHN DAVID & GABRIELA H BALBONTIN 222 DONALDSON AVE SAN ANTONIO, TEXAS BEXAR COUNTY 78201-4903 PROJECT LOCATION MAP (EXISTING) DRIVEWAY

PROPERTY

(EXISTING) METAL ROOF

(PROPOSED)

SOLAR EDGÉ SE7600A-US 10250W INVERTER / W

(PROPOSED)

PV METER

(EXISTING)

135

125A ELECTRIC

PANEL & METER

INTERNAL DISCONNECT

MODEL: HIS-255RG

(EXISTING)

BLOCK WALL

(PROPOSED) ROOF MOUNTED PHOTOVOLTAIC ARRAY 9.18kW DC (36) HYUNDAI SOLAR MODULES

MONO CRYSTALLINE 315W MODULES

PLOT LINE

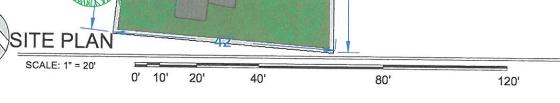


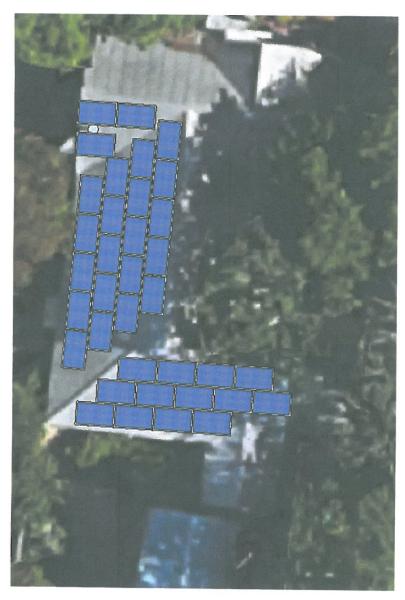


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SW

SHEET:





222 Donaldson Ave San Antonio TX 78201