

HISTORIC AND DESIGN REVIEW COMMISSION

June 03, 2015

Agenda Item No: 28

HDRC CASE NO: 2015-224
COMMON NAME: 7888 Dave Erwin Dr. -Brooks
LEGAL DESCRIPTION: NCB 10879 P-111 (383.58 AC) 2014) PLAT 9660/130-131
ZONING: C3 H
CITY COUNCIL DIST.: 3
DISTRICT: Brooks School of Aerospace Medicine Historic District
APPLICANT: Gary Dillard/The NRP Group
OWNER: Brooks Development Authority
TYPE OF WORK: New Construction
REQUEST:

The applicant is requesting final approval to construct Phase II of the Landings apartment complex at Brooks City Base.

APPLICABLE CITATIONS:

The School of Aerospace Medicine Historic Design Guidelines, Chapter 5, Design Guidelines

5.B.2 Location & Orientation of New Buildings

Refer to the Master Plan for appropriate locations of new buildings.

- a. In keeping with the existing development patterns, new buildings should be developed in grouped arrangements around common green space. Site development across the entire campus should not be formal or symmetrical in design.
- b. New buildings should align with existing buildings, being approximately 30 degrees off of north.
- c. New buildings should be sited in such a way as to create green open space on at least one side of the building.
- d. New buildings adjacent to streets or parking should be buffered with street trees and plants.

5.A.5 Parking

- a. Parking should not encroach on existing greenspaces, except for parking identified in the Master Plan.
- b. Parking should be screened from the street with perimeter tree planting, at a rate of 1 tree for every 4 perimeter spaces.
- c. Use of trees in the interior of parking lots to provide shade is encouraged. The shade coverage should be no less than what is required by City Code.
- d. The parking layout should provide continuous flow of traffic through the lot.
- e. The design should allow safe movement of pedestrians from parking to buildings.
- f. The design should allow for appropriate landscaping of the parking areas without conflicting with site lighting.
- g. The use of pervious materials such as parking pavers or pervious concrete is encouraged.
- h. In general, parking lots should be located on the rear or side of buildings. The standard suburban model of parking adjacent to the front door should be avoided.

5.C. ARCHITECTURAL DESIGN GUIDELINES

5.C.1 GENERAL

The design of additions and new structures should respond to the character of existing structures, using them as a source of inspiration. New construction should avoid trying to slavishly copy an existing structure or to create an artificial history by duplicating historic styles and designs that are not associated with the campus. For example, even though Spanish Colonial Revival can be found at the historic base headquarters, it is not appropriate for School of Aerospace Medicine Historic District which was built primarily in the 1950's and 60's.

5.C.3 ADDITIONS AND NEW CONSTRUCTION

Additions and New Construction within the Historic District is encouraged. Over time as new uses are found for older buildings, changes will occur on the campus. The success of attracting new business often leads to a demand for more space. This is good for the long term health of the district. Viable uses and occupied spaces help keep buildings well maintained. New construction adds energy and people to the district. It is the intent of these guidelines to first encourage reuse of existing buildings, secondly to promote additions, and lastly to construct new buildings.

5.C.3.a General

4. New construction should blend and balance with the existing buildings by acknowledging and echoing the primary design characteristics of the district.

5.C.3.b Location of Additions and New Construction

1. Refer to the Master Plan on page 8 to determine appropriate locations for additions and new construction.

5.C.3.c Massing and Height

1. Massing of buildings should be rectilinear.

2. The massing should be horizontal, rather than vertical. The horizontal dimension should at a minimum be twice as long as the vertical height. It is preferred that the horizontal dimension be three (3) times greater than the height.

3. The horizontal massing should be emphasized through the use of strong horizontal bands at top of walls, at rooflines, and at foundations.

4. New construction should be two stories in height, or not to exceed 35 feet.

5.C.3.d Roofs

1. Roofs shall be flat. Any slope shall not be visible from the ground.

2. Pitched roofs, shed roofs, gable roofs, hipped roofs, mansard roofs, curved roofs, etc. are not allowed.

3. Projecting roofs and canopies are allowed as long as the projection is flat.

4. Visual emphasis of a flat roof may be articulated through the use of a strong horizontal band/beam at the parapet.

5. Top of parapets shall be flat.

6. Mechanical equipment shall be located away from the edge of the roofs and screened with metal panels.

5.C.3.e Exterior Wall Materials

1. All brick used on campus shall match the existing terra-cotta colored brick in color, size, and texture.

2. When constructing an addition the brick shall also match the masonry pattern, spacing and mortar joints of the original building.

3. New construction shall be brick masonry, aluminum storefront, glass, pre-finished metal spandrel panels, or ceramic tile panels similar to materials on the historic campus.

4. Cementitious stucco, synthetic stucco, or EIFS systems, tilt wall, fiber cement siding, wood siding, exposed concrete block are prohibited.

5. Stone is prohibited with the exception of limited decorative surrounds that are consistent with existing decorative surrounds in type and size.

6. Metal wall panel systems may be used when adding on to an existing metal sided building. Metal wall panel systems may not be used for any other additions or for new construction.

7. Any other exterior material not expressly prohibited may not be used without the specific approval of the Historic and Design Review Commission.

5.C.3.f Foundations

1. Exposed plinth foundations are encouraged.

2. If exposed, foundation walls shall be made of exposed grey concrete to match those found on campus.

3. If exposed, the foundation stem wall shall be set back from the face of the wall construction by no less than one (1) foot.

5.C.3.g Windows

4. The spacing and pattern of mass to void, or windows to walls, in new construction should have the same overall pattern as can be found in other historic buildings on campus.

5. In new construction the historic rhythms of mass to void may at times be reversed as long as the overall pattern is sympathetic to the original character of the campus.

6. Uninterrupted wall planes between windows is an important characteristic and should be mimicked in additions and new construction.

7. Windows shall be clear anodized window and/or storefront system, including doors. Bronze and other colored systems are prohibited. Painted hollow metal and wood storefronts are prohibited.

8. In new construction, the common types of windows should be used for general windows and that unique patterns and types should be reserved for use as highlights or accents within a composition.

5.C.3.h Exterior Doors

1. Entrance doors should be easily distinguished as a place of entrance.
2. They should be articulated by using glass surrounds, and/or projecting canopies, and/or stone surrounds (as found in Bldg.160.)
3. Entrance doors should be clear anodized aluminum frames with single glass lite panels.
4. A building may have more than one point of entrance. Each pedestrian entrance must be articulated, as defined above.
5. Service doors and emergency exit doors may be painted hollow metal doors without lites.

The School of Aerospace Medicine Historic Design Guidelines, Chapter 6, Guidelines for Demolition

6.B. Demolition of Contributing Structures

Demolition of a contributing structure is a serious responsibility and should not be undertaken without serious consideration. Contributing structures are identified in the Brooks Maintenance and Management Manual. Demolitions should be an order of last resort. Each demolition should be considered individually. An earlier demolition should not serve as a precedent for the approval of another demolition.

Below is a list of considerations that can be used to evaluate whether a building may be eligible for demolition. These are not the only considerations for evaluation and in no way supersede the City of San Antonio's Historic Preservation Ordinance.

6.B.1 Historical Significance

The historical significance of a structure refers to the particular historic events, people, construction, design or style associated with a particular building. Is the building a visual reminder of something, or someone or some event associated with the School of Aerospace Medicine? A thorough history of the buildings on campus is available in the Historic American Building Survey of the property.

6.B.2 Construction Date

The age of a building is an important consideration regarding the significance of a structure. There are certain events associated with the School of Aerospace Medicine Historic District that stand out as more important than others. The school's relationship and association with early space flight in the United States is important and those buildings associated with the program in the early 1960's are more important than other events that occurred on the campus. Generally the earlier the building was constructed, the more significant. This is not always true and there are other factors besides age, that contribute to the significance.

6.B.3 Environmental and Functional Concerns

Throughout the country, as a result of base closure decisions, many types of military facilities present problems for reuse due to their specific functional design and past activities that cannot be clearly evaluated. Several of the buildings within the School of Aerospace Medicine Historic District primarily functioned in the past as laboratories used for specific scientific research and medical testing.

Standard military and scientific programs of the time conducted experiments and research under restrictive covenants and in carefully monitored facilities. Prior to the relocation of the Department of Defense missions, all of The Hill campus buildings were thoroughly assessed for potential environmental impacts associated with past activities, and any necessary clean-up was completed when the facilities were vacated in 2011. Each of these structures was determined to be safe to reutilize. However, continued use of some of the buildings would be extremely difficult because of their highly specific functional design. While appropriate for 1950's and 60's era research, these facilities have become obsolete and would be extremely costly to renovate as modern laboratories or for other uses. Moreover, perceived concerns associated with the types of past research activities (e.g. radiological) that occurred within these facilities remain. Consideration should be given for the limited use of these facilities because of the past military research applications that were performed here, which have no functional counterpart today.

6.B.4 Conformance with the Master Plan

The campus for School of Aerospace Medicine Historic District is part of the larger Brooks City-Base development. It is no longer a military installation. The Master Plan lays out a vision for the future of the campus as part of multi-use complex. Demolition of certain buildings should be considered in the context of the greater complex. Adjacencies are important and how the campus relates to those adjacencies will have a long term effect on the viability of the campus. These factors should be carefully considered prior to the consideration for demolition.

6.B.5 Mitigation

One alternative for allowing demolition is providing a mitigation for the loss. If a demolition is to occur, mitigation for demolition might be considered as an alternative. For example, restoration of Building 165, (a non-contributing building) might be considered in lieu of a demolition of another building.

FINDINGS:

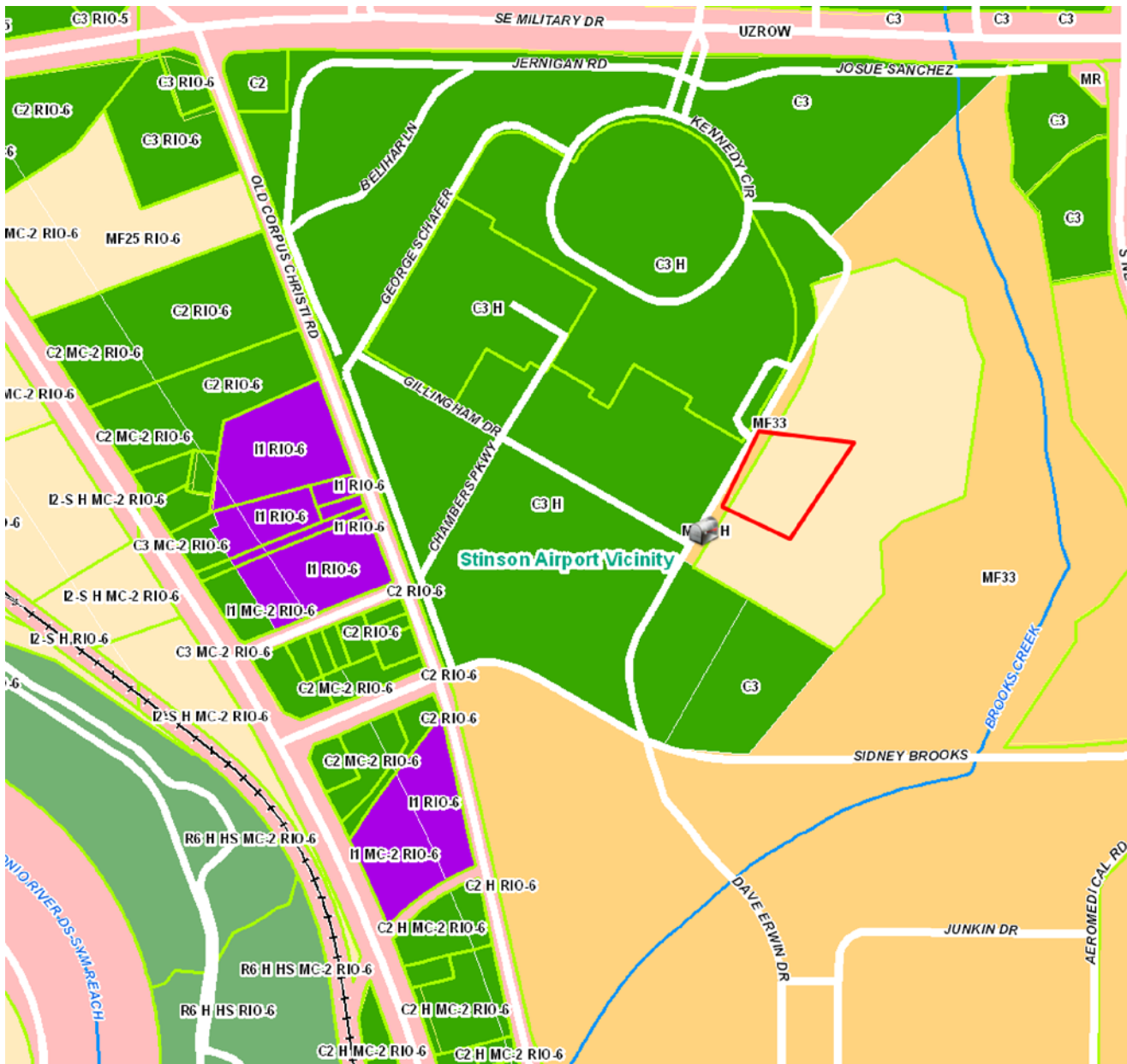
- a. The request for demolition of building 185 and conceptual approval of new construction was approved on January 21, 2015.
- b. The case has been to the DRC on two different occasions (April 7, 2015 & May 12, 2015).
- c. The southwest corner of the property is within the limits of the School of Aerospace Medicine Historic District. The proposed landings apartment complex will consist of three different style buildings. The new student housing area will be composed of six buildings.
- d. Only a portion of building No. 6 will be located within the School of Aerospace Medicine Historic District. Therefore, only building number six will be subject to design review.
- e. The proposed massing of building No. 6 is rectilinear and horizontal. The horizontal dimension is at least twice as long as the vertical height and this consistent with guideline, 5.C.3.c. 1-3. Based on drawings and renderings submitted by the applicant, the design of the proposed new construction appears to be generally consistent with the character of the existing structures within the district. This is consistent with the School of Aerospace Medicine Design Guidelines 5.C1.
- f. The side parking lot illustrated in the submitted design is consistent with 5.A.5.h. The guideline states that, "parking lots should be located on the rear or side of the building. The standard suburban model of parking adjacent to the front door should be avoided."
- g. The height of the proposed building exceeds 35 feet. This is not consistent with guideline, 5.C.3.c.4., which states that the height of new construction should not exceed 35 feet; however, the strong rectilinear shape still emphasizes the horizontality of the building.
- h. The School of Aerospace Medicine Historic Design Guidelines, Chapter 5, Section 5.C.3.d. *states that*, "roofs shall be flat." However, Staff finds that the proposed low-sloped, asphalt-shingled roof would be appropriate. The guidelines recommend a flat roof, but the applicant is proposing a slightly sloped parapet to conceal mechanical equipment. The DRC addressed the issue of the sloped roof and the applicant has worked with the committee to mitigate its visual presence.
- i. The exterior wall materials will consist of brick and stucco. The proposed brick shall match the existing terra-cotta colored brick used in the surrounding buildings. This is consistent with recommended exterior wall materials as stated in guideline 5.C.3.e.4. The proposed stucco finish is prohibited per guideline 5.C.3.e.4., which states that, "Cementitious stucco, synthetic stucco, or EIFS systems, tilt wall, fiber cement siding, wood siding, exposed concrete block are prohibited." The design guidelines state, "New construction shall be brick masonry, aluminum storefront, glass, pre-finished metal spandrel panels, or ceramic tile panels similar to materials on the historic campus." Though the guidelines do not permit the use of stucco, the proposed finish and colors of the stucco appear to be compatible within the historic district.
- j. The window patterns are appropriate and are more vertical than horizontal and are sympathetic to the original character of the campus. This is consistent with 5.C.3.g.4-5. The proposed aluminum windows are consistent with the guideline, 5.C.3.7. This guideline states that, "Windows shall be clear anodized window and/or storefront systems, including doors."

RECOMMENDATION:

Staff recommends approval based on items a through j.

CASE MANAGER:

Alyson Smith



7888 Dave Erwin Drive

Printed: May 28, 2015

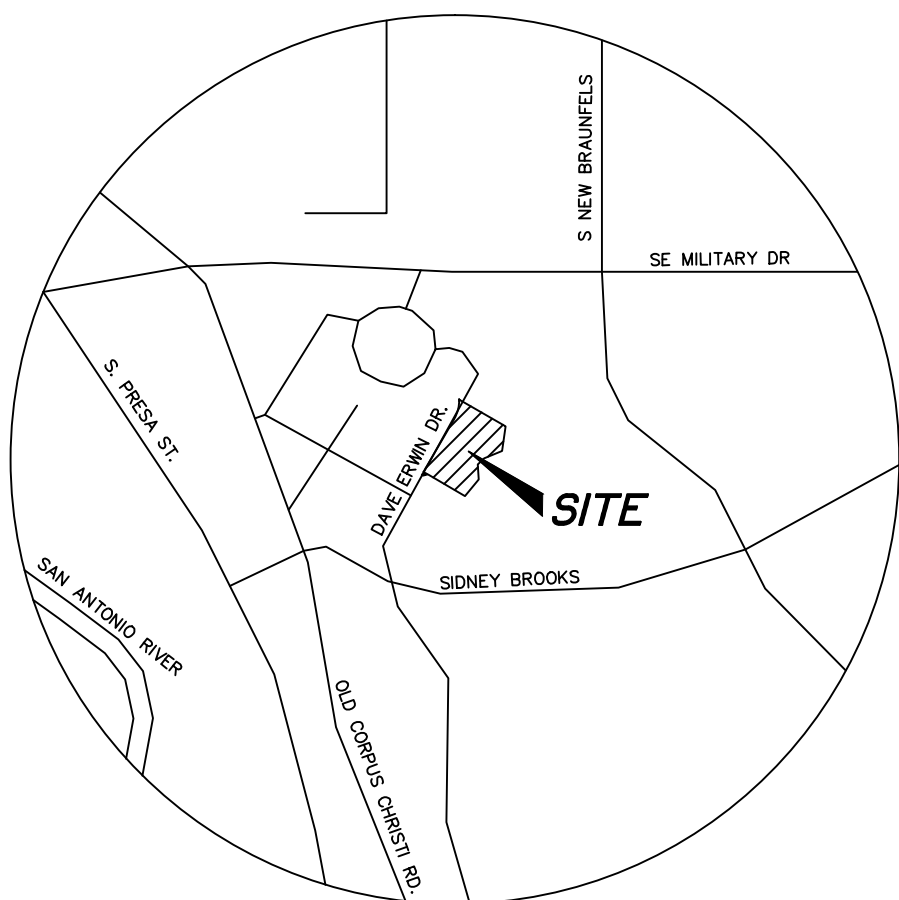
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TITLE COMMITMENT NOTES

THIS SURVEY WAS PREPARED IN CONJUNCTION WITH THE TITLE COMMITMENT PREPARED BY STEWART TITLE GUARANTY COMPANY FILE NO. 1502945099, EFFECTIVE DATE APRIL 15, 2015, ISSUED APRIL 23, 2015, AND IS SUBJECT ONLY TO THE STATE OF FACTS CONTAINED THEREIN, AND RELISTED BELOW:

SCHEDULE "B"

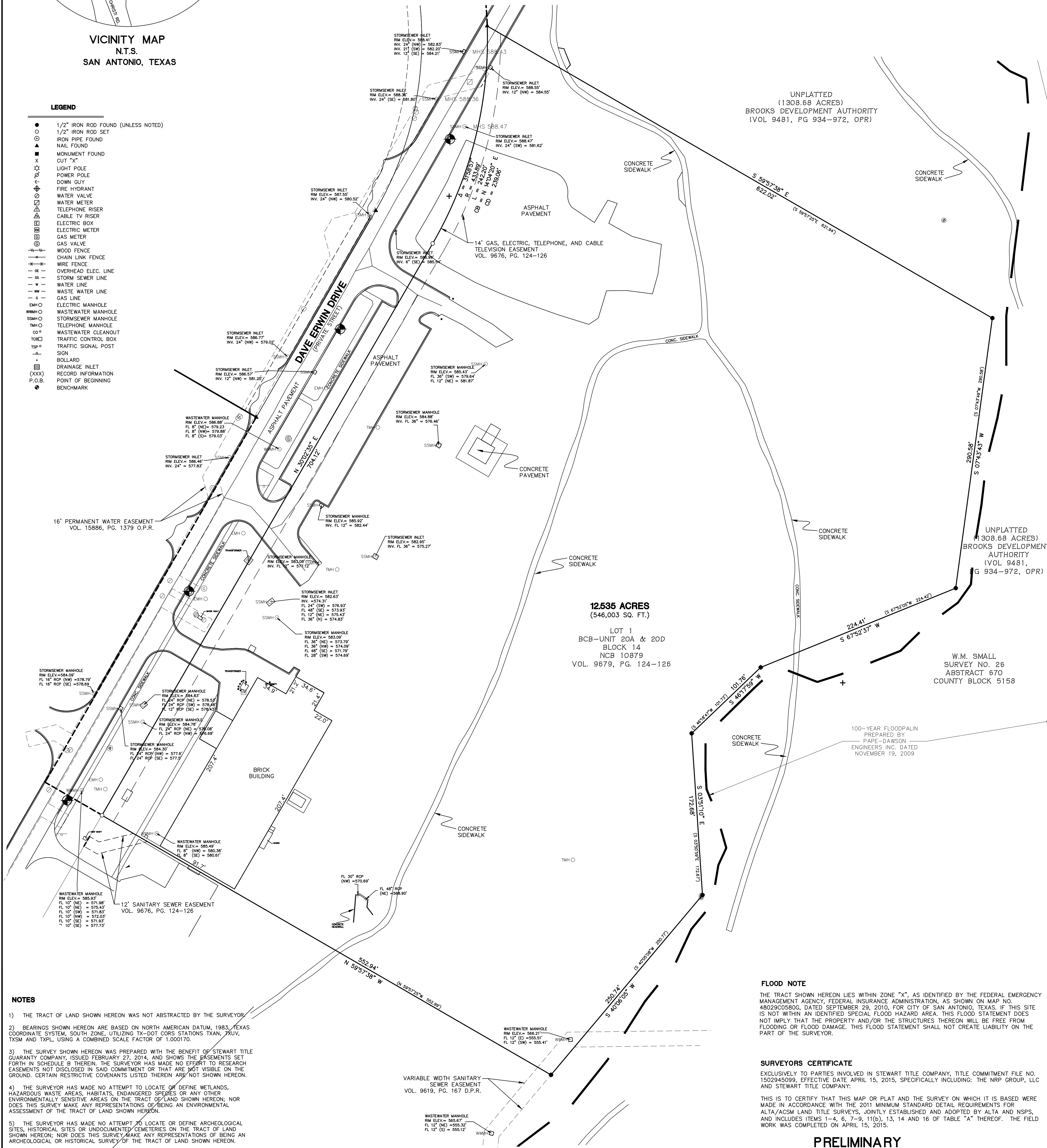
1. THE FOLLOWING RESTRICTIVE COVENANTS OF RECORD ITEMIZED BELOW (WE MUST EITHER INSERT SPECIFIC RECORDING DATA OR DELETE THIS EXCEPTION):
VOLUME 13564 , PAGE 51 , AND VOLUME 1356 4, PAGE 177 , REAL PROPERTY RECORDS OF BEXAR COUNTY, TEXAS.
10. THE FOLLOWING MATTERS AND ALL TERMS OF THE DOCUMENTS CREATING OR OFFERING EVIDENCE OF THE MATTERS (WE MUST INSERT MATTERS OR DELETE THIS EXCEPTION):
A. RIGHTS OF PARTIES IN POSSESSION. (OWNER TITLE POLICY ONLY)
- B. 14' GAS, ELECTRIC, TELEPHONE, AND CABLE TELEVISION EASEMENT ALONG DAVE ERWIN DRIVE AS SHOWN ON PLAT RECORDED IN VOLUME 9679 , PAGES 124 –126 , OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS.– SUBJECT TO, AS SHOWN.
- C. CITY OF SAN ANTONIO 16' PERMANENT WATER EASEMENT RECORDED IN VOLUME 15886 , PAGE 1379 , REAL PROPERTY RECORDS OF BEXAR COUNTY, TEXAS, AND AS SHOWN ON PLAT RECORDED IN VOLUME 9679 , PAGES 124 –126 , OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS. – SUBJECT TO, AS SHOWN.
- D. AGREEMENT FOR TRANSFER OF OPERATION OF ELECTRIC & GAS UTILITIES SYSTEMS AT BROOKS TECHNOLOGY AND BUSINESS CENTER AS SET OUT IN VOLUME 10422 , PAGE 1206 , REAL PROPERTY RECORDS OF BEXAR COUNTY, TEXAS. – SUBJECT TO.
- E. TERMS AND CONDITIONS OF THE UTILITY SERVICE AGREEMENT AS SET OUT IN VOLUME 15170, PAGE 696 , REAL PROPERTY RECORDS OF BEXAR COUNTY, TEXAS. SUBJECT TO.
- F. ALL LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF COAL, LIGNITE, OIL, GAS AND OTHER MINERALS, TOGETHER WITH ALL RIGHTS, PRIVILEGES, AND IMMUNITIES RELATING THERETO, APPEARING IN THE PUBLIC RECORDS WHETHER LISTED IN SCHEDULE B OR NOT, THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF MINERAL INTERESTS THAT ARE NOT LISTED.– SUBJECT TO.



VICINITY MAP
N.T.S.
SAN ANTONIO, TEXAS

LEGEND

- 1/2" IRON ROD FOUND (UNLESS NOTED)
- 1/2" IRON ROD SET
- IRON PIPE FOUND
- NAIL FOUND
- MONUMENT FOUND
- CUT "X"
- LIGHT POLE
- POWER POLE
- DOWN GUY
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- TELEPHONE RISER
- CABLE TV RISER
- ELECTRIC BOX
- ELECTRIC METER
- GAS METER
- GAS VALVE
- WOOD FENCE
- CHAIN LINK FENCE
- WIRE FENCE
- OVERHEAD ELEC. LINE
- STORM SEWER LINE
- WATER LINE
- WASTE WATER LINE
- GAS LINE
- ELECTRIC MANHOLE
- WASTEWATER MANHOLE
- STORMSEWER MANHOLE
- TELEPHONE MANHOLE
- WASTEWATER CLEAOUT
- TRAFFIC CONTROL BOX
- TRAFFIC SIGNAL POST
- SION
- BOLLARD
- DRAINAGE INLET
- RECORD INFORMATION
- POINT OF BEGINNING
- BENCHMARK



NOTES

- 1) THE TRACT OF LAND SHOWN HEREON WAS NOT ABSTRACTED BY THE SURVEYOR.
- 2) BEARINGS SHOWN HEREON ARE BASED ON NORTH AMERICAN DATUM, 1983, TEXAS COORDINATE SYSTEM, SOUTH ZONE, UTILIZING TX-DOT CORRS STATIONS TXAN, TXUV, TXSM AND TXPL, USING A COMBINED SCALE FACTOR OF 1.000170.
- 3) THE SURVEY SHOWN HEREON WAS PREPARED WITH THE BENEFIT OF STEWART TITLE GUARANTY COMPANY, ISSUED FEBRUARY 27, 2014, AND SHOWS THE EASEMENTS SET FORTH IN SCHEDULE B THEREIN. THE SURVEYOR HAS MADE NO EFFORT TO RESEARCH EASEMENTS NOT DISCLOSED IN SAID COMMITMENT OR THAT ARE NOT VISIBLE ON THE GROUND. CERTAIN RESTRICTIVE COVENANTS LISTED THEREIN ARE NOT SHOWN HEREON.
- 4) THE SURVEYOR HAS MADE NO ATTEMPT TO LOCATE OR DEFINE WETLANDS, HAZARDOUS WASTE AREAS, HABITATS, ENDANGERED SPECIES OR ANY OTHER ENVIRONMENTALLY SENSITIVE AREAS ON THE TRACT OF LAND SHOWN HEREON; NOR DOES THIS SURVEY MAKE ANY REPRESENTATIONS OF BEING AN ENVIRONMENTAL ASSESSMENT OF THE TRACT OF LAND SHOWN HEREON.
- 5) THE SURVEYOR HAS MADE NO ATTEMPT TO LOCATE OR DEFINE ARCHEOLOGICAL SITES, HISTORICAL SITES OR UNDOCUMENTED CEMETERIES ON THE TRACT OF LAND SHOWN HEREON; NOR DOES THIS SURVEY MAKE ANY REPRESENTATIONS OF BEING AN ARCHEOLOGICAL OR HISTORICAL SURVEY OF THE TRACT OF LAND SHOWN HEREON.
- 6) THE SURVEYOR HAS MADE NO ATTEMPT TO LOCATE ABANDONED OR PLUGGED OIL AND GAS WELLS, OR ANY OTHER WELLS ON THE TRACT OF LAND SHOWN HEREON; NOR HAS THE SURVEYOR MADE ANY ATTEMPT TO RESEARCH SAME WITH THE RAILROAD COMMISSION OF TEXAS OR ANY OTHER STATE AGENCY; NOR HAS THE SURVEYOR INVESTIGATED ANY MINERAL OR ROYALTY INTERESTS IN THE TRACT OF LAND SHOWN HEREON.
- 7) THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON VISIBLE SURFACE EVIDENCE OR MAPS SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES OR MUNICIPALITIES. THE LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM THE LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE IN THE PROCESS OF THE SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.
- 8) VERTICAL DATUM FOR THIS PROJECT IS NAVD83, GPS DERIVED, USING THE STATEWIDE WDS VRS NETWORK.
- 9) ONLY THOSE COPIES WHICH BEAR AN ORIGINAL INK IMPRESSION SEAL OR EMBOSSED SEAL WILL BE CONSIDERED A "VALID" COPY. BURY-INC WILL NOT BE RESPONSIBLE FOR THE CONTENT OF ANYTHING OTHER THAN A VALID COPY OF THIS SURVEY.

SUPPLEMENTAL NOTE:

VOLUME 9679, PAGE 124-126, DEED AND PLAT RECORDS, BEXAR COUNTY, TEXAS: BROOKS DEVELOPMENT AUTHORITY GRANTS SAMS A BLANKET EASEMENT OVER THE BROOKS CITY-BASE TO ACCESS, CONSTRUCT, REPAIR, INSPECT, OPERATE, MAINTAIN, IMPROVE, REMOVE AND/OR REPLACE WATER, RECYCLED WATER AND SANITARY SEWER FACILITIES IN THE BROOKS CITY-BASE. SUBJECT TO

FLOOD NOTE

THE TRACT SHOWN HEREON LIES WITHIN ZONE "X", AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, AS SHOWN ON MAP NO. 48029C0580G, DATED SEPTEMBER 29, 2010, FOR CITY OF SAN ANTONIO, TEXAS. IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

SURVEYORS CERTIFICATE

EXCLUSIVELY TO PARTIES INVOLVED IN STEWART TITLE COMPANY, TITLE COMMITMENT FILE NO. 1502945099, EFFECTIVE DATE APRIL 15, 2015, SPECIFICALLY INCLUDING: THE NRP GROUP, LLC AND STEWART TITLE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-4, 6, 7-9, 11(b), 13, 14 AND 16 OF TABLE "A" THEREOF. THE FIELD WORK WAS COMPLETED ON APRIL 15, 2015.

PRELIMINARY

THIS DOCUMENT SHALL NOT BE
RECORDED FOR ANY PURPOSE

THIS SURVEY WAS PERFORMED WITHOUT THE
BENEFIT OF A CURRENT TITLE COMMITMENT:

HAL B. LANE III DATE
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4690
BURY-SA, INC.
922 ISOM ROAD, SUITE 100
SAN ANTONIO, TEXAS 78216-4184

DATE	NO.	REVISION	APPROVAL

SHEET 1	DRAWN BY:	JP
	DESIGNED BY:	
	QA / QC:	HBL
OF 1	PROJECT NO.:	110695-50004

NRP Holdings LLC

SAN ANTONIO, TEXAS

ALTA/ACSM LAND TITLE SURVEY

Brooks City Base II
12.535 Acre Parcel
Bexar County, Texas.

BURY

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BROOKS APARTMENTS II

SAN ANTONIO, TEXAS

HDRC SUBMITTAL



Sheet Number	SHEET NAME	05-15-15 HDRC SUBMITTAL
01 - GENERAL		
G0.00	Cover	
04 - ARCHITECTURAL		
A2.01	A1 - UNIT PLAN	
A2.02	A2 - UNIT PLAN	
A2.03	A3 - UNIT PLAN	
A2.04	A4 - UNIT PLAN	

Sheet Number	SHEET NAME	05-15-15 HDRC SUBMITTAL
A2.06	B1 - UNIT PLAN	
A2.07	B2 - UNIT PLAN	
A2.08	B3, B3a, & B3 All #1 - UNIT PLAN	
A2.09	B4 - UNIT PLAN	
A2.10	B5 & B5a - UNIT PLAN	
A3.40	BUILDING TYPE III - EXTERIOR ELEVATIONS	
A3.23	BLDG. TYPE II - 3RD LEVEL FLOOR PLAN	
A3.25	BUILDING TYPE II - EXTERIOR ELEVATIONS	

Sheet Number	SHEET NAME	05-15-15 HDRC SUBMITTAL
A3.31	BLDG. TYPE III - OVERALL GROUND LEVEL PLAN	
A3.13	BLDG. TYPE I - 3RD LEVEL FLOOR PLAN	
A3.15	BUILDING TYPE I - EXTERIOR ELEVATIONS	
A3.24	BLDG TYPE II - ROOF PLAN	
A3.14	BLDG TYPE I - ROOF PLAN	
A3.33	BLDG. TYPE III - OVERALL 2ND LEVEL PLAN	
A3.35	BLDG. TYPE III - OVERALL 3RD LEVEL PLAN	
A3.37	BLDG. TYPE III - OVERALL 4TH LEVEL PLAN	

Sheet Number	SHEET NAME	05-15-15 HDRC SUBMITTAL
A3.50	CARRIAGE BUILDING	
A3.51	CARRIAGE BUILDING ELEVATIONS	
A2.07a	B2 - UNIT ELEVATIONS	
A2.09a	B4 - UNIT ELEVATIONS	
A2.10a	B5 & B5a - UNIT ELEVATIONS	
A3.11	BLDG. TYPE I - GROUND LEVEL FLOOR PLAN	
A3.21	BLDG. TYPE II - GROUND LEVEL FLOOR PLAN	
A3.22	BLDG. TYPE II - 2ND LEVEL FLOOR PLAN	
A3.12	BLDG. TYPE I - 2ND LEVEL FLOOR PLAN	



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INTERIM REVIEW DOCUMENTS
This document is preliminary and is not
intended for Regulatory Approval, Permit, or
Construction Purposes. This document is
issued under the authority of
Fernando J. Andrade, 17868 on 05-15-15

Revisions:

Date:
HDRC Submittal
05-15-15

Project No.
2310

Drawn By:
Author

Checked By:
MB

Sheet Title:

A1 - UNIT PLAN

Drawing No.

A2.01

UNIT PLAN GENERAL NOTES

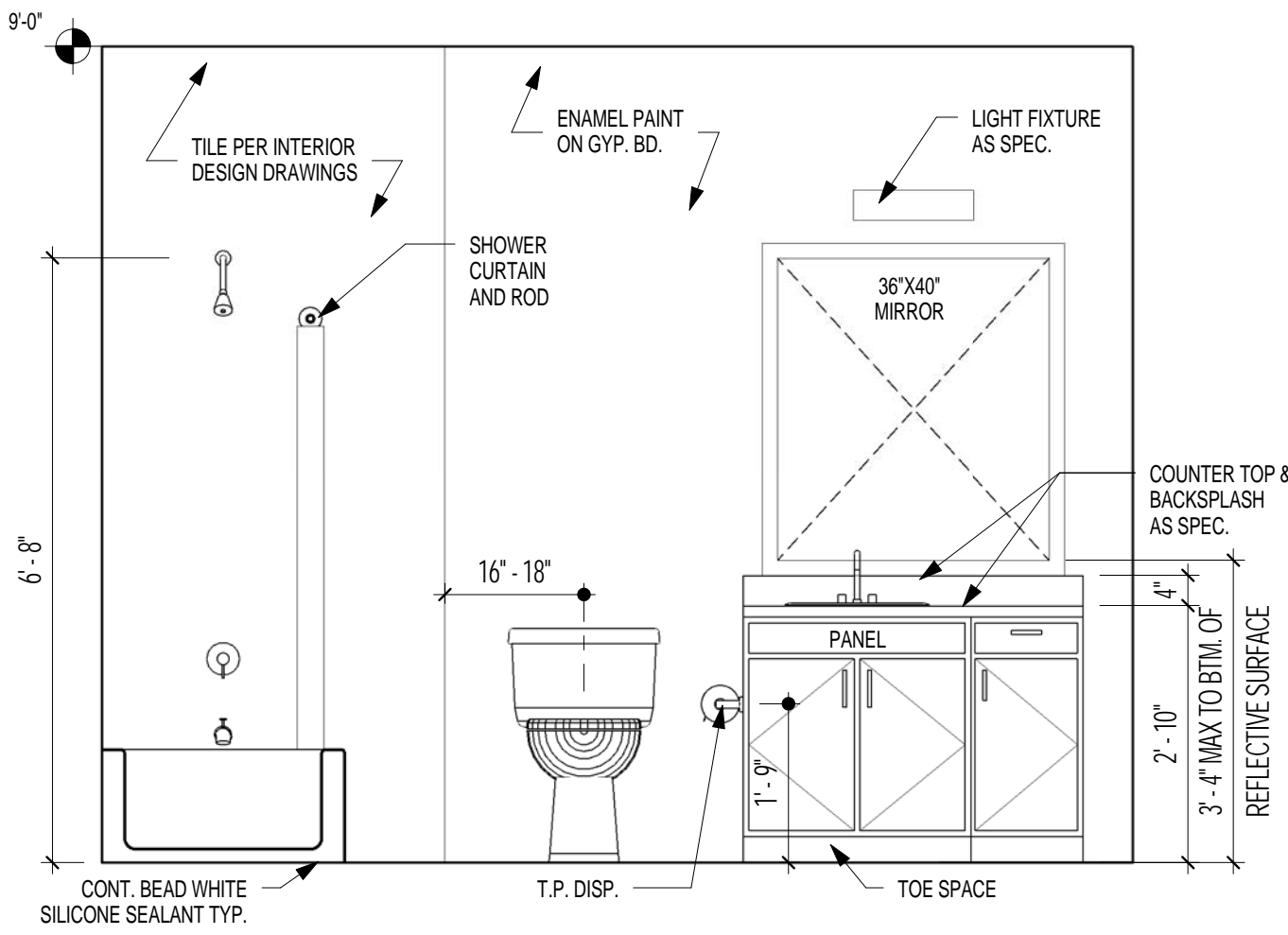
- INTERIOR WALLS TO HAVE R-11 FIBERGLASS INSULATION AS INDICATED.
- ALL DIMENSIONS ARE TO FACE OF STUD U.N.O., 2X4 (ACTUAL SIZE 1 1/2"X3 1/2") OR 2X6 (ACTUAL SIZE 1 1/2"X5 1/2").
- PROVIDE WOOD BLOCKING FOR ALL ACCESSORIES AS REQ'D, INCLUDING TOWEL BARS, GRAB BARS, ELECTRICAL FIXTURES AND SHOWER SEATS. REF. 04/A2.00 FOR GRAB BAR BLOCKING LOCATIONS.
- DOOR SCHEDULE & WINDOW SCHEDULE ARE LOCATED ON SHEET A7.10.
- ALL ANGLES ARE 45 DEG. TO HORIZONTAL & VERTICAL TYP. ALL UNITS, U.N.O.
- HATCH INDICATES FURR DOWN TO 8'-0" U.N.O.
- REF. ID DRAWINGS FOR FINISH SCHEDULE.
- REFER TO SHEET A7.01 FOR HORIZONTAL ASSEMBLIES.
- REF. SHEETS A0.01A-A0.03C FOR ACCESSIBILITY DESIGN STANDARDS AND MOUNTING HEIGHTS.
- WASHER TO BE ON LEFT SIDE AT ALL UTIL. LOCATIONS U.N.O.
- PROVIDE ONE 2A:10B/C FIRE EXTINGUISHER AT EACH UNIT.
- ALL INTERIOR UNIT PARTITIONS ARE WALL TYP. A'3' U.N.O.; REF TO SHEET A7.00 FOR ASSEMBLY DESCRIPTION.
- ALL ENTRY DOOR ROUGH OPENINGS ARE TO BE LOCATED 5" OFF FACE OF FRAMING FROM HINGE SIDE OF DOOR, U.N.O.
- ALL ROUGH DOOR OPENINGS WIN UNITS ARE TO BE LOCATED 4" OFF FACE OF FRAMING FROM HINGE SIDE OF DOOR, U.N.O.
- ALL UTILITY, COAT, PANTRY, & LINEN CLOSET DOORS TO BE CENTERED WIN THE INTERIOR DIMENSION OF CLOSETS, U.N.O.
- ALL HATCH INDICATES LOAD BEARING WALL CONSTRUCTION; G.C. TO VERIFY W/ STRUCTURAL DRAWINGS.
- ALL LINES & EQUIPMENT TO BE HOUSED IN FIRE-RATED BOXES WHEN LOCATED IN FIRE-RATED WALL ASSEMBLIES. BOXES TO HAVE MIN. FIRE RATING OF WALL ASSEMBLY.
- REFER TO UNIT PLANS FOR CABINET WIDTHS.
- ALL BASE CABINETS UNDER SINK/LAVATORY IN HC-DESIGNATED UNITS ARE TO BE ADJUSTABLE OR REPLACEABLE TO MEET ANSI A117.1 ALL EXPOSED PIPES ARE TO BE PROTECTED (COVERED OR INSULATED). FLOOR FINISH TO EXTEND UNDER SUCH CABINETRY, WALLS BEHIND AND SURROUNDING SUCH CABINETRY ARE TO BE FINISHED.
- ALL H.C. UNITS TO COMPLY WITH ANSI A117.1, REF. A0.01A & A0.01B.
- REFERENCE OVERALL THIRD LEVEL PLANS FOR AREAS OF RAISED CEILINGS.
- REINFORCEMENT FOR GRAB BARS SHALL BE INSTALLED PER ANSI ICC A117.1 SECTION 1003.11.4.

CABINETRY LEGEND

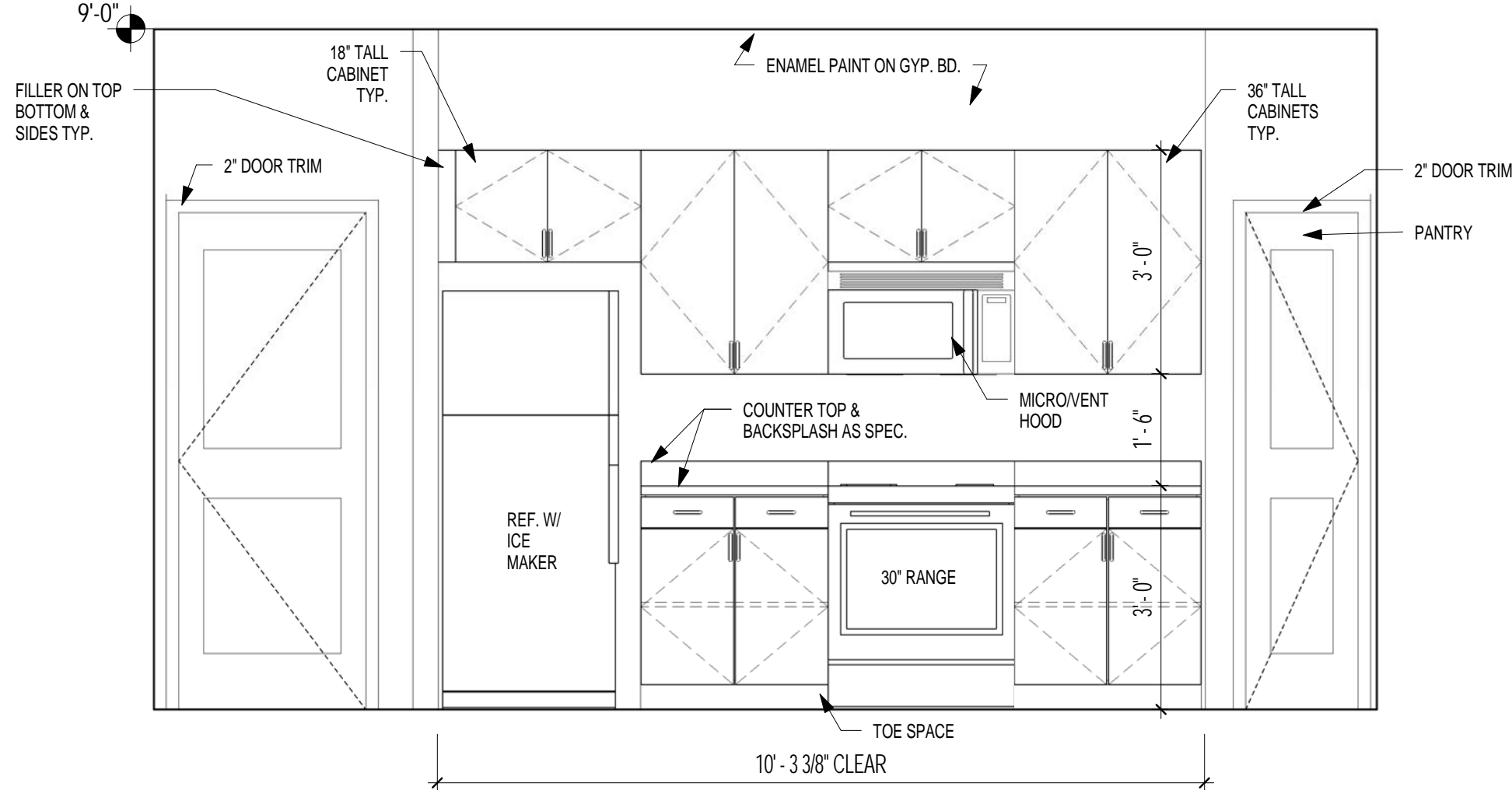
W XX	WALL CABINET
WM XX	WALL CABINET ABOVE MICRO.
WR XX	WALL CABINET ABOVE REF.
B XX	BASE CABINET
RB XX	REMOVABLE BASE CABINET
SB XX	SINK BASE CABINET
RSB XX	REMOVABLE SINK BASE CABINET
P XX	PANTRY CABINET
VB XX	VANITY BASE CABINET
VS XX	VANITY SINK BASE CABINET
VD XX	VANITY DRAWER BANK CABINET
L XX	LINEN CABINET

DENOTES CAB. TYPE DENOTES CAB. WIDTH IN INCHES

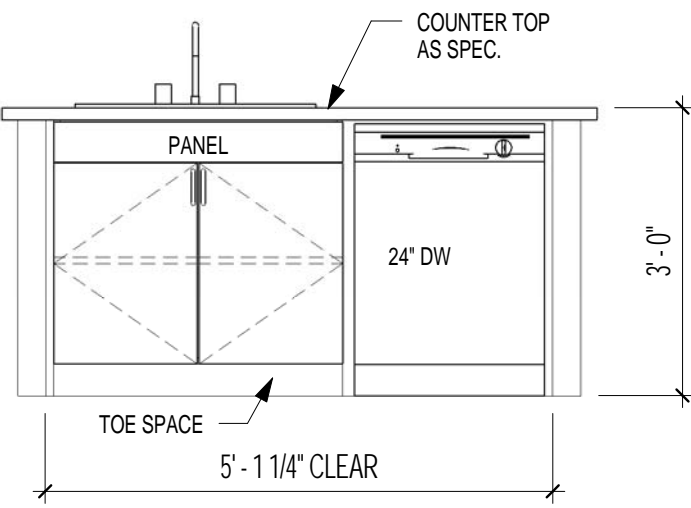
NOTE: G.C. TO SUBMIT BASE CAB. HEIGHT. IF SELF-RIMMING SINK IS USED, G.C. TO ENSURE THAT T.O. SINK DOES NOT EXCEED 36" A.F.F. AT TYPICAL UNITS AND 34" A.F.F. AT HANDICAP UNITS.



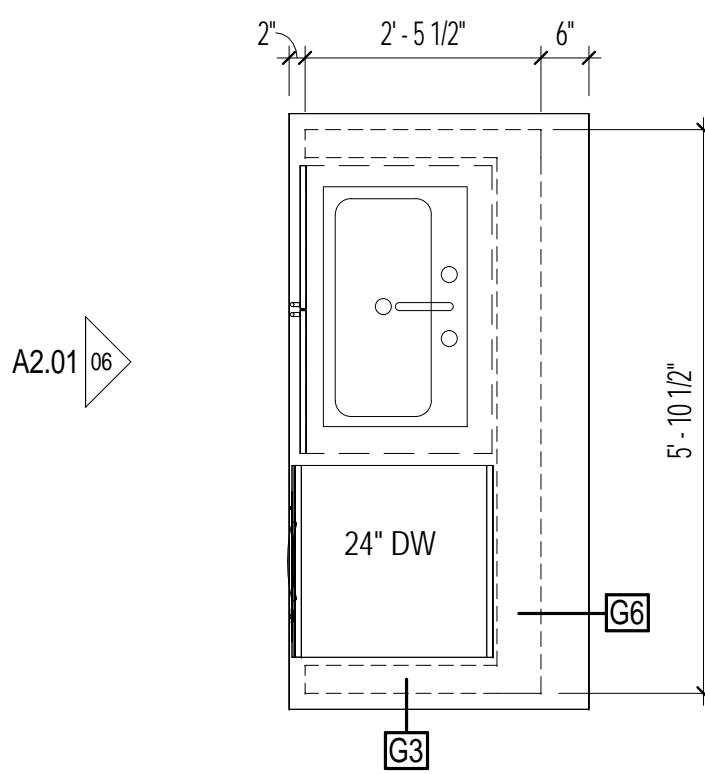
07 A1 - BATH
1/2" = 1'-0"



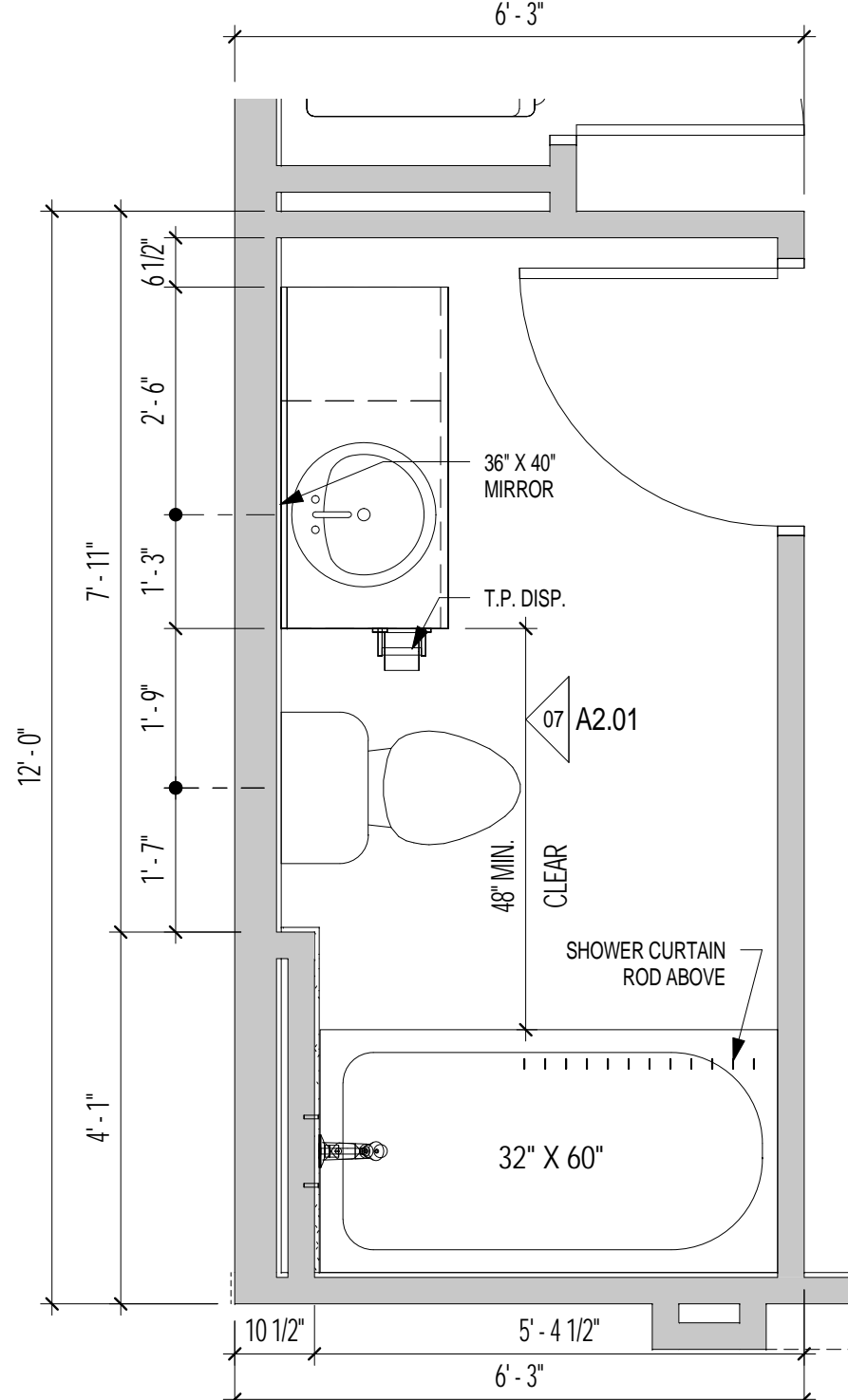
05 A1 - KITCHEN
1/2" = 1'-0"



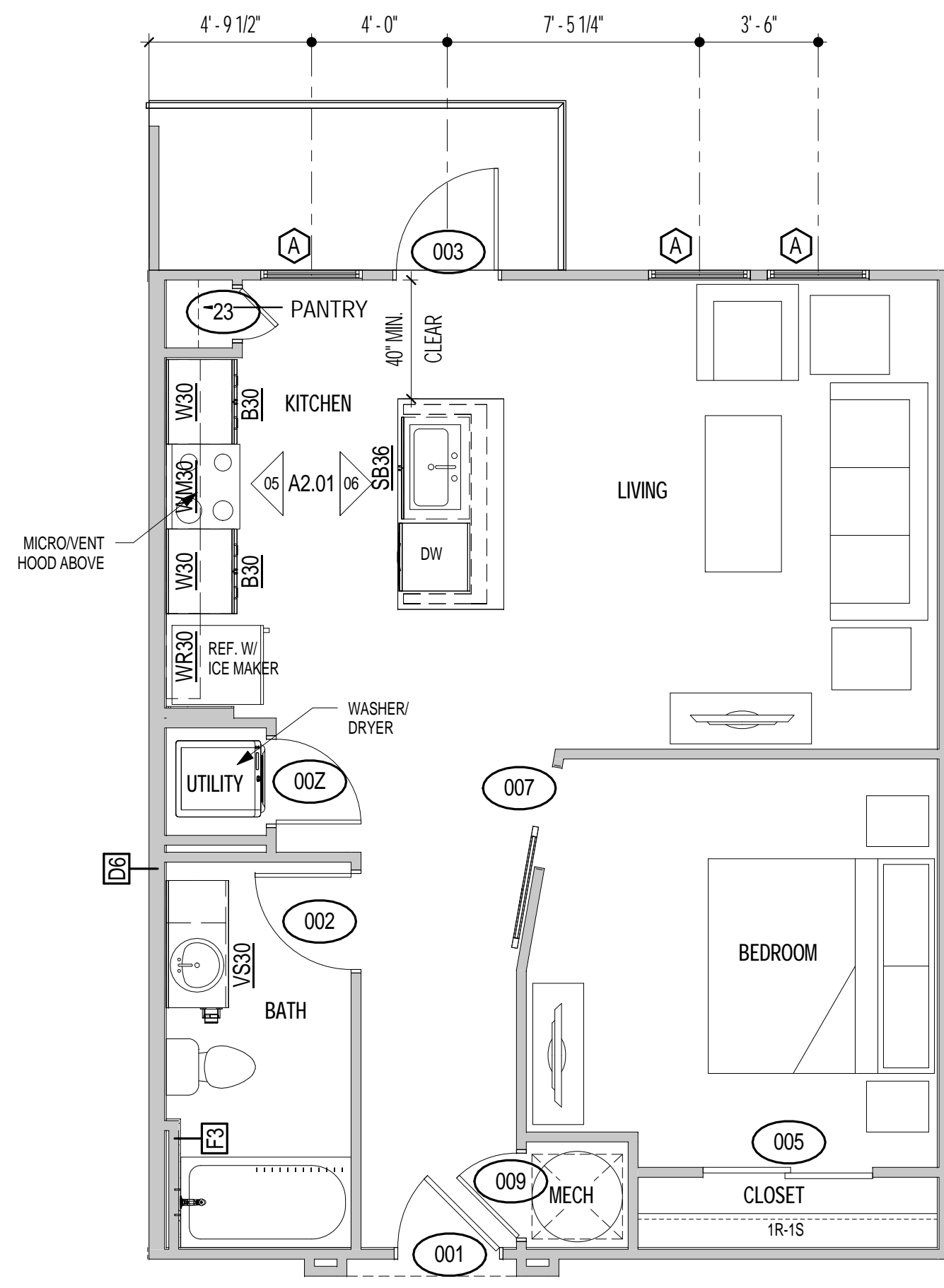
06 A1 - KITCHEN ISLAND
1/2" = 1'-0"



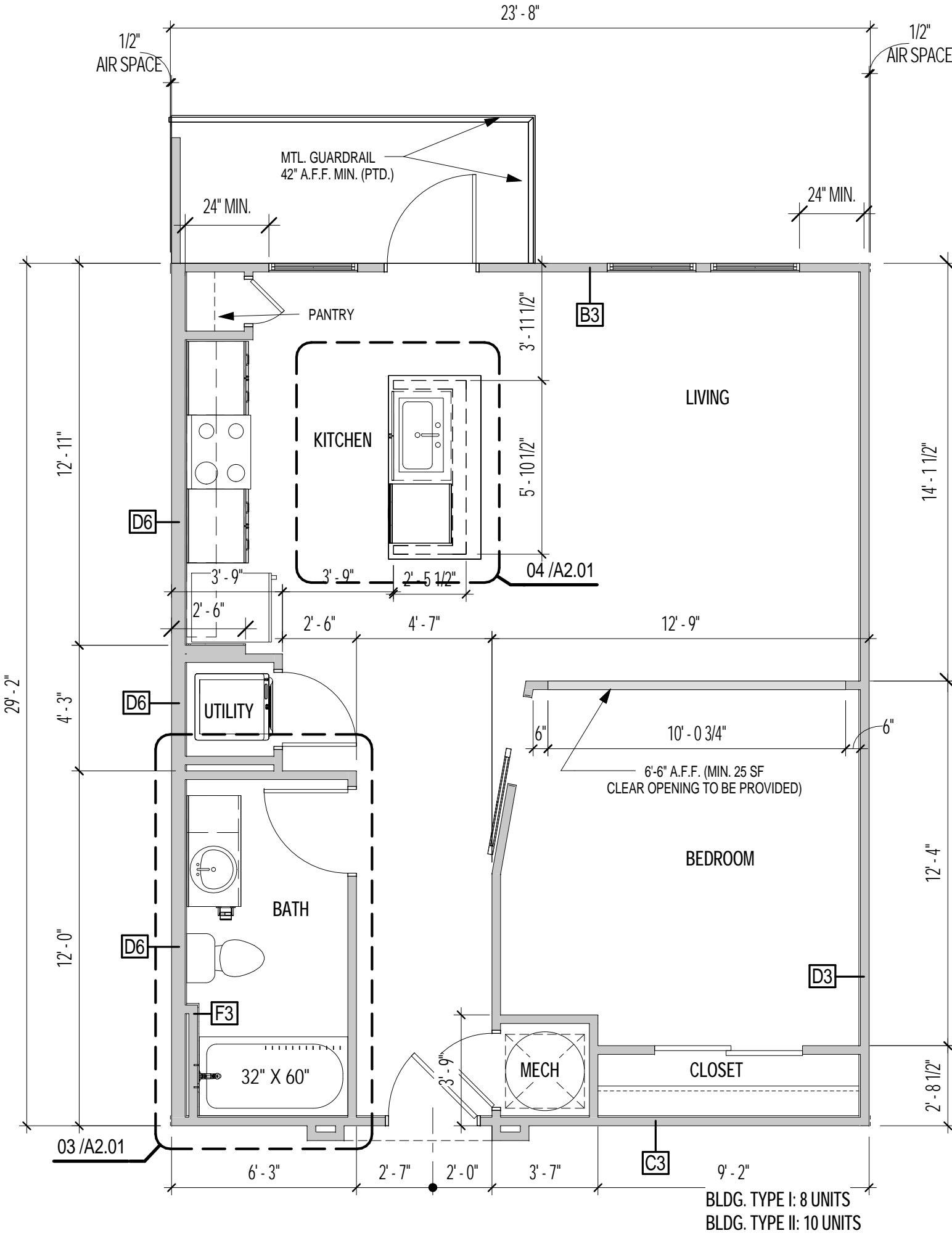
04 KITCHEN ISLAND TYPE 1 PLAN
1/2" = 1'-0"



03 A1 - ENLARGED BATH PLAN
1/2" = 1'-0"



02 A1 - FURNITURE PLAN
1/4" = 1'-0"



01 A1 - UNIT PLAN
1/4" = 1'-0"

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Mark Johnson
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Revisions:

Date:

HDRC Submittal
05-15-15

Project No.

2310

Drawn By:

Author

Checked By:

Checker

Sheet Title:

A2 - UNIT PLAN

Drawing No.

A2.02

CABINETRY LEGEND

W XX	WALL CABINET
WM XX	WALL CABINET ABOVE MICRO.
WR XX	WALL CABINET ABOVE REF.
B XX	BASE CABINET
RB XX	REMOVABLE BASE CABINET
SB XX	SINK BASE CABINET
RSB XX	REMOVABLE SINK BASE CABINET
P XX	PANTRY CABINET
VB XX	VANITY BASE CABINET
VS XX	VANITY SINK BASE CABINET
VD XX	VANITY DRAWER BANK CABINET
L XX	LINEN CABINET

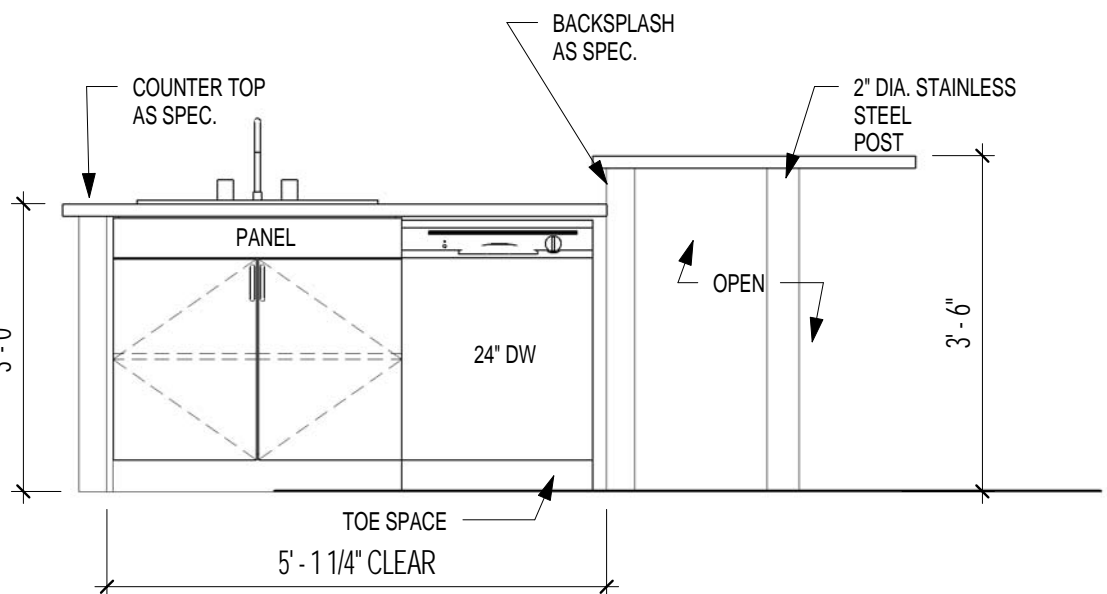
WXX
DENOTES
CAB. TYPE

WXX
DENOTES CAB.
WIDTH IN INCHES

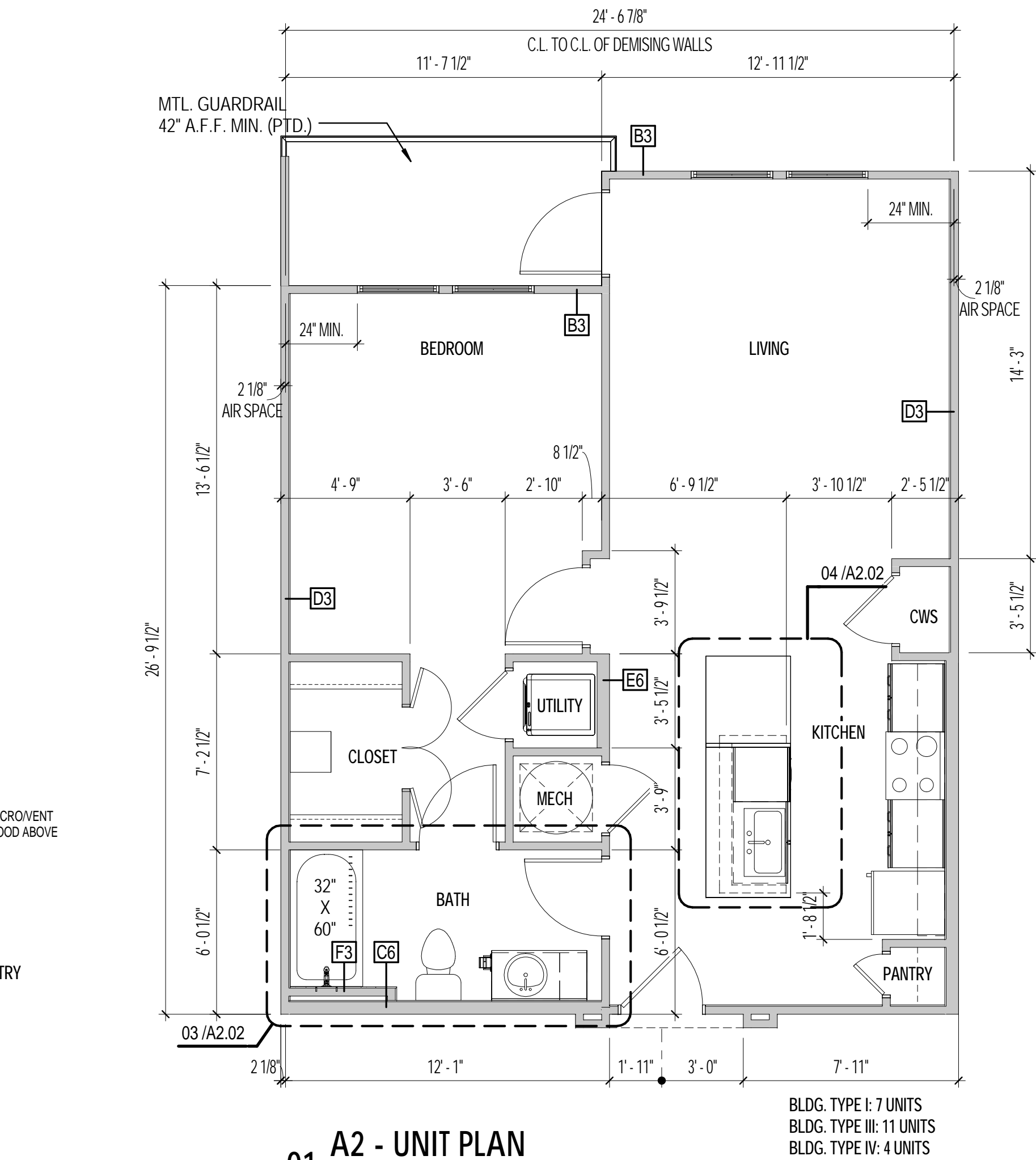
NOTE: G.C. TO SUBMIT BASE CAB.
HEIGHT. IF SELF-RIMMING SINK IS USED,
G.C. TO ENSURE THAT T.O. SINK DOES
NOT EXCEED 36" A.F.F. AT TYPICAL
UNITS AND 34" A.F.F. AT HANDICAP
UNITS.

UNIT PLAN GENERAL NOTES

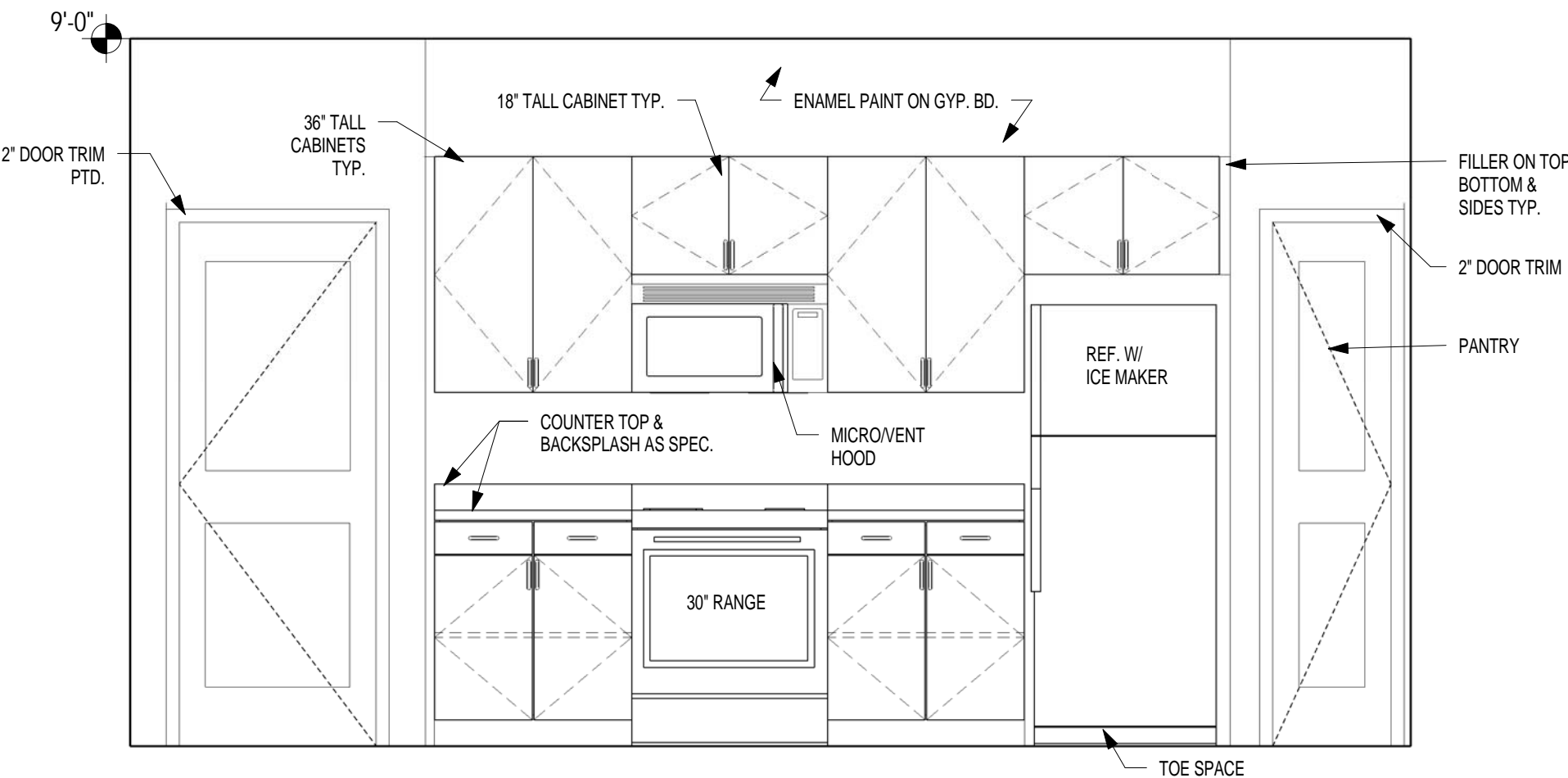
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- HATCH INDICATES FURR DOWN TO 8'-0" U.N.O.
- REF. ID DRAWINGS FOR FINISH SCHEDULE
- REFER TO SHEET A7.01 FOR HORIZONTAL ASSEMBLIES.
- REF. SHEETS A0.01A-A0.03C FOR ACCESSIBILITY DESIGN STANDARDS AND MOUNTING HEIGHTS.
- WASHER TO BE ON LEFT SIDE AT ALL UTIL. LOCATIONS U.N.O.
- PROVIDE ONE 2A-10B-C FIRE EXTINGUISHER AT EACH UNIT.
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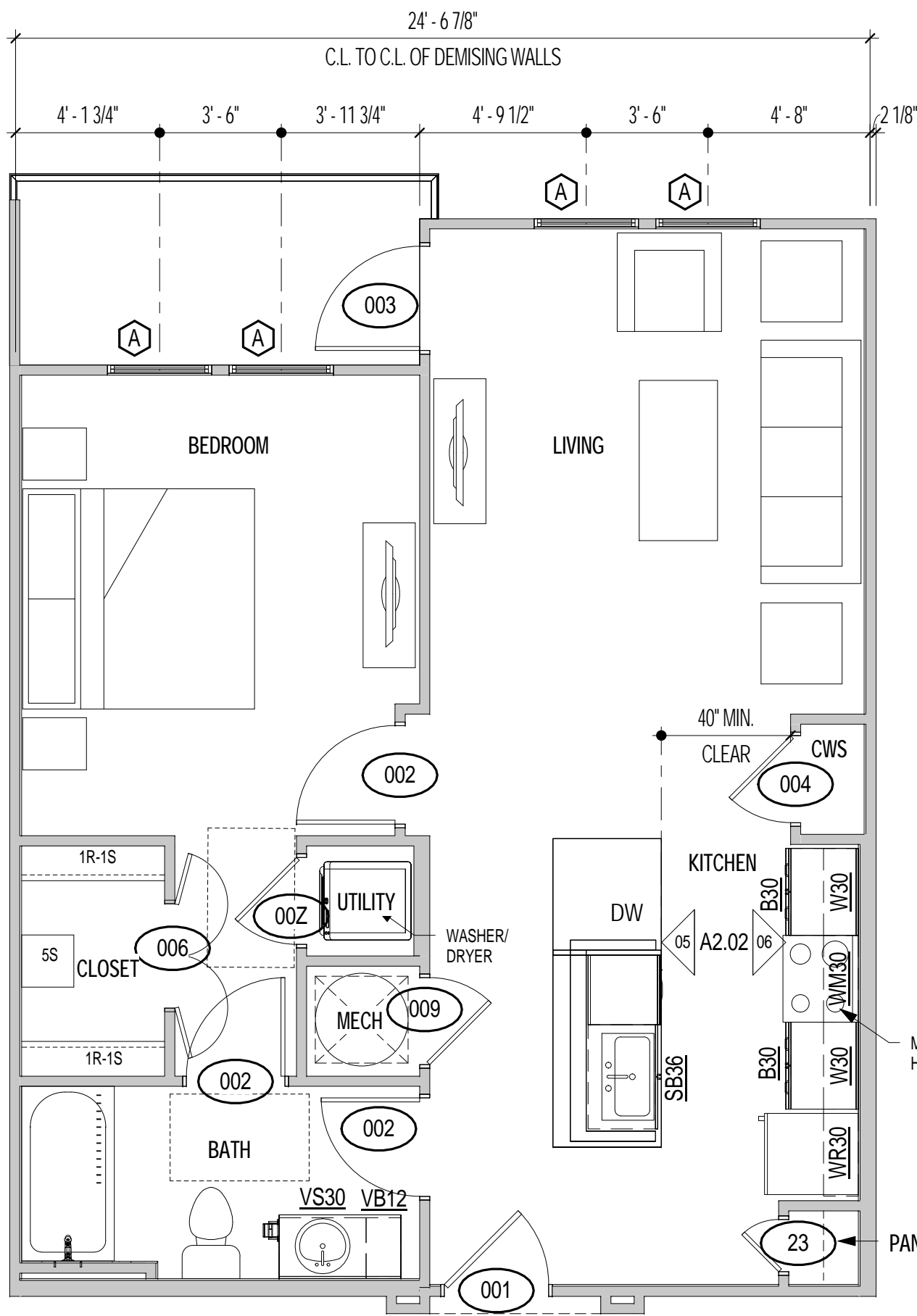
05 A2 - KITCHEN ISLAND
1/2" = 1'-0"



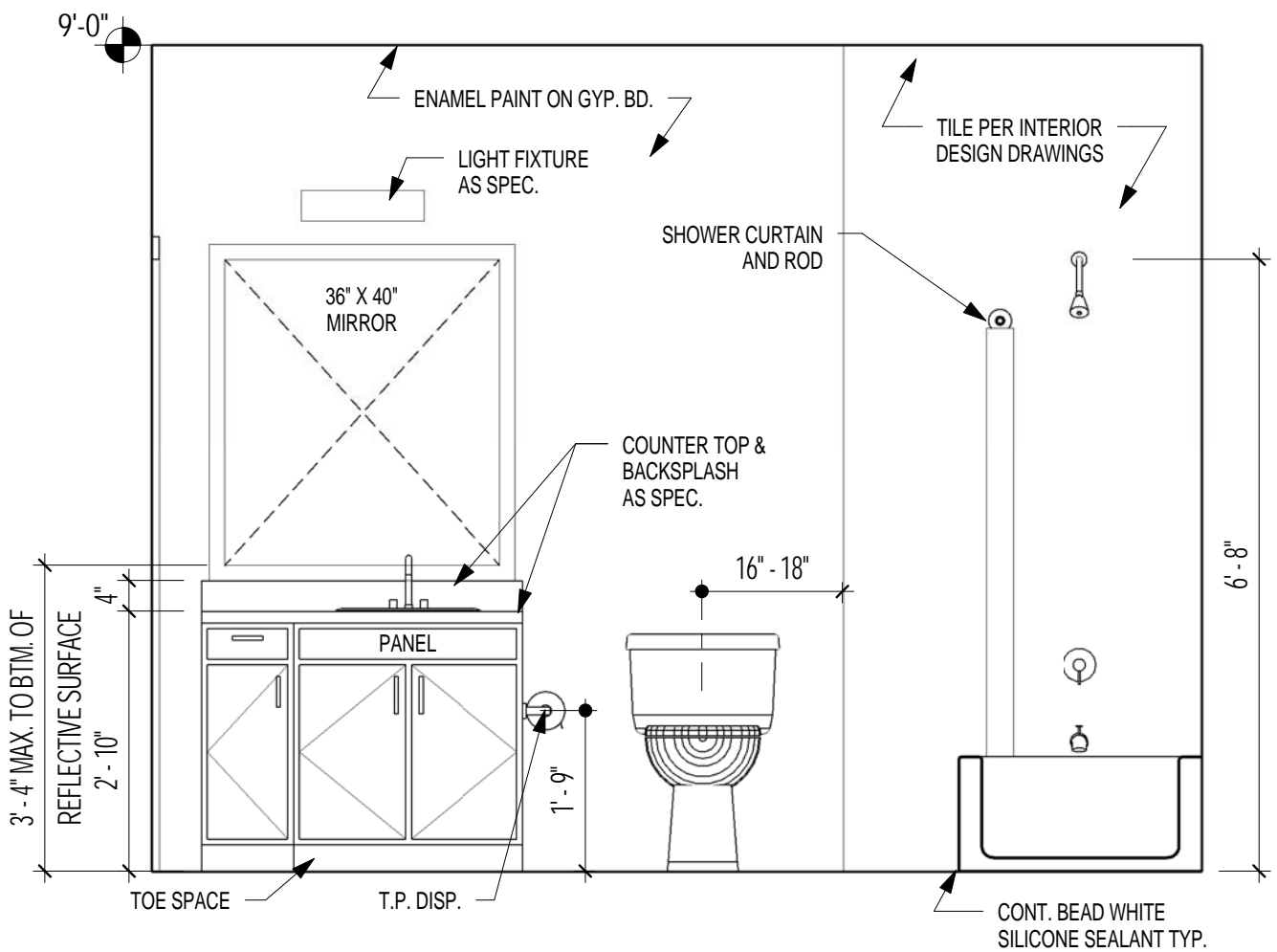
01 A2 - UNIT PLAN
1/4" = 1'-0"



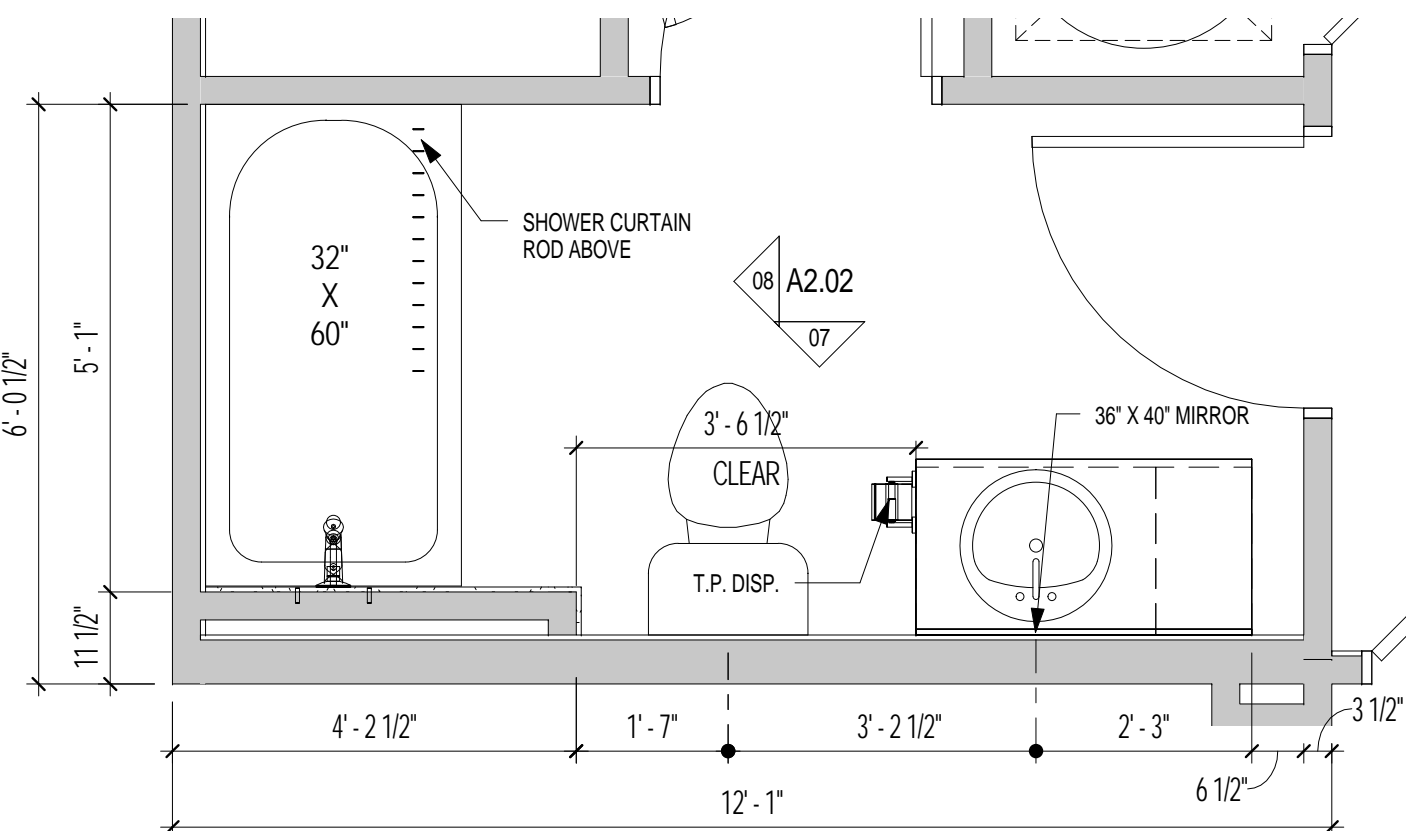
06 A2 - KITCHEN
1/2" = 1'-0"



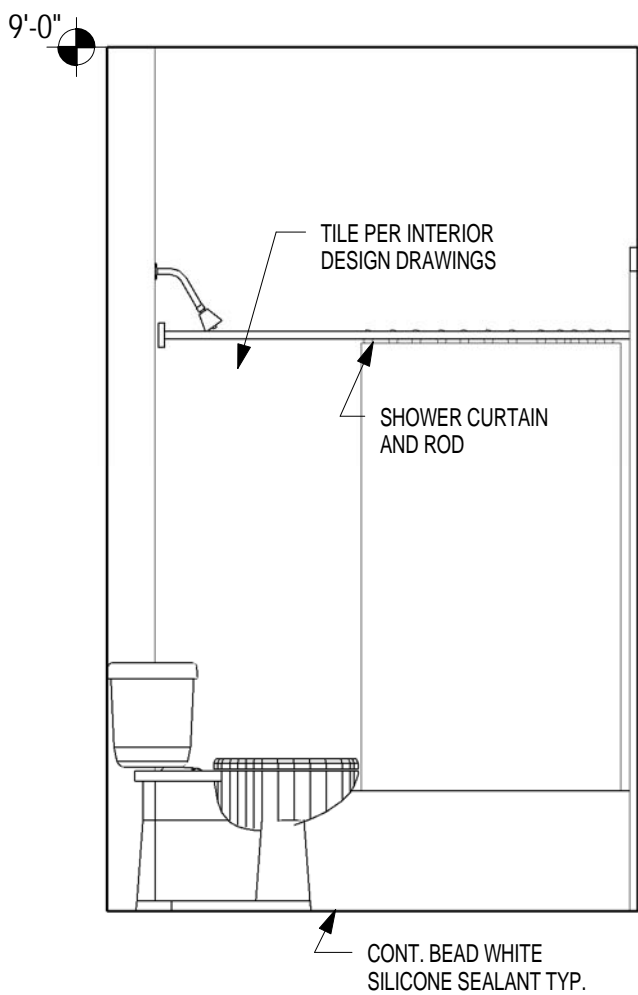
02 A2 - FURNITURE PLAN
1/4" = 1'-0"



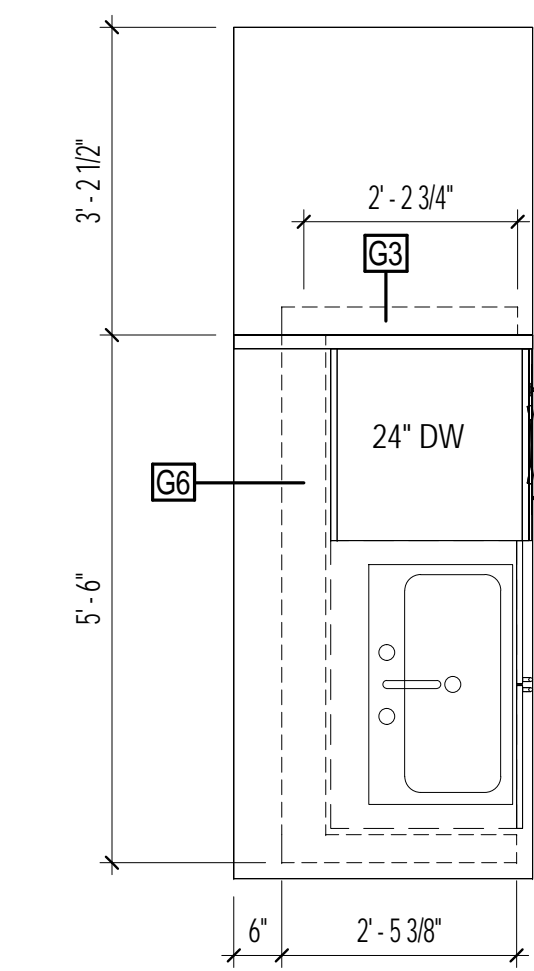
07 A2 - BATH
1/2" = 1'-0"



03 A2 - ENLARGED BATH PLAN
1/2" = 1'-0"



08 A2 - BATH
1/2" = 1'-0"



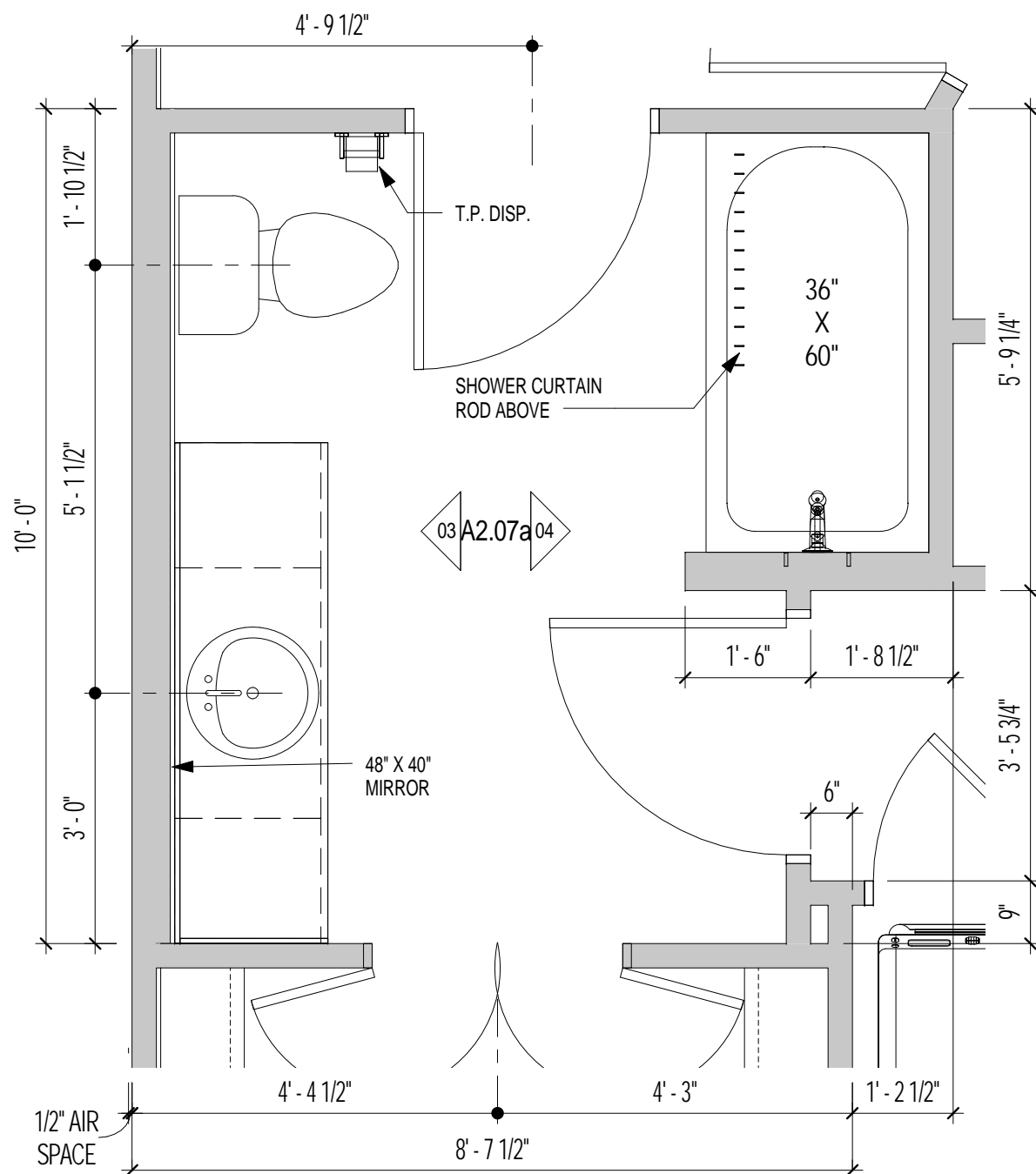
04 KITCHEN ISLAND TYPE 2 PLAN
1/2" = 1'-0"

SAN ANTONIO, TEXAS

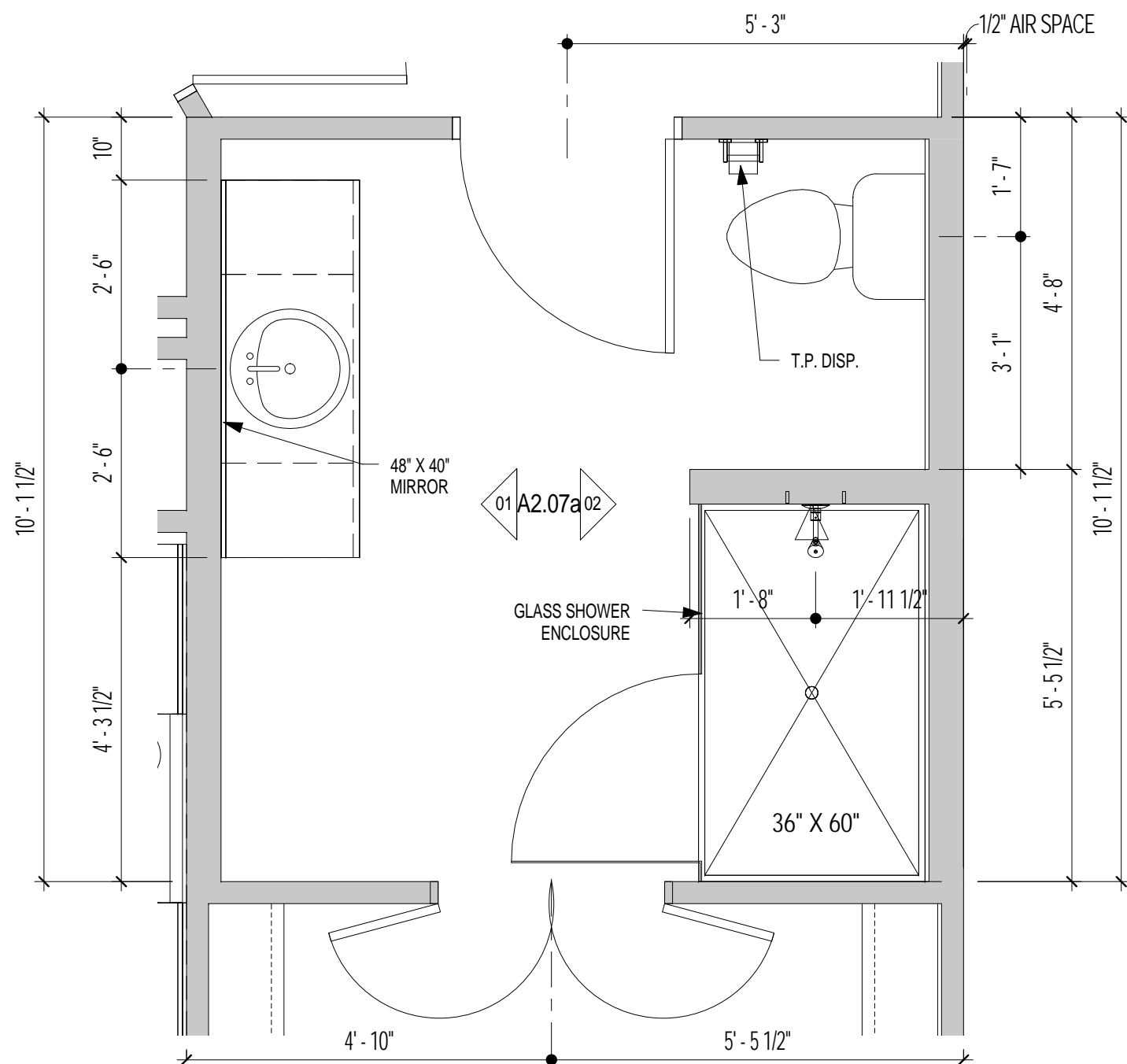
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BLDG. TYPE II: 2 UNITS
BLDG. TYPE III: 4 UNITS
BLDG. TYPE IV: 14 UNITS

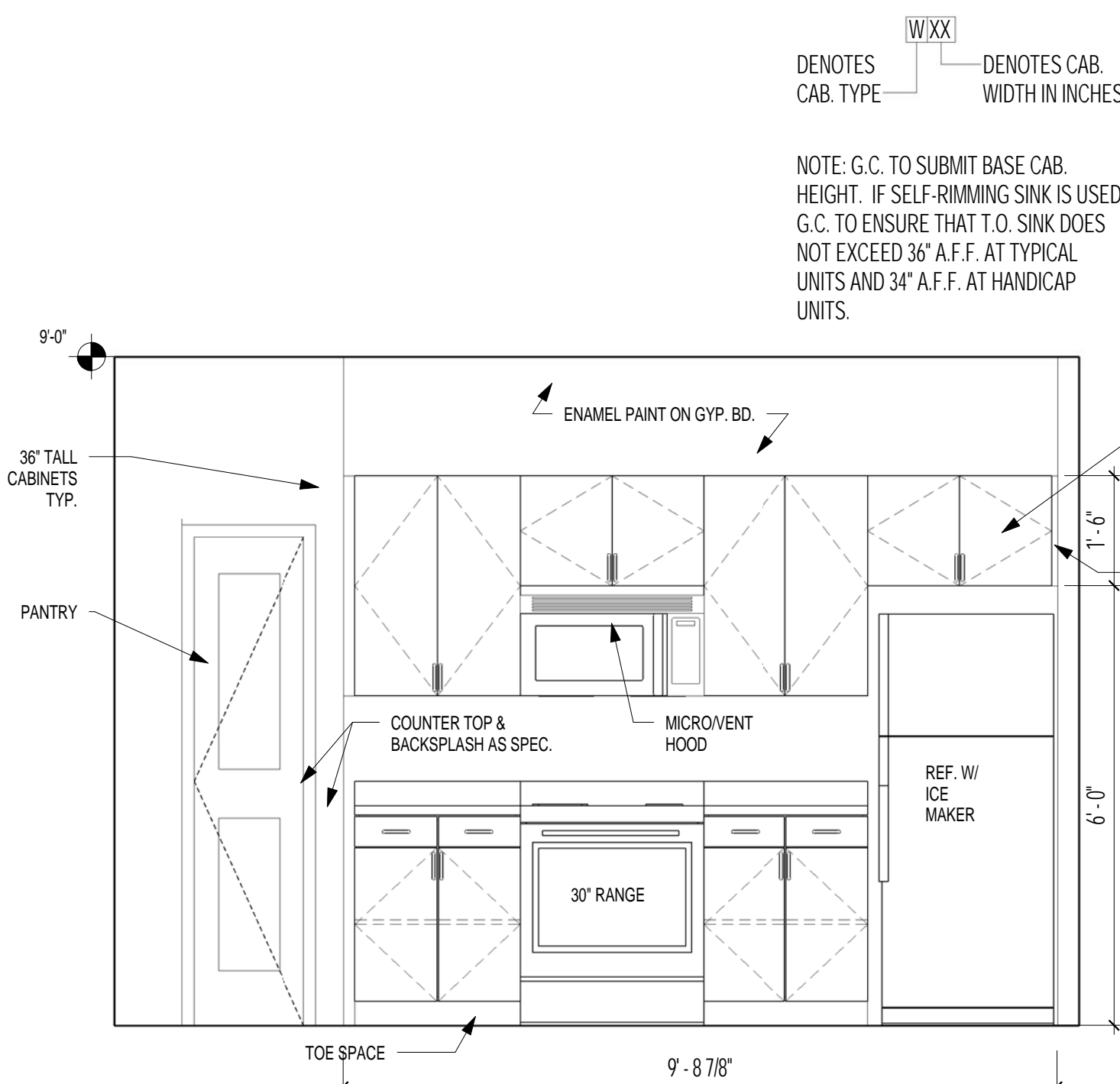
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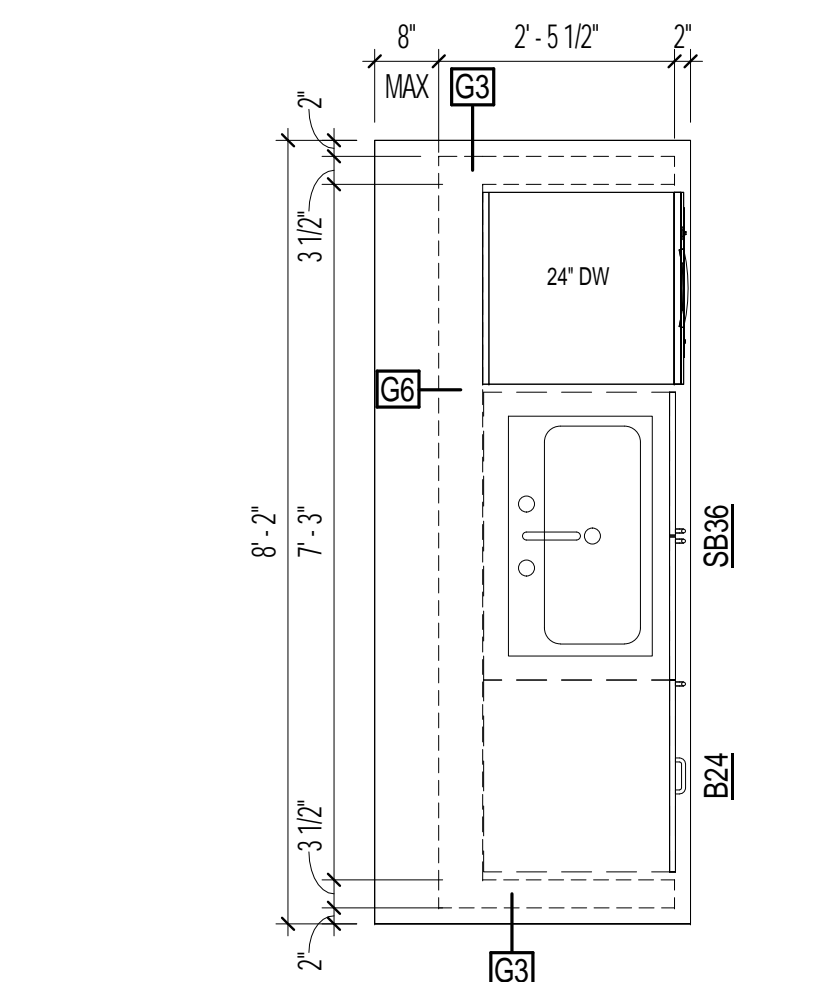
07 **B2 - ENLARGED BATH 2 PLAN**
1/2" = 1'-0"



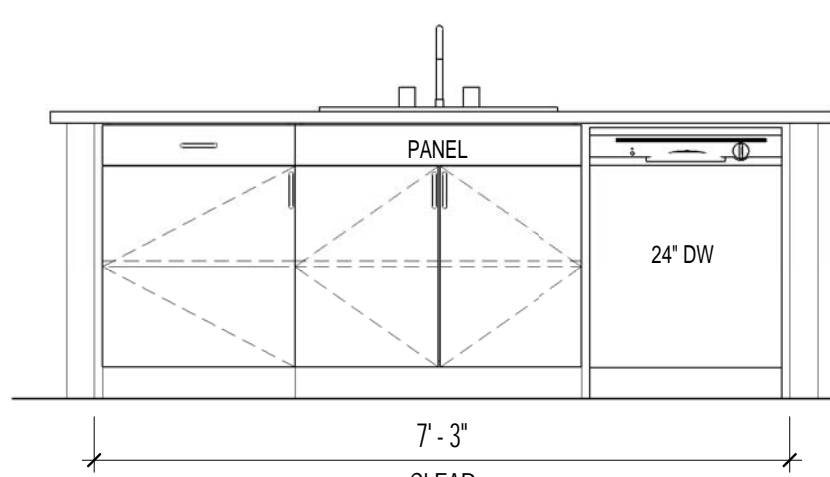
06 **B2 - ENLARGED BATH 1 PLAN**
1/2" = 1'-0"



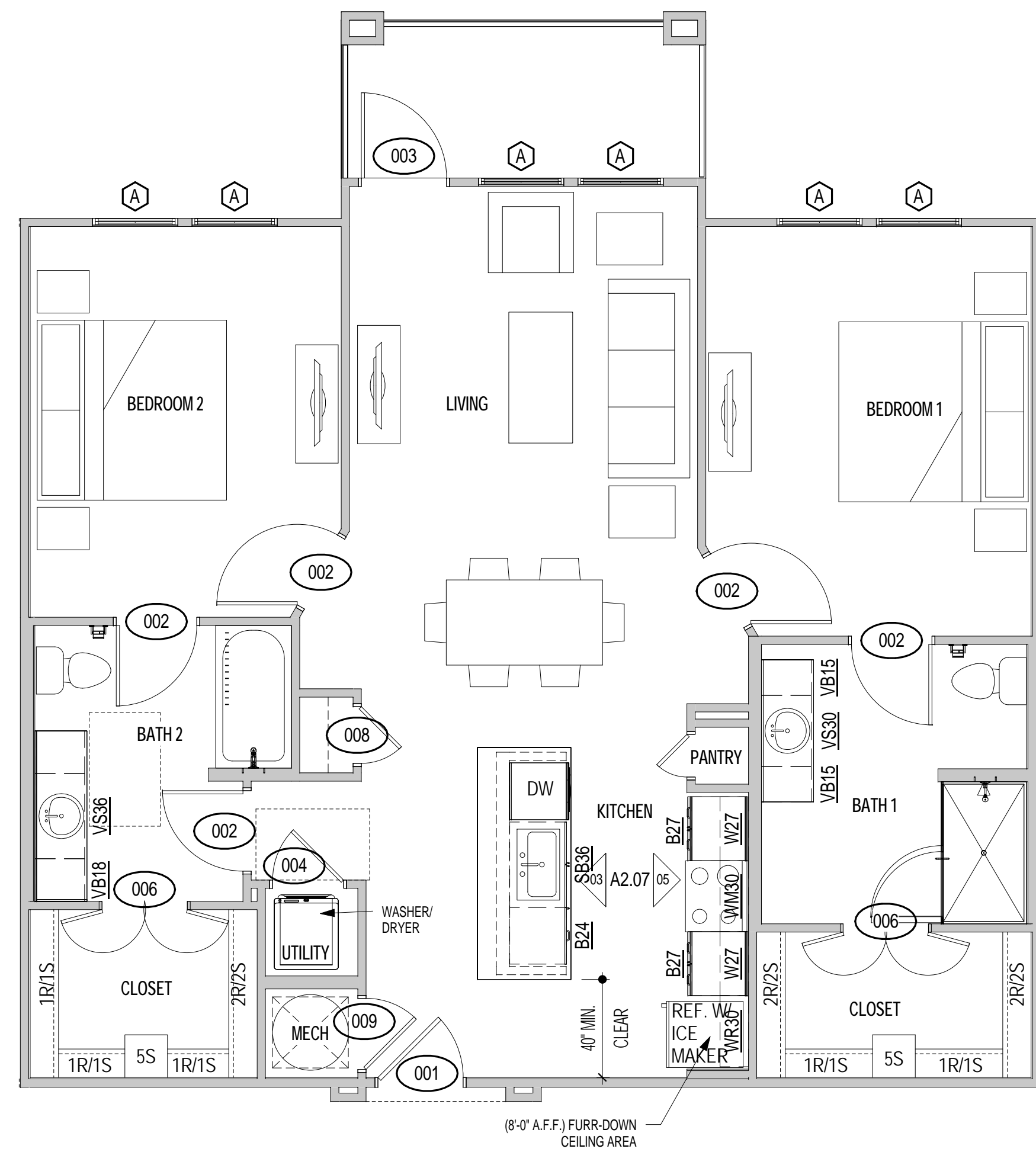
05 **B2 - KITCHEN**
1/2" = 1'-0"



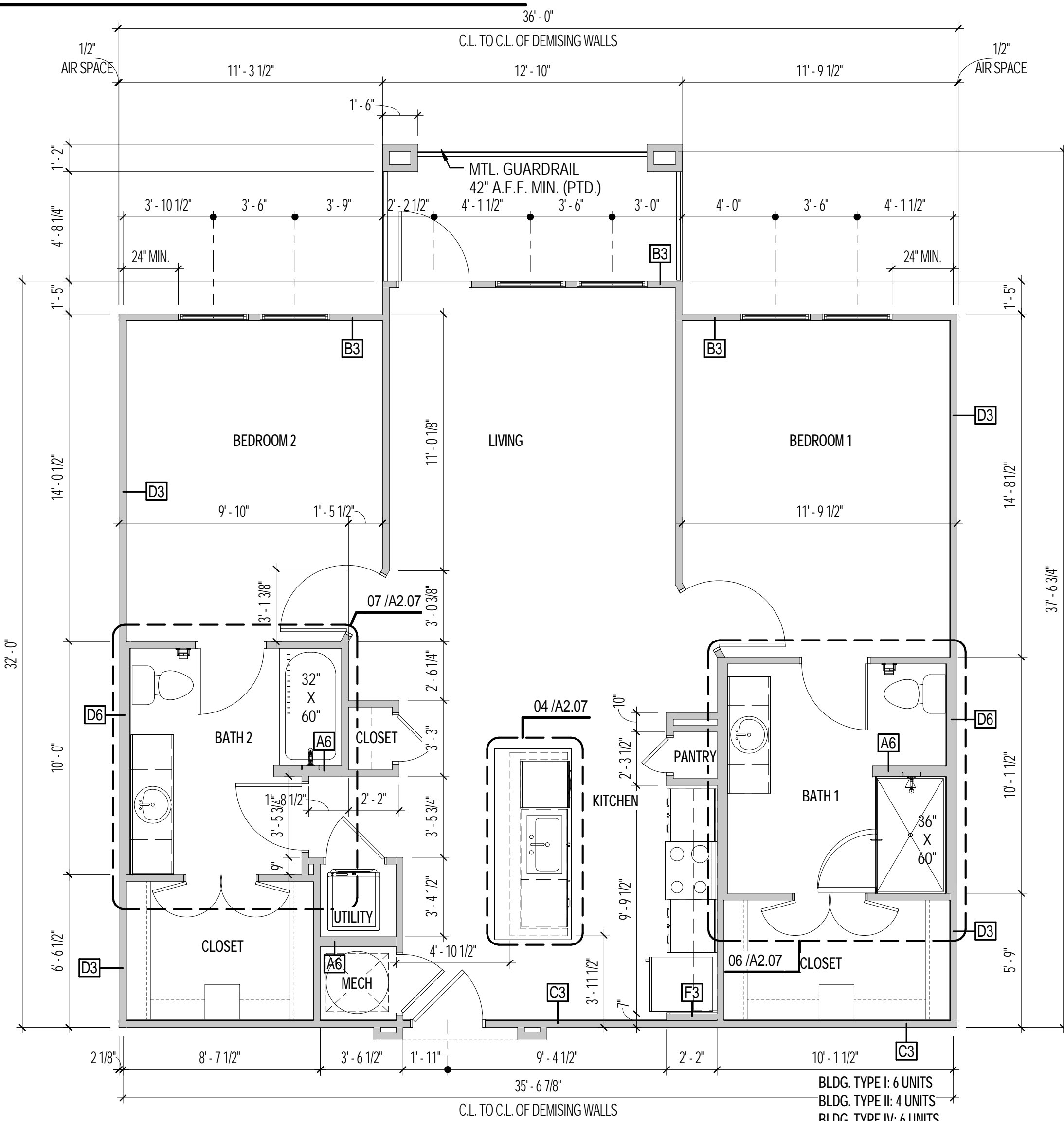
04 **KITCHEN ISLAND TYPE 5 PLAN**
1/2" = 1'-0"



03 **KITCHEN ISLAND TYPE 5 ELEVATION**
1/2" = 1'-0"



02 **B2 - FURNITURE PLAN**
1/4" = 1'-0"



01 **B2 - UNIT PLAN**
1/4" = 1'-0"

CABINETRY LEGEND

W XX WALL CABINET
WM XX WALL CABINET ABOVE MICRO.
WR XX WALL CABINET ABOVE REF.
B XX BASE CABINET
RB XX REMOVABLE BASE CABINET
SB XX SINK BASE CABINET
RSB XX REMOVABLE SINK BASE CABINET
P XX PANTRY CABINET
VB XX VANITY BASE CABINET
VS XX VANITY SINK BASE CABINET
VD XX VANITY DRAWER BANK CABINET
L XX LINEN CABINET

W XX
DENOTES CAB. TYPE
DENOTES CAB. WIDTH IN INCHES

NOTE: G.C. TO SUBMIT BASE CAB. HEIGHT. IF SELF-RIMMING SINK IS USED, G.C. TO ENSURE THAT T.O. SINK DOES NOT EXCEED 36" A.F.F. AT TYPICAL UNITS AND 34" A.F.F. AT HANDICAP UNITS.

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- REF. ID DRAWINGS FOR FINISH SCHEDULE
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- REF. SHEETS A0.01A-A0.03C FOR ACCESSIBILITY DESIGN STANDARDS AND MOUNTING HEIGHTS.
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BROOKS APARTMENTS II

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Revisions:

No.	Description	By	Date

Date:

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05-15-15

Project No.

2310

Drawn By:

Author

Checked By:

Checker

Sheet Title:

B2 - UNIT PLAN

Drawing No.

A2.07

BROOKS APARTMENTS II

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[illegible]

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Author

Checked By: _____
Checker _____

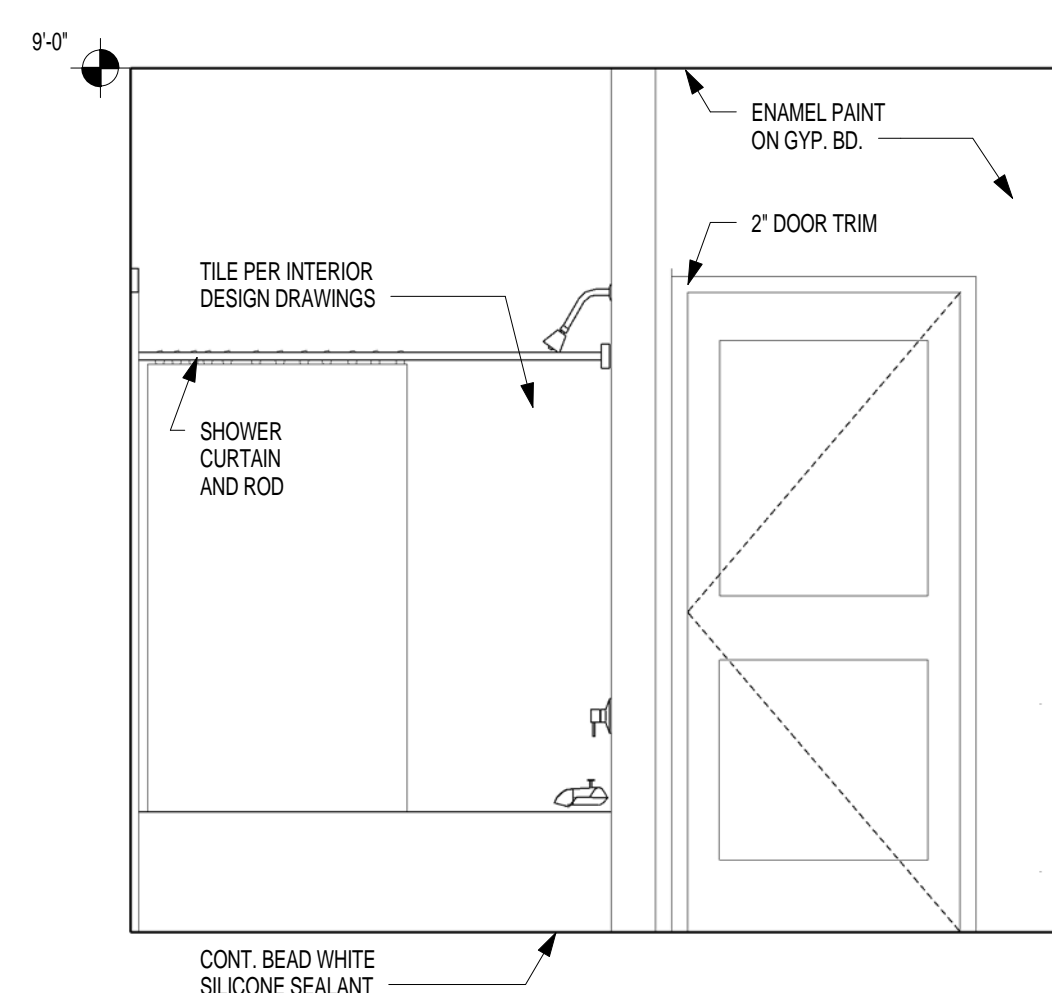
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B2 - UNIT ELEVATIONS

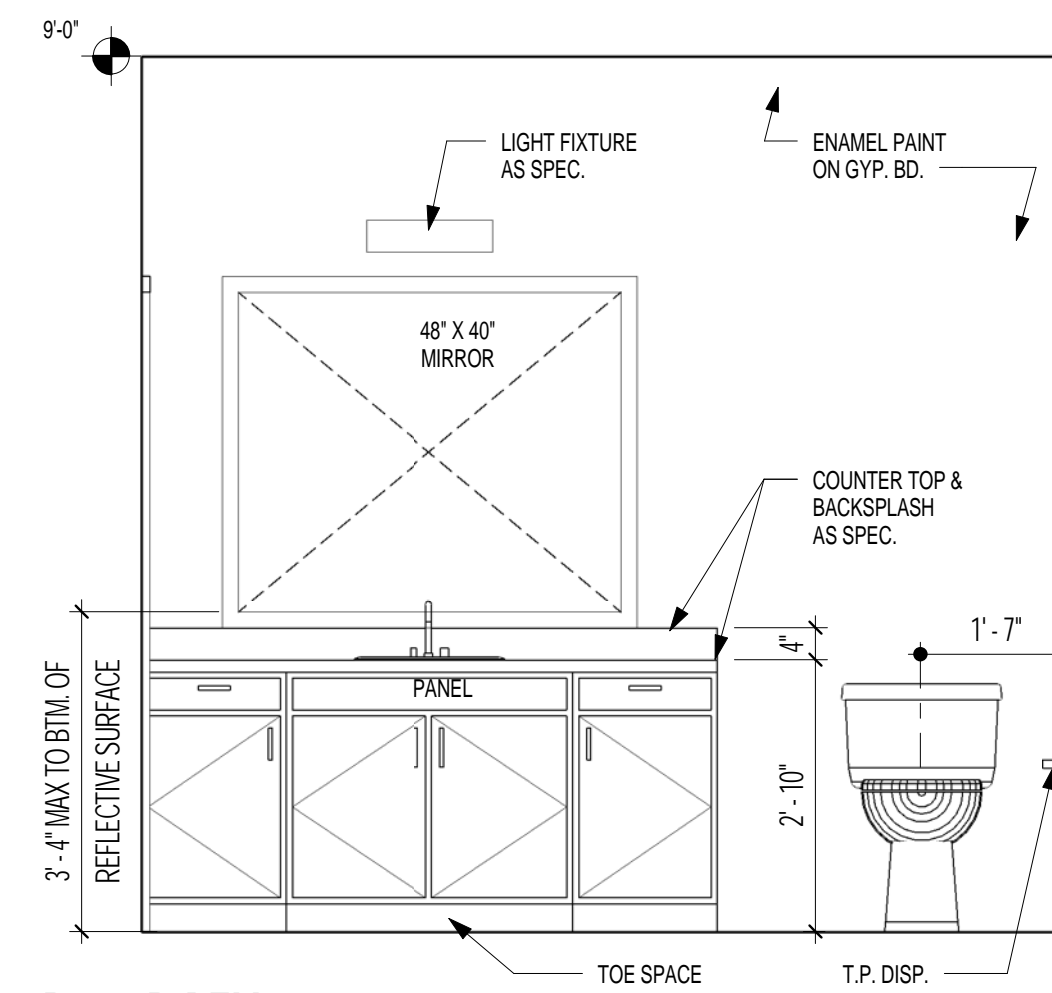
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A2 070

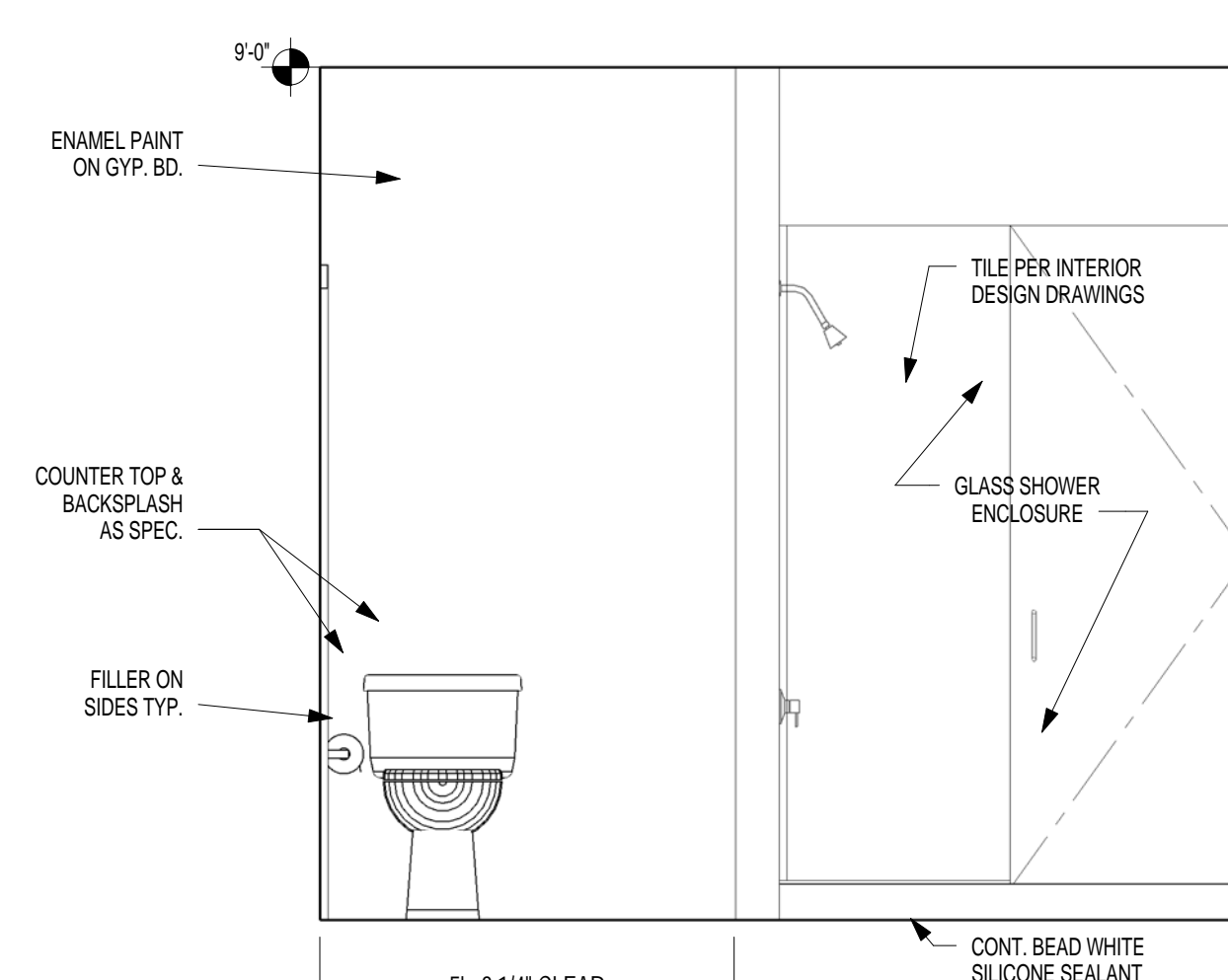
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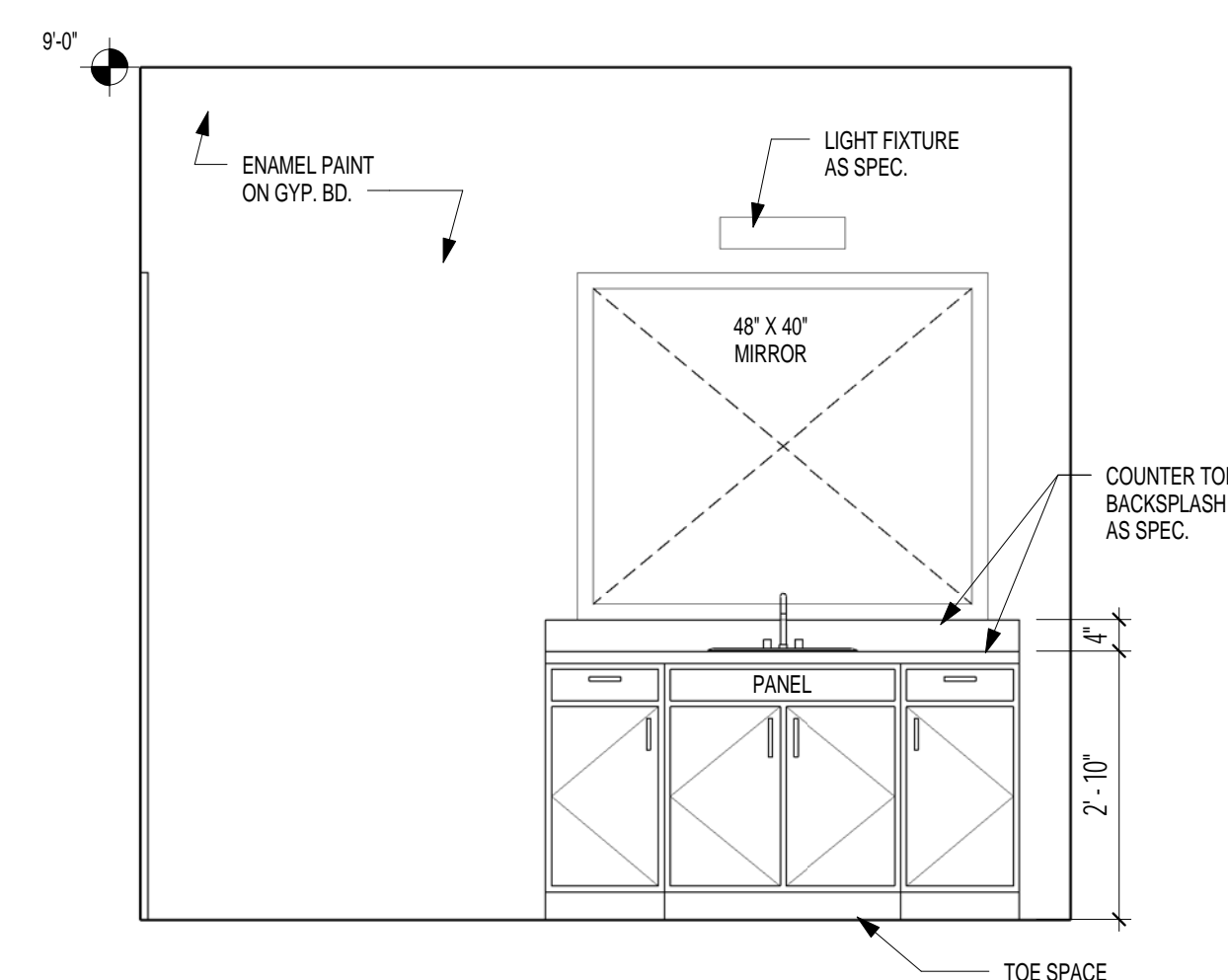
04 **B2 - BATH 2**
1/2" = 1'-0"



03 **B2 - BATH 2**
1/2" = 1'-0"



02 **B2 - BATH 1**



01 **B2 - BATH 1**
1/2" = 1'-0"

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Drawn By:
Author

Checked By:
Checker

Sheet Title:
B3, B3a, & B3 Alt. #1 - UNIT
PLAN

Drawing No.

A2.08

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- REFERENCE OVERALL THIRD LEVEL PLANS FOR AREAS OF RAISED CEILINGS.
- REINFORCEMENT FOR GRAB BARS SHALL BE INSTALLED PER ANSI ICC A117.1 SECTION 1003.11.4.

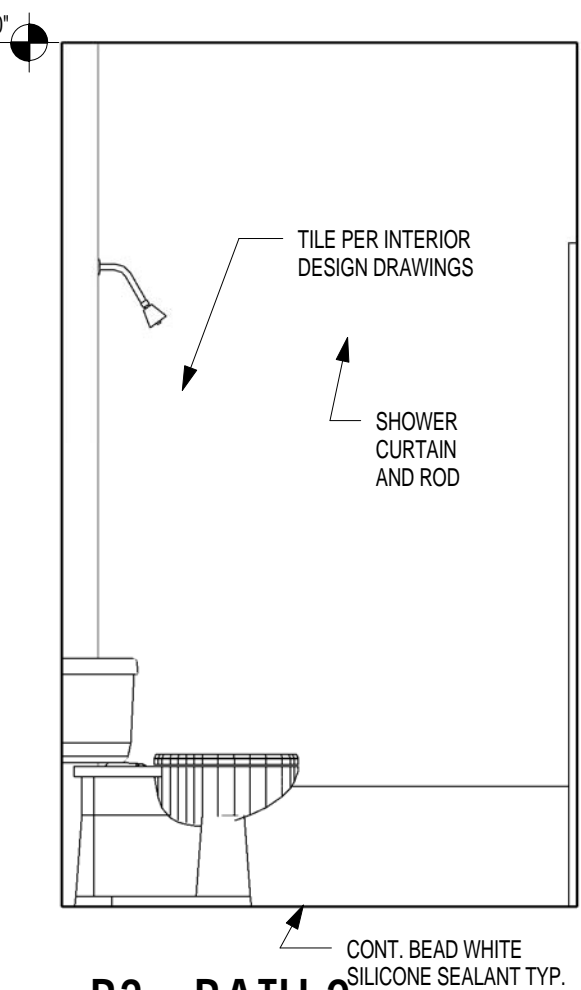
CABINETRY LEGEND

W XX WALL CABINET
WM XX WALL CABINET ABOVE MICRO
WR XX WALL CABINET ABOVE REF.
B XX BASE CABINET
RB XX REMOVABLE BASE CABINET
SB XX SINK BASE CABINET
RSB XX REMOVABLE SINK BASE CABINET
P XX PANTRY CABINET
VB XX VANITY BASE CABINET
VS XX VANITY SINK BASE CABINET
VD XX VANITY DRAWER BANK CABINET
L XX LINEN CABINET

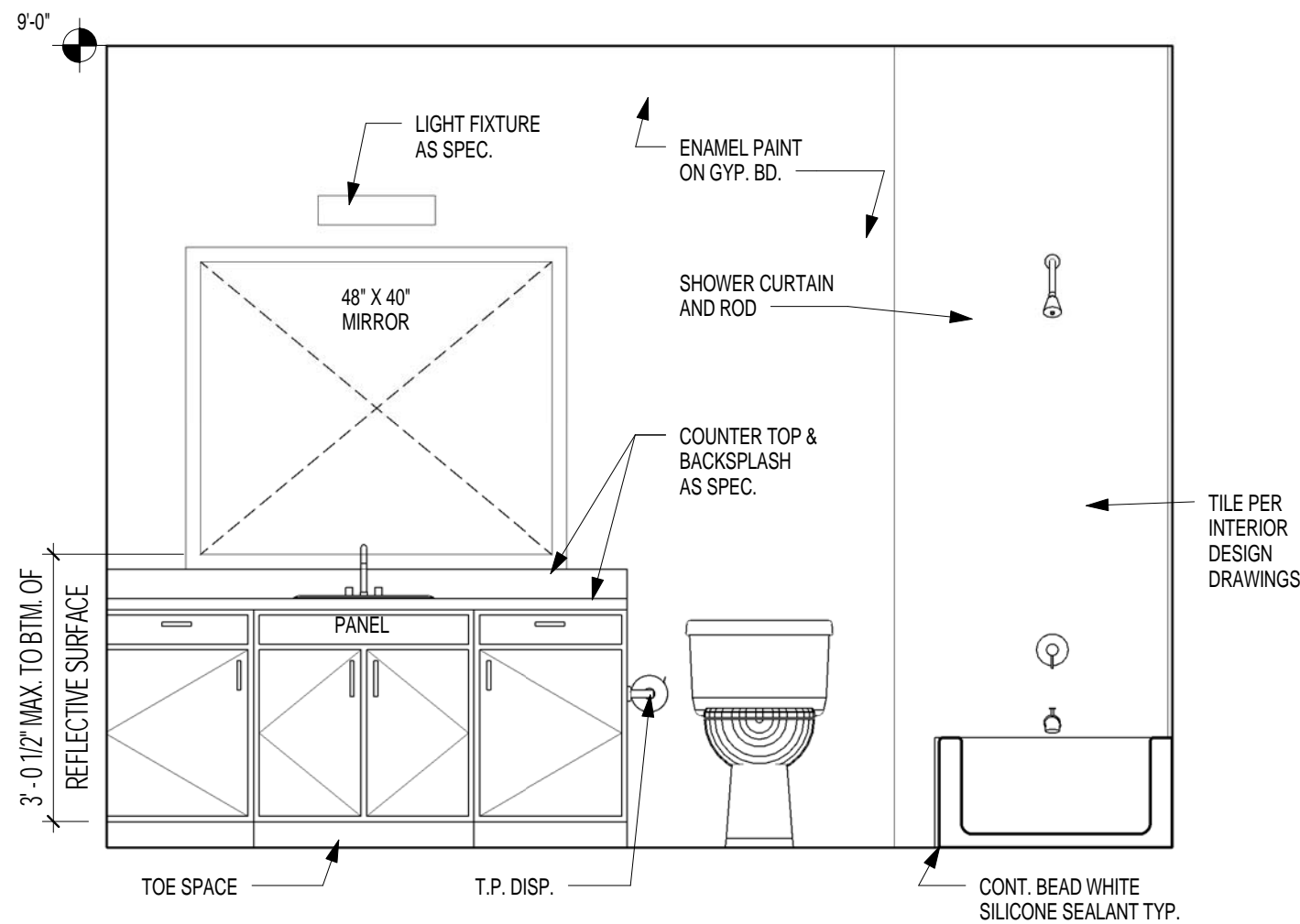
WXX
DENOTES CAB. TYPE
DENOTES CAB. WIDTH IN INCHES

NOTE: G.C. TO SUBMIT BASE CAB. HEIGHT. IF SELF-RIMMING SINK IS USED, G.C. TO ENSURE THAT T.O. SINK DOES NOT EXCEED 36" A.F.F. AT TYPICAL UNITS AND 34" A.F.F. AT HANDICAP UNITS.

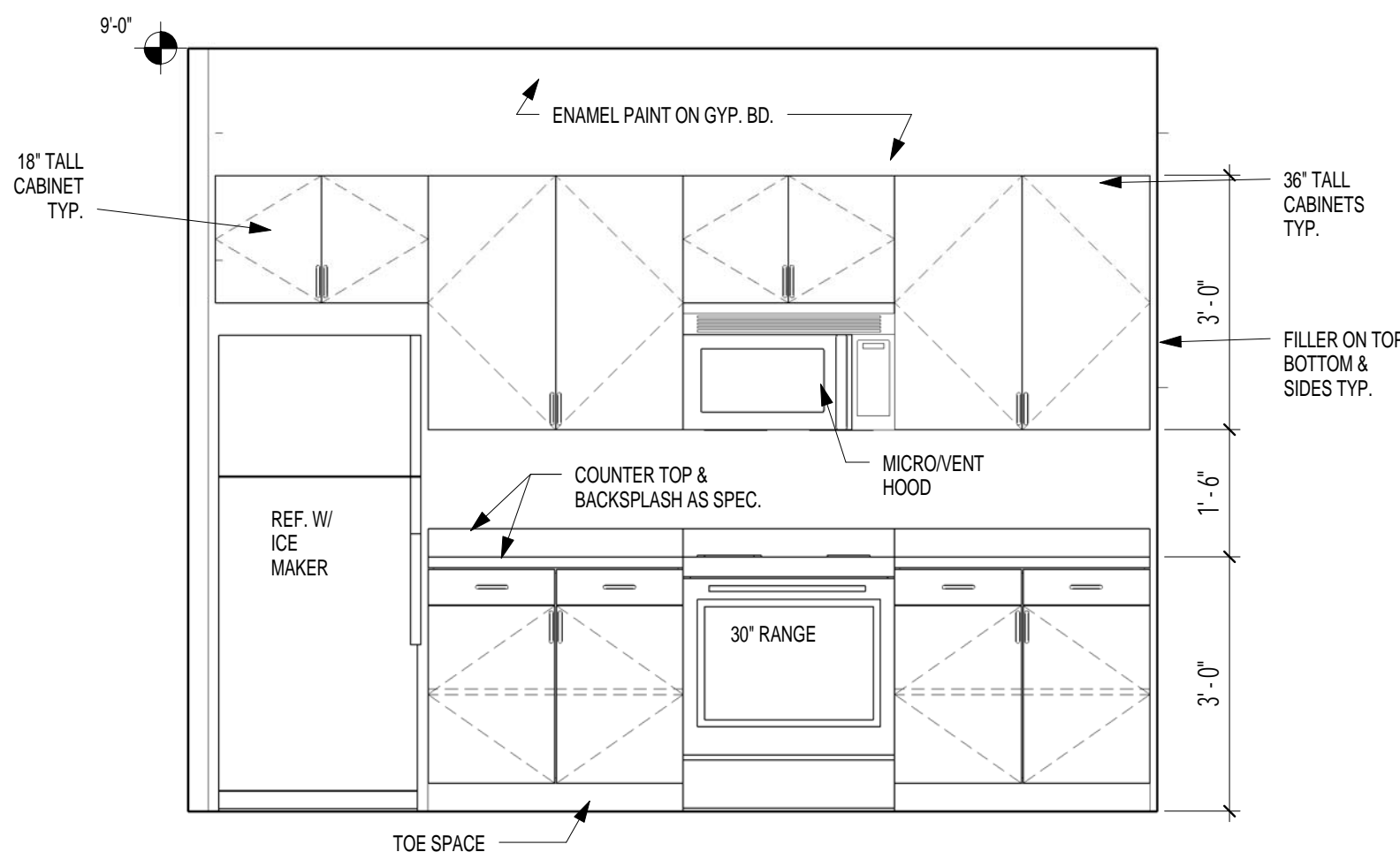
09 B3 - BATH 2
1/2" = 1'-0"



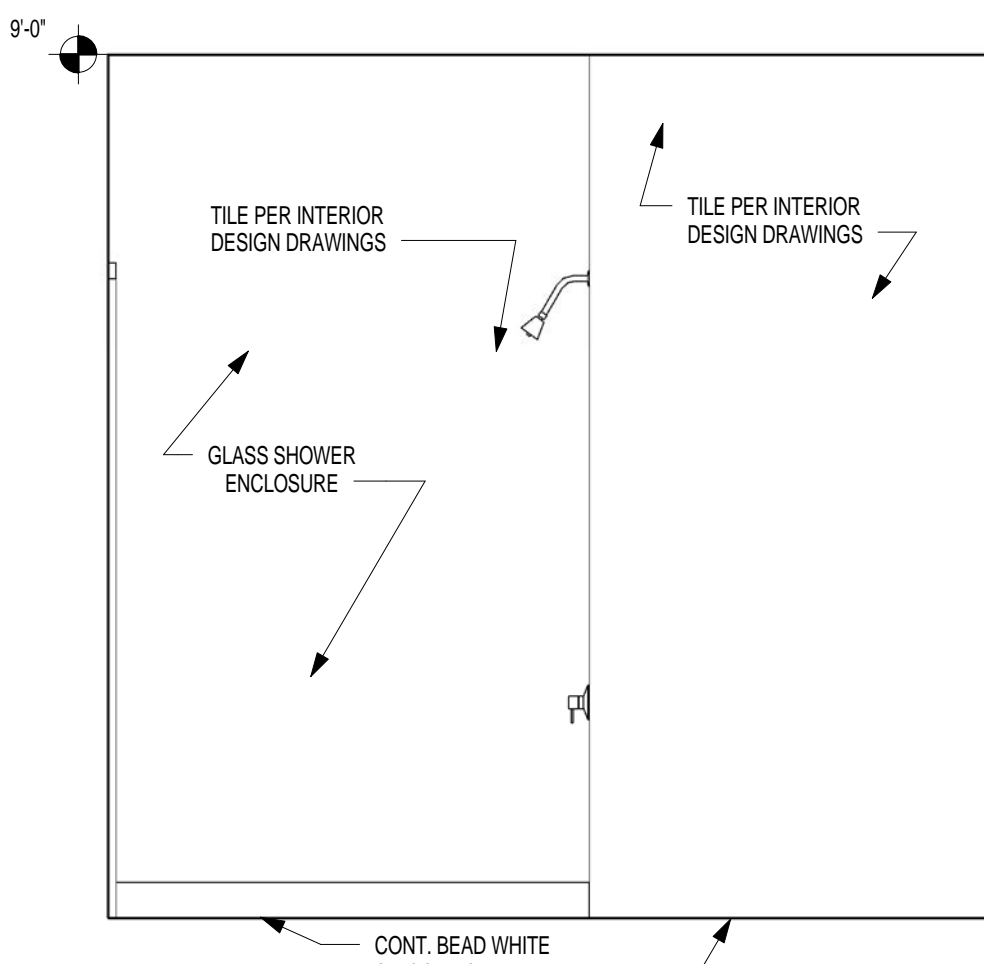
08 B3 - BATH 2
1/2" = 1'-0"



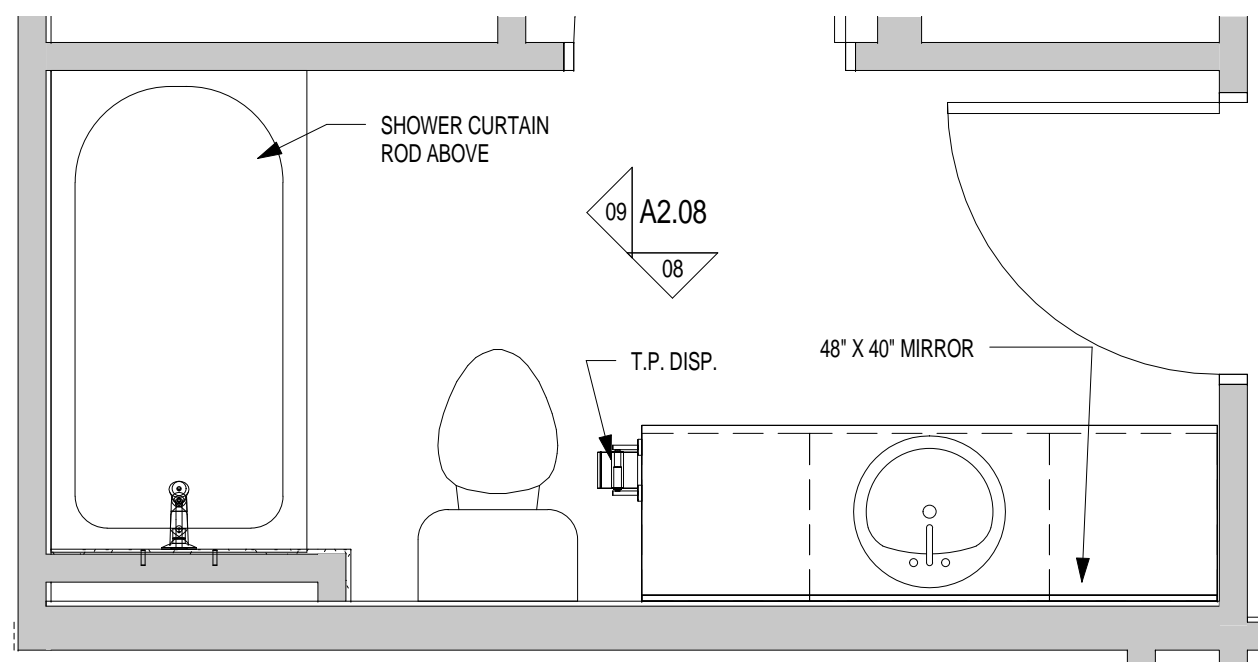
05 B3 - KITCHEN
1/2" = 1'-0"



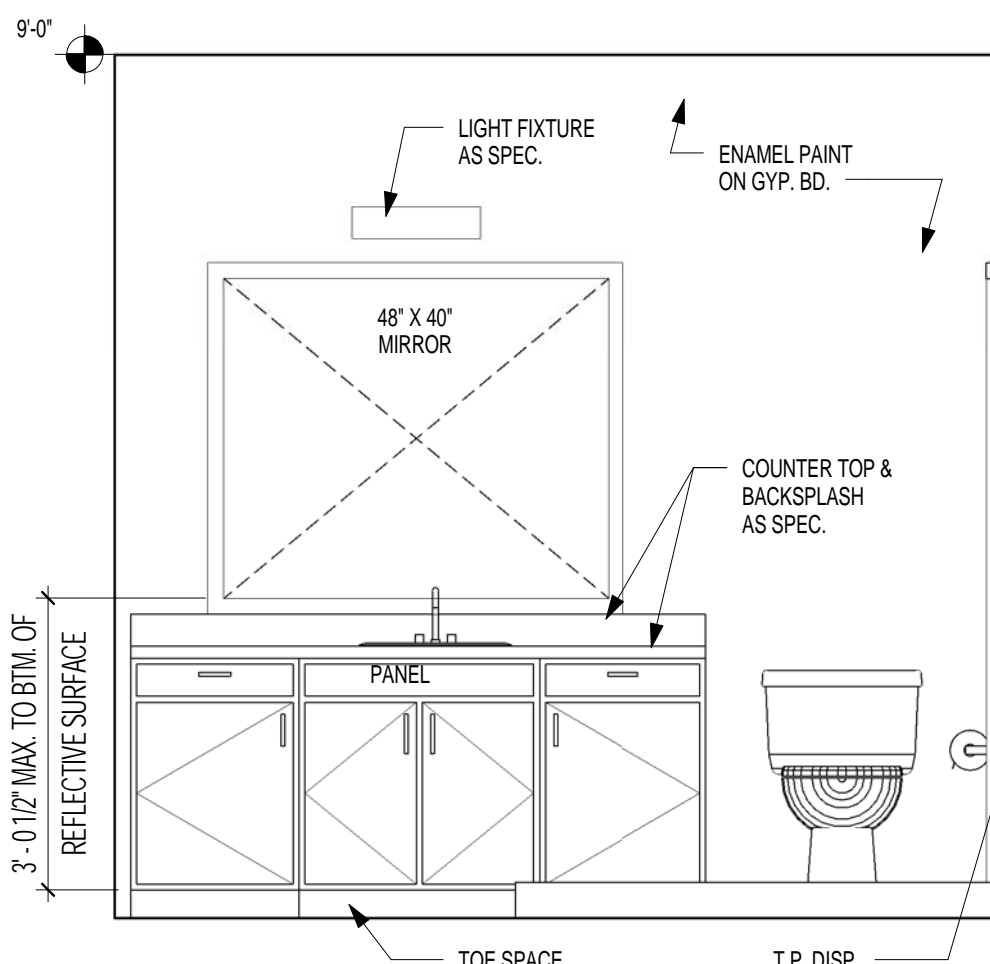
06 B3 - BATH 1
1/2" = 1'-0"



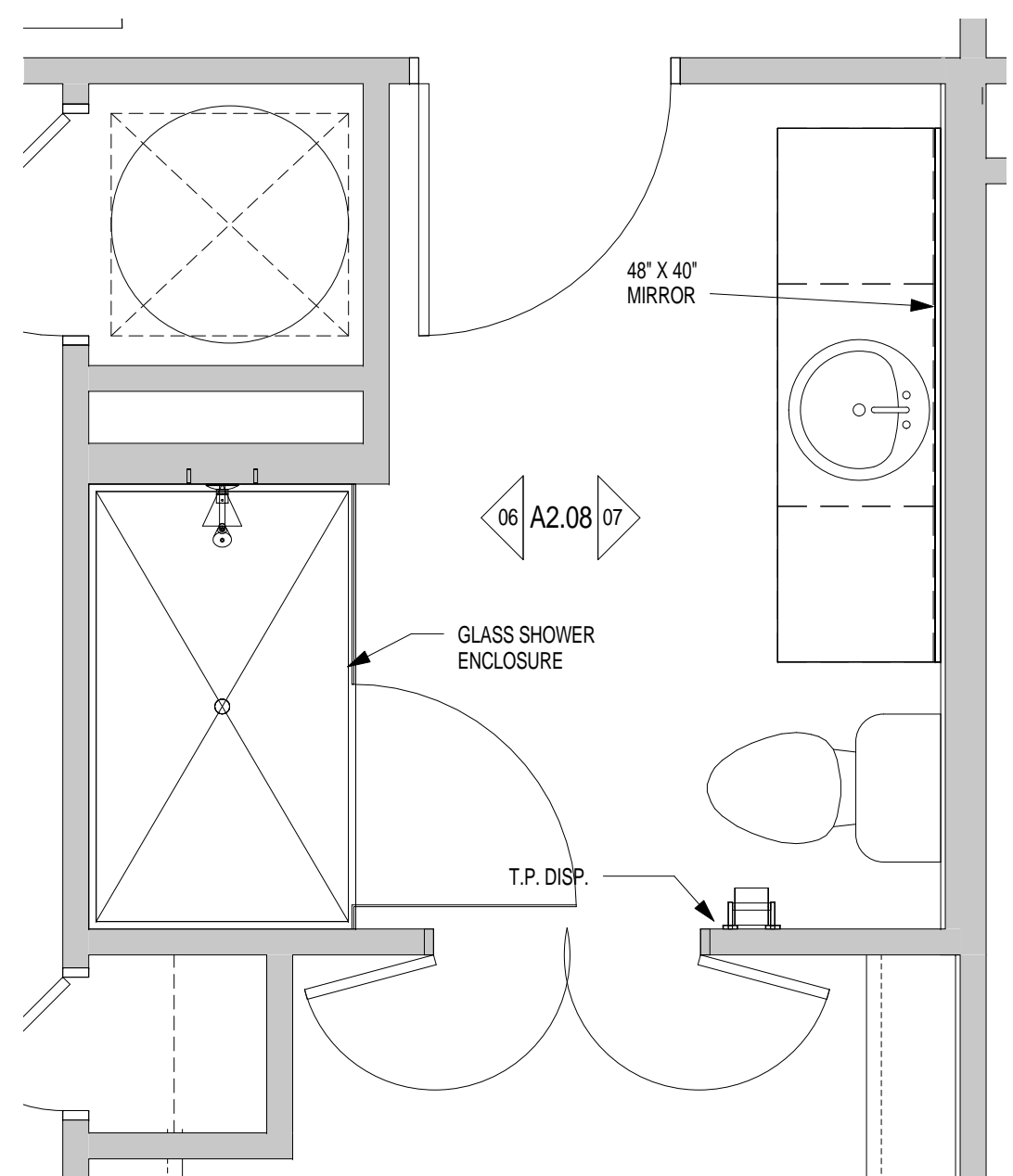
04 B3 - ENLARGED BATH 2 PLAN
1/2" = 1'-0"



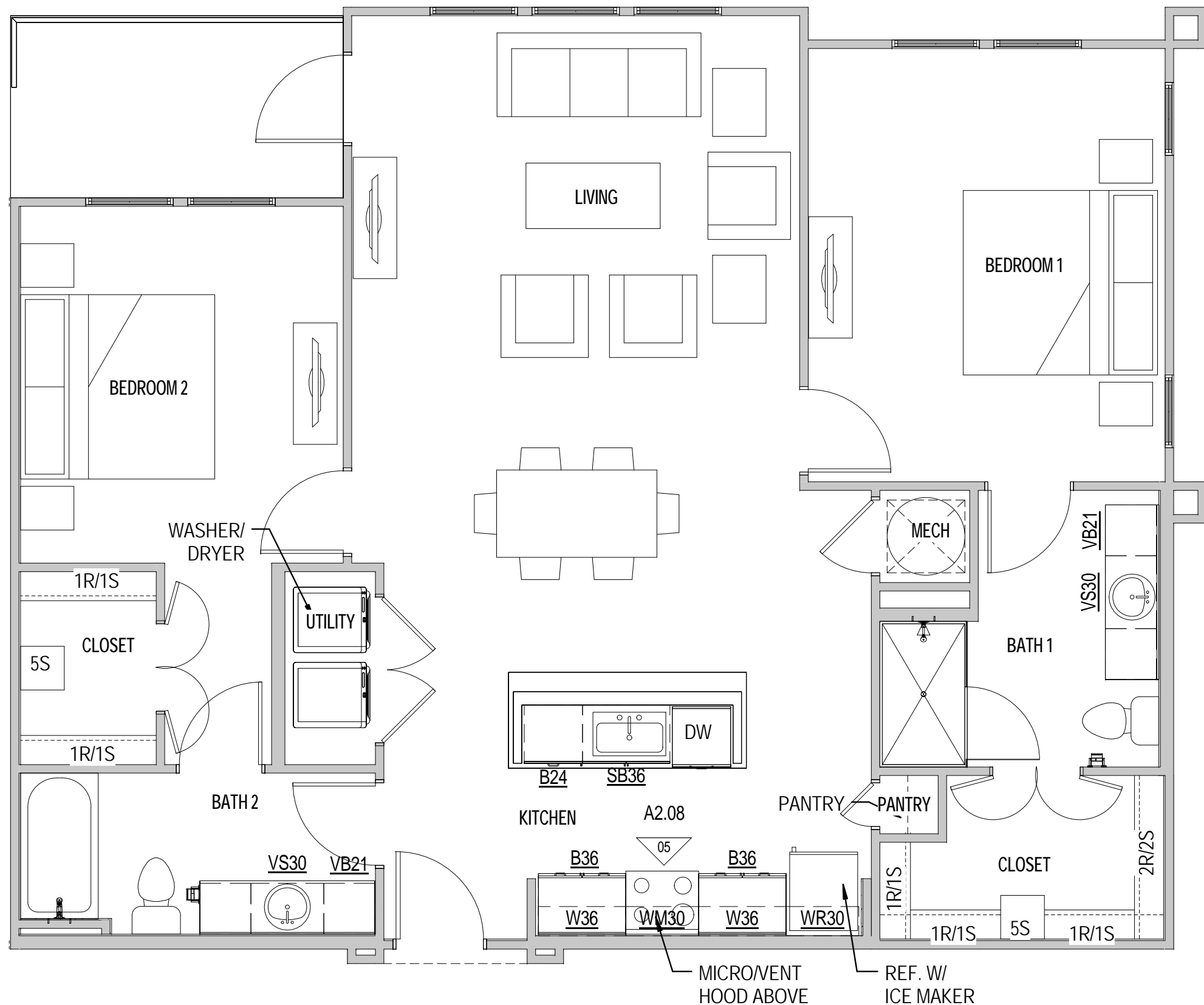
07 B3 - BATH 1
1/2" = 1'-0"



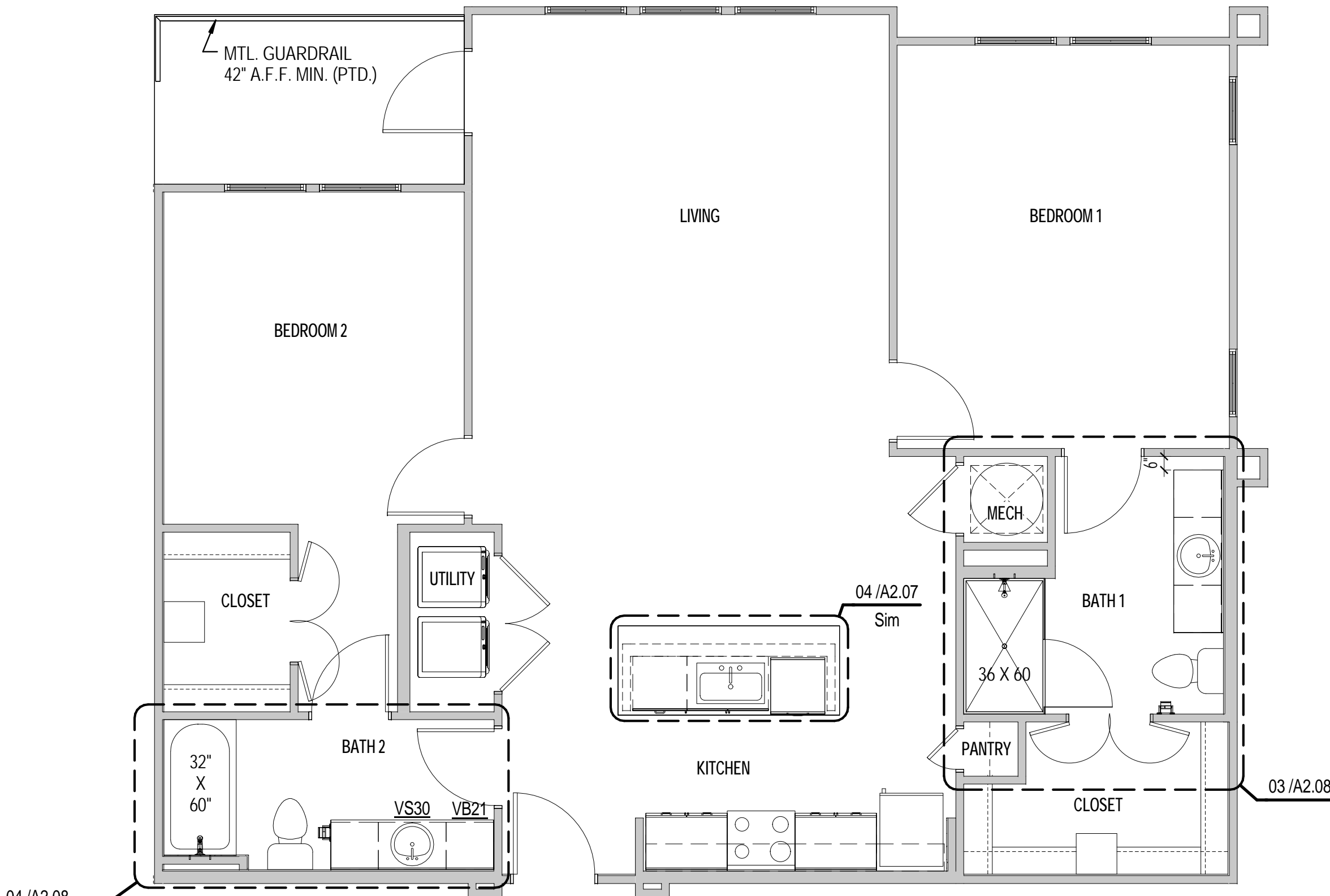
03 B3 - ENLARGED BATH 1 PLAN
1/2" = 1'-0"



02 B3 - FURNITURE PLAN
1/4" = 1'-0"



01 B3 - UNIT PLAN
1/4" = 1'-0"



BLDG. TYPE I: 2 UNITS
BLDG. TYPE II: 4 UNITS
BLDG. TYPE III: 2 UNITS

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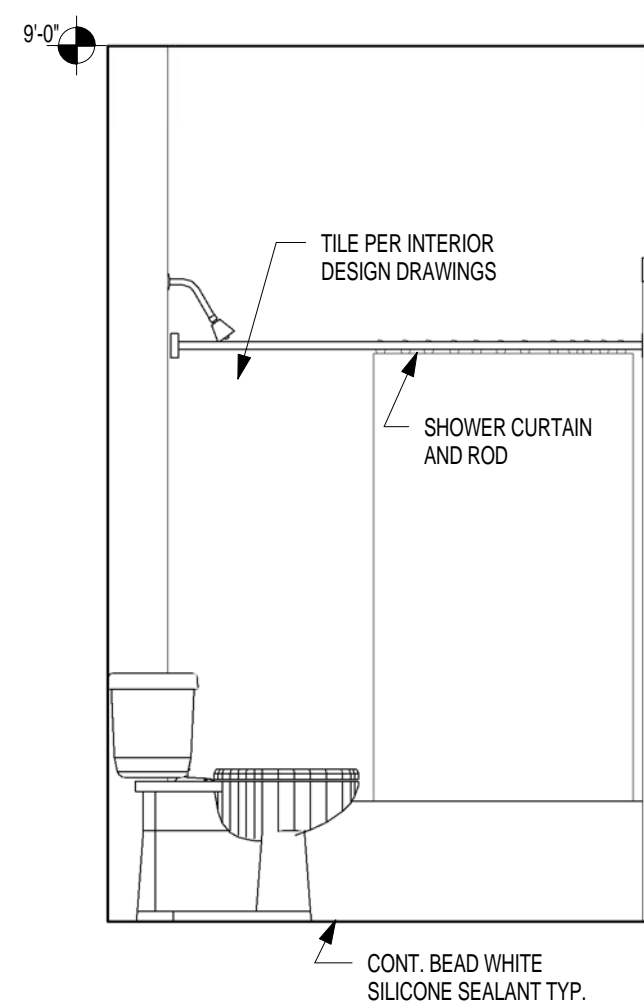
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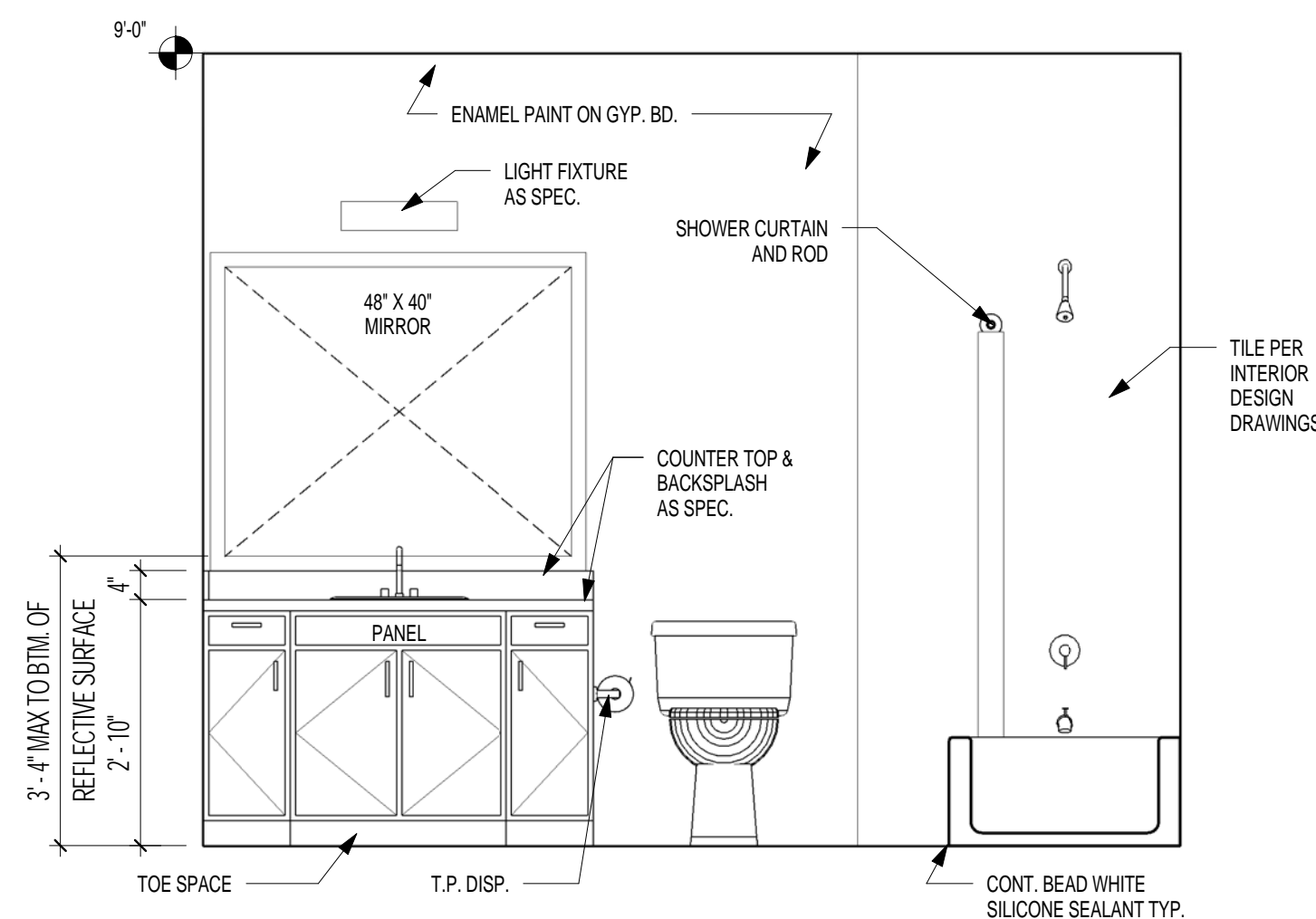
B4 - UNIT ELEVATIONS

Drawing No.

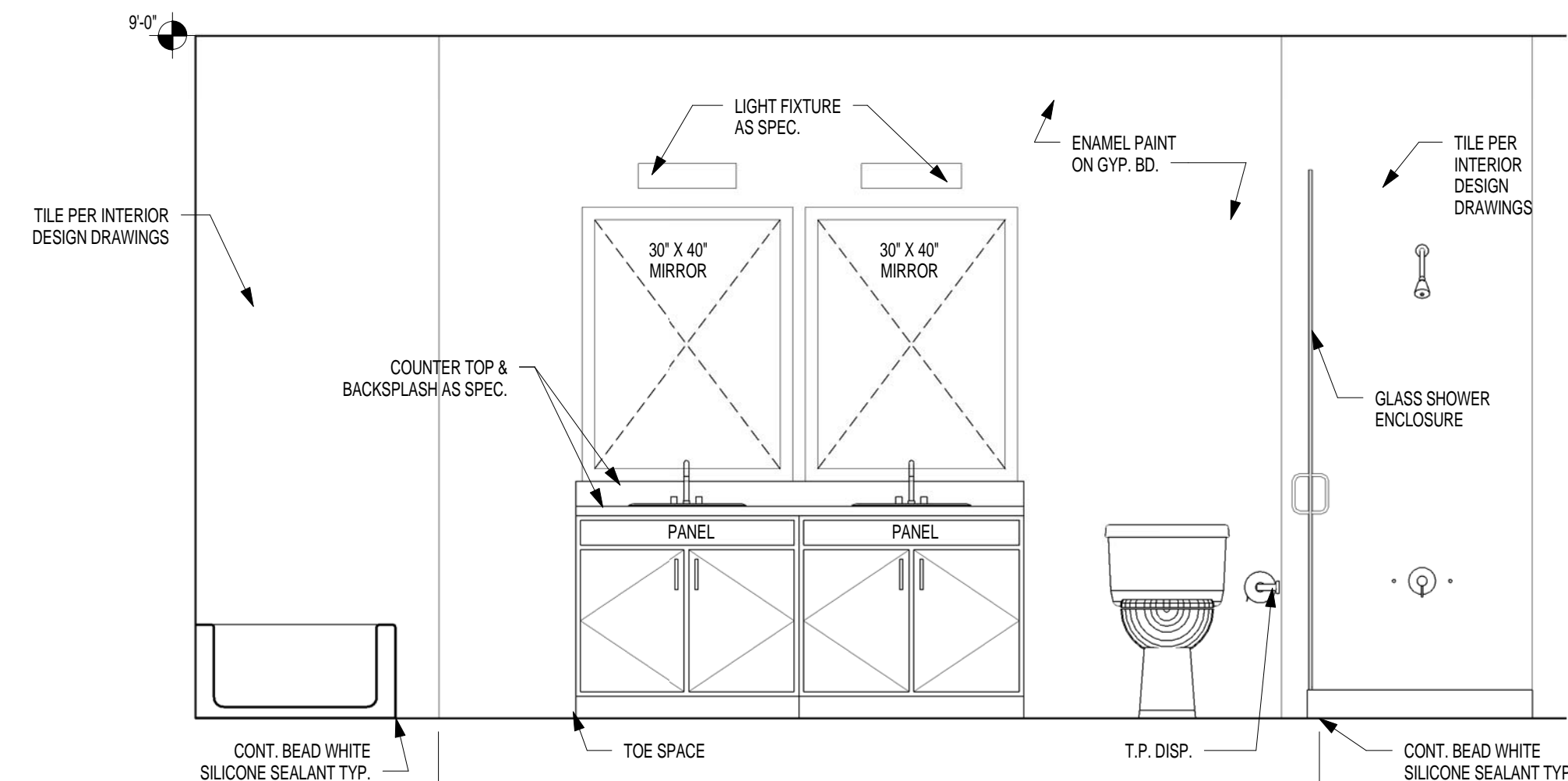
A2.09a



03 B4 - BATH 2
1/2" = 1'-0"



02 B4 - BATH 2
1/2" = 1'-0"



01 B4 - BATH 1
1/2" = 1'-0"

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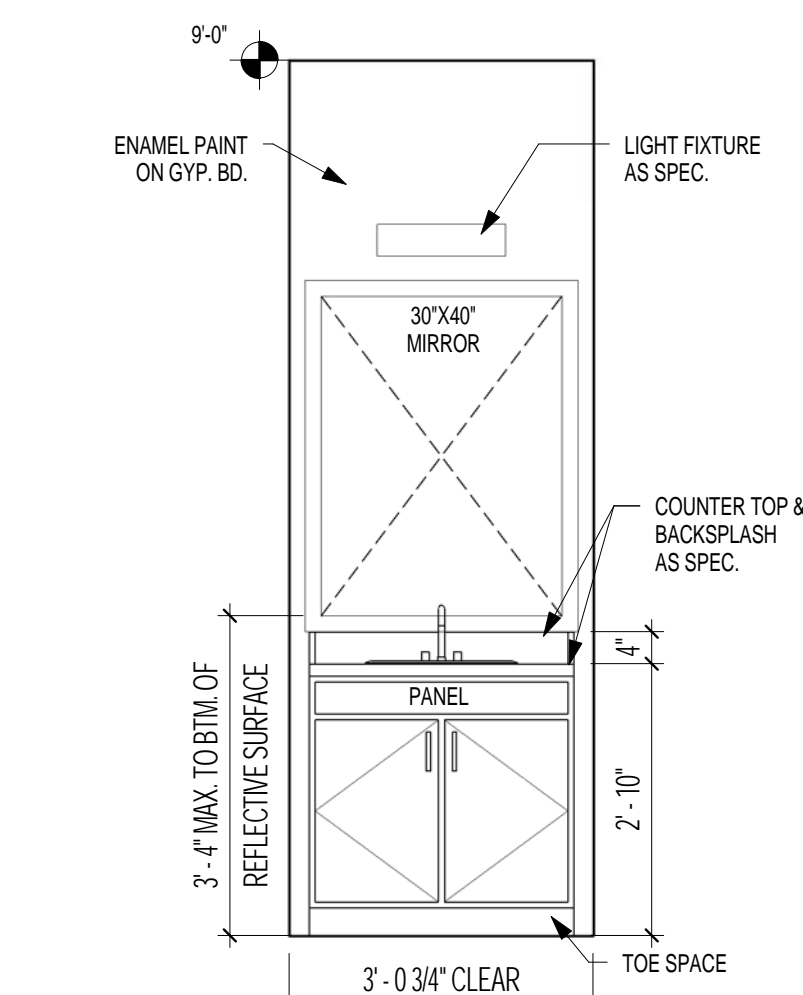
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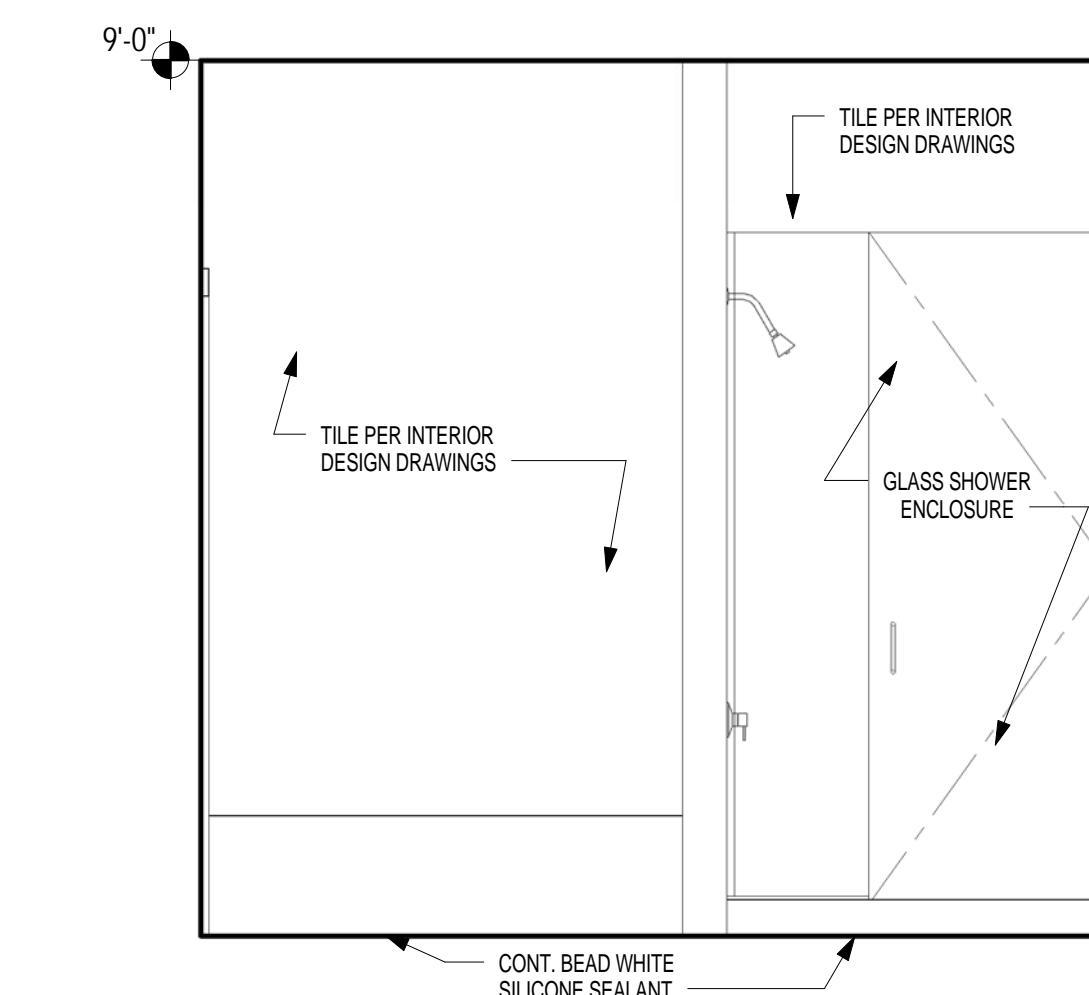
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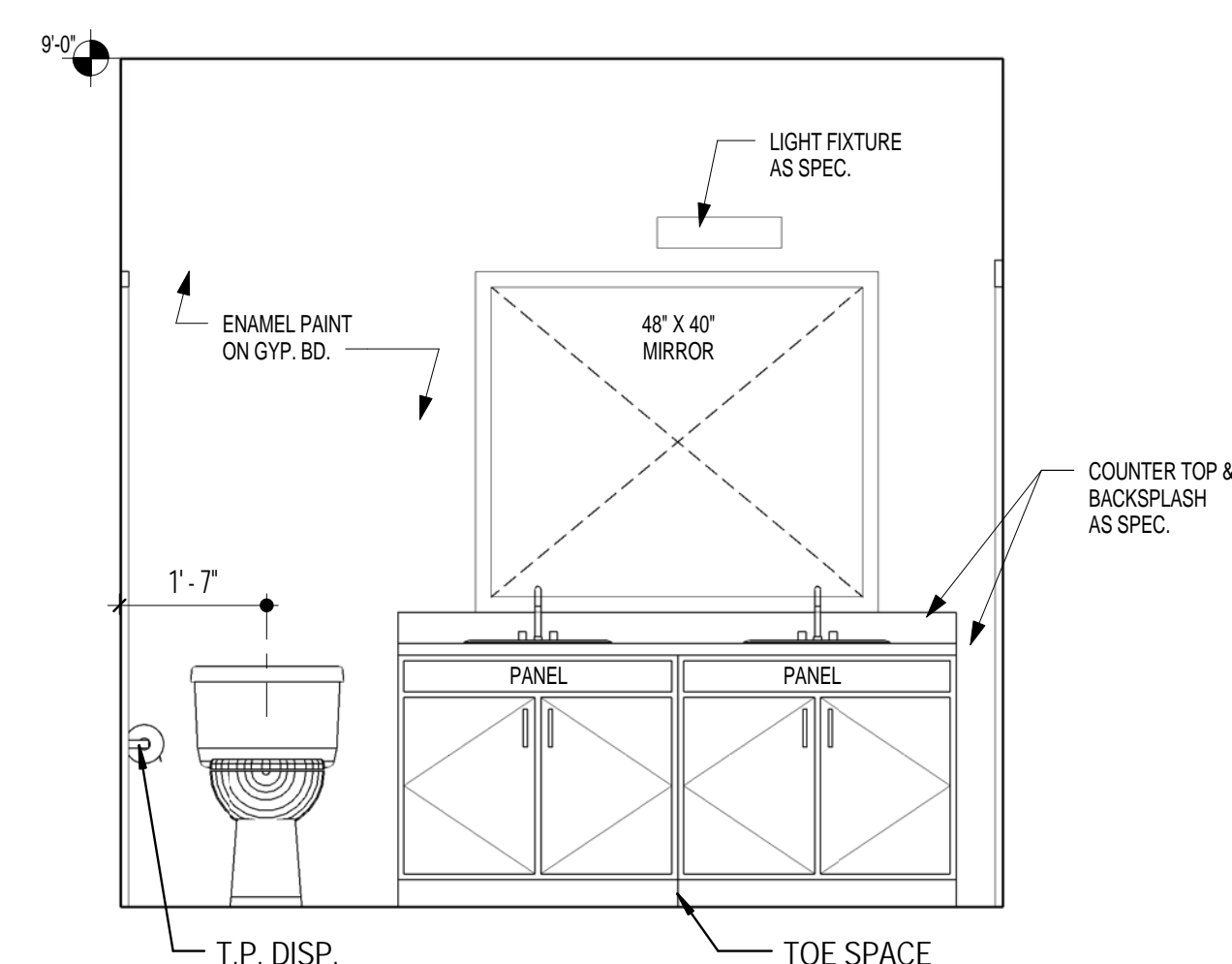
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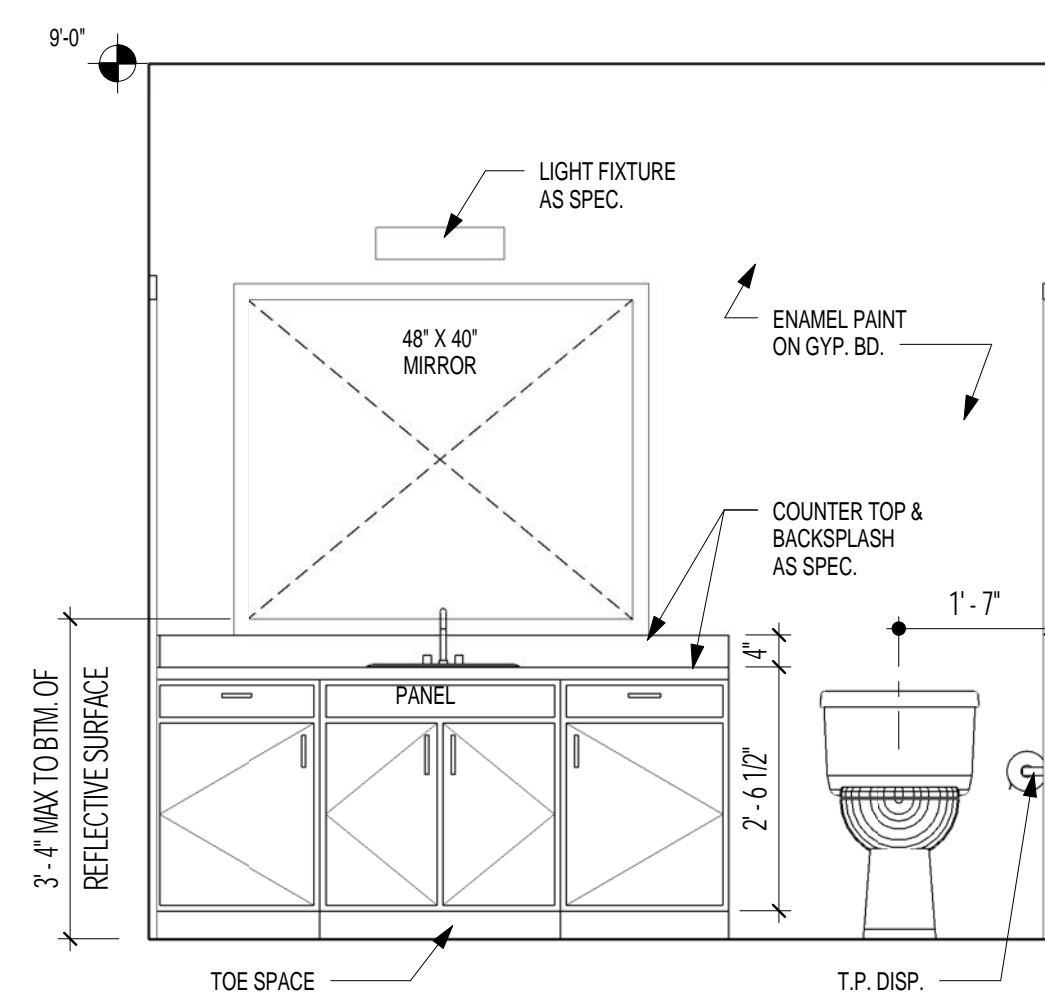
07 B5 - POWDER ROOM
1/2" = 1'-0"



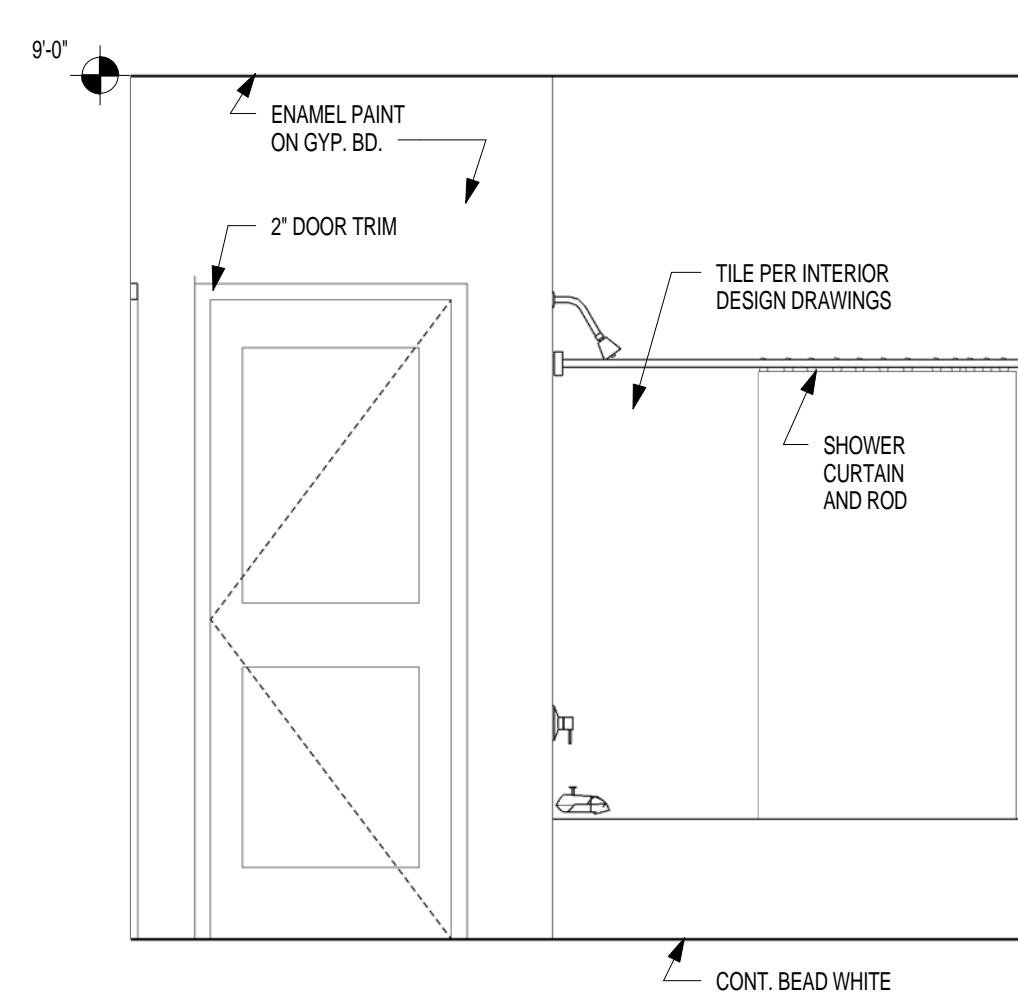
06 B5 - BATH 2
1/2" = 1'-0"



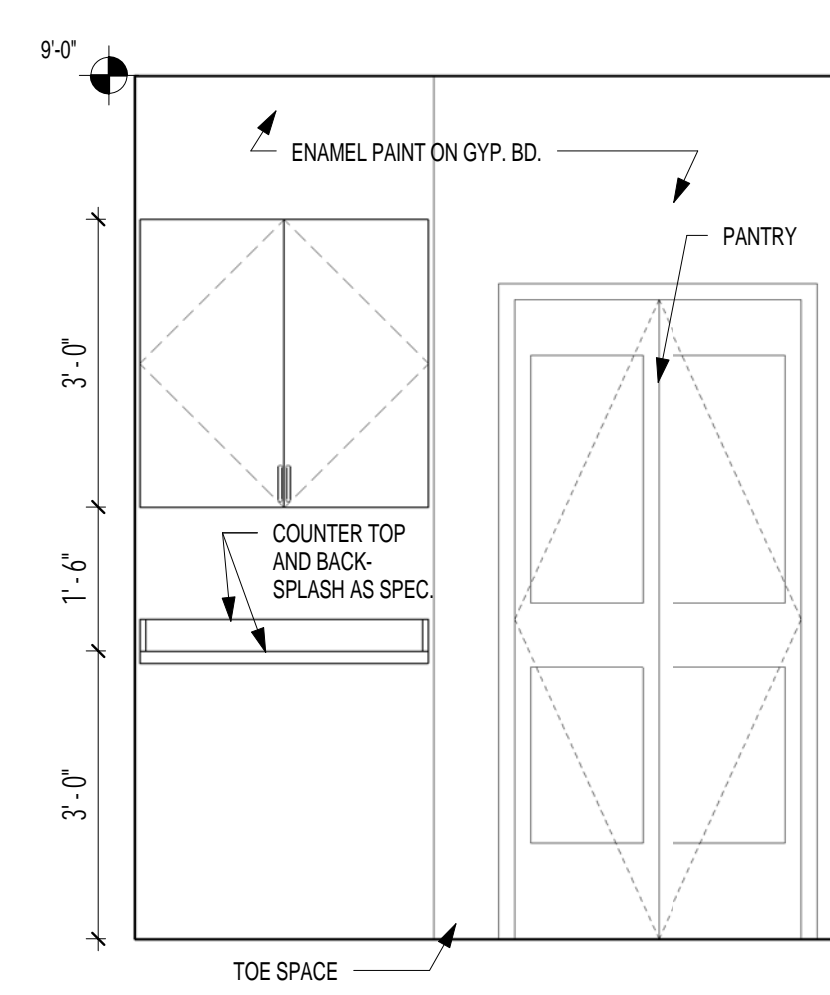
05 B5 - BATH 2
1/2" = 1'-0"



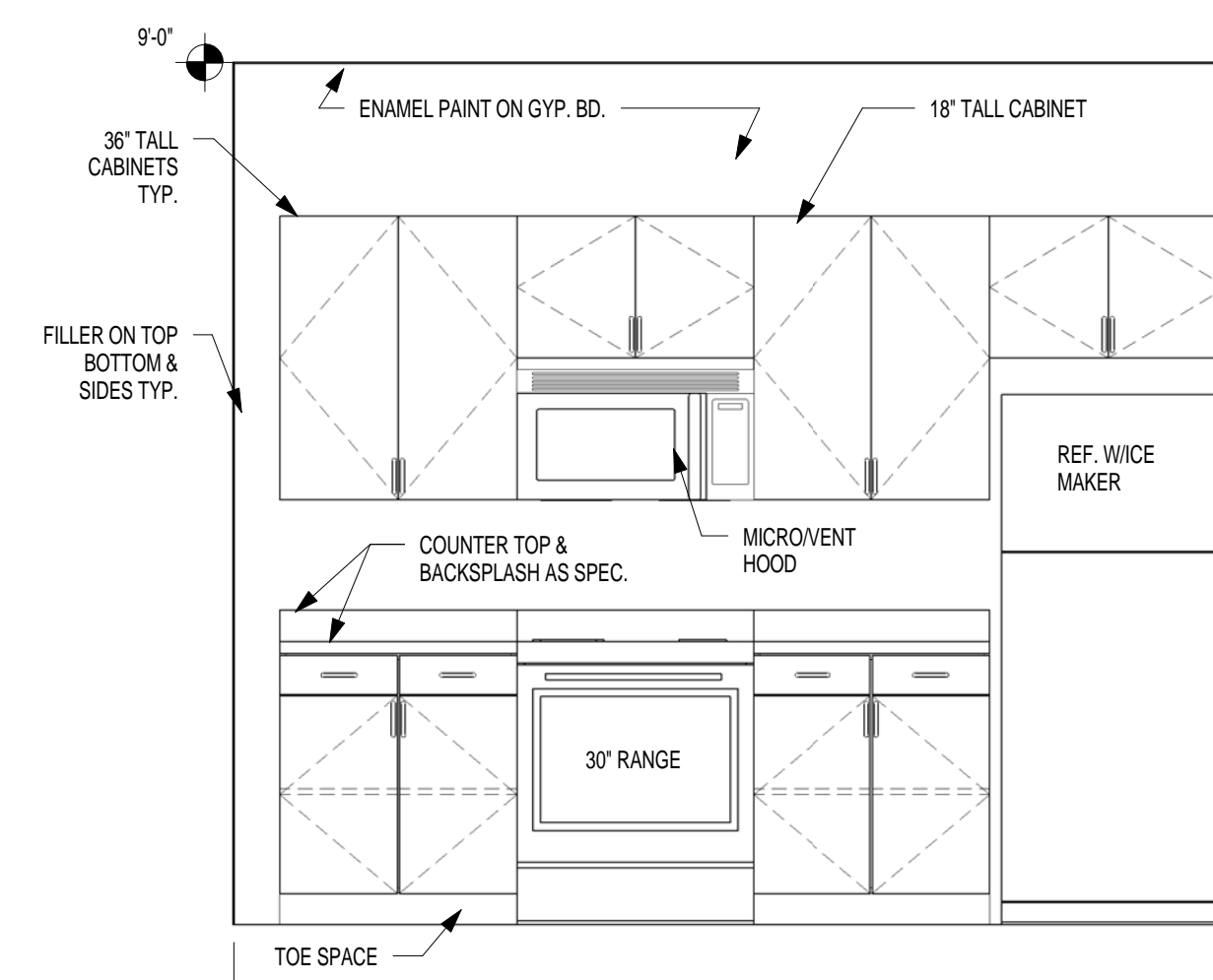
04 B5 - BATH 1
1/2" = 1'-0"



03 B5 - BATH 1
1/2" = 1'-0"



02 B5 - KITCHEN
1/2" = 1'-0"



01 B5 - KITCHEN
1/2" = 1'-0"

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B5 & B5a - UNIT ELEVATIONS

Drawing No.

A2.10a

A3.11





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Sheet Title:
BLDG TYPE I - ROOF PLAN

Drawing No.

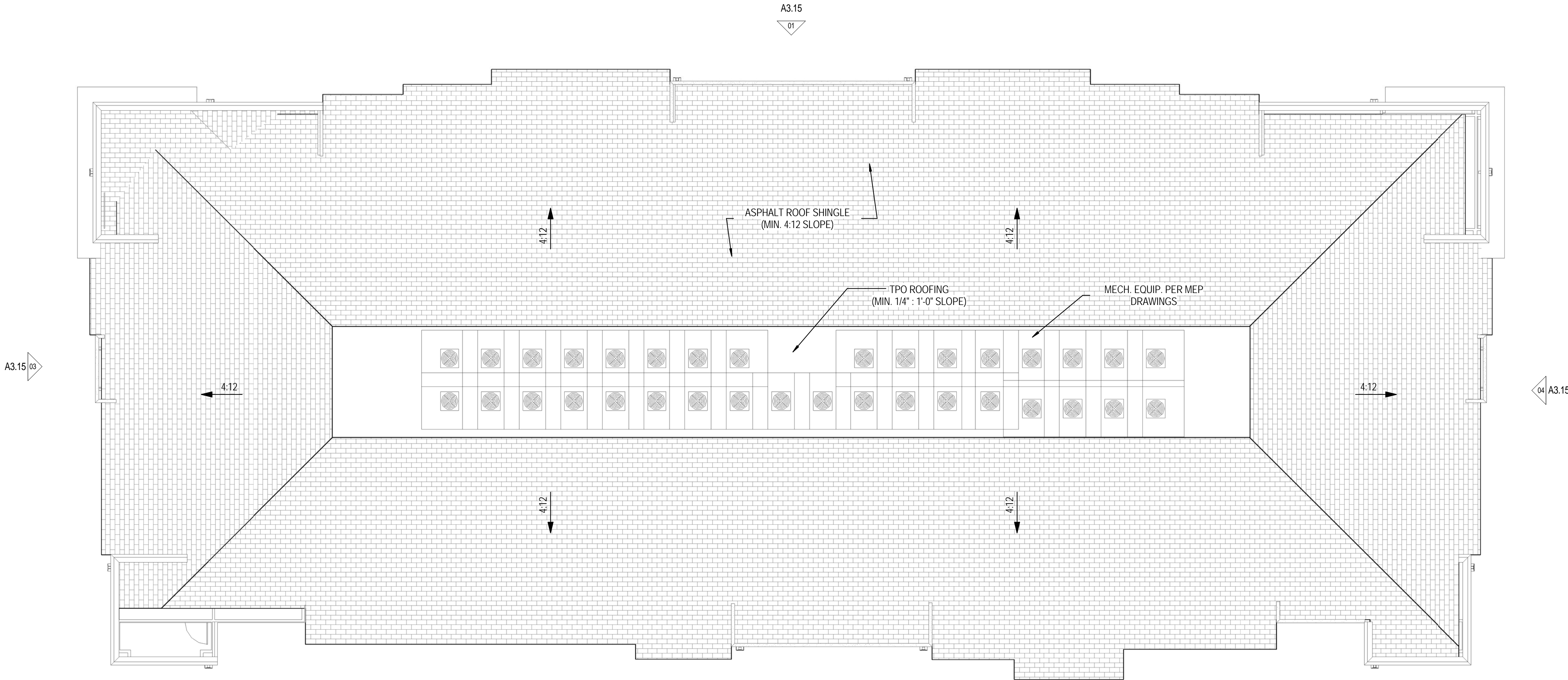
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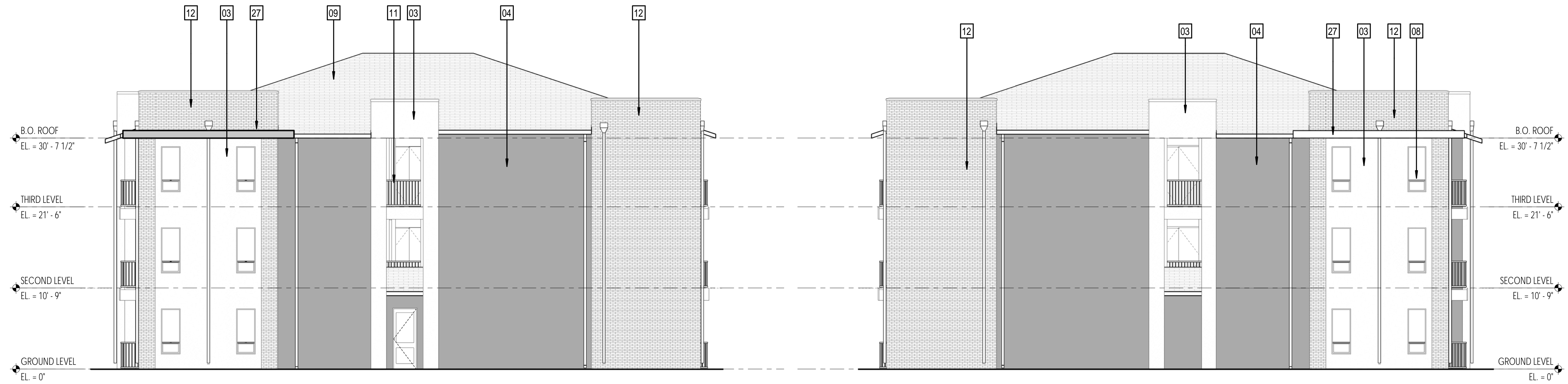
ROOF PLAN GENERAL NOTES

1. DOWNSPOUT REQUIRED EVERY 25'-0" OF GUTTER.
2. MIN. 3'-0"w X 5'-6"h MAINTENANCE ACCESS DOOR REQ'D @ MECH. WELLS.
3. ATTIC SPACES TO BE FULLY SPRINKLERED W/AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13R.
4. SLOPE AT ALL TPO ROOFS IS 1/4" PER 1'-0" U.N.O.
5. ALL PLUMBING VENT PIPES TO BE PAINTED TO MATCH ROOFING.

ROOF PLAN LEGEND

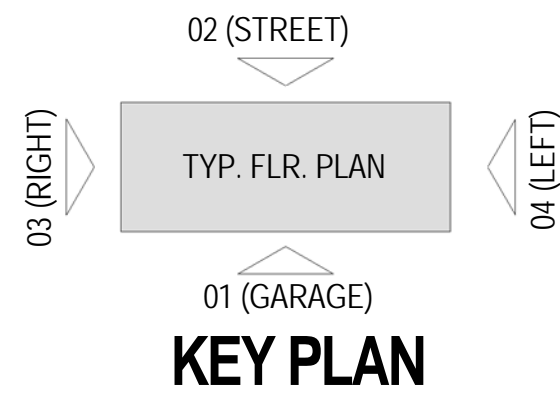
- DRAFTSTOPS
(MUST MEET REQ'T.
SET FORTH IN 2012 IBC
SECTION 718.4)
- SOFFIT VENT
- LINE OF BUILDING
BELOW
- LOW PROFILE ROOF
VENT (70 SQ. IN. NET
FREE AREA PER VENT)
- RIDGE VENT (18 SQ. IN.
NET FREE AREA PER
LINEAR FT.)
- 4" X 6" PRE-FINISHED
METAL DOWNSPOUT





03 BUILDING TYPE I - EXTERIOR ELEVATION (RIGHT)
1/8" = 1'-0"

04 BUILDING TYPE I - EXT. ELEVATION (LEFT)
1/8" = 1'-0"



KEY PLAN

KEYNOTE LEGEND	
#	EXTERIOR MATERIAL
03	STUCCO FINISH 'A'
04	STUCCO FINISH 'B'
05	SMOOTH STUCCO FINISH 'C'
08	ALUM. WINDOW PER PLAN W/CLEAR ANODIZED FINISH
09	ASPHALT COMPOSITION ROOFING (REF. ROOF PLAN FOR SLOPE)
11	METAL GUARDRAIL (PTD.) - MIN. 42" A.F.F.
12	MODULAR BRICK
16	GARAGE DOOR PER PLAN (PTD. FINISH 'A')
17	SWING DOOR PER PLAN
27	CANOPY W/STUCCO FINISH @ FASCIA



01 BUILDING TYPE I - EXTERIOR ELEVATION (FRONT/STREET)
1/8" = 1'-0"



02 BUILDING TYPE I - EXTERIOR ELEVATION (BACK/GARAGE)
1/8" = 1'-0"

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BUILDING TYPE I - EXTERIOR
ELEVATIONS

Drawing No.

A3.15

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BLDG. TYPE II - 2ND LEVEL
FLOOR PLAN

Drawing No.

A3.22



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BLDG. TYPE II - 3RD LEVEL
FLOOR PLAN

Drawing No.

A3.23



01 **BUILDING TYPE II - THIRD LEVEL FLOOR PLAN**
1/8" = 1'-0"

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Sheet Title

BLDG TYPE II - ROOF PLAN

Drawing No.

A3.24

1. DOWNSPOUT REQUIRED EVERY 25'-0" OF GUTTER.
2. MIN. 3'-0" W X 5'-6" H MAINTENANCE ACCESS DOOR REQ'D @ MECH. WELLS.
3. ATTIC SPACES TO BE FULLY SPRINKLERED W/AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13R.
4. SLOPE AT ALL TPO ROOFS IS 1/4" PER 1'-0" W.U.N.O.
5. ALL PLUMBING VENT PIPES TO BE PAINTED TO MATCH ROOFING.

DRAFTSTOPS
(MUST MEET REQ'T.
SET FORTH IN 2012 IBC
SECTION 718.4)

SOFFIT VENT

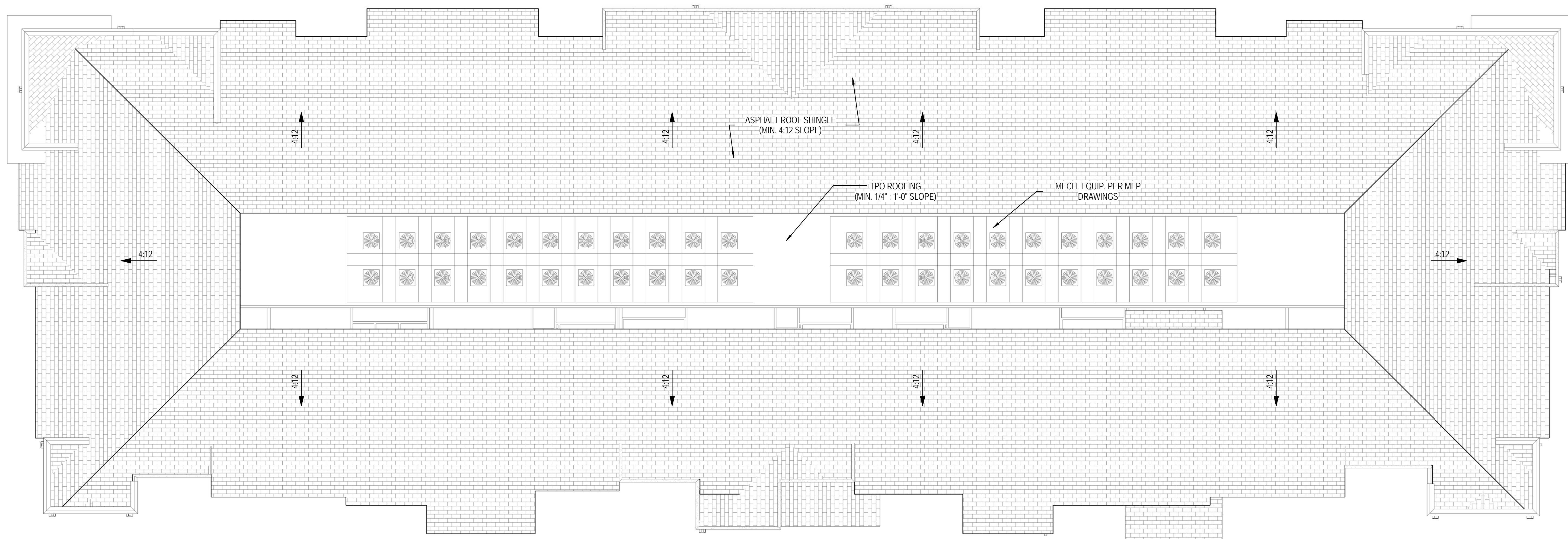
LINE OF BUILDING
BELOW

LOW PROFILE ROOF
VENT (70 SQ. IN. NET
FREE AREA PER VENT)

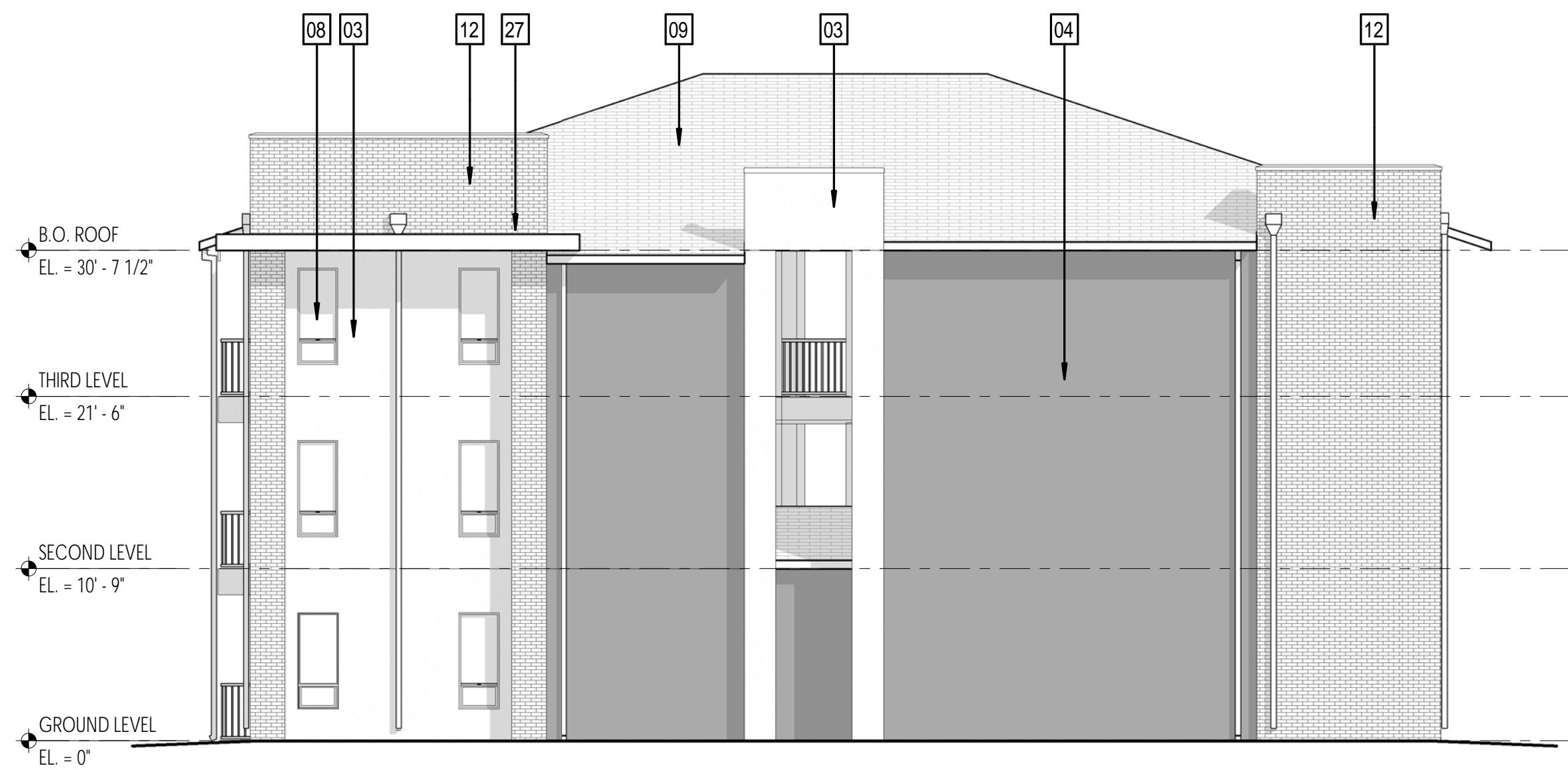
RIDGE VENT (18 SQ. IN.
NET FREE AREA PER
LINEAR FT.)

4" X 6" PRE-FINISHED
METAL DOWNSPOUT

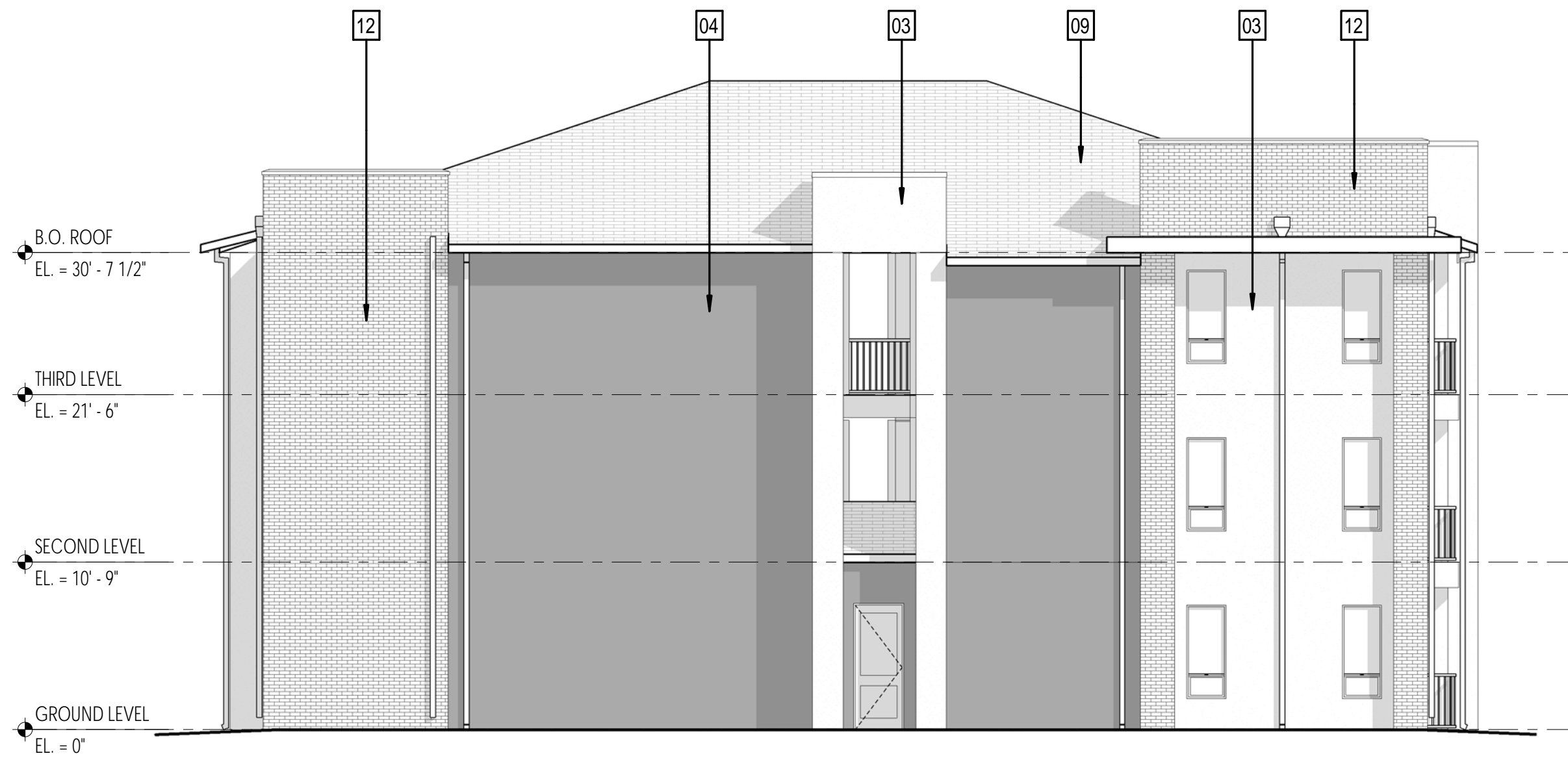
The diagram illustrates various roof and wall details. At the top, a horizontal line represents the roof surface, with a dashed line below it labeled 'DRAFTSTOPS (MUST MEET REQ'T. SET FORTH IN 2012 IBC SECTION 718.4)'. Below this is a horizontal line labeled 'SOFFIT VENT'. Further down is a horizontal line labeled 'LINE OF BUILDING BELOW'. Below that is a horizontal line labeled 'LOW PROFILE ROOF VENT (70 SQ. IN. NET FREE AREA PER VENT)'. Below that is a horizontal line labeled 'RIDGE VENT (18 SQ. IN. NET FREE AREA PER LINEAR FT.)'. At the bottom, a vertical line represents the wall, with a horizontal line labeled '4" X 6" PRE-FINISHED METAL DOWNSPOUT'. A small square symbol is shown on the wall, with a line pointing to it labeled 'DS'.



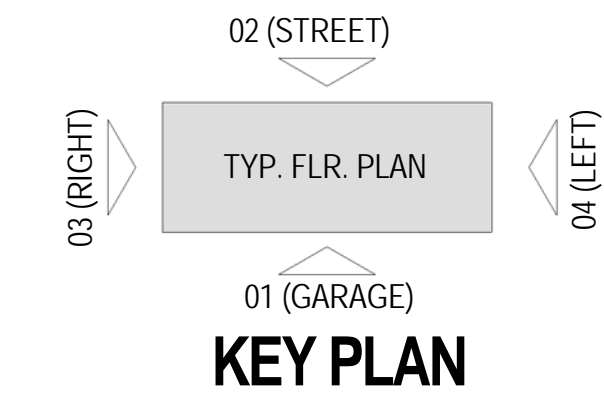
01 **BUILDING TYPE II - ROOF PLAN**
1/8" = 1'-0"



03 BUILDING TYPE II - EXTERIOR ELEVATION (RIGHT)
1/8" = 1'-0"



04 BUILDING TYPE II - EXTERIOR ELEVATION (LEFT)
1/8" = 1'-0"



KEYNOTE LEGEND	
#	EXTERIOR MATERIAL
03	STUCCO FINISH 'A'
04	STUCCO FINISH 'B'
05	SMOOTH STUCCO FINISH 'C'
08	ALUM. WINDOW PER PLAN W/CLEAR ANODIZED FINISH
09	ASPHALT COMPOSITION ROOFING (REF. ROOF PLAN FOR SLOPE)
11	METAL GUARDRAIL (PTD.) - MIN. 42" A.F.F.
12	MODULAR BRICK
16	GARAGE DOOR PER PLAN (PTD. FINISH 'A')
17	SWING DOOR PER PLAN
27	CANOPY W/STUCCO FINISH @ FASCIA



02 BUILDING TYPE II - EXTERIOR ELEVATION (FRONT/STREET)
1/8" = 1'-0"



01 BUILDING TYPE II - EXTERIOR ELEVATION (BACK/GARAGE)
1/8" = 1'-0"

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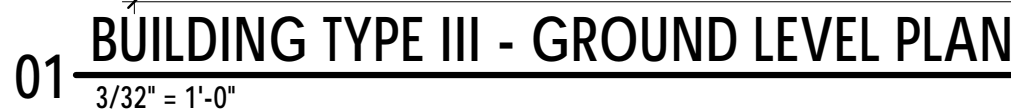
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BUILDING TYPE II - EXTERIOR ELEVATIONS

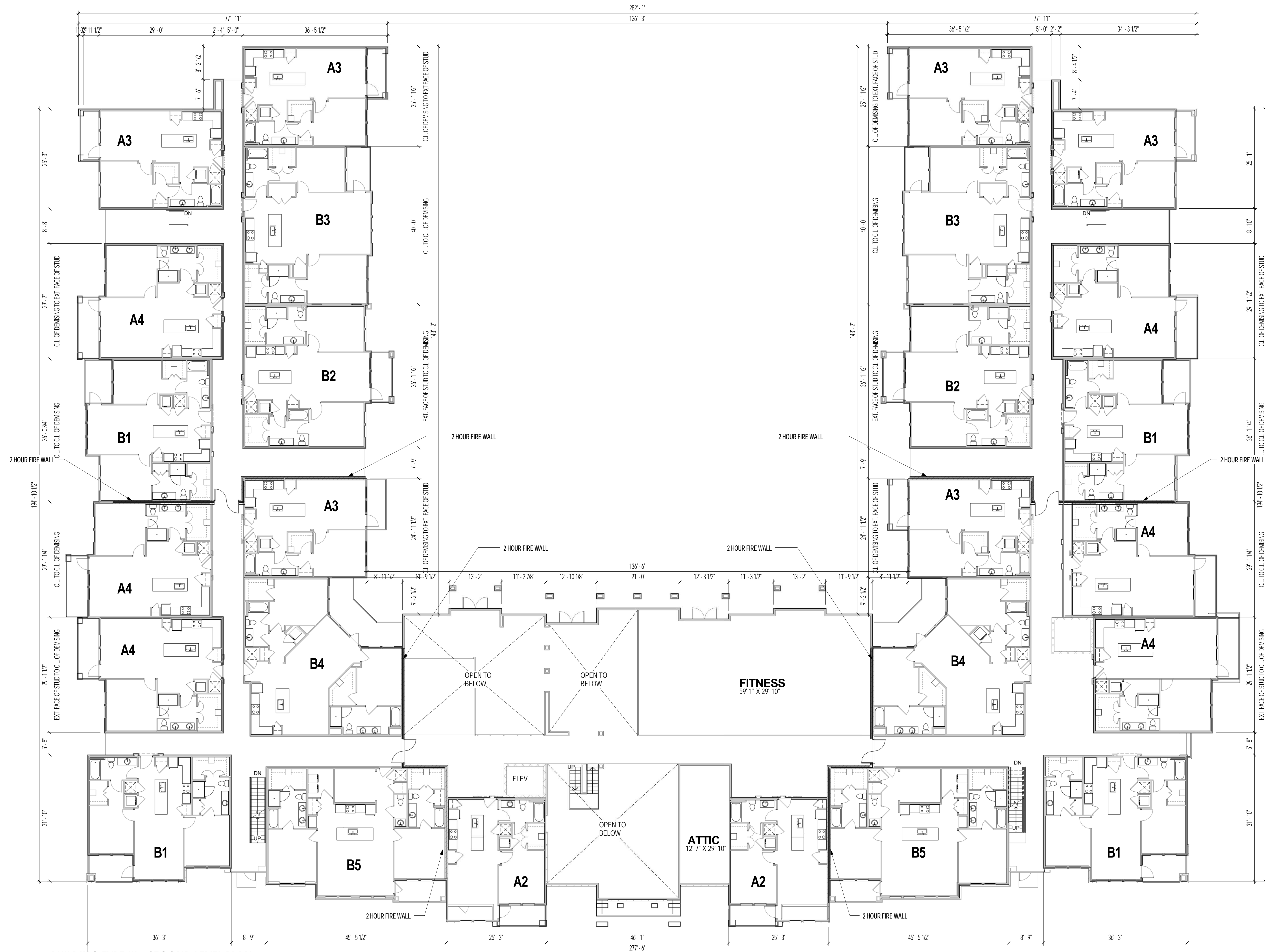
Drawing No.

A3.25



Drawing N

A3.31



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Sheet Title:
BLDG. TYPE III - OVERALL
2ND LEVEL PLAN
Drawing No.

A3.33

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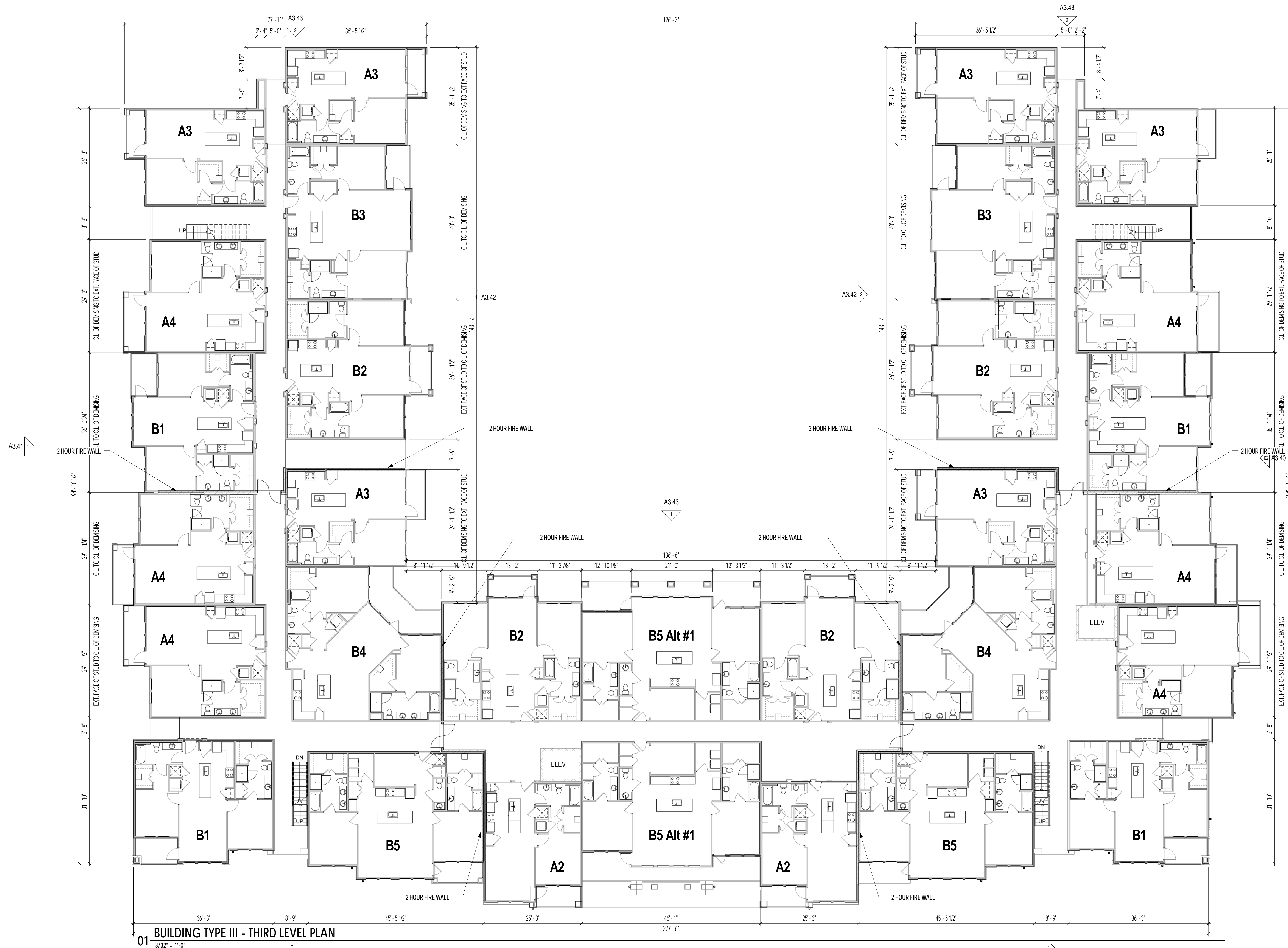
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2310

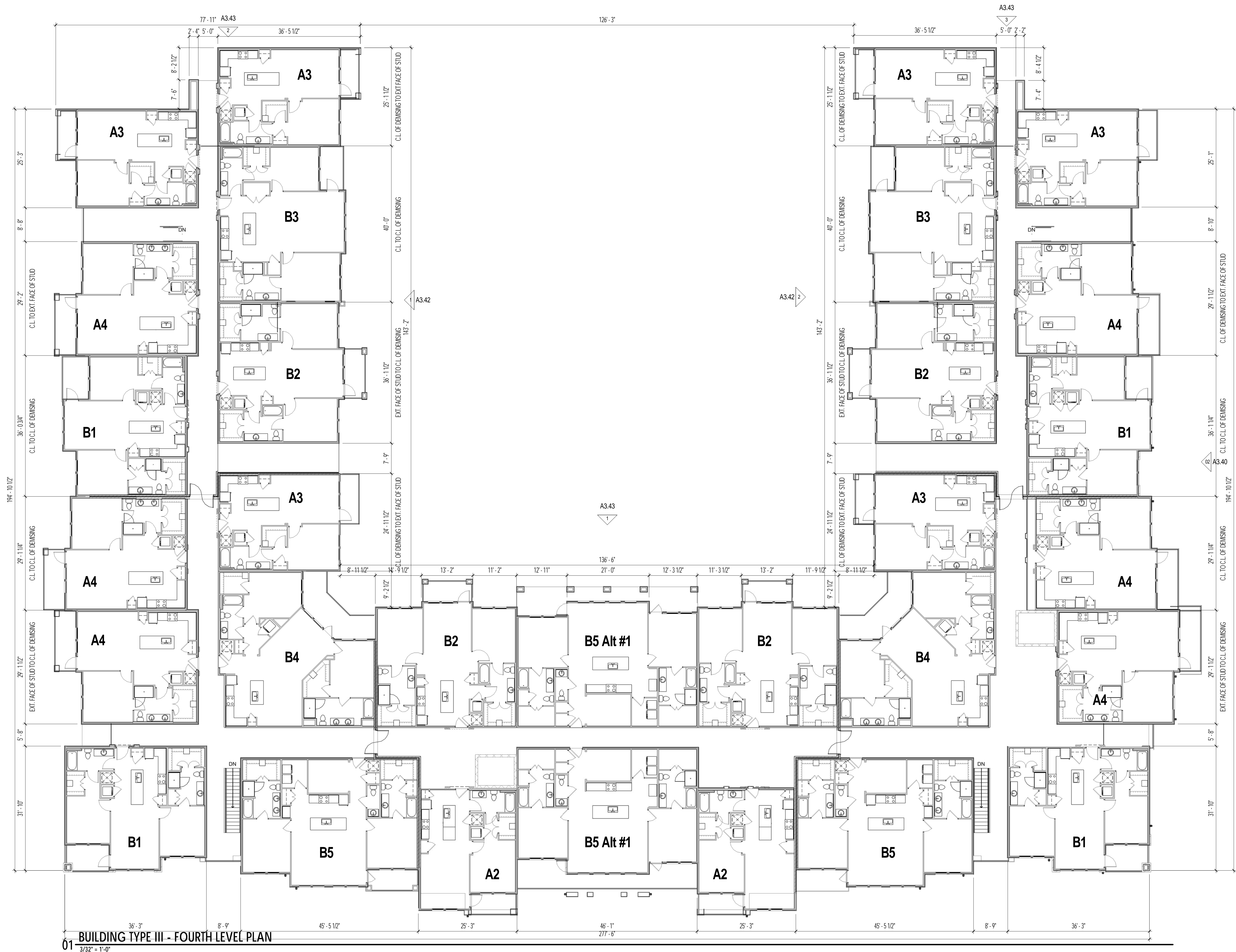
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Drawing No.

A3.35



A3.41 1



01 BUILDING TYPE III - FOURTH LEVEL PLAN
3/32" = 1'-0"

BROOKS APARTMENTS II

SAN ANTONIO, TEXAS

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Mark Johnson
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BLDG. TYPE III - OVERALL

4TH LEVEL PLAN

Drawing No.

A3.37

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BUILDING TYPE III -
EXTERIOR ELEVATIONS

Drawing No.

A3.40



02 BUILDING TYPE III - GARAGE ELEVATION RIGHT
1/8" = 1'-0"



01 BUILDING TYPE III - FRONT ELEVATION
3/32" = 1'-0"

SLAB FORMING PLAN LEGEND

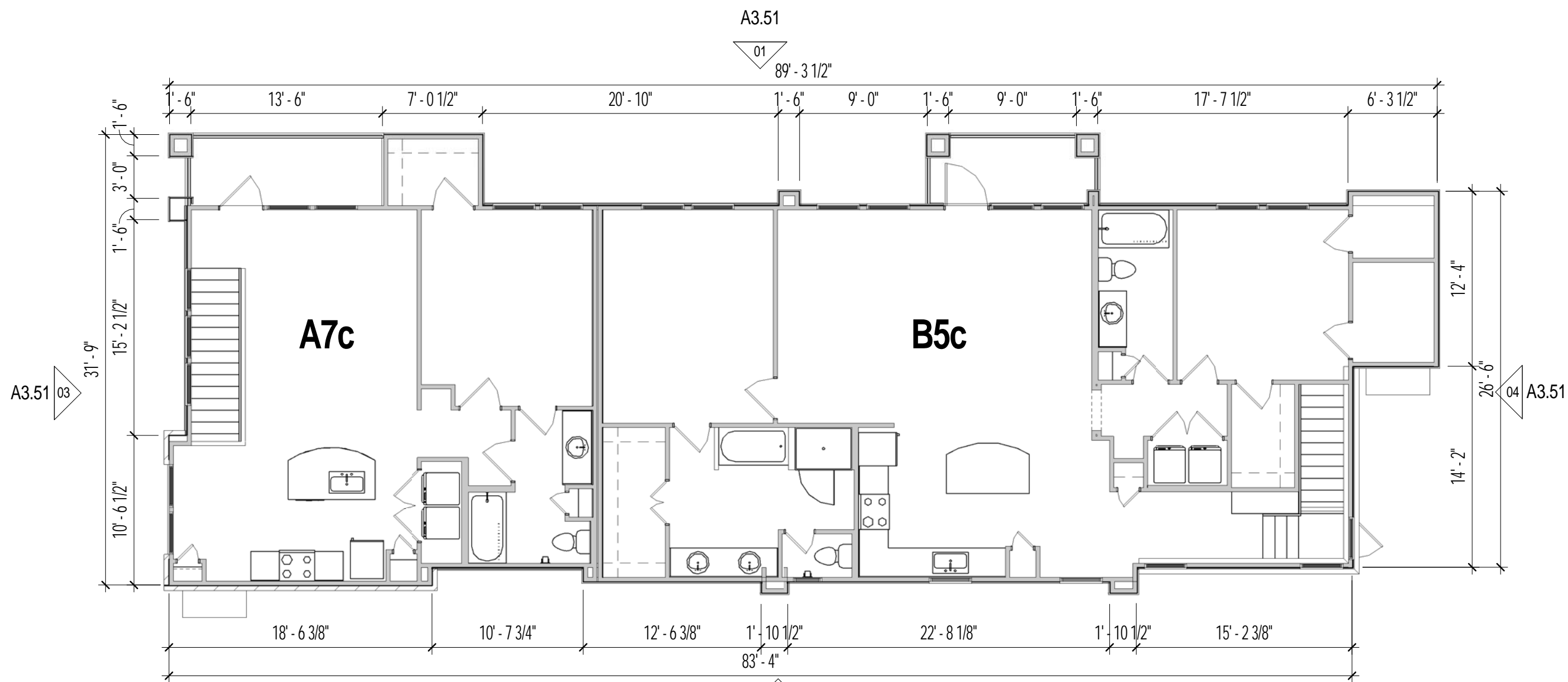
TOP OF SLAB PER CIVIL DWGS.

1/2" SUPPRESSED PORTION OF SLAB

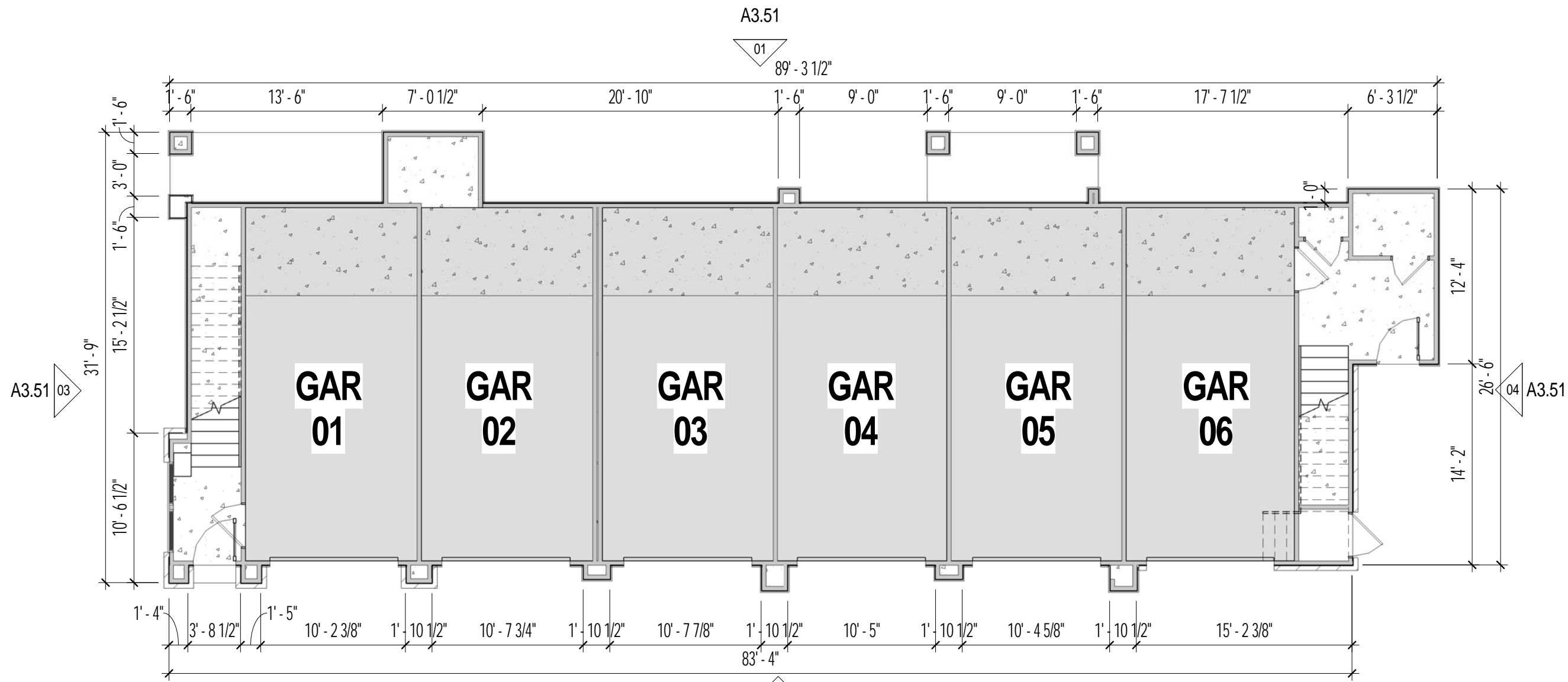
(4" TO 4-1/2") SUPPRESSED PORTION OF SLAB IN GARAGE

SLOPED PORTION OF SLAB (2%)

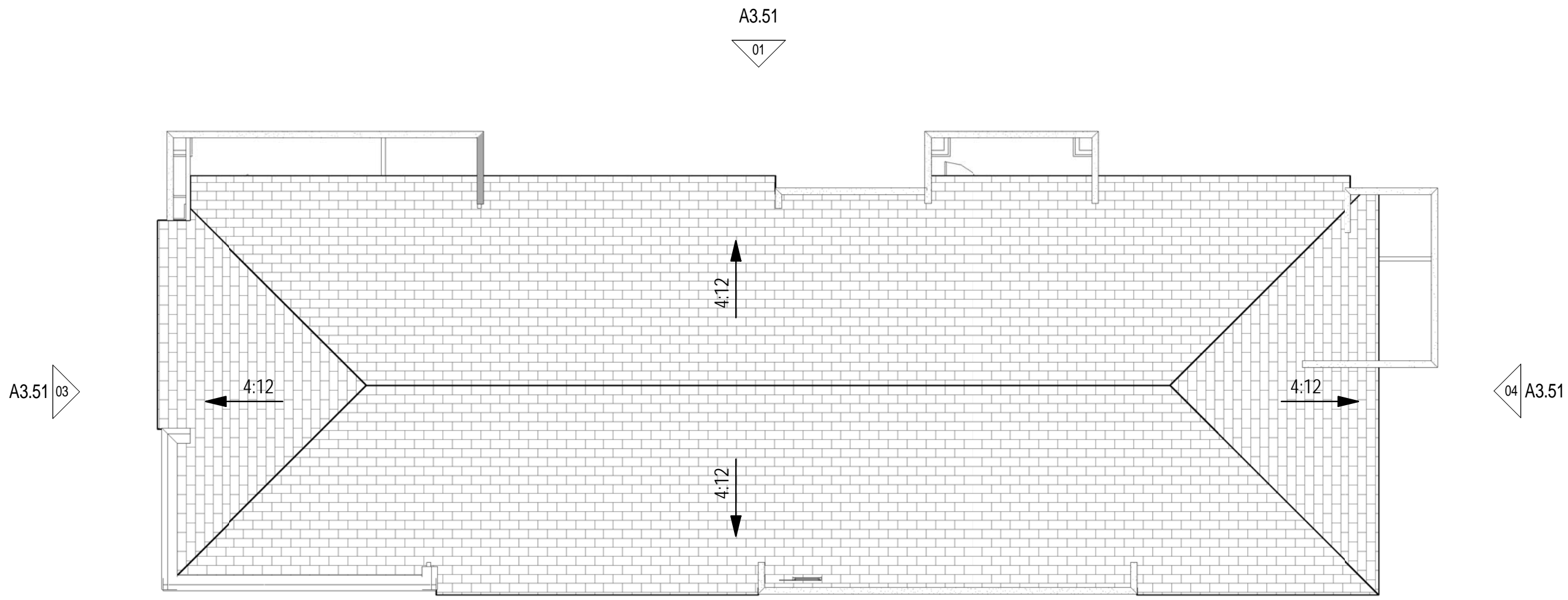
1/2" STEP IN SLAB: HT. INDICATED ON LOW SIDE OF STEP



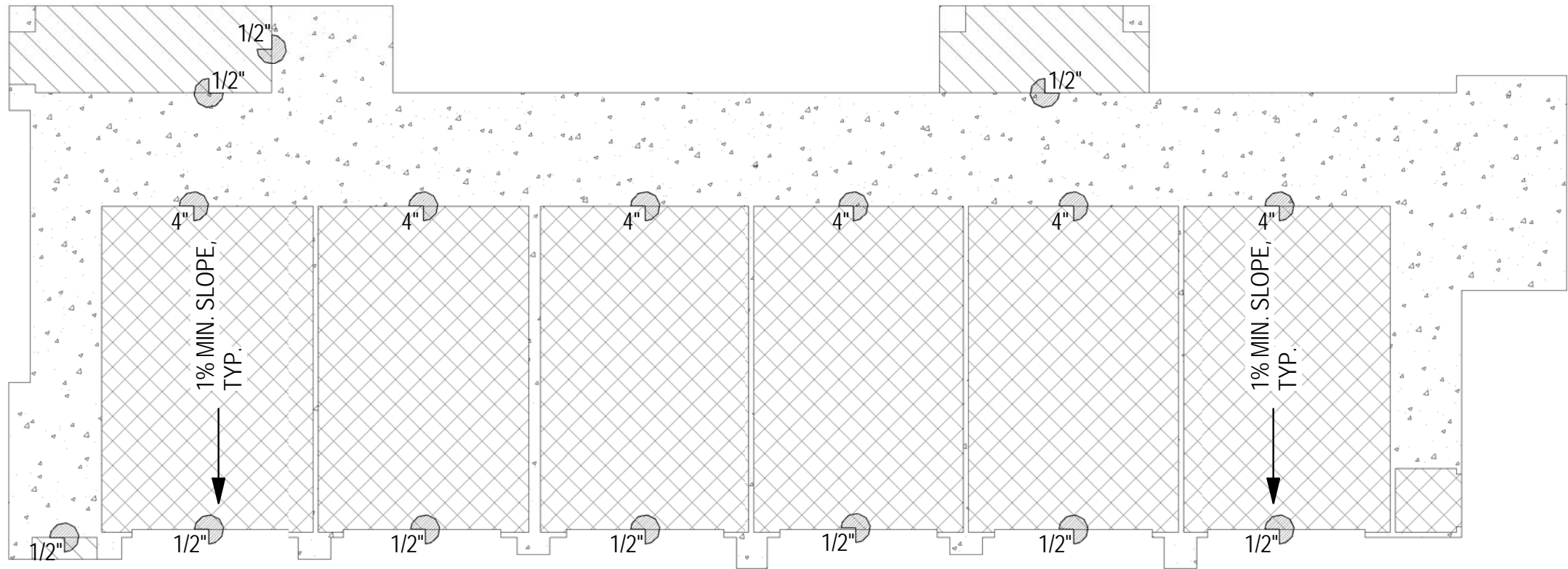
03 CARRIAGE BUILDING - SECOND FLOOR PLAN
1/8" = 1'-0"



02 CARRIAGE BUILDING - GROUND LEVEL PLAN
1/8" = 1'-0"



04 CARRIAGE BUILDING - ROOF PLAN
1/8" = 1'-0"



01 CARRIAGE BUILDING - SLAB FORMING PLAN
1/8" = 1'-0"

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Author

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CARRIAGE BUILDING

Drawing No.

A3.50

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Checker

Sheet Title:
CARRIAGE BULL

ELEVATIONS

A3 51

01 **CARRIAGE BUILDING - EXTERIOR ELEVATION (REAR)**
1/8" = 1'-0"

SITE CLEARING

CONDUCT SITE CLEARING OPERATIONS TO THE EXTENT SHOWN ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO: REMOVAL OF TREES AND OTHER VEGETATION, TOPSOIL STRIPPING, CLEARING AND GRUBBING, AND REMOVAL ALL IMPROVEMENTS ABOVE OR BELOW GRADE. REFER TO THE GEOTECHNICAL REPORT FOR THIS PROJECT FOR ADDITIONAL SITE PREPARATION REQUIREMENTS.

EXECUTION:

1. SITE CLEARING OPERATIONS SHALL NOT DAMAGE OR INTERFERE WITH THE PUBLIC USE OF ROADS, WALKS, ADJACENT LAND OR FACILITIES AND EXISTING IMPROVEMENTS INTENDED TO REMAIN.
2. EXISTING TREES TO REMAIN SHALL BE PROTECTED IN COMPLIANCE WITH LANDSCAPE PROTECTION.
3. CONTRACTOR SHALL REMOVE TREES, SHRUBS, GRASS AND OTHER VEGETATION, IMPROVEMENTS OR OBSTRUCTIONS INTERFERING WITH THE INSTALLATION OF NEW CONSTRUCTION OR AS SHOWN ON PLANS. CLEARING OPERATIONS SHALL INCLUDE REMOVAL OF STUMPS AND ROOTS.
4. CONTRACTOR SHALL STRIP TOPSOIL IN A MANNER APPROPRIATE TO SEGREGATE FROM UNDERLYING SUBSOIL. TOPSOIL STRIPPING NEAR TREES INTENDED TO REMAIN SHALL BE COMPLETED IN COMPLIANCE WITH LANDSCAPE PROTECTION.
5. SPOIL SHALL BE STORED ONLY IN AREAS SHOWN ON THE PLANS AND SHALL BE MAINTAINED IN ACCORDANCE WITH APPLICABLE POLLUTION PREVENTION PLANS OR PERMITS.
6. WASTE MATERIAL OR EXCESS TOPSOIL GENERATED AS A RESULT OF CLEARING AND GRADING OPERATIONS SHALL BECOME THE PROPERTY OF THE CONTRACTOR. APPROPRIATE DISPOSAL OF ALL SPOIL MATERIAL SHALL BE AT THE CONTRACTOR'S EXPENSE. BURNING ON THE OWNER'S PROPERTY IS NOT PERMITTED.

DEMOLITION NOTES:

FOLLOWING APPROPRIATE SAFETY PROCEDURES, DEMOLISH EXISTING FACILITIES AS SHOWN ON THE PLANS. PROTECTION OF PUBLIC AND PRIVATE PROPERTY AND SAFE DISPOSITION OF SPOIL MATERIAL IS INCLUDED IN THIS ITEM. EXECUTION:

1. CONTRACTOR SHALL SUBMIT FOR APPROVAL TO GOVERNMENTAL AGENCIES AND THE OWNER A DEMOLITION PLAN INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 - A. METHODS, EQUIPMENT AND SEQUENCE OF OPERATION.
 - B. CREDENTIALS OF INDIVIDUALS PERFORMING DEMOLITION OPERATIONS, INCLUDING SUBCONTRACTORS.
 - C. SAFETY MEASURES TO PROTECT WORKERS, PERSONNEL AND THE PUBLIC.
 - D. SAFETY MEASURES TO PROTECT ADJACENT PROPERTIES, LANDSCAPING, IMPROVEMENTS TO REMAIN OR PUBLIC RIGHTS OF WAY.
 - E. ASBESTOS OR OTHER HAZARDOUS MATERIAL ABATEMENT PLAN.
 - F. STORAGE, REMOVAL AND DISPOSITION OF SPOIL MATERIAL.
 - G. EROSION CONTROL MEASURES, INCLUDING NPDES PROCEDURES AND REGULATIONS.
 - H. POLLUTION AND AIR QUALITY CONTROL MEASURES (DUST CONTROL, ETC.).
 - I. HEALTH DEPARTMENT NOTICE.
 - J. UTILITY COORDINATION WITH ALL AFFECTED UTILITIES, INCLUDING LOCATION OF SERVICE.
2. THE USE OF EXPLOSIVES WILL NOT BE PERMITTED.
3. THE PROJECT SITE SHALL BE CLEANED DAILY. DEBRIS, RUBBISH AND CONTRACTORS SALVAGED MATERIAL SHALL BE REMOVED PROMPTLY.
4. ALL SPOIL MATERIAL REMAINING AFTER OWNER SALVAGE IS COMPLETE AND RESULTING FROM DEMOLITION OPERATIONS BECOMES THE PROPERTY OF THE CONTRACTOR. APPROPRIATE DISPOSAL OF SPOIL MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT HIS OWN EXPENSE. OWNER WILL PROVIDE LIST OF ITEMS TO BE SALVAGED.

EARTHWORK

PREPARE SUBGRADE BY EXCAVATION OR EMBANKMENT FOR BUILDING SLABS, WALKS AND PAVEMENTS. EXCAVATION AND BACKFILL FOR UNDERGROUND UTILITIES AND DRAINAGE FILL COURSE FOR SUPPORT OF BUILDING SLABS ARE INCLUDED IN THIS ITEM.

EXECUTION:

1. ALL EXCAVATION, BACKFILL AND COMPACTION SHALL BE PERFORMED AS SHOWN IN THE PLANS AND GEOTECHNICAL REPORT FOR THE SITE.
2. EXCESS MATERIAL RESULTING FROM EXCAVATION OPERATIONS IS THE PROPERTY OF THE CONTRACTOR. APPROPRIATE DISPOSAL SHALL BE AT THE CONTRACTOR'S EXPENSE.
3. ALL EXCAVATION SHALL BE PERFORMED AS DIRECTED IN THE PLANS AND IN COMPLIANCE WITH OSHA STANDARDS.
4. OWNER WILL ENGAGE AT THE OWNER'S COST SOIL TESTING AND INSPECTION SERVICE IN ACCORDANCE WITH MATERIAL TESTING SPECIFICATION TO VERIFY COMPLIANCE WITH THE PLANS & SPECIFICATIONS. REPLACEMENT AND RETESTING OF DEFICIENT WORK SHALL BE DONE BY CONTRACTOR AT NO ADDITIONAL COMPENSATION.
5. DATA ON SUBSURFACE CONDITIONS IS AVAILABLE TO THE CONTRACTOR. THE OWNER MAKES NO WARRANTY AS TO THE CORRECTNESS OF THESE REPORTS. THE CONTRACTOR MAY, AT HIS OWN EXPENSE, PERFORM ADDITIONAL TEST BORINGS.
6. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL AFFECTED UTILITY COMPANIES. THIS SHALL INCLUDE LOCATION OF FACILITIES, PROTECTION DURING CONSTRUCTION, DAMAGE REPAIRS AND DISRUPTION OF SERVICE.
7. THE EXCAVATION IS UNCLASSIFIED, AND CONTRACTOR SHALL PERFORM EXCAVATION TO THE ELEVATIONS INDICATED IN THE PLANS, REGARDLESS OF CHARACTER OF MATERIAL, WITH NO ADDITIONAL COMPENSATION FROM THE OWNER. USE OF EXPLOSIVE IS PROHIBITED.
8. CONTRACTOR IS RESPONSIBLE FOR PROVIDING BARRICADES REQUIRED TO WARN AND/OR PREVENT ACCESS TO CONSTRUCTION AREA.
9. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ADJACENT FACILITIES FROM DAMAGE.
10. EARTHWORK SHALL BE PERFORMED IN COMPLIANCE WITH LANDSCAPE PROTECTION.
11. OVER-EXCAVATION IS NONCOMPENSABLE, AND SHALL BE BACKFILLED AND COMPACTED AS DIRECTED BY THE ENGINEER AT NO ADDITIONAL COST TO THE OWNER.
12. CONTRACTOR SHALL PROVIDE ALL LABOR AND EQUIPMENT NECESSARY TO PROPERLY DEWATER EXCAVATION AREAS - AS REQUIRED.
13. EXCAVATED MATERIAL SHALL BE STOCKPILED WHERE DIRECTED IN THE PLANS. STOCKPILE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL RELEVANT POLLUTION PREVENTION PLANS.
14. EARTHWORK SHALL BE PERFORMED TO THE TOLERANCES SHOWN IN THE PLANS AND/OR SPECIFIED IN THE GEOTECHNICAL REPORT FOR THE PROJECT.
15. TRENCHES SHALL BE BACKFILLED ONLY AFTER INSPECTION AND APPROVAL OF THE ENGINEER. BACKFILL MATERIAL AND PROCEDURES FOR TRENCHES SHALL BE IN COMPLIANCE WITH THE TEXAS DEPARTMENT OF TRANSPORTATION 2004 STANDARD SPECIFICATION FOR CONSTRUCTION OF HIGHWAYS, STREETS AND BRIDGES, ITEM 400 - EXCAVATION AND BACKFILL FOR STRUCTURES.

GRADING NOTES:

1. VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES. MINOR ADJUSTMENT TO FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE IS ACCEPTABLE, IF NECESSARY, UPON PRIOR APPROVAL OF THE ENGINEER.
2. REFER TO SITE PLAN FOR HORIZONTAL DIMENSIONS.
3. UNLESS NOTED OTHERWISE, ALL PARKING LOT GRADES ARE TO INVERT OF GUTTER, ADD 0.5" TO GUTTER GRADE FOR TOP OF CURB GRADE EXCEPT WHERE CURB IS FLUSH WITH PAVEMENT.
4. SITE PREPARATION AND GRADING, FOUNDATION EXCAVATION AND FILL SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
5. PAVING INSTALLED SHALL "FLUSH OUT" AT ANY JUNCTURE WITH EXISTING PAVING.
6. ALL FILL MATERIAL PROVIDED SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING AND COMPACTING.
7. ALL STORM SEWER INLETS AND STRUCTURES SHALL BE PRECAST UNLESS OTHERWISE NOTED.
8. REFER TO CIVIL AND/OR LANDSCAPE PLANS FOR RETAINING WALL LOCATIONS AND ELEVATIONS. REFER TO STRUCTURAL RETAINING WALL PLANS FOR CONSTRUCTION DETAILS.

SITE PLAN NOTES:

1. ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT BEXAR COUNTY SPECIFICATIONS.
2. ALL CONSTRUCTION IN RIGHT-OF-WAYS AND/OR EASEMENTS SHALL BE IN ACCORDANCE WITH APPLICABLE STANDARD SPECIFICATIONS.
3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS AS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
4. THE CONTRACTOR SHALL GIVE THE CITY A MINIMUM OF 48 HOURS NOTICE BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
6. IF CONTRACTOR FINDS A DISCREPANCY WITH THE TOPOGRAPHIC INFORMATION ON THESE PLANS, HE/SHE SHALL CONTACT THE CONSTRUCTION MANAGER/SUPERVISOR AND CIVIL ENGINEER IMMEDIATELY.
7. CONTRACTOR SHALL PROTECT ALL BENCHMARKS AND PROPERTY MONUMENTATION AND SHALL REPLACE OR REPAIR, AT HIS OWN EXPENSE, BENCHMARKS AND MONUMENTATION DISTURBED DURING CONSTRUCTION.
8. IF CONTRACTOR RELOCATES OR SETS NEW BENCHMARKS, THE VERTICAL ELEVATIONS OF THE BENCHMARKS SHALL BE SET TO A TOLERANCE OF 0.010 FT.
9. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, BUILDING FACE OF BRICK, STONE AND FACE OF WALLS, UNLESS OTHERWISE NOTED.
10. REFER TO ARCHITECTURAL/STRUCTURAL PLANS FOR DETAILED BUILDING DIMENSIONS.
11. ALL CURB RADII SHALL BE 3.0' UNLESS OTHERWISE NOTED.
12. THE AMERICANS WITH DISABILITIES ACT (ADA) GUIDELINES, BOTH FEDERAL AND STATE ARE TO BE INCORPORATED IN ALL CONSTRUCTION DOCUMENTS. IF ANY CRITERIA CANNOT BE MET THEN OWNER IS TO BE ALERTED OF THE CONDITION AND INFORMED OF THE MEASURES THAT WOULD BE NECESSARY TO BE IN CONFORMANCE.
13. ALL PEDESTRIAN RAMPS TO BE TEXTURED AND PAINTED/STAINED PER BEXAR COUNTY AND A.D.A. REQUIREMENTS, AS REQUIRED.
14. CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING UTILITIES, PAVEMENT AND STRUCTURES WITHIN OR AROUND THE PROPOSED BUILDING PAD LIMITS OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL, RELOCATION AND COORDINATION OF THESE EXISTING UTILITIES, PAVEMENT AND STRUCTURES. CONTRACTOR SHALL CONTACT ENGINEER IF A CONFLICT EXISTS.
15. PROVIDE PAD CERTIFICATION FROM A LICENSED SURVEYOR AND SOIL COMPACTION DOCUMENTATION FROM A GEOTECHNICAL ENGINEER.
16. PUMPING RUNOFF OR RAINWATER FROM A BUILDING EXCAVATION IS NOT AN EXTRA PAY ITEM.
17. STANDARD PARKING SPACES ARE 9'x18' AND COMPACT ARE 8'x16' UNLESS OTHERWISE NOTED.
18. REFER TO LANDSCAPE PLANS FOR SIDEWALK DETAILS.

PAVEMENT NOTES:

1. DESIGN MIX SUBMITTALS SHALL BE PROVIDED FOR REVIEW AT LEAST 7 DAYS PRIOR TO PLACEMENT.
2. DO NOT UNLOAD OR USE ANY HEAVY CONSTRUCTION EQUIPMENT ON NEW CONCRETE FOR AT LEAST 72 HOURS AFTER CONCRETE IS POURED.
3. LOCATE AND PLACE LINES OR SLEEVES FOR UNDERGROUND UTILITIES PRIOR TO PLACEMENT OF PAVEMENT BASE.
4. JOINTS SHALL BE PLACED IN ANY PROPOSED CONCRETE PAVEMENT AND CURBING AS RECOMMENDED IN THE GEOTECHNICAL STUDY FOR THIS SITE OR JOINT LAYOUT AND DESIGN SHALL CONFORM TO THE AMERICAN CONCRETE PAVEMENT ASSOCIATION (ACPA) TECHNICAL PUBLICATION 150 61.01P.
5. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WORK SUCH THAT UTILITIES ARE INSTALLED PRIOR TO PAVEMENT BASE IS INSTALLED OR ELSE PROVIDE ADEQUATE SLEEVING.
6. ALL CONCRETE WORK SHALL CONFORM TO ALL APPLICABLE REQUIREMENTS OF ACI 330. FLY ASH CAN BE USED IN MIX DESIGNS WHERE SUITABLE.
7. ALL CONCRETE PAVING AND FLATWORK SHALL BE CURED IN CONFORMANCE WITH AMERICAN CONCRETE PAVEMENT ASSOCIATION GUIDELINES.

PAVEMENT MARKINGS

FURNISH AND INSTALL PAVEMENT MARKINGS OF THE TYPE AND SIZE SHOWN ON THE PLANS AND AS REQUIRED FOR COMPLIANCE WITH GOVERNING CODES. IF NO GOVERNING CODES APPLY, THEN USE TxDOT STANDARDS.

EXECUTION:

1. CONTRACTOR SHALL CLEAN PAVEMENT OF GREASE, DIRT, OIL, SAND, GRAVEL OR OTHER FOREIGN MATERIALS PRIOR TO APPLYING MARKINGS AS RECOMMENDED BY PAINT MANUFACTURER.
2. PAVEMENT MARKINGS SHALL BE APPLIED BY MACHINE AT A RATE OF ONE (1) GALLON/100 SQUARE FEET.
3. PAVEMENT MARKINGS SHALL NOT BE APPLIED DURING PERIODS OF EXCESS HUMIDITY OR PAVEMENT TEMPERATURES BELOW 50 DEGREES F.
4. MINIMUM LINE WIDTH IS 4 INCHES. PAVEMENT MARKINGS MUST COMPLY WITH LOCAL FIRE STANDARDS AND CURRENT ACCESSIBILITY CODE.
5. A MINIMUM OF TWO COATS SHALL BE REQUIRED.
6. CLOSE AREAS TO TRAFFIC FOR DURATION OF DRYING TIME, WHICH SHALL BE NO LESS THAN THE MINIMUM RECOMMENDED BY THE PAINT MANUFACTURER.
7. TRAFFIC PAINT SHALL BE SHERWIN WILLIAMS PRO-MAR TRAFFIC PAINT OR APPROVED EQUAL - COLOR AS SPECIFIED ON PLANS.

STORM SEWER NOTES:

1. THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. (SEE SITE INFORMATION SHEET FOR UTILITY CONTACTS).
2. VERIFY ALL EXISTING INVERTS AND RIM ELEVATIONS PRIOR TO CONSTRUCTION. CONTACT ENGINEER WITH ANY DISCREPANCIES.
3. COMPLETE OR COORDINATE ADJUSTMENT OF OTHER UTILITIES IN ORDER TO CONSTRUCT STORM SEWER TO ELEVATIONS PROVIDED.
4. THE FOLLOWING STORM SEWER PIPES ARE ALLOWABLE (WITH MANUFACTURER'S SPECS FOR BACKFILL FOLLOWED):
 - A. 12" THRU 48" RCP, D-LOAD DESIGN
 - B. 6" THRU 12" PVC, SDR 35 OR SCH. 40
 - C. 12" THRU 18" GALVANIZED CORRUGATED METAL (2-2/3"x 1/2" CORRUGATED)
 - D. 12" THRU 48" ULTRAFLO® SPIRAL RIB PIPE (AASHTO M-36 TYPE I.R. WITH GALVANIZED STEEL AS PER AASHTO M-218)
 - E. 6" THRU 36", HDPENOTE:
 - A. OPTIONS C & D SHALL NOT BE USED ALONG COASTAL REGIONS OR AREAS WHERE THE EXISTING SOILS ARE CORROSIVE.
 - B. THE ABOVE SHALL BE FOLLOWED UNLESS PIPES ARE TO BE INSTALLED IN PUBLIC ROW OR EASEMENT. IF PIPE IS PART OF PUBLIC SYSTEM, PIPE MATERIAL SHALL FOLLOW REQUIREMENTS OF AUTHORITY HAVING JURISDICTION.
 - C. MANNING'S "N" VALVE SHALL BE 0.013 OR LESS.
5. ALL STORM SEWER INLETS/STRUCTURES SHALL BE PRE-CAST.
6. GRATE INLETS LOCATED IN THE PEDESTRIAN ACCESS ROUTE OR HIGH TRAFFIC AREAS SHALL BE ADA COMPLIANT.
7. GROUT/FORM MANHOLE OR INLET TO PROVIDE FOR SMOOTH FLOW OF WATER.

WATER AND WASTEWATER UTILITY NOTES

1. ALL WORK SHALL CONFORM WITH BEXAR COUNTY SPECIFICATIONS.
2. NOTIFY THE COUNTY OR TxDOT AT LEAST 48 HOURS PRIOR TO STARTING CONSTRUCTION. DISRUPTION OF SERVICES SHALL BE COORDINATED WITH THE OWNER AND UTILITY COMPANY.
3. COMPLETE ALL REQUIRED RELOCATIONS OR ALTERATIONS OF TELEPHONE POLES, UNDERGROUND CONDUIT, POWER POLES, AND ANY OTHER FACILITIES UNLESS NOTED AS "BY OTHERS". SCHEDULE AND COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS AND UTILITY COMPANIES SO AS NOT TO DELAY THE PROJECT.
4. ALL PRIVATE WATER AND WASTEWATER LINES WILL COMPLY WITH THE INTERNATIONAL PLUMBING CODE.
5. ALL WATER PIPE 4"-12" SHALL BE CLASS 200 PVC C900 DR14 OR DUCTILE IRON (D.I.) CLASS 350 (IRRIGATION LINES AND DOMESTIC SERVICE LINES SHOULD BE SDR-21 RATED PIPE). ALL WATER PIPE 14"-36" SHALL BE CLASS 235 PVC 905 DR 18 OR DUCTILE IRON (D.I.) CLASS 250. ALL WATER PIPE LESS THEN 4" SHALL BE COPPER OR SCHEDULE 40 PVC.
6. ALL PUBLIC MAIN WASTEWATER PIPE SHALL BE SDR 26 PVC, OR PRESSURE RATED PIPE WHERE REQUIRED. SERVICE LATERALS SHALL BE SCHEDULE 40 PVC.
7. INSTALL MECHANICAL JOINT (M.J.) FITTINGS ON DUCTILE IRON (D.I.) PIPE OR PVC C900 DR14 PIPE OR C905 DR 18 PIPE.
8. RESTRAINED JOINTS SHALL BE INSTALLED ON ALL WATER PIPE 6" AND LARGER.
9. ALL WATER MAINS SHALL BE BURIED MIN. 3'.
10. WHERE PUBLIC WATER AND SANITARY SEWER LINES ARE INSTALLED WITH A SEPARATION DISTANCE CLOSER THAN NINE FEET THE INSTALLATION MUST MEET THE REQUIREMENTS OF 30 TAC 217.53 (DESIGN CRITERIA FOR DOMESTIC WASTEWATER SYSTEMS) OR 30 TAC 290.44(C) (WATER HYGIENE). CONCRETE ENCASE ALL WATER LINES THAT CROSS WITHIN 1.5 FEET OF WASTEWATER LINE.
11. FOR PRESSURE TAPS, FURNISH, INSTALL AND AIR TEST THE SLEEVE AND VALVE. CONCRETE BLOCKING SHALL BE PLACED BEHIND AND UNDER ALL TAP SLEEVES TWENTY-FOUR (24) HOURS PRIOR TO MAKING THE WET TAP.
12. SEE MECHANICAL PLANS FOR EXACT LOCATION OF WATER AND WASTEWATER CONNECTIONS TO BUILDINGS.
13. ALL ON-SITE WATER AND WASTEWATER LINES WILL BE EXTENDED TO A MINIMUM OF 5 FEET FROM THE BUILDING.
14. ALL BACKFLOW DEVICES WILL CARRY A MANUFACTURER RATING NOT TO EXCEED A 7 P.S.I. PRESSURE DROP THROUGH BACKFLOW DEVICE.
15. PROTECT EXISTING STRUCTURES FROM DAMAGE DURING CONSTRUCTION. PRIOR TO THE FINAL ACCEPTANCE OF THE PUBLIC MAINS EXISTING STRUCTURES WILL BE INSPECTED FOR DAMAGE AND THE CONTRACTOR WILL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE.
16. EXTEND ALL EXISTING AND PROPOSED UTILITY MANHOLES, BOXES, COVERS, ETC. TO PROPOSED FINISH GRADE, UNLESS APPROVED OTHERWISE.
17. ALL MAINS SHALL BE TESTED BY THE CONTRACTOR AS REQUIRED BY AUTHORITIES. THE ENGINEER OR INSPECTOR SHALL BE PRESENT DURING THE TEST.
18. ALL WATER MAINS SHALL BE CHLORINATED AS REQUIRED BY AUTHORITIES.

WATER DISTRIBUTION AND WASTEWATER COLLECTION SYSTEMS

FURNISH AND INSTALL THE FIRE LINE, DOMESTIC WATER LINE AND WASTEWATER COLLECTION SYSTEM AND ALL RELATED APPURTENANCES FROM THE PUBLIC MAIN TO THE BUILDING PAD(S) AS SHOWN ON THE PLANS, INCLUDING BUT NOT LIMITED TO ALL PIPING, FITTINGS, VAULTS, VALVES, METERS, MANHOLES AND JUNCTION BOXES REQUIRED.

EXECUTION:

1. ALL MATERIALS, INSTALLATION, INSPECTION AND TESTING OF WATER METER AND RELATED PIPING AND APPURTENANCES SHALL CONFORM TO IPC STANDARDS, AWWA STANDARDS, TCEQ STANDARDS, AND THE APPLICABLE LOCAL UTILITY COMPANY REGULATIONS. ALL MATERIALS AND INSTALLATIONS REQUIRED FOR FIRE PROTECTION SHALL MEET FACTORY MUTUAL GLOBAL STANDARDS.
2. CONTRACTOR IS RESPONSIBLE FOR TAP AT PUBLIC MAIN AND ALL LINES, FITTINGS AND APPURTENANCES SHOWN ON PLANS OR REQUIRED BY THE LOCAL UTILITY COMPANY.
3. INSTALLATION OF WASTEWATER LINES SHALL BEGIN AT THE TAP TO THE PUBLIC WASTEWATER SYSTEM AND PROGRESS UPSTREAM. WATER AND WASTEWATER LINES SHALL BE EXTENDED TO SERVICE ENTRANCE INTO BUILDING(S). CONTRACTOR SHALL PROVIDE A WATERTIGHT SLEEVE IN FOUNDATION FOR WATER LINE.
4. TRENCH EXCAVATION SHALL BE PERFORMED AND BACKFILL MATERIAL AND PROCEDURES SHALL BE IN COMPLIANCE WITH THE TEXAS DEPARTMENT OF TRANSPORTATION 2004 STANDARD SPECIFICATION FOR CONSTRUCTION OF HIGHWAYS, STREETS AND BRIDGES, ITEM 400 - EXCAVATION AND BACKFILL FOR STRUCTURES.

GRAVITY PIPE (STORM & SANITARY SEWER) / WATER LINE CONFLICT NOTE:

CONTRACTOR IS RESPONSIBLE TO VERIFY VERTICAL ALIGNMENT OF WATER LINE SO THAT A MINIMUM OF 2' VERTICAL SEPARATION IS PROVIDED BETWEEN GRAVITY PIPE AND WATER PIPE.

BROOKS CITY BASE II
SAN ANTONIO, TX

DEVELOPER:
MRP HOLDINGS, LLC
10000 N. LOOP W. DR. SUITE 800
SAN ANTONIO, TEXAS 78248
TEL (210) 487-8758

DATE: APRIL 2016

PROJECT NO.: R0110695-50005

SHEET



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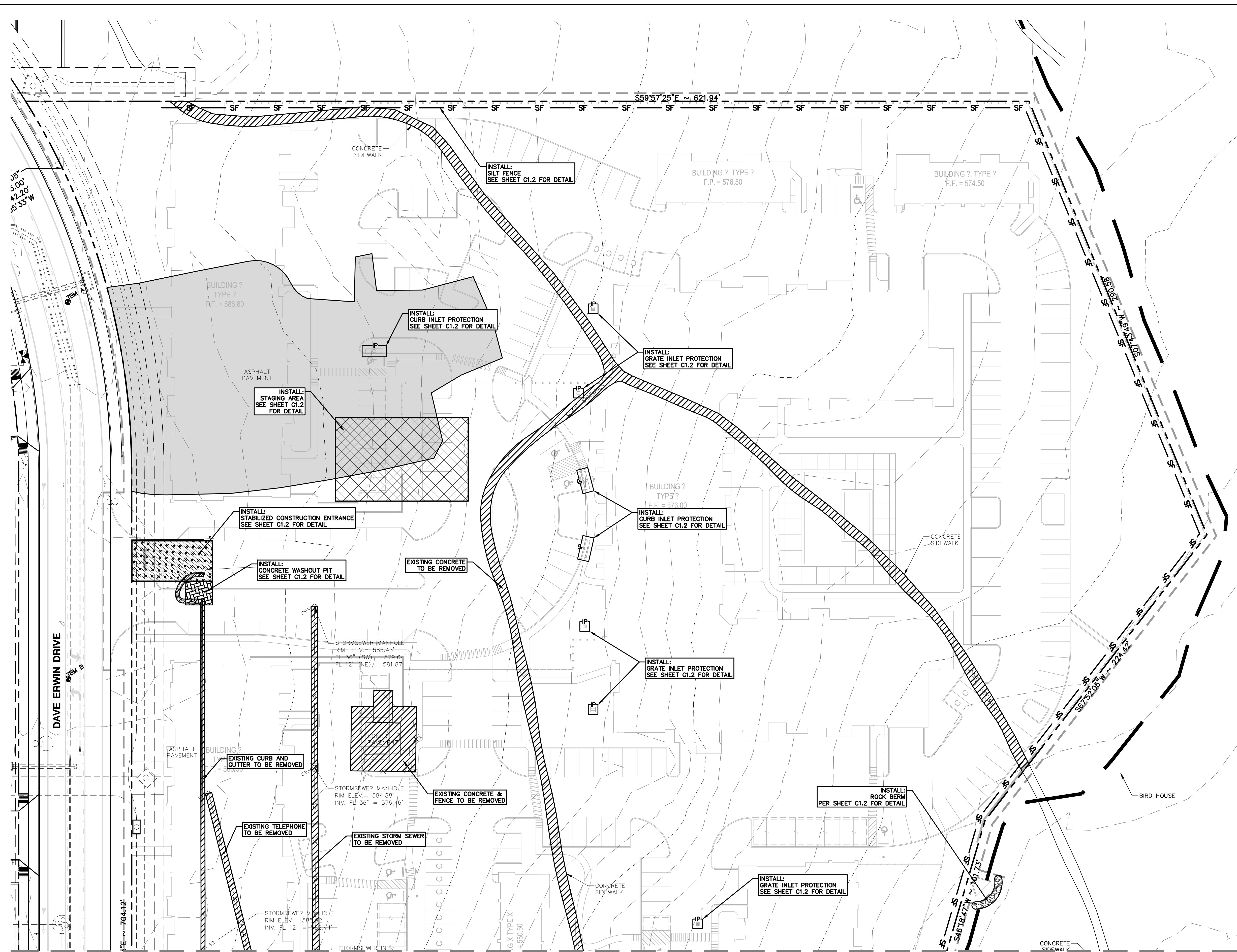
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MARY JANE PHILLIPS
TX. REG. 102318

APPROVAL

REVISION

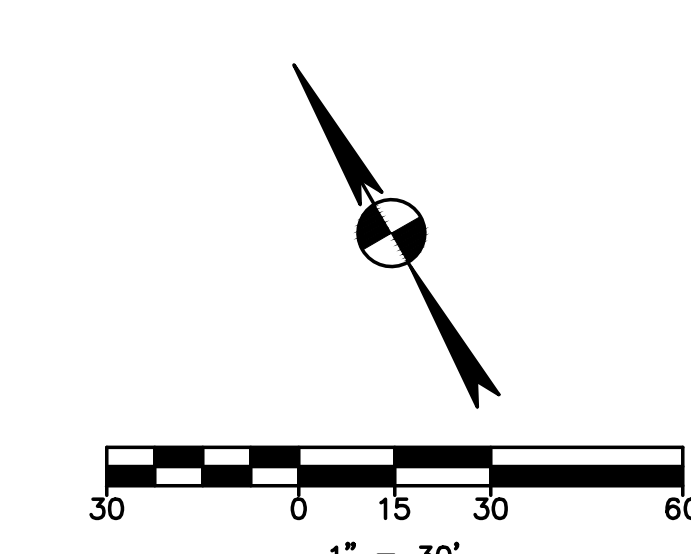
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LEGEND
EXISTING PROPOSED

1/2" IRON ROD FOUND	1/2" IRON ROD SET
IRON PIPE FOUND	BENCHMARK
FIRE DEPARTMENT CONNECTION	LIGHT POLE
POWER POLE	DOWN GUY
FIRE HYDRANT	WATER VALVE
WATER METER	GAS METER
GAS VALVE	WASTEWATER MANHOLE
STORMSEWER MANHOLE	DRAINAGE INLET
CURB INLET	STAND UP CURB
HANDICAPPED PARKING SPACE	SIGN
TRANSFORMER PAD	ELECTRIC METER
OVER HEAD ELEC. LINE	SS
STORM SEWER LINE	W
WATER LINE	FW
FIRE WATER LINE	DW
DOMESTIC WATER LINE	LW
LANDSCAPE WATER LINE	WW
WASTEWATER LINE	UE
UNDERGROUND ELECTRIC	UT
UNDERGROUND TELEPHONE	G
GAS LINE	PROPERTY LINE
CONTOUR	SPOT ELEVATION
FLOW DIRECTION	CONCRETE SURFACE
RETAINING WALL	LIMITS OF CONSTRUCTION
TO BE REMOVED	SILT FENCE (SEE DETAIL C1.2.1)
TP	TREE PROTECTION (SEE DETAIL C1.2.8)
IP	INLET PROTECTION (SEE DETAIL C1.2.4 & C1.2.5)
STABILIZED CONSTRUCTION ENTRANCE (SEE DETAIL C1.2.3)	STAGING AREA (SEE DETAIL C1.2.7)
CONCRETE TRUCK WASHOUT PIT (SEE DETAIL C1.2.6)	ROCK BERM (SEE DETAIL C1.2.2)
TREE TO BE REMOVED	TREE TO REMAIN



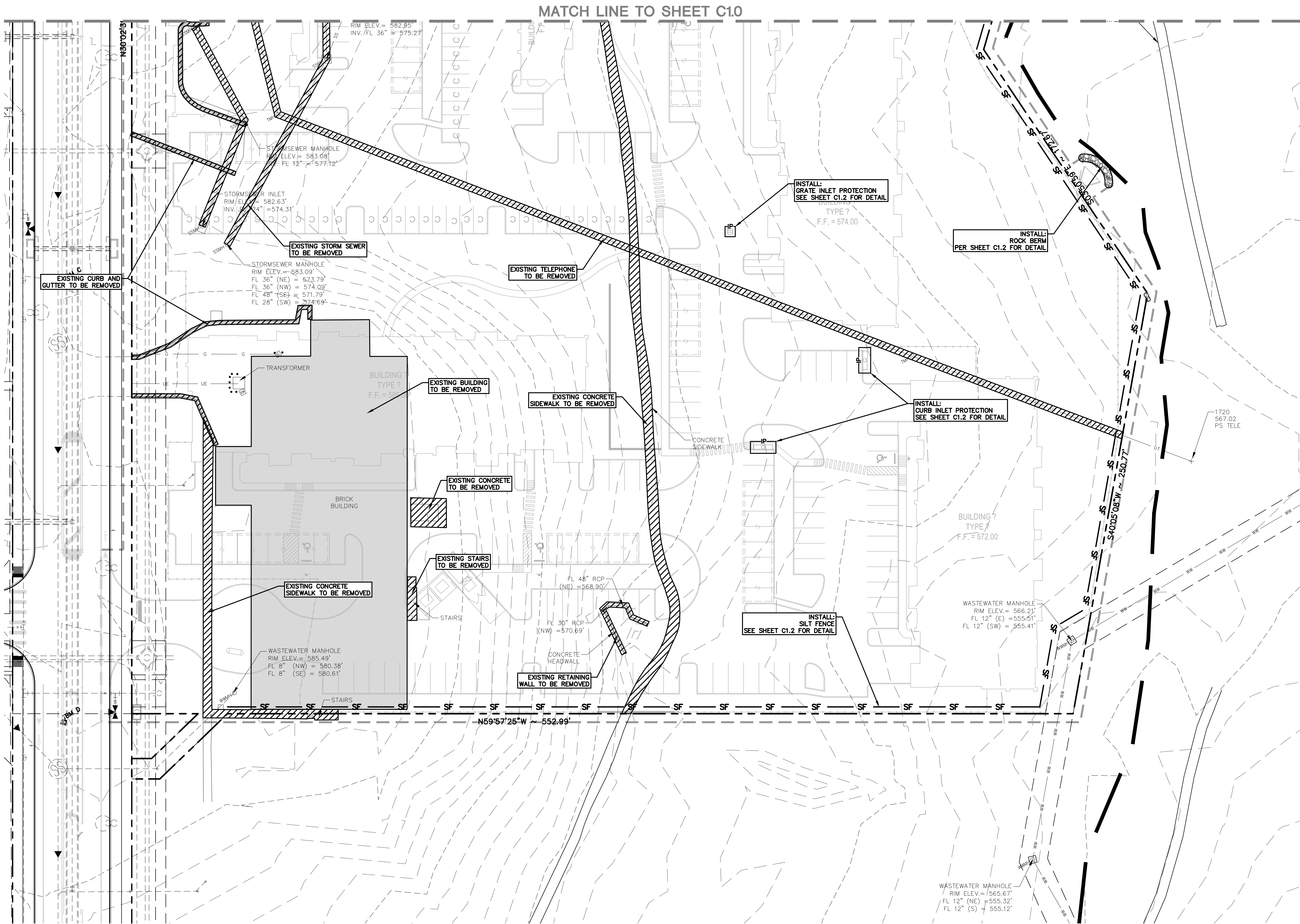
THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

BENCHMARKS:
XXXX

NOTE: SEE TREE PRESERVATION PLAN FOR LIST OF TREES TO REMAIN AND/OR BE REMOVED.

LEGAL DESCRIPTION:
ESTABLISHING LOT 1 & 2, BLOCK 13 AND LOT 1, BLOCK 14, NEW CITY BLOCK 10879, BEING A 40.160 ACRE TRACT OF LAND OUT OF A 1308.68 ACRE TRACT OF LAND RECORDED IN VOLUME 9481, PAGES 934-972 OF THE OFFICIAL PUBLIC RECORDS OF BEAR COUNTY, TEXAS, OUT OF THE WILLIAM SMALL SURVEY NUMBER 26, ABSTRACT 670, COUNTY BLOCK 5158, IN NEW CITY BLOCK 10879, IN THE CITY OF SAN ANTONIO, BEAR COUNTY, TEXAS.

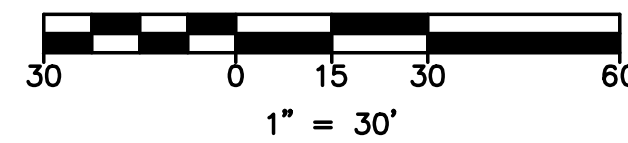
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EXISTING CONDITIONS, DEMOLITION, & SWPPP.	
BROOKS CITY BASE II SAN ANTONIO, TX	DEVELOPER: MRP HOLDINGS, LLC 10000 N. LOOP W. SUITE 800 SAN ANTONIO, TEXAS 78248 TEL (210) 487-7878
DRAWN BY: ENW DESIGNED BY: CJ REVIEWED BY: M.P. PROJECT NO.: R0110695-50005	DATE: APRIL 2016
SHEET C1.0	



LEGEND

EXISTING PROPOSED

- 1/2" IRON ROD FOUND
- 1/2" IRON ROD SET
- IRON PIPE FOUND
- BENCHMARK
- FIRE DEPARTMENT CONNECTION
- LIGHT POLE
- POWER POLE
- DOWN GUY
- FIRE HYDRANT
- WATER VALVE
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- GAS METER
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- UNDERGROUND TELEPHONE
- GAS LINE
- PROPERTY LINE
- CONTOUR
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- FLOW DIRECTION
- CONCRETE SURFACE
- RETAINING WALL
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- INLET PROTECTION (SEE DETAIL C1.2.4 & C1.2.5)
- STABILIZED CONSTRUCTION ENTRANCE (SEE DETAIL C1.2.3)
- STAGING AREA (SEE DETAIL C1.2.7)
- CONCRETE TRUCK WASHOUT PIT (SEE DETAIL C1.2.6)
- ROCK BERM (SEE DETAIL C1.2.2)
- TREE TO BE REMOVED
- TREE TO REMAIN



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BENCHMARKS:

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NOTE: SEE TREE PRESERVATION PLAN FOR LIST OF TREES TO REMAIN AND/OR BE REMOVED.

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**BROOKS CITY BASE II
SAN ANTONIO, TX**

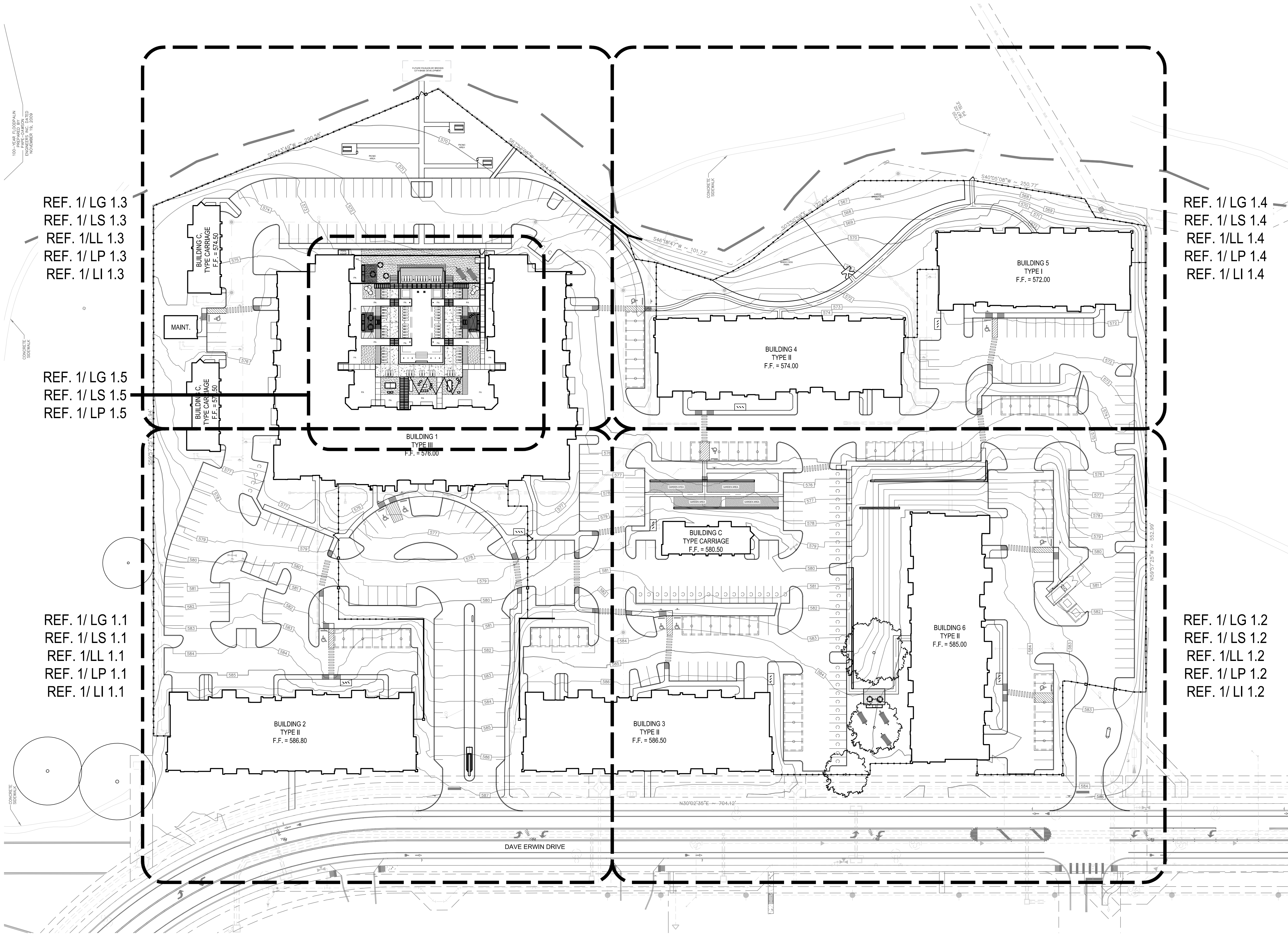
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DESIGNED BY: CJ
REVIEWED BY: M.P.
PROJECT NO.: R0110695-50005

**SHEET
C1.1**

**EXISTING CONDITIONS,
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REF. 1/LS 1.3
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REF. 1/LI 1.3

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REF. 1/LP 1.2
REF. 1/LI 1.2



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REVIEW

May 15, 2015
Mark V. Padilla 2533

REVISIONS

CLIENT



Project

H.D.R.C. REVIEW SET - NOT FOR CONSTRUCTION

NRP GROUP
Brooks II Multifamily Development

Dave Erwin Drive
San Antonio, Texas 78223

PROJECT NO | 14059

DATE ISSUED | 15 MAY, 2015

DRAWN BY | MDL

CHECKED BY | MVP

SHEET TITLE |

OVERALL
REFERENCE PLAN

SHEET NO |

LC 1.0

MP

STUDIO

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NRP
group LLC

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DRAWN BY | MVP

CHECKED BY | MVP

SHEET TITLE | GENERAL NOTES

SHEET NO | LC 1.1

GENERAL NOTES:

1.) LOCATE AND VERIFY THE CONDITION OF EXISTING UTILITIES PRIOR TO EXCAVATION. TAKE RESPONSIBILITY OF CONTACTING LINE LOCATION SERVICES AND ANY COST INCURRED FOR BODILY INJURY AND / OR DAMAGE OF OWNER'S PROPERTY OR SAID UTILITIES.

2.) THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED BY THE CONTRACTOR OF ANY DISCREPANCIES DISCOVERED BETWEEN THE PLANS AND ACTUAL SITE CONDITIONS BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE LIABLE FOR ALL MODIFICATIONS AND DAMAGES IF WORK PROCEEDS WITHOUT THIS NOTIFICATION.

3.) THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF MAINTAINING A SAFE WORK SITE INCLUDING, BUT NOT LIMITED TO PROVIDING FOR TRAFFIC CONTROL, INSTALLATION AND PLACEMENT OF FENCING AND BARRICADES, EXCAVATION AND TRENCH PROTECTION, AND COMPLIANCE WITH ALL FEDERAL AND LOCAL REGULATIONS AND CODES. ALL SAFETY EXPOSURES OR VIOLATIONS SHALL BE RECTIFIED IMMEDIATELY.

4.) THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL EXISTING IMPROVEMENTS BOTH ON SITE AND ADJACENT TO THE WORK SITE AND SHALL REPAIR ANY DAMAGE TO THESE IMPROVEMENTS TO THE SATISFACTION OF THE OWNER.

5.) THE CONTRACTOR SHALL NOTIFY OWNER AND LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.

6.) ANY ALTERNATES AND OR SUBSTITUTIONS PROPOSED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL. CHANGES TO THE SCOPE OF WORK AND / OR CONTRACT DOCUMENTS RESULTING FROM THE ACCEPTANCE OF THE CONTRACTOR'S ALTERNATES AND / OR SUBSTITUTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

7.) THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF TRASH ON A DAILY BASIS.

8.) THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. PRIOR TO CONSTRUCTION, ALL PERMITS AND APPROVALS REQUIRED FOR CONSTRUCTION OF THE PROJECT SHALL BE PAID FOR AND OBTAINED BY THE CONTRACTOR (PLAN REVIEW FEES ARE PAID BY OWNER) COSTS FOR PERMITS SHALL BE INCLUDED IN THE BID. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME AWARE OF REQUIRED INSPECTIONS THAT ARE ASSOCIATED WITH PERMITS ISSUED FOR THE WORK AND TO SCHEDULE THESE INSPECTIONS AT THE APPROPRIATE STAGE OF CONSTRUCTION. EXAMPLES INCLUDE BUT ARE NOT LIMITED TO ROUGH-IN ELECTRICAL, ROUGH-IN PLUMBING,IRRIGATION PIPING, FOUNDATION STEEL FOR STRUCTURES (INCLUDING WALLS), FIRE INSPECTIONS RELATED TO ENTRY GATES AND ASSOCIATED STRUCTURES AND OTHERS AS MAY APPLY.

9.) COORDINATE WORK WITH SUBCONTRACTORS TO ACCOMPLISH THE SCOPE OF WORK AS SHOWN AND NOTED IN THE CONTRACT DOCUMENTS AS WELL AS, COORDINATE CONSTRUCTION WITH OTHER CONTRACTORS WORKING ON THE SITE.

10.) THE CONTRACTOR SHALL COORDINATE THE STORING OF MATERIALS, PARKING OF VEHICLES, AND RESTRICTIONS OF WORK AND ACCESS WITH THE OWNER. UNDER NO CIRCUMSTANCES SHALL ANY CONTRACTOR STORE MATERIALS, PARK VEHICLES OR EQUIPMENT UNDER THE CANOPY OF EXISTING TREES.

11.) UNLESS SPECIFIED OTHERWISE, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND PAYING ALL TEMPORARY UTILITIES AND SERVICES NECESSARY TO COMPLETELY INSTALL ALL WORK AS SHOWN AND NOTED IN THE CONTRACT DOCUMENTS.

12.) THE CONTRACTOR IS RESPONSIBLE FOR THE LEGAL OFF-SITE DISPOSAL OF SURPLUS MATERIAL AND DEBRIS.

13.) UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL APPROVAL, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE PROJECT SITE OF ALL TRASH, REPAIR ALL DAMAGE TO FINISH GRADE, INCLUDING TAILINGS FROM EXCAVATIONS, WHEEL RUTS AND ANY SETTling OR EROSION THAT HAS OCCURRED PRIOR TO COMPLETION. ALL AREAS OF THE PROJECT SITE SHALL BE LEFT IN A NEAT AND PRESENTABLE CONDITION SATISFACTORY TO THE OWNER PRIOR TO SUBMITTAL OF THE FINAL PAYMENT.

14.) THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND SERVICING TEMPORARY TOILET FACILITIES.

STEEL FENCE FABRICATION NOTES:

1.) CONTRACTOR SHALL SUBMIT FABRICATION DRAWINGS

2.) ALL WORK WILL BE PERFORMED IN THE SHOP UNLESS OTHERWISE NOTED; NO FABRICATION SHALL BE PERFORMED ON THE PROJECT SITE

3.) GRIND ALL WELDS SMOOTH. STEEL SHALL BE SMOOTH AND FREE OF DIMPLES, CREASES AND BENDS

4.) FENCE POST CAPS TO BE 3" X 3" NEWEL POST CAPS

5.) STEEL POSTS 3"x 3", PANEL FRAME 2" X 2", PICKETS 3/4" X 3/4"

6.) ALL STEEL SHALL BE HOT DIPPED GALVANIZED AFTER FABRICATION

STEEL PAINTING NOTES:

1.) ALL STEEL SHALL BE PRIMED AND PAINTED AS FOLLOWS WITH DEVOE PAINT 1-888-681-6353 OR SUBMIT EQUAL FOR APPROVAL

2.) REMOVE ALL GREASE, DIRT, OIL AND SIMILAR CONTAMINANTS FROM ALL SURFACES TO RECEIVE SUBSEQUENT INDUSTRIAL COATINGS USING DEVOE PAINT, GARDCOTE HEAVY DUTY CLEANER, DP 120U000; APPLY PER MANUFACTURER'S RECOMMENDATIONS; ENSURE THAT ALL OF THE CLEANING AGENT IS REMOVED, PRIOR TO APPLYING PRIMER, BY PRESSURE WASHING ALL TREATED SURFACES

3.) APPLY GARDCOTE UNIVERSAL EPOXY PRIMER DP 54U735; APPLY PER MANUFACTURERS RECOMMENDATIONS

4.) APPLY DEVOE ALITHANE II, HIGH SOLIDS URETHANE COATING DP47UXXXX/DP47U902; APPLY PER MANUFACTURER'S RECOMMENDATIONS; FINISH: SEMI-GLOSS BLACK, APPLIED IN THE FIELD

NOTE: THE CONTRACTOR SHALL PROTECT FINISHED WORK UNTIL ACCEPTANCE BY THE OWNER

CONCRETE NOTES:

1.) ALL CONCRETE CONSTRUCTION, DETAILING AND ERECTION SHALL CONFORM TO THE FOLLOWING:
A.) ACI #301: SPECIFICATIONS
B.) ACI #318: BUILDING CODE REQUIREMENTS
C.) ACI #315: MANUAL OF STANDARD PRACTICE

2.) CONCRETE MATERIALS SHALL CONFORM TO THE FOLLOWING ASTM REQUIREMENTS:
A.) AGGREGATE - C33
B.) READY MIXED CONCRETE - C94
C.) PORTLAND CEMENT - C150
D.) FIELD CYLINDERS - C31
E.) COMPRESSIVE TESTING - C39

3.) ALL CONCRETE SHALL BE NORMAL WEIGHT CONCRETE WEIGHING NOT MORE THAN 145 PCF AND SHALL HAVE A MINIMUM CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS OF 3000 PSI.

4.) THE WATER/CEMENT RATIO FOR STRUCTURAL CONCRETE SHALL NOT EXCEED 0.53.

5.) TOTAL AIR CONTENT SHALL BE 3 TO 5 PERCENT.

6.) PUMPED CONCRETE SHALL MEET THESE ADDITIONAL REQUIREMENTS:
A.) MAXIMUM COARSE AGGREGATE SIZE - 1 INCH
B.) INCREASE CEMENT FACTOR BY 1/2 SACK PER CUBIC YARD.
C.) MAXIMUM SLUMP - 5 INCHES
D.) DO NOT PUMP THROUGH AN ALUMINUM TUBE.

7.) CONCRETE SHALL NOT BE PLACED PRIOR TO APPROVAL OF THE CONCRETE MIX DESIGNS BY THE LANDSCAPE ARCHITECT. THE MIX DESIGNS SHALL NOT BE APPROVED PRIOR TO RECEIPT OF COMPRESSIVE TEST RESULTS FROM AN INDEPENDENT TESTING LABORATORY CERTIFYING ADEQUATE STRENGTH OF THE MIX DESIGNS AT 28 DAYS.

8.) HORIZONTAL CONSTRUCTION JOINTS ARE ONLY ALLOWED IN SLABS OF BEAMS WITH WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. CONTROL JOINTS SHALL BE PLACED MAXIMUM 25' O.C. AS REQUIRED WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT.

CONCRETE REINFORCEMENT

1.) ALL REINFORCEMENT SHALL BE DEFORMED BILLET STEEL (GR.60) CONFORMING TO ASTM A615.
A.) REINFORCING - A615, GRADE 60, DEFORMED
B.) WELDED WIRE MESH - A185, GRADE 60

2.) SPLICES OF HORIZONTAL REINFORCEMENT SHALL LAP AT LEAST 24" AND SHALL BE CONTINUOUS AROUND CORNERS. MAINTAIN AT LEAST 1" BETWEEN REINFORCING BARS AT SPLICES IN BEAMS AND SLABS. REINFORCING BARS SCHEDULED AS CONTINUOUS SHALL BE LAPPED 24".

3.) DETAILING FABRICATION AND ERECTION OF REINFORCING BARS SHALL COMPLY WITH THE ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (ACI 315).

4.) STANDARD PROTECTIVE COVER FOR REINFORCING, UNLESS NOTED OTHERWISE, SHALL BE AS OUTLINED IN ACI 318-83:
A.) AGAINST DIRT OF FILL - 3 INCHES
B.) EXPOSED TO EARTH OR WEATHER - 2 INCHES
C.) SLABS AND WALLS - 1 INCH
D.) OTHER - 1 1/2 INCHES

5.) PROVIDE SHOP DRAWINGS OF REINFORCING AND ACCESSORIES FOR REVIEW BY ARCHITECT. SHOP DRAWINGS SHALL CLEARLY INDICATE LOCATION, SIZE, SPACING, SPLICES AND PIECE MARK FOR ALL REINFORCING STEEL. THE SHOP DRAWINGS SHALL PROVIDE SUFFICIENT DETAIL TO PERMIT PLACEMENT OF REINFORCEMENT WITHOUT THE USE OF THE DESIGN DRAWINGS AND SHALL INCLUDE A COMPLETE BILL OF MATERIALS.

6.) FABRICATION OF REINFORCING STEEL SHALL NOT COMMENCE UNTIL SUBMITTALS HAVE BEEN REVIEWED BY LANDSCAPE ARCHITECT.

SIDEWALK NOTES:

1.) THESE PLANS INDICATE APPROXIMATE LOCATIONS OF THE CONCRETE SIDEWALKS. DIMENSIONS SHOWN ARE FROM BACK OF CURB OR PROPERTY LINE TO SIDEWALK EDGE AND ARE AT RIGHT ANGLES (OR PERPENDICULAR) TO THE CURB OR PROPERTY LINE. SIDEWALK CONTRACTOR SHALL STAKE SIDEWALK LAYOUT FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION. SET ELEVATIONS OF WALKS FOR POSITIVE DRAINAGE FROM PROPERTY LINE TO CURB. OWNER AND LANDSCAPE ARCHITECT SHALL MAKE FINAL APPROVAL OF FINISHED ELEVATION AND LAYOUT OF FORMS IN THE FIELD PRIOR TO CONCRETE PLACEMENT.

2.) CONTRACTOR SHALL USE FIBERGLASS OR THIN WOOD FORMS TO CREATE SMOOTH AND UNIFORM CURVES ON MEANDERING SIDEWALKS UNLESS OTHERWISE APPROVED BY LANDSCAPE ARCHITECT.

3.) CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 3000 PSI. CONCRETE AND REINFORCING SHALL MEET ALL OTHER APPLICABLE CRITERIA IN THE CONCRETE AND REINFORCEMENT NOTES.

4.) CONTRACTOR TO TIE ALL SIDEWALKS INTO EXISTING WALKS WITH A SMOOTH TRANSITION AND TO MATCH EXISTING WALKS IN COLOR AND FINISH.

5.) CONTRACTOR SHALL COORDINATE SIDEWALK CONSTRUCTION WITH OTHER CONTRACTORS WORKING SIMULTANEOUSLY.

6.) LOCATIONS OF ALL UTILITIES SHOWN ON PLANS ARE APPROXIMATE AND SHALL BE VERIFIED IN FIELD. NOTIFY OWNER OF ANY ELEVATION ADJUSTMENT REQUIRED OF MANHOLES OR UTILITY BOXES. THE APPROPRIATE UTILITY CONTRACTOR WILL MAKE ADJUSTMENT.

7.) STUB OUT WALKS AS SHOWN ON PLANS WITH REDWOOD EXPANSION JOINTS AND 1/2" DOWELS, 12" O.C. TO ALLOW FUTURE CONSTRUCTION. CONTRACTOR SHALL BACKFILL TO TOP OF WALK TO ENSURE NO DOWELS ARE EXPOSED.

8.) CONTROL JOINT LAYOUT AT WALK INTERSECTIONS HAS BEEN SHOWN DIAGRAMMATICALLY ON PLANS AND SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO POURING. WALKS SHALL BE POURED IN SECTIONS WITH NO CORNERS LESS THAN 45 DEGREES TO AVOID FUTURE CRACKING.

NOTE: CONTRACTOR IS RESPONSIBLE FOR PROTECTING HIS WORK FROM VANDALISM OR GRAFFITI PRIOR TO CURING. CONTRACTOR SHALL REPLACE AS NECESSARY ANY SECTIONS OF DAMAGED WALK AT NO ADDITIONAL COST TO THE OWNER.

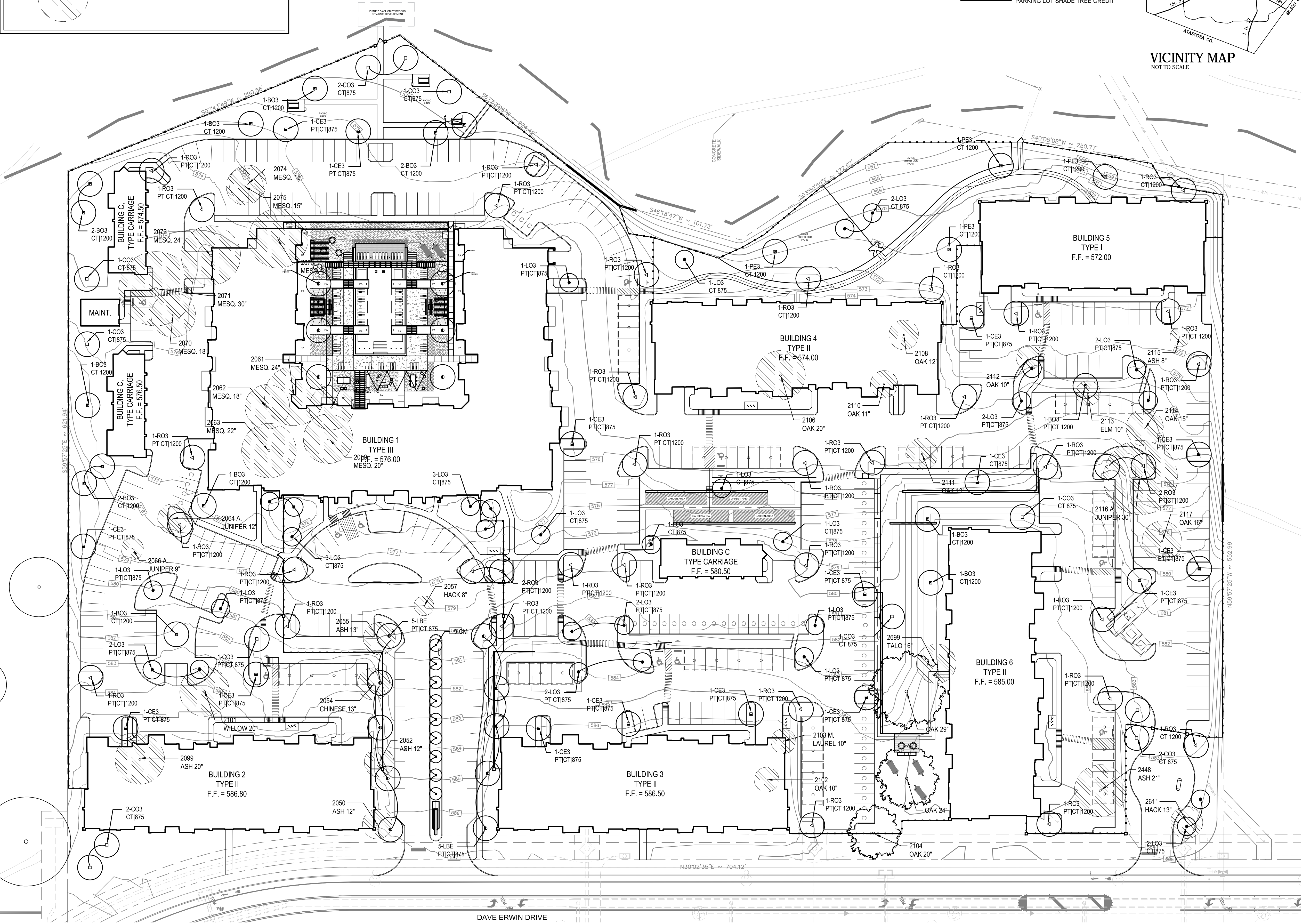
EXISTING TREES



PRESERVED TREE



REMOVED TREE



LABEL LEGEND

- PM

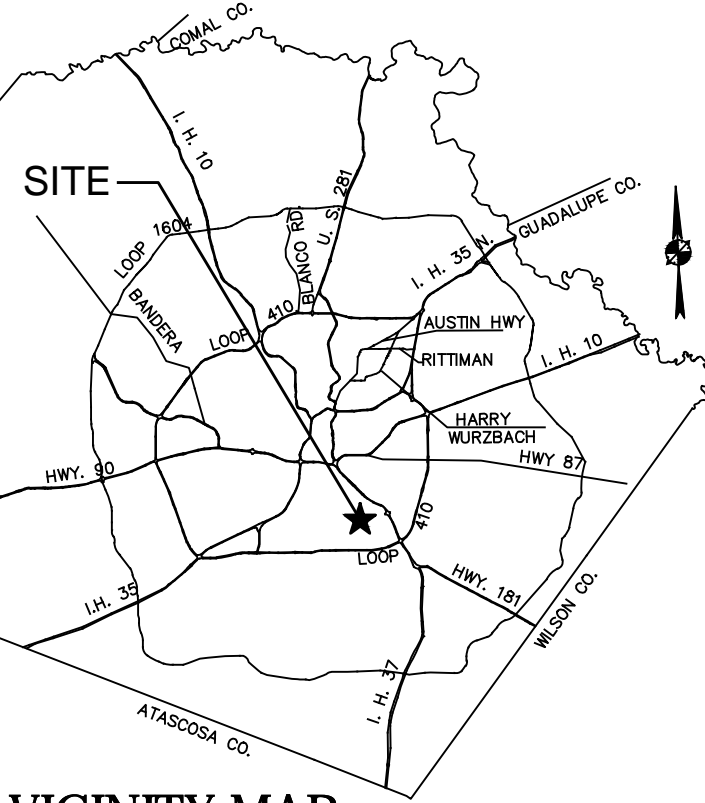
PT | ST | CT | ###
- PLANT NAME

AMOUNT OF SHADE CREDIT
- CANOPY TREE CREDIT

STREET TREE CREDIT

PARKING LOT SHADE TREE CREDIT

VICINITY MAP
NOT TO SCALE





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REVIEW

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Mark V. Padilla 2533

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PROJECT NO | 14059

DATE ISSUED | 15 MAY, 2015

DRAWN BY | MDL

CHECKED BY | MVP

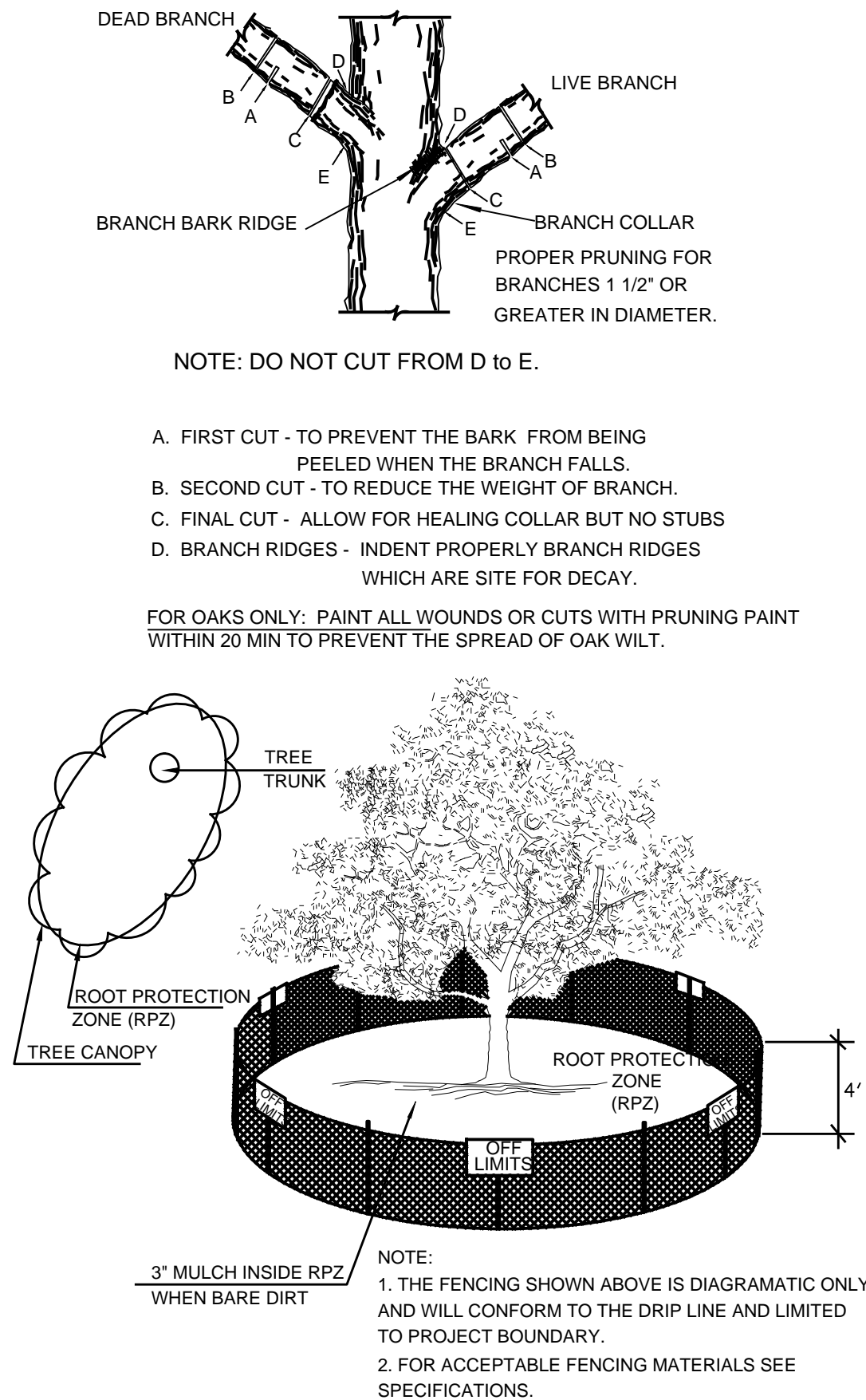
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TREE PLAN

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EXISTING TREE NOTES

1. ALL THE TREES WITH A DIAMETER GREATER THAN 3 INCHES AFFECTED BY CONSTRUCTION SHALL HAVE THE LIMBS AND ROOTS TRIMMED AND PRUNED ACCORDING TO TREE PRUNING, SOIL AMENDING AND FERTILIZATION, UNLESS SPECIFIED TREES SHALL RECEIVE PROTECTION AS SHOWN ON TREE PROTECTION DETAIL ON THIS SHEET.
2. ALL TREES SHALL REMAIN UNLESS NOTED ON THE PLANS.
3. NO SITE PREPARATION WORK SHALL BEGIN IN AREAS WHERE TREE PRESERVATION AND TREATMENT MEASURES HAVE NOT BEEN COMPLETED AND APPROVED BY CITY INSPECTOR.
4. TREE PROTECTION FENCING SHALL BE REQUIRED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION.
5. THE CONTRACTOR SHALL AVOID CUTTING ROOTS LARGER THAN THREE INCHES IN DIAMETER WHEN EXCAVATING NEAR EXISTING TREES. EXCAVATION IN THE VICINITY OF TREES SHALL PROCEED WITH CAUTION. THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR.
6. THE ROOT PROTECTION ZONE IS THAT AREA SURROUNDING A TREE, AS MEASURED BY A RADIUS FROM THE TREE TRUNK, IN WHICH NO EQUIPMENT, VEHICLES OR MATERIALS MAY OPERATE OR BE STORED. THE REQUIRED RADIUS LENGTH IS 1 FOOT PER DIAMETER INCH OF THE TREE. FOR EXAMPLE, A 10-INCH DIAMETER TREE WOULD HAVE A 5-FOOT RADIUS ROOT PROTECTION ZONE AROUND THE TREE. ROOTS OR BRANCHES THAT ARE IN CONFLICT WITH THE CONSTRUCTION SHALL BE CUT CLEANLY ACCORDING TO PROPER PRUNING METHODS. LIVE OAK WOUNDS SHALL BE PAINTED OVER, WITHIN 20 MINUTES TO PREVENT OAK WILT.
7. ACCESS TO FENCED AREAS WILL BE PERMITTED ONLY WITH THE APPROVAL OF THE ENGINEER OR CITY INSPECTOR.
8. GRADING, IF REQUIRED, SHALL BE LIMITED TO A 3 INCH CUT OR FILL WITHIN THE FENCED ROOT ZONE AREAS.
9. TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS SHALL BE REMOVED BY HAND AS DIRECTED BY THE PROJECT MANAGER OR CITY INSPECTOR.
10. TREES DAMAGED OR LOST DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED TO THE ENGINEER'S SATISFACTION.
11. EXPOSED ROOTS SHALL BE COVERED AT THE END OF EACH DAY USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET BURLAP.
12. ANY TREE REMOVAL SHALL BE APPROVED BY THE CITY ARBORIST PRIOR TO ITS REMOVAL.



1 EXISTING TREE PROTECTION

ELEVATION - PLAN - 3D VIEW NOT TO SCALE

BROOKS II TREE INVENTORY

Tag #	Species	Size	Understory Species* 5.0" - 11.5"		Significant Tree 6" - 23.5"		Significant Tree** 10.0" - 23.5"		Heritage 3:1		Heritage 1:1	
			Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved	Removed	Preserved
2050	ASH	12					12					
2052	ASH	12					12					
2054	CHINESE	13			13							
2055	ASH	13					13					
2057	HACKBERRY	8	8									
2059	MESQUITE	20					20					
2060	MESQUITE	18					18					
2061	MESQUITE	24							24			
2062	MESQUITE	18					18					
2063	MESQUITE	22					22					
2064	A. JUNIPER	12					12					
2066	A. JUNIPER	9	9									
2068	A. JUNIPER	24							24			
2070	MESQUITE	18					18					
2071	MESQUITE	30							30			
2072	MESQUITE	24							24			
2073	MESQUITE	24							24			
2074	MESQUITE	15					15					
2075	MESQUITE	15					15					
2076	HACKBERRY	12					12					
2078	ASH	16					16					
2080	HACKBERRY	8	8									
2082	A. JUNIPER	15					15					
2084	A. JUNIPER	20					20					
2086	HACKBERRY	8	8									
2088	REDBUD	10			10							
2090	OAK	40							40			
2092	OAK	20					20					
2094	ASH	32							32			
2095	ASH	36							36			
2097	ELM	16			16							
2098	ASH	20					20					
2099	ASH	20					20					
2101	WILLOW	20			20							
2102	M. LAUREL	10			10							
2103	M. LAUREL	10			10							
2104	OAK	20						20				
2106	OAK	20					20					
2108	OAK	12					12					
2110	OAK	11					11					
2111	OAK	13					13					
2112	OAK	10					10					
2113	ELM	10			10							
2114	OAK	15										
2115	ASH	8	8				15					
2116	A. JUNIPER	30							30			
2117	OAK	16					16					
2611	HACKBERRY	13			13							
	OAK	24								24		
	OAK	29								29		
Sub. Tot. Inches=			41	0	102	0	395	20	264	53	0	0
Total inches by category=				41		102		415		317		0
Preservation percentage=			0%		Significant Preservation		4%		Heritage Preservation		17%	
Mitigation required (Commercial) =			16.4		Commercial (inches)		393.6					
Mitigation required (Residential) =			14.35		Residential (inches)		393.6		Heritage Mitigation (inches)		792	

NOTE: **MDP AP#1450854**
INVENTORY FOR CLARITY NOT FOR TREE
PRESERVATION. SITE HAS VESTED RIGHTS
AND DOES NOT REQUIRE MITIGATION

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NRP GROUP

Brooks II Multifamily Development

Dave Erwin Drive
San Antonio, Texas 78223

PROJECT NO | 14059

DATE ISSUED | 15 MAY, 2015

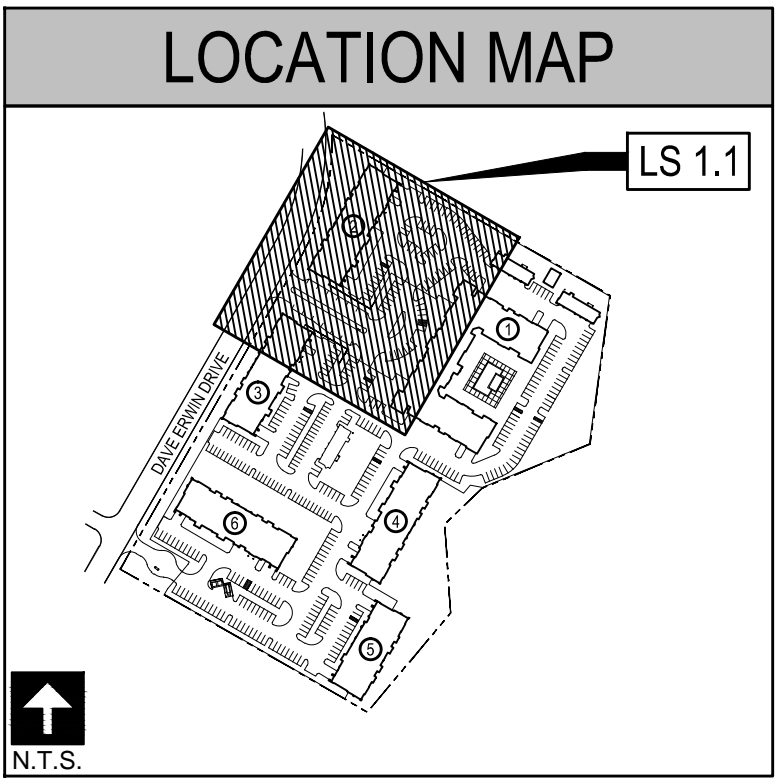
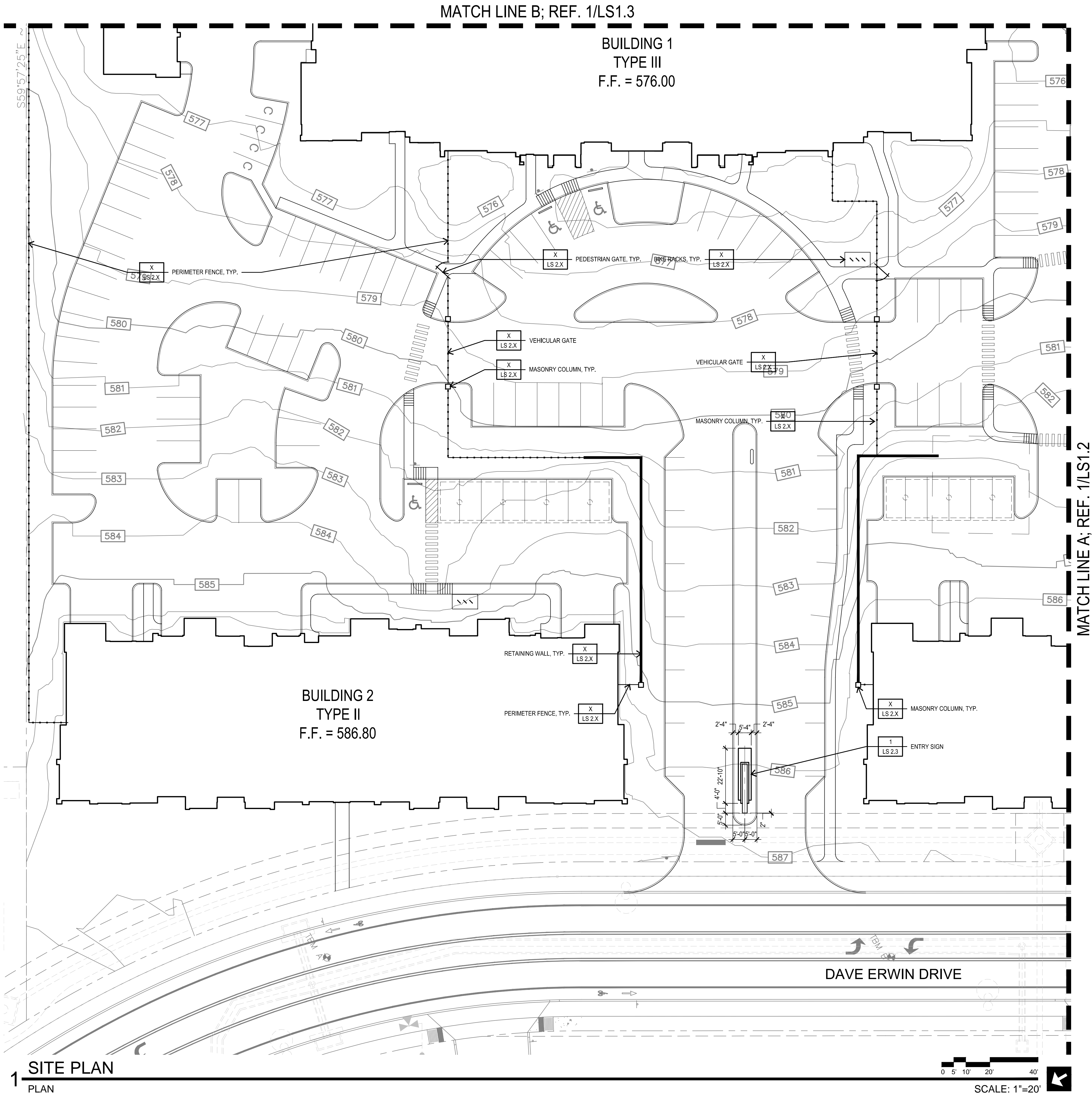
DRAWN BY | MDL

CHECKED BY | MVP

SHEET TITLE | TREE PLAN

SHEET NO |

TP 1.2



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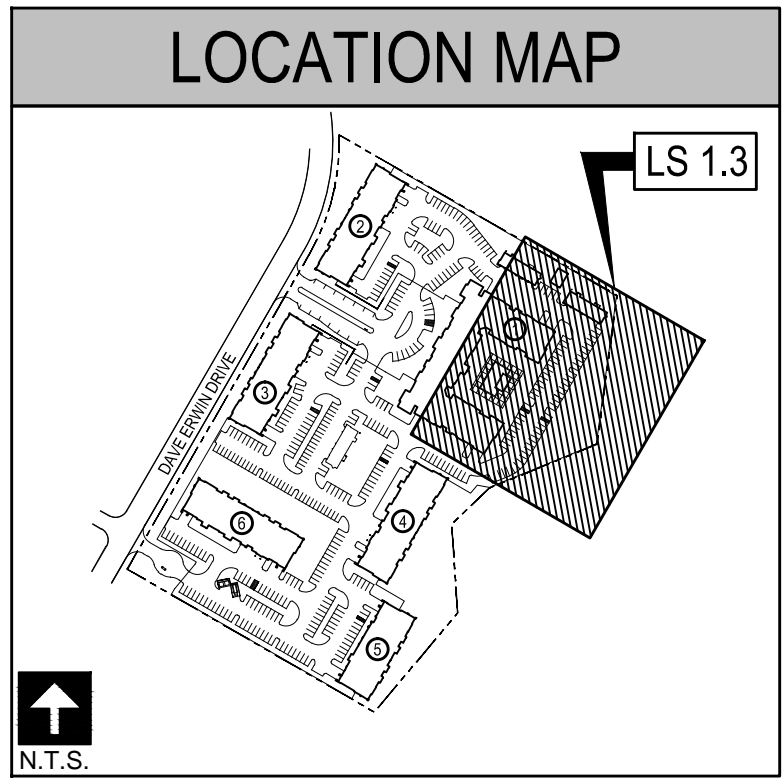
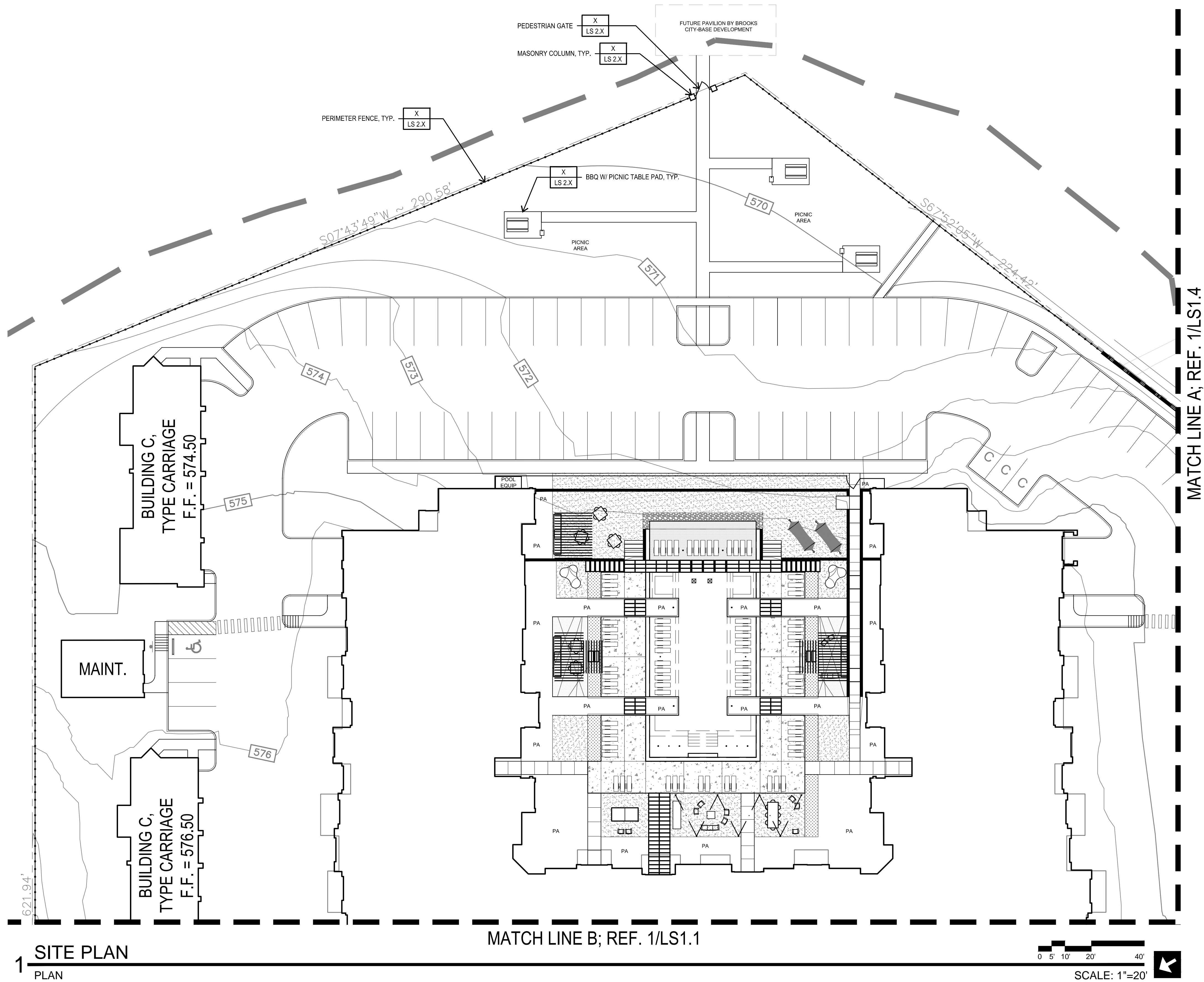
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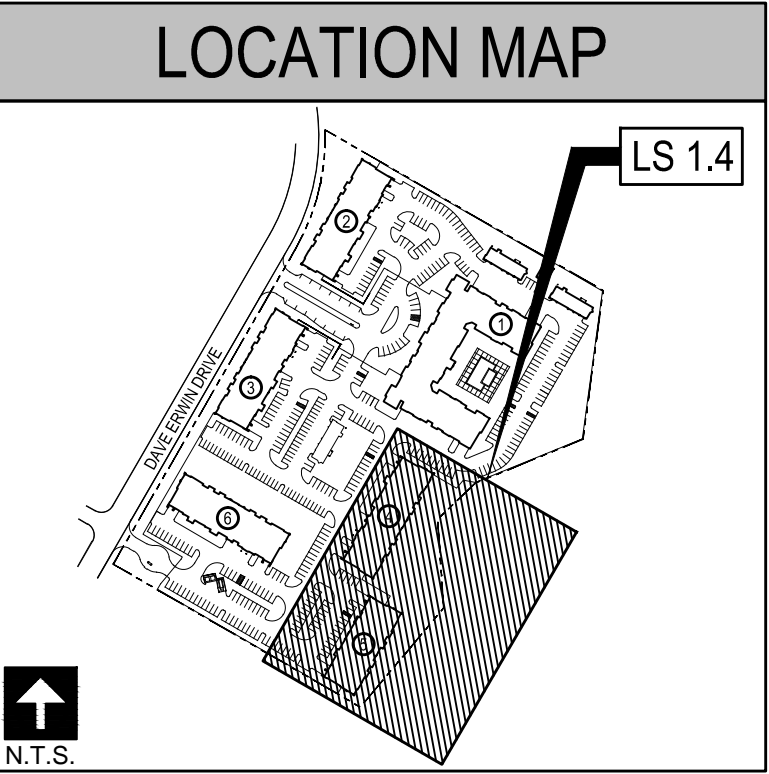
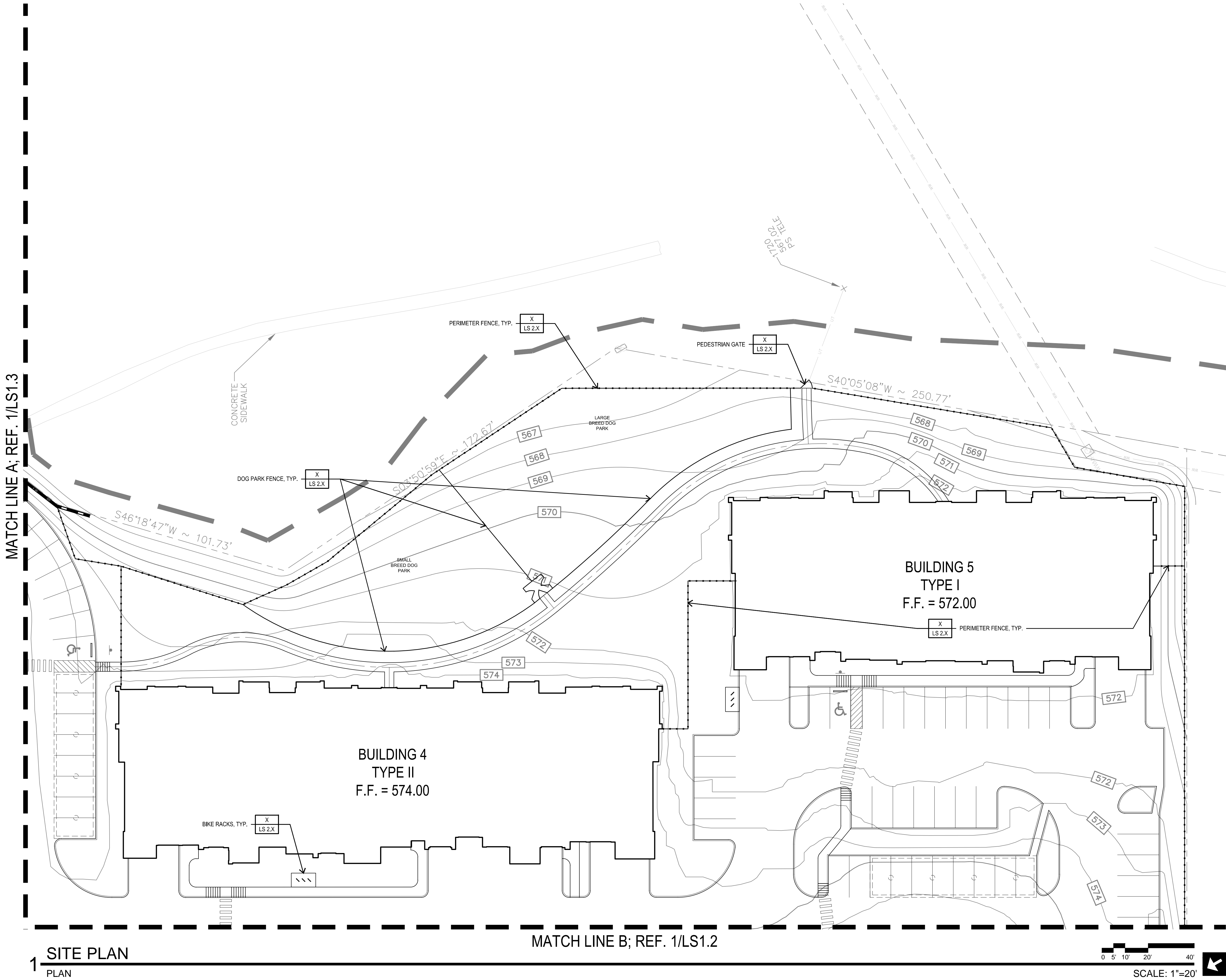
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SHEET TITLE | LANDSCAPE SITE PLAN

SHEET NO |

LS 1.3



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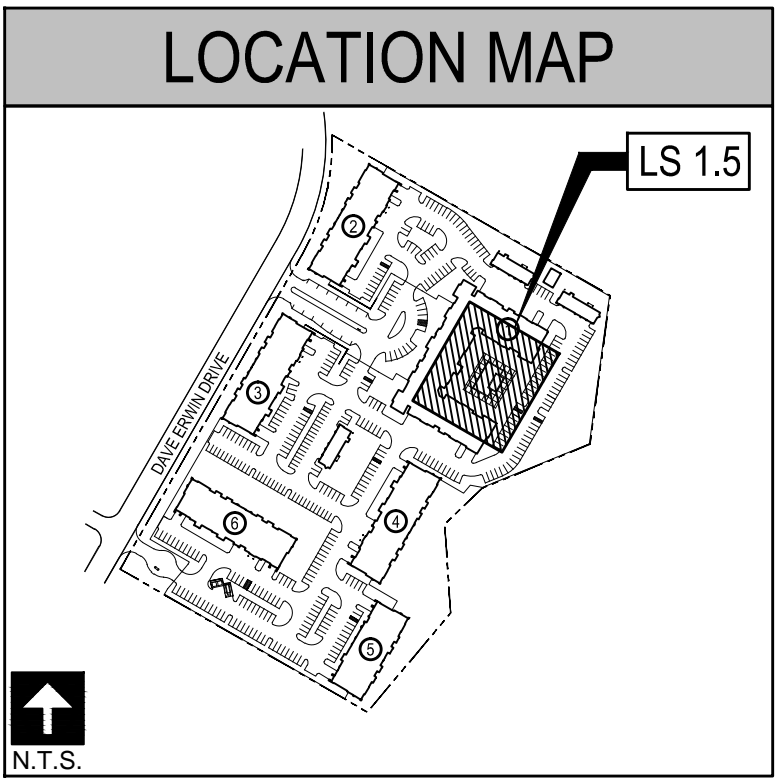
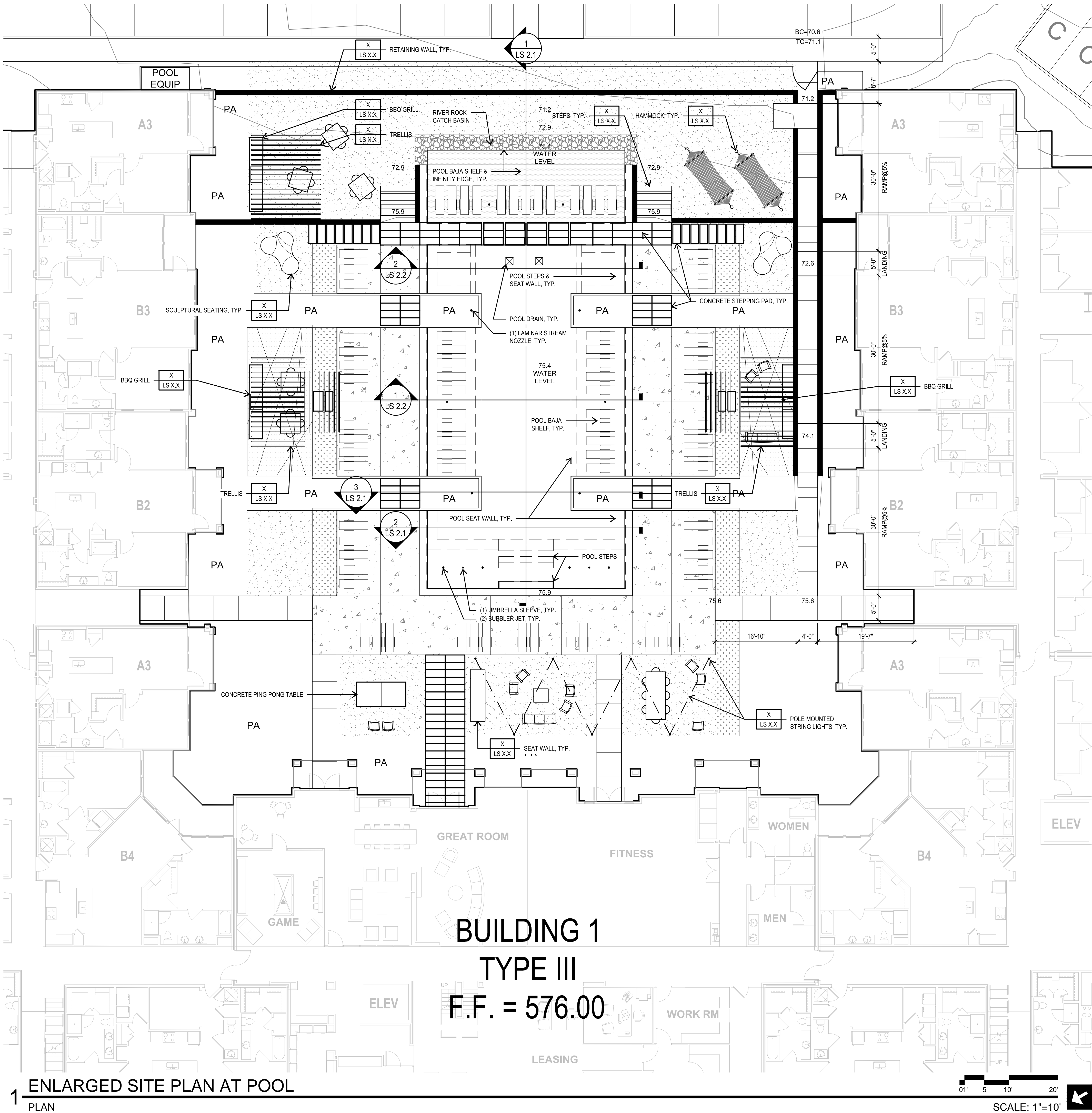
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SHEET TITLE | LANDSCAPE SITE PLAN

SHEET NO |

LS 1.4



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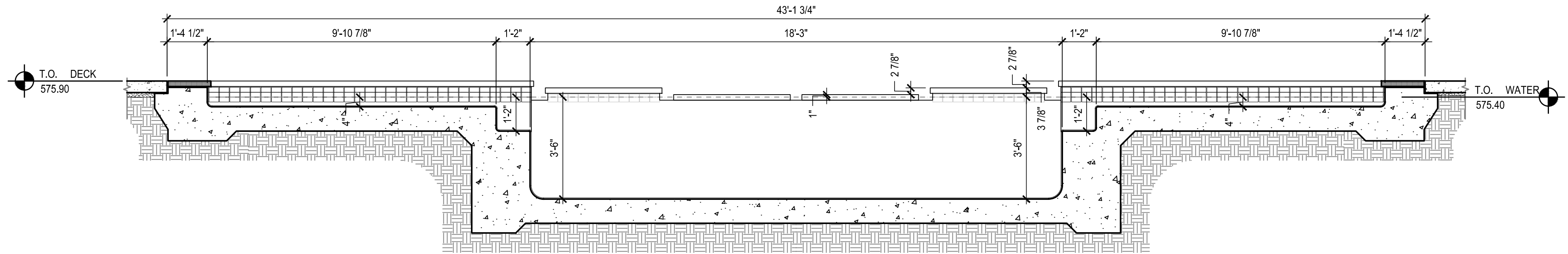
Project |

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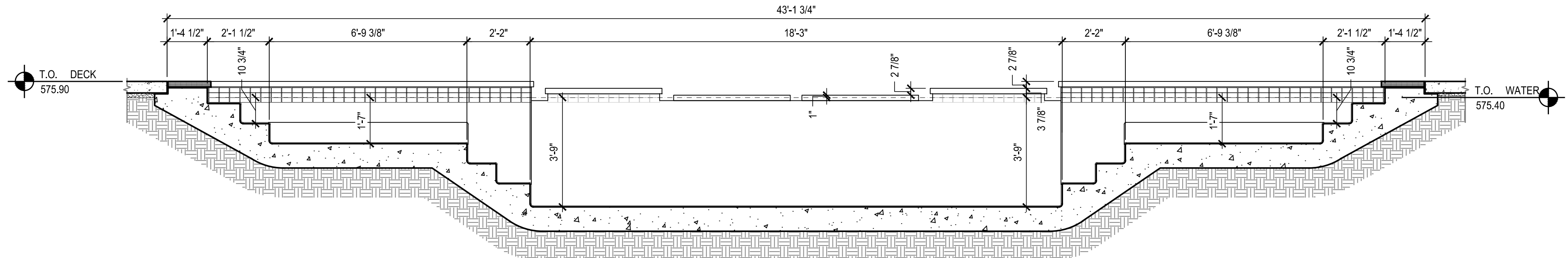
PROJECT NO	14059
DATE ISSUED	15 MAY, 2015
DRAWN BY	MDL
CHECKED BY	MVP
SHEET TITLE	LANDSCAPE SITE PLAN
SHEET NO	LS 1.5



GENERAL NOTE:
SWIMMING POOL DETAILS ARE FOR REFERENCE PURPOSES ONLY. POOL CONTRACTOR TO SUBMIT SHOP DRAWINGS STAMPED AND SIGNED BY A LICENSED, STATE OF TEXAS STRUCTURAL ENGINEER. SHOP DRAWINGS ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION. THE POOL CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT IF DESIGN OR LAYOUT CONFLICTS WITH ANY CODES.

1 POOL
CROSS SECTION AT BAJA SHELVES

SCALE: 3/8"=1'-0"



GENERAL NOTE:
SWIMMING POOL DETAILS ARE FOR REFERENCE PURPOSES ONLY. POOL CONTRACTOR TO SUBMIT SHOP DRAWINGS STAMPED AND SIGNED BY A LICENSED, STATE OF TEXAS STRUCTURAL ENGINEER. SHOP DRAWINGS ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION. THE POOL CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT IF DESIGN OR LAYOUT CONFLICTS WITH ANY CODES.

2 POOL
CROSS SECTION AT SEATING WELLS

SCALE: 3/8"=1'-0"



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SHEET TITLE |

LANDSCAPE
SITE DETAILS

SHEET NO |

LS 2.2



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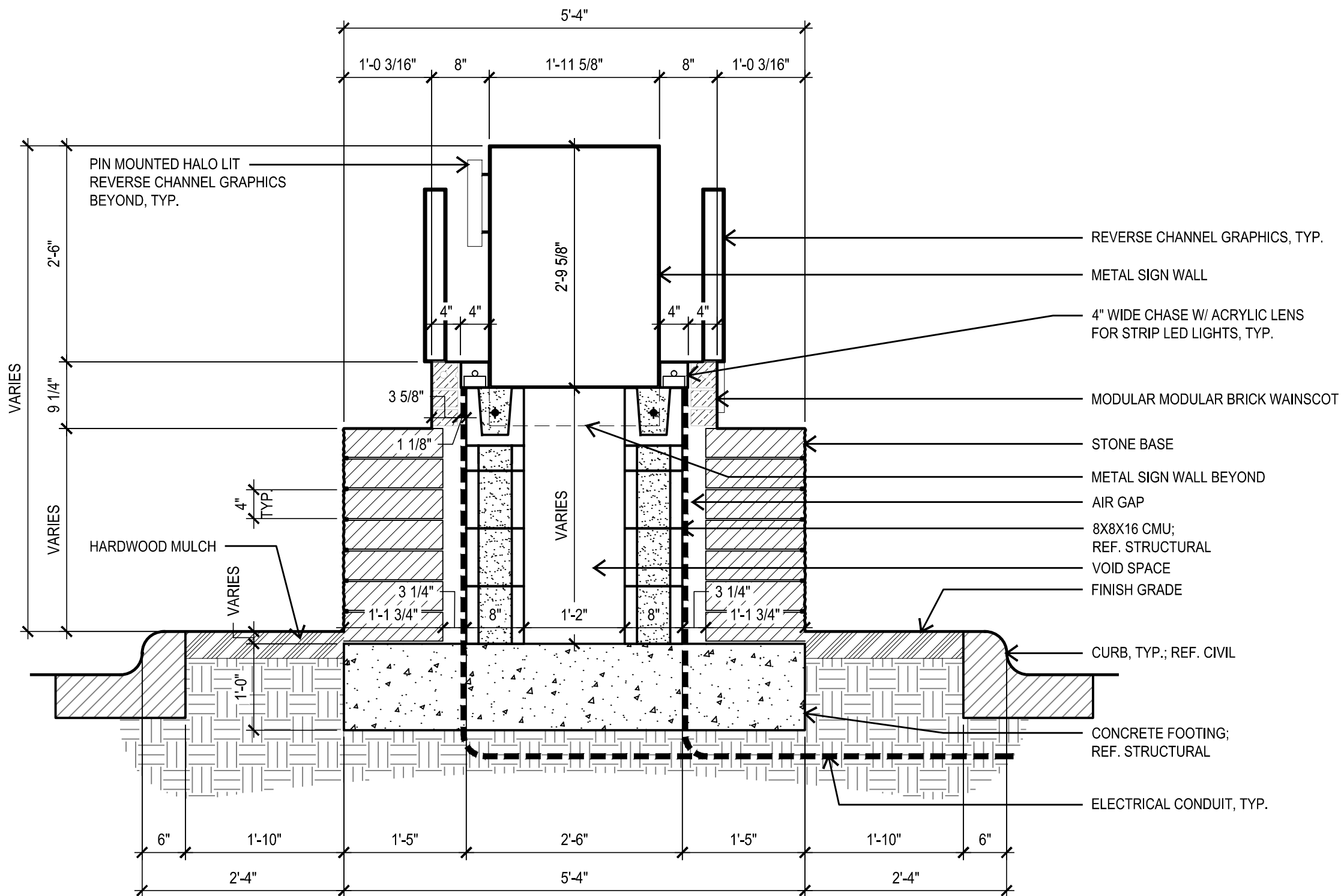
SHEET TITLE |

**LANDSCAPE
SITE DETAILS**

SHEET NO |

LS 2.4

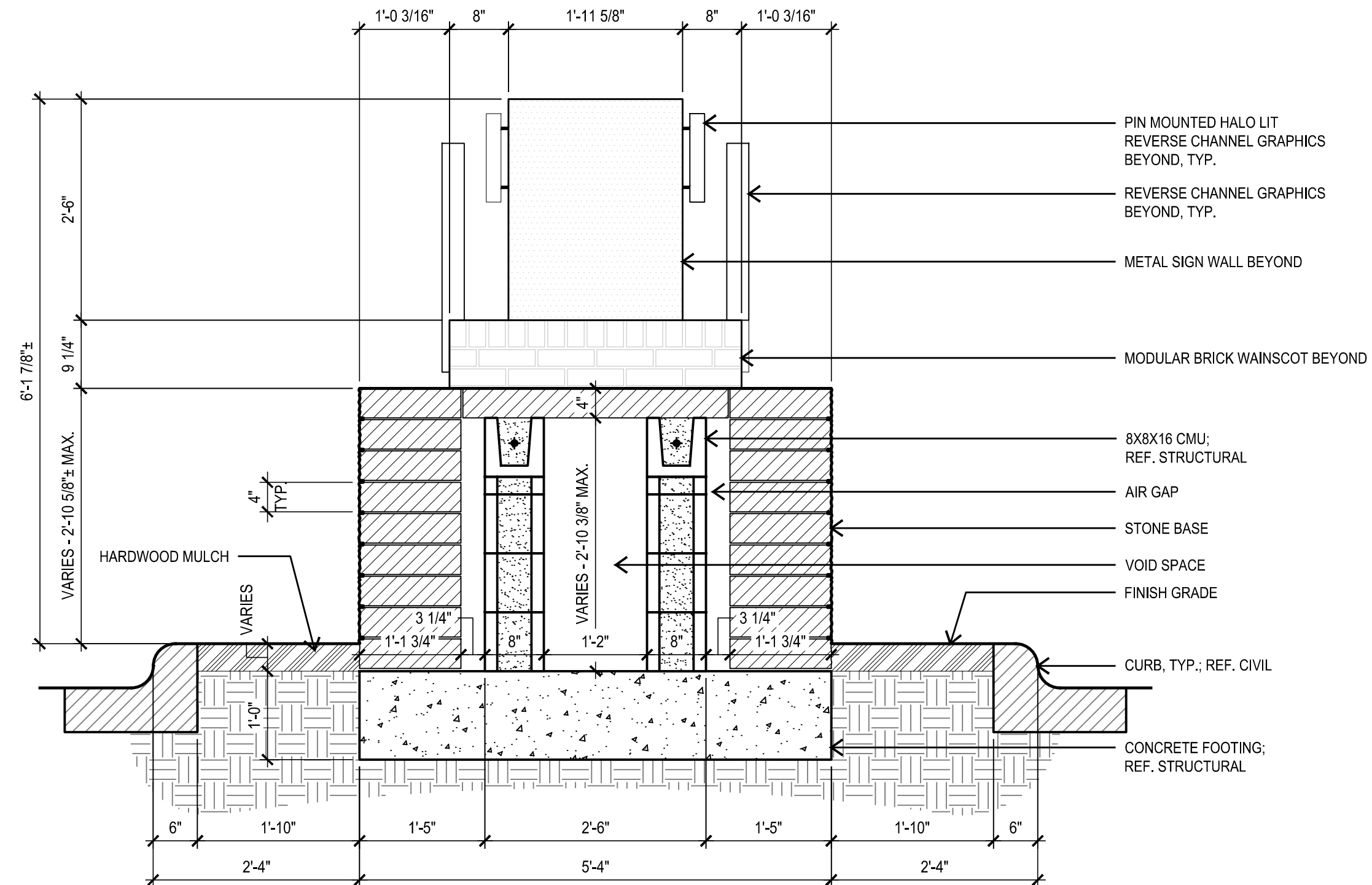
GENERAL NOTE:
METAL SIGN WALL, GRAPHICS & LIGHTING DETAILS ARE FOR REFERENCE PURPOSES ONLY. SIGN CONTRACTOR TO SUBMIT SHOP DRAWINGS STAMPED AND SIGNED BY A LICENSED, STATE OF TEXAS STRUCTURAL ENGINEER. SHOP DRAWINGS ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION. THE SIGN CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT IF DESIGN OR LAYOUT CONFLICTS WITH ANY CODES.



1 ENTRY SIGN

SECTION AT SIGN WALL

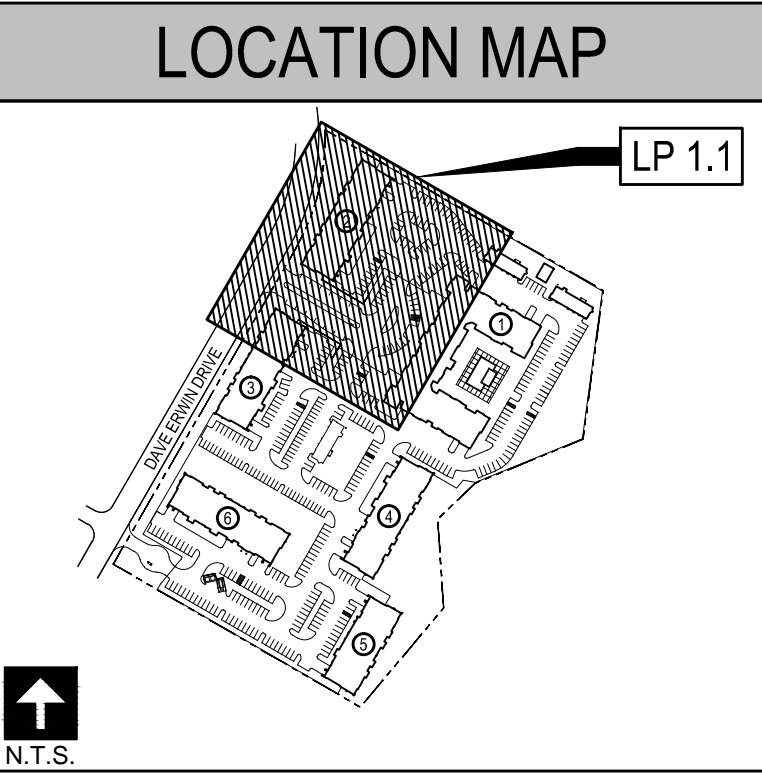
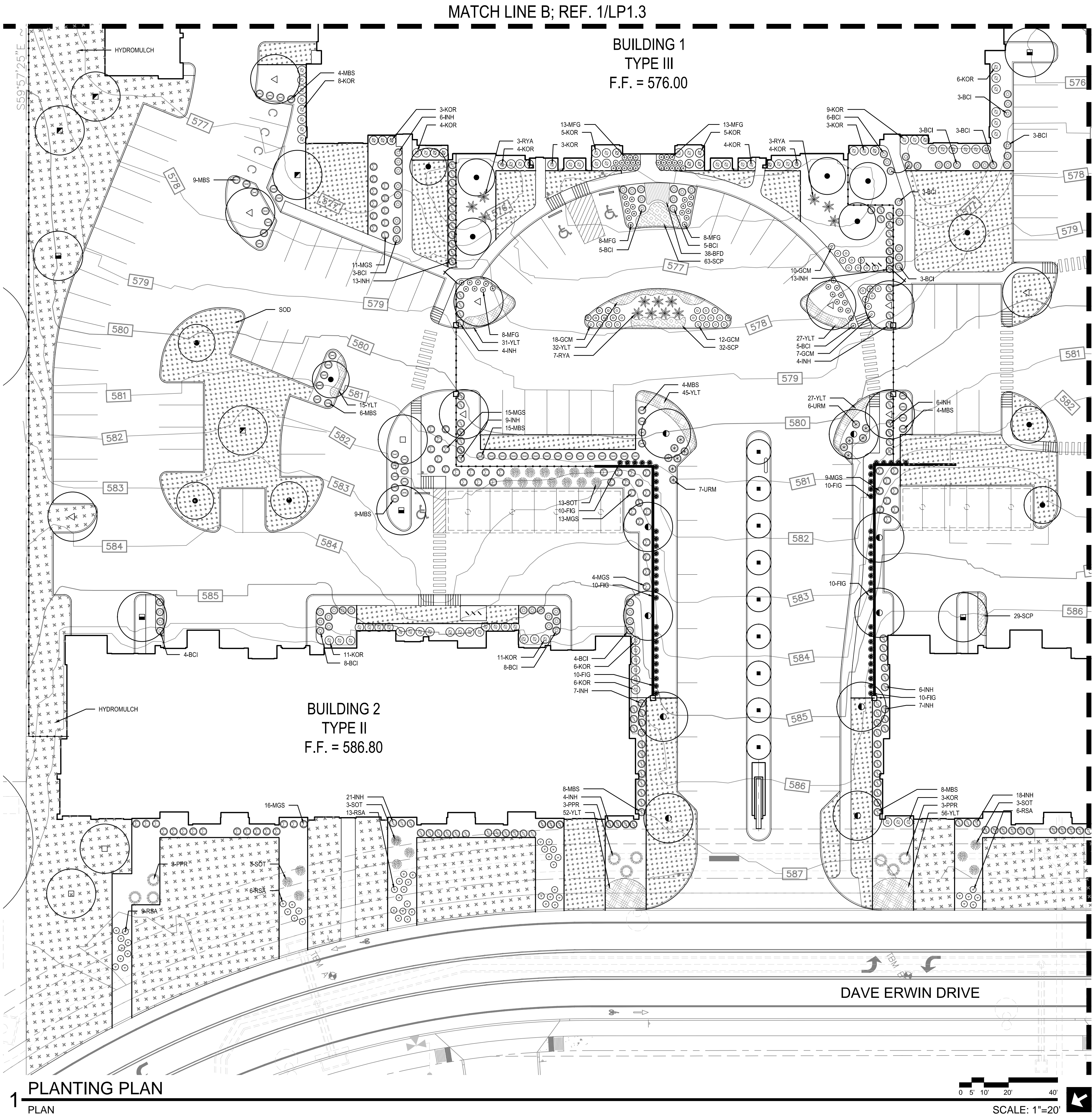
SCALE: 3/4"=1'-0"



2 ENTRY SIGN

SECTION AT STONE BASE

SCALE: 3/4"=1'-0"



LANDSCAPE ORDINANCE COMPLIANCE		
PROPERTY DESCRIPTION: PROPERTY DESCRIPTION: BROOKS II - MULTIFAMILY; DAVE ERWIN DR. ZONE: MF-33 CITY OF SAN ANTONIO BROOKS CITY BASE AEROSPACE & MEDICAL HISTORICAL OWNERS REPRESENTATIVE: RYAN MOODY; NRP GROUP LLC. WATER METHOD: 1.5" IRRIGATION METER		
MANDATORY CRITERIA:		
1. IRRIGATION. LANDSCAPED AREAS SHALL BE IRRIGATED WITH A SYSTEM THAT IS SUITABLE FOR THE TYPE OF PLANTINGS INSTALLED. AN IRRIGATION SYSTEM CONSISTING OF A DEDICATED IRRIGATION METER WATER LINE, WATER EMITTERS AND A CONTROLLER IS REQUIRED TO HAVE A SEPARATE WATER SERVICE IF THE SAWS IS A PURVEYOR.		
ELECTIVE REQUIREMENTS: (MINIMUM 25 POINTS REQUIRED)		
ELECTIVE CRITERIA:		POINTS PROVIDED
1. PARKING LOT SHADING. TWENTY (20) POINTS ARE AWARDED FOR COMPLIANCE WITH SUBSECTION (c)(7), ABOVE. FURTHER, AN ADDITIONAL: A) FIVE (5) POINTS ARE AWARDED WHEN SURFACE PARKING LOTS INCLUDE CANOPY TREES, AS DEFINED IN APPENDIX "A", WHICH SHADE A MINIMUM OF THIRTY-FIVE (35) PERCENT OF ANY INDIVIDUAL PARKING LOT; AND B) FIFTEEN (15) POINTS ARE AWARDED WHEN SURFACE PARKING LOTS INCLUDE CANOPY TREES, AS DEFINED IN APPENDIX "A", WHICH SHADE A MINIMUM OF FIFTY (50) PERCENT OF ANY INDIVIDUAL PARKING LOT.		(35) POINTS
PARKING LOT AREA = 65,320 SF @ 25% =		16,330 SF REQUIRED
SHADING PROVIDED:		
(2) LACEBARK ELM @ 875 SF (75% CREDIT) =		1,312 SF
(8) LACEBARK ELM @ 875 SF (50% CREDIT) =		3,500 SF
(12) CEDAR ELM @ 875 SF (75% CREDIT) =		7,875 SF
(2) CEDAR ELM @ 875 SF (50% CREDIT) =		875 SF
(31) SHUMARD RED OAK @ 1200 SF (75% CREDIT) =		27,900 SF
(1) SHUMARD RED OAK @ 1200 SF (50% CREDIT) =		600 SF
(15) LIVE OAK @ 875 SF (75% CREDIT) =		9,843 SF
(1) CHINQUAPIN OAK @ 875 SF (75% CREDIT) =		656 SF
(1) BURR OAK @ 1200 SF (75% CREDIT) =		900 SF
TOTAL SF		53,461 SF (81%)
		TOTAL POINTS PROVIDED (35) POINTS

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PROJECT NO	14059
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SHEET TITLE	LANDSCAPE PLANTING PLAN
SHEET NO	LP 1.1

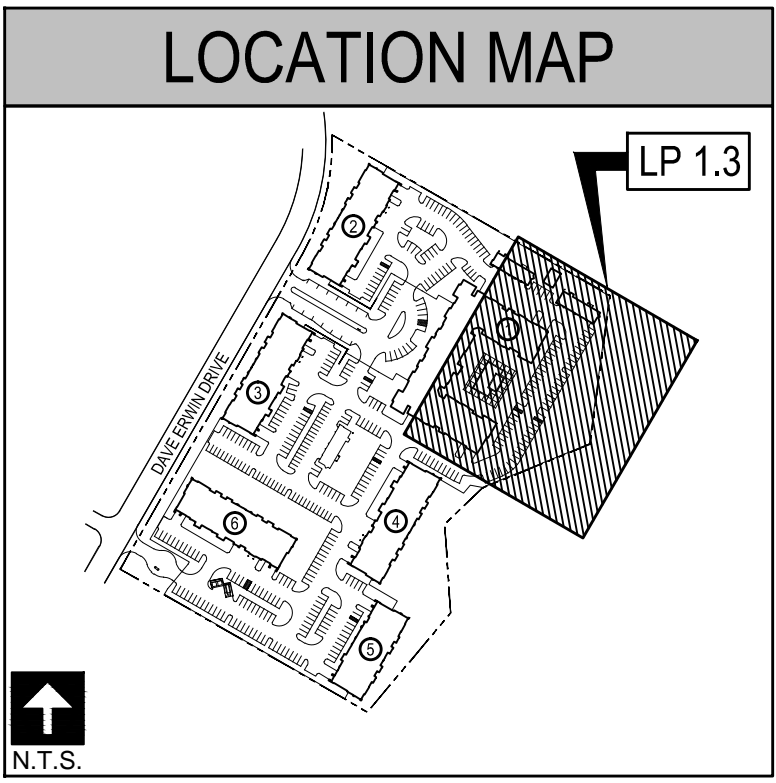
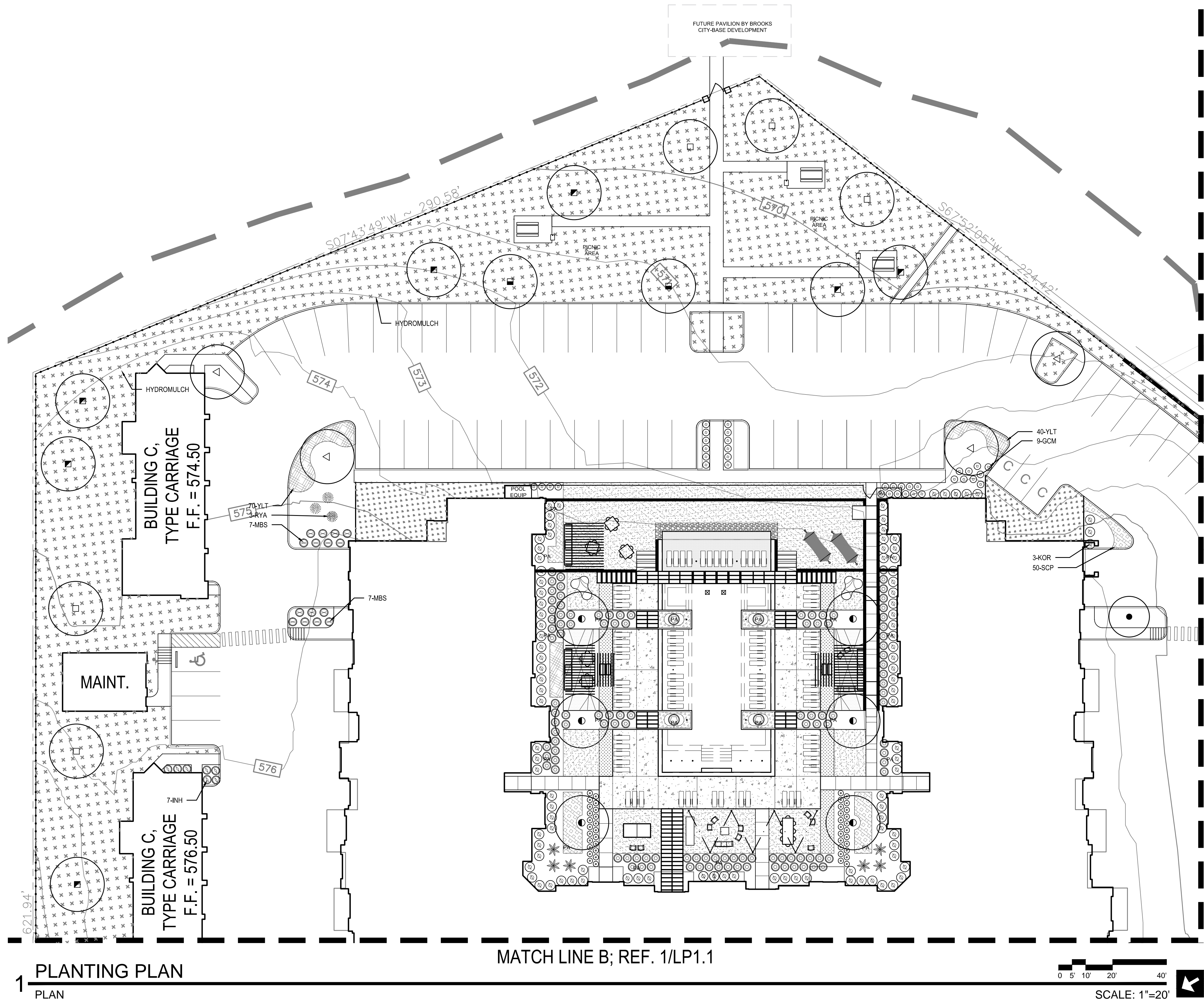
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1 PLANTING PLAN

[illegible]

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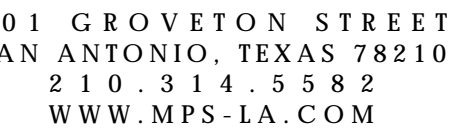
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SHEET TITLE | LANDSCAPE PLANTING PLAN

SHEET NO |

LP 1.3



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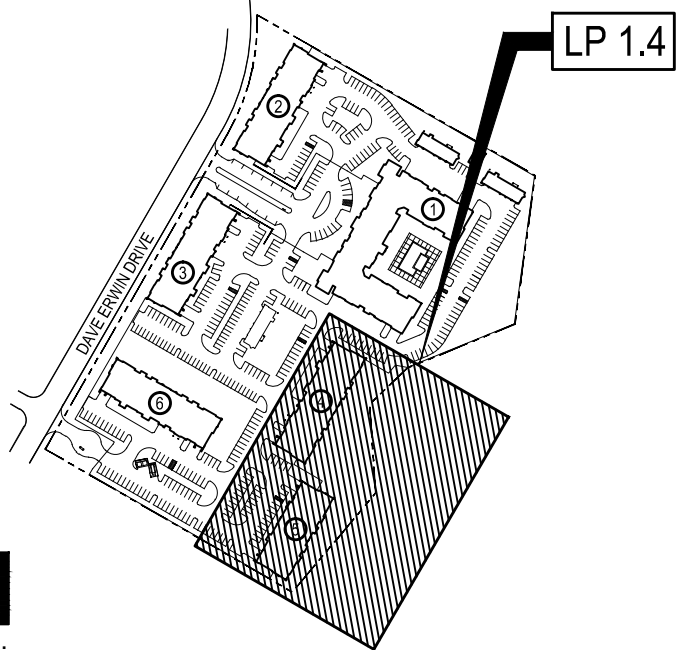
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LOCATION MAP



 N.T.S.

MATCH LINE A; REF. 1/LP1.3

CONCRETE
SIDEWALK

1720 02 E
567.1 E
PS

S40°05'08"W ~ 250.77'

BUILDING 5
TYPE I
F.F. = 572.00

BUILDING 4
TYPE II
F.F. = 574.00

MATCH LINE B; REF. 1/LP1.2

PLANTING PLAN

PLAN

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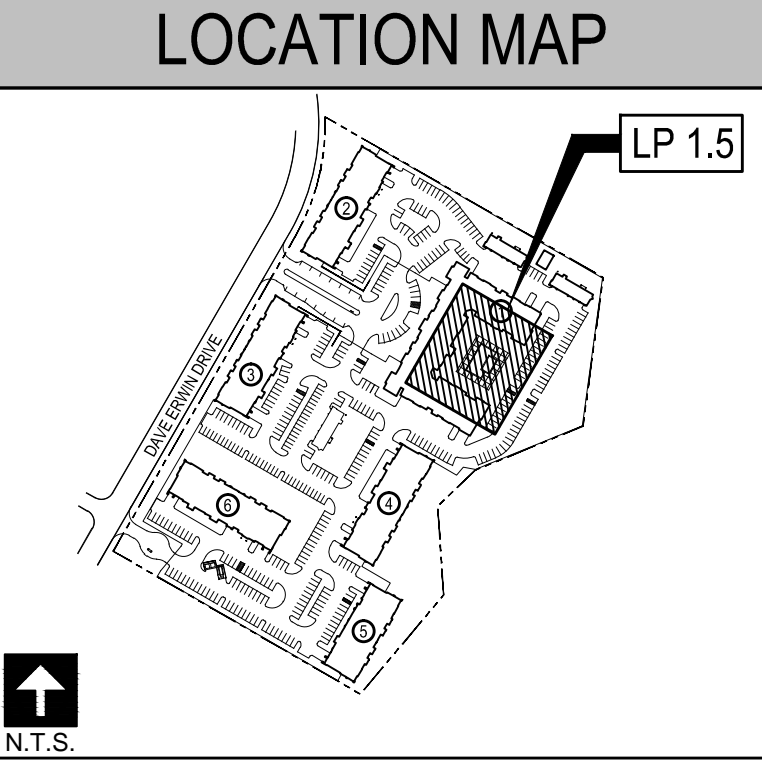
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SHEET TITLE |

LANDSCAPE PLANTING PLAN

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SHEET TITLE |

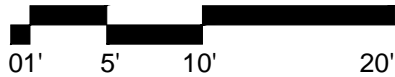
LANDSCAPE PLANTING PLAN

SHEET NO |

LP 1.5

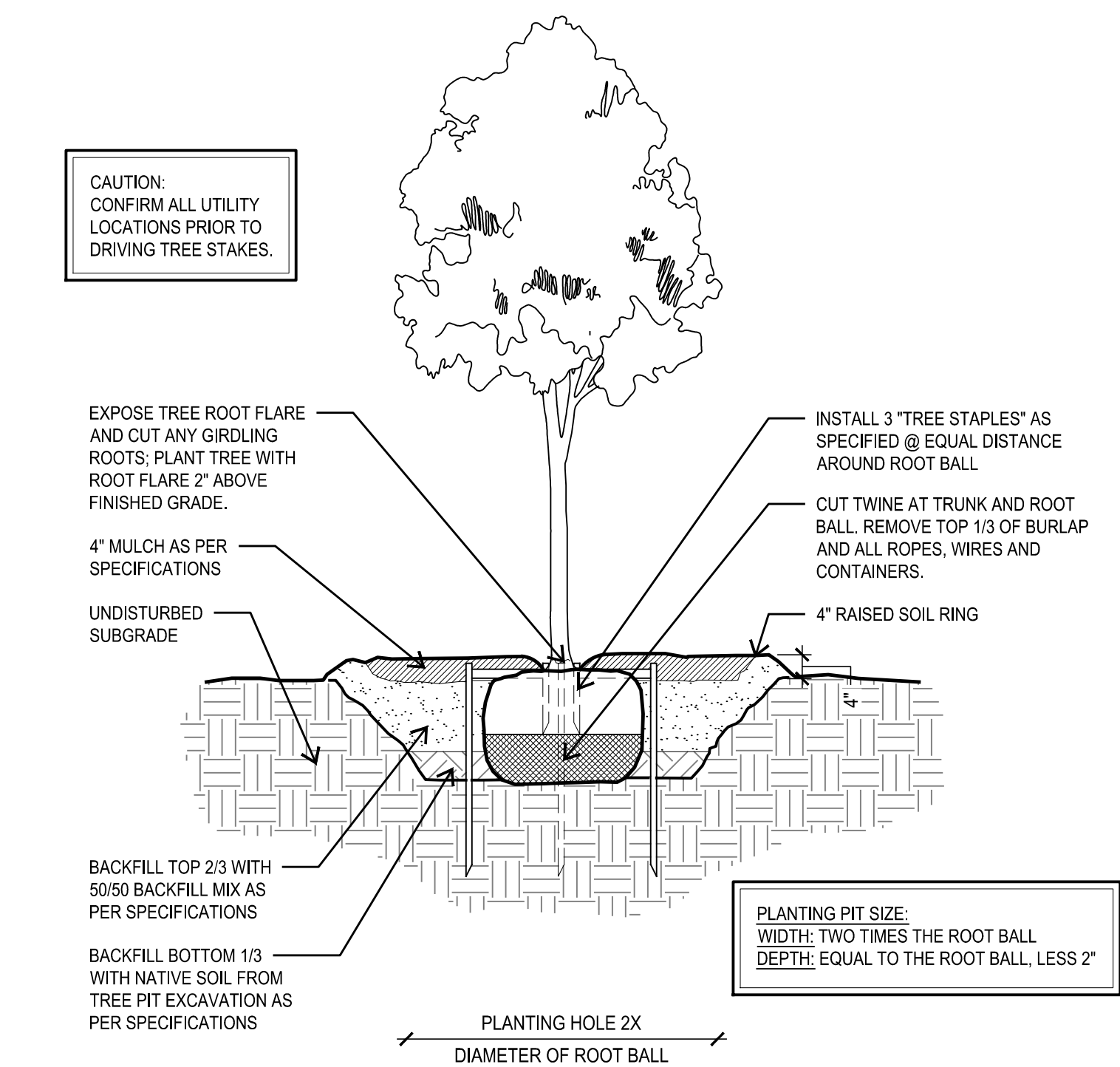
BUILDING 1
TYPE III
F.F. = 576.00

1 ENLARGED PLANTING PLAN AT POOL

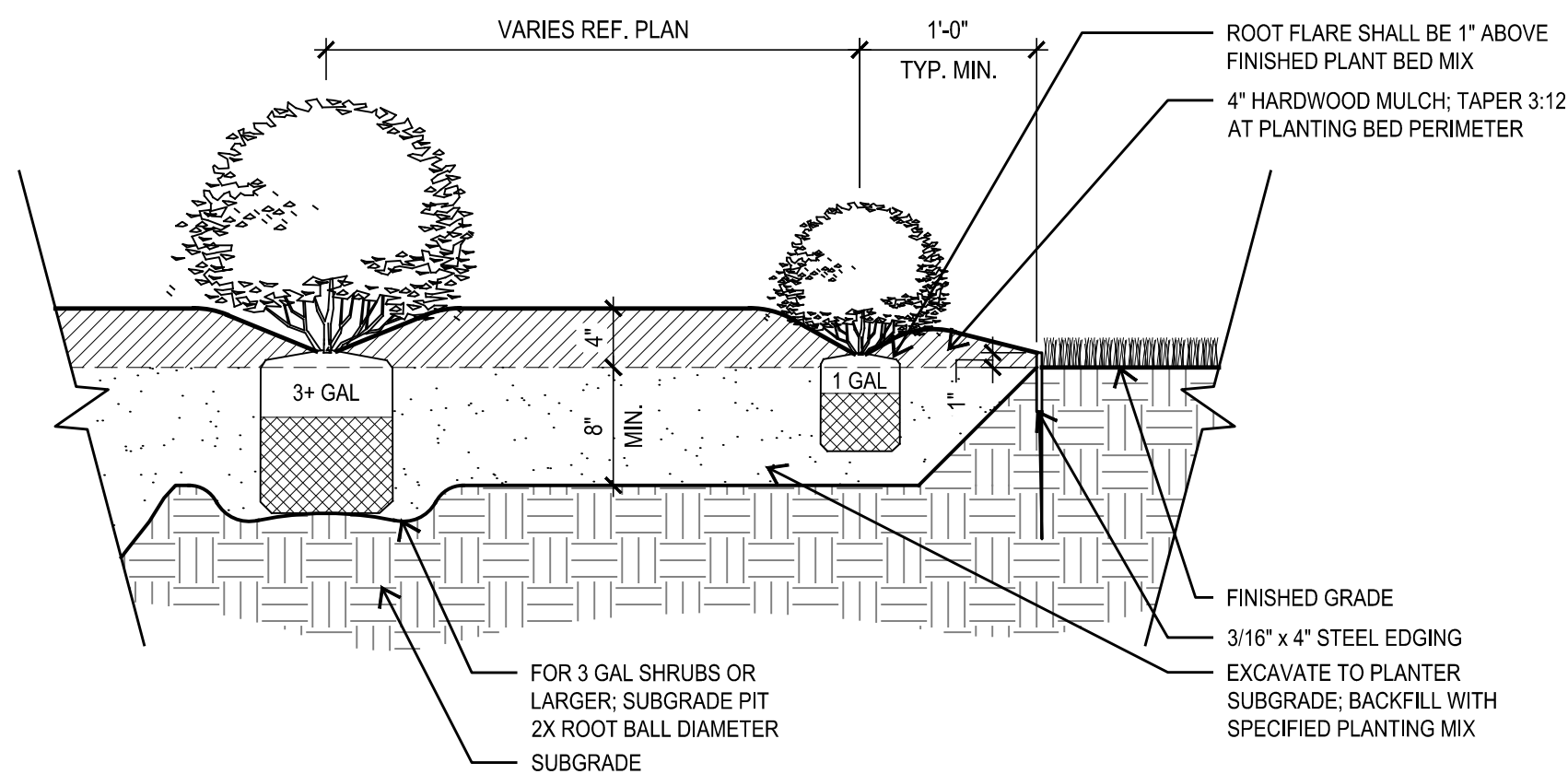


SCALE: 1"=10'

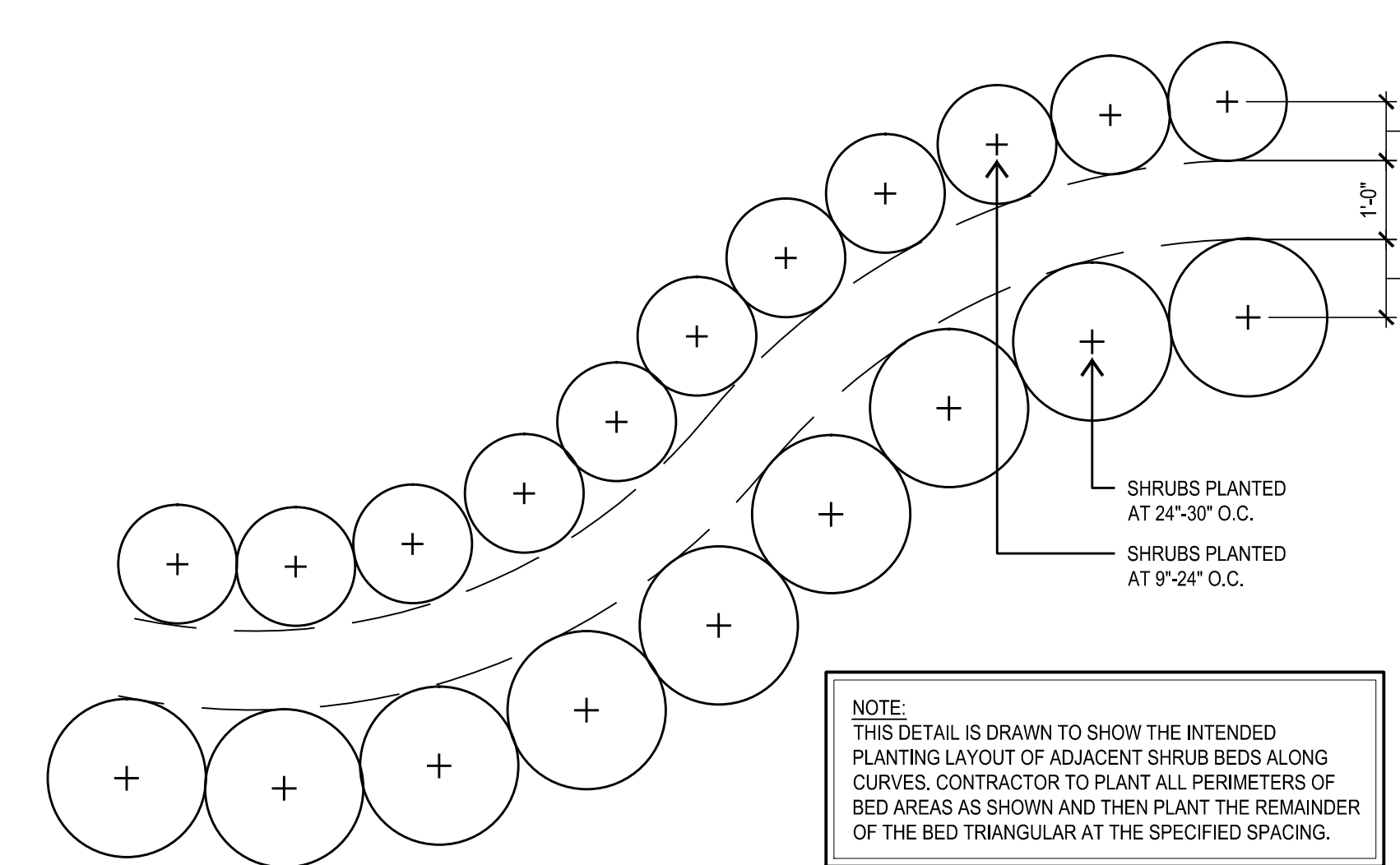




1 TYPICAL TREE PLANTING AT LAWN
SECTION SCALE: 1/2"=1'-0"



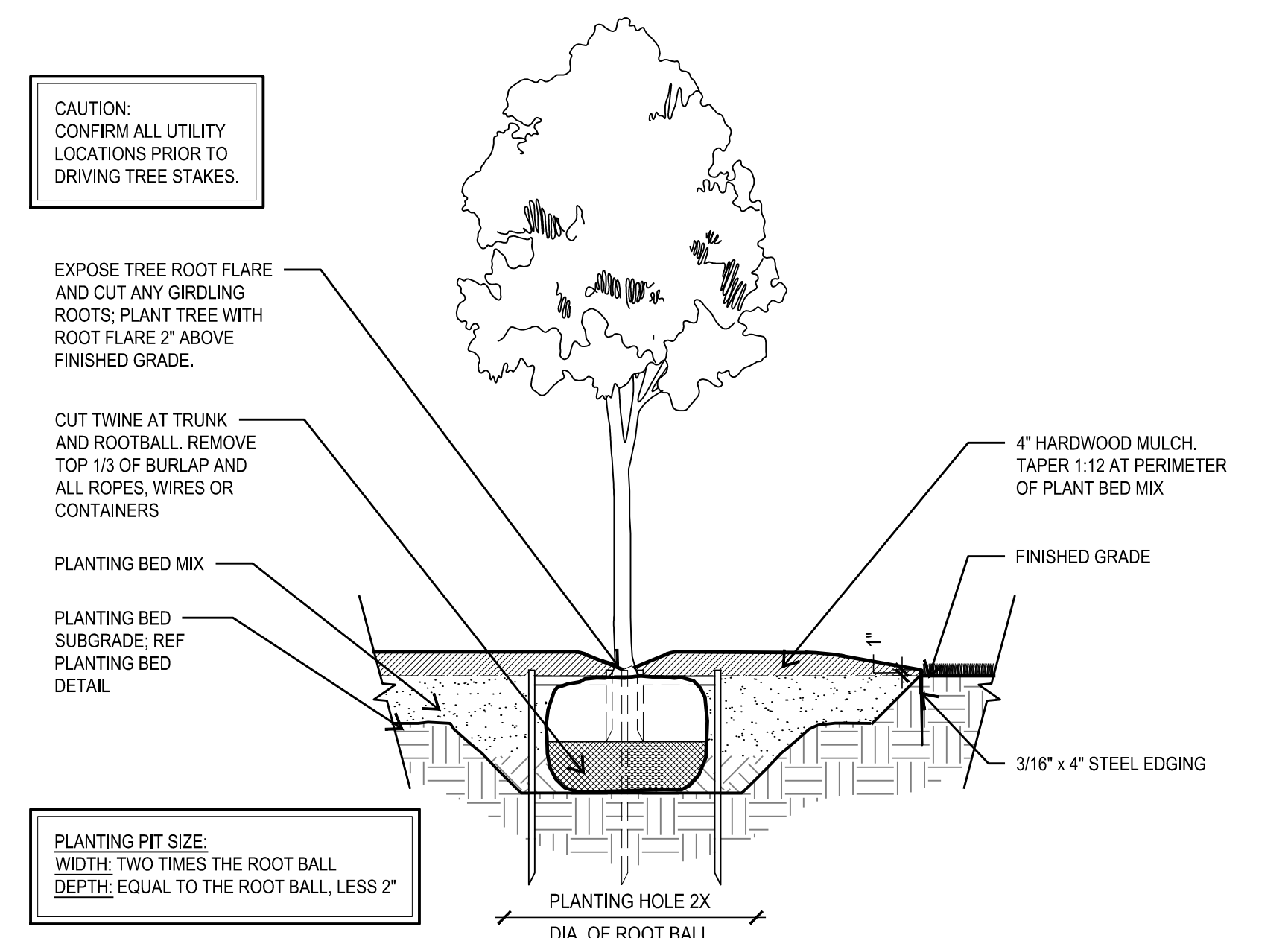
2 TYPICAL TREE PLANTING AT BED
SECTION SCALE: 1/2"=1'-0"



3 TYPICAL SHRUB PLANTING
SECTION SCALE: 1"=1'-0"



4 TYPICAL SHRUB SPACING
PLAN SCALE: 1"=1'-0"



5 TYPICAL TREE PLANTING AT BED
SECTION SCALE: 1/2"=1'-0"

GENERAL NOTES

LANDSCAPE CONTRACTOR SHALL ACCEPT THE SITE IN ITS EXISTING CONDITION AND SHALL TIE NEW WORK TO EXISTING CONDITIONS AND CONTROLS (SUCH AS EXISTING GRADES AND WALK ELEVATIONS) AS NECESSARY TO MEET THE INTENT OF THE PLANS.

BEFORE PROCEEDING WITH ANY WORK IN AN AREA, LANDSCAPE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LAYOUTS AND SIZES AND SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL SITE CONDITIONS. IF ANY UTILITIES OR OBSTRUCTIONS ARE DISCOVERED DURING CONTRACT WHICH MAY NOT HAVE BEEN KNOWN DURING DESIGN, CONTRACTOR SHALL STOP WORK AND IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT BEFORE PRECEDING. LANDSCAPE CONTRACTOR SHALL BE LIABLE FOR ALL MODIFICATIONS AND DAMAGE IF WORK PROCEEDS IN EITHER OF THE ABOVE SITUATIONS WITHOUT NOTIFYING LANDSCAPE ARCHITECT. PRIOR TO ANY EXCAVATION, LANDSCAPE CONTRACTOR SHALL CONTACT APPROPRIATE AUTHORITIES INCLUDING, BUT NOT LIMITED TO, TEXAS ONE CALL SYSTEM AT 1-800-245-4545 TO LOCATE EXISTING UNDERGROUND UTILITIES.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH ANY DAMAGE TO ANY UTILITIES OR PROPERTY THAT MAY OCCUR IN THE EXECUTION OF HIS CONTRACT WORK. WHEN WORK REQUIRES CROSSING EXISTING WALKS OR CURBS WITH EQUIPMENT, LANDSCAPE CONTRACTOR SHALL PROVIDE APPROVED BRIDGE MATERIAL SUCH AS WOOD PLANKS AND EARTH TO PREVENT DAMAGE TO FINISHED WORK. LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS THAT MAY BE WORKING ON THE SITE SIMULTANEOUSLY AND SHALL COORDINATE STAGING OF HIS WORK WITH OWNER AND LANDSCAPE ARCHITECT. ALL TRASH AND DEBRIS GENERATED FROM CONTRACT OPERATIONS SHALL BE REMOVED ON A DAILY BASIS. ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SITE SAFETY IN CONJUNCTION WITH HIS CONTRACT WORK.

MATERIALS

- A.) PLANT MATERIALS:
- CERTIFIED IN ACCORDANCE WITH TDA REQUIREMENTS.
 - SPECIES AND SIZE AS INDICATED IN PLANT SCHEDULE. LARGER SIZE MAY BE SUBSTITUTED WITHOUT ADDITIONAL COST TO OWNER, PROVIDED ROOT BALL OR SPREAD INCREASES PROPORTIONATELY.
 - WHERE MATERIALS ARE PLANTED IN MASSES, PROVIDE PLANTS OF UNIFORM SIZE.
 - GROWN IN CLIMATIC CONDITIONS SIMILAR TO THOSE AT SITE. FREE FROM DISEASE, INSECT INFESTATIONS, DEFECTS INCLUDING WEAK OR BROKEN LIMBS, CROTCHES, AND DAMAGED TRUNKS, ROOTS OR LEAVES, SUN SCALD, FRESH BARK ABRASIONS, EXCESSIVE ABRASIONS, AND OBJECTIONABLE DISFIGUREMENTS.
 - EXHIBIT NORMAL GROWTH HABITS; VIGOROUS, HEALTHY, FULL, WELL-PROPORTIONED, AND SYMMETRICAL.
 - TREE TRUNKS TO BE STURDY AND EXHIBIT HARDENED SYSTEMS AND VIGOROUS AND FIBROUS ROOT SYSTEMS, NOT ROOT OR POT BOUND.
 - NOT PRUNED, TRIMMED, OR TOPPED.
 - CONTAINER-GROWN STOCK; GROWN IN CONTAINERS FROM SEEDING.
- B.) MULCH:
- SHREDDED, COMPOSTED HARDWOOD BARK OF VARYING LENGTH BY NEW EARTH LLC OR APPROVED SUBSTITUTE. PARTIALLY DECOMPOSED; FREE FROM STICKS, STONES, CLAY, AND GROWTH AND GERMINATION-INHIBITING INGREDIENTS.
- C.) MIXES:
- PLANT BED MIX: PLANT BED MIX (BACKFILL MIX) SHALL BE NEW EARTH'S 4 WAY MIX AS PRODUCED BY NEW EARTH LLC PH. 210-661-5180. DOCUMENTATION OF PURCHASE OF THIS SPECIFIC MIX SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT. IF EQUAL IS PROPOSED, CONTRACTOR SHALL SUBMIT SAMPLE AND COMPLETE ANALYSIS WITH TEST RESULTS AND METHOD OF PRODUCTION FOR EVALUATION AS AN EQUAL SUBSTITUTE.

PREPARATION

LANDSCAPE CONTRACTOR SHALL RECEIVE THE SITE AT APPROXIMATELY FINISH GRADE LESS ANY SETTLEMENT THAT MAY HAVE OCCURRED SINCE SITE CONSTRUCTION AND BACKFILLING. THIS GRADE SHALL BE RAKED TO REMOVE ALL DEBRIS INCLUDING STICKS, CLODS, AND STONES AND SHALL BE FINE GRADED TO ELIMINATE ALL HUMPS, RUTS, DEPRESSIONS AND ABRUPT CHANGES IN GRADE AND ANY AREA THAT COULD CAUSE WATER TO POND.

- A.) IF VEGETATION IS GROWING IN PLANTING/LAWN AREA, APPLY HERBICIDE AT RATES RECOMMENDED BY MANUFACTURER. ALLOW TO DIE, AND THEN GRUB OUT ROOTS TO MINIMUM 1/2 INCH DEPTH.
- B.) MARK LOCATION OF TREES AND OUTLINES OF PLANTS BEDS USING COLORED WOOD STAKES OR FLAGS PRIOR TO BEGINNING PLANTING; OBTAIN LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO PROCEEDING.

- PLANTING TREES
- REMOVE CONTAINERS WITHOUT DAMAGE TO ROOTS.
 - REMOVE BOTTOM OF PLANT BOXES PRIOR TO PLACING TREES; REMOVE SIDES AFTER PLACEMENT AND PARTIAL BACKFILLING. PREVENT DAMAGE TO ROOTS.
 - REMOVE UPPER THIRD OF BURLAP FROM BALLED AND BURLAP TREES AFTER PLACEMENT. PLACE PLANT UPRIGHT AND PLUMB IN CENTER OF HOLE. PULL ANY WEEDS GROWING IN TREE BALL AND EXPOSE ROOT FLARE (THIS WILL BE THE TOP MOST IDENTIFIABLE ROOT). REMOVE ANY GIRDLING ROOTS AND SET PLANT SO THAT ROOT FLARE IS 1" ABOVE FINISH GRADE. ORIENT PLANTS FOR BEST APPEARANCE. BACKFILL THE BOTTOM 1/3 OF THE EXCAVATION WITH SOIL CUT FROM EXCAVATION OF PIT AND THOROUGHLY WATER THIS SOIL TO SETTLE IN. BACKFILL THE REMAINDER OF THE EXCAVATION WITH A 50/50 MIX OF NEW EARTH'S 4 WAY MIX AND NATIVE SOIL EXCAVATED FROM THE PIT. PLACE PLANT HEALTH CARE GROUP'S "TREE SAVER" IN BACKFILL AS PER P.H.C.G. DIRECTION AND APPLICATION RATES. LIGHTLY TAMP AND WATER SOIL TO REMOVE ALL AIR POCKETS. FOR PLANTS OUTSIDE OF PLANTING BEDS, CONSTRUCT 3 INCH HIGH WATER CONTAINMENT RING AROUND PLANT. SPREAD MULCH TO MINIMUM 4 INCH DEPTH OVER PLANT BASIN.
 - ADJUST PLANT HEIGHT IF SETTLEMENT OCCURS AFTER BACKFILL AND STAKE AS DETAILED.
 - TWO TO THREE WEEKS FOLLOWING PLANTING, INJECT PLANT HEALTH CARE INJECTABLE INOCULANT AROUND ROOT BALL FOLLOWING MANUFACTURER'S DIRECTIONS AND APPLICATION RATES. CONTACT LANDSCAPE ARCHITECT TO OBSERVE THIS OPERATION.
 - TRIM PLANTS TO REMOVE DEAD AND INJURED BRANCHES ONLY. TREAT CUTS OVER 3/4 INCH DIAMETER WITH TREE PAINT.
 - BRACE PLANTS OVER 65 GALLONS SIZE IMMEDIATELY AFTER PLANTING:
 - FOR TREES 2" CAL. AND GREATER PROVIDE STAKING AS DETAILED. POSITION TO PREVENT HAZARDS TO PEDESTRIANS.
 - DO NOT RESTRICT PLANT MOVEMENT UNDER LIGHT WIND LOADS OR DAMAGE BARK.

PLANT LIST				
TREES				
CALLOUT	QUANTITY	COMMON NAME BOTANICAL NAME	SIZE	REMARKS
PE3	4	PECAN <i>CARYA ILLINOINENSIS</i>	3" CAL.; MIN 12' HT; MIN 5' SPRD.	SINGLE TRUNK B&B; STRAIGHT TRUNK WITH FULL AND UNIFORM CANOPY; PARK GRADE NOT ACCEPTABLE
LO3	30	LIVE OAK <i>QUERCUS VIRGINIANA</i>	3" CAL.; MIN 15' HT; MIN 7' SPRD.	SINGLE TRUNK B&B; STRAIGHT TRUNK WITH FULL AND UNIFORM CANOPY; PARK GRADE NOT ACCEPTABLE
LBE	16	LACEBARK ELM <i>ULMUS PARVIFOLIA</i>	3" CAL.; MIN 12' HT; MIN 5' SPRD.	CONTAINER GROWN; STRAIGHT TRUNK W/ FULL AND UNIFORM CANOPY; PARK GRADE NOT ACCEPTABLE
RO3	36	SHUMARD OAK <i>QUERCUS SHUMARDII</i>	3" CAL.; MIN 12' HT; MIN 5' SPRD.	SINGLE TRUNK B&B; STRAIGHT TRUNK WITH FULL AND UNIFORM CANOPY; PARK GRADE NOT ACCEPTABLE
BO3	14	BURR OAK <i>QUERCUS MACROCARPA</i>	3" CAL.; MIN 10' HT; MIN 4' SPRD.	SINGLE TRUNK B&B; STRAIGHT TRUNK WITH FULL AND UNIFORM CANOPY; PARK GRADE NOT ACCEPTABLE
CO3	12	CHINQUAPIN OAK <i>QUERCUS MUEHLENBERGII</i>	3 CAL.; MIN 12' HT; MIN 5' SPRD.	SINGLE TRUNK B&B; STRAIGHT TRUNK WITH FULL AND UNIFORM CANOPY; PARK GRADE NOT ACCEPTABLE
CE3	16	CEDAR ELM <i>ULMUS CRASSIFOLIA</i>	3" CAL.; MIN 8'-9' HT; MIN 3' SPRD.	SINGLE TRUNK B&B; STRAIGHT TRUNK WITH FULL AND UNIFORM CANOPY; PARK GRADE NOT ACCEPTABLE

SHRUBS				
CALLOUT	QUANTITY	COMMON NAME BOTANICAL NAME	SIZE	REMARKS
SAG	4	SAGO PALM <i>CYCAS REVOLUTA</i>	3 GAL.; 24" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 36" O.C.
MFG	105	MEXICAN FEATHER GRASS <i>HAEMODORUS TENUISSIMA</i>	3 GAL.; 24" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 36" O.C.
URM	45	UPRIGHT ROSEMARY <i>ROSMARINUS OFFICINALIS 'UPRIGHT'</i>	3 GAL.; 24" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 60" O.C.
BCI	180	BI-COLOR IRIS <i>DIETES BICOLOR</i>	3 GAL.; 24" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 60" O.C.
INH	198	INDIAN HAWTHORN <i>RHAPHIOLEPIS INDICA</i>	3 GAL.; 24" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 48" O.C.
MBS	170	LINDHEIMER MUHLY GRASS <i>MUHLENBERGIA LINDHEIMERI</i>	1 GAL.; 24" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 60" O.C.
MGS	149	DWARF MAIDEN GRASS <i>MISCANTHUS SINENSIS</i>	3 GAL.; 24" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 60" O.C.
KOR	209	'KNOCK OUT' ROSE <i>ROSA 'KNOCK OUT'</i>	3 GAL.; 24" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 60" O.C.
PPR	31	PRICKLY PEAR 'THORNLESS' <i>OPUNTIA CACANAPA ELLISIANA</i>	3 GAL.; 24" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 60" O.C.
SOT	47	TEXAS GREEN SOTOL <i>DASYLIRON TEXANUM</i>	1 GAL.; 24" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 60" O.C.
RYA	31	RED YUCCA <i>HESPERALOE PARVIFOLIA</i>	3 GAL.; 20" HT. 20" SPRD.	DARK GREEN; FULL; PLANT 60" O.C.
DOL	168	DWARF OLEANDER <i>NERIUM OLEANDER 'DWARF PINK'</i>	3 GAL.; 20" HT. 20" SPRD.	DARK GREEN; FULL; PLANT 60" O.C.
GCM	84	GULF COAST MUHLY <i>MUHLENBERGIA CAPILLARIS</i>	3 GAL.; 24" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 60" O.C.
TCP	25	TURKS CAP <i>MALVAVISCUS ARBOREUS VAR. DRUMMONDII</i>	1 GAL.; 18" HT. 12" SPRD.	DARK GREEN; FULL; PLANT 36" O.C.
FIG	88	FIG IVY <i>FICUS PUMILA</i>	1 GAL.; 18" HT. 12" SPRD.	DARK GREEN; FULL; STAKED
CIP	88	CAST IRON PLANT <i>MELAMPODIUM LEUCANTHUM</i>	1 GAL.; 24" HT. 18" SPRD.	DARK GREEN; FULL; PLANT 18" O.C.

GROUNDCOVER				
CALLOUT	QUANTITY	COMMON NAME BOTANICAL NAME	SIZE	REMARKS
BFD	38	BLACK FOOT DAISY <i>MELAMPODIUM LEUCANTHUM</i>	1 GAL.; 18" HT. 18" SPRD.	DARK GREEN; FULL; PLANT 18" O.C.
SCP	1500	SKULL CAP <i>SCUTELLARIA SUFFRUTESCENS 'TEXAS ROSE'</i>	1 GAL.; 12" HT. 10" SPRD.	DARK GREEN; FULL; PLANT 30" O.C.
RSA	144	RED SALVIA <i>SALVIA SPLENDENS</i>	1 GAL.; 18" HT. 12" SPRD.	DARK GREEN; FULL; PLANT 30" O.C.
YLT	587	YELLOW LANTANA <i>LANTANA X HYBRIDA</i>	1 GAL.; 24" HT. 24" SPRD.	DARK GREEN; FULL; PLANT 18" O.C.

LAWN				
CALLOUT	QUANTITY	COMMON NAME BOTANICAL NAME	SIZE	REMARKS
	FIELD VERIFY	COMMON BERMUDA <i>CYNODON DACTYLON</i>	SOLID SOD	CONTINUOUS SOLID SOD STRIP ALONG BACK OF CURB. CONTRACTOR TO FIELD VERIFY QUANTITY OF LAWN REQUIRED.
	FIELD VERIFY	COMMON BERMUDA <i>CYNODON DACTYLON</i>	HYDROMULCH	SEEDS 2 LBS./1,000 SQ.FT. CONTRACTOR TO FIELD VERIFY QUANTITY OF LAWN REQUIRED.

H.D.R.C. REVIEW SET - NOT FOR CONSTRUCTION



201 GROVETON STREET
SAN ANTONIO, TEXAS 78210
210.314.5582
WWW.MPS-LA.COM

LANDSCAPE ARCHITECT |

FOR REVIEW ONLY.
Not for regulatory approval,
permitting or construction.

REVIEW

May 15, 2015
Mark V. Padilla 2533

REVISIONS |

CLIENT |



Project |

NRP GROUP
Brooks II Multifamily Development
Dave Erwin Drive
San Antonio, Texas 78223

PROJECT NO |

14059

DATE ISSUED |

15 MAY, 2015

DRAWN BY |

MVP

CHECKED BY |

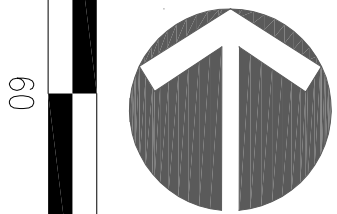
MVP

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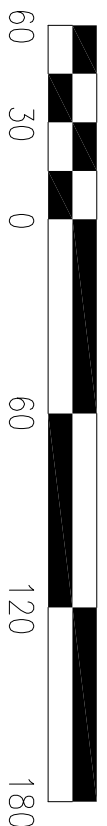
PLANT LIST

SHEET NO |

LP 2.1

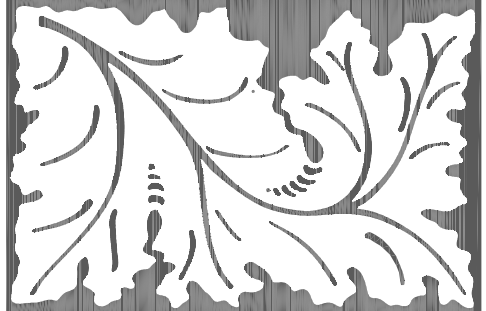


SCALE 1" = 60'-0"



CALCULATIONS

TOTAL UNITS	304 UNITS
GROSS ACREAGE	12.53 ACRES
GROSS DENSITY	24.26 DU/AC



LEE
AND ASSOCIATES

8127 MESA DRIVE
AUSTIN, TEXAS 78759
(512) 345-8477
www.leeandassociates.net

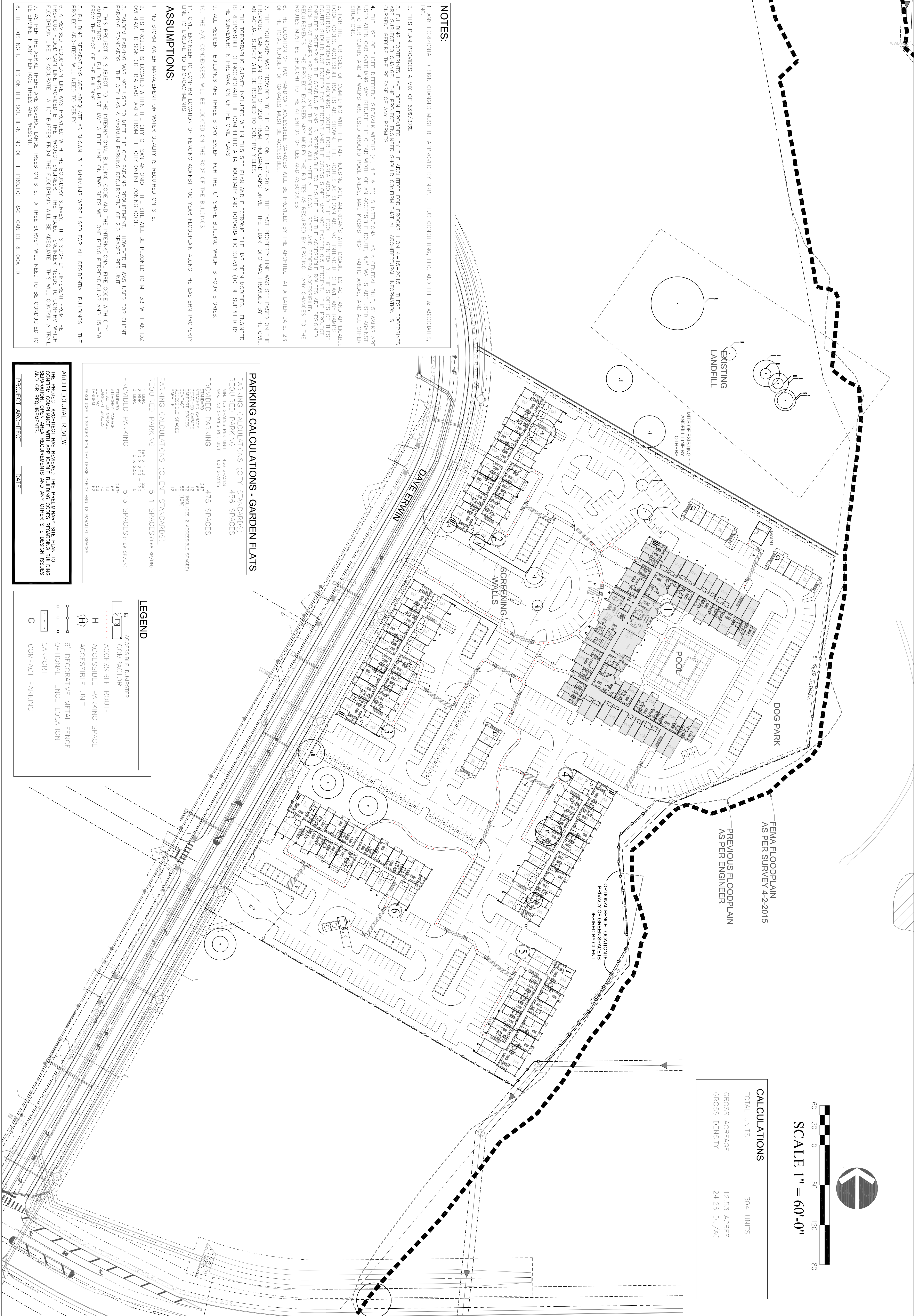


Revision Block			
No.	By	Date	Comments

DATE	4-15-2015
PROJ. NO.	1298
FILE NAME	1298 BASE 18 PSP
XREF	
XREF	

BROOKS II
SAN ANTONIO, TEXAS

SITE PLAN



NOTES:

1. ANY HORIZONTAL DESIGN CHANGES MUST BE APPROVED BY NRP, TELLUS CONSULTING, LLC, AND LEE & ASSOCIATES, INC.
2. THIS PLAN PROVIDES A MIX OF 63%/37%.
3. BUILDING FOOTPRINTS HAVE BEEN PROVIDED BY THE ARCHITECT FOR BROOKS II ON 4-15-2015. THESE FOOTPRINTS ARE SUBJECT TO CHANGE. THE ARCHITECT AND ENGINEER SHOULD CONFIRM THAT ALL ARCHITECTURAL INFORMATION IS CURRENT BEFORE THE RELEASE OF ANY PERMITS.
4. THE USE OF THREE DIFFERENT SIDEWALK WIDTHS (4', 4.5 & 5') IS INTENTIONAL. AS A GENERAL RULE, 5' WALKS ARE USED WHEN CAR OVERHANG MAY REDUCE THE CLEAR WIDTH OF AN ACCESSIBLE ROUTE, 4.5' WALKS ARE USED AGAINST ALL OTHER CURBS AND 4' WALKS ARE USED AROUND POOL AREAS, MAIL KIOSKS, HIGH TRAFFIC AREAS, AND ALL OTHER SITUATIONS.
5. FOR THE PURPOSES OF COMPLYING WITH THE FAIR HOUSING ACT, AMERICANS WITH DISABILITIES ACT, AND APPLICABLE LOCAL CODES, ACCESSIBLE ROUTES ARE SHOWN. THE ROUTES AS SHOWN ARE NOT INTENDED TO HAVE ANY RAMPES, REQUIRED HANDRAILS AND LANDINGS, EXCEPT FOR THE AREA AROUND THE POOL. GENERALLY, THE SLOPES OF THESE ROUTES SHOULD NOT EXCEED FIVE PERCENT AND THE CROSS SLOPE MAY NOT EXCEED 0.5 PERCENT. THE PROJECT ENGINEER PREPARING THE GRADING PLANS IS RESPONSIBLE TO ENSURE THAT THE ACCESSIBLE ROUTES ARE DESIGNED TO BE USED BY ALL PERSONS WITH PHYSICAL MOBILITY. THE ROUTES SHOWN ARE NOT INTENDED TO BE USED BY PERSONS WITH PHYSICAL MOBILITY. ANY CHANGES TO THE ROUTES MUST BE BROUGHT TO THE ATTENTION OF LEE AND ASSOCIATES.
6. THE LOCATION OF TWO HANDICAP ACCESSIBLE GARAGES WILL BE PROVIDED BY THE ARCHITECT AT A LATER DATE. 2% OF THE TOTAL NUMBER OF GARAGES MUST BE ACCESSIBLE.
7. THE BOUNDARY WAS PROVIDED BY THE CLIENT ON 11-7-2013. THE EAST PROPERTY LINE WAS SET BASED ON THE PREVIOUS PLAN AND AN OFFSET OF 200' FROM THOUSAND OAKS DRIVE. THE UTM TOPO WAS PROVIDED BY THE CIVIL. AN ACTUAL SURVEY WILL BE REQUIRED TO CONFIRM YIELDS.
8. THE TOPOGRAPHIC SURVEY INCLUDED WITHIN THIS SITE PLAN AND ELECTRONIC FILE HAS BEEN MODIFIED. ENGINEER IS RESPONSIBLE TO INCORPORATE THE COMPLETED ALTA BOUNDARY AND TOPOGRAPHIC SURVEY (TO BE SUPPLIED BY THE SURVEYOR) IN PREPARATION OF THE CIVIL PLANS.
9. ALL RESIDENT BUILDINGS ARE THREE STORY EXCEPT FOR THE 'U' SHAPE BUILDING WHICH IS FOUR STORIES.
10. THE A/C CONDENSERS WILL BE LOCATED ON THE ROOF OF THE BUILDINGS.
11. CIVIL ENGINEER TO CONFIRM LOCATION OF FENCING AGAINST 100 YEAR FLOODPLAIN ALONG THE EASTERN PROPERTY LINE TO ENSURE NO ENCRoACHMENTS.

ASSUMPTIONS:

1. NO STORM WATER MANAGEMENT OR WATER QUALITY IS REQUIRED ON SITE.
2. THIS PROJECT IS LOCATED WITHIN THE CITY OF SAN ANTONIO. THE SITE WILL BE REZONED TO MF-33 WITH AN IDZ OVERLAY. DESIGN CRITERIA WAS TAKEN FROM THE CITY ONLINE ZONING CODE.
3. TANDEM PARKING WAS NOT USED TO MEET THE CITY PARKING REQUIREMENT. HOWEVER IT WAS USED FOR CLIENT PARKING STANDARDS. THE CITY HAS A MAXIMUM PARKING REQUIREMENT OF 2.0 SPACES PER UNIT.
4. THIS PROJECT IS SUBJECT TO THE INTERNATIONAL BUILDING CODE AND THE INTERNATIONAL FIRE CODE WITH CITY AMENDMENTS. ALL BUILDINGS MUST HAVE A FIRE LANE ON TWO SIDES WITH ONE BEING PERPENDICULAR AND 15'-39' FROM THE FACE OF THE BUILDING.
5. BUILDING SEPARATIONS ARE ADEQUATE AS SHOWN. 31" MINIMUMS WERE USED FOR ALL RESIDENTIAL BUILDINGS. THE PROJECT ARCHITECT WILL NEED TO VERIFY.
6. A REVISED FLOODPLAIN LINE WAS PROVIDED WITH THE BOUNDARY SURVEY. IT IS SLIGHTLY DIFFERENT FROM THE PREVIOUS FLOODPLAIN LINE PROVIDED BY THE PROJECT ENGINEER. THE PROJECT ENGINEER NEEDS TO CONFIRM WHICH FLOODPLAIN LINE IS ACCURATE. A 15' BUFFER FROM THE FLOODPLAIN WILL BE ADEQUATE. THIS WILL CONTAIN A TRAIL.
7. AS PER THE AEMA, THERE ARE SEVERAL LARGE TREES ON SITE. A TREE SURVEY WILL NEED TO BE CONDUCTED TO DETERMINE IF ANY HERITAGE TREES ARE PRESENT.
8. THE EXISTING UTILITIES ON THE SOUTHERN END OF THE PROJECT TRACT CAN BE RELOCATED.

PARKING CALCULATIONS - GARDEN FLATS

PARKING CALCULATIONS (CITY STANDARDS)
REQUIRED PARKING 456 SPACES

MIN. 1.5 SPACES PER UNIT = 456 SPACES
MAX. 2.0 SPACES PER UNIT = 608 SPACES

PROVIDED PARKING 475 SPACES

ATTACHED GARAGE 66
DETACHED GARAGE 12
COMPACT SPACES 72 (INCLUDES 2 ACCESSIBLE SPACES)
PARALLEL 55 (12%)
TOTAL 195

PARKING CALCULATIONS (CLIENT STANDARDS)

REQUIRED PARKING 511 SPACES (1.68 SP/UNIT)

PROVIDED PARKING

ATTACHED GARAGE 66
DETACHED GARAGE 12
COMPACT SPACES 72 (INCLUDES 2 ACCESSIBLE SPACES)
PARALLEL 55 (12%)
TOTAL 195

STANDARD GARAGE 66
DETACHED GARAGE 12
COMPACT SPACES 72 (INCLUDES 2 ACCESSIBLE SPACES)
TOTAL 195
*EXCLUDES 9 SPACES FOR THE LEASE OFFICE AND 12 PARALLEL SPACES

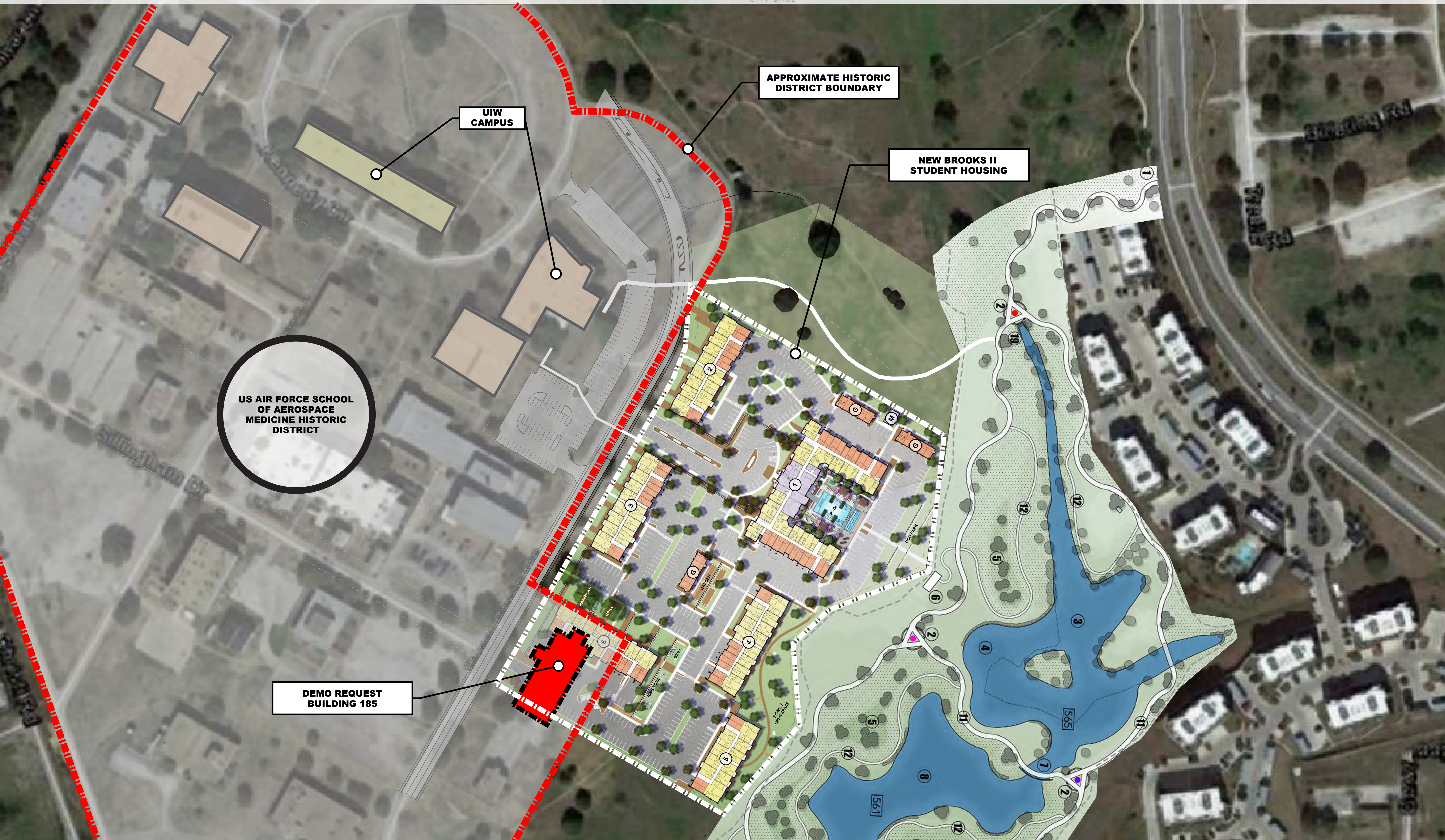
ARCHITECTURAL REVIEW

THE PROJECT ARCHITECT HAS REVIEWED THIS PRELIMINARY SITE PLAN TO CONFIRM COMPLIANCE WITH APPLICABLE BUILDING CODES REGARDING BUILDING SEPARATION, OPEN AREA REQUIREMENTS AND ANY OTHER SITE DESIGN ISSUES AND OR REQUIREMENTS.

PROJECT ARCHITECT DATE

LEGEND

- ACCESSIBLE DUMPSTER
- COMPACTOR
- ACCESSIBLE ROUTE
- ACCESSIBLE PARKING SPACE
- ACCESSIBLE UNIT
- 6" DECORATIVE METAL FENCE
- OPTIONAL FENCE LOCATION
- CARPORT
- COMPACT PARKING







LEGEND

1. BRICK FINISH

2. METAL GUARDRAIL (PTD.)

3. ASPHALT ROOF SHINGLES

4. ALUM. WINDOW (CLEAR ANOD.)

5. ENTRY CANOPY W/METAL ROOF

6. PAINTED STUCCO FINISH 'A'

7. PAINTED STUCCO FINISH 'B'

8. SMOOTH STUCCO FINISH 'C'



BROOKS APARTMENTS II - BUILDING TYPE I (FRONT ELEVATION)

SAN ANTONIO, TX

HDRC 05.15.2015



BROOKS APARTMENTS II - BUILDING TYPE I (GARAGE ELEVATION)

gsr | andrade
ARCHITECTS

SAN ANTONIO, TX
HDRC 05.15.2015

the
NRP
group LLC



BROOKS APARTMENTS II - BUILDING TYPE II (FRONT ELEVATION)

gsr | andrade
ARCHITECTS

SAN ANTONIO, TX
HDRC 05.15.2015

the
NRP
group LLC



BROOKS APARTMENTS II - BUILDING TYPE III (FRONT ELEVATION)

gsr | andrade
ARCHITECTS

SAN ANTONIO, TX
HDRC 05.15.2015

the
NRP
group LLC



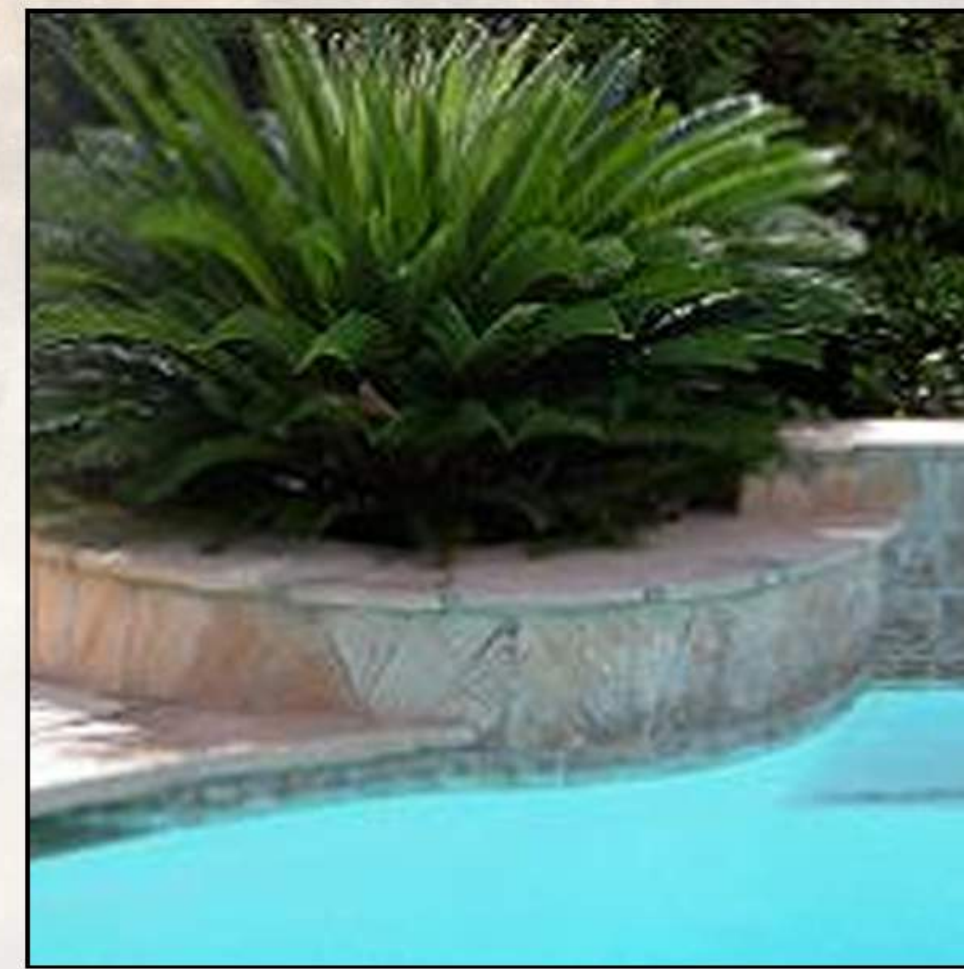
Decomposed Granite



Horsetail Reed



Trees Within Courtyard



Pool Beds



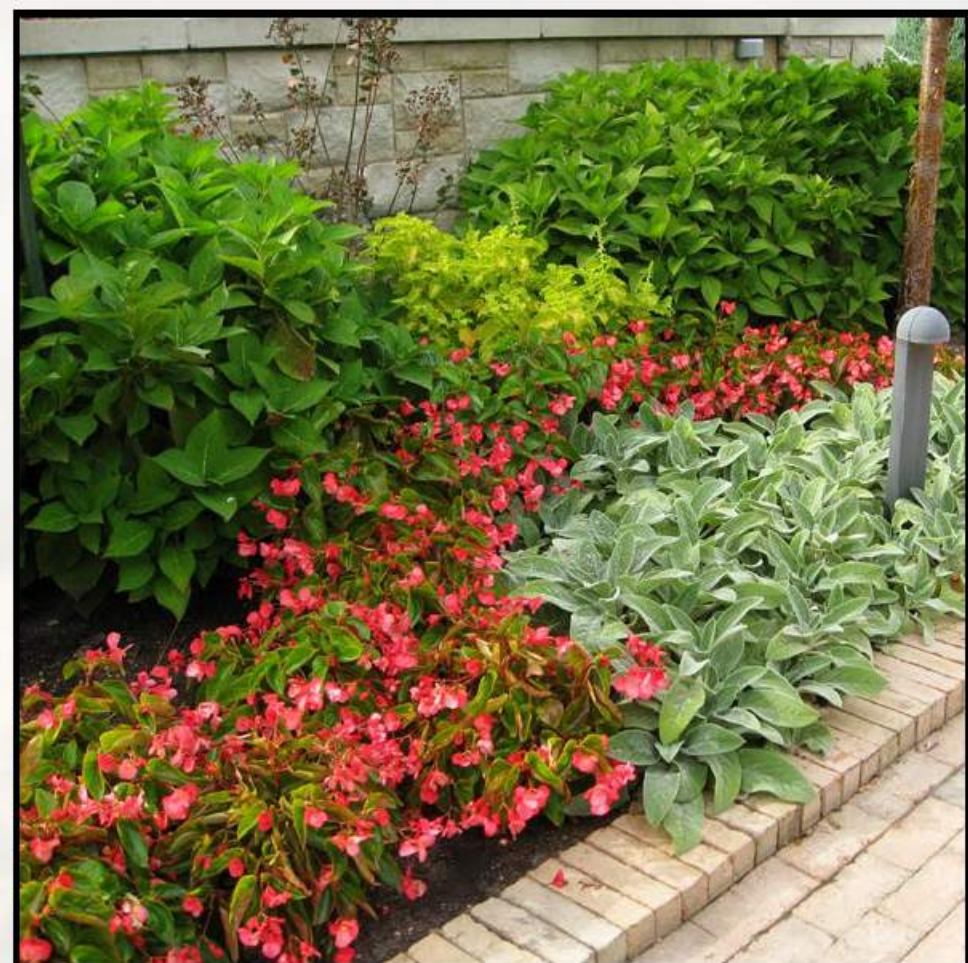
Concrete Pavement



Palm Plantings



Horizontal Stacked Seat Walls



Courtyard Beds

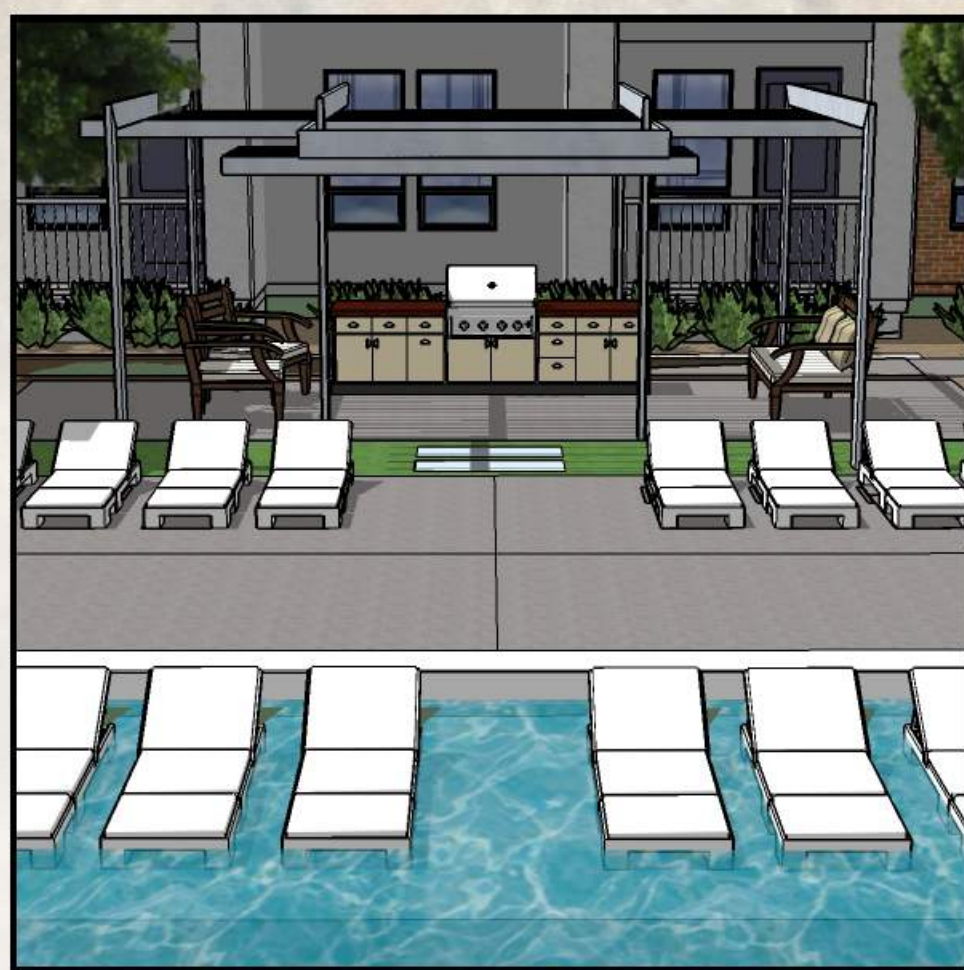


Hardwood Mulch





AVAdesk Structure



Pool Sun shelf



Negative Pool Edge



Lungo Mare Seating



Hammock



Pool Bubblers



Seating w/ String Lights



Seating and Grill countertops



Covered BBQ area



Pool Courtyard
Perspective



Building 6 BBQ area
Perspective



Horizontal Stacked Seat Wall



Outdoor Grill



Dog Park



Retaining Wall



Uncut wildflower zone

Building 6 Deck Design
Perspective





Sign Entry Design
Perspective



Sign Entry Design
Perspective



CITY OF SAN ANTONIO
OFFICE OF HISTORIC
PRESERVATION

Historic and Design Review Commission
Design Review Committee
Report & Recommendation

DATE: 5/12/2015

HDRC Case# _____

ADDRESS: BROOKS CITY BASE

Meeting Location: LONE STAR

APPLICANT: GARY DILLARA

DRC Members present: MICHAEL GUARINO, JOHN LAFFOON, BETTY FELDMAN

Staff present: ANWARA HALL

Others present: _____

REQUEST: NEW CONSTRUCTION OF MULTI-FAMILY RESIDENTIAL
STRUCTURE

COMMENTS/CONCERNS: _____

MG: PRESENTATION FORMAT IS MUCH BETTER THIS TIME.

MG: PREVIOUS CONCERNS WERE OVER THE DEVELOPMENT OF
THE PAST ELEVATIONS - MATERIALS CORRECT - ARE MUCH MORE
NEW ELEVATIONS
APPROPRIATE.

BF: QUESTIONS OVER NEW FLAT ROOF - NEW PLACEMENT OF HVAC
UNITS ARE APPROPRIATE.

MG: INCLUDE INFORMATION REGARDING PREVIOUS DEMOLITION INFO.

COMMITTEE RECOMMENDATION: APPROVE ☒ DISAPPROVE ☐
APPROVE WITH COMMENTS/STIPULATIONS:

Submittal For Preliminary Approval

Committee Chair Signature (or representative)

5/12/15

Date

CITY OF SAN ANTONIO
OFFICE OF HISTORIC
PRESERVATION