

## HISTORIC AND DESIGN REVIEW COMMISSION

June 17, 2015

Agenda Item No: 23

**HDRC CASE NO:** 2014-371  
**ADDRESS:** 928 W COMMERCE ST  
**LEGAL DESCRIPTION:** NCB 265 BLK 84 LOT 26 COMMERCE ST PROJECT 2014 NEW ACCT PER PLAT 9658/200-204 EXE 09/06/13  
**ZONING:** D H HS  
**CITY COUNCIL DIST.:** 5  
**DISTRICT:** Cattleman Square Historic District  
**LANDMARK:** Grand Central Hotel  
**APPLICANT:** Gabriel Martinez/Munoz & CO.  
**OWNER:** The Center for Health Care Services  
**TYPE OF WORK:** Demolition with new construction  
**REQUEST:**

The applicant is requesting a Certificate of Appropriateness to:

1. Demolish an existing, historic one story structure at 928 W Commerce constructed circa 1915. The applicant has proposed to demolish this structure and to replace it with a structure that is comparable in massing and square footage. The applicant received approval to demolish two additions to this one story structure on August 6, 2014, and received a Certificate of Appropriateness for the redevelopment of the property on November 19, 2014.
2. Restore and rehabilitate the three story brick building, formerly a hotel constructed circa 1900.
3. Construct a new 122,000 sq ft CHCS clinic.
4. Construct a new 130,000 sq ft parking garage.

### APPLICABLE CITATIONS:

*UDC Section 35-614. – Demolition*

Demolition of a historic landmark constitutes an irreplaceable loss to the quality and character of the City of San Antonio. Accordingly, these procedures provide criteria to prevent unnecessary damage to the quality and character of the city's historic districts and character while, at the same time, balancing these interests against the property rights of landowners.

(a)Applicability. The provisions of this section apply to any application for demolition of a historic landmark (including those previously designated as historic exceptional or historic significant) or a historic district.

(3)Property Located in Historic District and Contributing to District Although Not Designated a Landmark. No certificate shall be issued for property located in a historic district and contributing to the district although not designated a landmark unless the applicant demonstrates clear and convincing evidence supporting an unreasonable economic hardship on the applicant if the application for a certificate is disapproved. When an applicant fails to prove unreasonable economic hardship in such cases, the applicant may provide additional information regarding loss of significance as provided in subsection (c)(3) in order to receive a certificate for demolition of the property.

(b)Unreasonable Economic Hardship.

(1)Generally. The historic and design review commission shall be guided in its decision by balancing the historic, architectural, cultural and/or archaeological value of the particular landmark or eligible landmark against the special merit of the proposed replacement project. The historic and design review commission shall not consider or be persuaded to find unreasonable economic hardship based on the presentation of circumstances or items that are not unique to the property in question (i.e. the current economic climate).

(2)Burden of Proof. The historic and design review commission shall not consider or be persuaded to find unreasonable economic hardship based on the presentation of circumstances or items that are not unique to the property in question (i.e. the current economic climate). When a claim of unreasonable economic hardship is made, the owner must prove by a preponderance of the evidence that:

A. The owner cannot make reasonable beneficial use of or realize a reasonable rate of return on a structure or site, regardless of whether that return represents the most profitable return possible, unless the highly significant

endangered, historic and cultural landmark, historic and cultural landmarks district or demolition delay designation, as applicable, is removed or the proposed demolition or relocation is allowed;

B. The structure and property cannot be reasonably adapted for any other feasible use, whether by the current owner or by a purchaser, which would result in a reasonable rate of return; and

C. The owner has failed to find a purchaser or tenant for the property during the previous two (2) years, despite having made substantial ongoing efforts during that period to do so. The evidence of unreasonable economic hardship introduced by the owner may, where applicable, include proof that the owner's affirmative obligations to maintain the structure or property make it impossible for the owner to realize a reasonable rate of return on the structure or property.

(3)Criteria. The public benefits obtained from retaining the cultural resource must be analyzed and duly considered by the historic and design review commission.

As evidence that an unreasonable economic hardship exists, the owner may submit the following information to the historic and design review commission by affidavit:

A. For all structures and property:

- i. The past and current use of the structures and property;
- ii. The name and legal status (e.g., partnership, corporation) of the owners;
- iii. The original purchase price of the structures and property;
- iv. The assessed value of the structures and property according to the two (2) most recent tax assessments;
- v. The amount of real estate taxes on the structures and property for the previous two (2) years;
- vi. The date of purchase or other acquisition of the structures and property;
- vii. Principal balance and interest rate on current mortgage and the annual debt service on the structures and property, if any, for the previous two (2) years;
- viii. All appraisals obtained by the owner or applicant within the previous two (2) years in connection with the owner's purchase, financing or ownership of the structures and property;
- ix. Any listing of the structures and property for sale or rent, price asked and offers received;
- x. Any consideration given by the owner to profitable adaptive uses for the structures and property;
- xi. Any replacement construction plans for proposed improvements on the site;
- xii. Financial proof of the owner's ability to complete any replacement project on the site, which may include but not be limited to a performance bond, a letter of credit, a trust for completion of improvements, or a letter of commitment from a financial institution; and
- xiii. The current fair market value of the structure and property as determined by a qualified appraiser.
- xiv. Any property tax exemptions claimed in the past five (5) years.

B. For income producing structures and property:

- i. Annual gross income from the structure and property for the previous two (2) years;
- ii. Itemized operating and maintenance expenses for the previous two (2) years; and
- iii. Annual cash flow, if any, for the previous two (2) years.

C. In the event that the historic and design review commission determines that any additional information described above is necessary in order to evaluate whether an unreasonable economic hardship exists, the historic and design review commission shall notify the owner. Failure by the owner to submit such information to the historic and design review commission within fifteen (15) days after receipt of such notice, which time may be extended by the historic and design review commission, may be grounds for denial of the owner's claim of unreasonable economic hardship.

When a low-income resident homeowner is unable to meet the requirements set forth in this section, then the historic and design review commission, at its own discretion, may waive some or all of the requested information and/or request substitute information that an indigent resident homeowner may obtain without incurring any costs. If the historic and design review commission cannot make a determination based on information submitted and an appraisal has not been provided, then the historic and design review commission may request that an appraisal be made by the city.

(d)Documentation and Strategy.

(1)Applicants that have received a recommendation for a certificate shall document buildings, objects, sites or structures which are intended to be demolished with 35mm slides or prints, preferably in black and white, and supply a set of slides or prints to the historic preservation officer.

(2)Applicants shall also prepare for the historic preservation officer a salvage strategy for reuse of building materials deemed valuable by the historic preservation officer for other preservation and restoration activities.

(3)Applicants that have received an approval of a certificate regarding demolition shall be permitted to receive a demolition permit without additional commission action on demolition, following the commission's recommendation

of a certificate for new construction. Permits for demolition and construction shall be issued simultaneously if requirements of section 35-609, new construction, are met, and the property owner provides financial proof of his ability to complete the project.

(4)When the commission recommends approval of a certificate for buildings, objects, sites, structures designated as landmarks, or structures in historic districts, permits shall not be issued until all plans for the site have received approval from all appropriate city boards, commissions, departments and agencies. Permits for parking lots shall not be issued, nor shall an applicant be allowed to operate a parking lot on such property, unless such parking lot plan was approved as a replacement element for the demolished object or structure.

(e)Issuance of Permit. When the commission recommends approval of a certificate regarding demolition of buildings, objects, sites, or structures in historic districts or historic landmarks, permits shall not be issued until all plans for the site have received approval from all appropriate city boards, commissions, departments and agencies. Once the replacement plans are approved a fee shall be assessed for the demolition based on the approved replacement plan square footage. The fee must be paid in full prior to issuance of any permits and shall be deposited into an account as directed by the historic preservation officer for the benefit, rehabilitation or acquisition of local historic resources. Fees shall be as follows and are in addition to any fees charged by planning and development services:

0—2,500 square feet = \$2,000.00

2,501—10,000 square feet = \$5,000.00

10,001—25,000 square feet = \$10,000.00

25,001—50,000 square feet = \$20,000.00

Over 50,000 square feet = \$30,000.00

#### *UDC Section 35-610. Alteration, Restoration and New Construction*

(a)

In considering whether to recommend approval or disapproval of an application for a certificate to alter, restore, rehabilitate, or add to a building, object, site or structure designated a historic landmark or located in a historic district, the historic and design review commission shall be guided by the Secretary of the Interior's Standards and Guidelines for Archeology and Historic Preservation and provisions adopted by city council as provided in this article. The historic and design review commission shall also utilize the Historic Design Guidelines as adopted by the city council, and any specific design guidelines adopted pursuant to the Unified Development Code and this article. If conflicting provisions of this chapter and city council approved guidelines have been approved, the city manager or the city manager's designee shall reconcile the conflict if possible so that effect may be given to each. If the conflict is irreconcilable, this chapter shall prevail. Applications shall be reviewed for consistency with the historic or district specific design guidelines adopted by city council. The application shall be reviewed for conformance to the general rules and principles contained in the guidelines. Applications should be approved if in general conformance with the guidelines but denial of an application by the city manager or the city manager's designee may be based on any inconsistency or nonconformance with the approved guidelines. Non-public interior spaces are exempt from this section. The only interior spaces to be considered for review, and therefore not exempt, are those publicly owned spaces that are, or were, accessible to the public (e.g., lobbies, corridors, rotundas, meeting halls, courtrooms), and those spaces, both public and privately owned, that are individually designated and are important to the public because of any significant historical, architectural, cultural or ceremonial value.

#### *Sec. 35-651. Eligible and Ineligible Public Art and Design Enhancements.*

(a)

Eligible Public Art and Design Enhancements. It is the policy of the City of San Antonio that all public art and design enhancements commissioned or acquired through PASA are designed by an artist, craftsman or an artist or craftsman in collaboration with the project architect, landscape architect or engineer. Such artworks may include, but are not limited to the following:

(1)The incremental costs of infrastructure elements, such as sound-walls, utility structures, roadway elements and other items if designed by an artist or design team that includes an artist co-designer.

(2)Artistic or aesthetic elements of the overall architecture or landscape design if created by a

professional artist or a design team that includes a professional visual artist.

(3)Earthworks, neon, glass, mosaics, photographs, prints, calligraphy, any combination of forms of media including sound, literary elements, film, holographic images, and video systems; hybrids of any media and new genres.

(4)Murals or portable paintings in any material or variety of materials.

(5)Sculpture: freestanding, wall supported, or suspended; kinetic and electronic in any material or combination of materials.

(6)Temporary artworks or installations, if such artworks serve the purpose of providing community and educational outreach purposes.

(7)Public art and design enhancements that are an integral part of architecture, landscape architecture, and landscape design.

## *Historic Design Guidelines, Chapter2, Guidelines for Exterior Maintenance and Alterations*

### 10. Commercial Facades

#### A. MAINTENANCE (PRESERVATION)

*i. Character-defining features*—Preserve character-defining features such as cornice molding, upper-story windows, transoms, display windows, kickplates, entryways, tiled paving at entryways, parapet walls, bulkheads, and other features that contribute to the character of the building.

*ii. Windows and doors*—Use clear glass in display windows. See Guidelines for Architectural Features: Doors, Windows, and Screens for additional guidance.

*iii. Missing features*—Replace missing features in-kind based on evidence such as photographs, or match the style of the building and the period in which it was designed.

*iv. Materials*—Use in-kind materials or materials appropriate to the time period of the original commercial facade when making repairs.

#### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

*i. New features*—Do not introduce new facade elements that alter or destroy the historic building character, such as adding inappropriate materials; altering the size or shape of windows, doors, bulkheads, and transom openings; or altering the façade from commercial to residential. Alterations should not disrupt the rhythm of the commercial block.

*ii. Historical commercial facades*—Return non-historic facades to the original design based on photographic evidence. Keep in mind that some non-original facades may have gained historic importance and should be retained. When evidence is not available, ensure the scale, design, materials, color, and texture is compatible with the historic building. Consider the features of the design holistically so as to not include elements from multiple buildings and styles.

### 11. Canopies and Awnings

#### A. MAINTENANCE (PRESERVATION)

*i. Existing canopies and awnings*—Preserve existing historic awnings and canopies through regular cleaning and periodic inspections of the support system to ensure they are secure.

#### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

*i. Replacement canopies and awnings*—Replace canopies and awnings in-kind whenever possible.

*ii. New canopies and awnings*—Add canopies and awnings based on accurate evidence of the original, such as photographs. If no such evidence exists, the design of new canopies and awnings should be based on the architectural style of the building and be proportionate in shape and size to the scale of the building façade to which they will be attached. See UDC Section 35-609(j).

*iii. Lighting*—Do not internally illuminate awnings; however, lighting may be concealed in an awning to provide illumination to sidewalks or storefronts.

*iv. Awning materials*—Use fire-resistant canvas awnings that are striped or solid in a color that is appropriate to the period of the building.

*v. Building features*—Avoid obscuring building features such as arched transom windows with new canopies or awnings.

*vi. Support structure*—Support awnings with metal or wood frames, matching the historic support system

whenever possible. Minimize damage to historic materials when anchoring the support system. For example, anchors should be inserted into mortar rather than brick. Ensure that the support structure is integrated into the structure of the building as to avoid stress on the structural stability of the façade.

#### *Historic Design Guidelines, Chapter 4, Guidelines for New Construction*

### 1. Building and Entrance Orientation

#### A. FAÇADE ORIENTATION

- i. Setbacks*—Align front facades of new buildings with front facades of adjacent buildings where a consistent setback has been established along the street frontage. Use the median setback of buildings along the street frontage where a variety of setbacks exist. Refer to UDC Article 3, Division 2. Base Zoning Districts for applicable setback requirements.
- ii. Orientation*—Orient the front façade of new buildings to be consistent with the predominant orientation of historic buildings along the street frontage.

#### B. ENTRANCES

- i. Orientation*—Orient primary building entrances, porches, and landings to be consistent with those historically found along the street frontage. Typically, historic building entrances are oriented towards the primary street.

### 2. Building Massing and Form

#### A. SCALE AND MASS

- i. Similar height and scale*—Design new construction so that its height and overall scale are consistent with nearby historic buildings. In residential districts, the height and scale of new construction should not exceed that of the majority of historic buildings by more than one-story. In commercial districts, building height shall conform to the established pattern. If there is no more than a 50% variation in the scale of buildings on the adjacent block faces, then the height of the new building shall not exceed the tallest building on the adjacent block face by more than 10%.
- ii. Transitions*—Utilize step-downs in building height, wall-plane offsets, and other variations in building massing to provide a visual transition when the height of new construction exceeds that of adjacent historic buildings by more than one-half story.
- iii. Foundation and floor heights*—Align foundation and floor-to-floor heights (including porches and balconies) within one foot of floor-to-floor heights on adjacent historic structures.

#### B. ROOF FORM

- i. Similar roof forms*—Incorporate roof forms—pitch, overhangs, and orientation—that are consistent with those predominantly found on the block. Roof forms on residential building types are typically sloped, while roof forms on non-residential building types are more typically flat and screened by an ornamental parapet wall.

#### C. RELATIONSHIP OF SOLIDS TO VOIDS

- i. Window and door openings*—Incorporate window and door openings with a similar proportion of wall to window space as typical with nearby historic facades. Windows, doors, porches, entryways, dormers, bays, and pediments shall be considered similar if they are no larger than 25% in size and vary no more than 10% in height to width ratio from adjacent historic facades.
- ii. Façade configuration*—The primary façade of new commercial buildings should be in keeping with established patterns. Maintaining horizontal elements within adjacent cap, middle, and base precedents will establish a consistent street wall through the alignment of horizontal parts. Avoid blank walls, particularly on elevations visible from the street. No new façade should exceed 40 linear feet without being penetrated by windows, entryways, or other defined bays.

### 3. Materials and Textures

#### A. NEW MATERIALS

- i. Complementary materials*—Use materials that complement the type, color, and texture of materials traditionally found in the district. Materials should not be so dissimilar as to distract from the historic

interpretation of the district. For example, corrugated metal siding would not be appropriate for a new structure in a district comprised of homes with wood siding.

*ii. Alternative use of traditional materials*—Consider using traditional materials, such as wood siding, in a new way to provide visual interest in new construction while still ensuring compatibility.

*iii. Roof materials*—Select roof materials that are similar in terms of form, color, and texture to traditionally used in the district.

*v. Imitation or synthetic materials*—Do not use vinyl siding, plastic, or corrugated metal sheeting.

Contemporary materials not traditionally used in the district, such as brick or simulated stone veneer and Hardie Board or other fiberboard siding, may be appropriate for new construction in some locations as long as new materials are visually similar to the traditional material in dimension, finish, and texture.

EIFS is not recommended as a substitute for actual stucco.

#### 4. Architectural Details

##### A. GENERAL

*i. Historic context*—Design new buildings to reflect their time while respecting the historic context. While new construction should not attempt to mirror or replicate historic features, new structures should not be so dissimilar as to distract from or diminish the historic interpretation of the district.

*ii. Architectural details*—Incorporate architectural details that are in keeping with the predominant architectural style along the block face or within the district when one exists. Details should be simple in design and should complement, but not visually compete with, the character of the adjacent historic structures or other historic structures within the district. Architectural details that are more ornate or elaborate than those found within the district are inappropriate.

*iii. Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for new construction. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the structure is new. Modern materials should be implemented in a way that does not distract from the historic structure.

#### FINDINGS:

##### General findings:

- a. On November 19, 2014, the applicant received conceptual approval for the rehabilitation of the existing three story brick building constructed circa 1900, the rehabilitation of the existing one story brick building constructed circa 1915, the construction of a new, 122,000 square foot CHCS clinic and the construction of a new, 130,000 square foot parking garage.
- b. Since that time, the applicant has proposed to demolish the existing one story brick building constructed circa 1915 and construct a new building with an identical footprint and complementary façade. The following findings address this proposed demolition.

##### Findings related to request item #1:

- c. The applicant received a Certificate of Appropriateness for approval to demolish a non-contributing rear addition to the contributing one story brick structure at 928 W Commerce on August 6, 2014. On November 19, 2014, the applicant received conceptual approval for the rehabilitation of the one story brick structure, a three story brick structure and the construction of a new three story structure and above ground parking structure.
- d. Generally, property owners are encouraged to explore ways to incorporate historic and contributing buildings into new developments. Rehabilitation work for designated buildings is eligible for local, state and federal tax incentives. Demolition should always be a last resort.
- e. The loss of a historic landmark constitutes an irreplaceable loss to the quality and character of San Antonio. Demolition of any contributing buildings should only occur after every attempt has been made, within reason, to successfully reuse the structure. Clear and convincing evidence supporting an unreasonable economic hardship on the applicant if the application for a certificate is disapproved must be presented by the applicant in order for demolition to be considered. The criteria for establishing unreasonable economic hardship are listed in UDC Section 35-614 (b)(3). The applicant must prove by a preponderance of the evidence that:

*A. The owner cannot make reasonable beneficial use of or realize a reasonable rate of return on a structure or site, regardless of whether that return represents the most profitable return possible, unless the highly significant endangered, historic and cultural landmark, historic and cultural landmarks district or demolition delay designation, as applicable, is removed or the proposed demolition or relocation is allowed;*

[The applicant claims that without the demolition of the contributing structure at 928 W Commerce, the owner would not be able to develop an economically viable project. The total estimated cost to restore the existing one story structure is \$673,530. The cost to demolish and construct a new, comparable structure is \$289,010. The difference of \$384,520 is one that the applicant feels would not be economically feasible for the owner. According to Bexar County Appraisal District, the property was appraised at \$2,187,800 in 2014.]

*B. The structure and property cannot be reasonably adapted for any other feasible use, whether by the current owner or by a purchaser, which would result in a reasonable rate of return;*

[Currently, the property at 928 W Commerce is to become the Center for Health Care Services, Westside Clinic. The applicant has stated that the loss of structural integrity in one of the one story brick structure's load bearing walls has made the rehabilitation of the existing structure unfeasible.]

*C. The owner has failed to find a purchaser or tenant for the property during the previous two (2) years, despite having made substantial ongoing efforts during that period to do so. The evidence of unreasonable economic hardship introduced by the owner may, where applicable, include proof that the owner's affirmative obligations to maintain the structure or property make it impossible for the owner to realize a reasonable rate of return on the structure or property.*

[While the applicant has not actively marketed the property to potential purchasers, this property has had multiple owners in the past several years who have not successfully redeveloped the site. With the demolition of the one story brick structure, the owner believes an economically feasible development would occur.]

- f. Staff finds that the applicant has presented information toward proving an economic hardship, but that a structural report on the contributing structure that is proposed to be demolished as well as information showing where the applicant has explored local, state and federal tax incentives that would relieve or offset the cost of rehabilitation over the cost of demolition and new construction.

Findings related to request items #2 through #4:

- g. The UDC Section 35-610 as well as the Guidelines for Exterior Maintenance and Alterations 10.A. and 10.B. recommend the restoration of commercial facades of contributing structures. Furthermore, the Guidelines state that character defining features should be preserved and that new façade elements should not be introduced that alter or destroy the historic character of a building. The applicant's proposal is consistent with the UDC as well as the Historic Design Guidelines.
- h. The applicant has configured the proposed 122,000 square foot clinic as well as the 130,000 square foot parking garage to form a central courtyard that also includes a ground level lobby and commercial space fronting Frio and the corner of Frio and Buena Vista. The applicant's proposed façade orientation and entrance configuration is consistent with the Guidelines for New Construction 1.A. and 1.B.
- i. The proposed new construction includes a similar height and scale as well as similar transitions and floor heights as the existing structures as well as other historic examples present in the vicinity of the property. This is consistent with the Guidelines for New Construction 2.A and B.
- j. The applicant has proposed materials for new construction consisting of D'Hanis brick to match that of the existing three story hotel's red brick and store front glass. These materials are consistent with the Guidelines for New Construction 3.A.i. In addition to these materials, the applicant has proposed a curtain wall system that is to be constructed behind the wall planes of the existing, historic structures. Curtain walls are not found historically in the vicinity of this site, however, staff finds that this application is appropriate given the proposed setbacks from the historic structure as well as the configuration of the curtain wall panels. This is consistent with the Guidelines for New Construction 4.A.
- k. The proposed 130,000 square foot parking garage will be clad with painted metal panels that have been designed to accommodate public art in the form of a large scale art wall oriented to the Buena Vista overpass and to Frio. Any

future art work that is displayed at this structure must comply with the UDC Section 35-651 in regards to public art.

1. As previously mentioned, street level retail space has been proposed. Signage for the CHCS clinic as well as any additional retail signage must be approved by the HDRC prior to installation.
- m. This property is traversed by a previously recorded archaeological site, 41BX620, the Alazan Acequia. Therefore, archaeological investigations shall be required for the project.

**RECOMMENDATION:**

1. Staff does not recommend approval of request item #1 based on findings e and f.
2. Staff recommends final approval of the request given conceptual approval on November 19, 2014, which includes the restoration, not demolition of the one story brick building constructed circa 1915.

**CASE MANAGER:**

Edward Hall





## Flex Viewer

Powered by ArcGIS Server

Printed: Jun 09, 2015

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# **WESTSIDE CLINIC - SAN ANTONIO**

**múñoz**

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O. 210.349.1163 • F. 210.525.1038 • MUNOZ-CO.COM

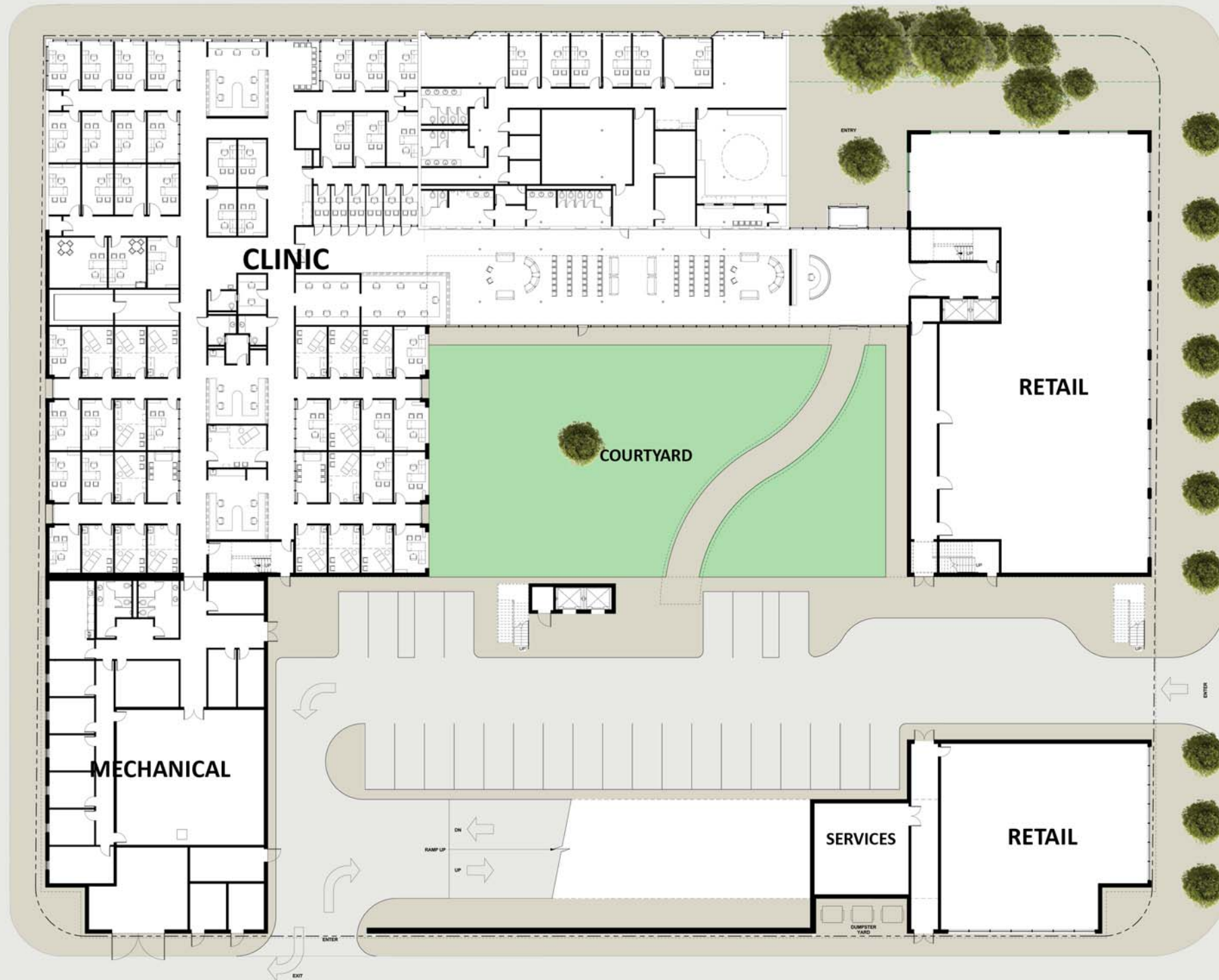


NORTH





MEDINA STREET



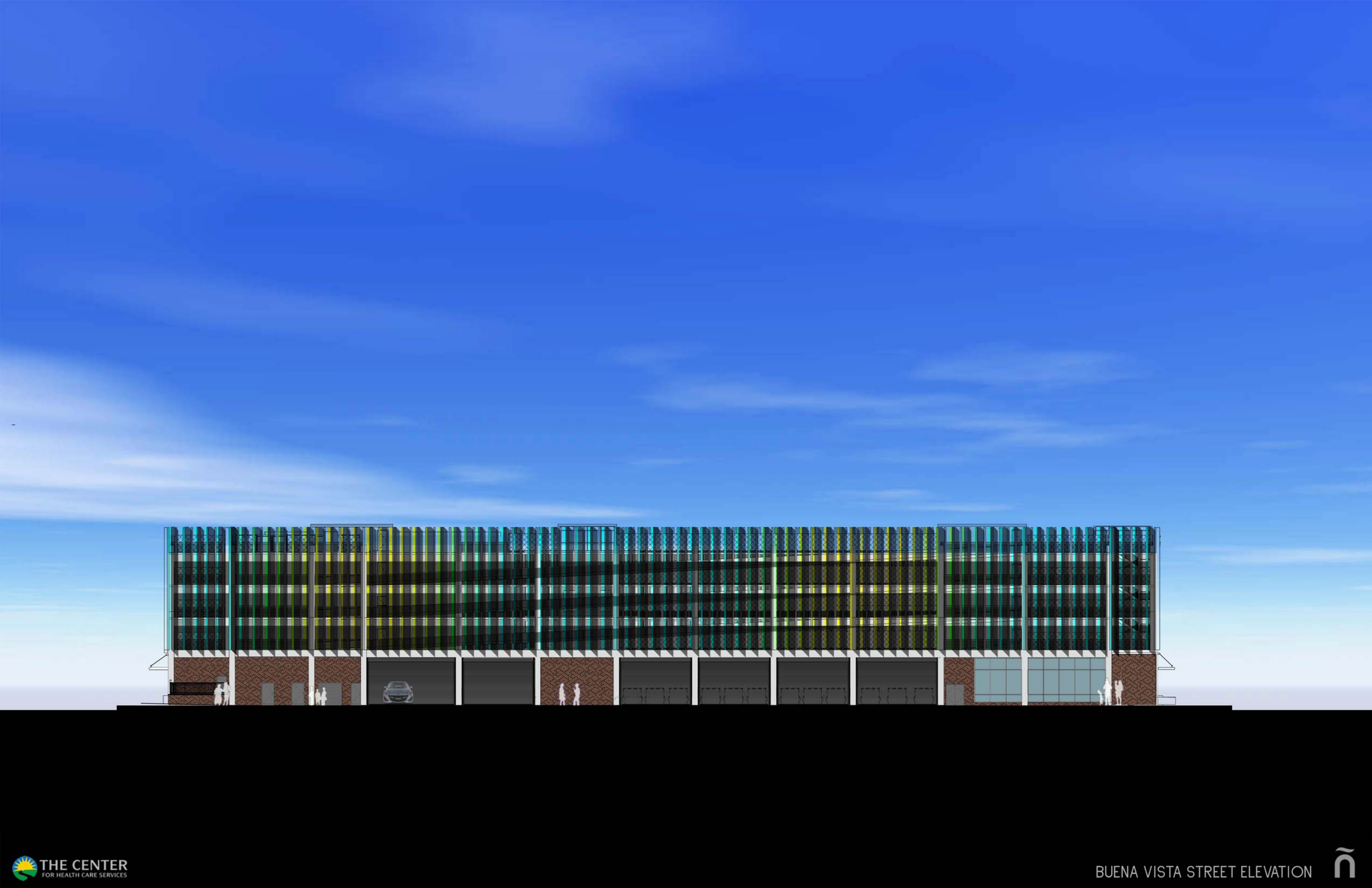
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COMMERCE STREET

BUENA VISTA STREET



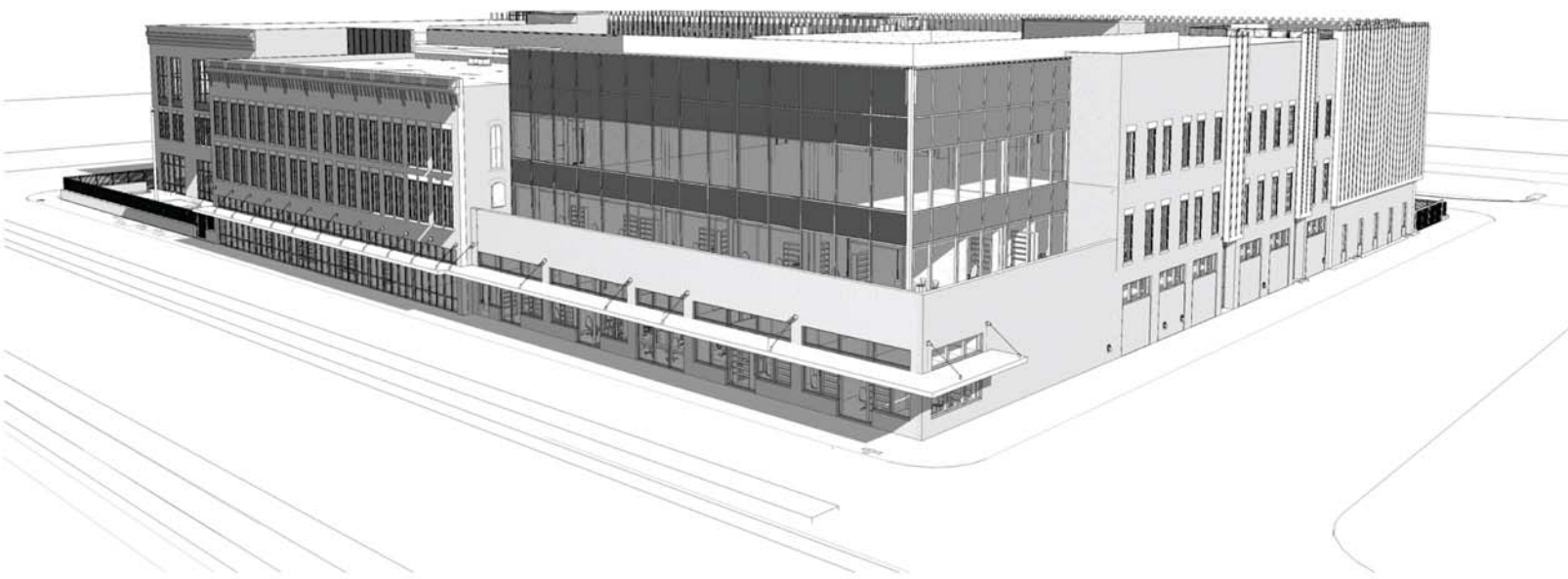




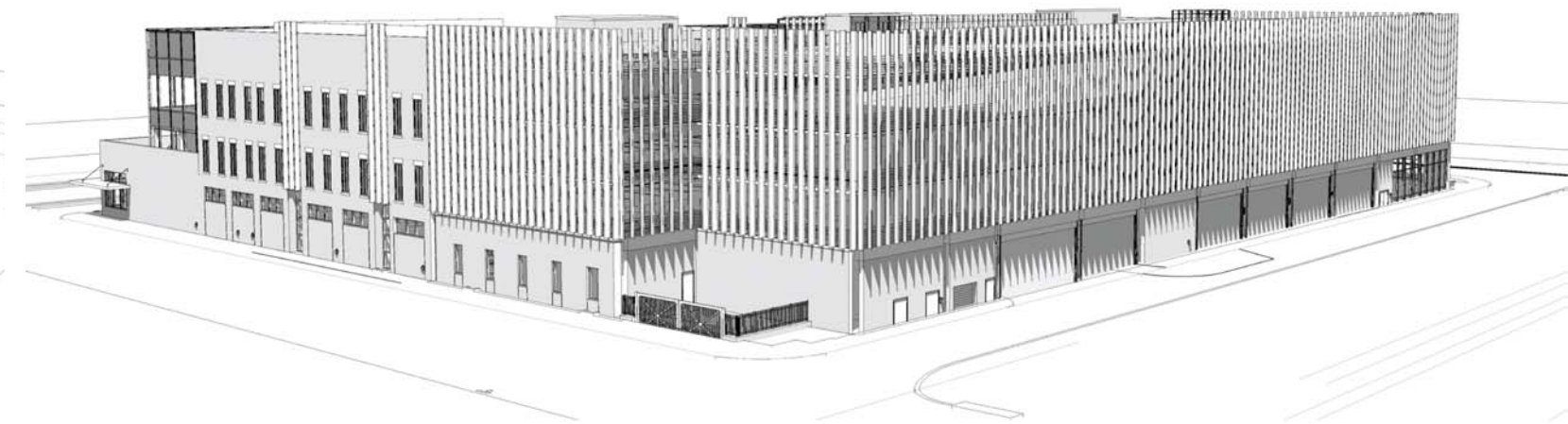








COMMERCE AND MEDINA



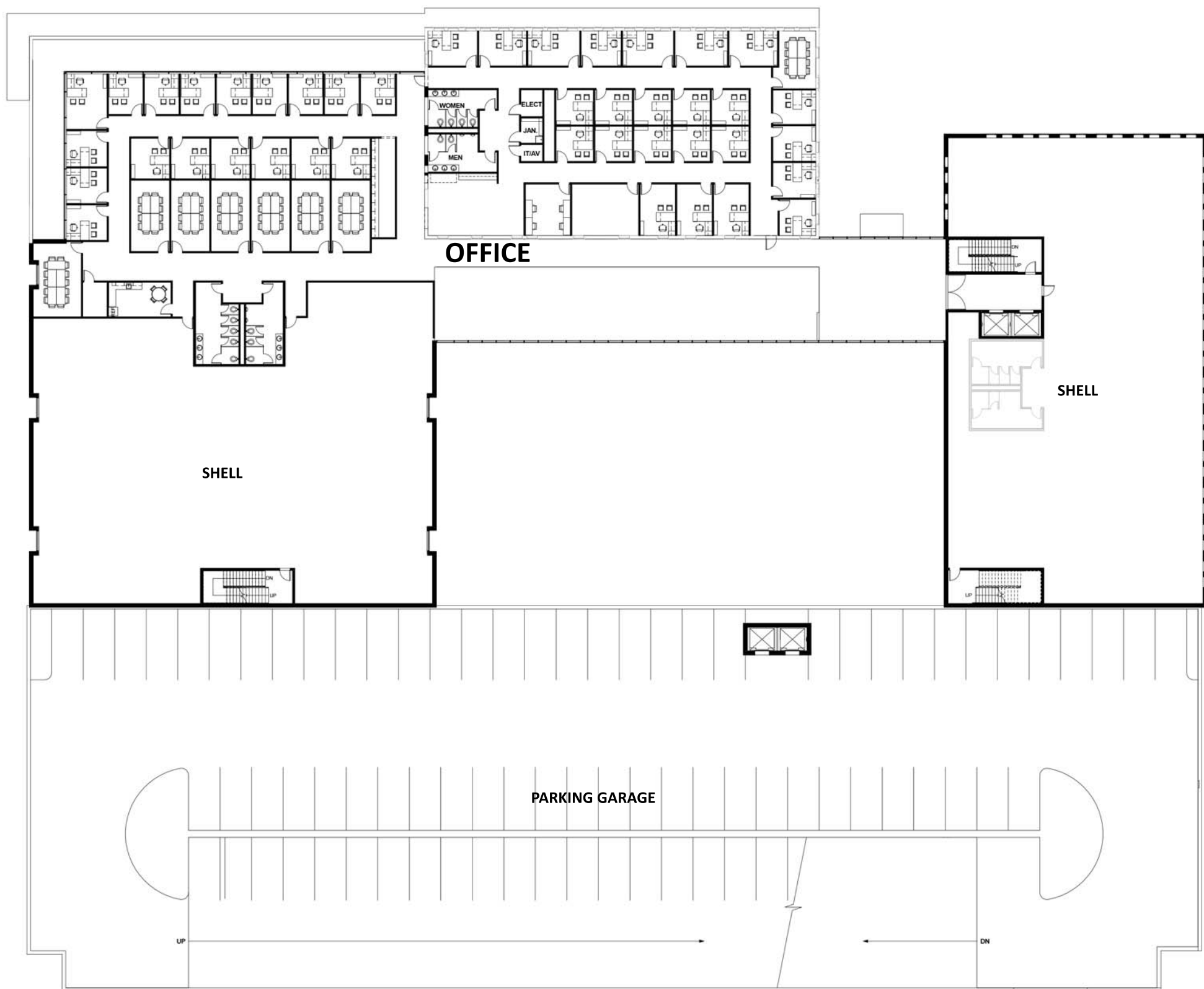
MEDINA AND BUENA VISTA

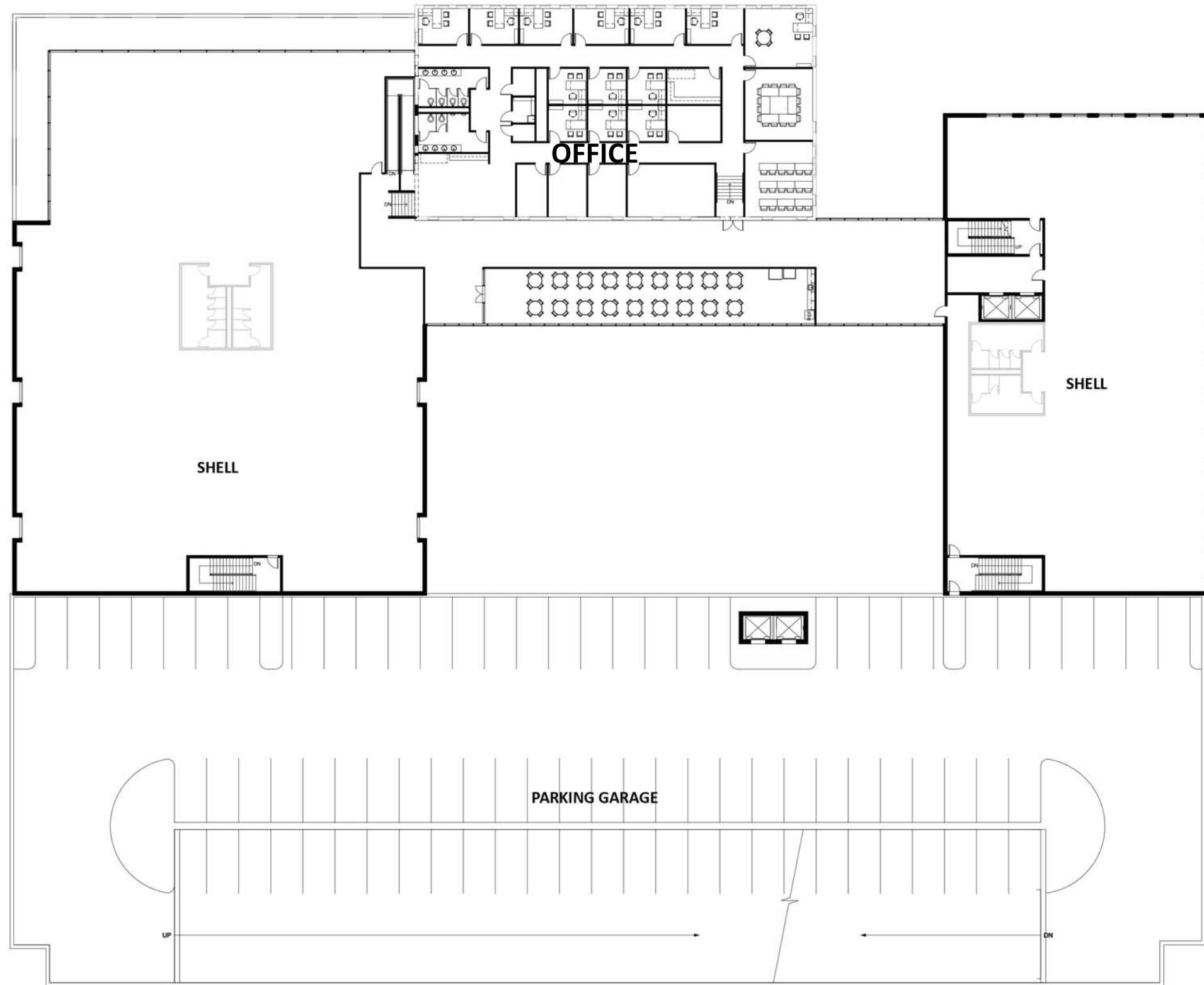


COMMERCE AND FRIO



FRIO AND BUENA VISTA









April 16, 2015

Attn: Cory Edwards  
City of San Antonio – Office of Historic Preservation

RE: Center for Health Care Services - Westside Clinic – 928 W. Commerce St.  
Center for Health Care Services is filing a request to demolish an existing one story structure deemed contributing and replace with a new construction to replicate the wall per UDC Sec. 35-614 Demolition – (b) Unreasonable Economic Hardship.

A Demolition Package 1 was approved on 8/1/14, COSA permit #I1992228. The documents included removal of two additions to the 1 story structure. After further design development and costing there is an additional \$384,520 required to restore the existing 1 story wall. The total cost to restore the wall is \$673,530 vs. \$289,010 to demolish the wall and replace with all new construction.

The CHCS Westside Clinic project at 928 W. Commerce St. has received preliminary HDRC approval on 11/19/15 and would like to amend the documents to include demolition of the 1 story wall and replace with new construction to match existing. The building overall massing will not design concept will not change.

Please refer to attachments for:

1. Location plan of the one story building at corner of W. Commerce and S. Medina Street.
2. Approved demolition plan for additions to the one story building COSA permit #I1992228.
3. Photos of existing one story building.
4. Documents showing structure required for restoration (bracing and permanent structure).
5. Contractor cost comparison to restore existing 1 story brick wall versus replacing with a new brick wall to match existing.

Please advise us next steps required.

Sincerely,

James Sterner, AIA  
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210-349-1163

muñoz & company



The Center for Health Care Services – Westside Clinic - 928 W. Commerce St.

Cost to restore existing 1 story building wall at the corner of Commerce and Medina:

|  |       |     |                |
|--|-------|-----|----------------|
| Mold Abatement at Wall                       | 3,784 | SF  | 18,920         |
| Lead Abatement at Wall / Windows             | 6     | EA  | 1,500          |
| Demo Sidewalk for Deadman                    | 2,067 | SF  | 8,268          |
| Remove Canopy Struc - 942 SF                 | 4     | wks | 18,045         |
| Pour Deadmen for Bracing                     | 35    | EA  | 14,000         |
| Bracing of Wall                              | 35    | EA  | 73,369         |
| Structural Support / Bolts for Bracing       | 35    | EA  | 16,559         |
| Temporary Walkway                            | 212   | LF  | 46,825         |
| Sidewalk Rental                              | 1     | LS  | 39,380         |
| Street Rental - for Temp Walkway             | 1     | LS  | 47,257         |
| Concrete Beam Support                        | 172   | LF  | 39,539         |
| Demo Struc Steel Frame / Brace Existing Roof | 2,580 | SF  | 38,700         |
| Demo Struc Slab                              | 2,580 | SF  | 30,960         |
| Saw Cut Struc Slab                           | 172   | LF  | 1,720          |
| Haul Off                                     | 191   | CY  | 5,733          |
| Demo Existing Demo of Discolored Brick       | 1,100 | SF  | 16,500         |
| Replace Discolored Brick                     | 1,100 | SF  | 19,800         |
| Repoint Brick                                | 3,784 | SF  | 37,840         |
| Replace Brick                                | 946   | SF  | 17,028         |
| Clean existing brick                         | 3,784 | SF  | 9,460          |
| Brick Sealer                                 | 3,784 | SF  | 5,676          |
| Build new Canopy Struc                       | 943   | SF  | 153,038        |
| Erect new Canopy Struc                       | 943   | SF  | 9,543          |
| Tie in Roof to Wall                          | 172   | LF  | 3,870          |
| <b>TOTAL</b>                                 |       |     | <b>673,530</b> |

Cost to construct new 1 story wall at the corner of Commerce and Medina:

|                              |       |     |                |
|------------------------------|-------|-----|----------------|
| Misc Demo                    |       |     | 10,000         |
| Build new Canopy Struc       | 943   | SF  | 153,038        |
| Erect new Canopy Struc       | 943   | SF  | 9,543          |
| Remove Canopy Struc - 942 SF | 4     | wks | 18,045         |
| Back up drywall partition    | 3,784 | SF  | 24,596         |
| waterproofing                | 3,784 | SF  | 5,676          |
| Brick veneer                 | 3,784 | SF  | 68,112         |
| <b>TOTAL</b>                 |       |     | <b>289,010</b> |



0 40' 80' 160'



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DATE:

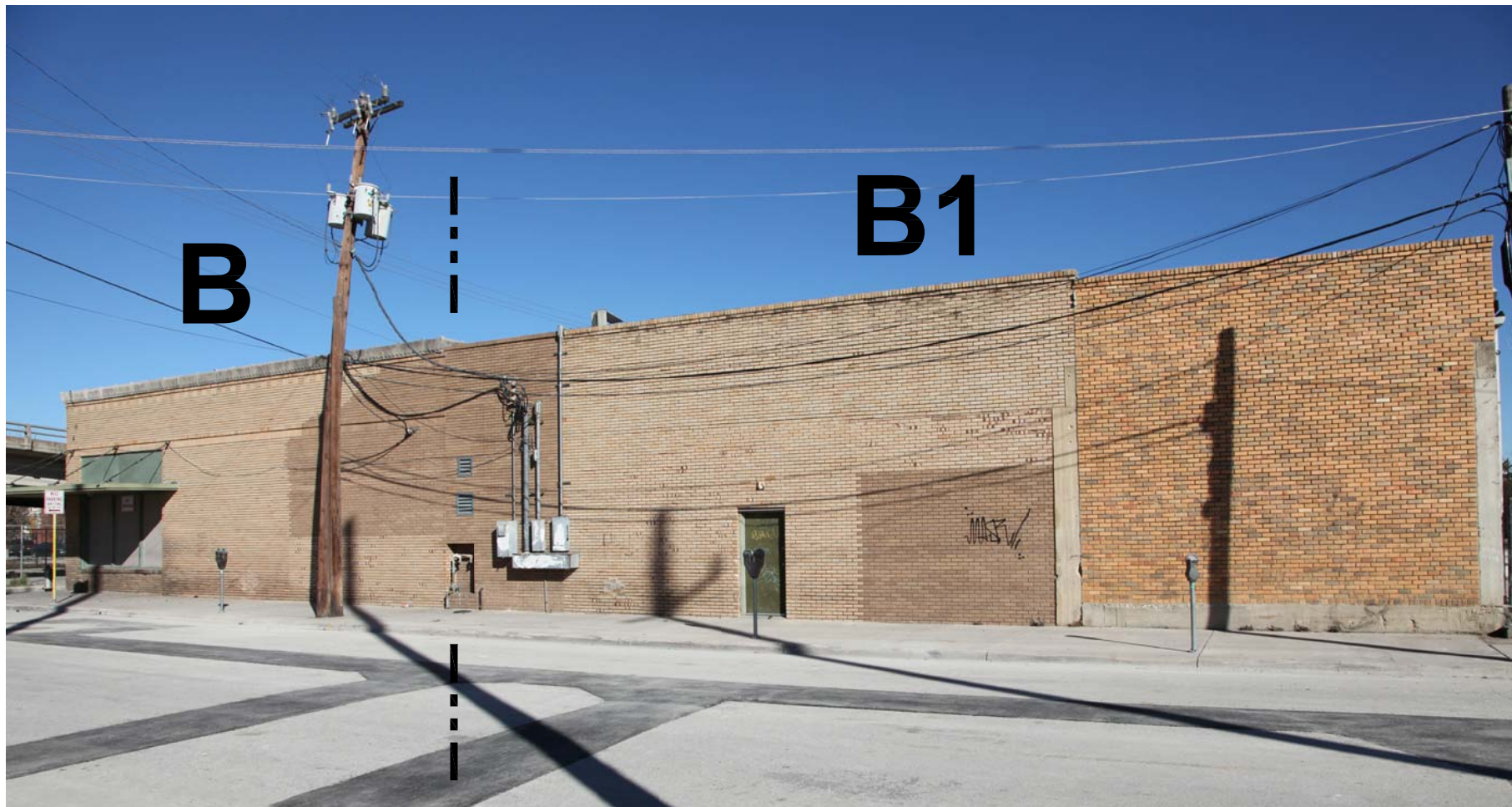
**06.24.14**

PROJECT NO.

REF. SHEET:

DRAWING NUMBER

**A-001**



1

# BUILDING "B-B1" WEST FACADE - MEDINA ST.

SCALE: N.T.S.



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DATE:

**06.24.14**

PROJECT NO.

REF. SHEET:

DRAWING NUMBER

**A-002A**



1

# BUILDING "B-B1" NORTH FACADE - COMMERCE ST.

SCALE: N.T.S.



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DATE:

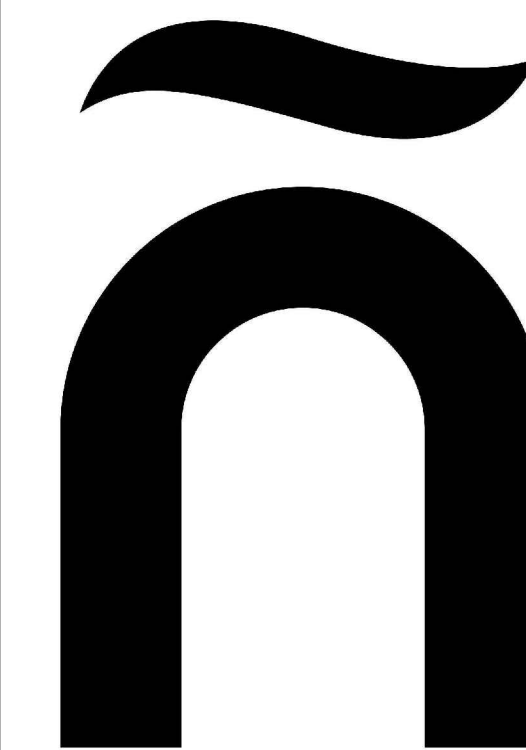
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PROJECT NO.

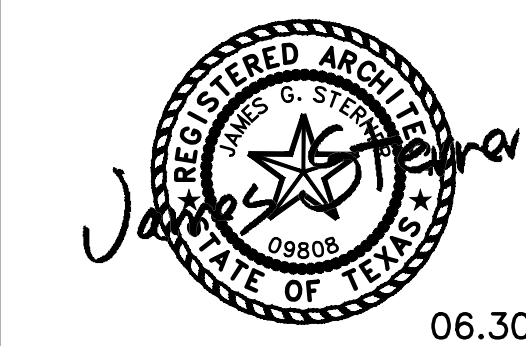
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DRAWING NUMBER

**A-002B**



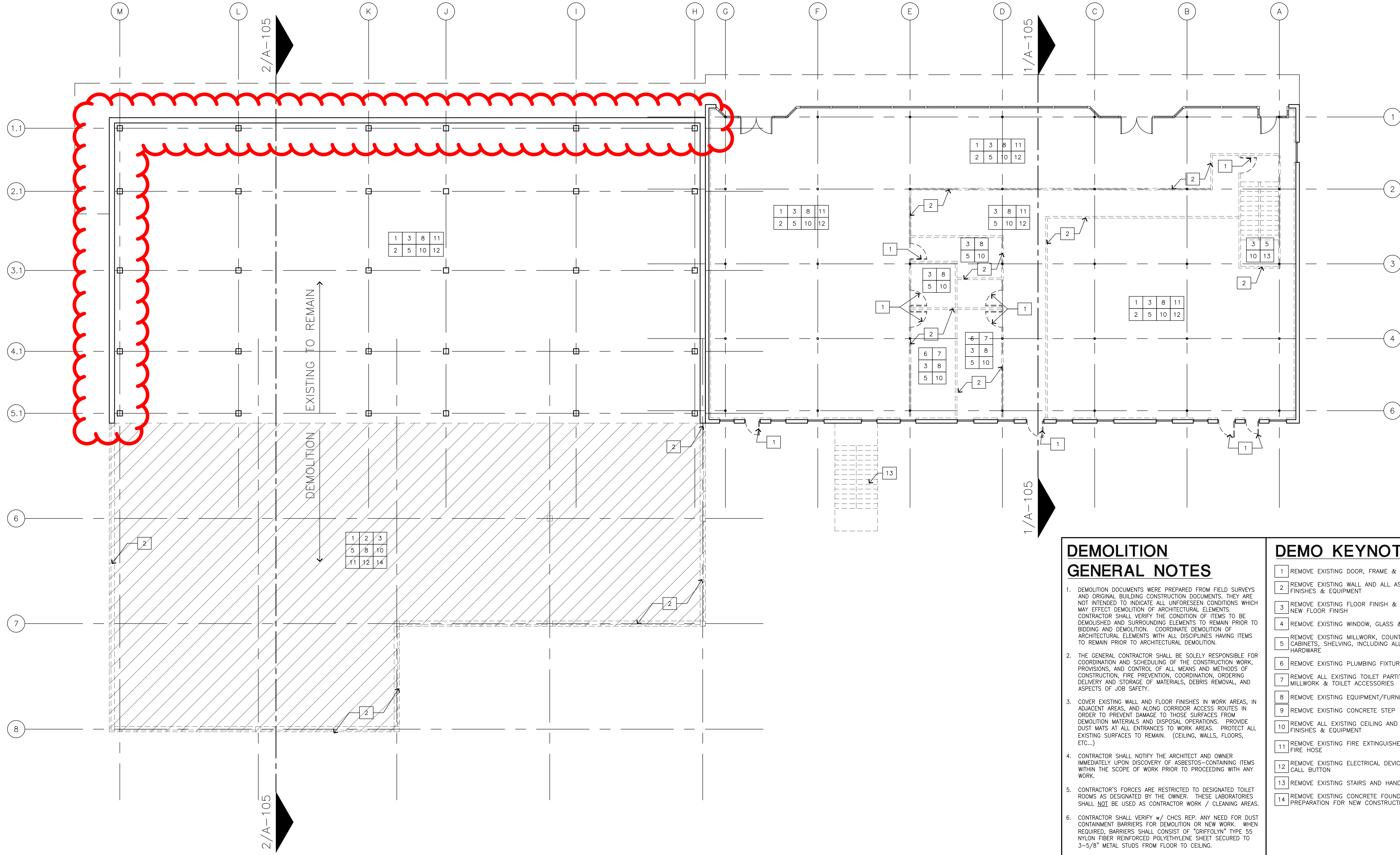
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**PAUL ELIZONDO - WESTSIDE CLINIC**

**PACKAGE 1**

**928 W. COMMERCE ST.**  
**SAN ANTONIO, TEXAS 78207**



**1 DEMOLITION FLOOR PLAN - LEVEL-1**  
SCALE: 1/8" = 1'-0"



**LEGEND**

- WALLS EXISTING TO REMAIN
- - - REMOVE EXISTING WALL AND ALL ASSOCIATED FINISHES AND EQUIPMENT

**DEMOLITION GENERAL NOTES**

- DEMOLITION DOCUMENTS WERE PREPARED FROM FIELD SURVEYS AND ORIGINAL BUILDING CONSTRUCTION DOCUMENTS. THEY ARE NOT INTENDED TO INDICATE ALL UNFORESEEN CONDITIONS WHICH MAY AFFECT DEMOLITION OF ARCHITECTURAL ELEMENTS. CONTRACTOR SHALL VERIFY THE CONDITION OF ITEMS TO BE DEMOLISHED AND SURROUNDING ELEMENTS TO REMAIN PRIOR TO BIDDING AND DEMOLITION. COORDINATE DEMOLITION OF ARCHITECTURAL ELEMENTS WITH ALL DISCIPLINES HAVING ITEMS TO REMAIN PRIOR TO ARCHITECTURAL DEMOLITION.
- THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COORDINATION AND SCHEDULING OF THE CONSTRUCTION WORK, PROVISIONS, AND CONTROL OF ALL MEANS AND METHODS OF CONSTRUCTION, FIRE PREVENTION, COORDINATION, ORDERING DELIVERY AND STORAGE OF MATERIALS, DEBRIS REMOVAL, AND ASPECTS OF JOB SAFETY.
- COVER EXISTING WALL AND FLOOR FINISHES IN WORK AREAS, IN ADJACENT AREAS, AND ALONG CORRIDOR ACCESS ROUTES IN ORDER TO PREVENT DAMAGE TO THOSE SURFACES FROM DEMOLITION MATERIALS AND DISPOSAL OPERATIONS. PROVIDE DUST MATS AT ALL ENTRANCES TO WORK AREAS. PROTECT ALL EXISTING SURFACES TO REMAIN. (CEILING, WALLS, FLOORS, ETC...)
- CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY UPON DISCOVERY OF ASBESTOS-CONTAINING ITEMS WITHIN THE SCOPE OF WORK PRIOR TO PROCEEDING WITH ANY WORK.
- CONTRACTOR'S FORCES ARE RESTRICTED TO DESIGNATED TOILET ROOMS AS DESIGNATED BY THE OWNER. THESE LABORATORIES SHALL NOT BE USED AS CONTRACTOR WORK / CLEANING AREAS.
- CONTRACTOR SHALL VERIFY w/ CHCS REP. ANY NEED FOR DUST CONTAINMENT BARRIERS FOR DEMOLITION OR NEW WORK. WHEN REQUIRED, BARRIERS SHALL CONSIST OF "GRIFFOLYN" TYPE 55 NYLON FIBER REINFORCED POLYETHYLENE SHEET SECURED TO 3-5/8" METAL STUDS FROM FLOOR TO CEILING.
- A PRE-CONSTRUCTION MEETING SHALL BE COORDINATED w/ CHCS REP. AND USER GROUP. A GENERAL METHOD OF PROCEDURES SHALL BE FILED BY THE CONTRACTOR w/ CHCS PRIOR TO PROCEEDING WITH WORK. THIS M.O.P. SHALL SET FORTH ANY SEGMENT OR ITEM OF CONSTRUCTION WHICH MAY CAUSE DISRUPTION OF BUILDING SERVICES, POWER OUTAGES, LOSS OF COOLING OR HEATING OR LOSS OF TELEPHONE SERVICE.
- CONTRACTOR'S FORCES ARE RESTRICTED TO DESIGNATED ROOMS. COORDINATE LIMITS w/ CHCS REP.
- REFER TO ELECTRICAL DRAWINGS FOR MODIFICATIONS TO EXISTING ELECTRICAL CONDITIONS.
- REMOVE ALL ITEMS AS REQUIRED TO ACCOMPLISH THE FINAL CONSTRUCTION REQUIREMENTS EVEN IF NOT SHOWN ON THE CONTRACT DOCUMENTS.
- REFER TO MEP DEMOLITION PLANS, NOTES, AND SPECIFICATIONS FOR INFORMATION ON OTHER EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT.
- ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES HAVING JURISDICTION.
- ALL ITEMS INDICATED TO BE SALVAGED, REPOSITIONED, OR REPLACED SHALL BE STORED AND DELIVERED TO OWNER IN GOOD CONDITION. REPAIR ALL SUCH ITEMS IF DAMAGED OR REPLACE TO THE SATISFACTION OF THE OWNER.

**DEMO KEYNOTES**

- REMOVE EXISTING DOOR, FRAME & HARDWARE
- REMOVE EXISTING WALL AND ALL ASSOCIATED FINISHES & EQUIPMENT
- REMOVE EXISTING FLOOR FINISH & PREPARE FOR NEW FLOOR FINISH
- REMOVE EXISTING WINDOW, GLASS & FRAME
- REMOVE EXISTING MILLWORK, COUNTER TOPS & CABINETS, SHELVING, INCLUDING ALL RELATED HARDWARE
- REMOVE EXISTING PLUMBING FIXTURES
- REMOVE ALL EXISTING TOILET PARTITIONS, MILLWORK & TOILET ACCESSORIES
- REMOVE EXISTING EQUIPMENT/FURNITURE
- REMOVE EXISTING CONCRETE STEP
- REMOVE ALL EXISTING CEILING AND ASSOCIATED FINISHES & EQUIPMENT
- REMOVE EXISTING FIRE EXTINGUISHER CABINET, FIRE HOSE
- REMOVE EXISTING ELECTRICAL DEVICE, EMERGENCY CALL BUTTON
- REMOVE EXISTING STAIRS AND HANDRAILS
- REMOVE EXISTING CONCRETE FOUNDATION & SITE PREPARATION FOR NEW CONSTRUCTION

Revisions

Sheet Title

**DEMOLITION FLOOR PLAN - LEVEL-1**

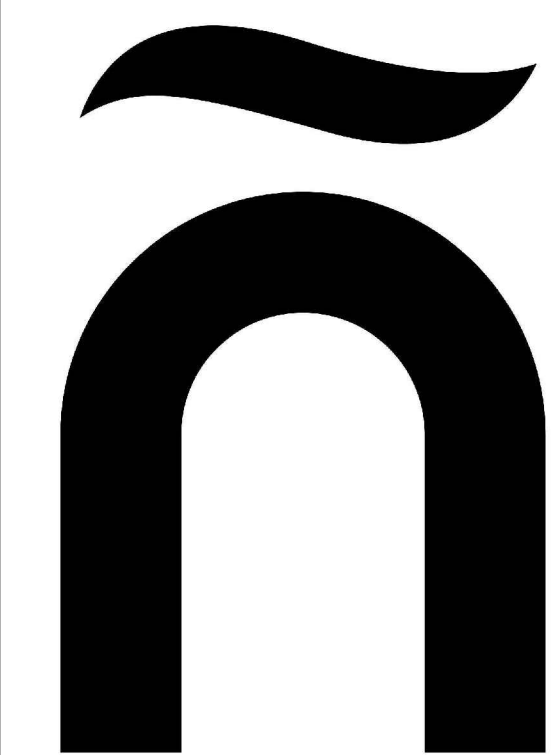
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Project Number **A14006.00**

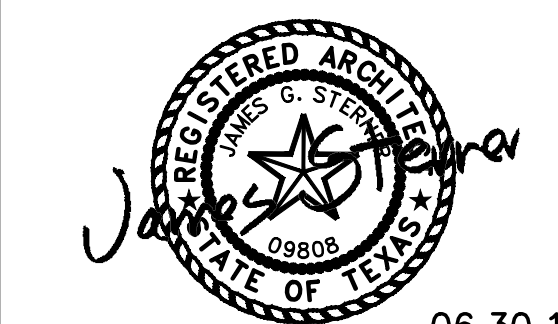
Drawn By

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**A-101**



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Revisions

Sheet Title  
**DEMOLITION - BUILDING SECTIONS**

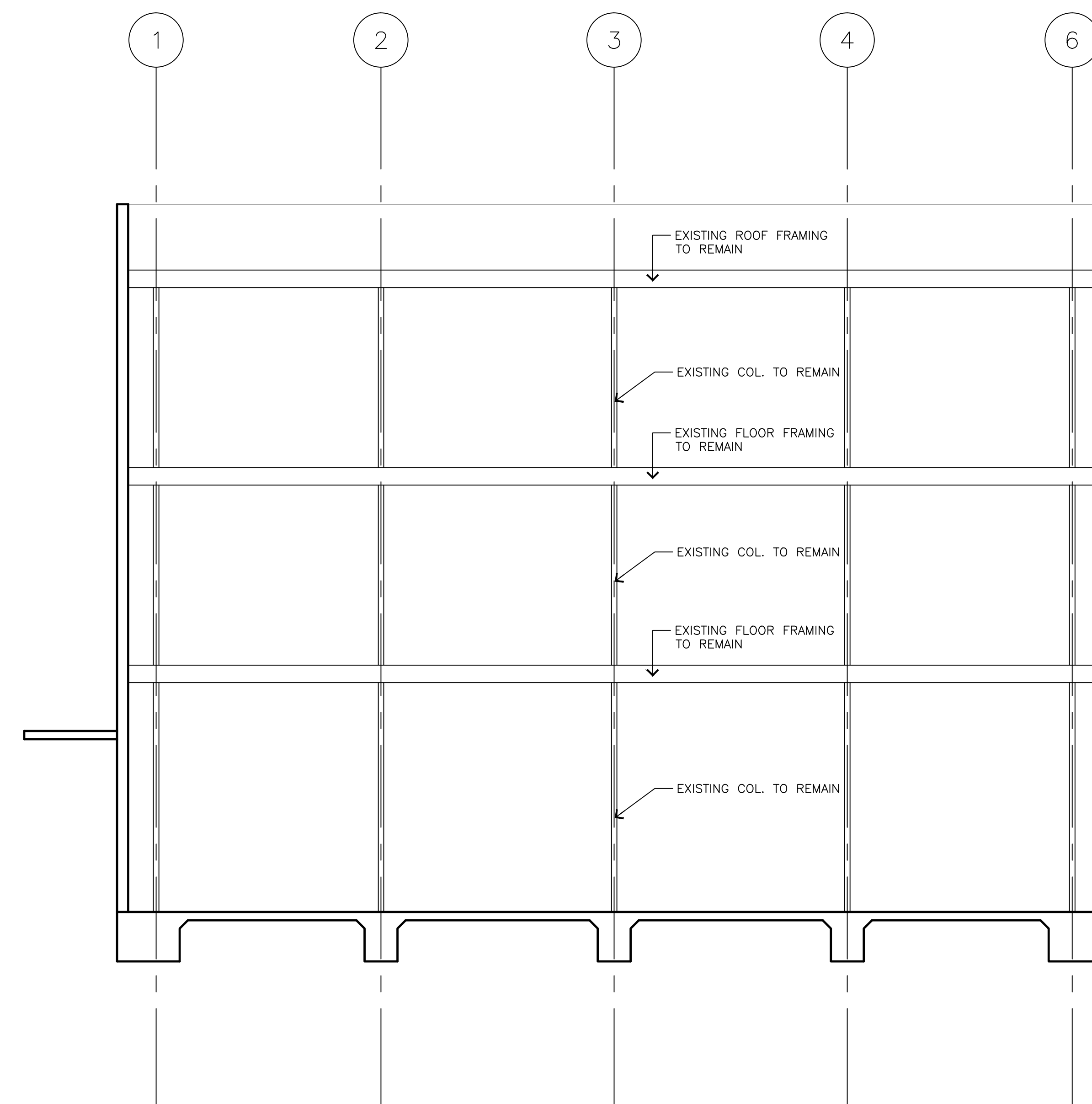
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**06.30.14**

Project Number  
**A14006.00**

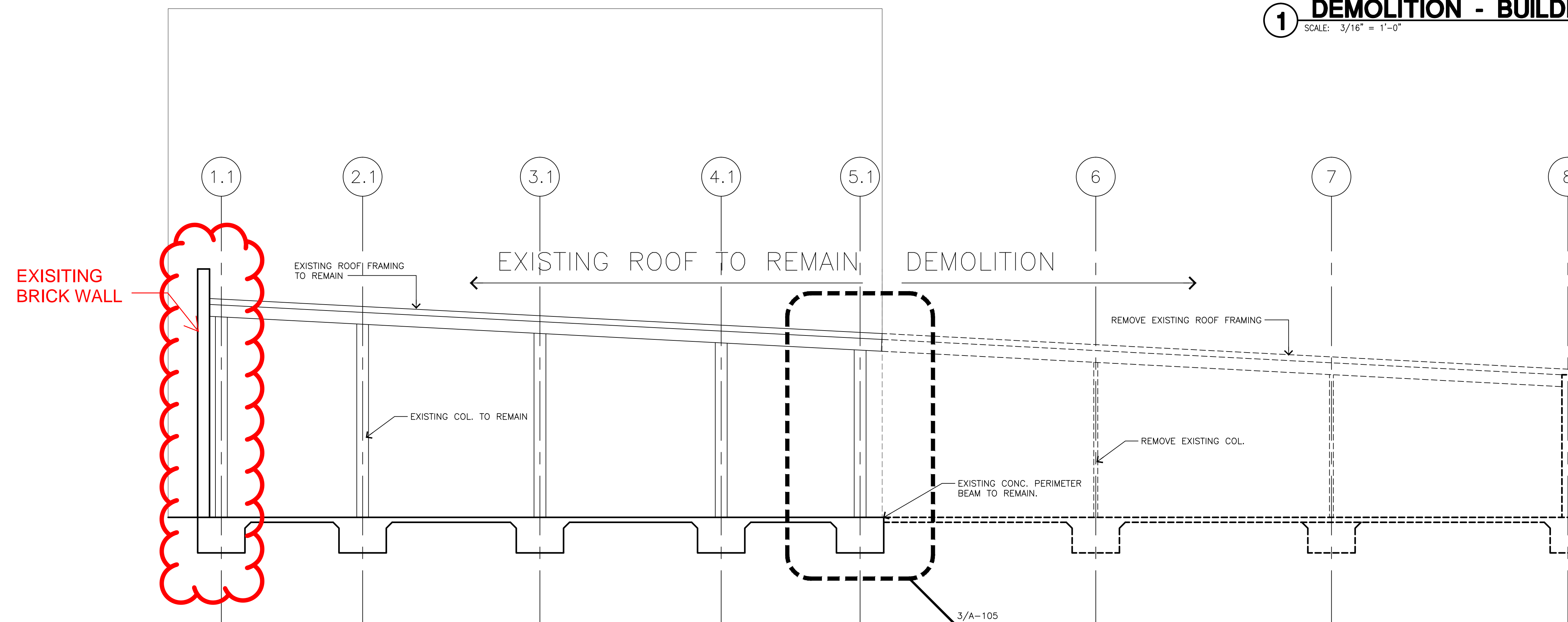
Drawn By

Sheet Number

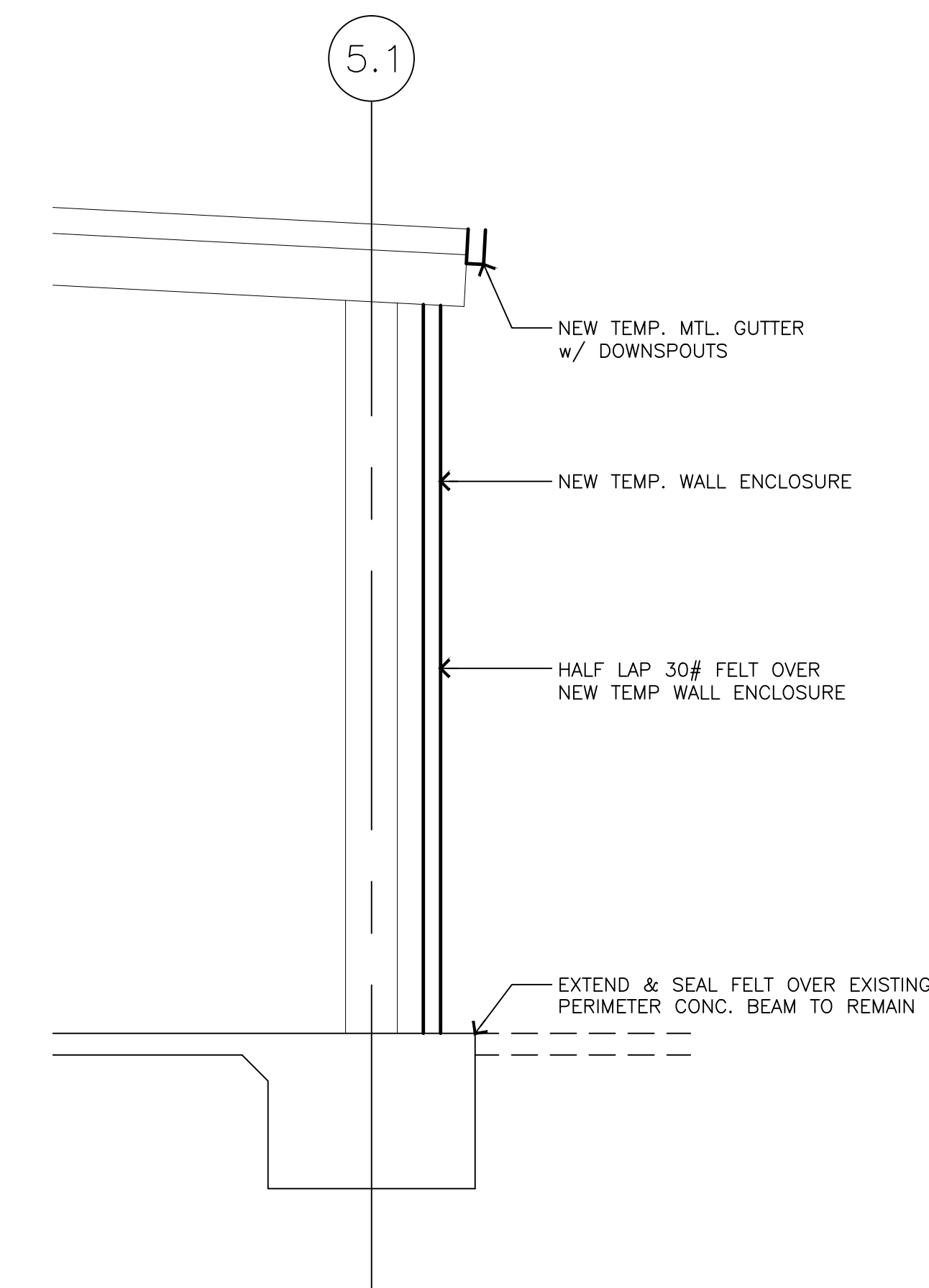
**A-105**



**1 DEMOLITION - BUILDING SECTION**  
SCALE: 3/16" = 1'-0"



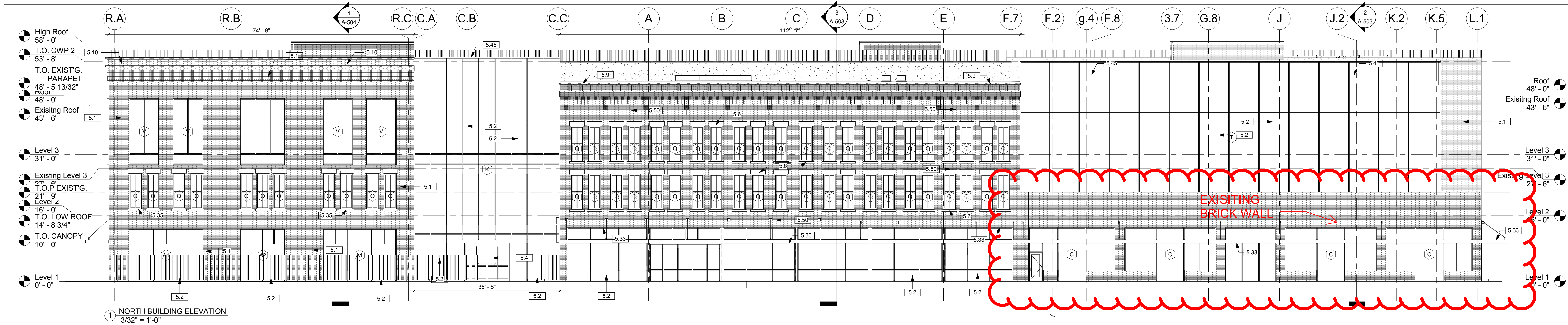
**2 DEMOLITION - BUILDING SECTION**  
SCALE: 3/16" = 1'-0"



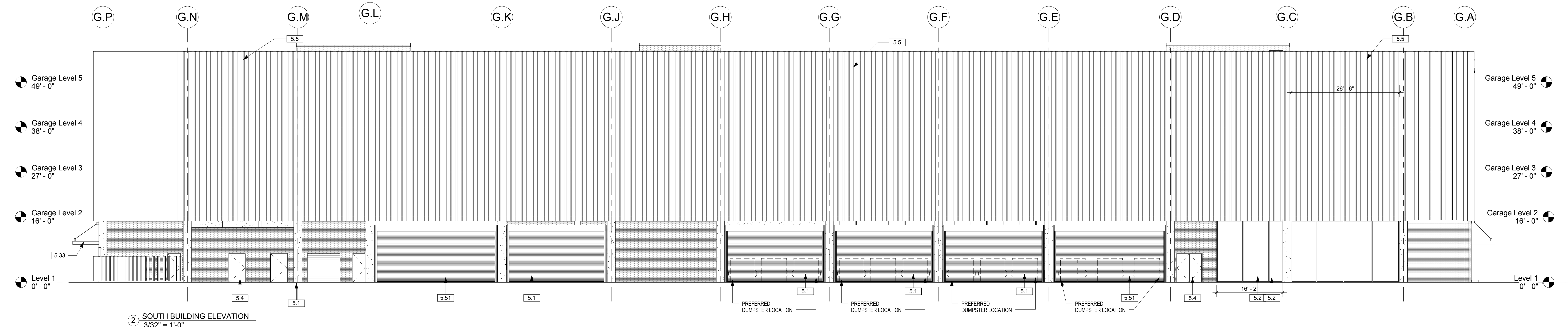
**3 DEMOLITION - WALL SECTION**  
SCALE: 3/16" = 1'-0"

**LEGEND**

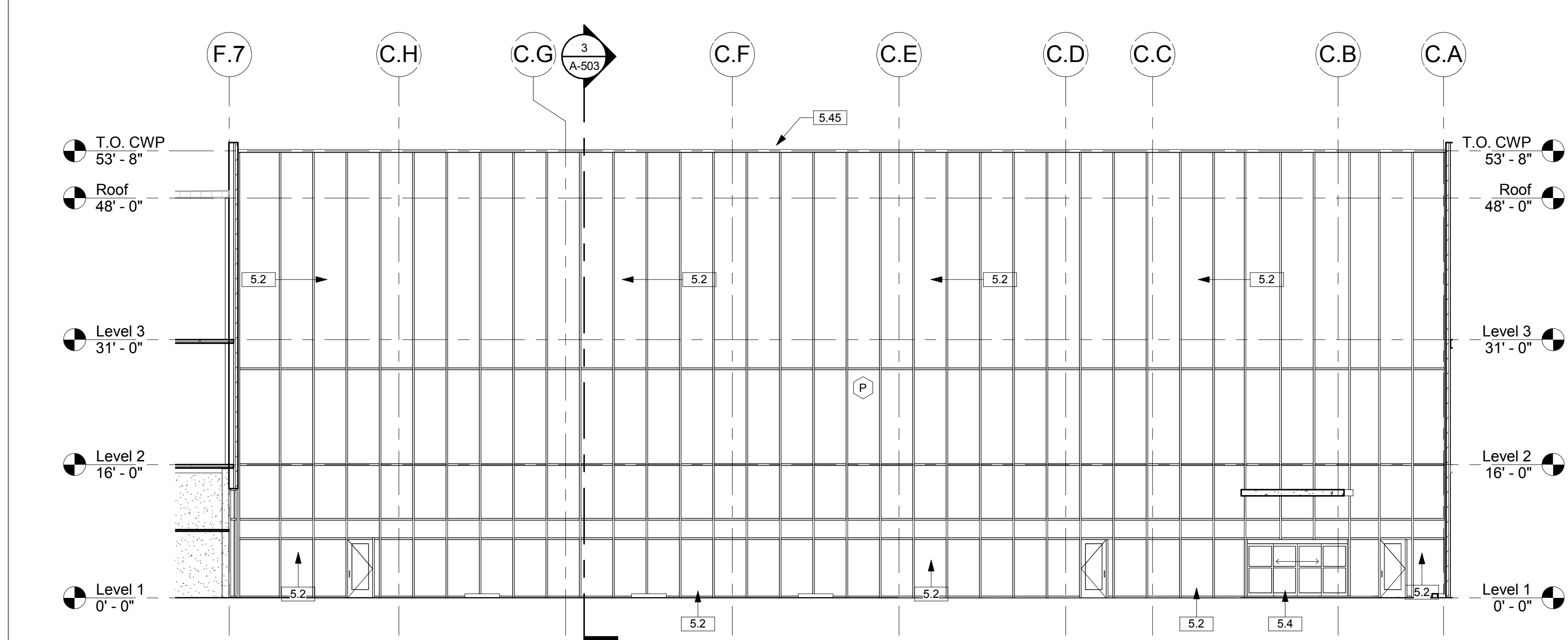
- WALLS EXISTING TO REMAIN
- - - REMOVE EXISTING WALL AND ALL ASSOCIATED FINISHES AND EQUIPMENT



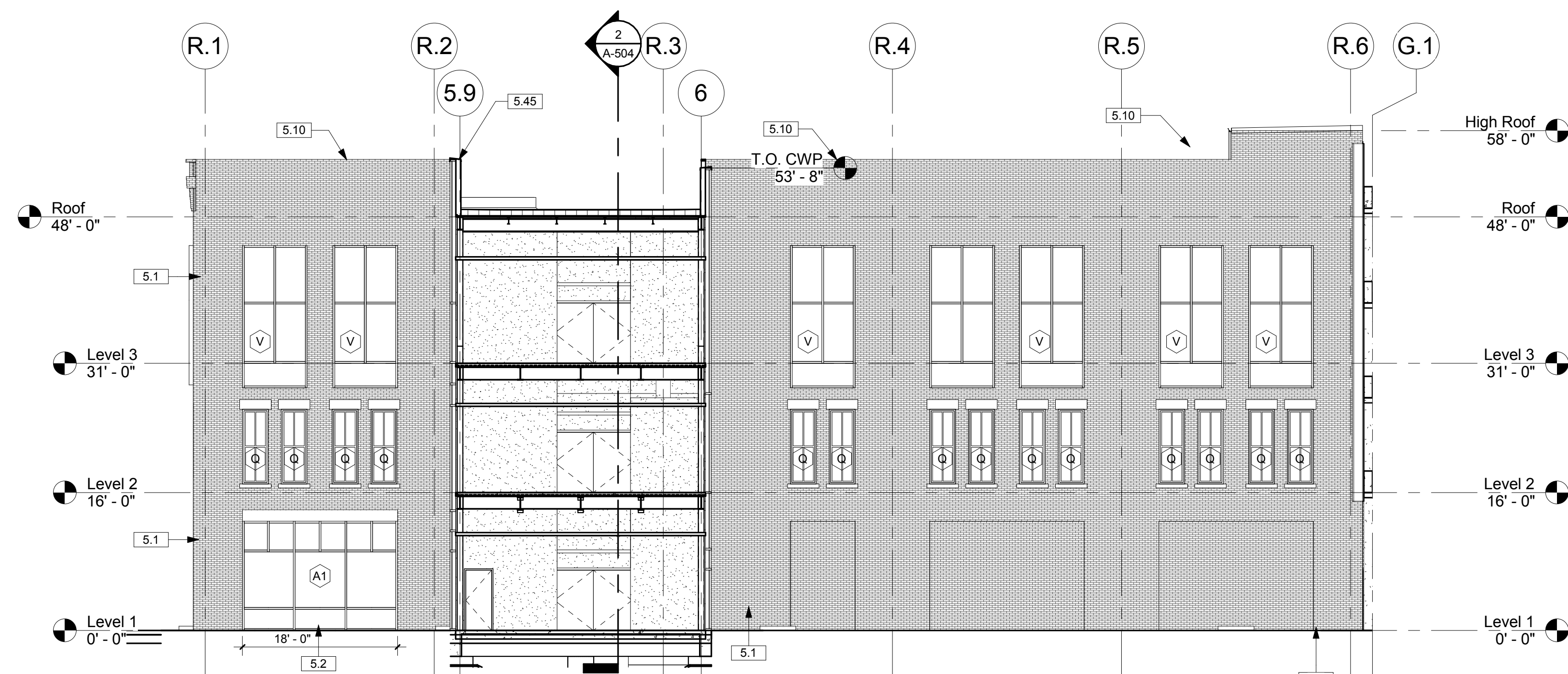
1 NORTH BUILDING ELEVATION  
3/32" = 1'-0"



2 SOUTH BUILDING ELEVATION  
3/32" = 1'-0"



3 PARTIAL SOUTH BUILDING ELEVATION  
3/32" = 1'-0"



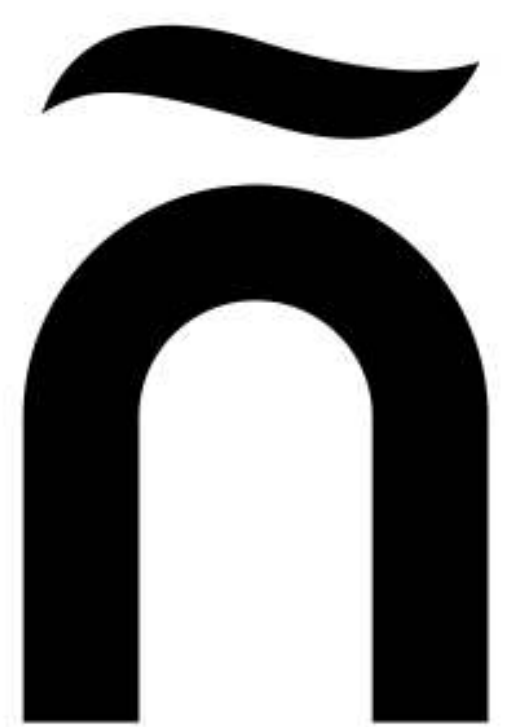
4 WEST BUILDING SECTION/ELEVATION  
3/32" = 1'-0"

### ELEVATION GENERAL NOTES

- ALL EXTERIOR AND/OR EXPOSED STEEL TO BE GALVANIZED.
- ITEMS SHADED GREY INDICATE AREAS BEYOND

### ELEVATION KEYNOTES

| Key Value | Keynote Text   |
|-----------|--|
| 5.1       | FACE BRICK VENEER  |
| 5.2       | CURTAIN WALL WITH 1" GLAZING, ALUM. FRAME  |
| 5.4       | DOOR AS SCHEDULED  |
| 5.5       | VERTICAL METAL PURLIN SCREEN, PTD  |
| 5.6       | CLEAN, REPOINT AND RESTORE EXISTING CAST STONE   |
| 5.9       | CLEAN, REPOINT AND RESTORE EXISTING BRICK PARAPET CAP  |
| 5.10      | PARAPET BRICK CAP  |
| 5.33      | PRE-FINISHED METAL CANOPY  |
| 5.35      | CAST STONE SILL  |
| 5.45      | PRE-FINISHED METAL PARAPET CAP, CONT.  |
| 5.50      | CLEAN, RE-POINT AND RESTORE EXISTING BRICK MASONRY. REPLACE ANY DAMAGED, BROKEN OR MISSING BRICK MASONRY TO MATCH EXISTING COLOR AND SIZE. |
| 5.51      | OH COILING GRILL AS SCHEDULED  |



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| # | DESCRIPTION | DATE |
|---|-------------|------|
|---|-------------|------|

Sheet Title  
ELEVATIONS

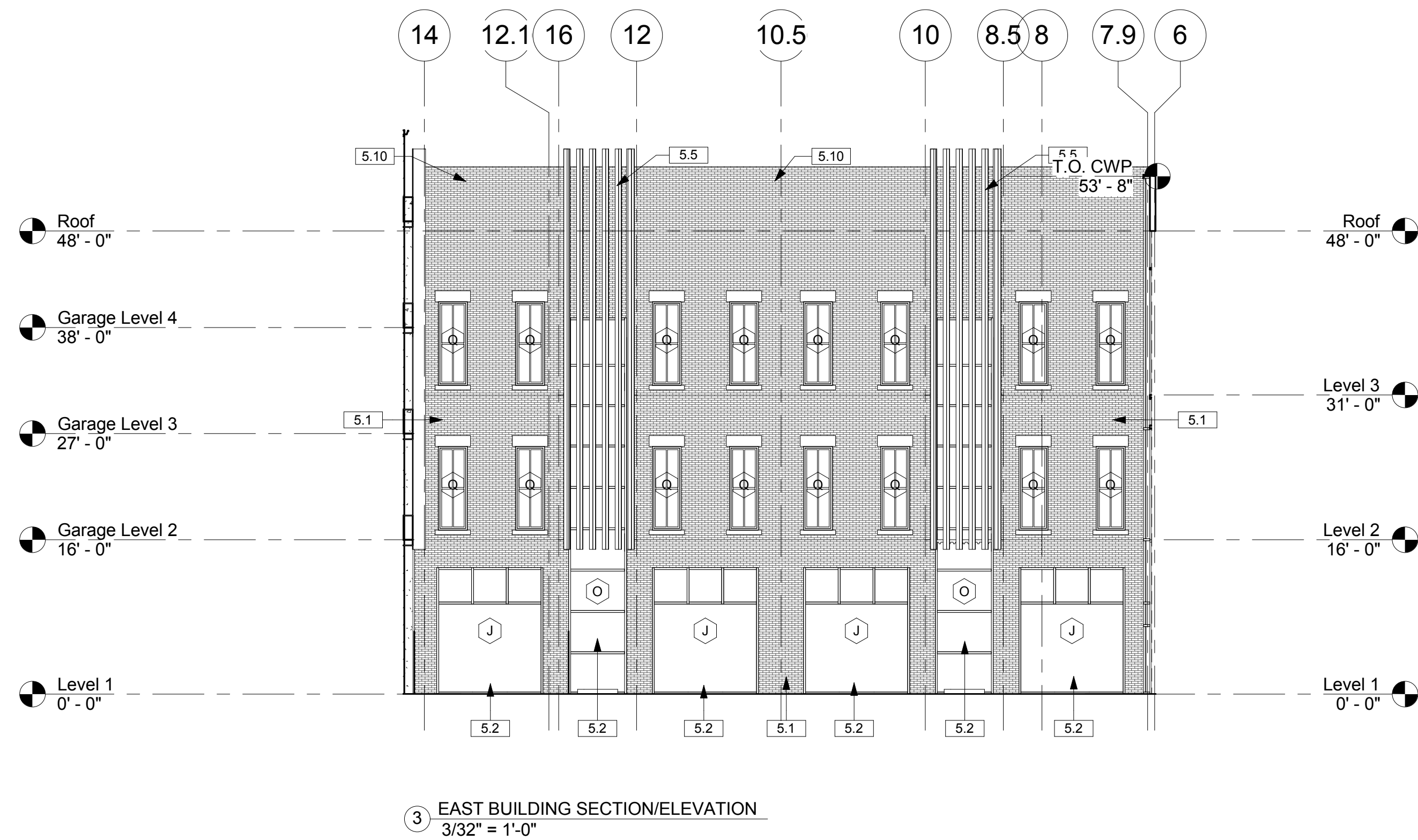
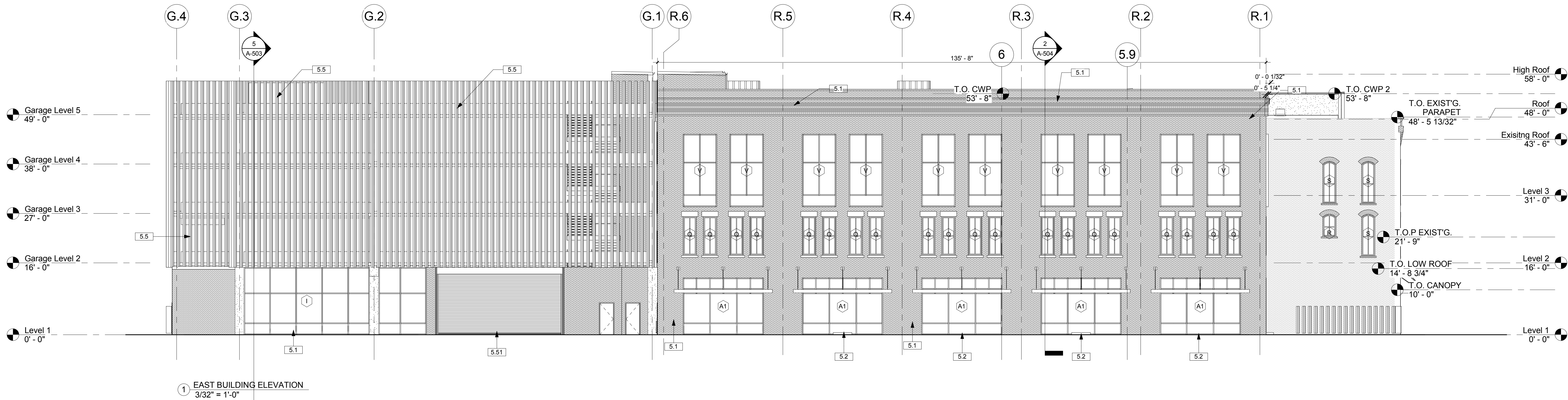
Date  
MARCH 16, 2015

Project Number  
A14006.00

Drawn By  
BB

Checked By  
GM, JS

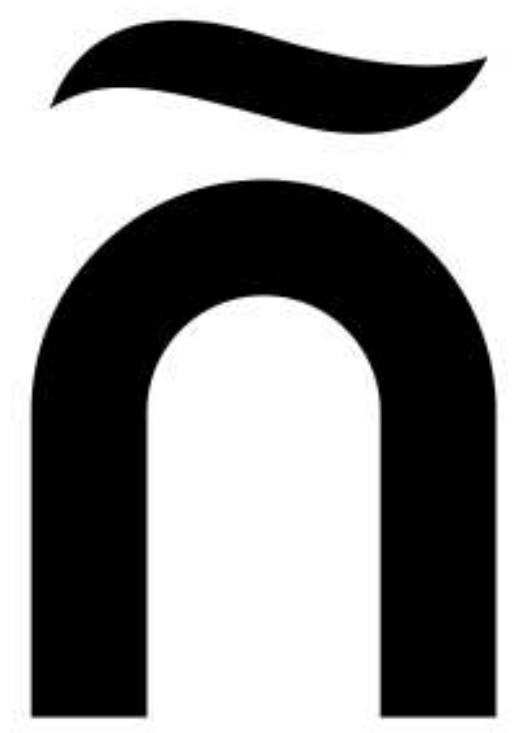
Sheet Number  
A-501



| ELEVATION KEYNOTES |   |
|--------------------|---|
| Key Value          | Keynote Text                              |
| 5.1                | FACE BRICK VENEER                         |
| 5.2                | CURTAIN WALL WITH 1" GLAZING, ALUM. FRAME |
| 5.5                | VERTICAL METAL PURLIN SCREEN, PTD.        |
| 5.10               | PARAPET BRICK CAP                         |
| 5.33               | PRE-FINISHED METAL CANOPY                 |
| 5.45               | PRE-FINISHED METAL PARAPET CAP, CONT.     |
| 5.51               | OH COILING GRILL AS SCHEDULED             |

### ELEVATION GENERAL NOTES

- ALL EXTERIOR AND/OR EXPOSED STEEL TO BE GALVANIZED.
- ITEMS SHADED GREY INDICATE AREAS BEYOND



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| Issue/Revisions |             |      |
|-----------------|-------------|------|
| #               | DESCRIPTION | DATE |

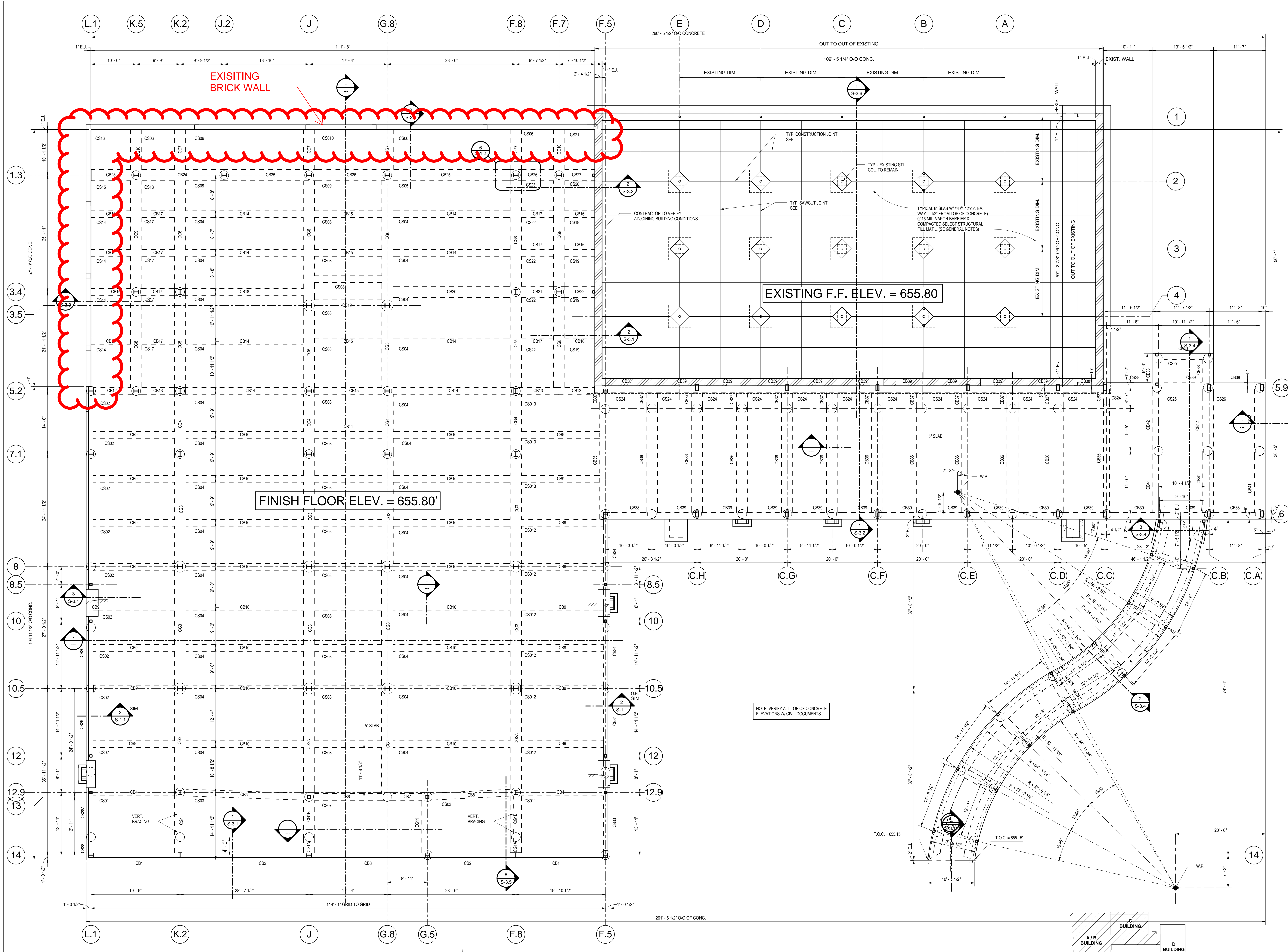
Sheet Title  
ELEVATIONS

Date  
MARCH 16, 2015

|                             |                |                      |
|-----------------------------|----------------|----------------------|
| Project Number<br>A14006.00 | Drawn By<br>BB | Checked By<br>GM, JS |
|-----------------------------|----------------|----------------------|

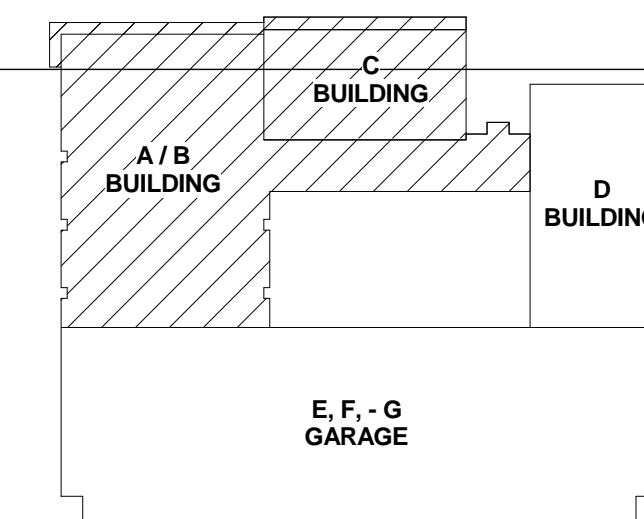
Sheet Number

A-502




FIRST FLOOR FRAMING PLAN - AREA - A / B & C  
SCALE = 1/8" = 1'-0"

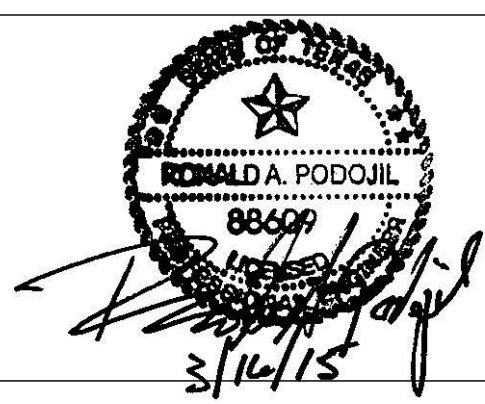
KEY PLAN



**R-S-C-R, INC.**  
CONSULTING ENGINEERS  
1950 LA MANA BLVD.  
SAN ANTONIO, TEXAS 78201  
TEL. (210) 340-7973  
FAX. (210) 366-2324  
PROJECT NO. 1813-05-14  
TBPE REGISTRATION NO. F-2181



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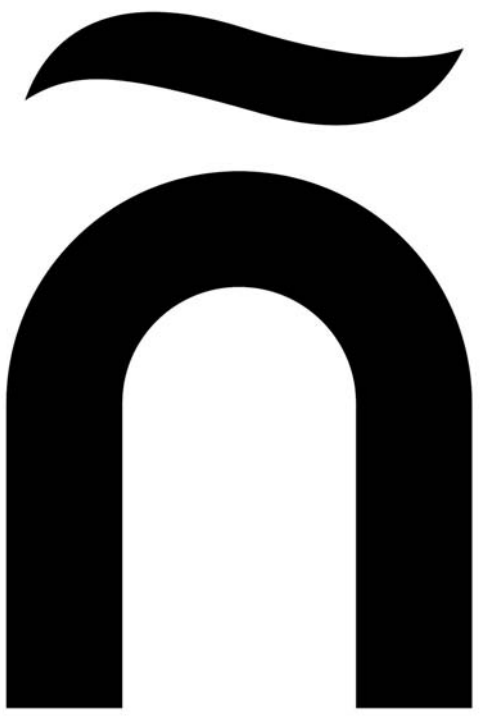
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|-----------------|-------------|------|
| #               | DESCRIPTION | DATE |
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Sheet Title  
**FIRST FLOOR FRAMING PLAN - AREA - A / B & C**

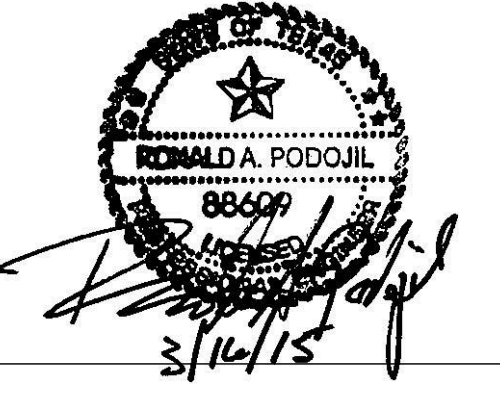
Date  
**03-16-15**

| Project Number    | Drawn By   | Checked By     |
|-------------------|------------|----------------|
| <b>A140006.00</b> | <b>DAM</b> | <b>RAP/SGU</b> |

Sheet Number  
**S-2.5**



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|---|-------------|------|
|---|-------------|------|

Sheet Title  
SECOND FLOOR FRAMING PLANS  
AREAS A, B, & C

Date  
03-16-15

Project Number  
A140006.00

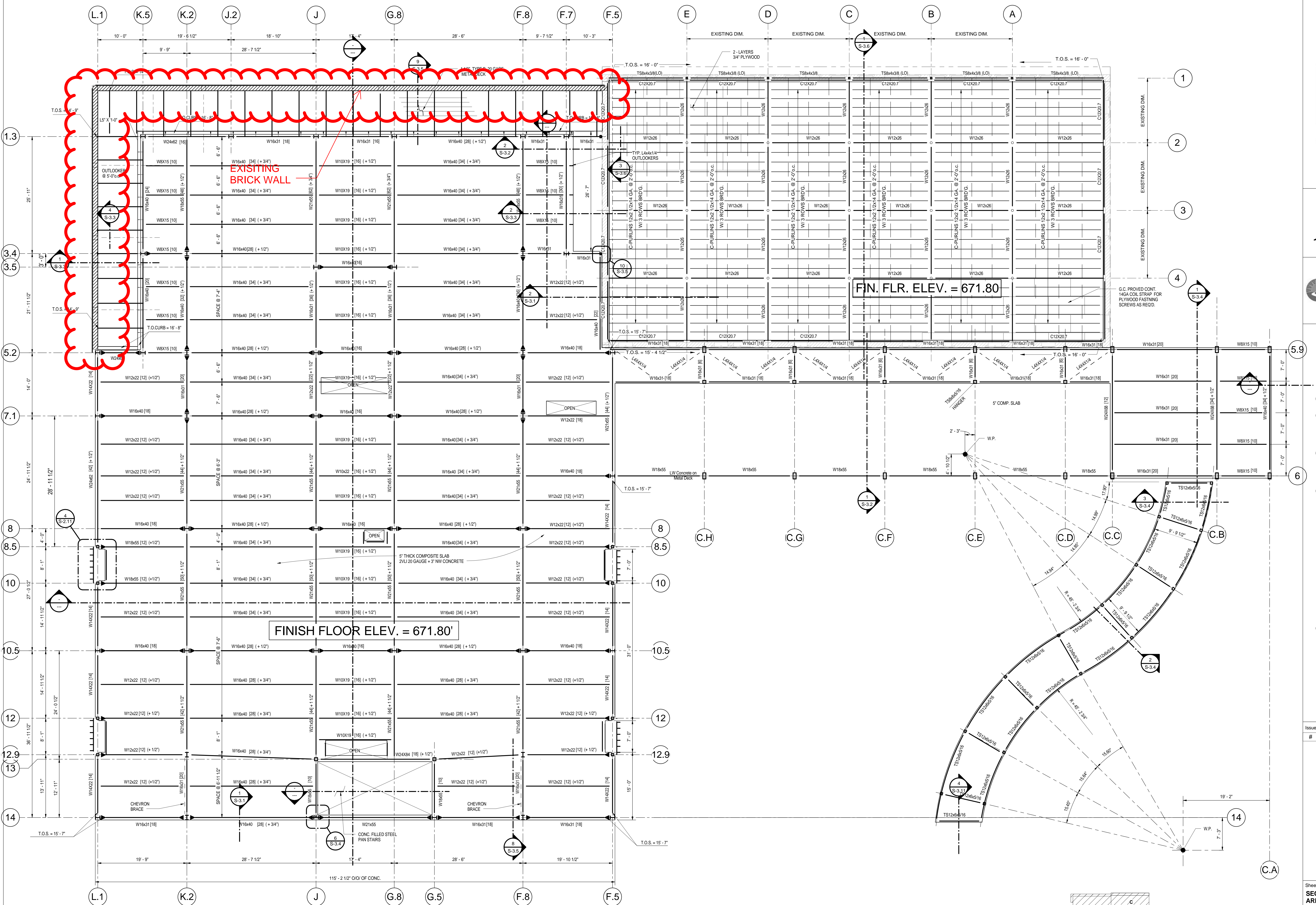
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Sheet Number

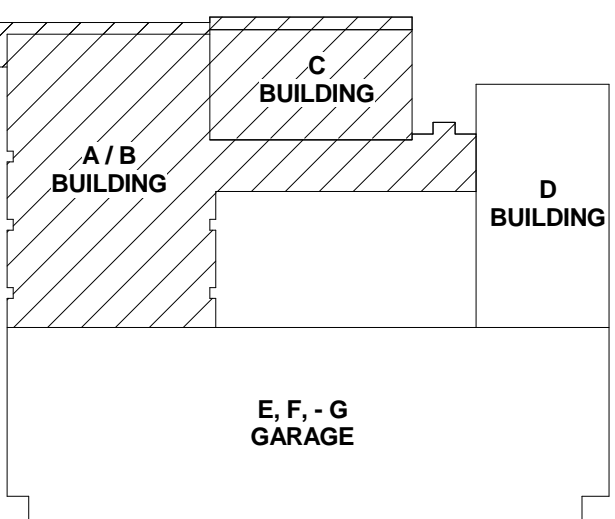
S-2.6

R-S-C-R, INC.  
CONSULTING ENGINEERS  
1950 LA MANA BLVD.  
SAN ANTONIO, TEXAS 78201  
TEL. (210) 340-7973  
FAX. (210) 366-2324  
PROJECT NO. 1813-05-14  
TBPE REGISTRATION NO. F-2181

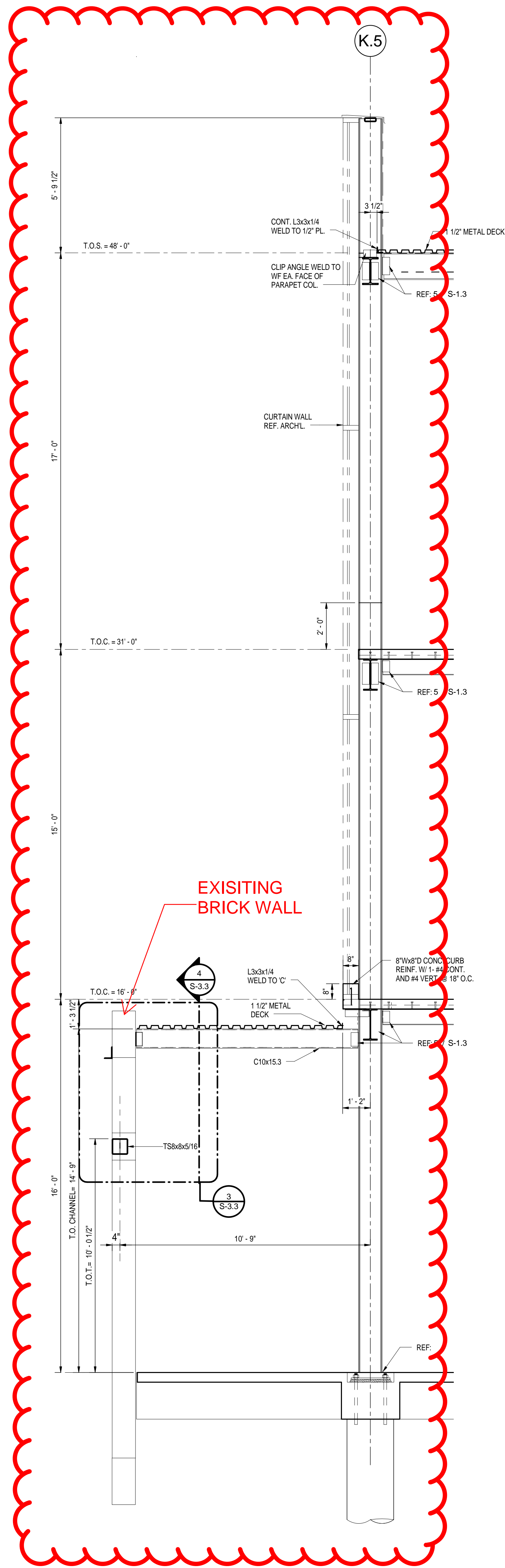


SECOND FLOOR FRAMING PLAN - AREAS A, B, & C  
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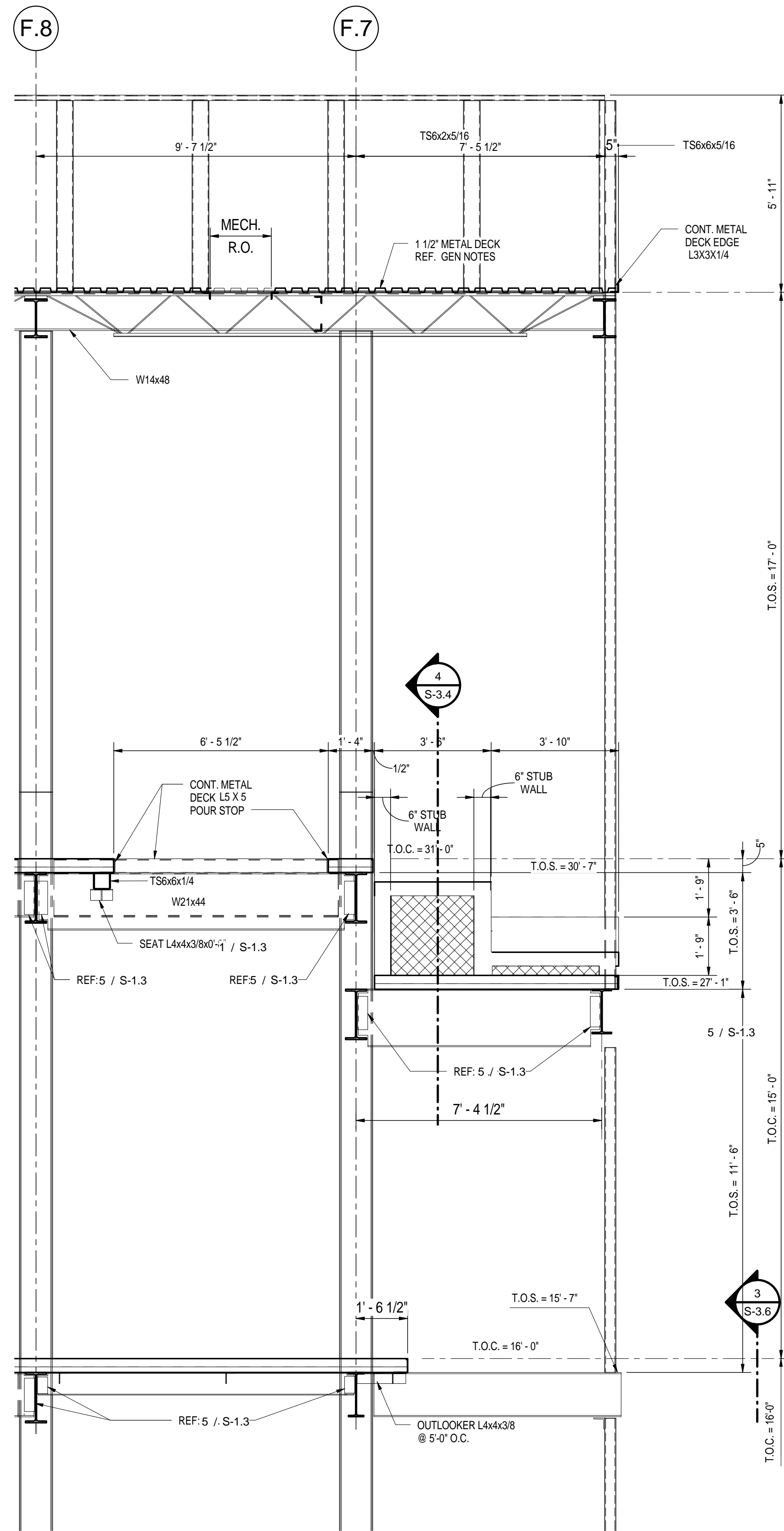
NOTE:  
W12x40 (+XX)  
CAMBER @ CTR. OF BEAM  
# STUDS SPACED ALONG BEAM



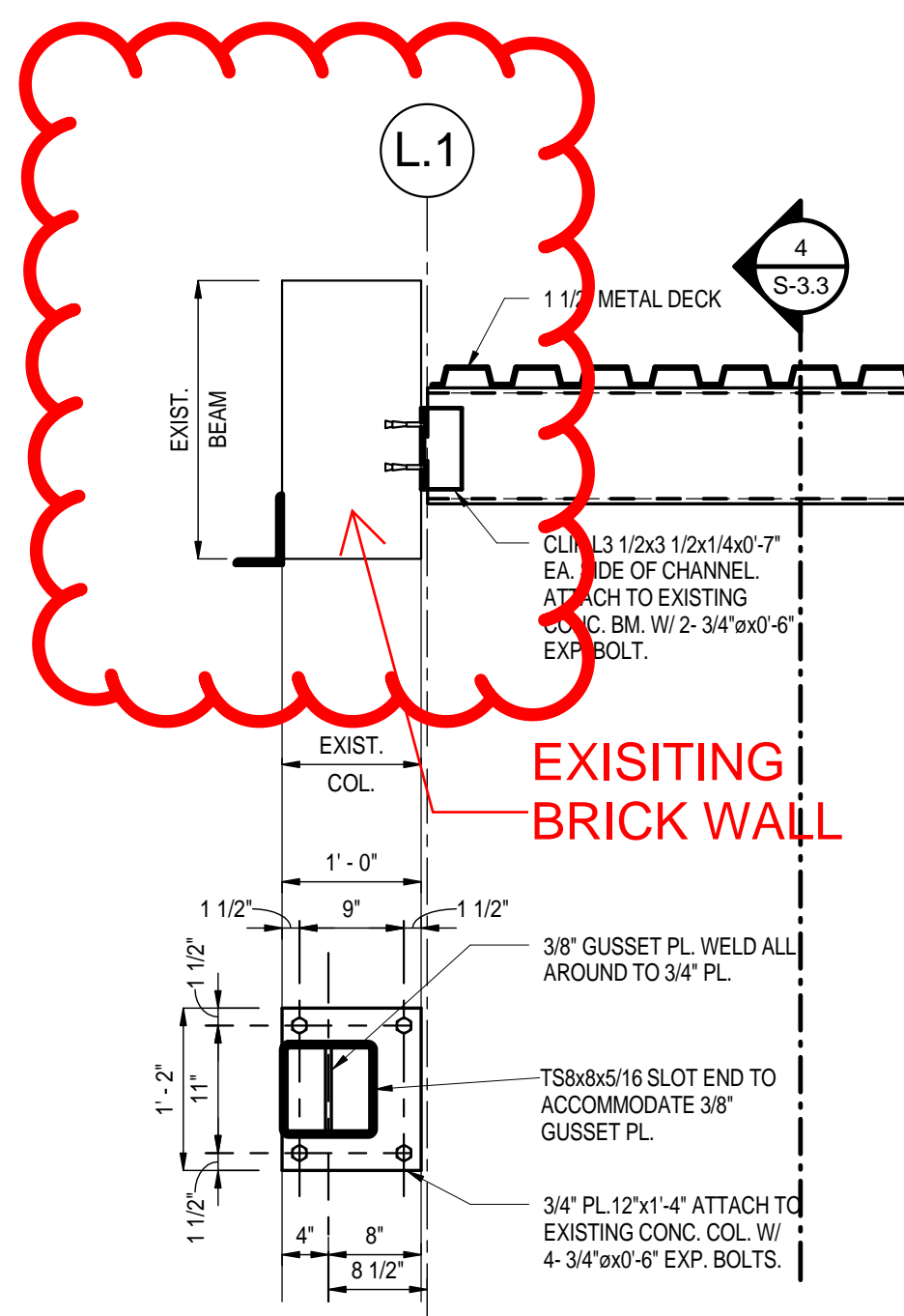
KEY PLAN



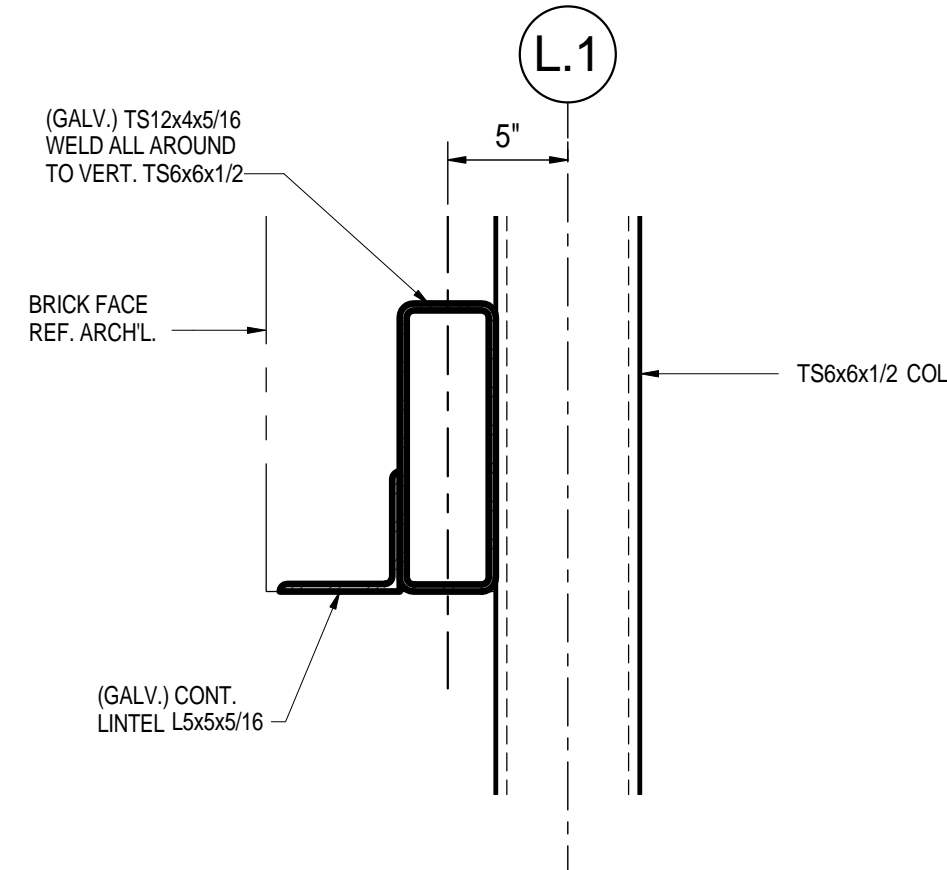
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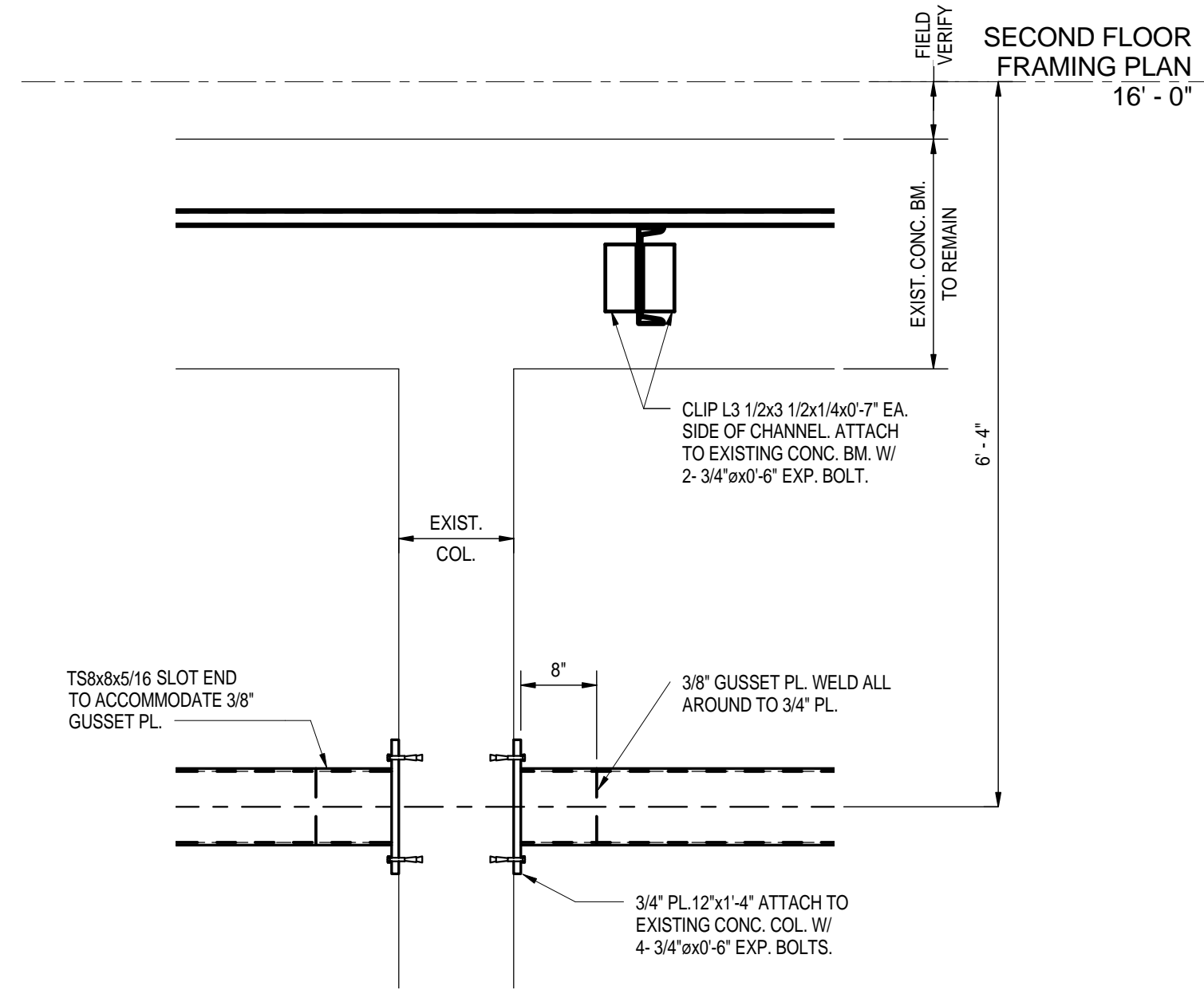
**2 SECTION**  
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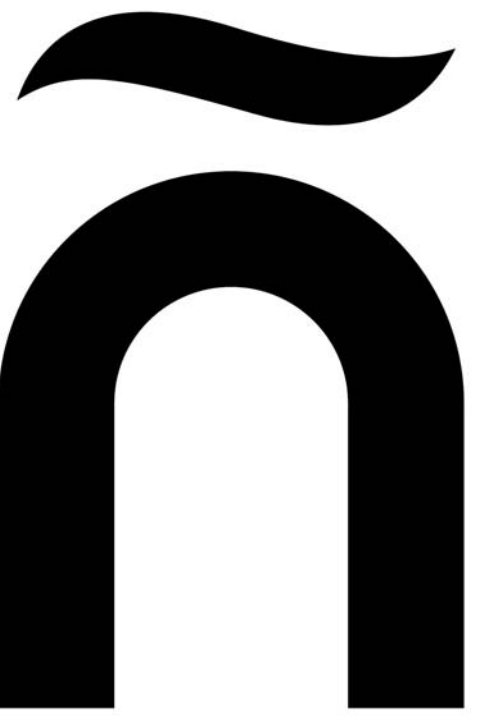
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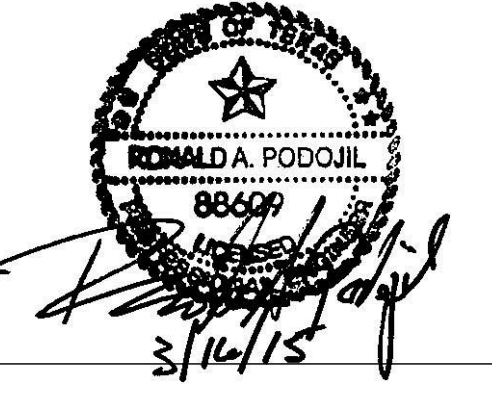
**5 DETAIL**  
SCALE : 1 1/2" = 1'-0"



**4 Section 8**  
SCALE : 3/4" = 1'-0"



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| # | DESCRIPTION | DATE |
|---|-------------|------|
|---|-------------|------|

Sheet Title  
**SECTION AND DETAILS**

Date  
**03-16-15**

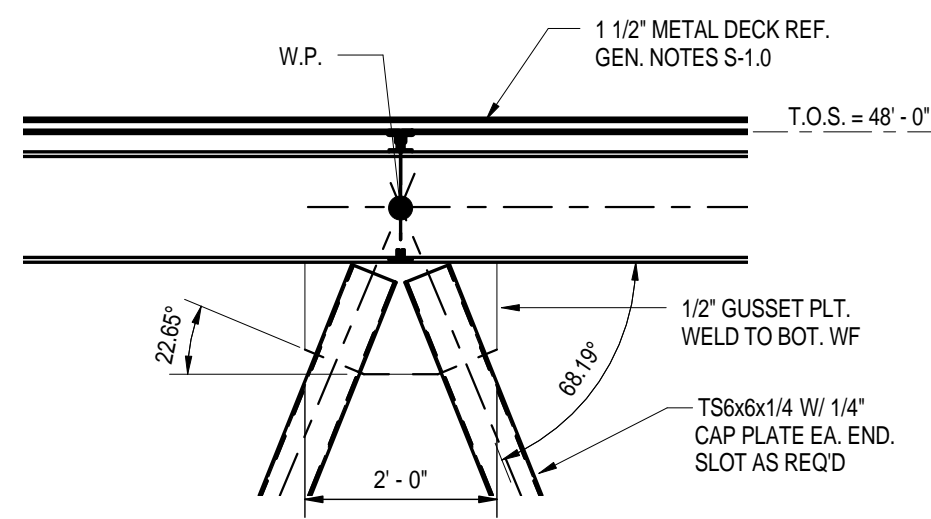
Project Number  
**A140006.00**

Drawn By  
**DAM**

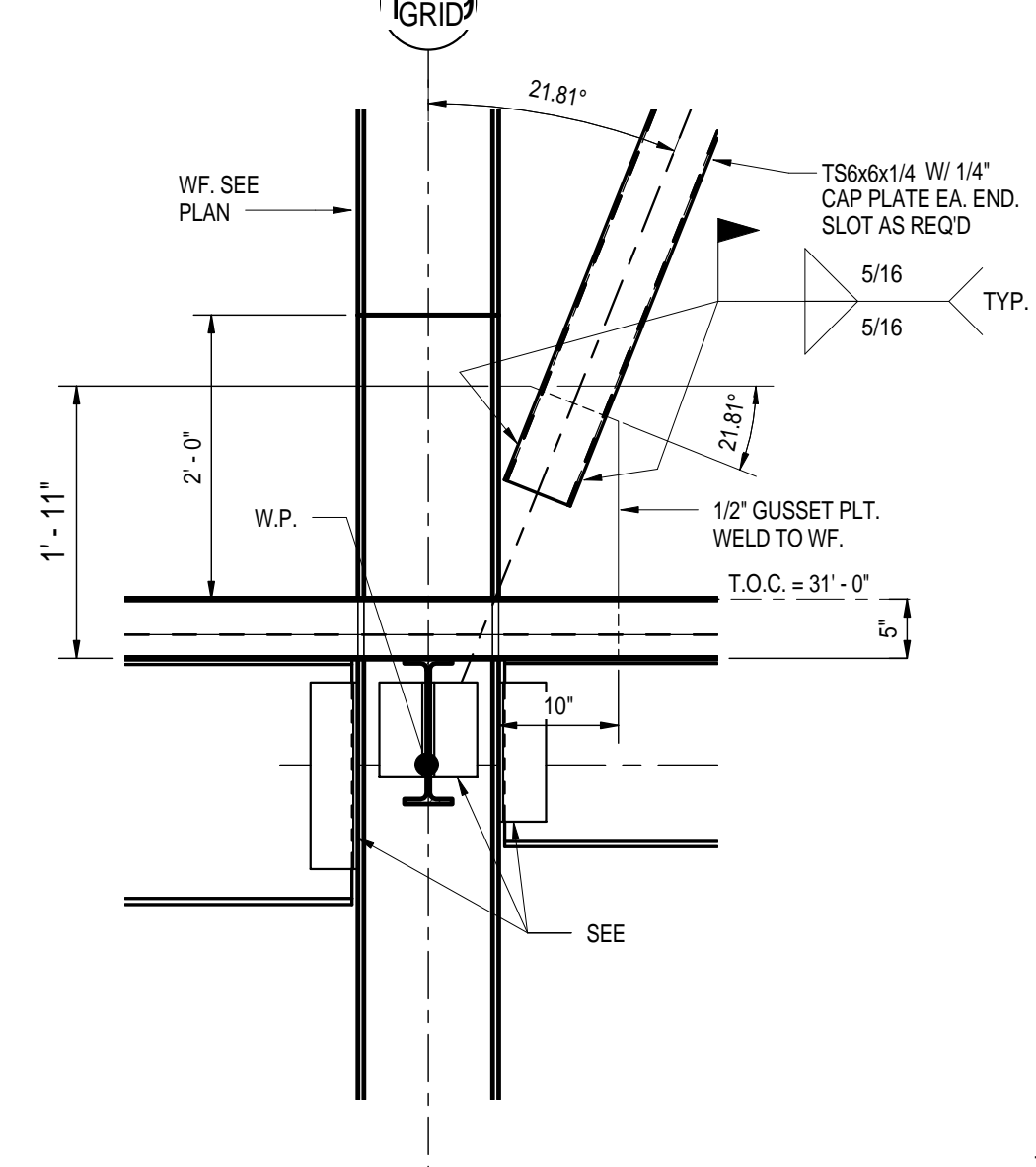
Checked By  
**RAP/SGU**

Sheet Number  
**S-3.3**

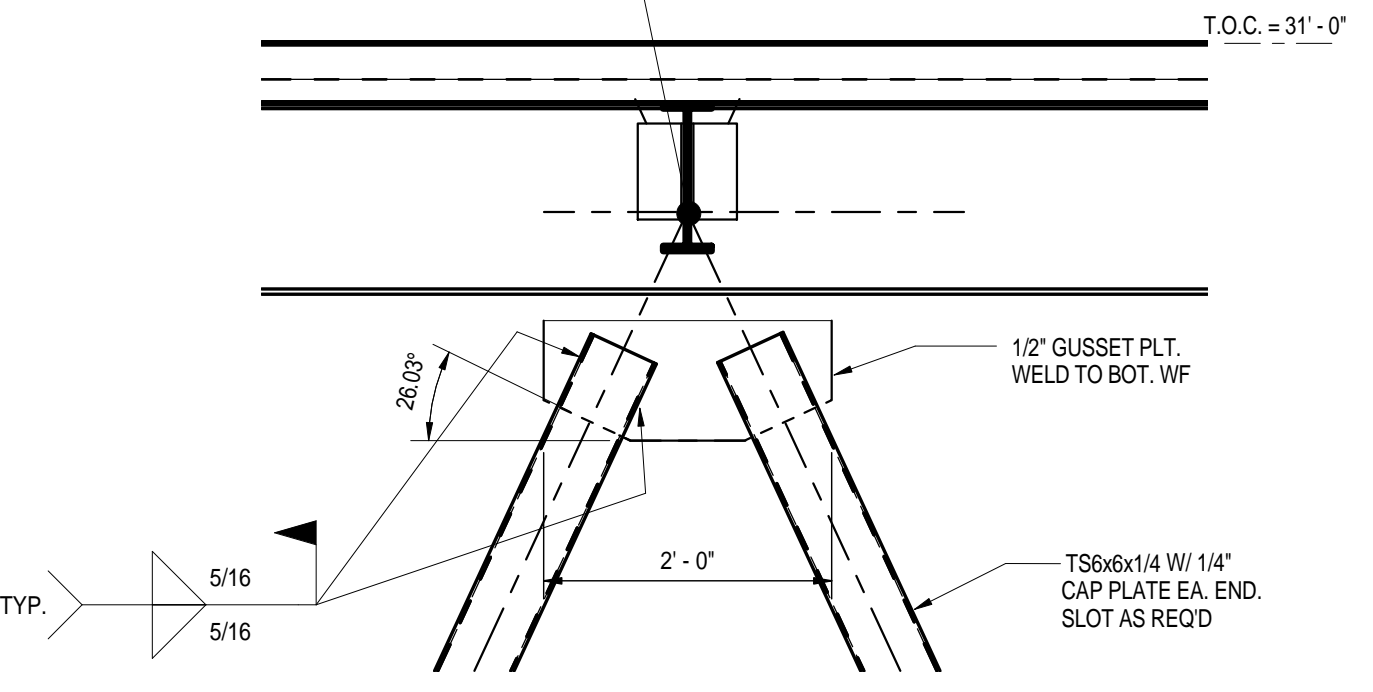
**R-S-C-R, INC.**  
CONSULTING ENGINEERS  
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SAN ANTONIO, TEXAS 78201  
TEL. (210) 340-7973  
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PROJECT NO. 1813-05-14  
TBPE REGISTRATION NO. F-2181



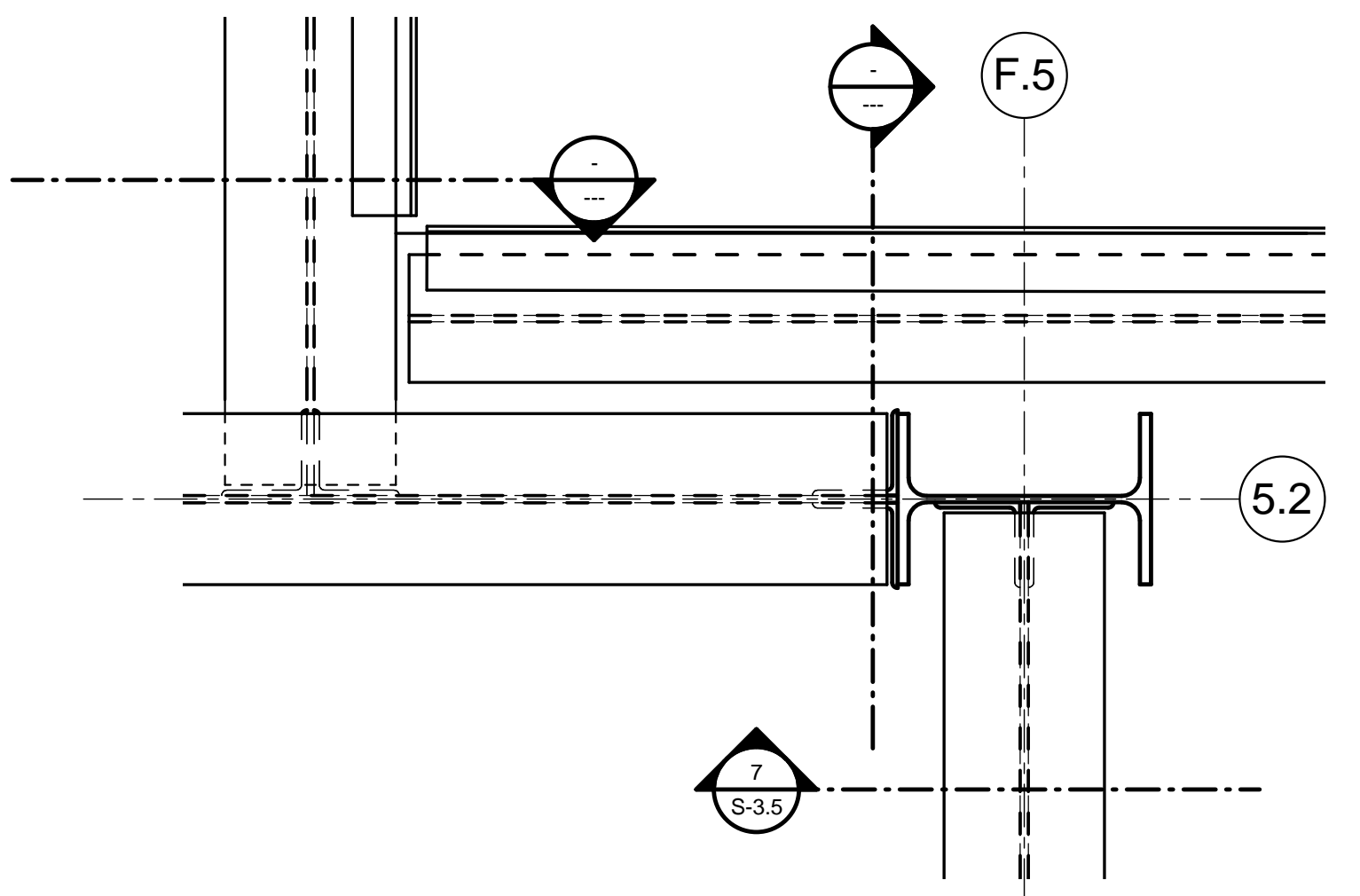
**1 DETAIL VERT. BRACE  
CONN. MID BM. @ ROOF**  
SCALE : 1/2" = 1'-0"



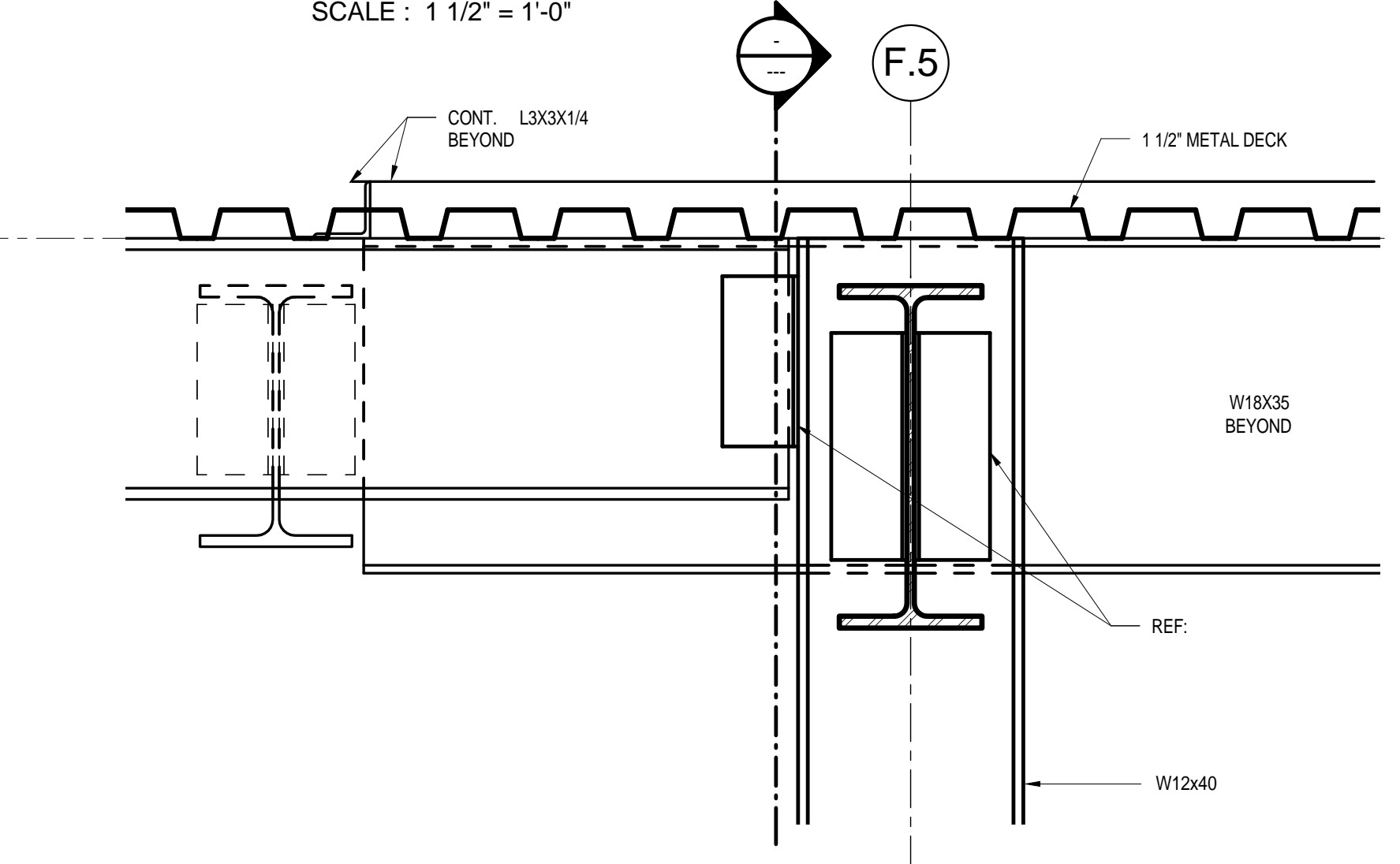
**2 DETAIL VERT. BRACE  
CONN. @ 3rd LVL**  
SCALE : 3/4" = 1'-0"



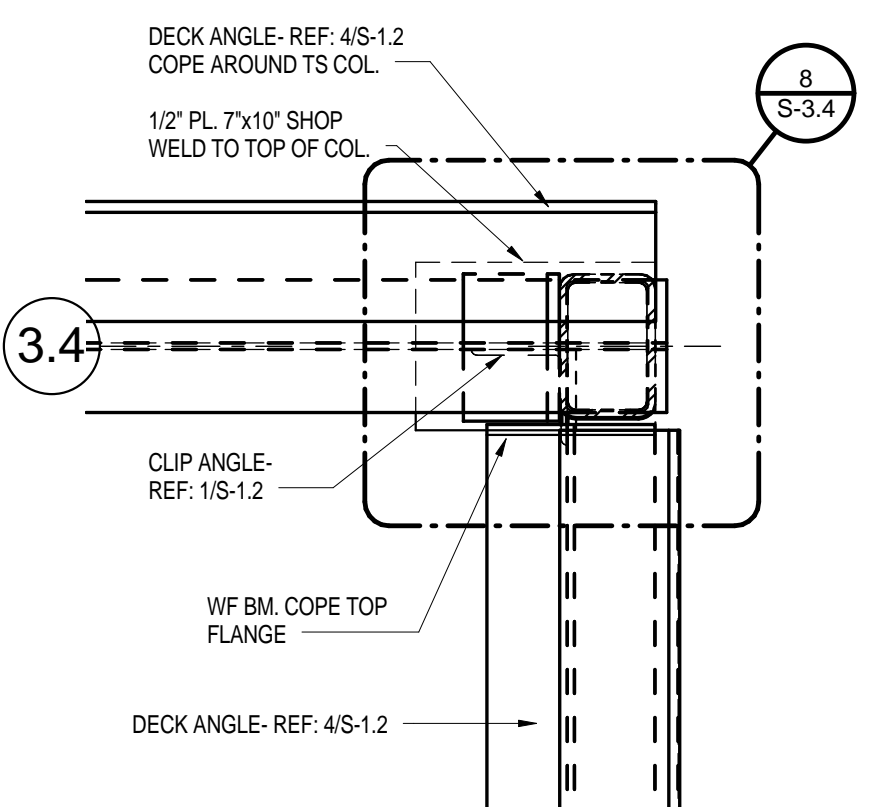
**3 DETAIL VERT. BRACE CONN.  
MID BM. @ 2nd & 3rd LVL**  
SCALE : 3/4" = 1'-0"



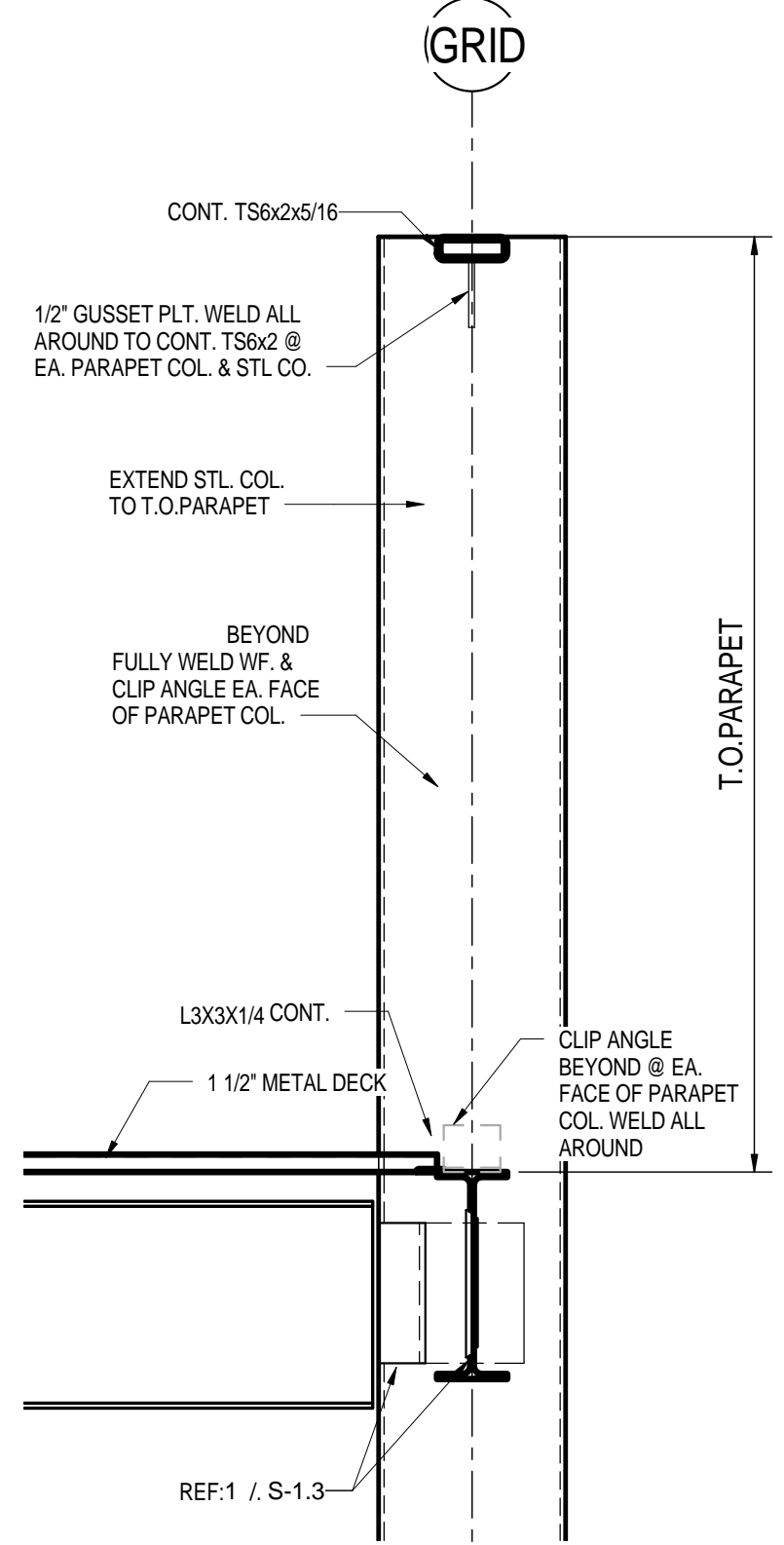
**4 DETAIL @ ROOF E.J. SLIP CONN.**  
SCALE : 1 1/2" = 1'-0"



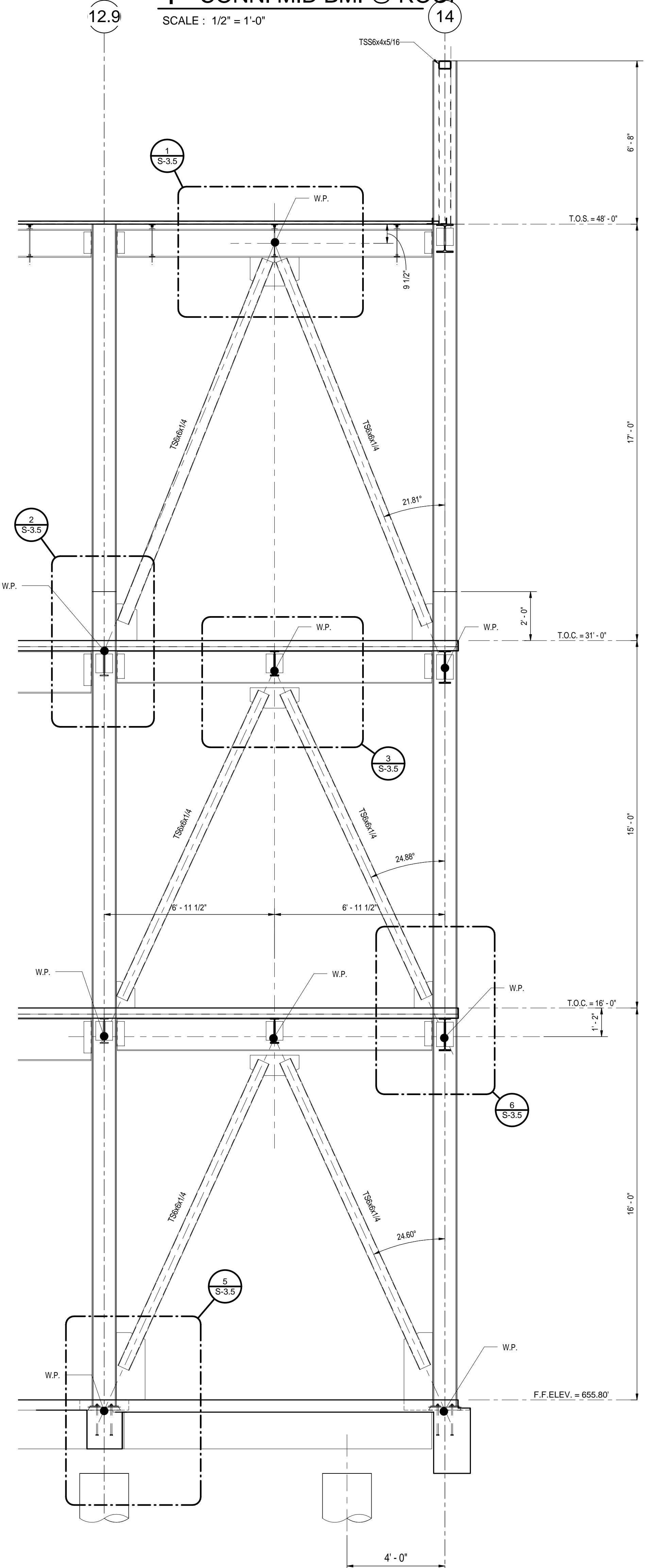
**7 DETAIL @ GRD F.7**  
SCALE : 1 1/2" = 1'-0"



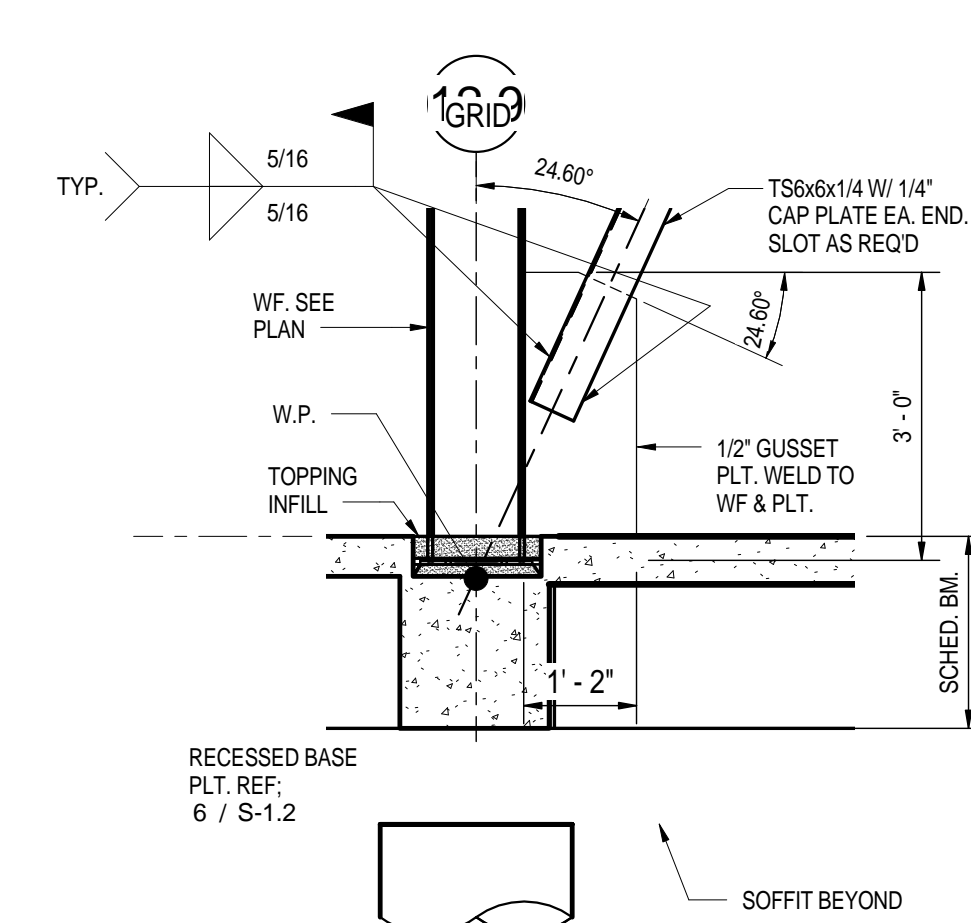
**10 DETAIL @ GRID B.4**  
SCALE : 1 1/2" = 1'-0"



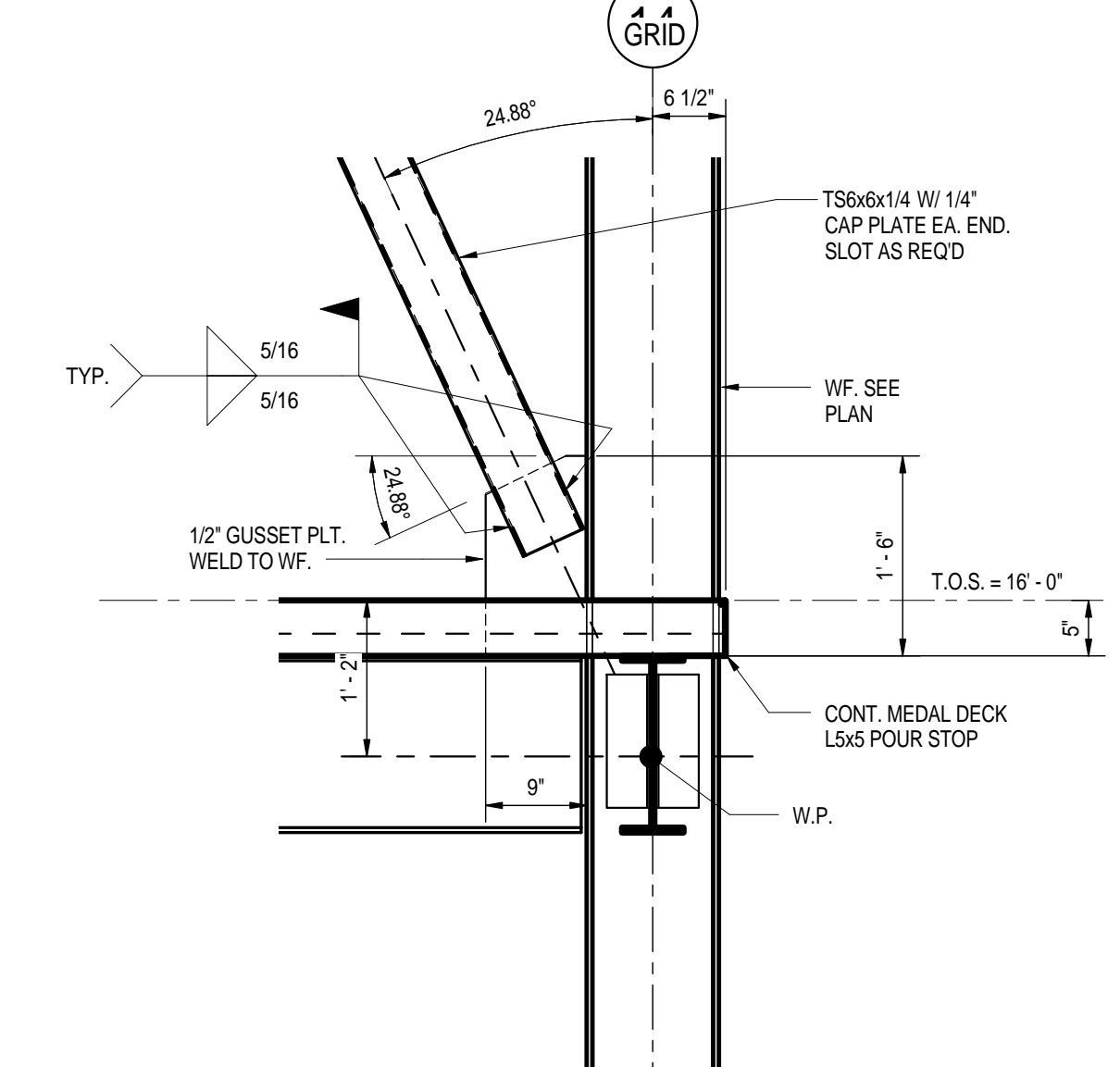
**11 DETAIL @ PARAPIT**  
SCALE : 3/4" = 1'-0"



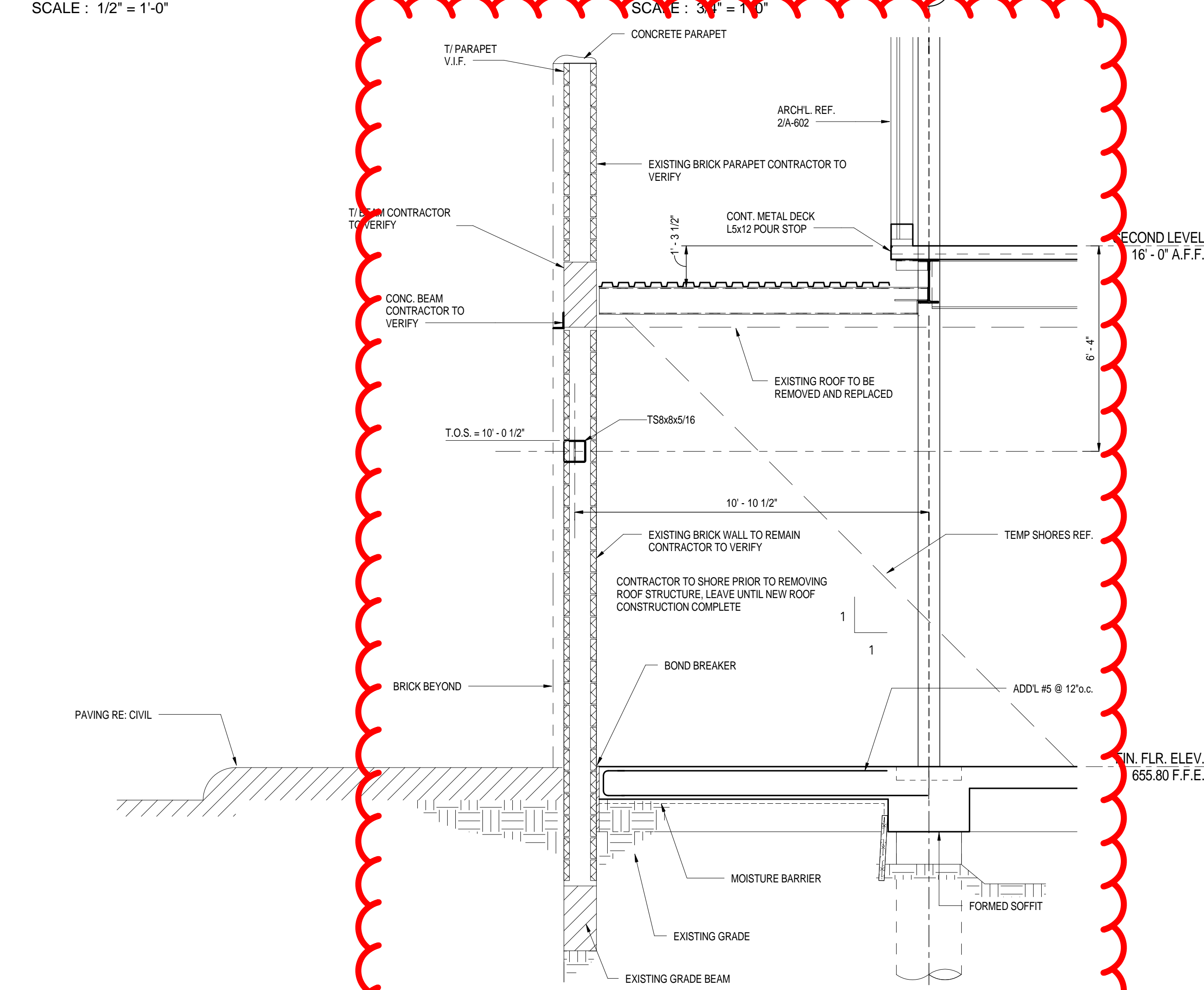
**8 SECTION @ VERT. BRACING**  
SCALE : 3/8" = 1'-0"



**5 DETAIL VERT. BRACE CONN. @ SLAB**  
SCALE : 1/2" = 1'-0"



**6 DETAIL VERT. BRACE CONN. @ 2nd LVL**  
SCALE : 3/4" = 1'-0"



**9 SECTION AREA AB @ BRACING EXIST. WALL**  
SCALE : 3/8" = 1'-0"

| # | DESCRIPTION | DATE |
|---|-------------|------|
|---|-------------|------|

Section Title  
**SECTION AND DETAILS**

Date  
**03-16-15**

|                                     |                        |                              |
|-------------------------------------|------------------------|------------------------------|
| Project Number<br><b>A140006.00</b> | Drawn By<br><b>DAM</b> | Checked By<br><b>RAP/SGU</b> |
|-------------------------------------|------------------------|------------------------------|

Sheet Number  
**S-3.5**

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