

HISTORIC AND DESIGN REVIEW COMMISSION

June 17, 2015

Agenda Item No: 28

HDRC CASE NO: 2015-234
ADDRESS: 1902 SAN PEDRO AVE
LEGAL DESCRIPTION: NCB 1858 BLK 1 LOT 12 AND 13
ZONING: C2 H
CITY COUNCIL DIST.: 1
DISTRICT: Monte Vista Historic District
APPLICANT: Marcus Guerra
OWNER: Goen Otha Morris
TYPE OF WORK: Exterior alterations
REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Clean and patch exterior walls. Exterior paint. Replace existing tile detailing with new black tile to match existing pattern. Resurface parking lot.
2. Replace existing storefront with new storefront system to match existing. Infill existing window openings.
3. Install new canopy along the front façade of the building.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations

2. Materials: Masonry and Stucco

A. MAINTENANCE (PRESERVATION)

iv. *Cleaning*—Use the gentlest means possible to clean masonry and stucco when needed, as improper cleaning can damage the surface. Avoid the use of any abrasive, strong chemical, sandblasting, or high-pressure cleaning method.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. *Patching*—Repair masonry or stucco by patching or replacing it with in-kind materials whenever possible. Utilize similar materials that are compatible with the original in terms of composition, texture, application technique, color, and detail, when in-kind replacement is not possible. EIFS is not an appropriate patching or replacement material for stucco.

6. Architectural Features: Doors, Windows, and Screens

A. MAINTENANCE (PRESERVATION)

i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.

ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.

iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. *Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.

iv. *Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.

vi. *Replacement glass*—Use clear glass when replacement glass is necessary. Do not use tinted glass, reflective glass, opaque glass, and other non-traditional glass types unless it was used historically. When established by the architectural style of the building, patterned, leaded, or colored glass can be used.

vii. *Non-historic windows*—Replace non-historic incompatible windows with windows that are typical of the architectural style of the building.

10. Commercial Facades

A. MAINTENANCE (PRESERVATION)

- i. *Character-defining features*—Preserve character-defining features such as cornice molding, upper-story windows, transoms, display windows, kickplates, entryways, tiled paving at entryways, parapet walls, bulkheads, and other features that contribute to the character of the building.
- ii. *Windows and doors*—Use clear glass in display windows. See Guidelines for Architectural Features: Doors, Windows, and Screens for additional guidance.
- iv. *Materials*—Use in-kind materials or materials appropriate to the time period of the original commercial facade when making repairs.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *New features*—Do not introduce new facade elements that alter or destroy the historic building character, such as adding inappropriate materials; altering the size or shape of windows, doors, bulkheads, and transom openings; or altering the façade from commercial to residential. Alterations should not disrupt the rhythm of the commercial block.

11. Canopies and Awnings

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- ii. *New canopies and awnings*—Add canopies and awnings based on accurate evidence of the original, such as photographs. If no such evidence exists, the design of new canopies and awnings should be based on the architectural style of the building and be proportionate in shape and size to the scale of the building façade to which they will be attached. See UDC Section 35-609(j).
- vi. *Support structure*—Support awnings with metal or wood frames, matching the historic support system whenever possible. Minimize damage to historic materials when anchoring the support system. For example, anchors should be inserted into mortar rather than brick. Ensure that the support structure is integrated into the structure of the building as to avoid stress on the structural stability of the façade.

FINDINGS:

- a. According to the Guidelines for Exterior Maintenance and Alterations, existing door and window openings should be preserved. In addition, filling in historic window or door openings should be avoided. Furthermore, introducing new facade elements that alter or destroy the historic building character, such as altering the size or shape of windows, doors, bulkheads, and transom openings should be avoided. The proposed infill, removal and re-sizing of the existing storefront, door and window openings will drastically change the facades of the building which should be avoided. Although some of the storefront windows have been previously modified, the original openings are intact and should be preserved.
- b. Consistent with the Guidelines for Exterior Maintenance and Alterations, windows should be repaired if possible. When deteriorated beyond repair, windows should be replaced with new windows that match the historic windows in size, type, configuration, material, form, appearance, and detail. Although some of the original storefronts have been modified, enough original material exists to determine the original form, configuration and appearance of the original windows. The proposed aluminum storefront system does not match the original material, form, appearance and detail of the original materials which is not consistent with the guidelines.
- c. As recommended by the Guidelines for Exterior Maintenance and Alterations, historic doors should be preserved. Although some of the original doors have been removed, the existing original doors should be preserved. If deteriorated beyond repair, they should be replaced in kind to match existing in size, type, configuration, material, form, appearance, and detail.
- d. According to the Guidelines for Exterior Maintenance and Alterations, new canopies and awnings should be based on accurate evidence of the original, such as photographs. If no such evidence exists, the design of new canopies and awnings should be based on the architectural style of the building and be proportionate in shape and size to the scale of the building façade to which they will be attached. No historic pictures of the building are available, however Sanborn Maps show the building originally had a canopy that ran along the front façade of the building. Installation of a new canopy is consistent with the guidelines. However, a canopy that ran continuously along the front façade would be more appropriate.

RECOMMENDATION:

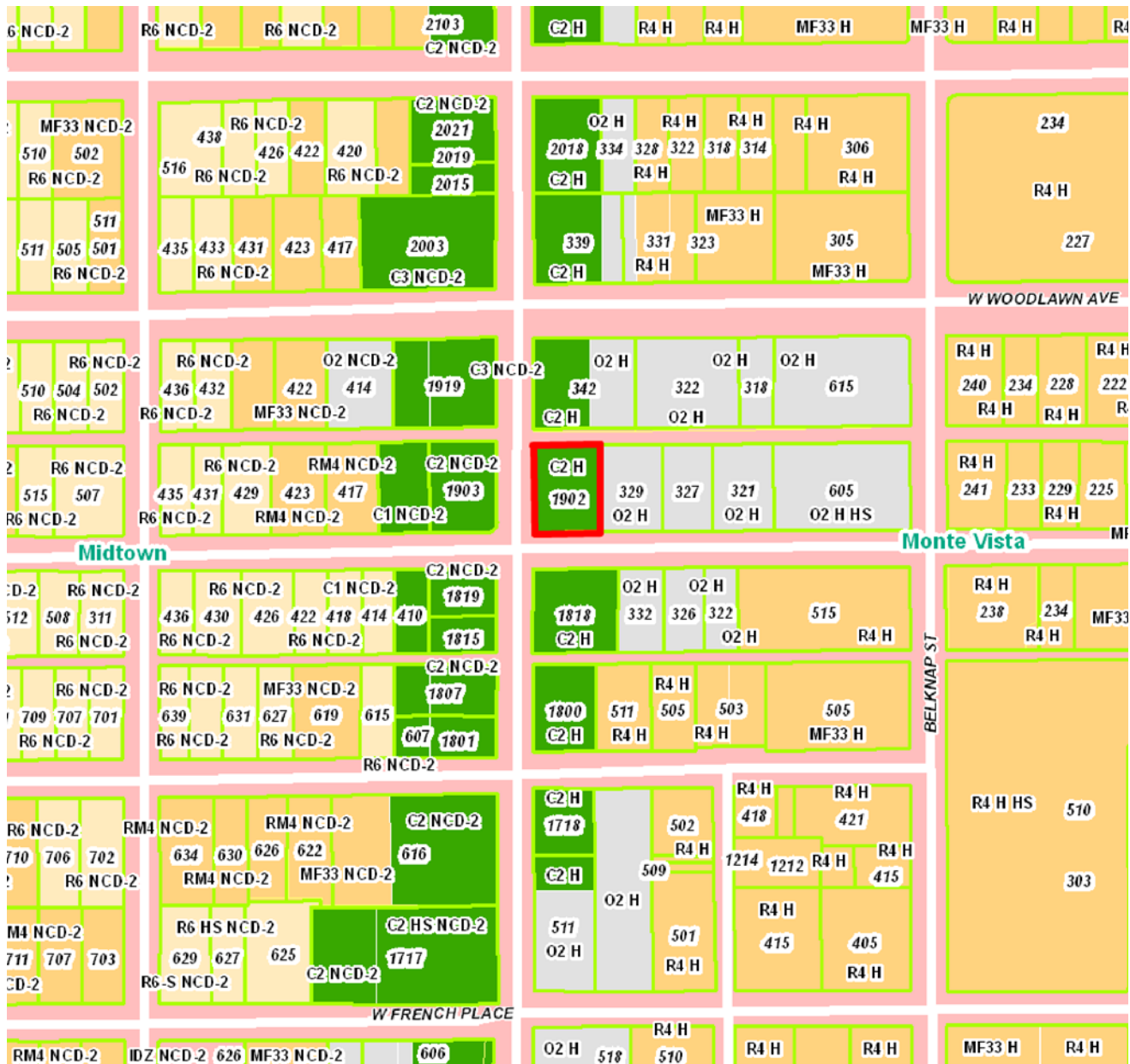
- 1. Staff recommends approval of item 1 as submitted.
- 2. Staff does not recommend approval based on findings a-c. Staff recommends the following:
 - a. Existing window and door openings are preserved.
 - b. Historic windows and doors are repaired. If deteriorated beyond repair they should be replaced in kind to

match existing in size, type, configuration, material, form, appearance, and detail.

- c. Existing size or shape of windows, doors, bulkheads, and transom openings along the front façade is preserved.
3. Staff recommends approval based on finding d with the stipulation that the canopy extends continuously along the front of the building.

CASE MANAGER:

Adriana Ziga



1902 San Pedro

Powered by ArcGIS Server

Printed: Jun 04, 2015

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Circa Building

1902 San Pedro Ave. - Monte Vista



San Pedro Ave - Frontage



North Alley - Side Elevation



W. Craig Place - Side Elevation





EXISTING WINDOW FRAME



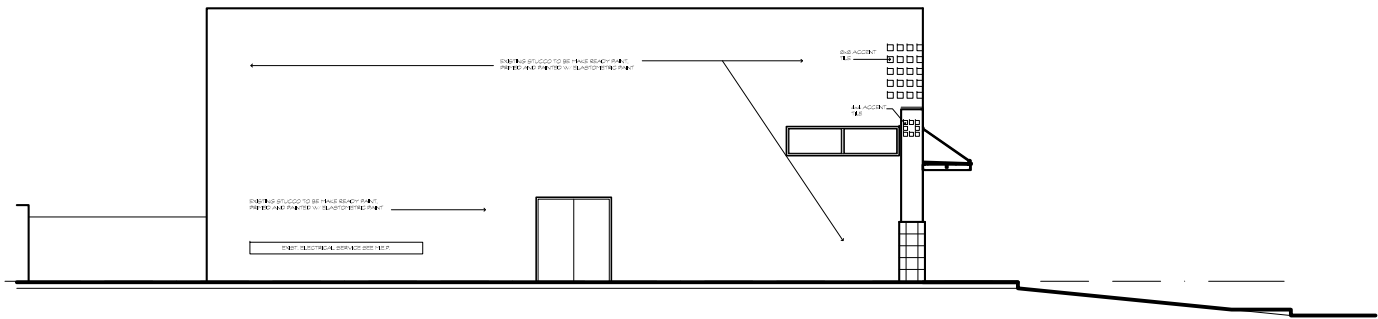
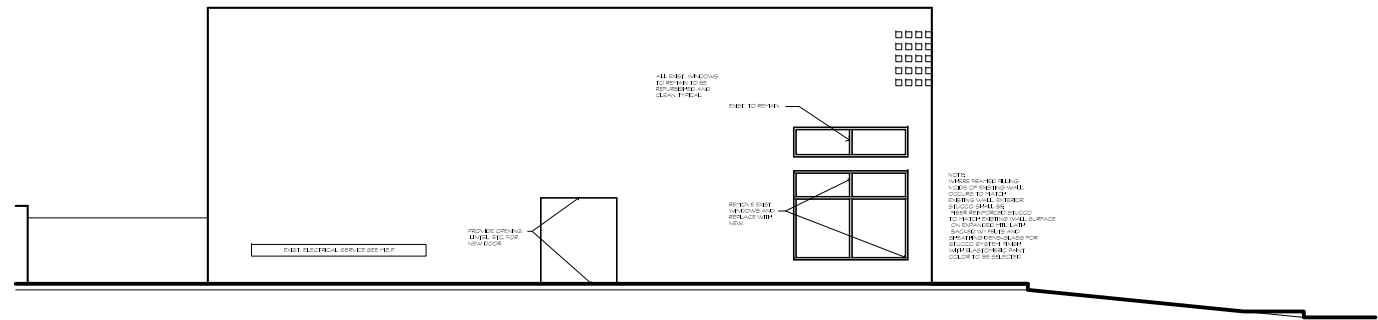
EXISTING FRONTAGE



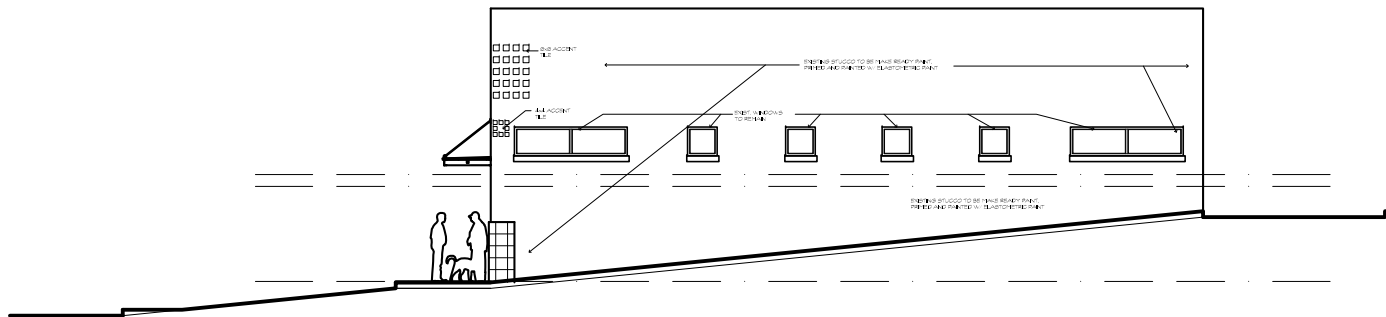
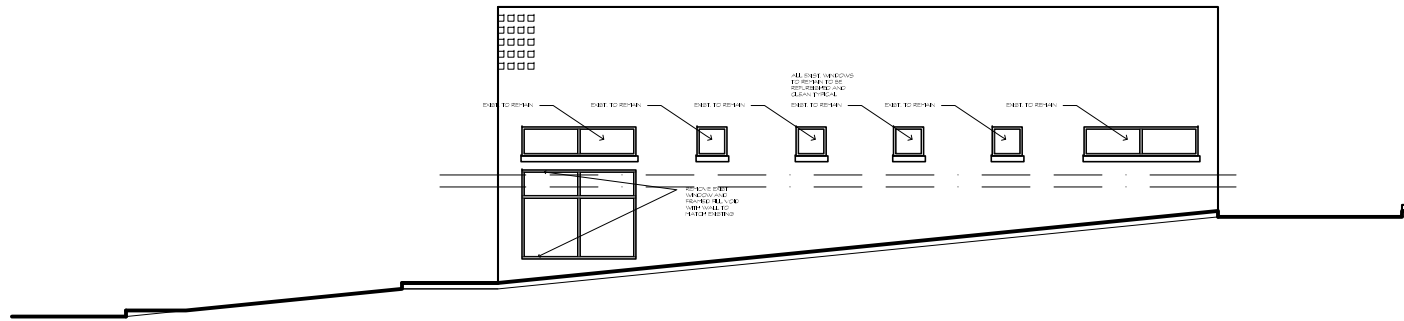
EXISTING "STOREFRONT"



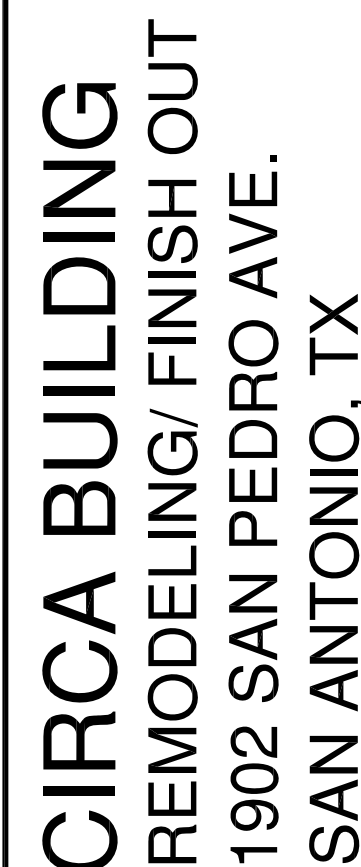
GOEN SOUTH



SIDE / NORTH ELEVATIONS (EXISTING - TOP / PROPOSED - BOTTOM)



SIDE / SOUTH ELEVATION (EXISTING - TOP / PROPOSED - BOTTOM)

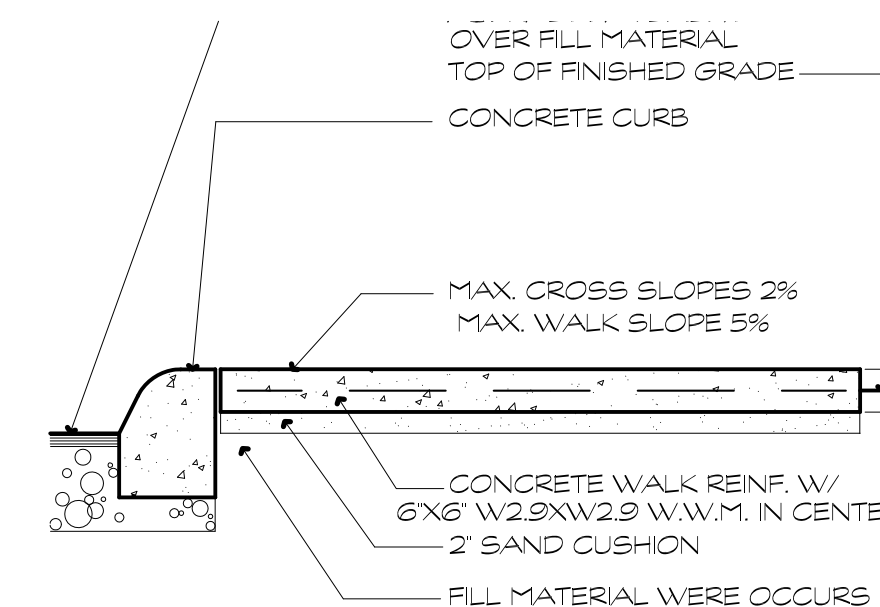


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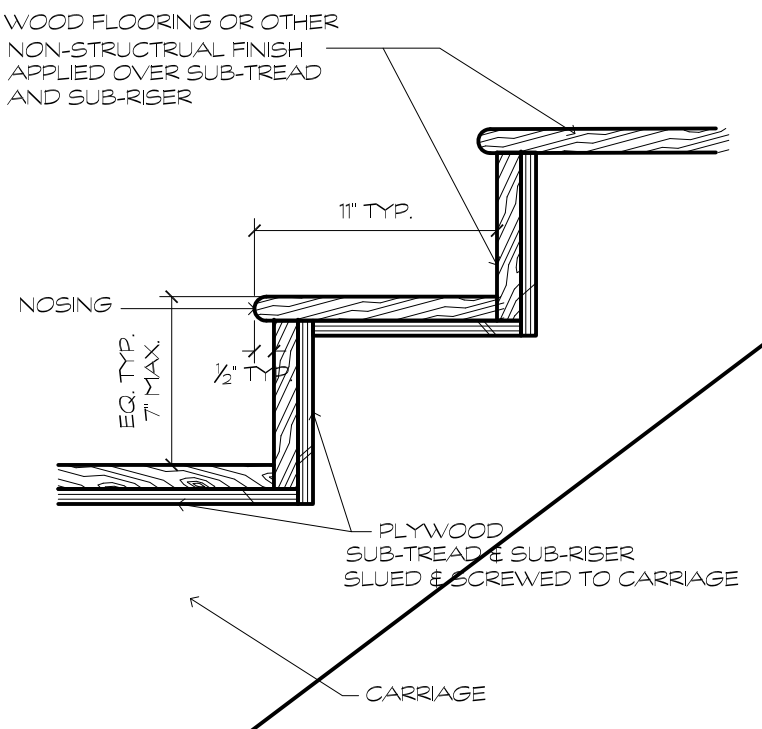
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SHEET NO.:

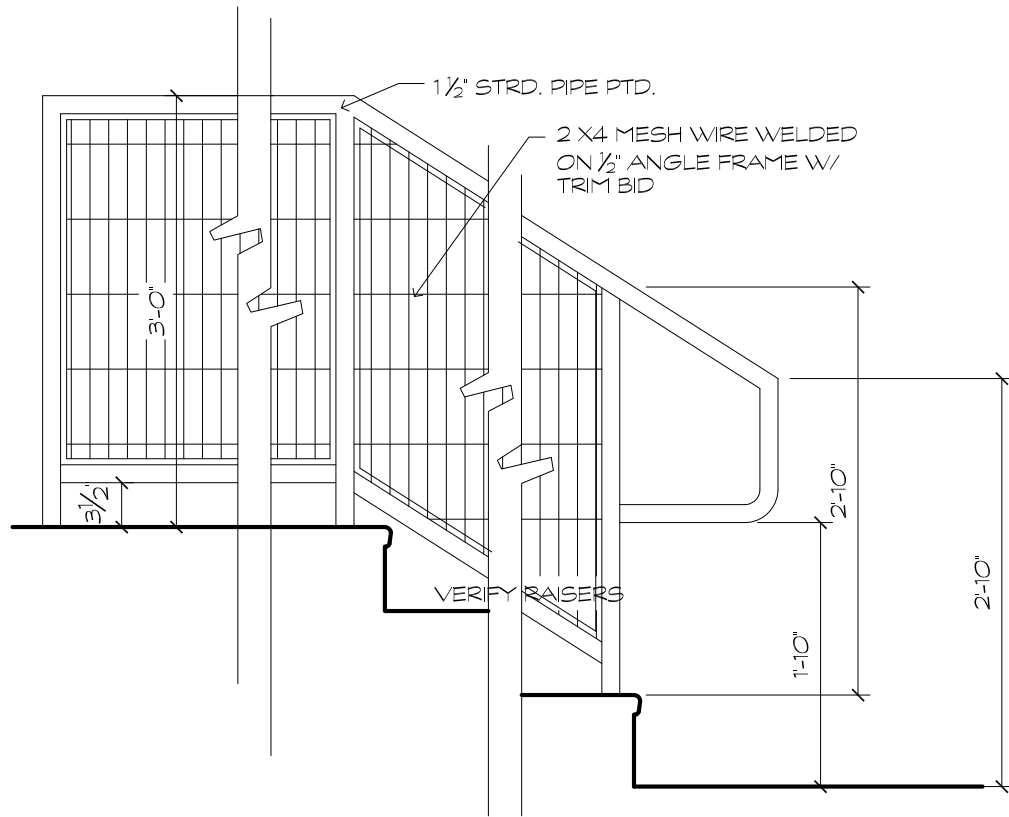
A1.0



1 SIDE WALK DET.



3 STAIR DETAIL
N.T.S.



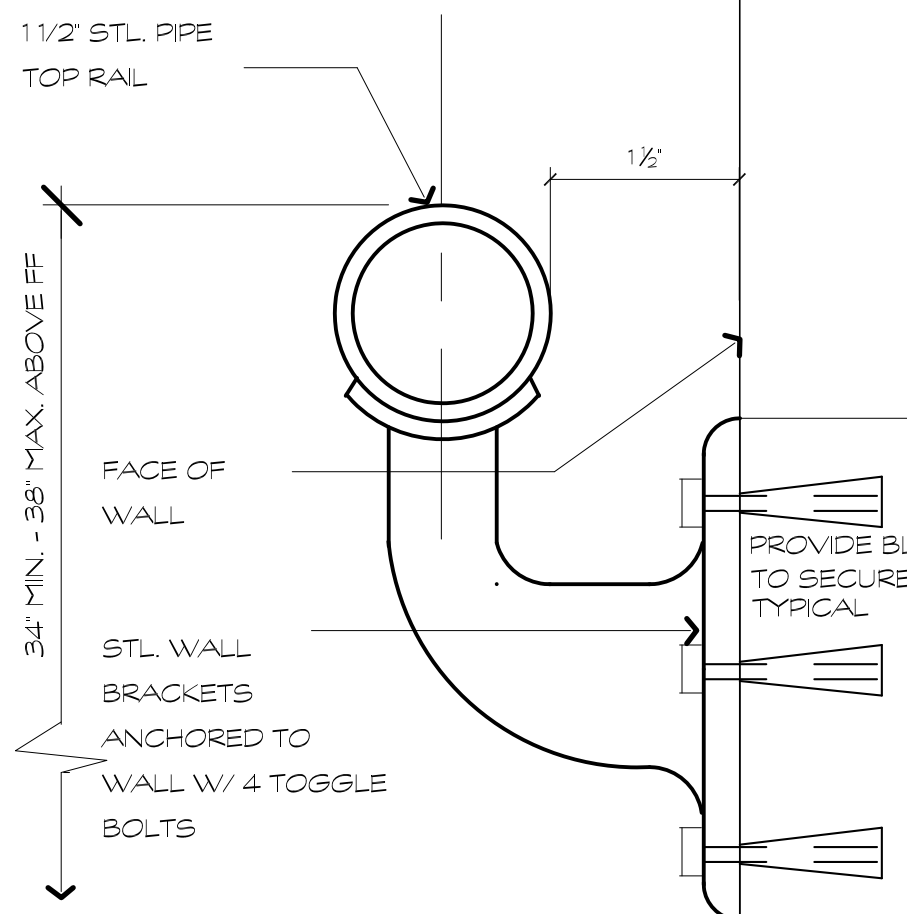
2 RAILING DETAIL
3/4" = 1'-0"

LIGHT GAGE FRAMING NOTES.

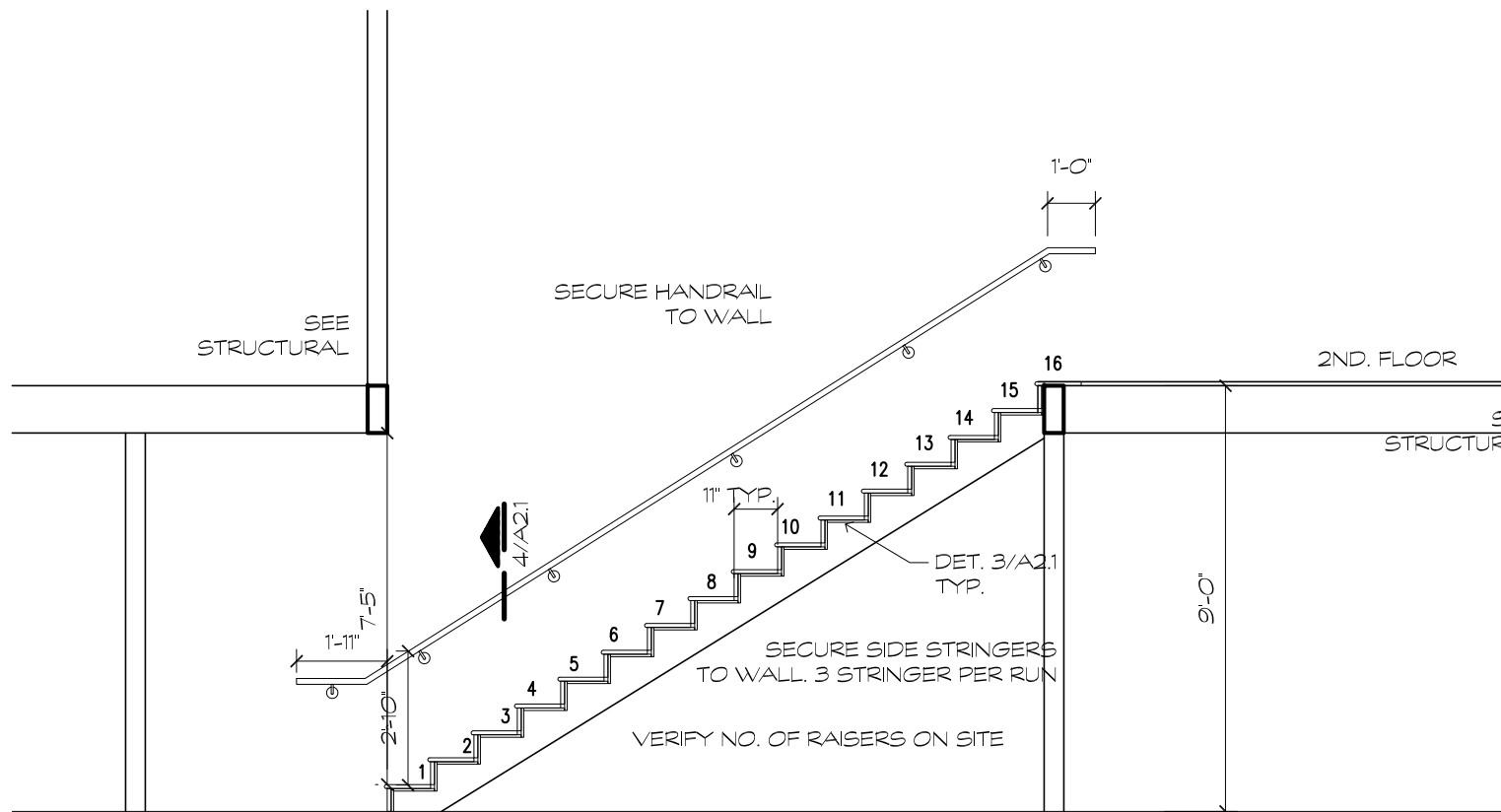
1. WITH EACH TYPE OF MTL. FRAMING REQUIRED, PROVIDE MANUFACTURERS' STANDARD STEEL RUNNERS (TRACKS), BLOCKINGS, LINTELS, CLIP ANGLES, SHOES, REINFORCEMENTS, FASTENERS, AND ACCESSORIES AS RECOMMENDED BY MANUFACTURER FOR APPLICATION INDICATED, AS NEEDED TO PROVIDE A COMPLETE METAL FRAMING SYSTEM.
2. FOR 18-GAUGE AND HEAVIER UNITS, FABRICATE METAL FRAMING COMPONENTS OF STRUCTURAL QUALITY STEEL SHEET WITH A MINIMUM YIELD POINT OF 40,000 PSI, ASTM A-446, A-570, OR A-611.
3. FOR 18-GAUGE AND LIGHTER UNITS, FABRICATE METAL FRAMING COMPONENTS OF STRUCTURAL QUALITY STEEL SHEET WITH A MINIMUM YIELD POINT OF 33,000 PSI, ASTM A-446, A-570, OR A-611.
4. PROVIDE GALVANIZED FINISH TO MTL. FRAMING COMPONENTS COMPLYING WITH ASTM A-525 FOR MINIMUM G 60 COATING.
5. ACCEPTED MANUFACTURERS: ALABAMA, MTL. INDUSTRIES CORP., ALLIED STRUCT. INDUSTRIES, CESCO CORP., WHEELING CORRUGATING CO. OR ARCHITECTS APPROVED EQUAL.
6. PROVIDE ALUM. THRESHOLDS COMMERCIAL QUALITY AT ALL EXT. DOORS.

METALS FABRICATION NOTES:

1. SEE STRUCTURAL DRAWING FOR ALL STL.-MTL. ITEMS AND STRUCTURES.
2. PROVIDE STEEL LINTELS AS REQUIRED SEE DRAWINGS.
3. PROVIDE STEEL PIPE RAILINGS. SEE DRAWINGS.
4. PROVIDE NECESSARY ROUGH HARDWARE, FASTENERS, BOLTS, PLATES, ANCHORS, DOWELS ETC., FOR THE PROJECT.



4 HANDRAIL DETAIL
N.T.S.



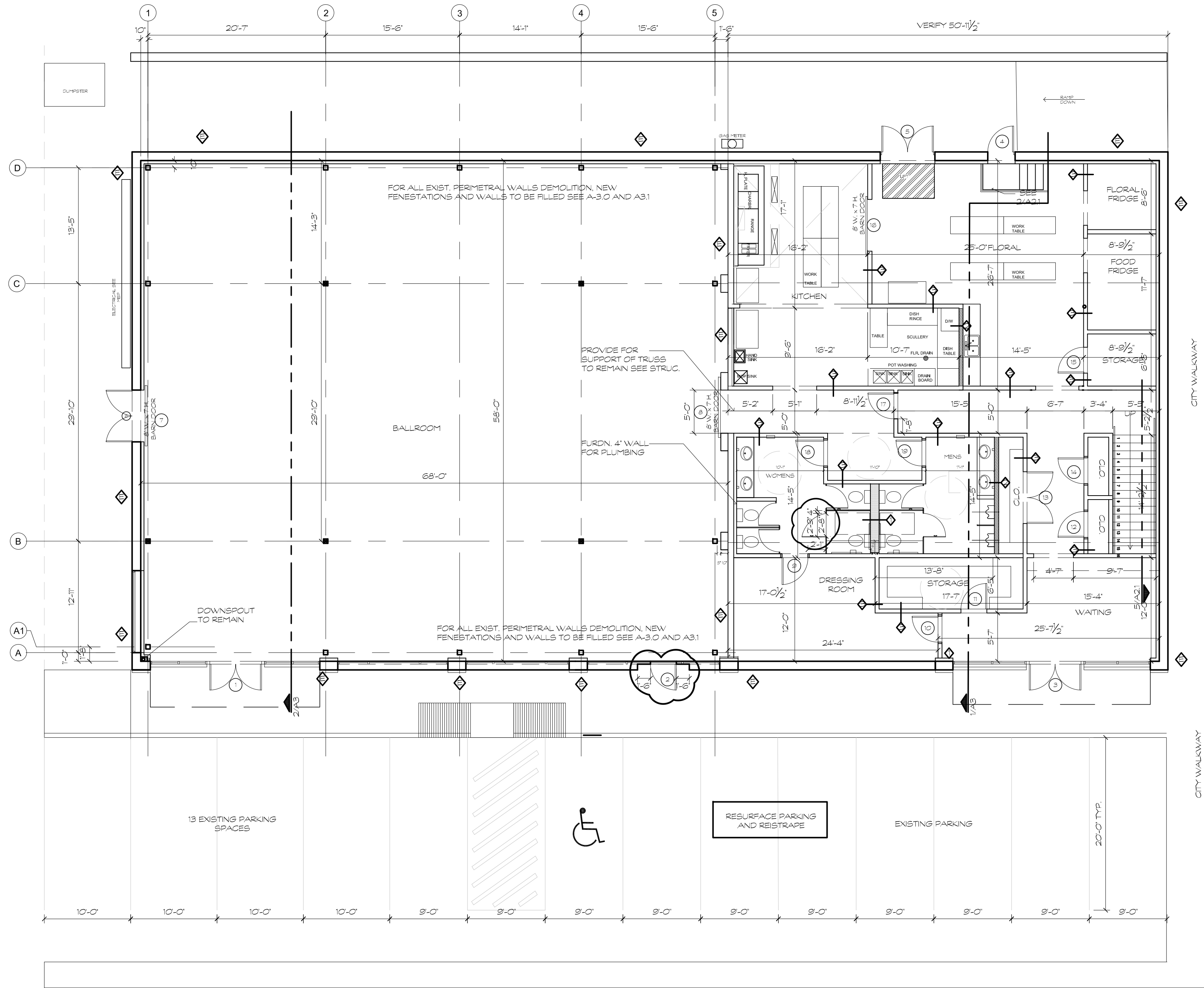
5 STAIR SECTION
1/4" = 1'-0"

NOTES:

1. ALL FURNITURE SHOWN IN PLANS IS FOR REFERENCE ONLY N.I.C. - EXCEPT FOR MILL WORK DETAILED ON PLANS.
2. OWNER MAY MAKE SELECTION FINISHES FROM THE FINISH SCHEDULE, OR MAKE HIS/HERS OWN SELECTION TO RECEIVE PROPOSALS FROM CONTRACTOR.

FINISH SCHEDULE

FINISH SCHEDULE LEGEND													
FLOOR - BASE	WALL	CEILING	FLOOR	BASE	WALL	CEILING	PAINTS	TILES & ACCENTS					
F-1	VCT - SOLID PATTERN (COLOR TO BE SELECTED)	B-1	EXIST. WD. BASE TO BE MAKE PAINT READY AND TO BE PAINTED	W-1	TEXTURE, LIGHT ORANGE PEEL PAINT: P-1	C-1	5/8" GYPBD. TYPE 'X' PAINTED	P-1	SHERVIN WILLIAMS SUPERPAINT OR EQ. COLOR (T.B.D.) FINISH: SATIN	T-1	TBD		
F-2	VCT-2x COLOR PATTERN -TO BE SELECTED	B-2	EXIST. WD. BASE TO BE MAKE PAINT READY AND TO BE PAINTED	W-2	TEXTURE, LIGHT ORANGE PEEL PAINT: P-2	C-2	5/8" GYPBD. TYPE 'X' EPOXY PAINTED PARTIAL ABOVE COFFE BAR OR FULL AT BATHRMS.	P-2	SHERVIN WILLIAMS SUPERPAINT OR EQ. COLOR (T.B.D.) FINISH: SATIN	T-2	NOT USED		
F-3	VCT-3x COLOR PATTERN -TO BE SELECTED	B-3	CAULK W/ CLEAR EPOXY SEALANT OR EQ.	W-3	TEXTURE, LIGHT ORANGE PEEL PAINT: EPOXY PAINT	C-3	5/8" GYPBD. TYPE 'X' TAPE AND FLOTE	P-3	SHERVIN WILLIAMS SUPERPAINT OR EQ. COLOR (T.B.D.) FINISH: SATIN				
F-4	EXISTING WOOD FLOOR TO BE SANDED AND CLEAR ACRILIC SEALED AS SPEC.	B-4	CERAMIC TILE BASE (SEE A2.5 - INT. ELEV'S)	W-4	CERAMIC TILE	C-4	EXPOSED STRUCTURE ABOVE	P-4	SHERVIN WILLIAMS SUPERPAINT OR EQ. COLOR (T.B.D.) FINISH: SATIN				
F-5	TILE CARPET - COLOR(S) TO BE SELECTED			W-5	SHERVIN WILLIAMS EPOXY	C-5		P-5	SHERVIN WILLIAMS SUPERPAINT OR EQ. COLOR (T.B.D.) FINISH: FLAT				
F-6	CERAMIC TILE (NON SUPPLY)	F-7	ROLL CARPET - COLOR(S) TO BE SELECTED	W-6	STOREFRONT	C-6		P-6	SHERVIN WILLIAMS SUPERPAINT OR EQ. COLOR (T.B.D.) FINISH: SEMI-GLOSS				



SAN PEDRO ROAD

1 ARCH. FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

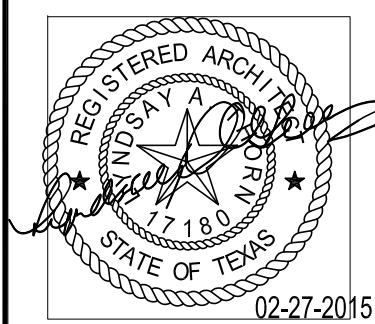


CIRCA BUILDING
REMODELING/ FINISH OUT
1902 SAN PEDRO AVE.
SAN ANTONIO, TX

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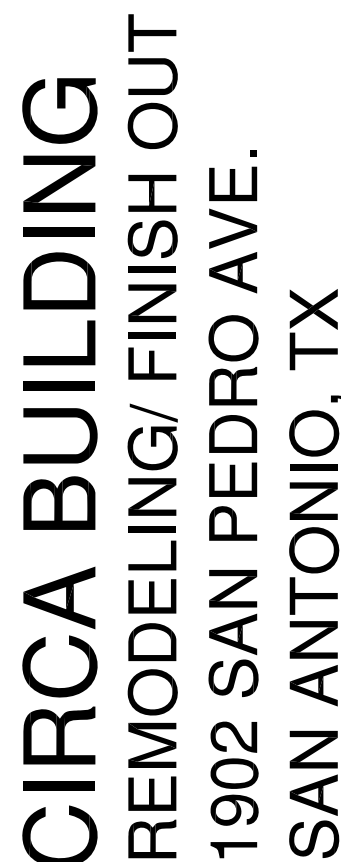
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NO.	REVISIONS / DATE
01	ASI / 2015-04-14



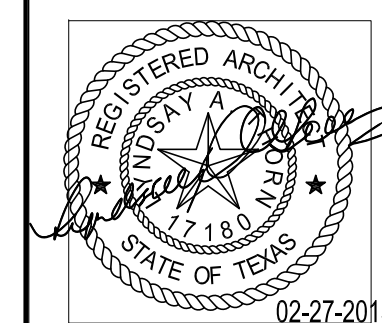
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CHECKED: LAT	DATE: 02.27.2015
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SHEET NO.:	

A2.1



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CHECKED: LAT	DATE: 02.27.2015

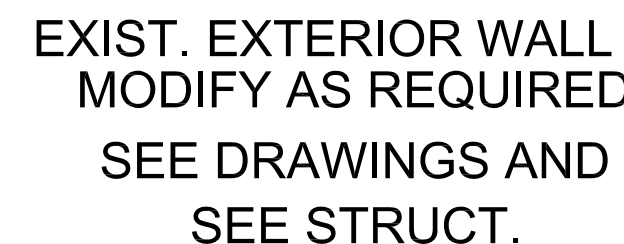
SCALE:
AS NOTED

DRAWING TITLE:

SECOND
FLOOR
PLAN

SHEET NO.:

A2.2



NOTE: HOLES DRILLED THROUGH HOOD ANGLE BY
INSTALLER AFTER BRACKET ATTACHMENT
POINTS HAVE BEEN DETERMINED.
HOOD INSTALLATION SHALL BE COORDINATE
W/ HOOD MANUF. BY KITCHEN INSTALLER

1 STRUCTURAL CEILING 22'+- TO FIN. FLR.
2 FINISHED CEILING WHEN OCCURS, 10'-0" TO F.FLR.
3 FINISHED FLOOR
4 S/S TRIM PANEL AROUND HOOD
5 HANGER RODS (BY HOOD INSTALLER)
6 HANGER BRACKET (BY HOOD MANUFACTURER)
10 SUPPLY DUCT (BY H.V.A.C.)
11 EXHAUST DUCT (BY H.V.A.C.)
12 1" OUTSIDE FLANGE

30 OPTIONAL DAMPER
FOLLOW MANUF. RECOMMENDATIONS

36 BULLET TYPE INCANDESCENT LIGHT
52 APPLIED ANGLE
53 STANDING SEAM
57 UNINSULATED STANDOFF

70 16" U.L. CLASSIFIED BAFFLE - TYPE
GREASE FILTERS
GREASE TROUGH
79 SLOPED GREASE DRAIN
WITH REMOVABLE CUP CER. TILE

FOR HOOD ALSO SEE M.E.P.
AND FOLLOW MANUFACTURER
SPECS. AND RECOMMENDATIONS



SCALE: 1/2" = 1'-0"
ALL DIMENSIONS SHOWN ARE EQUIPMENT DIMENSIONS

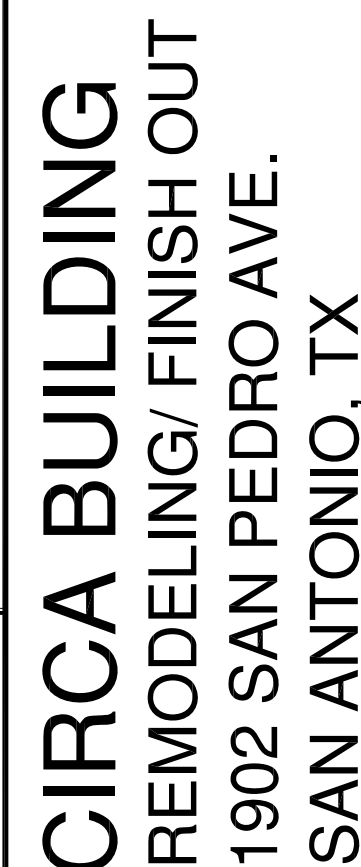
3 HOOD DETAIL (SEE M.E.P.)

SCALE: 1/2" = 1'-0"

NOTES:
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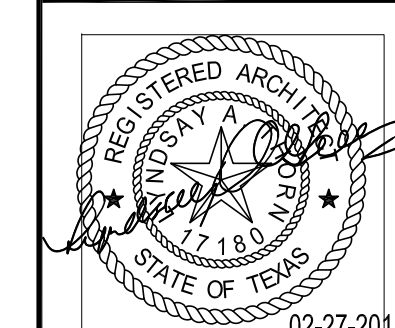
FINISH SCHEDULE LEGEND		NO.	FLOOR	NO.	BASE	NO.	WALLS	NO.	CEILING	NO.	PAINTS	NO.	TILES & ACCENTS
<div> <div>FLOOR</div> <div>BASE</div> <div>WALL</div> <div>CEILING</div> </div> <div> <div>F-X</div> <div>B-X</div> <div>W-X</div> <div>C-X</div> </div> <div> <div>FLOOR</div> <div>BASE</div> <div>WALL</div> <div>CEILING</div> </div> <div> <div>F-X</div> <div>B-X</div> <div>W-X</div> <div>C-X</div> </div>	F-1	VCT - SOLID PATTERN (COLOR TO BE SELECTED)	B-1	EXIST. WD. BASE TO BE MAKE PAINT READY AND TO BE PAINTED	W-1	TEXTURE: LIGHT ORANGE PEEL PAINT: P-1	C-1	5/8" GYP&B. TYPE 'X' PAINTED	P-1	SHERWIN WILLIAMS SUPERPAINT OR EQ. COLOR: (T.B.D.) FINISH: SATIN	T-1	TBD	
	F-2	VCT-2x COLOR PATTERN -TO BE SELECTED	B-2	EXIST. WD. BASE TO BE MAKE PAINT READY AND TO BE PAINTED	W-2	TEXTURE: LIGHT ORANGE PEEL PAINT: P-2	C-2	5/8" GYP&B. TYPE 'X' EPOXY PAINTED PARTIAL ABOVE COFFE BAR OR FULL AT BATHRMS.	P-2	SHERWIN WILLIAMS SUPERPAINT OR EQ. COLOR: (T.B.D.) FINISH: SATIN	T-2	NOT USED	
	F-3	VCT-3x COLOR PATTERN -TO BE SELECTED	B-3	CAULK W/ CLEAR EPOXY SEALANT OR EQ.	W-3	TEXTURE: LIGHT ORANGE PEEL PAINT: EPOXY PAINT	C-3	5/8" GYP&B. TYPE 'X' TAPE AND FLOATED	P-3	SHERWIN WILLIAMS SUPERPAINT OR EQ. COLOR: (T.B.D.) FINISH: SATIN			
	F-4	EXISTING WOOD FLOOR TO BE SANDED AND CLEAR ACRILIC SEALED AS SPEC.	B-4	CERAMIC TILE BASE (SEE A2.5 - INT. ELEVS)	W-4	CERAMIC TILE	C-4	EXPOSED STRUCTURE ABOVE	P-4	SHERWIN WILLIAMS SUPERPAINT OR EQ. COLOR: (T.B.D.) FINISH: SATIN			
	F-5	TILE CARPET - COLOR(S) TO BE SELECTED			W-5	SHERWIN WILLIAMS EPOXY	C-5		P-5	SHERWIN WILLIAMS SUPERPAINT OR EQ. COLOR: (T.B.D.) FINISH: FLAT			
	F-6	CERAMIC TILE (NON SLIPPERY)	F-7	ROLL CARPET - COLOR(S) TO BE SELECTED	W-6	STOREFRONT	C-6		P-6	SHERWIN WILLIAMS SUPERPAINT OR EQ. COLOR (T.B.D.) FINISH: SEMI-GLOSS			

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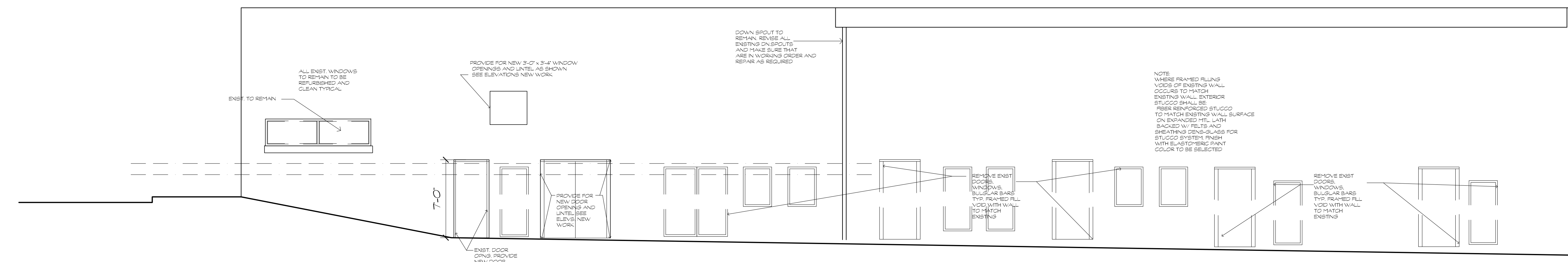
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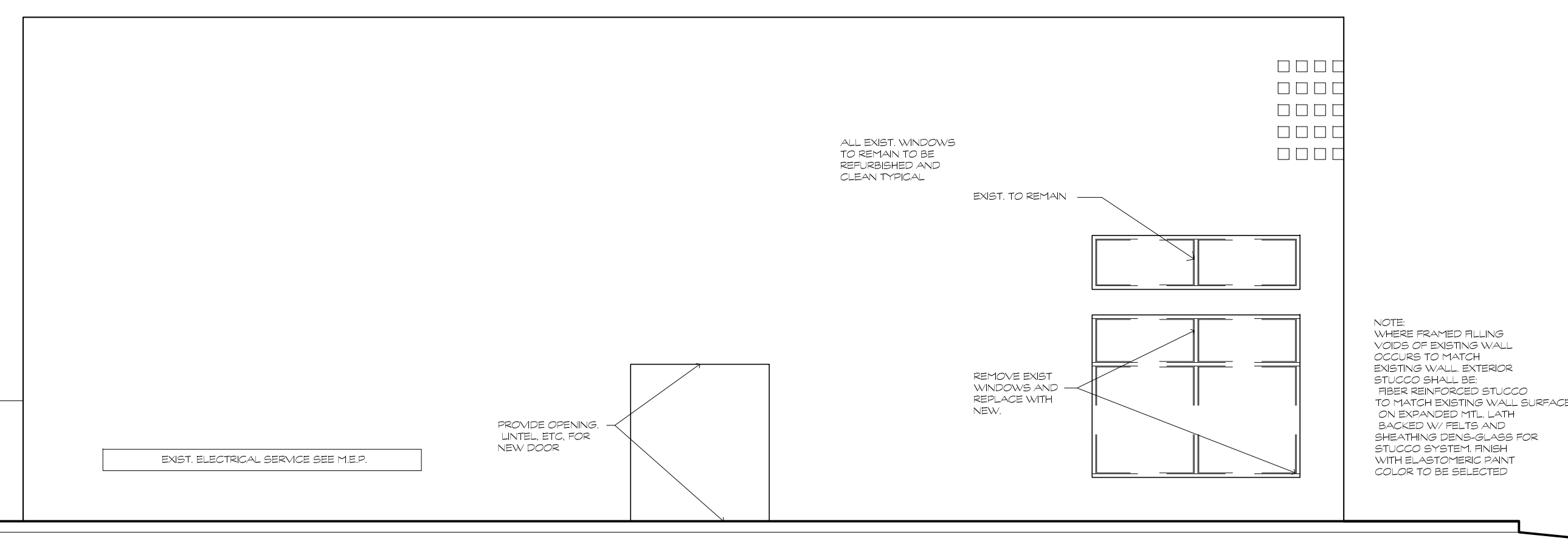
EXIST.EXTERIOR
ELEVATIONS
SHOWING DEMO.

SHEET NO.:

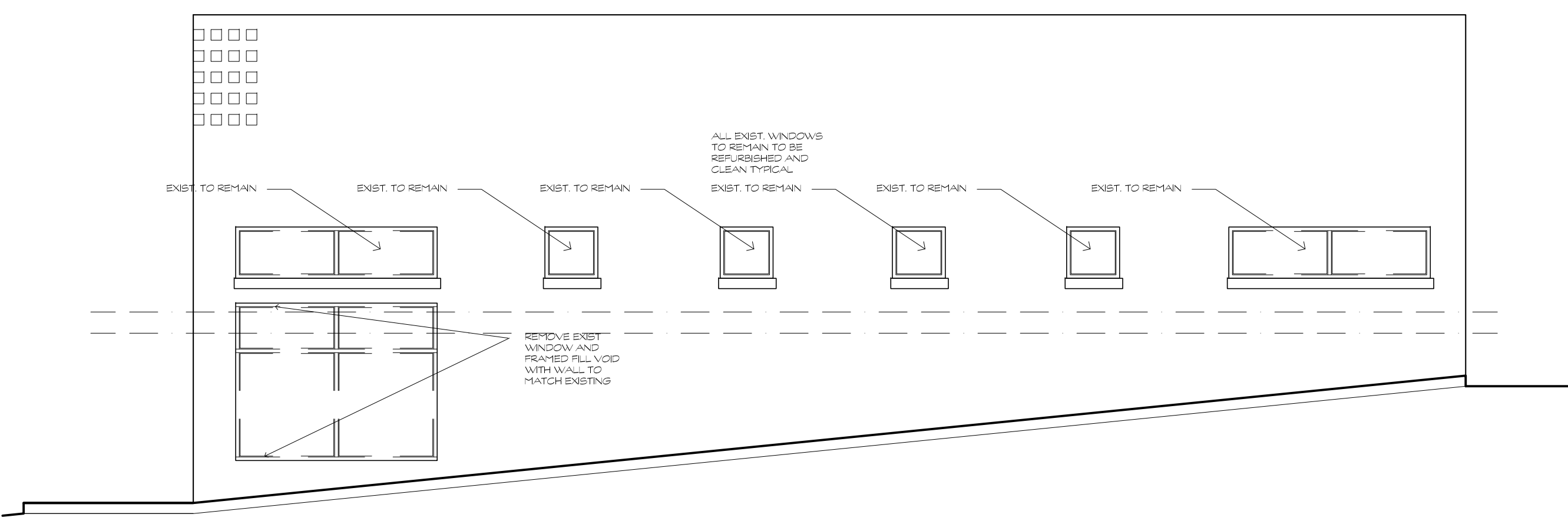
A3.0



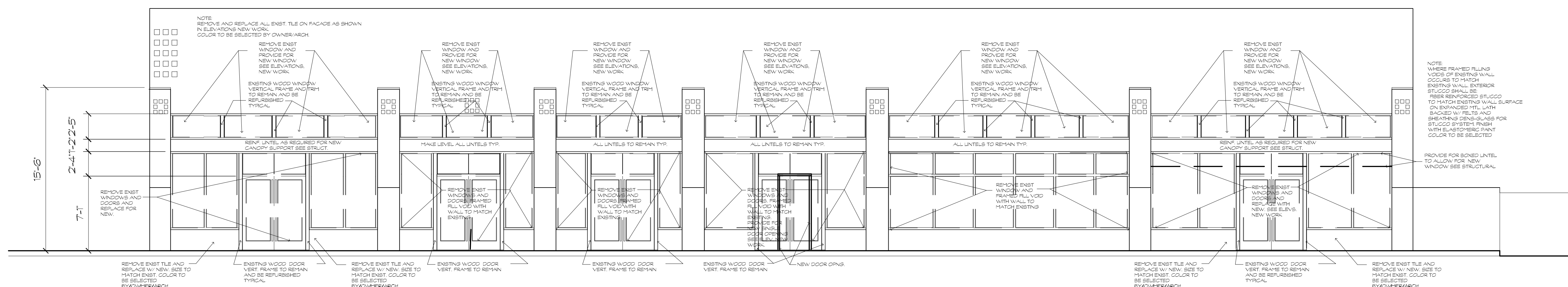
4 REAR ELEVATION



3 SIDE ELEVATION



2 SIDE ELEVATION



1 FRONT ELEVATION

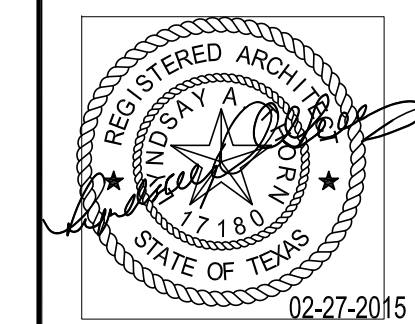


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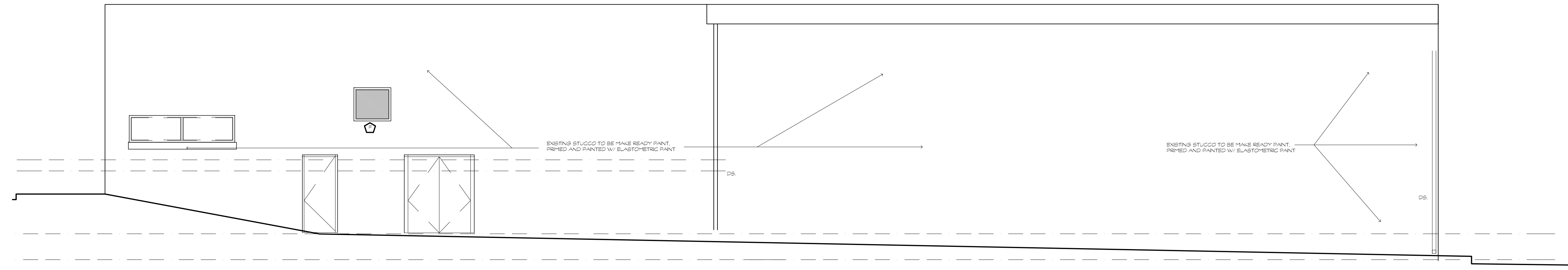
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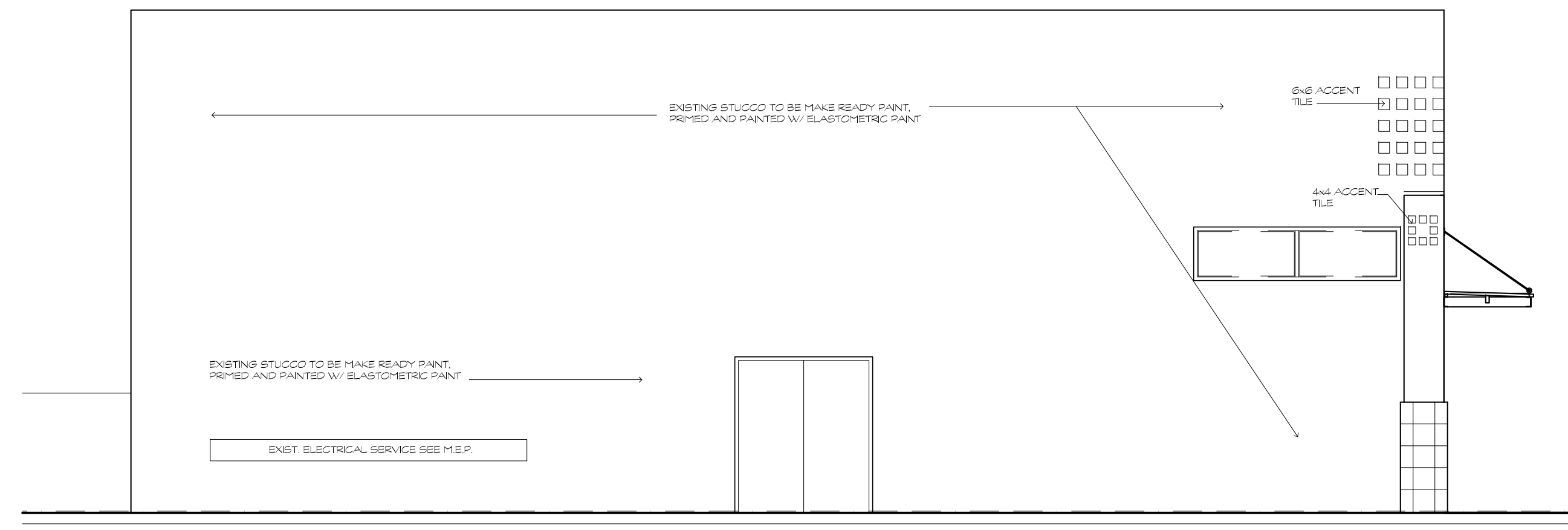
DRAWN: MS	PROJECT NO.: 1404
CHECKED: LAT	DATE: 02.27.2015

SCALE: AS NOTED
DRAWING TITLE: EXTERIOR ELEVATIONS NEW WORK

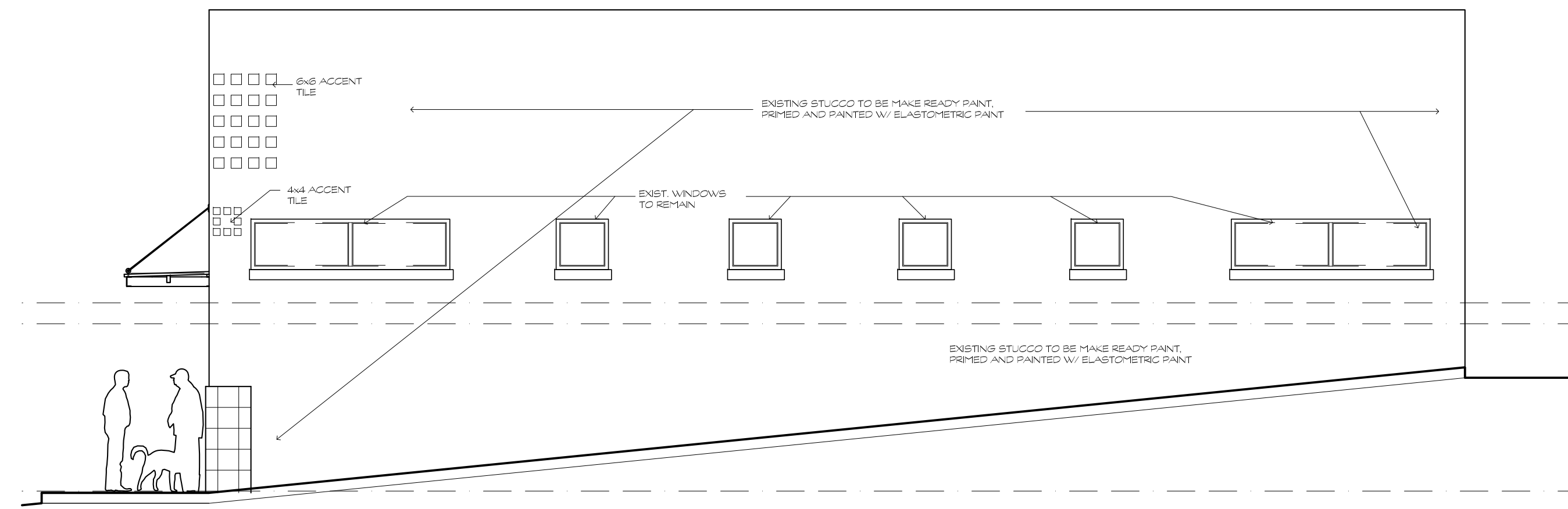
SHEET NO.: A3.1



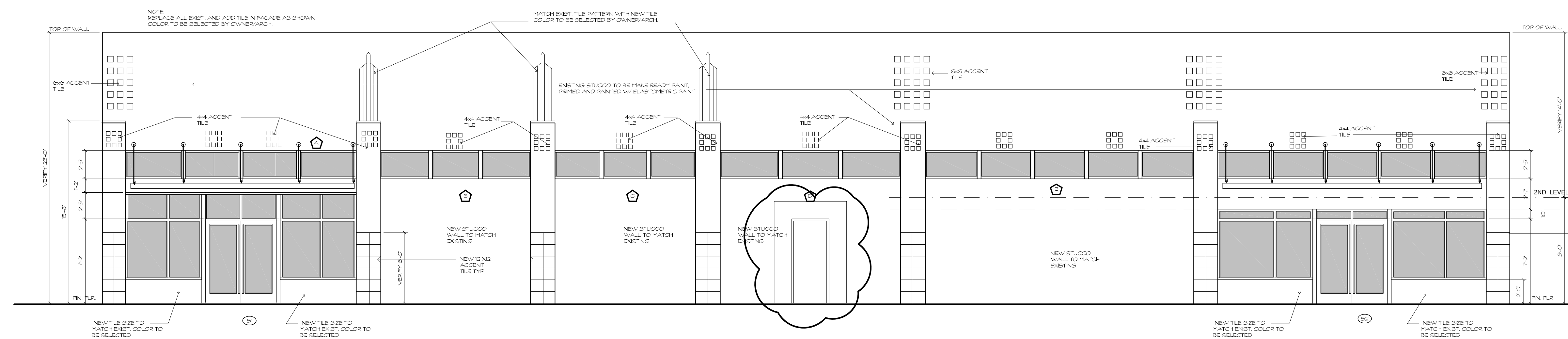
4 REAR ELEVATION
SCALE: 3/16" = 1'-0"



3 SIDE ELEVATION
SCALE: 3/16" = 1'-0"



2 SIDE ELEVATION
SCALE: 3/16" = 1'-0"



1 FRONT ELEVATION
SCALE: 3/16" = 1'-0"



THORN GRAVES
ARCHITECTS PLANNERS INTERIORS
105 MONTCLAIR • ALAMO HEIGHTS, TX 78209 • PHONE: 210-222-0194 • FAX: 210-222-0195

SCALE:	AS NOTED
DRAWING TITLE:	BLDG. SECTIONS DETAILS

SHEET NO.:

A3.2



D

SW 7014
Eider White

SW 7015
Repose Gray

SW 7016
Mindful Gray

SW 7017
Dorian Gray

SW 7018
Dovetail

SW 7019
Gunite Gray

MAIN EXTERIOR WALL

ABOVE AND BELOW MAIN
ENTRY DOORS

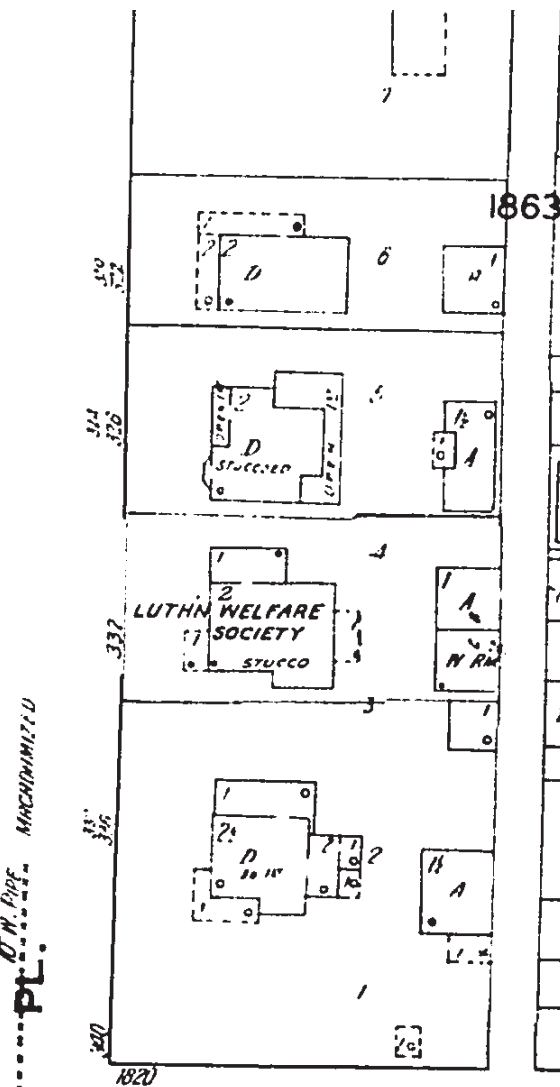
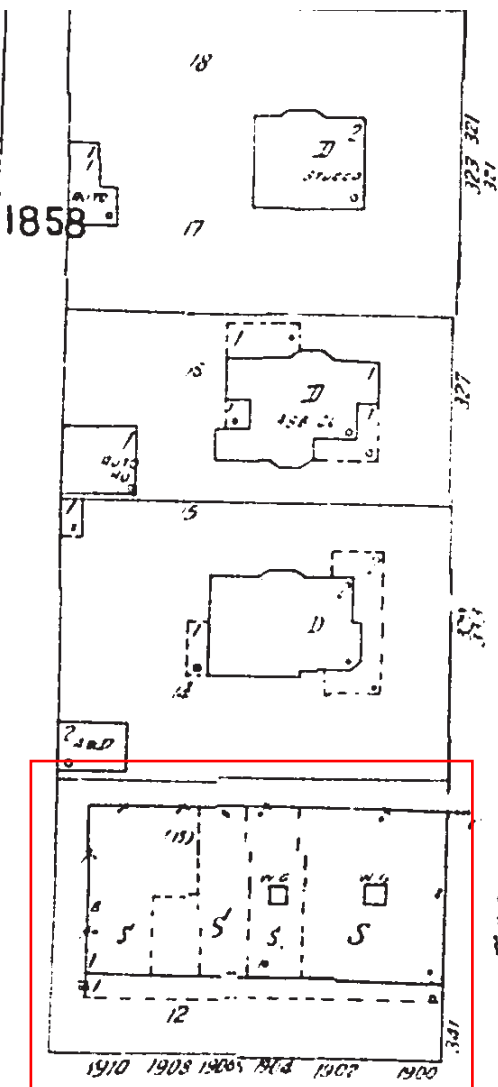
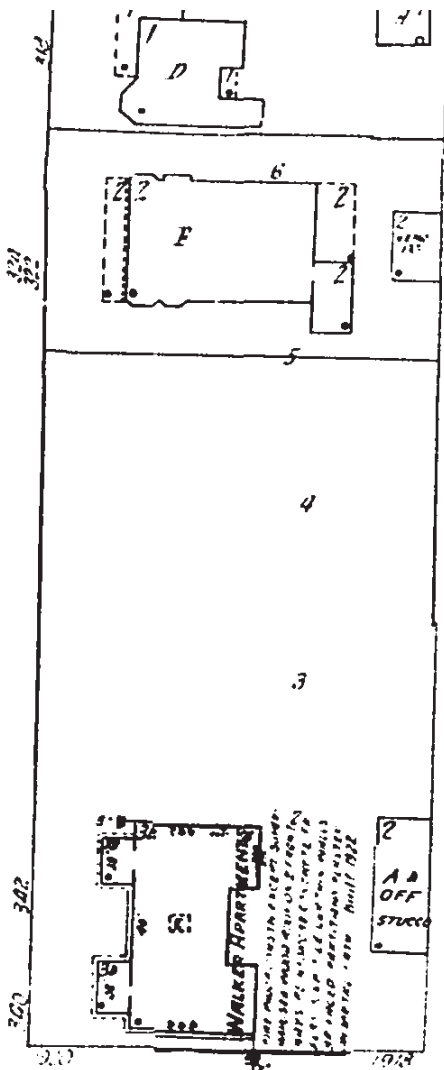
COLUMNS

ITY FACILITY

444

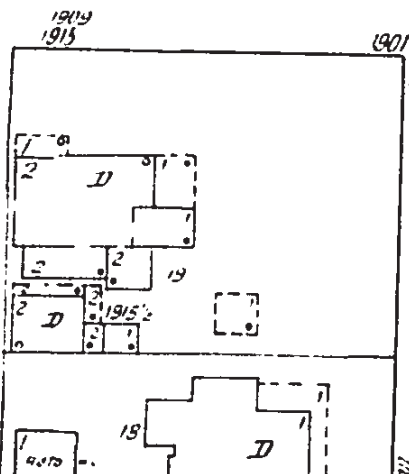
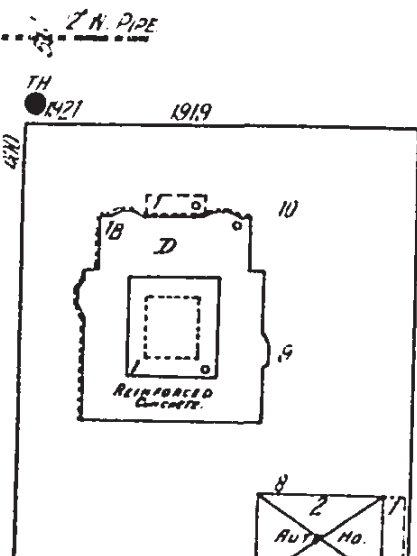


W. WOODLAWN AV.



SAN PEDRO

AV.



W. CRAIG

